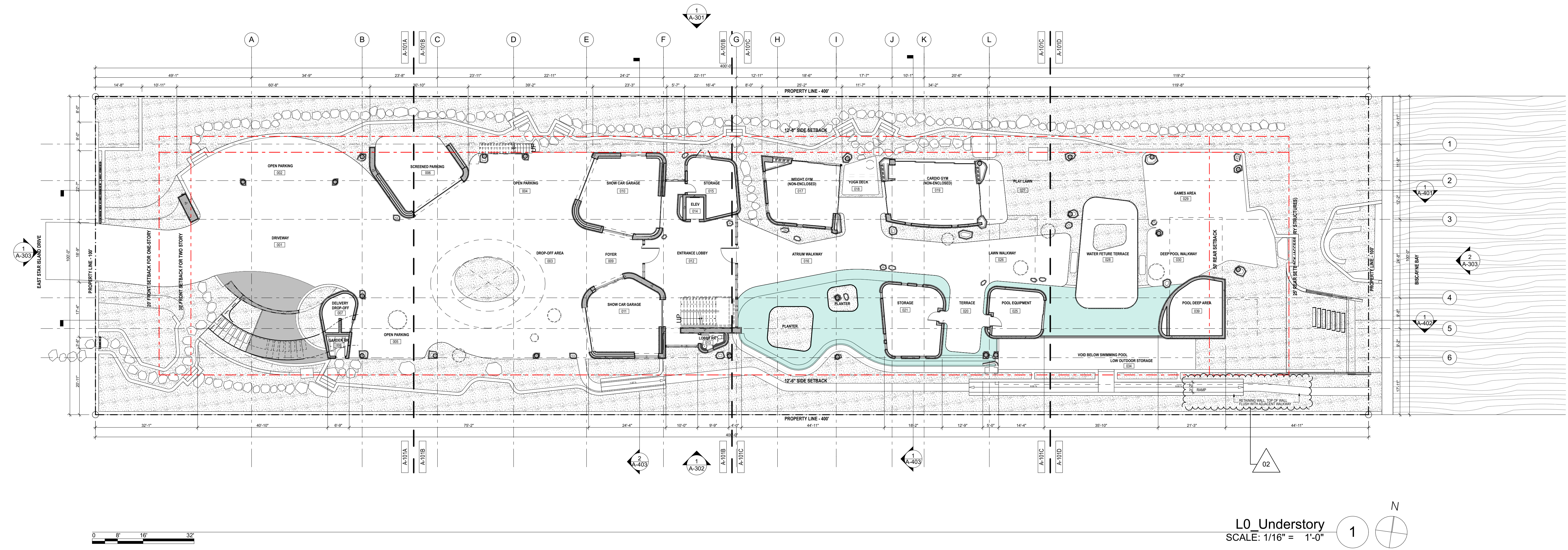


FOR REFERENCE ONLY

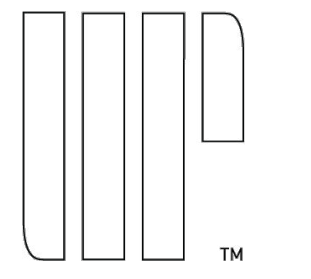
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L0 Understory
SCALE: 1/16" = 1'-0"

ARCHITECT
LANDSCAPE ARCHITECT



URBAN ROBOT LLC
420 LINCOLN ROAD, S. 600
MIAMI BEACH, FL 33139
T. 786.246.4857

OWNER:
LUIS FELIPE NEIVA SILVEIRA
28 STAR ISLAND
MIAMI BEACH, FL 33139

DESIGN ARCHITECT:
SAOTA
109 HATFIELD STREET GARDENS
CAPE TOWN 8001, SOUTH AFRICA
T: +27 (0)21 488 4400

STRUCTURAL ENGINEER:
YHCE ENGINEERING
99 NW 27 AVENUE
MIAMI, FL 33125
T: (305) 965-YHCE F: (305) 969-9453

MEP ENGINEER:
CREDO @ Consulting Engineers, LLC
800 EAST BROWARD BLVD., SUITE 601
FORT LAUDERDALE, FL 33301
T: (954) 763-2248 F: (954) 763-2247

CIVIL ENGINEER:
OCEAN ENGINEERING INC.
8101 BISCAYNE BLVD., UNIT 508
MIAMI, FL 33138
T: (786) 518-2008

LIGHTING CONSULTANT:
LUX POPULI S.A. de C.V.
Artega 27, San Angel
Mexico City, CP 01000, Mexico
T: +55 5025 9105

28 STAR ISLAND
MIAMI BEACH, FLORIDA 33139

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS.

REVISIONS	NO.	DATE	DESCRIPTION
	02	10/20/2021	PERMIT COMMENTS

SEAL

URBAN ROBOT LLC
AA28002760 1B28001534 LC26000510

2009
PROJECT NO.
September 24, 2021
DATE

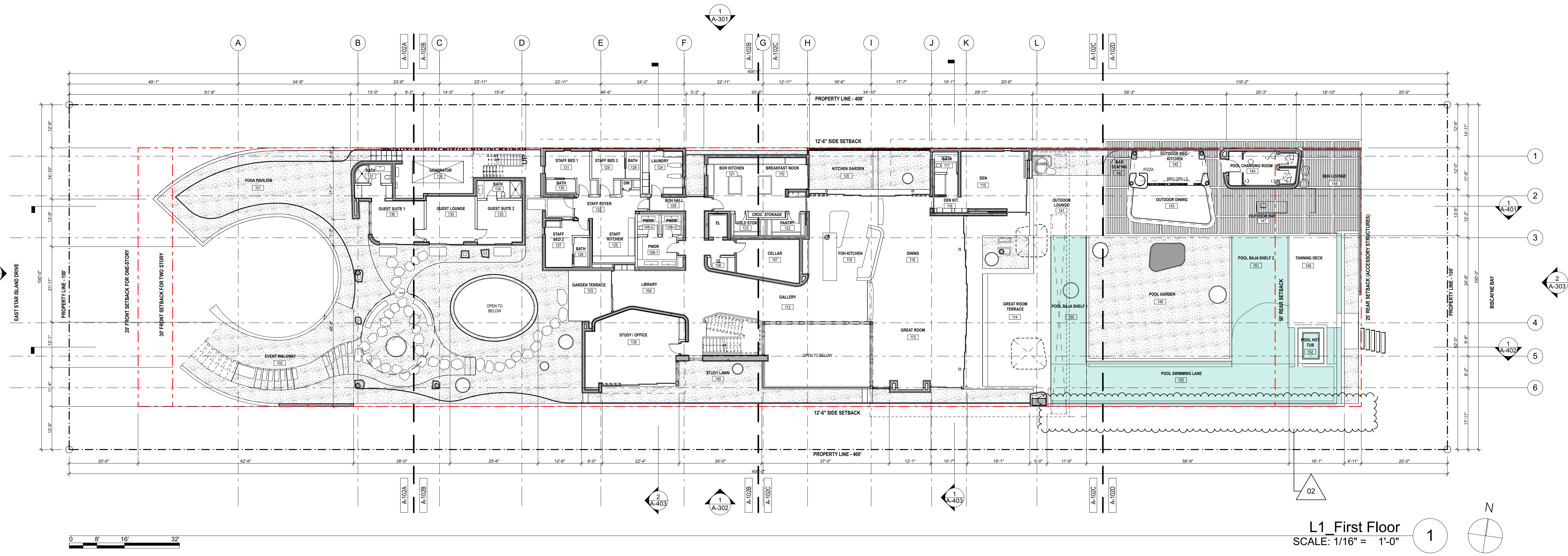
JJ / SV / CS / EL / IH
DRAWN / CHECKED
**UNDERSTORY -
OVERALL FLOOR PLAN**

A-101

FOR REFERENCE ONLY

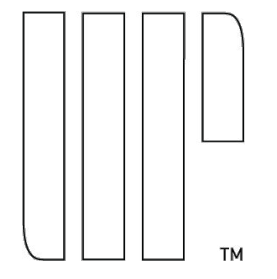
Reviewed For Compliance
BR2106013
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L1_First Floor
SCALE: 1/16" = 1'-0"

ARCHITECT
LANDSCAPE ARCHITECT



URBAN ROBOT LLC
420 LINCOLN ROAD, S. 600
MIAMI BEACH, FL 33139
T. 786.246.4857

OWNER:

LUIS FELIPE NEIVA SILVEIRA
28 STAR ISLAND
MIAMI BEACH, FL 33139

DESIGN ARCHITECT:

SAOTA
109 HATFIELD STREET GARDENS
CAPE TOWN 8001, SOUTH AFRICA
T: +27 (0)21 488 4400

STRUCTURAL ENGINEER:

YHCE ENGINEERING
99 NW 27 AVENUE
MIAMI, FL 33125
T: (305) 969-YHCE F: (305) 969-9453

MEP ENGINEER:

CREDO @ Consulting Engineers, LLC
800 EAST BROWARD BLVD., SUITE 601
FORT LAUDERDALE, FL 33301
T: (954) 763-2246 F: (954) 763-2247

CIVIL ENGINEER:

OCEAN ENGINEERING INC.
8101 BISCAYNE BLVD., UNIT 508
MIAMI, FL 33138
T: (786) 518-2008

LIGHTING CONSULTANT:

LUX POPULI S.A. de C.V.
Artega 27, San Angel
Mexico City, CP 01000, Mexico
T: +52 5025 9105

28 STAR ISLAND
MIAMI BEACH, FLORIDA 33139

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NO.	DATE	DESCRIPTION
01	10/23/2019	PERMIT COMMENTS

SEAL

URBAN ROBOT LLC
AA28002760 1B26001534 LC26000510

2009
PROJECT NO.

September 24, 2021
DATE

JJ / SV / CS / EL / IH
DRAWN / CHECKED

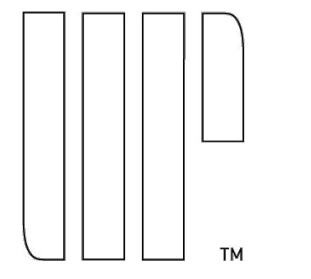
FIRST FLOOR -
OVERALL FLOOR PLAN

A-102

FOR REFERENCE ONLY

FOR C.O.M.B. USE ONLY

ARCHITECT
LANDSCAPE ARCHITECT



URBAN ROBOT LLC
420 LINCOLN ROAD, S. 600
MIAMI BEACH, FL 33139
T. 786.246.4857

OWNER:

LUIS FELIPE NEIVA SILVEIRA
28 STAR ISLAND
MIAMI BEACH, FL 33139

DESIGN ARCHITECT:

SAOTA
109 HATFIELD STREET GARDENS
CAPE TOWN 8001, SOUTH AFRICA
T: +27 (0)21 488 4400

STRUCTURAL ENGINEER:

YHCE ENGINEERING
99 NW 27 AVENUE
MIAMI, FL 33125
T: (305) 969-5HCE F: (305) 969-9453

MEP ENGINEER:

CREDO @ Consulting Engineers, LLC
800 EAST BROWARD BLVD., SUITE 601
FORT LAUDERDALE, FL 33301
T: (954) 763-2248 F: (954) 763-2247

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MIAMI, FL 33138
T: (786) 518-2008

LIGHTING CONSULTANT:

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28 STAR ISLAND
MIAMI BEACH, FLORIDA 33139

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REVISIONS

Rev	Date	Description

SEAL

URBAN ROBOT LLC
AA28002760 1B26001534 LC26000510

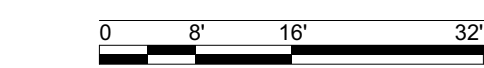
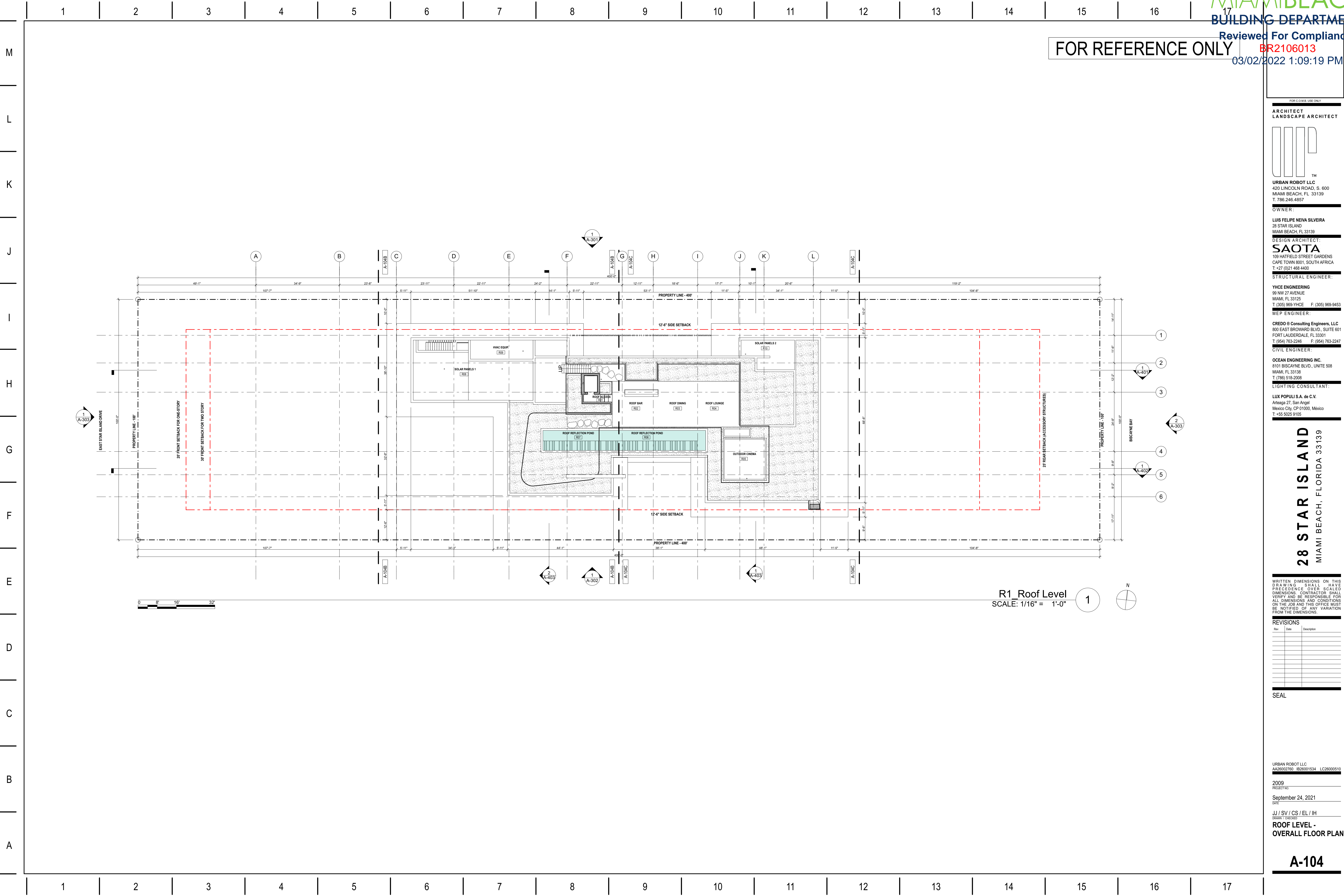
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PROJECT NO.

September 24, 2021
DATE

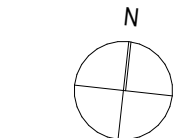
JJ / SV / CS / EL / IH
DRAWN / CHECKED

ROOF LEVEL -
OVERALL FLOOR PLAN

A-104



R1_Roof Level
SCALE: 1/16" = 1'-0"



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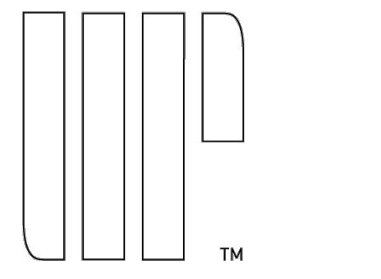
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1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17

FOR REFERENCE ONLY

FOR O.M.B. USE ONLY

ARCHITECT
LANDSCAPE ARCHITECT



URBAN ROBOT LLC
420 LINCOLN ROAD, S. 600
MIAMI BEACH, FL 33139
T. 786.246.4857

OWNER:

LUIS FELIPE NEIVA SILVEIRA
28 STAR ISLAND
MIAMI BEACH, FL 33139

DESIGN ARCHITECT:

SAOTA
109 HATFIELD STREET GARDENS
CAPE TOWN 8001, SOUTH AFRICA
T: +27 (0)21 488 4400

STRUCTURAL ENGINEER:

YHCE ENGINEERING
99 NW 27 AVENUE
MIAMI, FL 33125
T: (305) 969-7400 F: (305) 969-9453

MEP ENGINEER:

CREDO Consulting Engineers, LLC
800 EAST BROWARD BLVD., SUITE 601
FORT LAUDERDALE, FL 33301
T: (954) 763-2246 F: (954) 763-2247

CIVIL ENGINEER:

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MIAMI, FL 33138
T: (786) 518-2008

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Mexico City, CP 01000, Mexico
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28 STAR ISLAND
MIAMI BEACH, FLORIDA 33139

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Rev	Date	Description

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URBAN ROBOT LLC
AA26002760 IB26001534 LC26000510

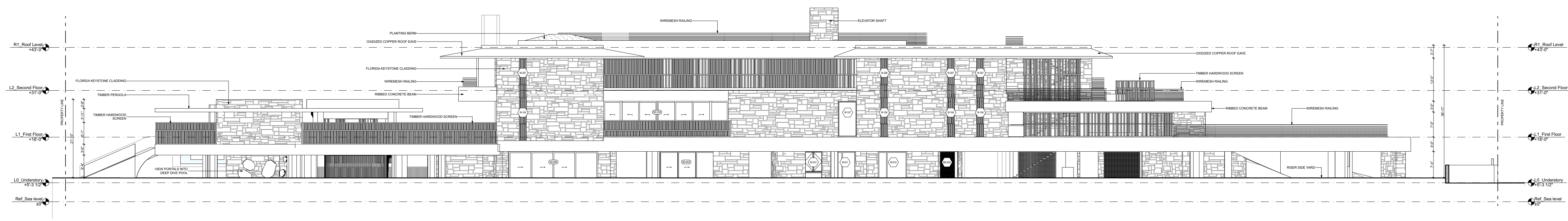
2009
PROJECT NO.

