

MIAMIBEACH

DESIGN REVIEW BOARD

FINAL SUBMITTAL

DRB23-0910

FEBRUARY 6, 2023

1790 PURDY AVENUE MIAMI BEACH, FLORIDA 33139
MARINE PATROL FACILITY AT MAURICE GIBB MEMORIAL PARK

CITY OF MIAMI BEACH

MAYOR: DAN GELBER

COMMISSIONERS: KRISTEN ROSEN GONZALEZ
LAURA DOMINGUEZ
ALEX J. FERNANDEZ
STEVEN MEINER
RICKY ARRIOLA
DAVID RICHARDSON

CITY MANAGER: ALINA T. HUDAK
CITY ATTORNEY: RAFAEL A. PAZ
CITY CLERK: RAFAEL E. GRANADO
DEPUTY CITY MANAGER: ERIC CARPENTER, P.E.
CIP DIRECTOR: DAVID MARTINEZ P.E.

MCHARRYASSOCIATES

ARCHITECTURE PLANNING INTERIORS



2780 SW DOUGLAS ROAD - SUITE 302
MIAMI, FLORIDA 33133 (305) 445-3765
WWW.MCHARRY.COM

CIVIL ENGINEER
305 CONSULTING ENGINEERS LLC
13944 SW 8TH STREET, SUITE 211
MIAMI, FLORIDA 33184
786-409-5548

LANDSCAPE ARCHITECTURE
LAURA LLERENA & ASSOCIATES
13170 SW 128TH STREET, SUITE 207
MIAMI, FLORIDA 33186
305-256-1199

STRUCTURAL ENGINEER
WOOD / O'DONNELL & NACCARATO
5040 NW 7TH STREET, SUITE 820
MIAMI, FLORIDA 33126
305-461-3450

MECHANICAL / PLUMBING / FIRE PROTECTION /
ELECTRICAL ENGINEERING
BASULTO & ASSOCIATES
14160 PALMETTO FRONTAGE ROAD, SUITE 22
MIAMI LAKES, FLORIDA 33016
305-698-3988

LEGAL DESCRIPTION:

LOTS 1, 2, 3, 4, 5, 6, 7, 8, AND 9, BLOCK 15, ISLAND VIEW SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 6, PAGE 115, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, CONTAINING 148,376 SQUARE FEET (3.41 ACRES) MORE OR LESS;

TOGETHER WITH:
A PARCEL OF SOVEREIGNTY LAND IN BISCAYNE BAY ABUTTING SECTION 33, TOWNSHIP 53 SOUTH, RANGE 42 EAST, DADE COUNTY, FLORIDA; MORE PARTICULARLY DESCRIBED IN THAT CERTAIN DEED NO. 25150 (2329-13) DATED OCTOBER 9, 1970 BETWEEN STATE OF FLORIDA BOARD OF TRUSTEES OF THE INTERNAL IMPROVEMENT TRUST FUND AND H.P. FORREST, AS TRUSTEE, UNDER THAT CERTAIN LAND TRUST AGREEMENT DATED APRIL 30, 1966, SAID DEED BEING RECORDED IN OFFICIAL RECORDS OF MIAMI-DADE COUNTY, FLORIDA, AND ALL LITTORAL OR RIPARIAN RIGHTS WHICH MAY EXIST AS TO THE SUBJECT PROPERTIES.
SAID LANDS LYING IN THE CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA, CONTAINING 340,170 SQUARE FEET (7.81 ACRES) MORE OR LESS.

SCOPE OF WORK:

GENERAL: DEMOLITION OF EXISTING TWO-STORY APPROX. 2,500 SF BUILDING. CONSTRUCTION OF 9,650 SF THREE STORY BUILDING AND RELATED SITE IMPROVEMENTS. THE NEW FACILITY WILL HOUSE POLICE DEPARTMENT AND FIRE DEPARTMENT MARINE PATROL UNITS AS WELL AS LIMITED PUBLIC FACILITIES TO SERVE THE ADJACENT PARK.

SITE: COMPLETE DEMOLITION OF EXISTING 2,500 SF BUILDING. SITE DEMOLITION AS NEEDED FOR NEW CONSTRUCTION PROPOSED.

DEMOLITION:

SITE: CONNECTIONS FROM EXISTING SITE SYSTEMS FOR POWER, WATER AND SEWER TO THE NEW BUILDING. NEW DRAINAGE STRUCTURES AS NEEDED.

STRUCTURAL: AS SHOWN ON STRUCTURAL DRAWINGS TO CONSTRUCT NEW BUILDING.

MECHANICAL: NEW HVAC SYSTEM.

ELECTRICAL: NEW ELECTRICAL SYSTEM.

PLUMBING: NEW PLUMBING SYSTEM.

ZONING DISTRICT: GU (Government use district)

SURROUNDING ZONING DISTRICTS: RM-3/CD-2

GRADE: +4.00' NGVD (At Building Site)

FLOODING INFO:
Flood Zone: AE
Base Flood Elevation: +8.00' NGVD

RM-3 RESIDENTIAL MULTIFAMILY / CD-2 COMMERCIAL MEDIUM INTENSITY DISTRICT - ZONING DATA SHEET

ITEM #	Project Information						
1	Address: 1790 Purdy Avenue Maurice Gibb Memorial Park Miami Beach, FL 33139						
2	Board and file numbers:						
3	Folio number(s): 02-3233-012-0390						
4	Year constructed:	1991		Zoning District:	GU; Adjacent Zoning RM-3, CD-2		
5	Based Flood Elevation:	AE 8.0'		Grade value in NGVD:	4.0' NGVD		
6	Adjusted grade (Flood+Grade/2):	10.0' NGVD		Lot Area:	148,376 SF		
7	Lot width:	756.91'		Lot Depth:	187.96'		
8	Minimum Unit Size	N/A		Average Unit Size	N/A		
9	Existing use:	Critical Facility		Proposed use:	Critical Facility		
Zoning Information / Calculations		Maximum	Maximum	Average	Existing	Proposed	Deficiencies
10	Height	150'	50'	100'	38'-0"	48'-0"	--
11	Number of Stories	N/A	N/A	2.75	2	3	--
12	FAR	N/A	N/A	2.125			
13	Gross square footage	N/A	N/A		2,500 SF	9,650 SF	--
14	Square Footage by use	N/A	N/A				
15	Number of units Residential	N/A	N/A				
16	Number of units Hotel	N/A	N/A				
17	Number of seats	N/A	N/A				
18	Occupancy load	N/A	N/A		233	233	--
Setbacks		Required	Required	Average	Existing	Proposed	Deficiencies
Subterranean:		RM-3	CD-2				
19	Front Setback:	20'	0'				--
20	Side Setback:	7.5' or 8% of lot width, whichever is greater	10' (abutting a residential district, otherwise none)				--
22	Side Setback facing street:	7.5' or 8% of lot width, whichever is greater	10' (abutting a residential district, otherwise none)				--
23	Rear Setback:	10% of lot depth	5'				--
At Grade Parking:							
24	Front Setback:	20'	5'				
25	Side Setback:	5' or 5% of lot width, whichever is greater	5'				
26	Side Setback:	5' or 5% of lot width, whichever is greater	5'				
27	Side Setback facing street:	5' or 5% of lot width, whichever is greater	5'				
28	Rear Setback:	5'	5'				
Pedestal:							
29	Front Setback:	20'	0'				
31	Side Setback:	7.5' or 8% of lot width, whichever is greater	10' (abutting a residential district, otherwise none)				
32	Side Setback facing street:	7.5' or 8% of lot width, whichever is greater	10' (abutting a residential district, otherwise none)				
33	Rear Setback:	10% of lot depth	5'				
Tower:							
34	Front Setback:	20'	0'				
35	Side Setback:	Pedestal setback + height of tower	10' (abutting a residential district, otherwise none)				
	Side Setback facing street:	7.5' or 8% of lot width, whichever is greater	10' (abutting a residential district, otherwise none)				
	Rear Setback:	10% of lot depth	5'				
ITEM #	Setbacks	Required	Required	Average	Existing	Proposed	Deficiencies
Building (non-oceanfront):							
36	Front Setback:	20'	0'	10'	97'-11"	77'-10"	
36	Side Setback:	7.5' or 8% of lot width, whichever is greater = 60'-8"	10' (abutting a residential district, otherwise none)	35'-4"	144'-4"	139'-11"	
37	Side Setback facing street:	7.5' or 8% of lot width, whichever is greater = 60'-8"	0'	30'-4"	597'-2"	593'-3"	
38	Rear Setback:	10% of lot depth = 18'-10"	5'	11'-11"	45'-11"	19'-6"	
Parking		Required	Existing	Proposed	Deficiencies		
39	Parking district	Parking District L					
40	Total # of parking spaces	N/A	44	53			
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	N/A					ED

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42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A					
43	Parking Space Dimensions	8'-6" x 18'-0"					
44	Parking Space configuration (45o, 60o, 90o, Parallel)				45 degrees	45 & 90 degrees	
45	ADA Spaces				2	3	
46	Tandem Spaces	N/A					
47	Drive aisle width				22'-0"	22'-0"	
48	Valet drop off and pick up	N/A					
49	Loading zones and Trash collection areas						
50	Bicycle parking, location and Number of racks						
Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies			
51	Type of use	N/A					
52	Number of seats located outside on private property	N/A					
53	Number of seats inside	N/A					
54	Total number of seats	N/A					
55	Total number of seats per venue (Provide a separate chart for a breakdown calculation)	N/A					
56	Total occupant content	N/A					
57	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A					
58	Proposed hours of operation	N/A					
59	Is this an NIE? (Neighborhood Impact Establishment, see CMB 141-1361)	N/A					
60	Is dancing and/or entertainment proposed? (see CMB 141-1361)	N/A					
61	Is this a contributing building?				NO		
62	Located within a Local Historic District?				NO		
Additional data or information must be presented in the format outlined in this section							

Notes:
 If not applicable write N/A

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INDEX OF DRAWINGS

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A0.03	CONTEXT LOCATION PLAN
A0.03A	COORDINATION PLAN
LA-001	EXISTING TREE DISPOSITION PLAN (FOR REFERENCE ONLY)
LA-002	EXISTING TREE DISPOSITION LIST (FOR REFERENCE ONLY)
LA-003	PLANTING PLAN (FOR REFERENCE ONLY)
LA-004	PLANTING PLAN (FOR REFERENCE ONLY)
LA-005	LANDSCAPE SPECIFICATIONS & DETAILS (FOR REFERENCE ONLY)
LA-006	LANDSCAPE DETAILS (FOR REFERENCE ONLY)
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LA-010	BUBBLER IRRIGATION PLAN (FOR REFERENCE ONLY)
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A0.05	EXISTING SITE PHOTOS
A0.06	EXISTING SITE PHOTOS
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A0.08	PROPOSED FAR DIAGRAM
A1.00	DEMOLITION SITE PLAN, OVERALL SITE PLANS
A2.01	SITE PLAN / GROUND LEVEL PLAN
A2.02	SECOND & THIRD LEVEL PLAN
A2.03	ROOF & UPPER ROOF PLAN
A3.01	GROUND & SECOND LEVEL REFLECTED CEILING PLAN
A3.02	THIRD LEVEL REFLECTED CEILING PLAN
A4.01	EXTERIOR ELEVATIONS
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A5.01	BUILDING SECTIONS
A6.01	SIGNAGE PLAN
A7.01	BUILDING RENDERINGS
L1.01	TREE DISPOSITION / LANDSCAPE PLAN
L2.01	LANDSCAPE DETAILS