September 24, 2021
DATE

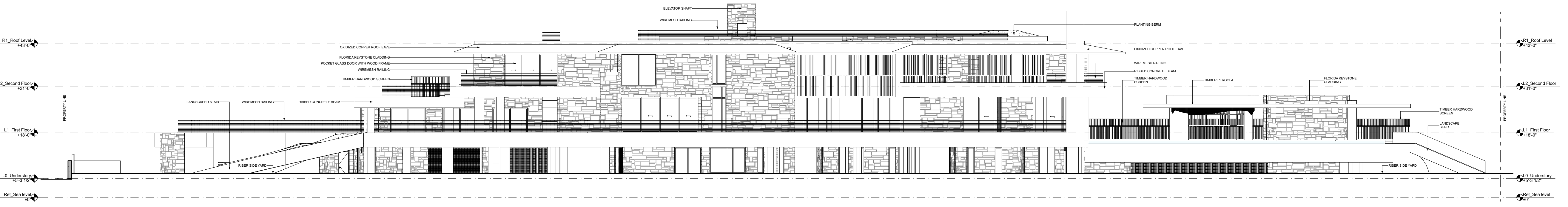
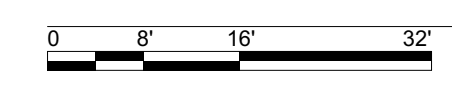
JJ / SV / CS / EL / IH
DRAWN / CHECKED

MAIN HOUSE
EXTERIOR
ELEVATIONS

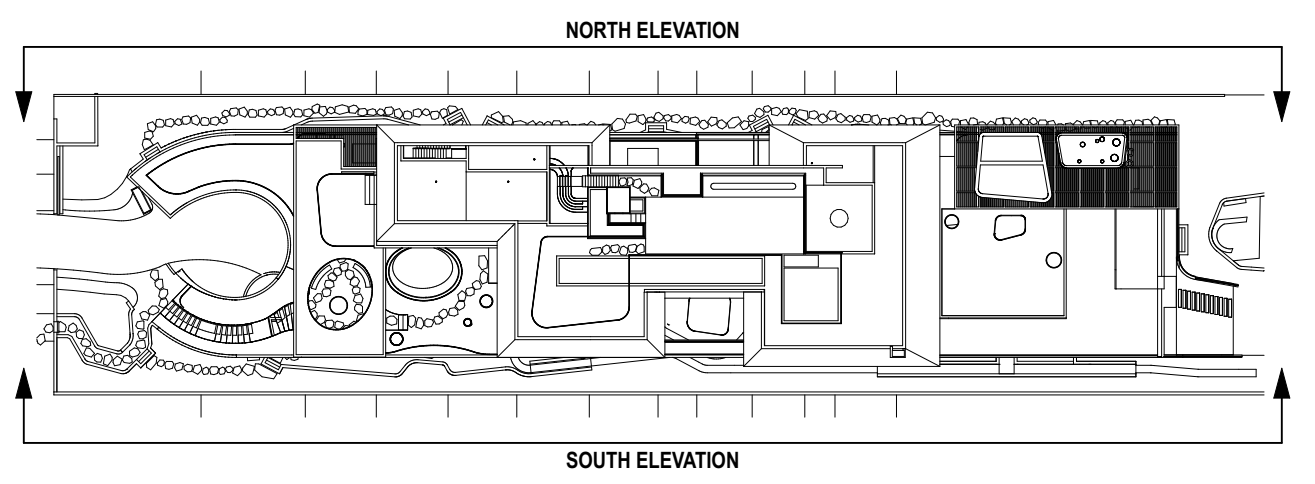
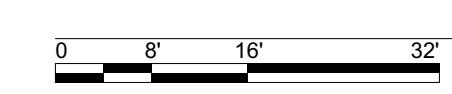
A-301



NORTH ELEVATION
SCALE: 1/16" = 1'-0" 1



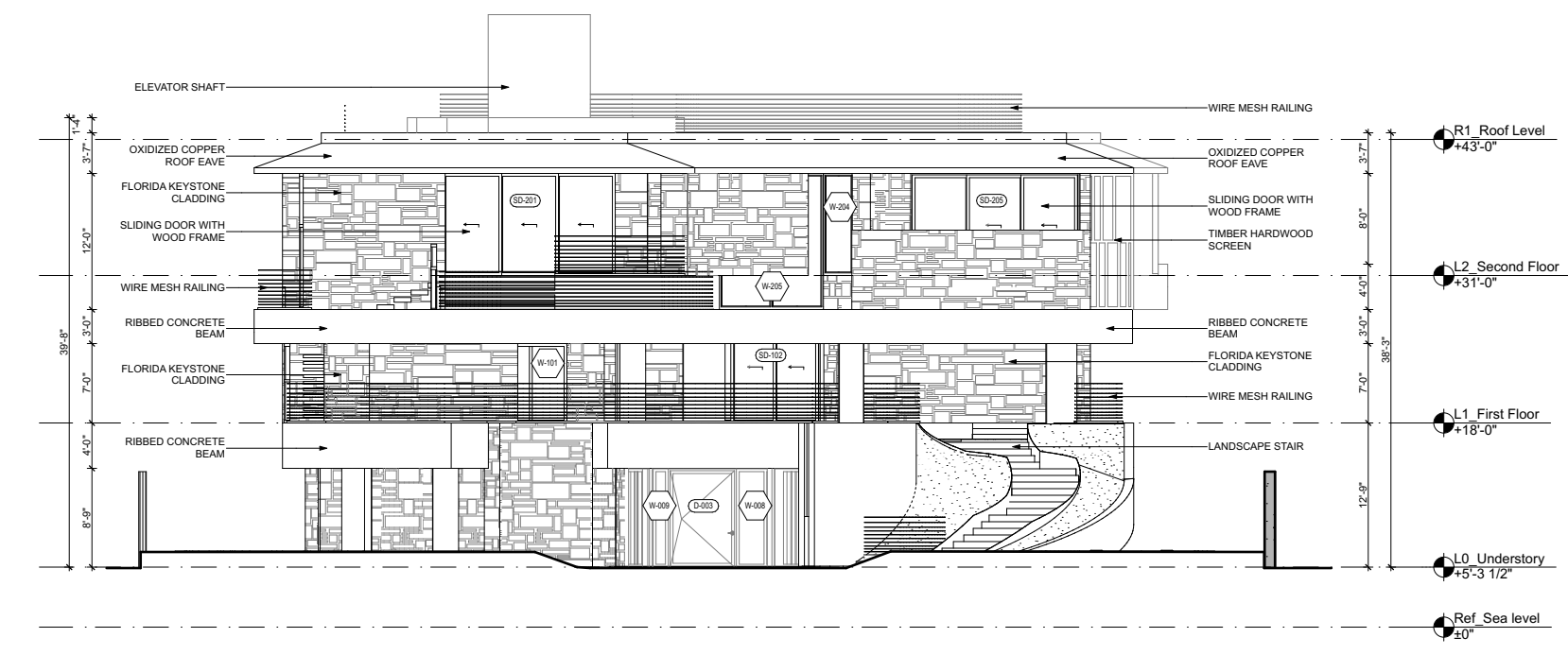
SOUTH ELEVATION
SCALE: 1/16" = 1'-0" 2



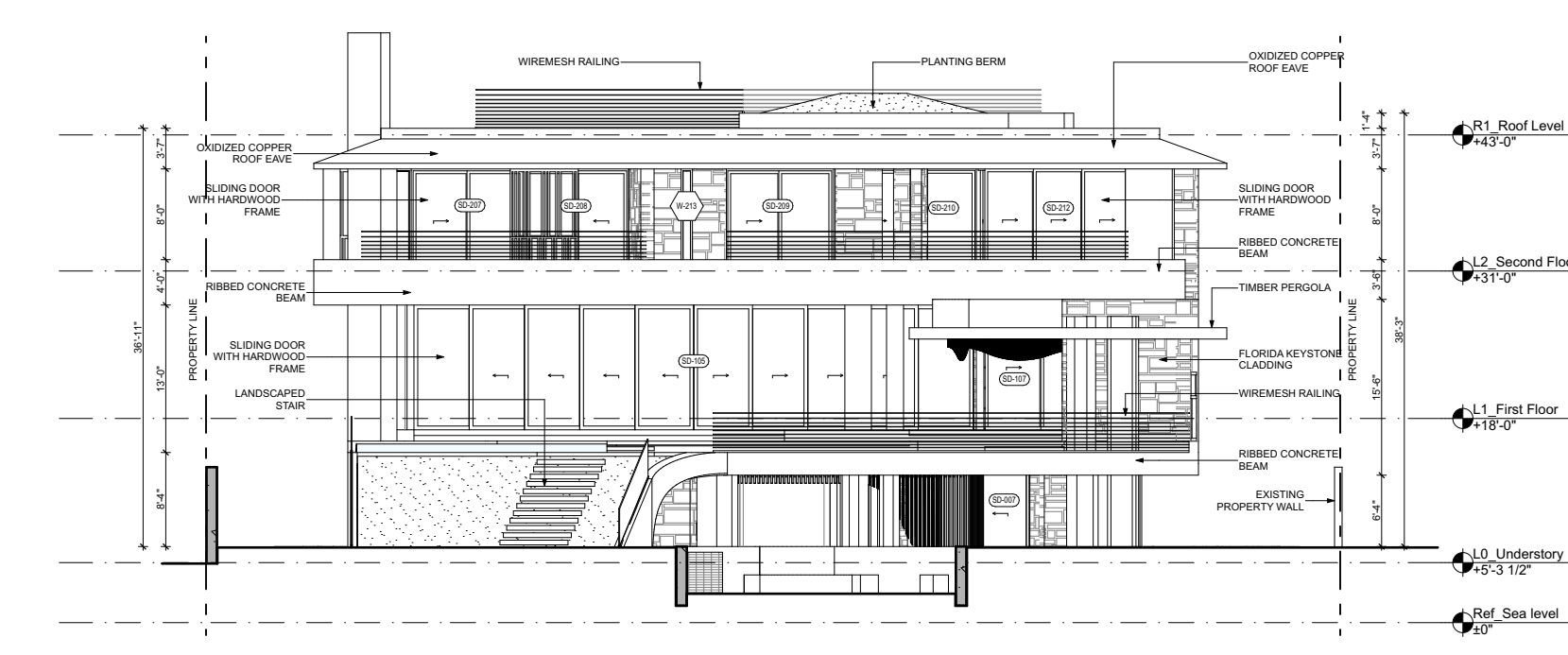
Key Plan
SCALE: 1/64" = 1'-0"

FOR REFERENCE ONLY

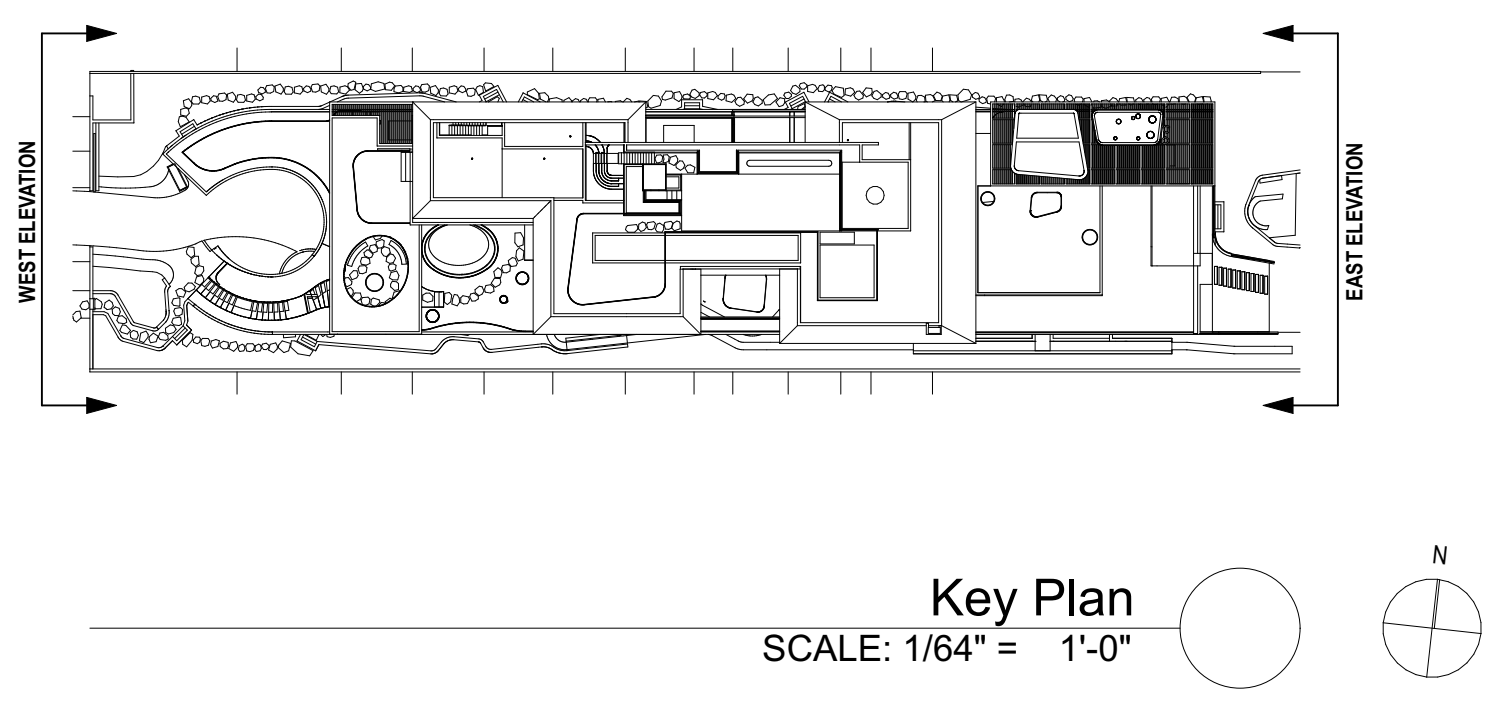
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WEST ELEVATION
SCALE: 1/16" = 1'-0" (2)

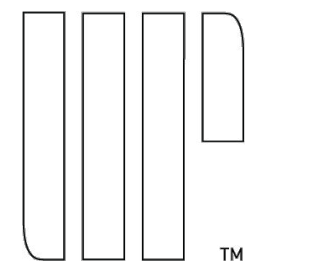


EAST ELEVATION
SCALE: 1/16" = 1'-0" (1)



Key Plan
SCALE: 1/64" = 1'-0"

ARCHITECT
LANDSCAPE ARCHITECT



URBAN ROBOT LLC
420 LINCOLN ROAD, S. 600
MIAMI BEACH, FL 33139
T. 786.246.4857

OWNER:

LUIS FELIPE NEIVA SILVEIRA
28 STAR ISLAND
MIAMI BEACH, FL 33139

DESIGN ARCHITECT:
SAOTA
109 HATFIELD STREET GARDENS
CAPE TOWN 8001, SOUTH AFRICA
T: +27 (0)21 488 4400

STRUCTURAL ENGINEER:

YHCE ENGINEERING
99 NW 27 AVENUE
MIAMI, FL 33125
T. (305) 969-YHCE F. (305) 969-9453

MEP ENGINEER:

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800 EAST BROWARD BLVD., SUITE 601
FORT LAUDERDALE, FL 33301
T. (954) 763-2246 F. (954) 763-2247

CIVIL ENGINEER:

OCEAN ENGINEERING INC.
8101 BISCAYNE BLVD., UNIT 508
MIAMI, FL 33138
T. (786) 518-2008

LIGHTING CONSULTANT:

LUX POPULI S.A. de C.V.
Arteaga 27, San Angel
Mexico City, CP 01000, Mexico
T: +55 5025 9105

28 STAR ISLAND
MIAMI BEACH, FLORIDA 33139

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REV	DATE	DESCRIPTION

SEAL

URBAN ROBOT LLC
AA28002760 IB28001534 LC28000510

2009
PROJECT NO.

September 24, 2021
DATE

JJ / SV / CS / EL / IH
DRAWN / CHECKED

MAIN HOUSE
EXTERIOR
ELEVATIONS

A-302

DERM



OCEAN ENGINEERING

APPROVED

CIVIL ENGINEERING CONSULTANTS

MIAMI BEACH

STORMWATER DRAINAGE CALCULATION BUILDING DEPARTMENT

FOR



28 STAR ISLAND
28 EAST STAR ISLAND DRIVE
MIAMI BEACH, FL 33139

October 2021

Prepared by:

WALTER M. LUGO, P.E.
Florida Registration # 61747
Ocean Engineering, Inc.
8101 Biscayne Blvd. Ste. 508
Miami, FL 33138
CA 29490

This item has been digitally signed and sealed by
Walter M. Lugo, P.E., on date adjacent to the seal.
Printed copies of this document are not considered
signed and sealed and the signature must be
verified on any electronic copies.

28 STAR ISLAND

DERM
APPROVED

MIAMIBEACH
BUILDING DEPARTMENT

DRAINAGE WELL CALCULATIONS

28 STAR ISLAND

Miami Dade County Department of Regulatory and Economic Resources - Job Copy
0222003595 - 2/11/2022 12:30:29 PM
2021-10-27 28StarIsland Drainage Repor_signedt.pdf

DERM APPROVED

MIAMI BEACH
BUILDING DEPARTMENT

28 STAR ISLAND
28 East Star Island Drive Miami, FL

BASIN INFORMATION FOR PROP. DRAINAGE SYSTEM

Storm frequency, T= **10** Years
 Minimum time of Concentration, t_c= **10** Min.
 The IDF relation used by DERM, I = 308.5/(48.6T^{0.11}+t(0.5895+T^{-0.67}))
 Intensity, I = 6.74 (Inch/Hour)

RATIONAL METHOD PEAK RUNOFF CALCULATIONS

DRAINAGE BASIN ID	TOTAL DRAINAGE BASIN AREA (AC)	IMPERVIOUS AREA (AC)	PERVIOUS AREA (AC)	WEIGHTED "C" VALUE	CONTRIBUTING DRAINAGE AREA (CXA)	INTENSITY "I" (INCH/HR)	PEAK RUNOFF (Q=CIA) (CFS)
Site	0.19	0.19		0.95	0.18	6.74	1.20

DRAINAGE WELL DESIGN

Well Discharge Capacity: **450** gpm/ft of head.
 Well Discharge Capacity: **1.00** cfs/ft
 Well Diameter: **24** inches
 Drainage Well Casing Depth: **80** feet
 Well Mounding: **1.76** ft.
 Ground Water Table: **2.00** ft. N.G.V.D.
 Provided Well Structures Min. Top Elevation: **8.00** ft. N.G.V.D.

DRAINAGE BASIN ID	AVAILABLE EFFECTIVE HEAD (FT. NGVD)	WELL CAPACITY (CFS/WELL)	DRAINAGE BASIN AREA (AC.)	PEAK RUNOFF (CFS)	NUMBER OF WELLS PROPOSED	TOTAL WELLS CAPACITY (CFS)	SAFETY FACTOR
Site	4.24	4.25	0.188	1.20	1.00	4.25	3.53

CALCULATIONS FOR 90 SEC. RETENTION TIME

DRAINAGE STRUCTURE ID	WELL STRUCTURE DIMENSIONS		DRAINAGE STRUCTURE RIM ELEVATION (FT. N.G.V.D.)	WELL CASING ELEVATION (NGVD)	PEAK RUNOFF (CFS)	90 SEC. RETENTION VOLUME (CF)	REQUIRED Hmin. (FT.)	PROVIDED Hmin. (ft.)
	WIDTH (FT.)	LENGTH (FT.)						
DW-1	5.00	5.00	6.75	3.25	1.20	108	4.33	4.50



2021-ALLOCATION-03960
DERM
APPROVED

12/29/2021

Issued Date: 12/29/2021

QRIAR ISLAND CORP
5004 NORTH BAY RD
MIAMI BEACH, FL 33140

DAMIAN GALLO
775-17 ST
MIAMI BEACH, FL 33139

RE: Sanitary Sewer Certification of Adequate Capacity

MIAMIBEACH
BUILDING DEPARTMENT

The Miami-Dade County Department of Regulatory and Economic Resources (RER) has received your application for approval of additional sewer flows for the following project which is more specifically described in the attached project summary.

Project Name: New SFR / M2022003595
Project Location: 28 STAR ISLAND DR, MIAMI BEACH, FL 33139
Previous Use: Vacant land
Proposed Use: New SFR : 17,300 sf under A/C @ 510 GPD.
Previous Flow: 0 GPD
Total Calculated Flow: 510 GPD
Allocated Flow (additional sewer flows): 510 GPD
Sewer Utility: CITY OF MIAMI BEACH
Receiving Pump Station: 02 - 0002

RER has evaluated your request in accordance with the terms and conditions set forth in Appendix A of the Consent Decree (CASE No. 1:12-CV-24400-FAM) between the United States of America and Miami-Dade County. RER hereby certifies that adequate treatment and transmission capacity is available for the above described project, pursuant to the criterion stipulated in Appendix A of said Consent Decree.

Furthermore, be advised that this approval does not constitute departmental approval for the proposed project and is subject to the terms and conditions set forth in the Consent Decree. Additional reviews and approvals may be required from other sections having jurisdiction over specific aspects of this project. Also, be advised that the gallons per day (GPD) flow determination indicated herein are for sewer allocation purposes only (in compliance with the Consent Decree requirements) and may not be representative of GPD flows used in calculating connection fees by the utility providing the service.

Be advised that this Sanitary Sewer Certification of Adequate Capacity (this letter) will expire within 90 days of the issue date if the applicant does not obtain a building process number from the corresponding building official. However, if the building process number has already been obtained, this letter will expire within 180 days of the expiration date of the process number. Finally, if a Building Permit was secured for this project, this letter will expire within 150 days of the expiration date of the Building Permit.

Should you have any questions regarding this matter, please contact the Miami-Dade Permitting and Inspecting Center (MDPIC) (786) 315-2800 or RER Office of Plan Review Services, Downtown Office (305) 372-6789.