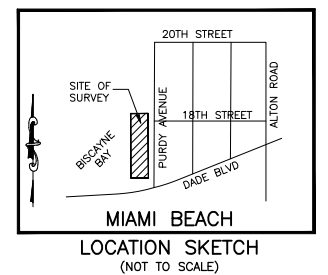
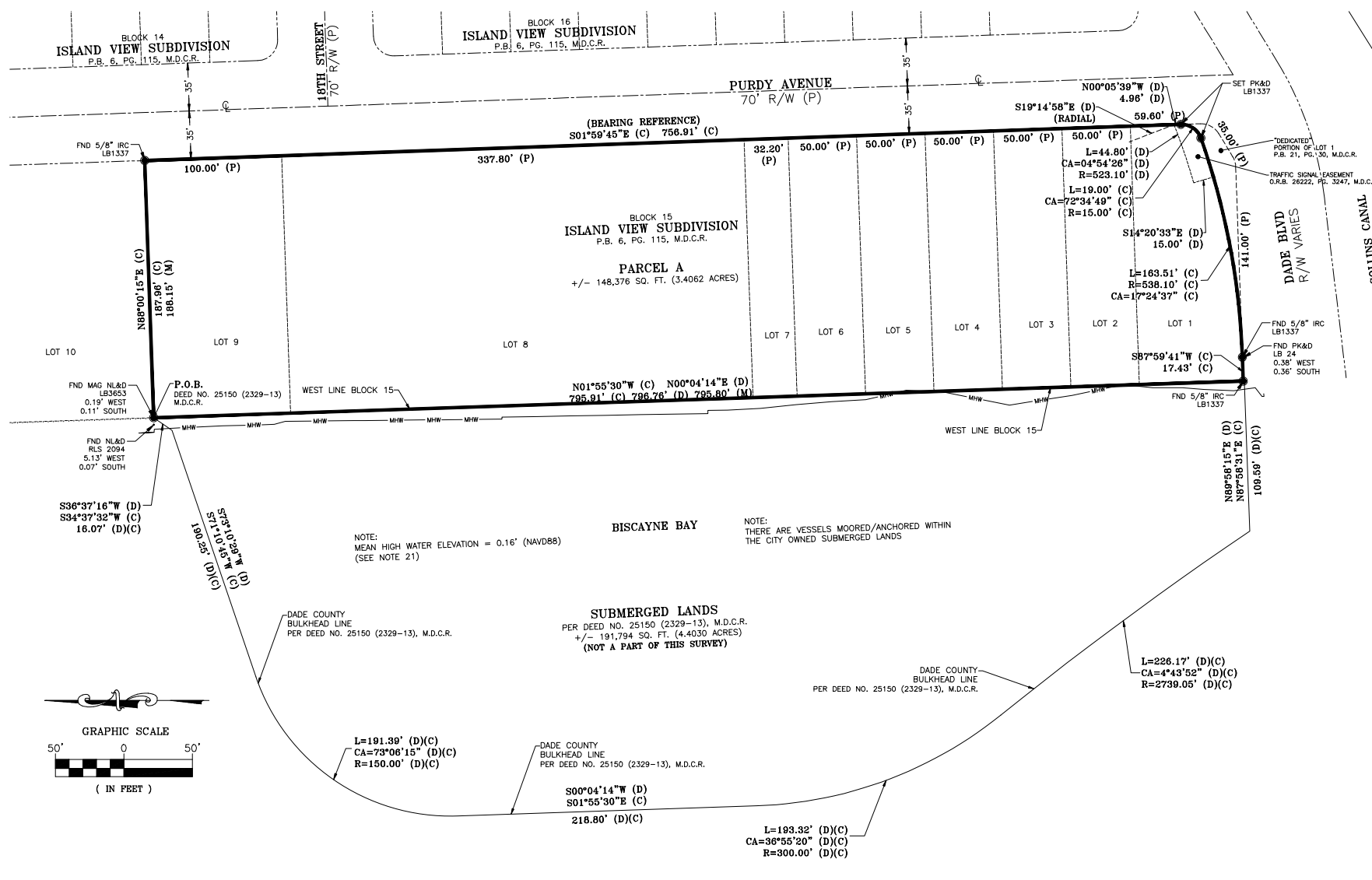
ABBREVIATIONS