Sincerely,

Lee N. Hefty
Director of Environmental Resources Management

For/By: _____
Yuly Hernandez, Engineer III - Environmental Plan Review.
Department of Regulatory and Economic Resources.

DERM

Sanitary Sewer Certification of Adequate Capacity Project Summary:

APPROVED

Owner's Name: QRIAR ISLAND CORP
Owner's Address: 5004 NORTH BAY RD
MIAMI BEACH, FL 33140

EEOS Allocation Number: 2021-ALLOCATION-03960

Project: New SFR / M2022003595

Proposed Use: New SFR : 17,300 sf under A/C @ 510 GPD.

Pump Station: 02-0002
Projected NAPOT: 3.07
Proposed Projected NAPOT: 3.08

MIAMIBEACH
BUILDING DEPARTMENT

Folio	Lot/Block Bldg Proc #	Address	Flow (GPD)	Sewer Status	Sewer Cert Date	Sewer Recert Date	Exp. Date
0242040010235	28/ BR2106013	28 STAR ISLAND DR, MIAMI BEACH	510	APP	12/29/2021		
Total:			510 GPD				



DERM

Miami-Dade County

Department of Regulatory & Economic Resources

Division of Environmental Resources Management DERM #: 022003595

Sewer Capacity Certification Letter Application

dermplnreview@miamidade.gov

West Office (PIC) 786-315-2800

Downtown Office (OTV) 305-372-6899

Instructions: You must fill out this application to obtain a sewer certification allocation letter which is a required step in obtaining your building permit.

Step 1: Completely fill out sections 1a, 1b, and 1c, and complete the affidavit on the reverse side of this application including the notarized signature of the property owner or the authorized representative. Please note: Assignment of the authorized representative must be in the form of a notarized authorization letter from the property owner.

MIAMI-DADE COUNTY
BUILDING DEPARTMENT

Step 2: Have your utility (if not part of the MDWASD utility service area) certify the pump station information for your project in Section 2.

Step 3: Once your application has been certified by your utility, bring the completed application to one of the DERM Plan Review offices for processing

RESIDENTIAL (SINGLE FAMILY & DUPLEX) FEE up to 5 building sites: \$90.00 plus \$10 per additional building site.
 COMMERCIAL FEE: \$120 for the first site plus \$10 for each additional building site. All fees subject to a 7.5% surcharge.
 Please make checks payable to: Miami-Dade County
 APPLICATIONS WILL NOT BE ACCEPTED IF THE NECESSARY INFORMATION AND SIGNATURES ARE NOT PROVIDED.

Section 1a

Contact Name: Damian Gallo **Phone:** 305-522-5215 **Email:** dgallojr@permitdoctor.com

Applicant Information

Name (title): Damian Gallo (President)

Company name: PERMIT DOCTOR

Address: 775 - 17 Street

City: Miami Beach State: FL Zip: 33139

Phone: 305-522-5215

Email: dgallojr@permitdoctor.com

Property Owner Information

Name (title): _____

Company name: QRIAR ISLAND CORP

Address: 5004 NORTH BAY RD

City: MIAMI BEACH, State: FL Zip: 33140

Phone: _____

Email: _____

Section 1b

Property Information

Project/Business Name: Residential FOUNDATION PERMIT

Address: 28 STAR ISLAND DR City: Miami Beach Zip: 33139

of units: _____ Type of units: _____ Folio: 0242040010235

Lot & Block # (s): 28 / _____ Subdivision: STAR ISLAND CORRECTED

Be sure to include a Lot & Block # for each unit to be developed. You may attach an additional list if necessary. If Lot & Block are unavailable, submit a track number, survey, site plan or sketch that includes all property boundaries. For undeveloped land, you may submit a master folio number for the entire property.

Section 1c

Project Details

Proposed Flow: _____ GPD Previous Flow: _____ GPD Estimated Completion Date: _____

Process #: BR2106013 City: Miami Beach Sewer Extension #: _____

Previous Use: VACANT LAND

Proposed Use/Project Description (**including SQ FT**): Residential FOUNDATION PERMIT / 17,300/The home is 4 levels, but understory and roof are non-habitable, so only 2 habitable floors. The proposed square footage of the home is 19,999sf,

BUT only 17,300 sf is A/C space.

Section 2

To be completed by utility company only

Utility Providing Service: _____ Date: _____

Pump Station Receiving Flow: _____ Located at: _____

Sewer abutting the Property (YES / NO) (FORCEMAIN / GRAVITY)

Lateral Connection (NEW / EXISTING) Point of Connection: _____

Utility Official Name: _____ Signature: _____ Phone #: _____

SEWER SERVICE CONNECTION AFFIDAVIT

DERM
APPROVED

I/we, the undersigned, being first duly sworn, depose and say that I/we have applied for a sewer service connection for (project description) _____ in accordance with the provisions of Appendix A of the Consent Decree (U.S. No. 1:12-CV-24400-FAM) between the United States of America and Miami-Dade County. I/we understand and attest that we are ready, willing and able to initiate construction as required below:

1. Apply for a building permit with the appropriate building official(s) within ninety (90) days from the date of issuance of written approval of the newly authorized sewer service connection. If I/we fail to apply for a building permit as specified above, pursuant to the provisions of Appendix A of the Consent Decree (CASE No. 1:12-CV-24400-FAM) between the United States of America and Miami-Dade County the newly authorized sewer service connection shall automatically be null and void of no further force and effect.
2. Obtain the approved building permit within one hundred and eighty (180) days of having filed the application of a building permit pursuant to the current Florida Building Code or as it may be amended from time to time. If I/we fail to obtain the approved building permit as specified above, and fail to obtain an extension of time from the appropriate building official(s) the newly authorized sewer system connection and building permit approval shall automatically be null and void and of no further force and effect and
3. Commence construction of the project within one hundred eight (180) days of issuance of the building permit pursuant to the current Florida Building Code or as it may be amended from time to time. If I/we fail to commence such construction as specified above, the building permit and the newly authorized sewer system connection shall automatically be null and void and be of no further force and effect.

MIAMI BEACH
BUILDING DEPARTMENT

Once work has commenced and the permit is revoked or becomes null and void, the newly authorized sewer service connection shall automatically be null and void and be of no further force and effect. If the building permit expires the newly authorized sewer service connection shall expire within 150 days of the expiration date of the building permit.

Similarly, I/we understand and attest that we are ready, willing and able to obtain a Certificate of Use or Municipal Occupational License for any changes in a facility's use that results in an increase of wastewater flows within ninety (90) days from the date of issuance of written approval of the newly authorized sewer service connection. If I/we fail to obtain a Certificate of Use or Municipal Occupational License as specified above, the newly authorized sewer service connection automatically shall be null and void of no further force and effect.

Furthermore, I/we hereby acknowledge and recognize that the newly authorized sewer service connection does not constitute the approval of a building permit application, Certificate of Use or Municipal Occupational License by the Department, but rather only a certification that adequate capacity exists in the sanitary sewer collection, transmission, and treatment system for the proposed project in accordance with the provisions of Appendix A of the Consent Decree (CASE No. 1:12-CV-24400-FAM) between the United States of America and Miami-Dade County. I/we are hereby duly informed that the building permit application, building construction plans, Certificate of Use application, Municipal Occupational License application and/or any supporting or required documentation may require the review and approval of the Division of Environmental Resources Management in accordance with the requirements of Chapter 24 of the Miami-Dade County Code, as may be amended from time to time.

Applicant

Damian Gallo
Name in Print and Title

Permit Doctor
Name in Print and Title

Company Name _____
Signature _____
State of Florida County of Miami-Dade
Sworn to and subscribed before me this _____ day of _____, 20____ by _____
 Personally known or Produced Identification

Notary Public _____

JOSE DAMIAN GALLO
COMMISSION # HH 074902
EXPIRES: January 5, 2025
Bonded Third Notary Public Underwriters

Property Owner

Luis Felipe
Name in Print and Title

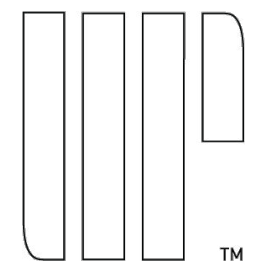
Company Name _____
Signature _____
State of Florida County of Miami-Dade
Sworn to and subscribed before me this 14th day of December, 2021 by Amanda Gonzalez
 Personally known or Produced Identification

Notary Public _____

Notary Public State of Florida
Amanda Nicole Gonzalez
My Commission
HH 187995
Exp. 10/17/2025

FOR REFERENCE ONLY

ARCHITECT
 LANDSCAPE ARCHITECT



URBAN ROBOT LLC
 420 LINCOLN ROAD, S. 600
 MIAMI BEACH, FL 33139
 T. 786.246.4857

OWNER:

LUIS FELIPE NEIVA SILVEIRA
 28 STAR ISLAND
 MIAMI BEACH, FL 33139

DESIGN ARCHITECT:

SAOTA
 109 HATFIELD STREET GARDENS
 CAPE TOWN 8001, SOUTH AFRICA
 T: +27 (0)21 488 4400

STRUCTURAL ENGINEER:

YHCE ENGINEERING
 99 NW 27 AVENUE
 MIAMI, FL 33125
 T: (305) 969-YHCE F: (305) 969-9453

MEP ENGINEER:

CREDO @ Consulting Engineers, LLC
 800 EAST BROWARD BLVD., SUITE 601
 FORT LAUDERDALE, FL 33301
 T: (954) 763-2246 F: (954) 763-2247

CIVIL ENGINEER:

OCEAN ENGINEERING INC.
 8101 BISCAYNE BLVD., UNIT 508
 MIAMI, FL 33138
 T: (786) 515-2008

LIGHTING CONSULTANT:

LUX POPULI S.A. de C.V.
 Arriaga 27, San Angel
 Mexico City, CP 01000, Mexico
 T: +52 5025 9105

28 STAR ISLAND
 MIAMI BEACH, FLORIDA 33139

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS.

REV	DATE	DESCRIPTION

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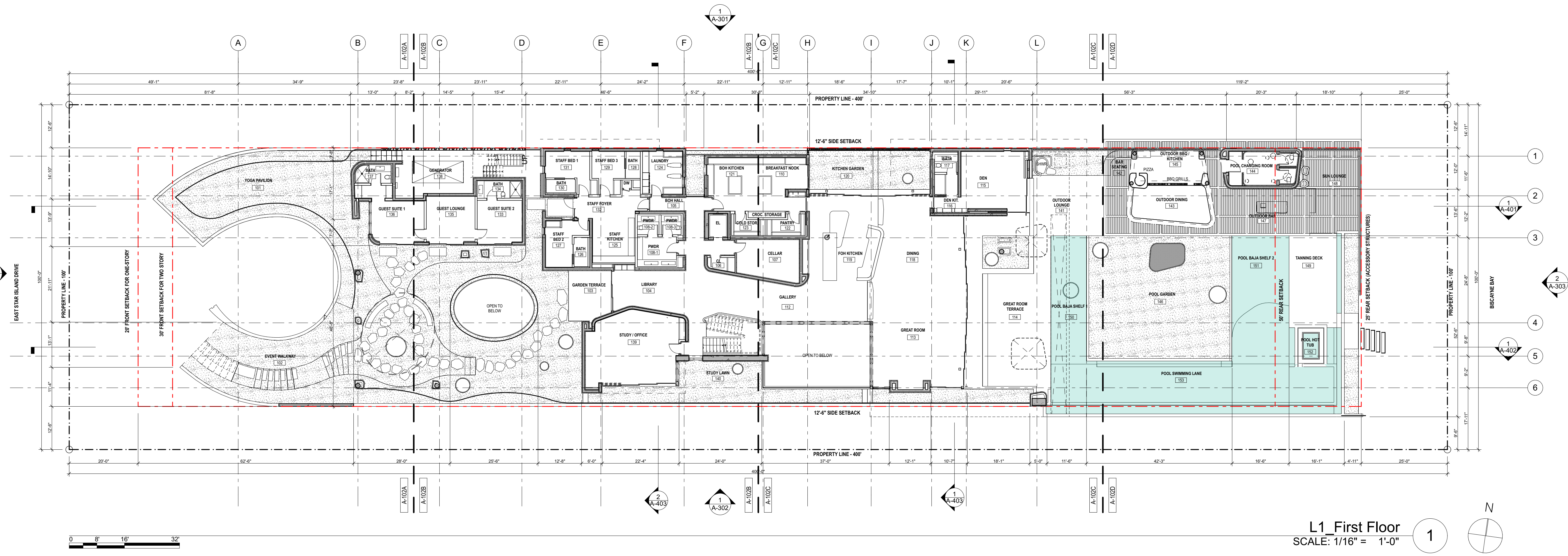
URBAN ROBOT
 AA28002760 1826001534 LC26000510

2009
 PROJECT NO.
 DATE

JJ / SV / CS / EL / IH
 DRAWN / CHECKED

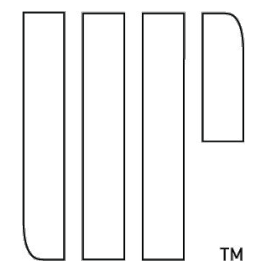
FIRST FLOOR - OVERALL FLOOR PLAN (FOR REFERENCE)

A-102



FOR REFERENCE ONLY

ARCHITECT LANDSCAPE ARCHITECT



URBAN ROBOT LLC
420 LINCOLN ROAD, S. 600
MIAMI BEACH, FL 33139
T. 786.246.4857

OWNER:

LUIS FELIPE NEIVA SILVEIRA
28 STAR ISLAND
MIAMI BEACH, FL 33139

DESIGN ARCHITECT:
SAOTA
109 HATFIELD STREET GARDENS
CAPE TOWN 8001, SOUTH AFRICA
T: +27 (0)21 488 4400

STRUCTURAL ENGINEER:

YHCE ENGINEERING
99 NW 27 AVENUE
MIAMI, FL 33125
T: (305) 969-YHCE F: (305) 969-9453

MEP ENGINEER:

CREDO @ Consulting Engineers, LLC
800 EAST BROWARD BLVD., SUITE 601
FORT LAUDERDALE, FL 33301
T: (954) 763-2248 F: (954) 763-2247

CIVIL ENGINEER:

OCEAN ENGINEERING INC.
8101 BISCAYNE BLVD., UNIT 508
MIAMI, FL 33138
T: (786) 518-2008

LIGHTING CONSULTANT:

LUX POPULI S.A. de C.V.
Artega 27, San Angel
Mexico City, CP 01000, Mexico
T: +55 5025 9105

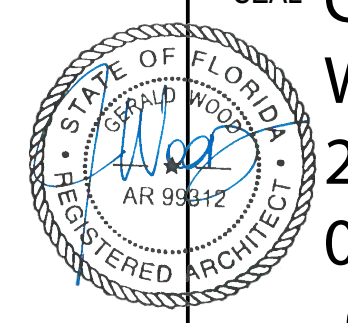
28 STAR ISLAND
MIAMI BEACH, FLORIDA 33139

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REV	DATE	DESCRIPTION

SEAL Gerald A

Wood
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URBAN RCT# 220002760 1826001534 LC26000510

2009

PROJECT NO.

September 24, 2021

DATE

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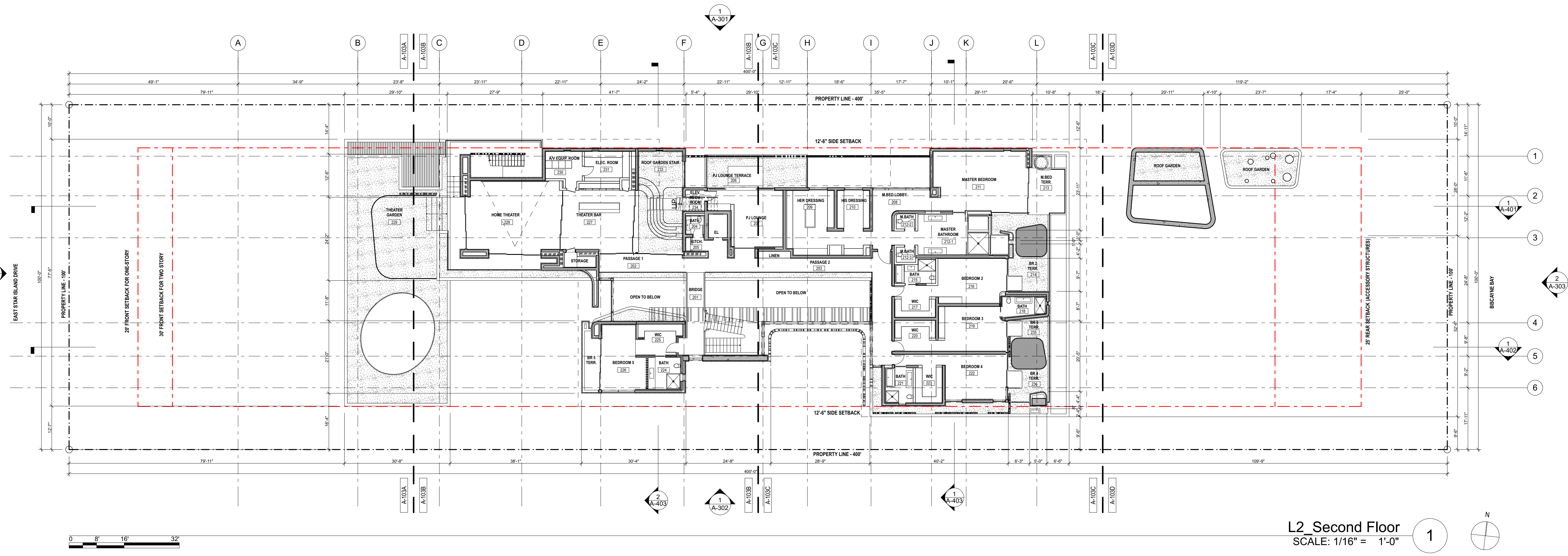
DRAWN / CHECKED

SECOND FLOOR -

OVERALL FLOOR PLAN

(FOR REFERENCE)

A-103



L2 Second Floor
SCALE: 1/16" = 1'-0"

FOR D.M.B. USE ONLY



URBAN ROBOT LLC
420 LINCOLN ROAD, S. 600
MIAMI BEACH, FL 33139
T. 786.246.4857

OWNER:

LUIS FELIPE NEIVA SILVEIRA
28 STAR ISLAND
MIAMI BEACH, FL 33139

DESIGN ARCHITECT:

SAOTA
109 HATFIELD STREET GARDENS
CAPE TOWN 8001, SOUTH AFRICA
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FORT LAUDERDALE, FL 33301
T: (954) 763-2248 F: (954) 763-2247

CIVIL ENGINEER:

OCEAN ENGINEERING INC.
8101 BISCAYNE BLVD., UNIT 508
MIAMI, FL 33138
T: (786) 518-2008

LIGHTING CONSULTANT:

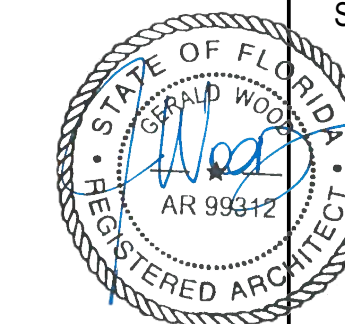
LUX POPULI S.A. de C.V.
Artega 27, San Angel
Mexico City, CP 01000, Mexico
T: +55 5025 9105

28 STAR ISLAND
MIAMI BEACH, FLORIDA 33139

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REVISIONS table with columns for Rev, Date, and Description.

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2009 PROJECT NO.

September 24, 2021 DATE

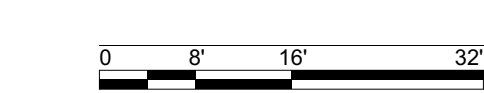
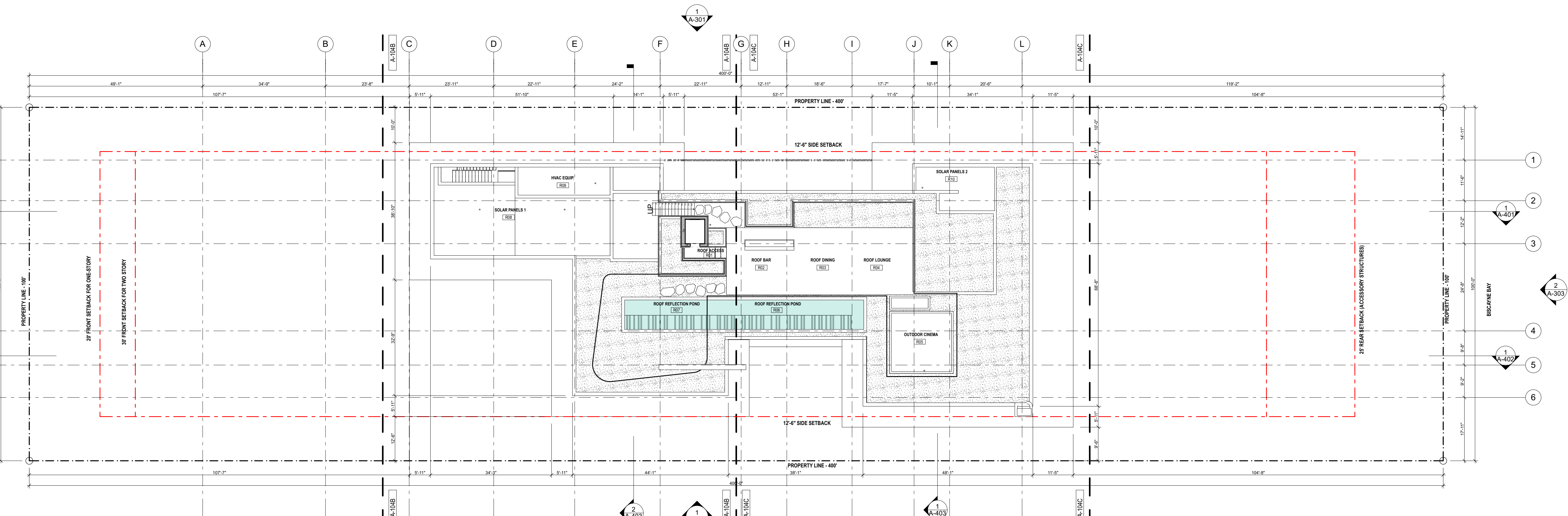
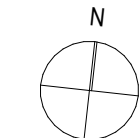
JJ / SV / CS / EL / IH DRAWN / CHECKED

ROOF LEVEL - OVERALL FLOOR PLAN (FOR REFERENCE)

A-104

FOR REFERENCE ONLY

R1_Roof Level
SCALE: 1/16" = 1'-0"



Grid lines 1-17 and M-A with vertical and horizontal dimensions.

FOR REFERENCE ONLY

ARCHITECT
 LANDSCAPE ARCHITECT



URBAN ROBOT LLC
 420 LINCOLN ROAD, S. 600
 MIAMI BEACH, FL 33139
 T. 786.246.4857

OWNER:

LUIS FELIPE NEIVA SILVEIRA
 28 STAR ISLAND
 MIAMI BEACH, FL 33139

DESIGN ARCHITECT:

SAOTA
 109 HATFIELD STREET GARDENS
 CAPE TOWN 8001, SOUTH AFRICA
 T: +27 (0)21 488 4400

STRUCTURAL ENGINEER:

YHCE ENGINEERING
 99 NW 27 AVENUE
 MIAMI, FL 33125
 T. (305) 969-7400 F. (305) 969-9453

MEP ENGINEER:

CREDO Consulting Engineers, LLC
 800 EAST BROWARD BLVD., SUITE 601
 FORT LAUDERDALE, FL 33301
 T. (954) 763-2246 F. (954) 763-2247

CIVIL ENGINEER:

OCEAN ENGINEERING INC.
 8101 BISCAYNE BLVD., UNIT 508
 MIAMI, FL 33138
 T. (786) 518-2008

LIGHTING CONSULTANT:

LUX POPULI S.A. de C.V.
 Artesaga 27, San Angel
 Mexico City, CP 01000, Mexico
 T: +55 5025 9105

28 STAR ISLAND
 MIAMI BEACH, FLORIDA 33139

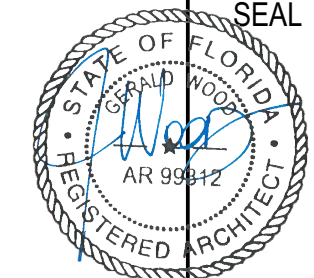
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REVISIONS

Rev	Date	Description

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URBAN ROBOT LLC
 AA28002760 IB26001534 LC26000510

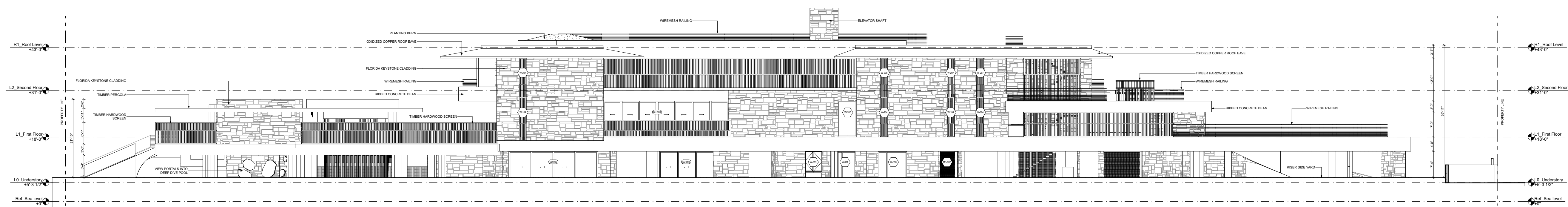
2009
 PROJECT NO.

September 24, 2021
 DATE

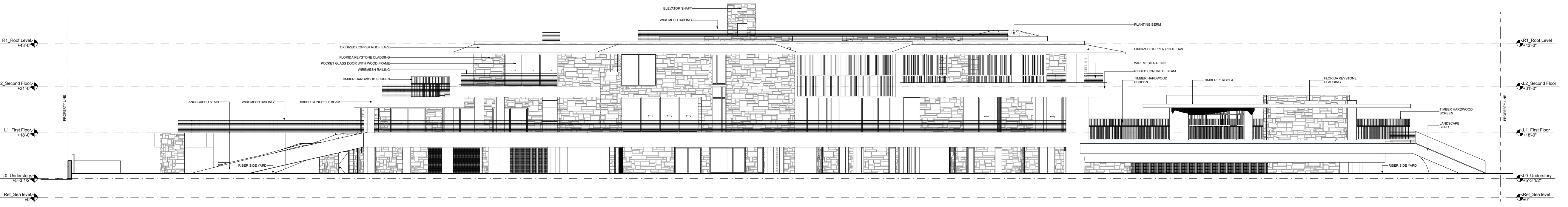
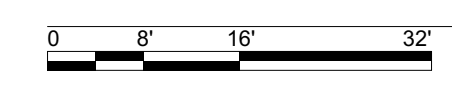
JJ / SV / CS / EL / IH
 DRAWN / CHECKED

MAIN HOUSE EXTERIOR ELEVATIONS (FOR REFERENCE)

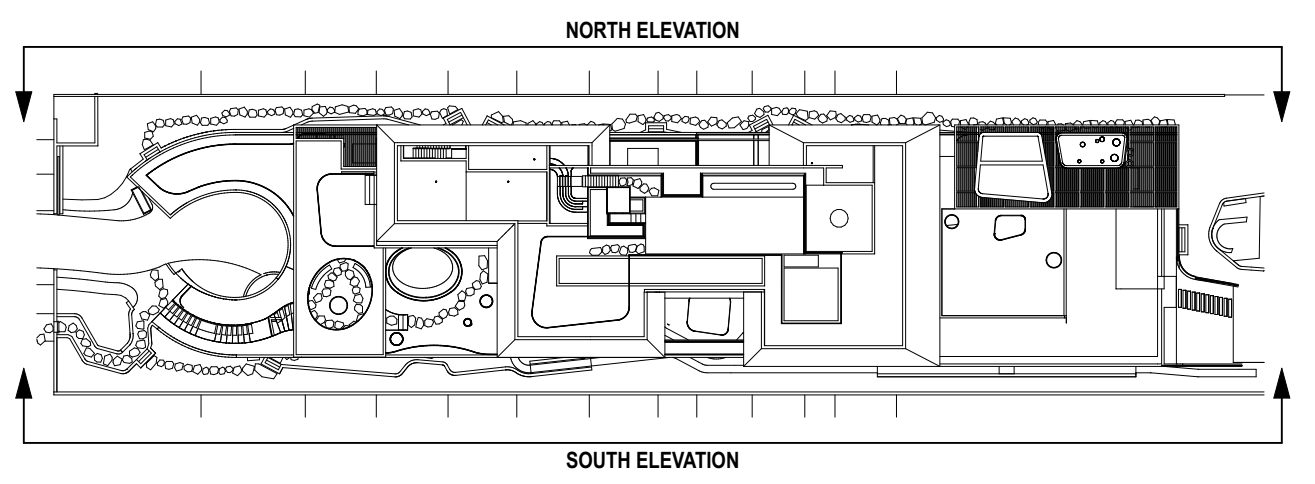
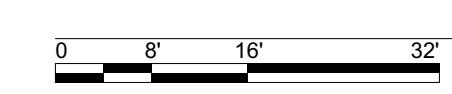
A-301



NORTH ELEVATION
 SCALE: 1/16" = 1'-0" 1



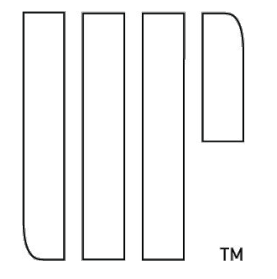
SOUTH ELEVATION
 SCALE: 1/16" = 1'-0" 2



Key Plan
 SCALE: 1/64" = 1'-0"

FOR REFERENCE ONLY

ARCHITECT
 LANDSCAPE ARCHITECT



URBAN ROBOT LLC
 420 LINCOLN ROAD, S. 600
 MIAMI BEACH, FL 33139
 T. 786.246.4857

OWNER:
LUIS FELIPE NEIVA SILVEIRA
 28 STAR ISLAND
 MIAMI BEACH, FL 33139

DESIGN ARCHITECT:
SAOTA
 109 HATFIELD STREET GARDENS
 CAPE TOWN 8001, SOUTH AFRICA
 T: +27 (0)21 488 4400

STRUCTURAL ENGINEER:
YHCE ENGINEERING
 99 NW 27 AVENUE
 MIAMI, FL 33125
 T: (305) 969-5HCE F: (305) 969-9453

MEP ENGINEER:
CREDO Consulting Engineers, LLC
 800 EAST BROWARD BLVD., SUITE 601
 FORT LAUDERDALE, FL 33301
 T: (954) 763-2246 F: (954) 763-2247

CIVIL ENGINEER:
OCEAN ENGINEERING INC.
 8101 BISCAYNE BLVD., UNIT 508
 MIAMI, FL 33138
 T: (786) 518-2008

LIGHTING CONSULTANT:
LUX POPULI S.A. de C.V.
 Artega 27, San Angel
 Mexico City, CP 01000, Mexico
 T: +55 5025 9105

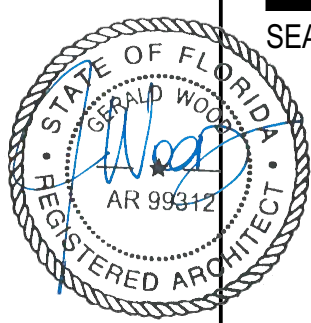
28 STAR ISLAND
 MIAMI BEACH, FLORIDA 33139

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REVISIONS

Rev	Date	Description

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 ARCHITECT
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URBAN ROBOT LLC
 AA28002760 IB26001534 LC26000510

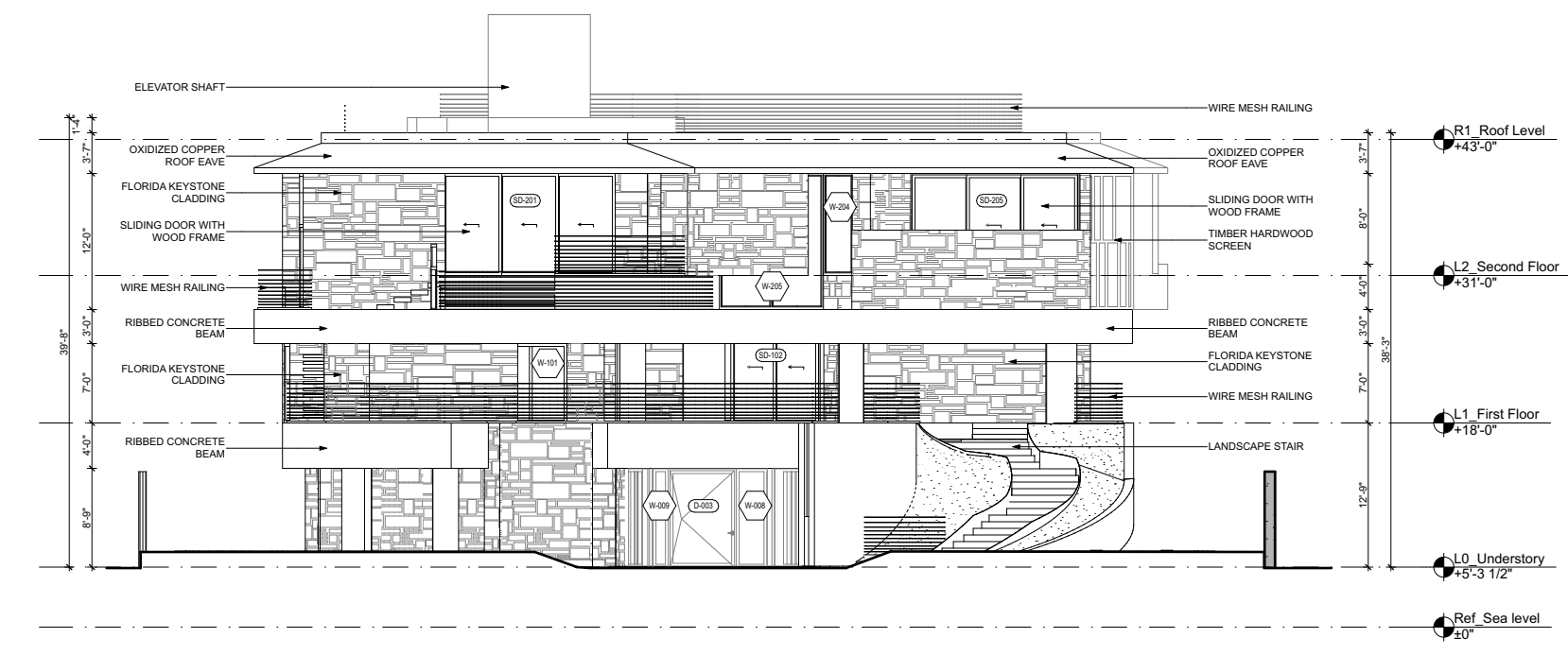
2009 PROJECT NO.

September 24, 2021 DATE

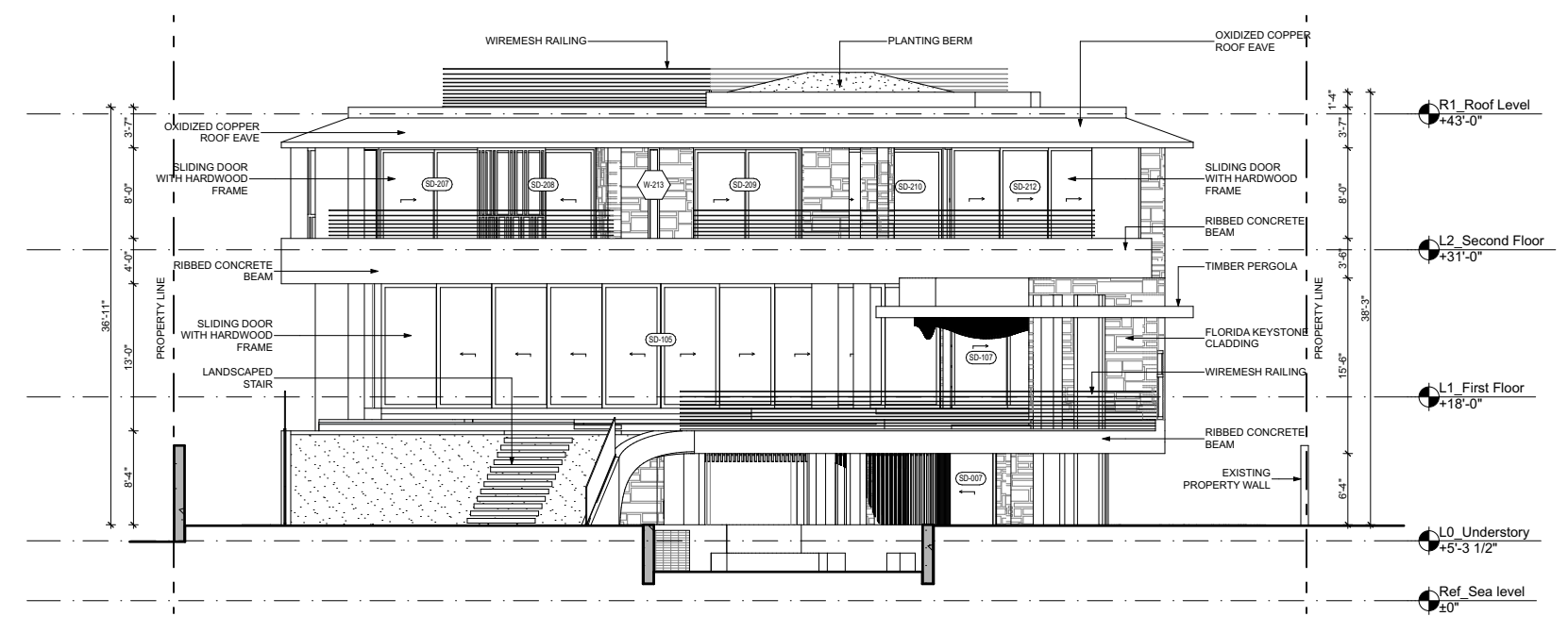
JJ / SV / CS / EL / IH DRAWN / CHECKED

MAIN HOUSE EXTERIOR ELEVATIONS (FOR REFERENCE)

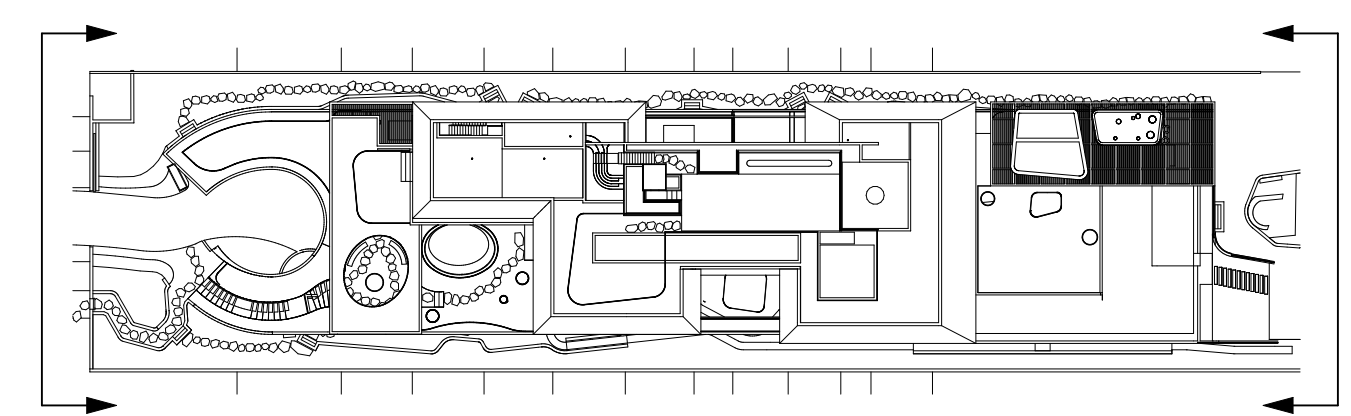
A-302



WEST ELEVATION
 SCALE: 1/16" = 1'-0" 2



EAST ELEVATION
 SCALE: 1/16" = 1'-0" 1



Key Plan
 SCALE: 1/64" = 1'-0"



DERM

Miami-Dade County

Department of Regulatory & Economic Resources

Division of Environmental Resources Management DERM #:

APPROVED

Sewer Capacity Certification Letter Application

dermplanreview@miamidade.gov

West Office (PIC) 786-315-2800

Downtown Office (OTV) 305-372-6789

Instructions: You must fill out this application to obtain a sewer certification allocation letter which is a required step in obtaining your building permit.
Step 1: Completely fill out sections 1a, 1b, and 1c, and complete the affidavit on the reverse side of this application including the notarized signature of the property owner or the authorized representative. Please note: Assignment of the authorized representative must be in the form of a notarized authorization letter from the property owner.