A/C	AIR CONDITIONING	CLR	CLEAR (ANCE)	FA	FIRE ALARM
ACT	ACOUSTICAL TILE	CMU	CONCRETE MASONRY UNIT	FCA	FIRE CONTROL ASSEMBLY
ACT 1	ACOUSTICAL TILE	COL	COLUMN	FD	FLOOR DRAIN
ADD	ADDENDUM/ADHESIVE	COMM	COMMUNICATIONS	FE	FIRE EXTINGUISHER
ADJ	ADJUSTABLE	COMP	COMPOSITE	FEC	FIRE EXTINGUISHER CABINET
ADM	ADMIN/ADMINISTRATION	CONC	CONCRETE	FG	FIXED GLASS
A/E	ARCHITECT/ENGINEER	CONC	CONCRETE	FHC	FIRE HOSE CABINET
AFF	ABOVE FINISHED FLOOR	CONT	CONTINUOUS OR CONTINUE	FIN	FINISH (ED)
ALUM	ALUMINUM	CONTR	CONTRACT (OR)	FLR	FLASHING FLASH FLOOR(ING)
ALT	ALTERNATE	CORR	CORRIDOR	FCC	FACE OF CONCRETE
ANC	ANCHOR (AGE)	CP	CONTROL POINT	FOM	FACE OF MASONRY
ANT	ANTENNA	CPT	CARPET (ED)	FOS	FACE OF STUDS
APPROX	APPROXIMATE	CWSR	CHILLED WATER SUPPLY AND RETURN	FR	FRAME (D) (ING)
ARCH	ARCHITECT (URAL)	CUFT	CUBIC FEET (FOOT)	FT	FOOT
AUTO	AUTOMATIC	CUIN	CUBIC INCH CUBIC YARD CUYD	FTG	FOOTING
AVG	AVERAGE	DBL	DOUBLE	FURR	FURR (ED) (ING)
BD	BOARD	DECOR	DECORATIVE	FIXT	FIXTURE
BASE 1	RUBBER	DEPT	DEPARTMENT	GA	GAGE, GAUGE
BASE 2	CERAMIC TILE	DEPT	DEPARTMENT	GALV	GALVANIZED
BASE 3	QUARRY TILE	DET	DETAIL	GC	GENERAL CONTRACT (OR)
BEL	BELOW	DF	DRINKING FOUNTAIN	GL	GLASS, GLAZING
BTW	BETWEEN	DIA	DIAMETER DIA	GRND	GROUND
BLDG	BUILDING	DIM	DIMENSION	GL	GLASS, GLAZING
BLK	BLOCK	DISP	DISPENSER	GRND	GROUND
BLKG	BLOCKING	DN	DOWN	GWB	GYPSTUM WALLBOARD
BM	BENCH MARK	DO	DOOR OPENING	GYP	GYPSTUM
BO	BOTTOM OF	DR	DOOR	HB	HOSE BIBB
BOTT	BOTTOM	DS	DOWNSPOUT & SCUPPER	HC	HANDICAP
BW	BOTH WAYS	DWG	DRAWING	HDR	HEADER
C/C	CENTER TO CENTER	E/A	EXHAUST AIR	HDW	HARDWARE
CC	CENTER TO CENTER	EA	EACH	HM	HOLLOW METAL
CAB	CABINET	EF	EXHAUST FAN	HORIZ	HORIZONTAL
CAM	CAMERA	EJ	EXPANSION JOINT	HP	HIGH POINT
CCTV	CLOSED CIRCUIT TELEVISION	EL	ELEVATION	HT	HEIGHT
CD	CONDENSATE DRAIN	ELEC	ELECTRIC (AL)	HVAC	HEATING/VENTILATING/AIR CONDITIONING
CEM	CEMENT	EWC	ELECTRIC WATER COOLER	HWH	HOT WATER HEATER
CER	CERAMIC	ELEV	ELEVATOR	INCL	INCLUDE (D) (ING)
CIP	CAST-IN-PLACE CONCRETE	EMER	EMERGENCY	INS	INSULATE (D) (ING)
CIR	CIRCLE	EQ	EQUAL	INT	INTERIOR
CIRC	CIRCUMFERENCE	EQUIP	EQUIPMENT	JT	JOINT
CJ	CONTROL JOINT	EQUIV	EQUIVALENT	KO	KNOCKOUT
CL	CHAIN LINK	EXH	EXHAUST	L	LENGTH
CLF	CHAIN LINK FENCE	EXIST	EXISTING	LAM	LAMINATE
CLG	CEILING	EXP	EXPANSION	LANDG	LANDING
CLOS	CLOSET	EP	EPOXY-PAINTED	LAV	LAVATORY
		EXPO	EXPOSED TO STRUCTURE	LBL	LABEL
		EXT	EXTERIOR	LH	LEFT HAND
LL	LIVE LOAD	PREP	PREPARATION	SYM	SYMMETRICAL
LP	LOW POINT	PSF	POUNDS PER SQUARE FOOT	SYS	SYSTEM
LT	LIGHT	PSI	POUNDS PER SQUARE INCH	TEL	TELEPHONE
LVR	LOUVER	PT	PRESSURE TREATED	TEMP	TEMPERED
MAS	MASONRY	PTD	PAINT (ED)	THK	THICK (NESS)
MAX	MAXIMUM	PVC	POLYVINYL CHLORIDE	TKT	TICKET
MECH	MECHANIC (AL)	PAYE	PAVEMENT	TO	TOP OF
W/E/P	MECH/ELEC/PLUMBING	PWD	PLYWOOD	TS	TUBE STEEL
MFR	MANUFACTURE (R)	QTY	QUANTITY	TYP	TYPICAL
MH	METAL HALIDE	RA R/A	RETURN AIR	TILE 1	CERAMIC TILE
MIN	MINIMUM	RAD	RADIUS	TILE 2	QUARRY TILE
MIR	MIRROR	RD	ROOF DRAIN	UGND	UNDERGROUND
MISC	MISCELLANEOUS	REC	RECEPTION	UNL	UNLIMITED
MSL	MEAN SEA LEVEL	REF	REFERENCE	UNL	UNLIMITED OTHERWISE NOTED
MO	MASONRY OPENING	REF	REFERENCE	UR	URINAL
MT	MOUNT (ING)	REINF	REINFORCE (ING)	VEH	VEHICLE
MTD	MOUNTED	REQD	REQUIRED	VEN	VENEER
MTG	MEETING	REF	REFRIGERATOR/FREEZER	VERT	VERTICAL
MTL	METAL	RFL	REFLECT (ED) (IVE) (OR)	VEST	VESTIBULE
N	NORTH	RH	RIGHT HAND	VIF	VERIFY IN FIELD
NIC	NOT IN CONTRACT	RL	RAIL (ING)	VOL	VOLUME
NO	NUMBER	RLD	ROOF LADDER	VTR	VENT THROUGH ROOF
NOM	NOMINAL	RM	ROOM	VCT	VINYL COMPOSITION TILE
NR	NOISE REDUCTION	RO	ROUGH OPENING	W/	WITH
NRC	NOISE REDUCTION COEFFICIENT	RP	REFERENCE POINT	W/O	WITHOUT
NTS	NOT TO SCALE	RWL	RAINWATER LEADER	WC	WATER CLOSET
O/A	OUTSIDE AIR	SA S/A	SUPPLY AIR	WD	WOOD
OC	ON CENTER (S)	SAN	SANITARY	WDW	WINDOW
OD	OUTSIDE DIAMETER	SCH	SCHEDULE	WM	WIRE MESH
OF	OVERFLOW	SECT	SECTION	WP	WATERPROOFING
OFS	OVERFLOW SCUPPER	SH	SHelf	WT	WEIGHT
OH	OVERHEAD	SHT	SHEET	WWF	WELDED WIRE FABRIC
OPNG	OPENING	SIM	SIMILAR	WS	WAINSCOT
OPP	OPPOSITE	SINT	SEALANT		
OS	OVERFLOW SCUPPER	SC	SMOOTH CONCRETE		
PC	PRECAST	SL	SLOPE		
PORC	PORCELAIN	SPEC	SPECIFICATION		
PERF	PERFORATE (D)	SQ	SQUARE		
PERP	PERPENDICULAR	SST	STAINLESS STEEL		
PL	PLATE	ST	STEEL		
PLAM	PLASTIC LAMINATE	STD	STANDARD		
PLAS	PLASTER	STO	STORAGE		
PLS	PLASTIC	STRUC	STRUCTURE		
PNEU	PNEUMATIC	SUPV	SUPERVISOR		
PNL	PANEL	SUR	SURFACE		
PREFAB	PREFABRICATED (D)	SUSP	SUSPENDED		

GENERAL SYMBOLS LEGEND

DETAIL REFERENCE SYMBOL		DETAIL DWG. NUMBER
WALL/BLDG SECTION REFERENCE SYMBOL		SHEET No. ON WHICH DETAIL IS DRAWN
ELEVATION SYMBOL		SECTION DRAWING NUMBER
INTERIOR ELEVATION SYMBOL		SHEET No. ON WHICH SECTION IS DRAWN
NORTH ARROW		ELEVATION DRAWING NUMBER
CENTER LINE		SHEET No. ON WHICH ELEVATION IS DRAWN
PROPERTY LINE		INTERIOR ELEVATION.
ELEVATION MARK		
REVISION (NUMBER)		
DOOR TYPE		MAINTAIN A MIN. OF 12" CLR ON PUSH SIDE AND 18" CLR. ON PULL SIDE OF DOOR TO NEAREST OBSTRUCTION. NOTIFY ARCHITECT OF CONFLICTS.
WINDOW TYPE		DOOR NUMBER. SEE A6.01 FOR DOOR SCHEDULES
ROOM TAG		WINDOW TYPE. SEE A7.01 FOR WINDOW DETAILS
PARTITION TYPE		ROOM NAME ROOM NUMBER NET SQUARE FOOTAGE
FIRE EXTINGUISHERS		PARTITION TYPE, SEE SHEET A6.01 CHANGE IN FLOOR LEVEL. (DOORS: MAXIMUM 1/4" LEVEL CHANGE OR 1/2" @ 45° AT ALL EXTERIOR DOORS UNO.)