MIAMI BEACH
BUILDING DEPARTMENT

Step 2: Have your utility (if not part of the MDWASD utility service area) certify the pump station information for your project in Section 2.

Step 3: Once your application has been certified by your utility, bring the completed application to one of the DERM Plan Review offices for processing

RESIDENTIAL (SINGLE FAMILY & DUPLEX) FEE up to 5 building sites: \$90.00 plus \$10 per additional building site.

COMMERCIAL FEE: \$120 for the first site plus \$10 for each additional building site.

Please make checks payable to: **Miami-Dade County**

APPLICATIONS WILL NOT BE ACCEPTED IF THE NECESSARY INFORMATION AND SIGNATURES ARE NOT PROVIDED.

Section 1a

Contact Name:

Phone:

Email:

Applicant Information

Name (title): _____

Company name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____

Email: _____

Property Owner Information

Name (title): _____

Company name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____

Email: _____

Section 1b

Property Information

Project/Business Name: _____

Address: _____ City: _____ Zip: _____

of units: _____ Type of units: _____ Folio: _____

Lot & Block # (s): _____ / _____ Subdivision: _____

Be sure to include a Lot & Block # for each unit to be developed. You may attach an additional list if necessary. If Lot & Block are unavailable, submit a track number, survey, site plan or sketch that includes all property boundaries. For undeveloped land, you may submit a master folio number for the entire property.

Section 1c

Project Details

Proposed Flow: _____ GPD Previous Flow: _____ GPD Estimated Completion Date: _____

Process #: _____ City: _____ Sewer Extension #: _____

Previous Use: _____

Proposed Use/Project Description (**including SQ FT**): _____

Section 2

To be completed by utility company only

Utility Providing Service: _____ Date: _____

Pump Station Receiving Flow: _____ Located at: _____

Sewer abutting the Property (YES / NO) (FORCEMAIN / GRAVITY)

Lateral Connection (NEW / EXISTING) Point of Connection: _____

Utility Official Name: _____ Signature: _____ Phone #: _____

SEWER SERVICE CONNECTION AFFIDAVIT

DERM APPROVED

I/we, the undersigned, being first duly sworn, depose and say that I/we have applied for a sewer service connection for (project description) _____ in accordance with the provisions of Appendix A of the Consent Decree (CASE No. 1:12-CV-24400-FAM) between the United States of America and Miami-Dade County. I/we understand and attest that we are ready, willing and able to initiate construction as required below:

- 1. Apply for a building permit with the appropriate building official(s) within ninety (90) days from the date of issuance of written approval of the newly authorized sewer service connection. If I/we fail to apply for a building permit as specified above, pursuant to the provisions of Appendix A of the Consent Decree (CASE No. 1:12-CV-24400-FAM) between the United States of America and Miami-Dade County the newly authorized sewer service connection shall automatically be null and void of no further force and effect.
2. Obtain the approved building permit within one hundred and eighty (180) days of having filed the application of a building permit pursuant to the current Florida Building Code or as it may be amended from time to time. If I/we fail to obtain the approved building permit as specified above, and fail to obtain an extension of time from the appropriate building official(s) the newly authorized sewer system connection and building permit approval shall automatically be null and void and of no further force and effect and
3. Commence construction of the project within one hundred eight (180) days of issuance of the building permit pursuant to the current Florida Building Code or as it may be amended from time to time. If I/we fail to commence such construction as specified above, the building permit and the newly authorized sewer system connection shall automatically be null and void and be of no further force and effect.

MIAMI BEACH BUILDING DEPARTMENT

Once work has commenced and the permit is revoked or becomes null and void, the newly authorized sewer service connection shall automatically be null and void and be of no further force and effect. If the building permit expires the newly authorized sewer service connection shall expire within 150 days of the expiration date of the building permit.

Similarly, I/we understand and attest that we are ready, willing and able to obtain a Certificate of Use or Municipal Occupational License for any changes in a facility's use that results in an increase of wastewater flows within ninety (90) days from the date of issuance of written approval of the newly authorized sewer service connection. If I/we fail to obtain a Certificate of Use or Municipal Occupational License as specified above, the newly authorized sewer service connection automatically shall be null and void of no further force and effect.

Furthermore, I/we hereby acknowledge and recognize that the newly authorized sewer service connection does not constitute the approval of a building permit application, Certificate of Use or Municipal Occupational License by the Department, but rather only a certification that adequate capacity exists in the sanitary sewer collection, transmission, and treatment system for the proposed project in accordance with the provisions of Appendix A of the Consent Decree (CASE No. 1:12-CV-24400-FAM) between the United States of America and Miami-Dade County. I/we are hereby duly informed that the building permit application, building construction plans, Certificate of Use application, Municipal Occupational License application and/or any supporting or required documentation may require the review and approval of the Division of Environmental Resources Management in accordance with the requirements of Chapter 24 of the Miami-Dade County Code, as may be amended from time to time.

Applicant
Name in Print and Title
Company Name
Signature
State of Florida County of Miami-Dade
Sworn to and subscribed before me this ___ day of ___, 20__ by ___
___ Personally known or ___ Produced Identification
Notary Public (SEAL)

Property Owner
Name in Print and Title
Company Name
Signature
State of Florida County of Miami-Dade
Sworn to and subscribed before me this ___ day of ___, 20__ by ___
___ Personally known or ___ Produced Identification
Notary Public (SEAL)

GENERAL NOTES AND SPECIFICATIONS

I. APPLICABLE CODES

1. ALL WORK AND MATERIALS SHALL CONFORM TO CURRENT CITY OF MIAMI BEACH AND MIAMI-DADE COUNTY STANDARDS AS WELL AS ALL LOCAL, STATE, AND NATIONAL CODES AND REGULATORY REQUIREMENTS, AS APPLICABLE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER AND IN STRICT COMPLIANCE WITH ALL THE REQUIREMENTS OF FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND ALL STATE AND LOCAL SAFETY AND HEALTH REGULATIONS.
3. LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER SITE FEATURES SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY BY OTHERS.
4. EXISTING UTILITIES TO BE ADJUSTED IN ACCORDANCE WITH PROPOSED GRADES AND REQUIREMENTS OF UTILITY OWNERS, AS REQUIRED.
5. EXISTING STRUCTURES, UTILITIES AND OTHER IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE, TREES SUCH AS BUILDING SEWERS, DRAINS, WATER OR GAS PIPES, CONDUITS, POLES, WALLS, COLUMNS, ETC., WHETHER OR NOT SHOWN ON THE PLANS, ARE TO BE CAREFULLY PROTECTED FROM DAMAGE. IF DAMAGE OCCURS FROM WORK PERFORMED UNDER THIS CONTRACT, THE CONTRACTOR SHALL PROMPTLY REPAIR THE DAMAGED ITEM(S) TO THE CONDITION OF THE ITEM(S) PRIOR TO THE DAMAGE. THIS WORK SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
6. THE CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD TRANSMISSION LINES AND UNDERGROUND UTILITIES.
7. CONTRACTOR SHALL PRESERVE ALL STREET SIGNS, PARKING METERS, BENCHES, TRAFFIC CONTROL SIGNS, ETC. WHEN DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL REINSTALL OR DELIVER SAID PUBLIC PROPERTY TO THE COUNTY YARD.
8. THE CONTRACTOR SHALL COORDINATE HIS/HERS WORK WITH ANY OTHER UTILITY AND BUILDING TRADES WORKING ON THIS OR ADJACENT PROJECT.
9. ALL DITCH EXCAVATION SHALL BE PERFORMED IN FULL COMPLIANCE WITH THE PROVISIONS OF THE FLORIDA TRENCH SAFETY ACT.
10. THE CONTRACTOR SHALL TAKE SPECIAL NOTE OF SOIL CONDITIONS THROUGHOUT THIS PROJECT. ANY SPECIAL SHORING, SHEETING OR OTHER PROCEDURES NECESSARY TO PROTECT ADJACENT PROPERTY, EITHER PUBLIC OR PRIVATE, DURING EXCAVATION OF SUBSOIL MATERIAL OR DURING THE FILLING OF ANY AREA, OR FOR ANY OPERATION DURING CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

II. PRECONSTRUCTION RESPONSIBILITIES

1. THE INFORMATION PROVIDED IN THESE PLANS IS TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF THE CONDITIONS WHICH MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT ANY INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSIONS REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED AND UPON WHICH THEIR BIDS WILL BE BASED.
2. 48 HOURS BEFORE BEGINNING CONSTRUCTION IN THE AREA, THE CONTRACTOR SHALL NOTIFY SUNSHINE STATE CALL ONE OF FLORIDA, INC. AT 1-800-432-4770 AND ANY OTHER UTILITIES WHICH MIGHT BE AFFECTED.
3. UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER, AND THE ENGINEER OF RECORD.
4. THE CONTRACTOR SHALL APPLY FOR AND PROCURE ALL PERMITS AND LICENSES, PAY ALL CHARGES, TAXES, ROYALTIES & FEES, AND GIVE ALL NOTICES NECESSARY TO COMPLETE THIS PROJECT. (WITH THE EXCEPTION OF DRAINAGE AND WATER & SEWER APPROVALS FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND FDOT WHICH WILL BE OBTAINED BY THE ENGINEER OF RECORD.)
5. THE CONTRACTORS SHALL COORDINATE WITH UTILITY COMPANIES TO ARRANGE FOR ANY REMOVAL, RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK, IF APPLICABLE.
6. THE LOCATIONS OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL LOCATE AND EXPOSE ALL EXISTING UTILITIES TO BE CONNECTED SUFFICIENTLY AHEAD OF CONSTRUCTION TO ALLOW REDESIGN BY THE ENGINEER IF SUCH UTILITIES ARE FOUND TO BE DIFFERENT THAN THOSE SHOWN ON PLANS.

III. INSPECTION AND TESTING

- THE ENGINEER SHALL REQUIRE A COLOR T.V. SURVEY AND SHALL REQUIRE AN EXFILTRATION/INFILTRATION TEST PRIOR TO ACCEPTANCE. THE SURVEY AND TESTING SHALL BE AT THE CONTRACTOR'S EXPENSE.
- INSPECTIONS:
 THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION AND PRIOR TO THE INSPECTION OF THE FOLLOWING ITEMS:
- 1.) STORM DRAINAGE
 - 2.) SANITARY SEWER
 - 3.) WATER SYSTEM SUBGRADE - SUBMIT AND HAVE APPROVED DENSITIES PRIOR TO PLACEMENT OF ROCK.
 - 4.) LIMEROCK BASE - SUBMIT AND HAVE APPROVED DENSITIES AND AS-BUILTS PRIOR TO THE PLACEMENT OF ANY ASPHALT.
 - 5.) ASPHALTIC CONCRETE
 - 6.) FINAL WALK-THROUGH INSPECTION
 - 7.) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL APPLICABLE REGULATORY AGENCIES FOR INSPECTION REQUIREMENTS.

IV. SHOP DRAWINGS

1. PRIOR TO CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD FOR THE FOLLOWING ITEMS: WATER/SEWER MAIN PIPING AND ASSOCIATED FITTINGS, CATCH BASINS AND ALL OTHER DRAINAGE STRUCTURES, DRAINAGE PIPE, BALLAST ROCK, EXFILTRATION TRENCH FILTER FABRIC. IN ADDITION, SOME CITIES, COUNTIES, STATE AND/OR NATIONAL REGULATORY AGENCIES REQUIRE THEIR OWN INDIVIDUAL REVIEW AND APPROVAL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY SHOP DRAWING APPROVALS IF REQUIRED.

V. TEMPORARY FACILITIES

1. TEMPORARY FACILITIES
 - A. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES, AND ELECTRICITY, DURING CONSTRUCTION.
 - B. THE CONTRACTOR SHALL MAINTAIN AT LEAST ONE ACCESS ENTRANCE TO COMMERCIAL PROPERTIES AT ALL TIMES, IF APPLICABLE.

- C. THE CONTRACTOR SHALL MAINTAIN A CLEAR PATH FOR ALL SURFACE WATER DRAINAGE STRUCTURES AND DITCHES DURING ALL PHASES OF CONSTRUCTION, IF APPLICABLE.
2. TRAFFIC REGULATION
 - A. THE CONTRACTOR SHALL PROVIDE ALL WARNING SIGNALS, SIGNS, LIGHTS AND FLAG PERSONS AS NECESSARY FOR THE MAINTENANCE OF TRAFFIC WITHIN PUBLIC RIGHT-OF-WAYS IN ACCORDANCE WITH M.U.T.C.D. AND FDOT.
 - B. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
 - C. NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT THE EXPRESS PERMISSION OF THE CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENT.

VI. PROJECT CLOSE OUT:

1. CLEANING UP
 - A. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEANUP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEP BROOM CLEAN.
 - B. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS/HER WORK, EQUIPMENT AND/OR EMPLOYEES TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS.
 - C. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZED EARTH, CURBS, DRIVEWAYS, SIDEWALKS, FENCES, MAILBOXES, SIGNS AND ANY OTHER IMPROVEMENTS REMOVED DURING CONSTRUCTION WITH THE SAME TYPE OF MATERIAL AND TO THE CONDITION WHICH EXISTED PRIOR TO THE BEGINNING OF OPERATIONS.
 - D. WHERE MATERIAL OR DEBRIS HAVE WASHED OR FLOWED INTO, OR HAVE BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING THE PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.
 - E. ALL DISPOSAL OF EXCESS AND UNSUITABLE EXCAVATED MATERIAL, DEMOLITION, VEGETATION, RUBBISH AND DEBRIS SHALL BE MADE OUTSIDE THE LIMITS OF CONSTRUCTION AT A LEGAL DISPOSAL SITE PROVIDED BY THE CONTRACTOR AT HIS/HER OWN EXPENSE, WITH THE PRIOR APPROVAL OF THE ENGINEER. MATERIAL CLEARED FROM THE SITE SHALL NOT BE DEPOSITED ON ADJACENT AND/OR NEARBY PROPERTY.
2. ALL PROPERTY MONUMENTS OR PERMANENT REFERENCES, REMOVED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
3. PROJECT RECORD DOCUMENTS
 - A. DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON HIS SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION, LENGTH AND ELEVATION OF ANY FACILITY NOT BUILT EXACTLY ACCORDING TO PLANS.
 - B. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH AS-BUILT GRADES AND LOCATIONS OF FINISHED PAVEMENT, SIDEWALKS, CURBS, AND ALL PHYSICAL IMPROVEMENTS. SUCH GRADES SHALL BE OBTAINED BY A LICENSED SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF FLORIDA, AND SHALL DOCUMENT THE INTENT OF THE PROPOSED GRADES SHOWN ON THE PLANS. THIS SHALL BE DONE AT NO COST TO THE OWNER.
4. CONTRACTOR TO REPLACE ALL FOUND PIPES WITH NAIL AND DISKS.

VII. STORM DRAINAGE

- GENERAL**
1. THE TRENCH FILTER FABRIC SHALL BE SELECTED FROM THE MANUFACTURERS AND FABRIC TYPES APPROVED BY THE MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT. IT SHALL BE USED TO WRAP ALL SIDES, BOTTOM AND TOP OF THE EXFILTRATION TRENCH. THE TOP SECTION OF THE MATERIAL SHALL BE LAPPED A MINIMUM OF 12 INCHES AND THE CONTRACTOR SHALL TAKE EXTREME CARE IN BACKFILLING TO AVOID BUNCHING OF THE FABRIC.
 2. SOLID AND PERFORATED STORM DRAINAGE PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE (H.D.P.E.) SELECTED FROM THE MANUFACTURES AND TYPES APPROVED BY THE MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT. PERFORATED PIPE SHALL TERMINATE 4'-0" FROM THE DRAINAGE STRUCTURE. THE REMAINING 4'-0" SHALL BE NON-PERFORATED PIPE.
 3. PROVIDE A MINIMUM PROTECTIVE COVER OF 24 INCHES OVER STORM SEWER AND AVOID UNNECESSARY CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION.
 4. THE CONTRACTOR SHALL PROTECT COMPLETED DRAINAGE STRUCTURES AND EXFILTRATION TRENCH SYSTEMS FROM CONTAMINATION OF SILT AND CONSTRUCTION DEBRIS. PLACE PLYWOOD ON, OR FILTER FABRIC BETWEEN, THE FRAME AND INLET GRATE UNTIL CONSTRUCTION OPERATIONS ARE FINISHED.

DPAD
 Class V Dewatering: A Class V dewatering permit is required and shall be obtained prior to the removal of water from the excavation area, please contact dermwatercontrol@miamidade.gov to apply for the permit.
DE TORRES, MAYRA, 1/28/2022 7:24:45 AM

VII. PAVING

1. GENERAL

- A. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIMEROCK BASE.
- B. ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
- C. WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT.
- D. PROPOSED ASPHALT PAVEMENT SHALL BE CONNECTED TO EXISTING AS PER CITY OF MIAMI BEACH STANDARD DETAILS. CONTRACTOR SHALL MATCH EXISTING ELEVATIONS ON NEW SIDEWALK OR NEW PAVEMENT.
- E. CONTRACTOR SHALL REMOVE AND DISPOSE OF THE EXISTING CONC. CURB, CURB & GUTTER, SIDEWALK AND ASPHALT WHERE NEW SIDEWALK, CURB & GUTTER AND MEDIAN IS PROPOSED TO BE CONSTRUCTED.
- F. NONE OF THE EXISTING LIMEROCK BASE THAT IS REMOVED IS TO BE INCORPORATED INTO THE PROPOSED LIMEROCK BASE.
- G. DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY, CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT INSPECTOR OR THE GEOTECHNICAL ENGINEER.

VIII. PAVEMENT MARKINGS AND TRAFFIC SIGNS

1. PAVEMENT MARKINGS

- A. INSTALLATION OF ALL PAVEMENT MARKINGS SHALL BE MADE IN ACCORDANCE WITH FDOT STANDARDS.
- B. MATERIALS: (1) WHERE THE PLANS CALL FOR PAINTED PAVEMENT MARKINGS (P), INSTALLATION AND MATERIALS SHALL MEET ALL REQUIREMENTS OF SECTION 710 OF FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. (2) WHERE THE PLANS CALL FOR THERMOPLASTIC PAVEMENT MARKINGS (T), INSTALLATION AND MATERIALS SHALL MEET ALL REQUIREMENTS OF SECTION 710 OF FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- C. PROTECTION: THE CONTRACTOR SHALL NOT ALLOW TRAFFIC ONTO NEWLY APPLIED PAVEMENT STRIPING/MARKINGS UNTIL THEY ARE SUFFICIENTLY DRY TO PERMIT VEHICLES TO CROSS THEM WITHOUT DAMAGE. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REMOVE AND REPLACE ANY PORTION OF THE PAVEMENT STRIPING/MARKINGS DAMAGED BY PASSING TRAFFIC OR FROM ANY OTHER CAUSE.

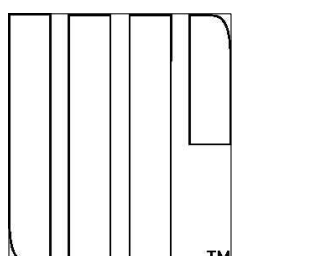
2. TRAFFIC SIGNS

- A. INSTALLATION: TRAFFIC SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.), PART II, IN LOCATIONS SHOWN ON PLANS.
- B. MATERIALS: FOLLOW SECTION NO. 700, HIGHWAY SIGNING, OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND M.U.T.C.D.