<p>OFFICE OF CAPITAL IMPROVEMENT PROJECTS 1701 MERIDIAN AVENUE, MIAMI BEACH, FL 33139</p>	<p>PROJECT: MARINE PATROL FACILITY MAURICE GIBB MEMORIAL PARK</p> <p>ADDRESS: 1790 PURDY AVENUE MIAMI BEACH, FL 33139</p>	<p>ARCHITECTURE • PLANNING • INTERIORS AR 14445 MIAMI, FLORIDA 33133 (305) 445-3765 2780 SW DOUGLAS ROAD SUITE 302 WWW.MCHARRY.COM</p>	<p>SUB CONSULTANT:</p>	<p>ARCH. OF RECORD: LOURDES SOLERA FL REG: AR 14445</p> <p>DRAWN BY: JF CHECKED BY: JF</p> <p>SCALE: VARIOUS</p> <p>2/3/2023</p>	<p>Drawing Title: ABBREVIATIONS, LEGEND</p> <p>Drawing No.: A0.02</p> <p>Filename: A0.02-CMB MARINE PATROL-ABBREVIATIONS, LEGEND.dwg</p>				
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NO.	DATE	REVISION	APPD. BY						



LEGEND:

- ALUM ALUMINUM
- BFP BACKFLOW PREVENTOR
- BOL BOLLARD
- BOS BOTTOM OF STRUCTURE
- (C) CALCULATED MEASUREMENT
- CA CENTRAL ANGLE/Delta (CURVE)
- CATV CABLE TELEVISION
- CB CATCH BASIN
- CBS CONCRETE BLOCK STRUCTURE
- CI CURB INLET
- CONC CONCRETE
- CPP CONCRETE POWER POLE
- (D) MEASUREMENT PER DEED
- DMH DRAINAGE MANHOLE (STORMWATER)
- DWS DETECTABLE WARNING SURFACE
- EB ELECTRIC BOX
- EL ELEVATION
- EM ELECTRIC METER
- EP ELECTRIC PANEL
- ETB ELECTRIC TRANSFORMER BOX
- FOUND FOUND
- FPL FLORIDA POWER AND LIGHT
- GV GATE VALVE
- HDPE HIGH DENSITY POLYETHYLENE
- HH HAND HOLE
- ICB IRRIGATION CONTROL BOX
- ID IDENTIFICATION
- IRC IRON ROD WITH CAP
- K&S KEITH & SCHNARS
- L ARC LENGTH (CURVE)
- LB LICENSED BUSINESS
- (M) FIELD MEASUREMENT
- M.D.C.R. MIAMI-DADE COUNTY RECORDS
- MAG MAGNETIC
- MF METAL FENCE
- MH MANHOLE
- MLP METAL LIGHT POLE
- MS MULTI-STEM
- MW MONITORING WELL
- N/A NOT APPLICABLE
- NAV88 NORTH AMERICAN VERTICAL DATUM OF 1988
- NL&D NAIL AND DISK
- NO. NUMBER
- O.R.B. OFFICIAL RECORDS BOOK
- OF OUTFALL
- (P) PLAT
- P.A. PROFESSIONAL ASSOCIATION
- P.B. PLAT BOOK
- P.O.B. POINT OF BEGINNING
- P.S.M. PROFESSIONAL SURVEYOR AND MAPPER
- PG. PAGE
- PHR POLYVINYL CHLORIDE PIPE HAND RAIL
- PK&D PARKER-KALON NAIL AND DISK
- PS PUMP STATION
- PVC POLYVINYL CHLORIDE PIPE
- R RADIUS (CURVE)
- R/W RIGHT OF WAY
- RCP REINFORCED CONCRETE PIPE
- SBT&T TELEPHONE AND TELECOMMUNICATIONS
- SLB STREET LIGHT BOX
- SMH SANITARY MANHOLE
- SP SIGN POST
- SQ. FT. SQUARE FEET
- SSCO SANITARY SEWER CLEANOUT
- STA STATION
- SWP STORM WATER PUMP
- TRAV PIT TRAVERSE POINT
- TRSH TRASH RECEPTACLE
- TSB TRAFFIC SIGNAL BOX
- TYP. TYPICAL
- UTD UNABLE TO BE DETERMINED
- VG VALLEY GUTTER
- W/ WITH
- WM WATER METER
- WV WATER VALVE
- ⊙ FIRE HYDRANT
- ⊕ SIAMSE CONNECTOR
- ⊕ GATE VALVE (UNLESS NOTED OTHERWISE)
- ⊕ WATER METER
- ⊕ CATCH BASIN
- ⊕ GUYWIRE ANCHOR
- ⊕ TREE
- ⊕ PINE TREE
- ⊕ PALM TREE
- ⊕ HEDGE/SHRUB
- ⊕ SPOTLIGHT AND/OR FLOODLIGHT
- ⊕ SIGN
- ⊕ NUMBER OF PARKING SPACES
- ⊕ HANDICAP PARKING SPACE
- ⊕ MEAN HIGH WATER LINE
- ⊕ RIGHT OF WAY LINE
- ⊕ CENTER LINE
- ⊕ EASEMENT LINE
- ⊕ LOT LINE
- ⊕ METAL LIGHT POLE
- ⊕ PROPERTY CORNER

LEGAL DESCRIPTION:

PARCEL A:
 LOTS 1, 2, 3, 4, 5, 6, 7, 8, AND 9, BLOCK 15, ISLAND VIEW SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 6, PAGE 115, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA.

LESS ALL THAT PORTION OF LOT 1, BLOCK 15, "ISLAND VIEW SUBDIVISION" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 21, PAGE 30, OF THE OFFICIAL RECORDS OF MIAMI-DADE COUNTY, FLORIDA, THAT IS INDICATED AS "DEDICATED".

SAID LANDS CONTAINING 148,376 SQUARE FEET (3.4062 ACRES) MORE OR LESS;

TOGETHER WITH:

A PARCEL OF SOVEREIGN LAND IN BISCAYNE BAY ABUTTING SECTION 33, TOWNSHIP 53 SOUTH, RANGE 42 EAST, DADE COUNTY, FLORIDA; MORE PARTICULARLY DESCRIBED IN THAT CERTAIN DEED NO. 25150 (2329-13) DATED OCTOBER 9, 1970 BETWEEN STATE OF FLORIDA BOARD OF TRUSTEES OF THE INTERNAL IMPROVEMENT TRUST FUND AND H. P. FORREST, AS TRUSTEE, UNDER THAT CERTAIN LAND TRUST AGREEMENT DATED APRIL 30, 1966, SAID DEED BEING RECORDED IN OFFICIAL RECORDS OF MIAMI DADE COUNTY, FLORIDA, AND ALL LITTORAL OR RIPARIAN RIGHTS WHICH MAY EXIST AS TO THE SUBJECT PROPERTIES.

SAID LANDS LYING IN THE CITY OF MIAMI BEACH, MIAMI DADE COUNTY, FLORIDA, CONTAINING 340,170 SQUARE FEET (7.81 ACRES) MORE OR LESS.