DPAD
 SWPPP: Permit applicants need to obtain all required stormwater permits including but not limited to, the ERP from the SFWMD or DEP Southeast District Office, and the Department's NPDES Generic Permit for Stormwater Discharge from Large and Small Construction Activities (CGP; Rule 62-621.300(4), F.A.C.), as applicable. Furthermore, a Stormwater Pollution Prevention Plan (SWPPP) shall be created, posted and implemented on-site, to prevent the discharge of pollutants, including soil, from the construction site to adjacent properties, the environment, surface water bodies, or to municipal separate storm sewer systems (MS4). The implementation of a SWPPP applies to any work that disturbs the ground (i.e., new construction, building addition, pools etc.). At a minimum, BMPs (e.g. silt fence, hay bales) shall be implemented around the work area and entrance/exit controls to the site (e.g. gravel, used to stabilize the entrances/exits to the site to reduce the amount of soils transported onto paved roads by vehicles). It is the Contractor's responsibility to adhere to the SWPPP and to implement best management practices to prevent stormwater pollution and sedimentation debris from entering adjacent properties and/or public right of way.
DE TORRES, MAYRA, 1/28/2022 7:24:49 AM

This item has been digitally signed and sealed by **Walter M. Lugo, P.E.** on date adjacent to the seal.
 Printed copies of this document are not considered signed and sealed and this signature must be verified on any electronic copies.

ARCHITECT
 INTERIOR DESIGNER
 LANDSCAPE ARCHITECT



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 T. 786.246.4857

OWNER:
LUIS FELIPE NEVA SILVEIRA
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 MIAMI BEACH, FL 33138

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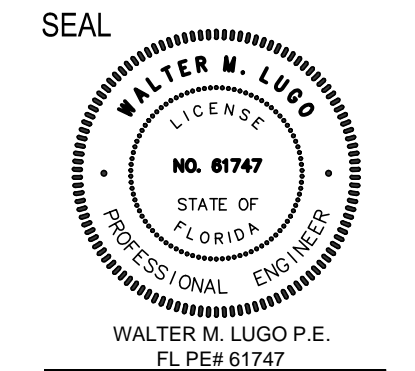
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28 STAR ISLAND
 MIAMI BEACH, FLORIDA 33139

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS.

REVISIONS

ID	Revision Description



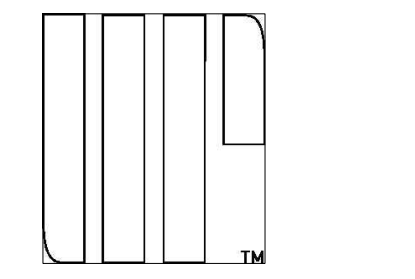
2009 PROJECT NO:
 July 02, 2021 DATE

GENERAL NOTES AND SPECIFICATIONS
C100

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 Check positive response codes before you dig!

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 1615 S.W. 15th St., Suite 100, Miami, FL 33135
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 Email: info@oceanengineering.com

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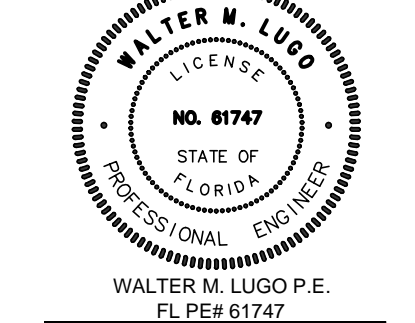
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REVISIONS	ID	Revision	Description

SEAL



WALTER M. LUGO P.E.
 FL #87747

2009
 PROJECT NO.
 July 02, 2021
 DATE

DRAWN / CHECKED

GENERAL NOTES AND SPECIFICATIONS
C100

GENERAL NOTES AND SPECIFICATIONS

I. APPLICABLE CODES

- ALL WORK AND MATERIALS SHALL CONFORM TO CURRENT CITY OF MIAMI BEACH AND MIAMI-DADE COUNTY STANDARDS AS WELL AS ALL LOCAL, STATE, AND NATIONAL CODES AND REGULATORY REQUIREMENTS, AS APPLICABLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER AND IN STRICT COMPLIANCE WITH ALL THE REQUIREMENTS OF FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND ALL STATE AND LOCAL SAFETY AND HEALTH REGULATIONS.
- LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER SITE FEATURES SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY BY OTHERS.
- EXISTING UTILITIES TO BE ADJUSTED IN ACCORDANCE WITH PROPOSED GRADES AND REQUIREMENTS OF UTILITY OWNERS, AS REQUIRED.
- EXISTING STRUCTURES, UTILITIES AND OTHER IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE, TREES SUCH AS BUILDING SEWERS, DRAINS, WATER OR GAS PIPES, CONDUITS, POLES, WALLS, COLUMNS, ETC., WHETHER OR NOT SHOWN ON THE PLANS, ARE TO BE CAREFULLY PROTECTED FROM DAMAGE. IF DAMAGE OCCURS FROM WORK PERFORMED UNDER THIS CONTRACT, THE CONTRACTOR SHALL PROMPTLY REPAIR THE DAMAGED ITEM(S) TO THE CONDITION OF THE ITEM(S) PRIOR TO THE DAMAGE. THIS WORK SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD TRANSMISSION LINES AND UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PRESERVE ALL STREET SIGNS, PARKING METERS, BENCHES, TRAFFIC CONTROL SIGNS, ETC. WHEN DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL REINSTALL OR DELIVER SAID PUBLIC PROPERTY TO THE COUNTY YARD.
- THE CONTRACTOR SHALL COORDINATE HIS/HERS WORK WITH ANY OTHER UTILITY AND BUILDING TRADES WORKING ON THIS OR ADJACENT PROJECT.
- ALL DITCH EXCAVATION SHALL BE PERFORMED IN FULL COMPLIANCE WITH THE PROVISIONS OF THE FLORIDA TRENCH SAFETY ACT.
- THE CONTRACTOR SHALL TAKE SPECIAL NOTE OF SOIL CONDITIONS THROUGHOUT THIS PROJECT. ANY SPECIAL SHORING, SHEETING OR OTHER PROCEDURES NECESSARY TO PROTECT ADJACENT PROPERTY, EITHER PUBLIC OR PRIVATE, DURING EXCAVATION OF SUBSOIL MATERIAL OR DURING THE FILLING OF ANY AREA, OR FOR ANY OPERATION DURING CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

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 - THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZED EARTH, CURBS, DRIVEWAYS, SIDEWALKS, FENCES, MAILBOXES, SIGNS AND ANY OTHER IMPROVEMENTS REMOVED DURING CONSTRUCTION WITH THE SAME TYPE OF MATERIAL AND TO THE CONDITION WHICH EXISTED PRIOR TO THE BEGINNING OF OPERATIONS.
 - WHERE MATERIAL OR DEBRIS HAVE WASHED OR FLOWED INTO, OR HAVE BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING THE PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.
 - ALL DISPOSAL OF EXCESS AND UNSUITABLE EXCAVATED MATERIAL, DEMOLITION, VEGETATION, RUBBISH AND DEBRIS SHALL BE MADE OUTSIDE THE LIMITS OF CONSTRUCTION AT A LEGAL DISPOSAL SITE PROVIDED BY THE CONTRACTOR AT HIS/HER OWN EXPENSE, WITH THE PRIOR APPROVAL OF THE ENGINEER. MATERIAL CLEARED FROM THE SITE SHALL NOT BE DEPOSITED ON ADJACENT AND/OR NEARBY PROPERTY.

2. ALL PROPERTY MONUMENTS OR PERMANENT REFERENCES, REMOVED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.

3. PROJECT RECORD DOCUMENTS

- DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON HIS SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION, LENGTH AND ELEVATION OF ANY FACILITY NOT BUILT EXACTLY ACCORDING TO PLANS.
- THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH AS-BUILT GRADES AND LOCATIONS OF FINISHED PAVEMENT, SIDEWALKS, CURBS, AND ALL PHYSICAL IMPROVEMENTS. SUCH GRADES SHALL BE OBTAINED BY A LICENSED SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF FLORIDA, AND SHALL DOCUMENT THE INTENT OF THE PROPOSED GRADES SHOWN ON THE PLANS. THIS SHALL BE DONE AT NO COST TO THE OWNER.

4. CONTRACTOR TO REPLACE ALL FOUND PIPES WITH NAIL AND DISKS.

VII. STORM DRAINAGE

GENERAL

- THE TRENCH FILTER FABRIC SHALL BE SELECTED FROM THE MANUFACTURERS AND FABRIC TYPES APPROVED BY THE MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT. IT SHALL BE USED TO WRAP ALL SIDES, BOTTOM AND TOP OF THE EXFILTRATION TRENCH. THE TOP SECTION OF THE MATERIAL SHALL BE LAPPED A MINIMUM OF 12 INCHES AND THE CONTRACTOR SHALL TAKE EXTREME CARE IN BACKFILLING TO AVOID BUNCHING OF THE FABRIC.
- SOLID AND PERFORATED STORM DRAINAGE PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE (H.D.P.E.) SELECTED FROM THE MANUFACTURES AND TYPES APPROVED BY THE MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT. PERFORATED PIPE SHALL TERMINATE 4'-0" FROM THE DRAINAGE STRUCTURE. THE REMAINING 4'-0" SHALL BE NON-PERFORATED PIPE.
- PROVIDE A MINIMUM PROTECTIVE COVER OF 24 INCHES OVER STORM SEWER AND AVOID UNNECESSARY CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT COMPLETED DRAINAGE STRUCTURES AND EXFILTRATION TRENCH SYSTEMS FROM CONTAMINATION OF SILT AND CONSTRUCTION DEBRIS. PLACE PLYWOOD ON, OR FILTER FABRIC BETWEEN, THE FRAME AND INLET GRATE UNTIL CONSTRUCTION OPERATIONS ARE FINISHED.

VII. PAVING

1. GENERAL

- ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIMEROCK BASE.
- ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
- WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT.
- PROPOSED ASPHALT PAVEMENT SHALL BE CONNECTED TO EXISTING AS PER CITY OF MIAMI BEACH STANDARD DETAILS. CONTRACTOR SHALL MATCH EXISTING ELEVATIONS ON NEW SIDEWALK OR NEW PAVEMENT.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF THE EXISTING CONC. CURB, CURB & GUTTER, SIDEWALK AND ASPHALT WHERE NEW SIDEWALK, CURB & GUTTER AND MEDIAN IS PROPOSED TO BE CONSTRUCTED.
- NONE OF THE EXISTING LIMEROCK BASE THAT IS REMOVED IS TO BE INCORPORATED INTO THE PROPOSED LIMEROCK BASE.
- DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY, CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT INSPECTOR OR THE GEOTECHNICAL ENGINEER.

VIII. PAVEMENT MARKINGS AND TRAFFIC SIGNS

1. PAVEMENT MARKINGS

- INSTALLATION OF ALL PAVEMENT MARKINGS SHALL BE MADE IN ACCORDANCE WITH FDOT STANDARDS.
- MATERIALS: (1) WHERE THE PLANS CALL FOR PAINTED PAVEMENT MARKINGS (P), INSTALLATION AND MATERIALS SHALL MEET ALL REQUIREMENTS OF SECTION 710 OF FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. (2) WHERE THE PLANS CALL FOR THERMOPLASTIC PAVEMENT MARKINGS (T), INSTALLATION AND MATERIALS SHALL MEET ALL REQUIREMENTS OF SECTION 710 OF FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- PROTECTION: THE CONTRACTOR SHALL NOT ALLOW TRAFFIC ONTO NEWLY APPLIED PAVEMENT STRIPING/MARKINGS UNTIL THEY ARE SUFFICIENTLY DRY TO PERMIT VEHICLES TO CROSS THEM WITHOUT DAMAGE. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REMOVE AND REPLACE ANY PORTION OF THE PAVEMENT STRIPING/MARKINGS DAMAGED BY PASSING TRAFFIC OR FROM ANY OTHER CAUSE.

2. TRAFFIC SIGNS

- INSTALLATION: TRAFFIC SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.), PART II, IN LOCATIONS SHOWN ON PLANS.
- MATERIALS: FOLLOW SECTION NO. 700, HIGHWAY SIGNING, OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND M.U.T.C.D.



ARCHITECT
 INTERIOR DESIGNER
 LANDSCAPE ARCHITECT

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 420 LINCOLN ROAD, S. 600
 MIAMI BEACH, FL 33139
 T. 786.246.4857

OWNER:
 LUIS FELIPE NEIVA SILVEIRA
 28 STAR ISLAND
 MIAMI BEACH, FL 33139

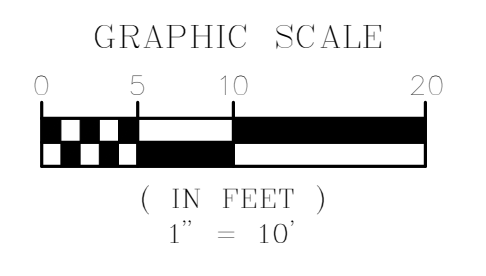
DESIGN ARCHITECT:
 109 HATFIELD STREET GARDENS
 CAPE TOWN 8001, SOUTH AFRICA
 T: +27 (0)21 468 4400

STRUCTURAL ENGINEER:
 YHCE ENGINEERING
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 MEP ENGINEER:

CIVIL ENGINEER:
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CIVIL ENGINEER:
 OCEAN ENGINEERING INC.
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 T: (786) 518-2008

LIGHTING CONSULTANT:
 LUX POPULI S.A. de C.V.
 Arriaga 27, San Angel
 Mexico City, CP 01000, Mexico
 T: +52 5025 9105



- LEGEND:**
- R/W LINE / PROPERTY LINE
 - CENTER LINE
 - - - EXISTING CURBING
 - +8.00' EXISTING ELEVATIONS (NGVD)
 - 6.10' PROP. GRADE ELEVATION (NGVD)
 - PROP. EXFIL. TRENCH (SEE C400 FOR DETAILS)
 - PROP. DRAINAGE WELL (SEE SHT. C400 FOR DETAILS)
 - PROP. LANDSCAPE AREA. REFER TO LA PLANS FOR DETAILS.

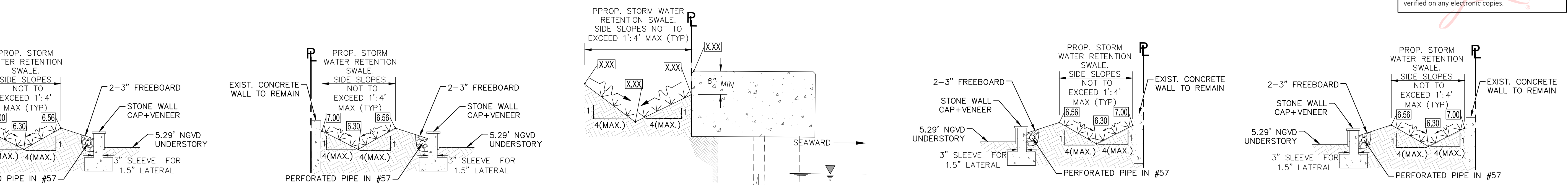
DPAD SWPPP: Permit applicants need to obtain all required stormwater permits including but not limited to the ERP from the SWMMI or DEP Southeast District Office, and the Department's NPDES Generic Permit for Stormwater Discharge from Large and Small Construction Activities (COP, Rule 62.021 300(4), F.A.C.), as applicable. Furthermore, a Stormwater Pollution Prevention Plan (SWPPP) shall be created, posted and implemented on-site, to prevent the discharge of pollutants, including soil, from the construction site to adjacent properties, the environment, surface water bodies, or to municipal separate storm sewer systems (MS4). The implementation of a SWPPP applies to any work that disturbs the ground (i.e. new construction, building addition, pools, etc.). At a minimum, BMPs (e.g. silt fence, hay bales) shall be implemented around the work area and entrance/walk controls to the site (e.g. gravel, used to stabilize the entrances/exits to the site to reduce the amount of soils transported onto paved roads by vehicles). It is the Contractor's responsibility to adhere to the SWPPP and to implement best management practices to prevent stormwater pollution and sedimentation debris from entering adjacent properties and/or public right of way.

DE TORRES, MAYRA, 1/28/2022 7:24:29 AM

LOT 27, BLOCK
 "CORRECTED PLAT OF STAR ISLAND"
 P.B. 31, PG. 60

STAR ISLAND DRIVE
 (EAST DRIVE)

LOT 29, BLOCK



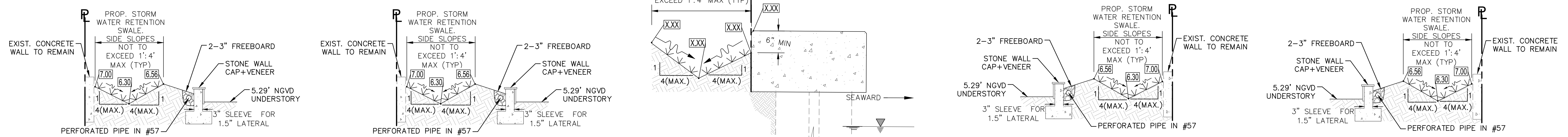
FOR CONTINUATION SEE C201

This item has been digitally signed and sealed by Walter M. Lugo, P.E. on date adjacent to the seal.
 Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

WRITTEN DIMENSIONS ON THIS DRAWING SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS.

REVISIONS

No.	Revision Description
1	1/20/2021 CITY COMMENTS



SECTION A-A
N.T.S.

SECTION B-B
N.T.S.

SECTION C-C
N.T.S.

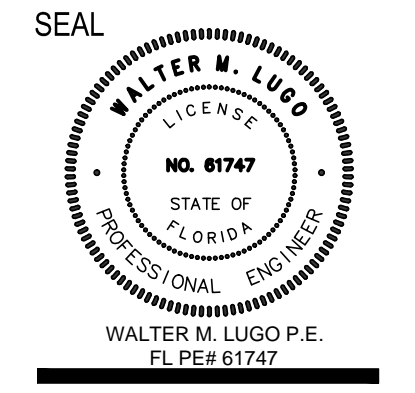
SECTION D-D
N.T.S.

SECTION E-E
N.T.S.

DPAD Class V Dewatering: A Class V dewatering permit is required and shall be obtained prior to the removal of water from the excavation area, please contact dewatercontrol@miamidade.gov to apply for the permit.
 DE TORRES, MAYRA, 1/28/2022 7:24:25 AM

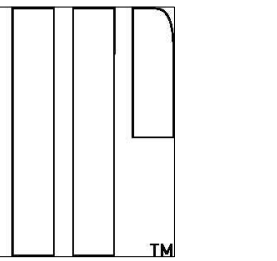
Sunshine811
 Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked. Check positive response codes before you dig!

OCEAN ENGINEERING
 CIVIL ENGINEERING CONSULTANTS
 1101 S.W. 15th Ave., Suite 1100
 Miami, FL 33135
 Phone: 786-252-5240, 786-216-2008 (Office)
 Email: engineering@oceaneng.com



2009 PROJECT NO.
 July 02, 2021 DATE
 DRAWN / CHECKED:
 PAVING, GRADING AND DRAINAGE PLAN
C200

ARCHITECT INTERIOR DESIGNER LANDSCAPE ARCHITECT



URBAN ROBOT LLC 420 LINCOLN ROAD, S. 600 MIAMI BEACH, FL 33139 T: 786.246.4857

OWNER: LUIS FELIPE NEIVA SILVEIRA 28 STAR ISLAND MIAMI BEACH, FL 33139 T: 27 (0)21 468 4400

DESIGN ARCHITECT: 109 HATFIELD STREET GARDENS CAPE TOWN 8001, SOUTH AFRICA T: 27 (0)21 468 4400

STRUCTURAL ENGINEER: YHCE ENGINEERING 99 NW 27 AVENUE MIAMI, FL 33125 T: (305) 969-YHCE F: (305) 969-9453

MEP ENGINEER: CREDO Consulting Engineers, LLC 800 EAST BROWARD BLVD., SUITE 601 FORT LAUDERDALE, FL 33301 T: (954) 763-2246 F: (954) 763-2247

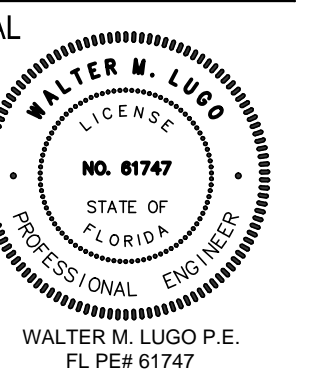
CIVIL ENGINEER: OCEAN ENGINEERING INC. 8101 BISCAYNE BLVD., UNIT 508 MIAMI, FL 33138 T: (786) 518-2008

LIGHTING CONSULTANT: LUX POPULI S.A. de C.V. Arisaga 27, San Angel Mexico City, CP 01000, Mexico T: +55 5025 9105

28 STAR ISLAND MIAMI BEACH, FLORIDA 33139

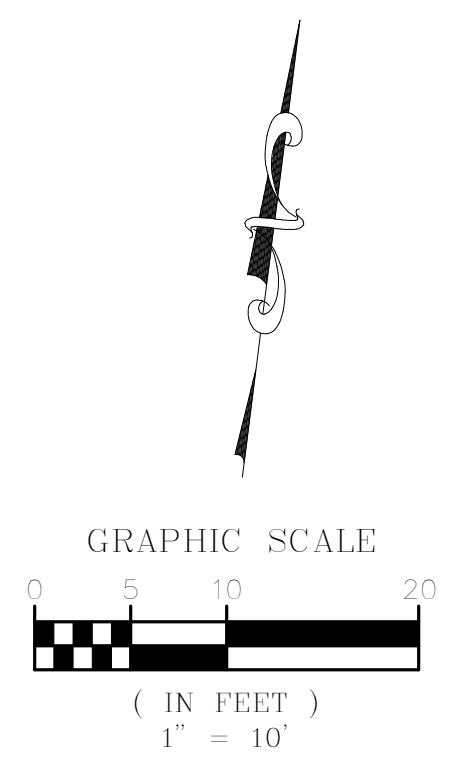
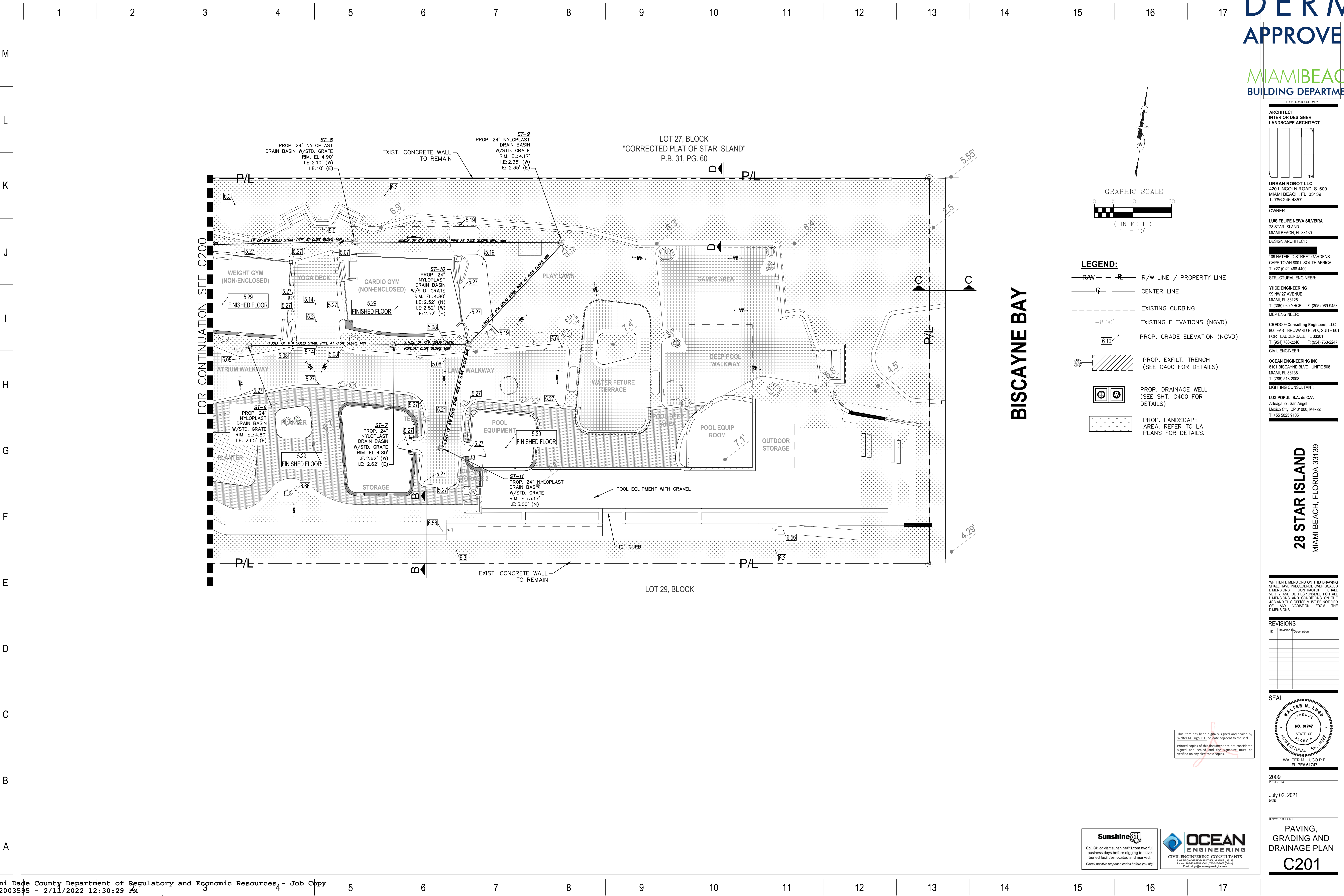
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Table with 2 columns: ID, Revision, Description. It is currently empty.



2009 PROJECT NO. July 02, 2021 DATE

PAVING, GRADING AND DRAINAGE PLAN C201

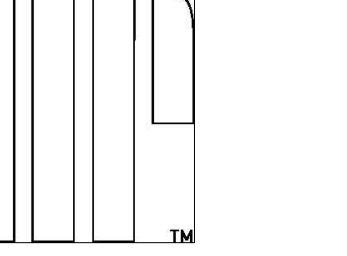


- LEGEND:
- R/W LINE / PROPERTY LINE (dashed line)
- CENTER LINE (solid line)
- EXISTING CURBING (dotted line)
- EXISTING ELEVATIONS (NGVD) (+8.00')
- PROP. GRADE ELEVATION (NGVD) (6.10)
- PROP. EXFIL. TRENCH (SEE C400 FOR DETAILS) (hatched area)
- PROP. DRAINAGE WELL (SEE SHT. C400 FOR DETAILS) (circle with cross)
- PROP. LANDSCAPE AREA. REFER TO LA PLANS FOR DETAILS. (stippled area)

BISCAYNE BAY

Sunshine811 logo and OCEAN ENGINEERING logo with contact information.

ARCHITECT INTERIOR DESIGNER LANDSCAPE ARCHITECT



URBAN ROBOT LLC 420 LINCOLN ROAD, S. 600 MIAMI BEACH, FL 33139 T. 786.246.4857

OWNER:

LUIS FELIPE NEIVA SILVEIRA 28 STAR ISLAND MIAMI BEACH, FL 33139

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MEP ENGINEER:

CREDO Consulting Engineers, LLC 800 EAST BROWARD BLVD., SUITE 601 FORT LAUDERDALE, FL 33301 T: (954) 763-2246 F: (954) 763-2247

CIVIL ENGINEER:

OCEAN ENGINEERING INC. 8101 BISCAYNE BLVD., UNIT 508 MIAMI, FL 33138 T: (786) 518-2008

LIGHTING CONSULTANT:

LUX POPULI S.A. de C.V. Arisaga 27, San Angel Mexico City, CP 01000, Mexico T: +52 55 5025 9105

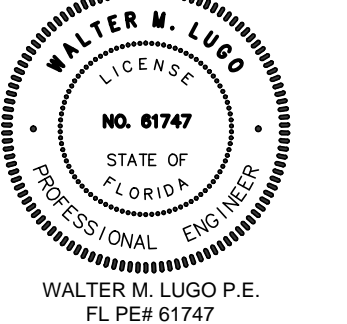
28 STAR ISLAND MIAMI BEACH, FLORIDA 33139

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REVISIONS

Table with 2 columns: Revision #, Description. Row 1: 12/23/21, DERM COMMENTS

SEAL



WALTER M. LUGO P.E. FL #61747

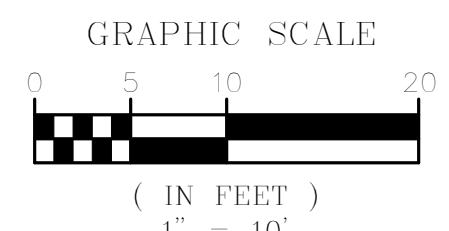
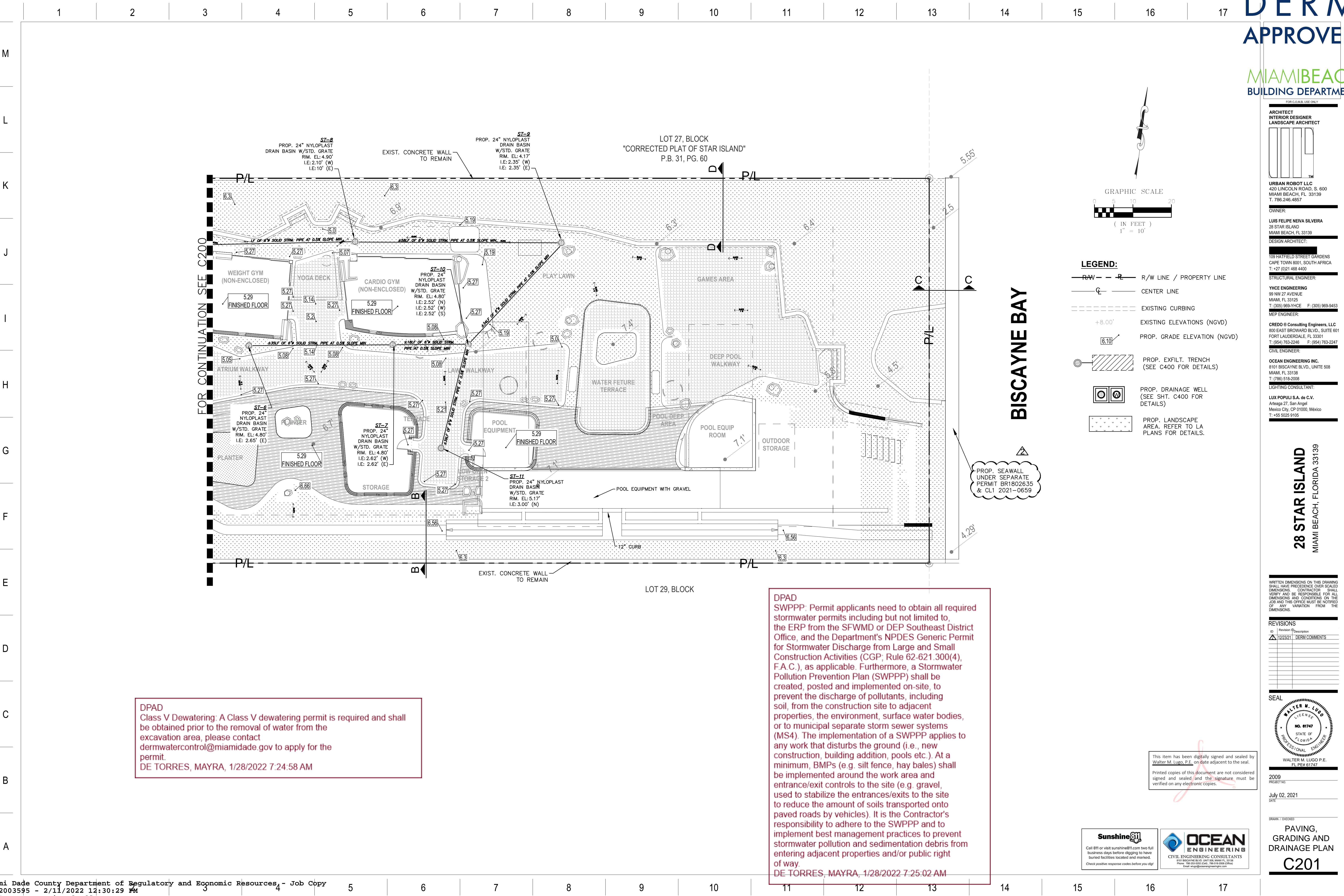
2009 PROJECT NO.

July 02, 2021 DATE

DRAWN / CHECKED:

PAVING, GRADING AND DRAINAGE PLAN

C201



- LEGEND: R/W LINE / PROPERTY LINE, CENTER LINE, EXISTING CURBING, EXISTING ELEVATIONS (NGVD), PROP. GRADE ELEVATION (NGVD), PROP. EXFIL. TRENCH, PROP. DRAINAGE WELL, PROP. LANDSCAPE AREA.

BISCAYNE BAY

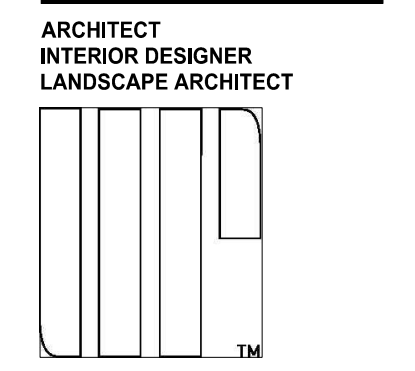
PROP. SEAWALL UNDER SEPARATE PERMIT BR1802635 & CL1 2021-0659

DPAD Class V Dewatering: A Class V dewatering permit is required and shall be obtained prior to the removal of water from the excavation area, please contact dermwatcontrol@miamidade.gov to apply for the permit. DE TORRES, MAYRA, 1/28/2022 7:24:58 AM

DPAD SWPPP: Permit applicants need to obtain all required stormwater permits including but not limited to, the ERP from the SFWMD or DEP Southeast District Office, and the Department's NPDES Generic Permit for Stormwater Discharge from Large and Small Construction Activities (CGP; Rule 62-621.300(4), F.A.C.), as applicable. Furthermore, a Stormwater Pollution Prevention Plan (SWPPP) shall be created, posted and implemented on-site, to prevent the discharge of pollutants, including soil, from the construction site to adjacent properties, the environment, surface water bodies, or to municipal separate storm sewer systems (MS4). The implementation of a SWPPP applies to any work that disturbs the ground (i.e., new construction, building addition, pools etc.). At a minimum, BMPs (e.g. silt fence, hay bales) shall be implemented around the work area and entrance/exit controls to the site (e.g. gravel, used to stabilize the entrances/exits to the site to reduce the amount of soils transported onto paved roads by vehicles). It is the Contractor's responsibility to adhere to the SWPPP and to implement best management practices to prevent stormwater pollution and sedimentation debris from entering adjacent properties and/or public right of way. DE TORRES, MAYRA, 1/28/2022 7:25:02 AM

This item has been digitally signed and sealed by Walter M. Lugo, P.E. on date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature, must be verified on any electronic copies.





ARCHITECT
INTERIOR DESIGNER
LANDSCAPE ARCHITECT

URBAN ROBOT LLC
 420 LINCOLN ROAD, S. 600
 MIAMI BEACH, FL 33139
 T. 786.246.4857

OWNER:
 LUIS FELIPE NEIVA SILVEIRA
 28 STAR ISLAND
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 DESIGN ARCHITECT:

109 HATFIELD STREET GARDENS
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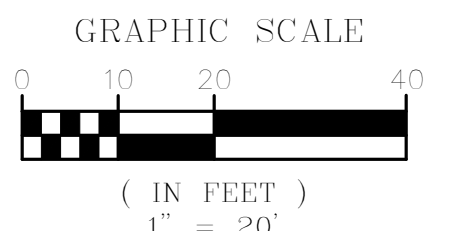
STRUCTURAL ENGINEER:
 YHCE ENGINEERING
 99 NW 27 AVENUE
 MIAMI, FL 33125
 T. (305) 969-YHCE F. (305) 969-9453
 MEP ENGINEER:

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LIGHTING CONSULTANT:
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DPAD
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 DE TORRES, MAYRA, 1/28/2022 7:24:08 AM



- LEGEND:**
- R/W LINE / PROPERTY LINE
 - CENTER LINE
 - EXISTING CURBING
 - EXISTING ELEVATIONS (NGVD)
 - PROP. EROSION BARRIER PER CMB DETAIL SES13.3 (SEE CIVIL SH. C600 FOR DETAILS)

- NOTES:**
- CONTRACTOR SHALL INSTALL GEOTEXTILE FABRIC IN EACH CATCH BASIN, FLOOR DRAIN OR TRENCH DRAINS IN THE EFFORTS TO PROTECT THE PROPOSED STORM WATER MANAGEMENT SYSTEM FROM DEBRIS AND SEDIMENTATION.
 - IN ACCORDANCE TO FDEP NPDES PERMIT REQUIREMENTS, EROSION CONTROL DEVICES SHALL BE INSPECTED DAILY AND REPLACED AS NEEDED.

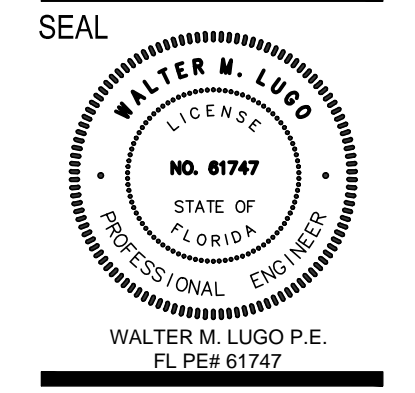
DPAD
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 DE TORRES, MAYRA, 1/28/2022 7:24:12 AM