FURTHER DESCRIBED AS:

DEED NO. 25150 (2329-13):

A PARCEL OF SOVEREIGN LAND IN BISCAYNE BAY ABUTTING SECTION 33, TOWNSHIP 53 SOUTH, RANGE 42 EAST, DADE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF FRACTIONAL SECTION 33, TOWNSHIP 53 SOUTH, RANGE 42 EAST, DADE COUNTY, FLORIDA; THENCE DUE SOUTH, ALONG THE EAST LINE OF SAID SECTION 33 FOR A DISTANCE OF 836.7 FEET TO A POINT ON THE NORTH LINE OF ISLAND VIEW SUBDIVISION, PLAT BOOK 6 AT PAGE 115 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA; THENCE SOUTH 89°58'15" WEST, ALONG THE NORTH LINE OF THE SAID ISLAND VIEW SUBDIVISION, FOR A DISTANCE OF 830.1 FEET TO THE WEST RIGHT OF WAY LINE OF PURDY AVENUE, AS THE SAME IS SHOWN ON THE SAID PLAT OF ISLAND VIEW SUBDIVISION; THENCE DUE SOUTH, ALONG THE WEST RIGHT OF WAY LINE OF SAID PURDY AVENUE, FOR A DISTANCE OF 290 FEET TO THE NORTHEAST CORNER OF LOT 9, BLOCK 15 OF THE SAID ISLAND VIEW SUBDIVISION; THENCE SOUTH 89°58'15" WEST, ALONG THE NORTH LINE OF THE SAID LOT 9 FOR A DISTANCE OF 187.96 FEET TO THE NORTHWEST CORNER OF THE SAID LOT 9, THE SAME BEING A POINT ON THE DADE COUNTY BULKHEAD LINE, A POINT ON THE MEAN HIGH WATER LINE OF BISCAYNE BAY AND THE POINT OF BEGINNING; THENCE SOUTH 36°37'16" WEST, ALONG THE SAID DADE COUNTY BULKHEAD LINE, FOR A DISTANCE OF 16.07 FEET; THENCE SOUTH 73°10'29" WEST, ALONG THE DADE COUNTY BULKHEAD LINE FOR A DISTANCE OF 190.25 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE; THENCE ALONG THE DADE COUNTY BULKHEAD LINE AND SOUTHWESTERLY ALONG SAID CIRCULAR CURVE TO THE LEFT HAVING A RADIUS OF 150 FEET THROUGH A CENTRAL ANGLE OF 73°06'15" FOR AN ARC DISTANCE OF 191.39 FEET TO THE END OF SAID CURVE; THENCE SOUTH 00°04'14" WEST, TANGENT TO THE LAST DESCRIBED CURVE AND ALONG THE DADE COUNTY BULKHEAD LINE FOR A DISTANCE OF 218.80 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE; THENCE SOUTHWESTERLY ALONG THE DADE COUNTY BULKHEAD LINE AND ALONG THE SAID CIRCULAR CURVE TO THE LEFT HAVING A RADIUS OF 300 FEET THROUGH A CENTRAL ANGLE OF 36°55'20" FOR AN ARC DISTANCE OF 193.33 FEET TO A POINT OF REVERSE CURVE; THENCE SOUTHEASTERLY ALONG THE DADE COUNTY BULKHEAD LINE AND ALONG A CIRCULAR CURVE TO THE RIGHT HAVING A RADIUS OF 2,739.05 FEET THROUGH A CENTRAL ANGLE OF 4°43'52" FOR AN ARC DISTANCE OF 226.17 FEET TO ITS POINT OF INTERSECTION WITH THE PROLONGATION WEST OF THE SOUTH LINE OF LOT 1, BLOCK 15 OF THE SAID ISLAND VIEW SUBDIVISION; THENCE NORTH 89°58'15" EAST, ALONG THE PROLONGATION WEST OF THE SOUTH LINE OF THE SAID LOT 1, FOR A DISTANCE OF 109.59 FEET TO THE SOUTHWEST CORNER OF THE SAID LOT 1 AND A POINT ON THE MEAN HIGH WATER LINE OF BISCAYNE BAY; THENCE NORTH 00°04'14" EAST, ALONG THE WEST LINE OF LOTS 1 THROUGH 9, BOTH INCLUSIVE, BLOCK 15 OF THE SAID ISLAND VIEW SUBDIVISION, AND ALONG THE MEAN HIGH WATER LINE OF BISCAYNE BAY FOR A DISTANCE OF 706.76 FEET TO THE POINT OF BEGINNING, CONTAINING 4.4026 ACRES, MORE OR LESS, AND LYING AND BEING IN THE COUNTY OF DADE, IN THE STATE OF FLORIDA.

SURVEYOR'S REPORT AND NOTES:

- PHYSICAL PAPER VERSIONS OF THIS SURVEY MAP OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER. ELECTRONIC VERSIONS OF THIS SURVEY MAP HAVE BEEN OFFICIALLY SIGNED AND SEALED BY BENJAMIN B. HOYLE ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.
- THE PURPOSE OF THIS SURVEY IS TO MAP A BOUNDARY OF MAURICE GIBB MEMORIAL PARK AS WELL AS MAP THE LOCATION AND TOPOGRAPHY OF ABOVE GROUND IMPROVEMENTS.
- ADDITIONS AND/OR DELETIONS TO THIS SURVEY MAP, BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, RESTRICTIONS, COVENANTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
- THE "LEGAL DESCRIPTION" SHOWN HEREON WAS PREPARED BY THE SURVEYOR.
- UNDERGROUND FOUNDATIONS WERE NOT LOCATED OR SHOWN HEREON.
- THERE IS NO EVIDENCE THAT UNDERGROUND ENCROACHMENTS EXIST; HOWEVER, NO SUBSURFACE INVESTIGATION WAS PERFORMED TO DETERMINE IF UNDERGROUND ENCROACHMENTS ARE PRESENT.
- IMPROVEMENTS THAT WERE OBSERVED AT THE TIME OF SURVEY WERE NOT LOCATED OR SHOWN HEREON.
- THIS SURVEY DOES NOT IDENTIFY THE LIMITS OR EXTENT OF POTENTIAL JURISDICTIONAL BOUNDARIES.
- DUE TO THE COMPLEXITY OF THE ZONING REGULATIONS ON THESE PROPERTIES, THE CODES, SET-BACKS, LAND USES, AND RESTRICTIONS ARE SUBJECT TO CHANGE AND INTERPRETATION AND SHOULD BE VERIFIED WITH THE APPROPRIATE GOVERNMENTAL AGENCIES.
- DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN U.S. SURVEY FEET AND DECIMAL PORTIONS THEREOF, UNLESS SHOWN OTHERWISE.
- BEARINGS SHOWN HEREON ARE RELATIVE TO AN ASSUMED BEARING OF S01°59'45"E ALONG EAST LINE OF BLOCK 15, ISLAND VIEW SUBDIVISION (P.B. 6, PG. 115, M.D.C.R.).
- THE EXPECTED HORIZONTAL ACCURACY OF THE FEATURES SHOWN HEREON IS ±0.2' FOR THE LIMITS OF HARD SURFACES, SUCH AS ASPHALT, CONCRETE, CURBING, BUILDINGS, ETC. AND IS ±0.3' FOR GROUND SURFACE FEATURES, SUCH AS SURFACE FEATURES OF UTILITIES, ETC. AND IS ±0.4' FOR FEATURES PROTRUDING OUT OF THE GROUND, SUCH AS UTILITY POLES, FENCES, TREES, ETC.
- THE SYMBOLS SHOWN IN THE LEGEND AND ON THIS MAP MAY HAVE BEEN ENLARGED OR REDUCED FOR CLARITY, AND MAY NOT DEPICT THE ACTUAL SIZE OR SHAPE OF THE FEATURES. THE EXPECTED HORIZONTAL ACCURACY OF THE SYMBOLS SHOWN ON THIS MAP IS ±0.3' FROM THE CENTER OF THE SYMBOL, UNLESS OTHERWISE NOTED.
- THE BOUNDARY LINES SHOWN HEREON WERE ESTABLISHED BY KCI TECHNOLOGIES FROM RECOVERED MONUMENTATION ALONG THE BOUNDARY TO VERIFY THE LOCATION SHOWN IN RECORDED PUBLIC DOCUMENTS. THE EXPECTED HORIZONTAL ACCURACY OF THE BOUNDARY LINES SHOWN ON THIS MAP IS ±0.3'.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). ELEVATIONS ARE BASED ON BENCHMARKS SUPPLIED BY THE CITY OF MIAMI BEACH BENCHMARK "C-100", ELEVATION=9.50' (NAVD 88), A BRASS DISC ON THE NORTH CORNER OF A BRIDGE CROSSING THE DADE CANAL FROM DADE BOULEVARD TO 17TH STREET, AND BENCHMARK "LR 05 R", ELEVATION=2.82' (NAVD 88), A PK NAIL ADJACENT TO THE EAST BULLNOSE AT THE INTERSECTION OF WEST AVENUE AND LINCOLN ROAD.
- THE EXPECTED VERTICAL ACCURACY OF THE FEATURES SHOWN HEREON IS ±0.05' FOR HARD SURFACES, SUCH AS ASPHALT, CONCRETE, ETC. AND ±0.1' FOR SOFT SURFACES, SUCH AS GRASS, DIRT, MUD, ETC.
- ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 12086C0317L, COMMUNITY PANEL NO. 120651. EFFECTIVE DATE SEPTEMBER 11, 2009, THIS PROPERTY LIES IN ZONE AE, BASE FLOOD ELEVATION 8 FEET, BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929.
- MEASURED DISTANCES AND DIRECTIONS AGREE WITH RECORDED DISTANCES AND DIRECTIONS UNLESS OTHERWISE NOTED.
- ONLY UPLAND AREAS (LOTS 1-9, BLOCK 15, ISLAND VIEW SUBDIVISION) WERE SURVEYED. SUBMERGED LANDS WERE NOT SURVEYED.
- THE MEAN HIGH WATER ELEVATION SHOWN HEREON WAS ESTABLISHED BY UTILIZING THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION TIDE INTERPOLATION STATIONS NO. 150 & 151. THE MEAN HIGH WATER ELEVATION IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988, ELEVATION=0.16'.
- PIPE SIZES, DIMENSIONS, INVERTS, AND TYPES SHOULD BE VERIFIED PRIOR TO CONSTRUCTION, DUE TO STANDING WATER, DEBRIS, AND OTHER OBSTRUCTIONS WITHIN THE STRUCTURES AT THE TIME THIS SURVEY WAS PERFORMED.

(SEE SHEETS 2 & 3 OF 4 FOR SKETCH OF SURVEY)
 (SEE SHEET 4 OF 4 FOR AS-BUILT TABLE)

CERTIFICATE:

I HEREBY CERTIFY THAT THE ATTACHED BOUNDARY AND TOPOGRAPHIC SURVEY OF THE HERON DESCRIBED PROPERTY IS DEPICTED TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION AS PREPARED UNDER MY DIRECTION ON JUNE 19, 2019. I FURTHER CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHIC SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, SUBJECT TO THE QUALIFICATIONS NOTED HEREON.

KCI TECHNOLOGIES, INC.
 SURVEYORS, ENGINEERS, AND PLANNERS
 BY: BENJAMIN B. HOYLE, P.S.M.
 FLORIDA REGISTRATION NO. 6769

Benjamin B Hoyle
 2023.01.16
 '00/05- 13:27:05



Z:\PROJECTS\512100098\CITY OF MIAMI BEACH\03_MAUURICE_GIBB_MEMORIAL_PARK_BN_SURVEY\CAD\512100098-03-BSTS-MGMP-MARINE_PATROL.DWG

BOUNDARY AND TOPOGRAPHIC SURVEY
 CITY OF MIAMI BEACH
 MAURICE GIBB MEMORIAL PARK
 A PORTION OF ISLAND VIEW SUBDIVISION
 P.B. 6, PG. 115, M.D.C.R.
 MIAMI-DADE COUNTY, FLORIDA

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 Fort Lauderdale, FL 33309 • 954-776-1616 • www.kci.com
 LICENSED BUSINESS NO. 6901

DATE	REVISIONS
1/9/20	ADD MH/W LINE REVISE CERTIFICATE
5/5/21	ADD R/W WIDTHS & LOT DIMENSIONS
8/18/22	UPDATE SURVEY

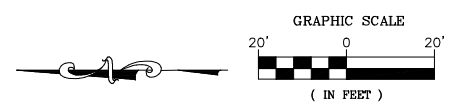
DATE	6/19/2019
SCALE	AS SHOWN
FIELD BOOK	1367 1475 1567 1528 1531
DRAWN BY	JW/MB/DS/AB
CHECKED BY	RKK/BBH