28 STAR ISLAND
 MIAMI BEACH, FLORIDA 33139

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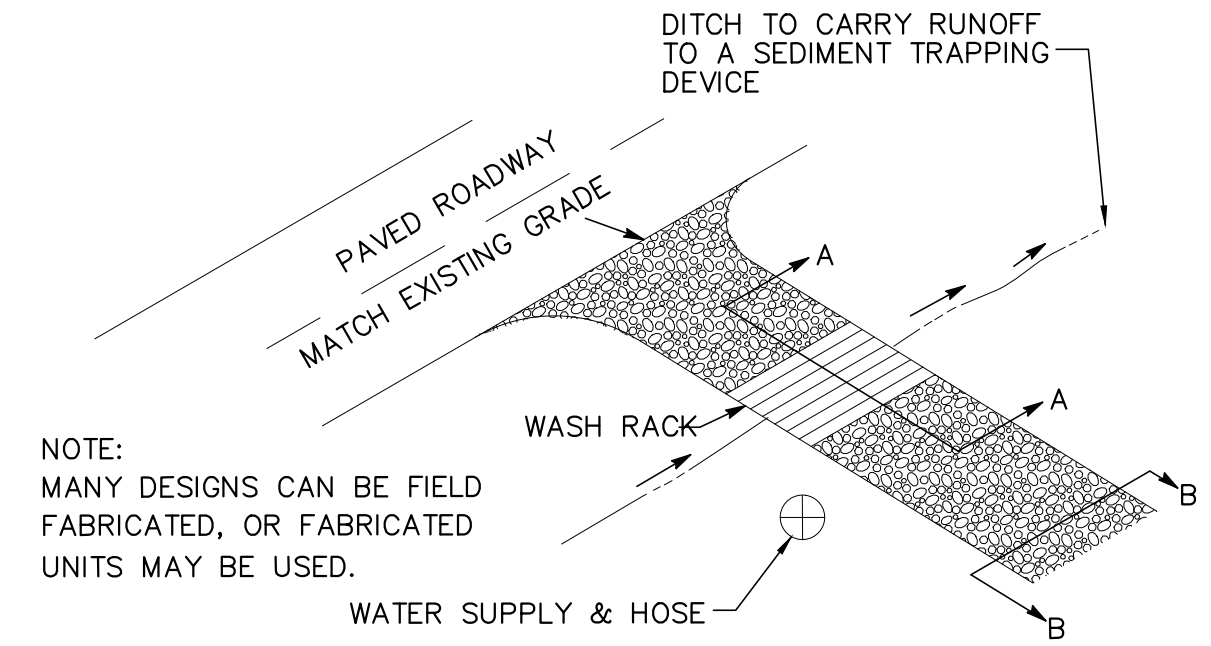
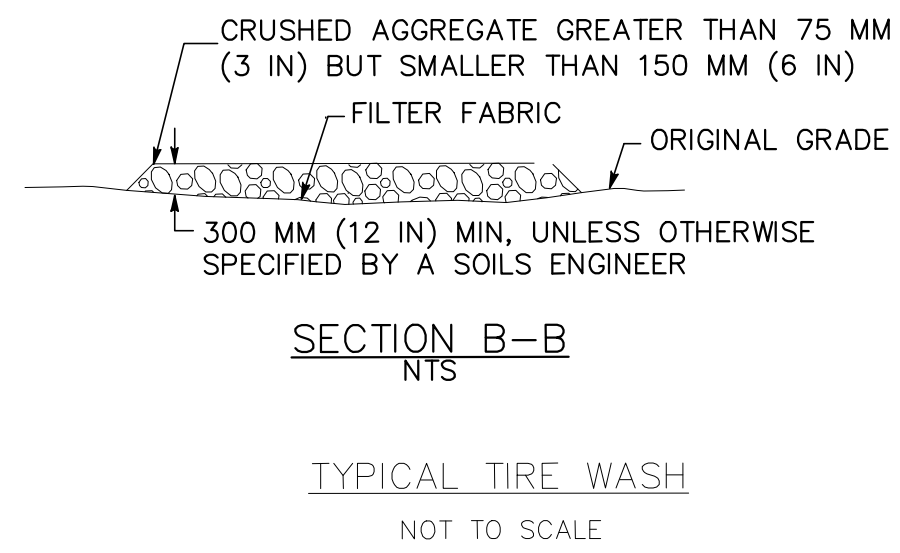
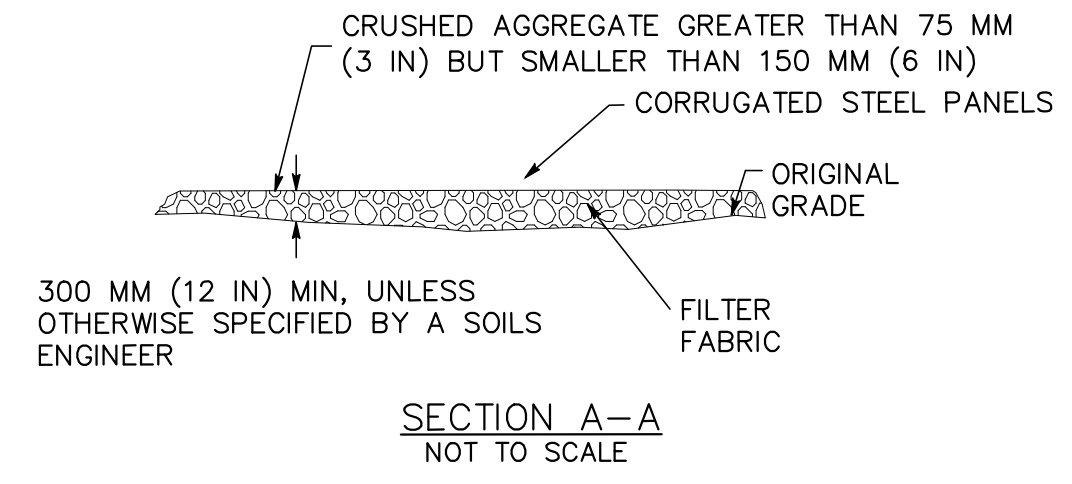
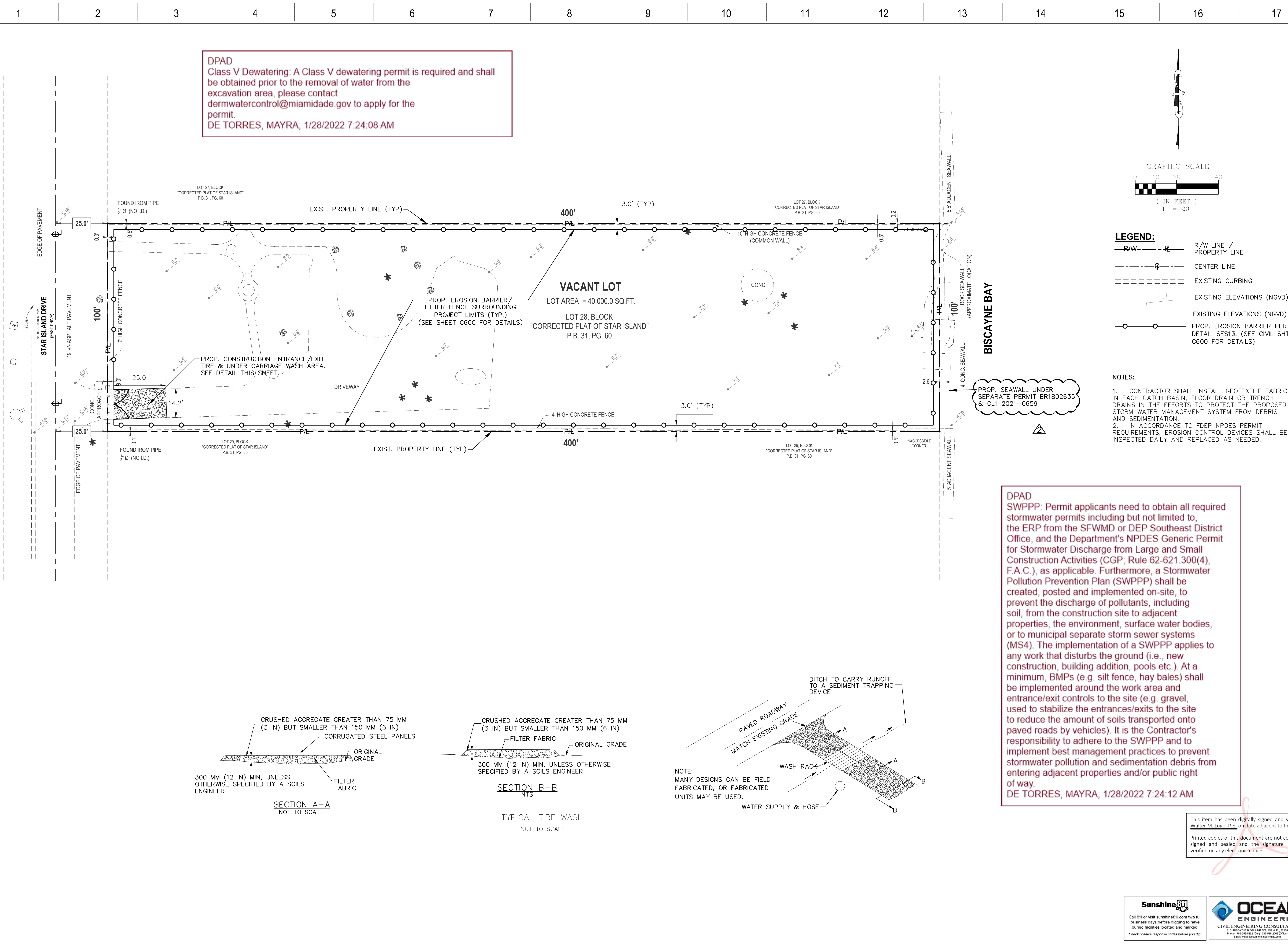
REVISIONS

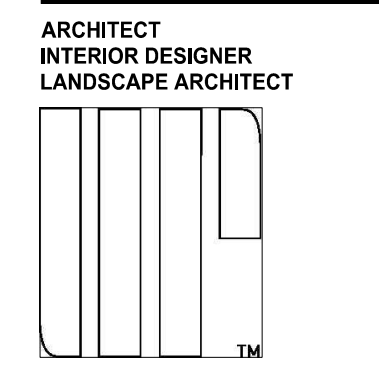
NO.	REVISION DESCRIPTION
1	12/03/21 CITY COMMENTS
2	12/23/21 PERM COMMENTS



2009 PROJECT NO.
 July 02, 2021 DATE

SEDIMENTATION AND EROSION CONTROL PLAN
C500





URBAN ROBOT LLC
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 MIAMI BEACH, FL 33139
 T. 786.246.4857

ARCHITECT
INTERIOR DESIGNER
LANDSCAPE ARCHITECT

DESIGN ARCHITECT:
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28 STAR ISLAND
 MIAMI BEACH, FLORIDA 33139

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REVISIONS

ID	Revision	Description

SEAL

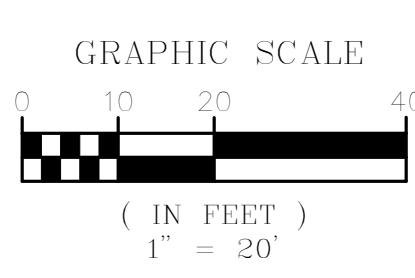
WALTER M. LUGO
 LICENSE NO. 61747
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

WALTER M. LUGO P.E.
 FL P.E. 61747

2009 PROJECT NO.
 July 02, 2021 DATE

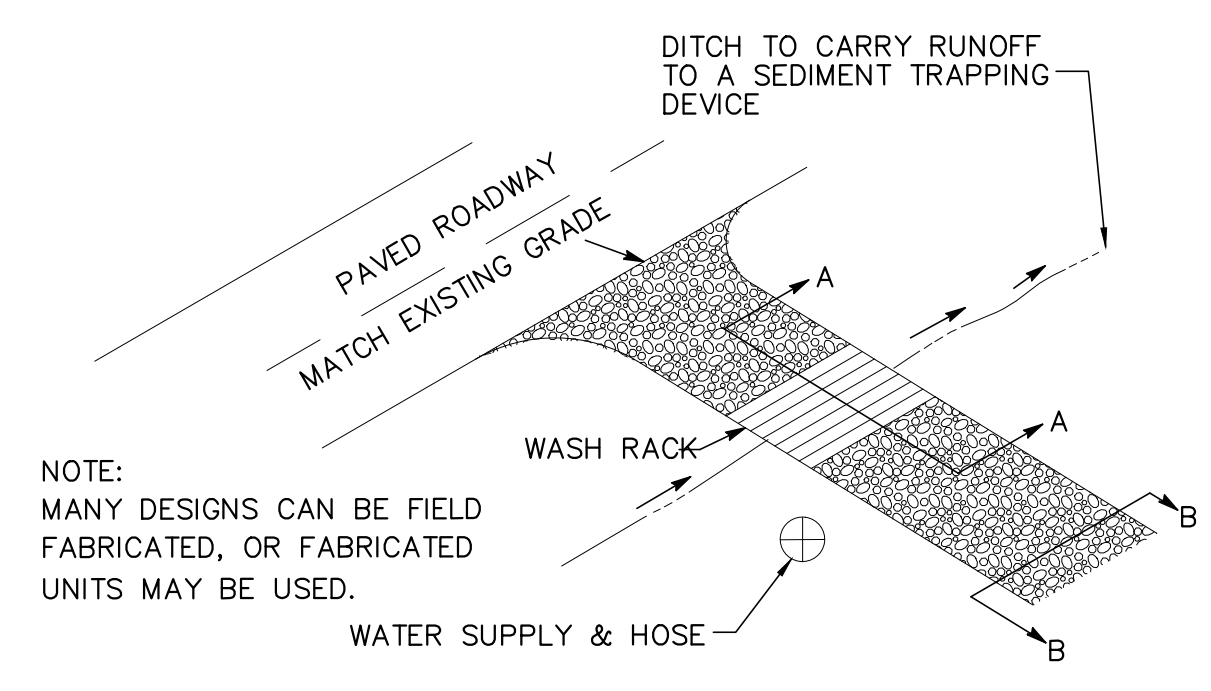
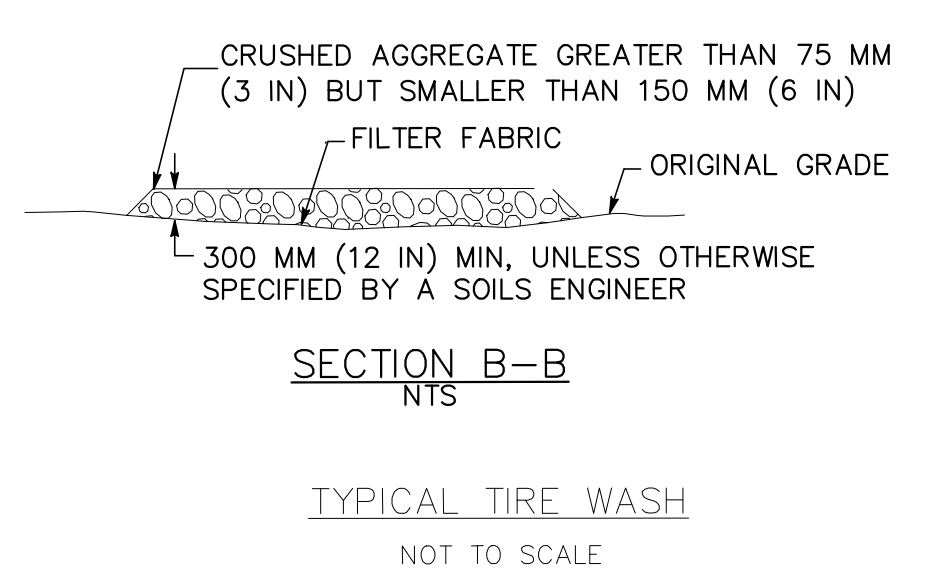
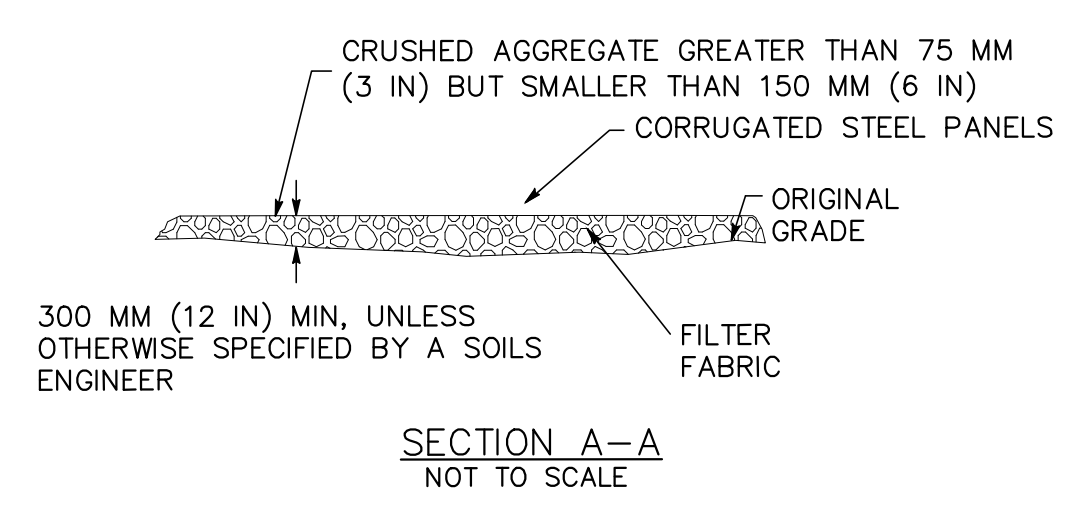
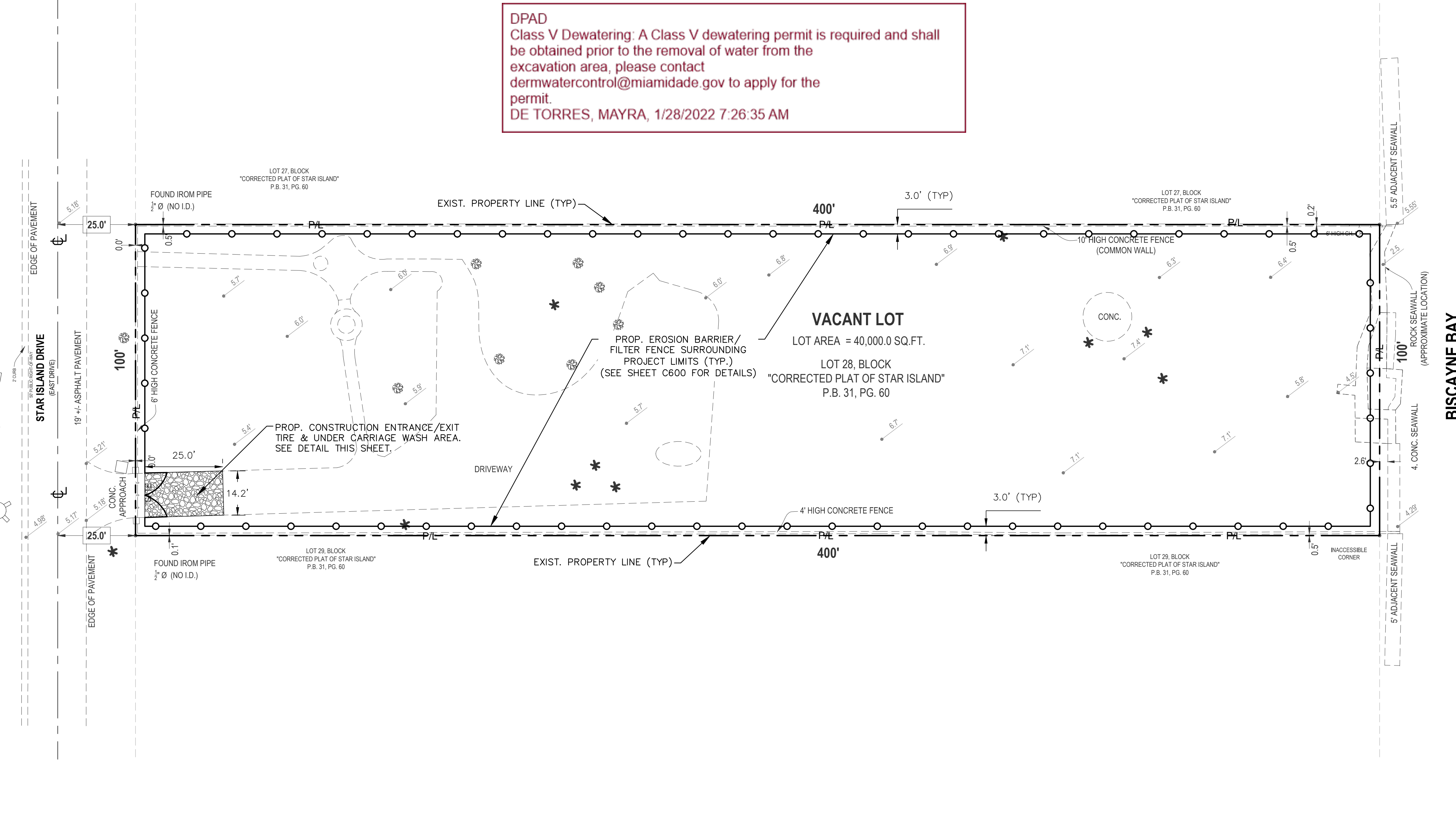
SEDIMENTATION AND EROSION CONTROL PLAN
C500

DPAD
 Class V Dewatering: A Class V dewatering permit is required and shall be obtained prior to the removal of water from the excavation area, please contact dermwatercontrol@miamidade.gov to apply for the permit.
 DE TORRES, MAYRA, 1/28/2022 7:26:35 AM



- LEGEND:**
- R/W LINE / PROPERTY LINE
 - CENTER LINE
 - EXISTING CURBING
 - EXISTING ELEVATIONS (NGVD)
 - EXISTING ELEVATIONS (NGVD)
 - PROP. EROSION BARRIER PER CMB DETAIL SES13. (SEE CIVIL SHT. C600 FOR DETAILS)

- NOTES:**
- CONTRACTOR SHALL INSTALL GEOTEXTILE FABRIC IN EACH CATCH BASIN, FLOOR DRAIN OR TRENCH DRAINS IN THE EFFORTS TO PROTECT THE PROPOSED STORM WATER MANAGEMENT SYSTEM FROM DEBRIS AND SEDIMENTATION.
 - IN ACCORDANCE TO FDEP NPDES PERMIT REQUIREMENTS, EROSION CONTROL DEVICES SHALL BE INSPECTED DAILY AND REPLACED AS NEEDED.



NOTE:
 MANY DESIGNS CAN BE FIELD FABRICATED, OR FABRICATED UNITS MAY BE USED.

This item has been digitally signed and sealed by Walter M. Lugo, P.E. on date adjacent to the seal.
 Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