SHEET NO. 1
 OF 4 SHEETS
 PROJECT NO.
 512100098.03C



MATCHLINE SEE SHEET 3 OF 4

- LEGEND:**
- ALUM ALUMINUM
 - BFP BACKFLOW PREVENTOR
 - BOL BOLLARD
 - BOS BOTTOM OF STRUCTURE
 - (C) CALCULATED MEASUREMENT
 - CA CENTRAL ANGLE/DELTA (CURVE)
 - CATV CABLE TELEVISION
 - CB CATCH BASIN
 - CBS CONCRETE BLOCK STRUCTURE
 - CI CURB INLET
 - CONC CONCRETE
 - CPP CONCRETE POWER POLE
 - (D) MEASUREMENT PER DEED
 - DMH DRAINAGE MANHOLE (STORMWATER)
 - DWS DETECTABLE WARNING SURFACE
 - EB ELECTRIC BOX
 - ELEV ELEVATION
 - EM ELECTRIC METER
 - EP ELECTRIC PANEL
 - ETB ELECTRIC TRANSFORMER BOX
 - FND FOUND
 - FPL FLORIDA POWER AND LIGHT
 - GV GATE VALVE
 - HDPE HIGH DENSITY POLYETHYLENE
 - HH HAND HOLE
 - ICB IRRIGATION CONTROL BOX
 - ID IDENTIFICATION
 - IRC IRON ROD WITH CAP
 - K&S KEITH & SCHNARS
 - L ARC LENGTH (CURVE)
 - LB LICENSED BUSINESS
 - (M) FIELD MEASUREMENT
 - M.D.C.R. MIAMI-DADE COUNTY RECORDS
 - MAG MAGNETIC
 - MF METAL FENCE
 - MH MANHOLE
 - MLP METAL LIGHT POLE
 - MS MULTI-STEM
 - MW MONITORING WELL
 - N/A NOT APPLICABLE
 - NAVD88 NORTH AMERICAN VERTICAL DATUM OF 1988
 - NL&D NAIL AND DISK
 - NO. NUMBER
 - O.R.B. OFFICIAL RECORDS BOOK
 - OF OUTFALL
 - (P) PLAT
 - P.A. PROFESSIONAL ASSOCIATION
 - P.B. PLAT BOOK
 - P.O.B. POINT OF BEGINNING
 - P.S.M. PROFESSIONAL SURVEYOR AND MAPPER
 - PG. PAGE
 - PHR POLYVINYL CHLORIDE PIPE HAND RAIL
 - PK&D PARKER-KALON NAIL AND DISK
 - PS PUMP STATION
 - PVC POLYVINYL CHLORIDE PIPE
 - R RADIUS (CURVE)
 - R/W RIGHT OF WAY
 - RCP REINFORCED CONCRETE PIPE
 - SBT&T TELEPHONE AND TELECOMMUNICATIONS
 - SLB STREET LIGHT BOX
 - SMH SANITARY MANHOLE
 - SP SIGN POST
 - SQ. FT. SQUARE FEET
 - SSCO SANITARY SEWER CLEANOUT
 - STA STATION
 - SWP STORM WATER PUMP
 - TRAV PT TRAVERSE POINT
 - TRSH TRASH RECEPTACLE
 - TSB TRAFFIC SIGNAL BOX
 - TYP. TYPICAL
 - UTD UNABLE TO BE DETERMINED
 - VG VALLEY GUTTER
 - W/ WITH
 - WM WATER METER
 - WV WATER VALVE
 - FIRE HYDRANT
 - SIAMSESE CONNECTOR
 - GATE VALVE (UNLESS NOTED OTHERWISE)
 - WATER METER
 - CATCH BASIN
 - GUYWIRE ANCHOR
 - TREE
 - PINE TREE
 - PALM TREE
 - HEDGE/SHRUB
 - SPOTLIGHT AND/OR FLOODLIGHT
 - SIGN
 - NUMBER OF PARKING SPACES
 - HANDICAP PARKING SPACE
 - MEAN HIGH WATER LINE
 - RIGHT OF WAY LINE
 - CENTER LINE
 - EASEMENT LINE
 - LOT LINE
 - METAL LIGHT
 - PROPERTY CORNER



(SEE SHEET 1 OF 4 FOR BOUNDARY SURVEY, NOTES, LEGEND, AND LEGAL DESCRIPTION)
 (SEE SHEET 3 OF 4 FOR ADDITIONAL SKETCH OF SURVEY)
 (SEE SHEET 4 OF 4 FOR AS-BUILT TABLE)

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5/5/21	ADD R/W WIDTHS & LOT DIMENSIONS
8/18/22	UPDATE SURVEY

DATE	6/19/2019
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DRAWN BY	JW/MB/DS/AB
CHECKED BY	RKK/BBH

BOUNDARY AND TOPOGRAPHIC SURVEY
 CITY OF MIAMI BEACH
 MAURICE GIBB MEMORIAL PARK
 A PORTION OF ISLAND VIEW SUBDIVISION
 P.B. 6, PG. 115, M.D.C.R.
 MIAMI-DADE COUNTY, FLORIDA

SHEET NO.	2
OF	4 SHEETS
PROJECT NO.	512100098.03C

Z:\PROJECTS\512100098_CITY OF MIAMI BEACH\03 MAURICE GIBB MEMORIAL PARK\BT\SURVEY\CAD\512100098-03-BSTS_MGMP_MARINE_PATROLDWG



- LEGEND:**
- ALUM ALUMINUM
 - BFP BACKFLOW PREVENTOR
 - BOL BOLLARD
 - BOS BOTTOM OF STRUCTURE
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 - SBT&T TELEPHONE AND TELECOMMUNICATIONS
 - SLB STREET LIGHT BOX
 - SMH SANITARY MANHOLE
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 - VG VALLEY GUTTER
 - W/ WITH
 - WM WATER METER
 - WV WATER VALVE
 - Fire Hydrant
 - SIAMSESE CONNECTOR
 - Gate Valve (unless noted otherwise)
 - Water Meter
 - Catch Basin
 - Guywire Anchor
 - Tree
 - Pine Tree
 - Palm Tree
 - Hedge/Shrub
 - Spotlight and/or Floodlight
 - Sign
 - Number of Parking Spaces
 - Handicap Parking Space
 - Mean High Water Line
 - Right of Way Line
 - Center Line
 - Easement Line
 - Lot Line
 - Metal Light Pole
 - Property Corner

MATCHLINE SEE SHEET 2 OF 4

Z:\PROJECTS\512100098_CITY OF MIAMI BEACH\03_MAUICE_GIBB_MEMORIAL_PARK_BUY_SURVEY\CAD\512100098-03-BSTS_MGMP_MARINE_PATROL.DWG

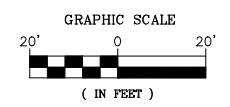
N01°55'30"W (C), N00°04'14"E (D)
795.91' (C), 796.76' (D), 795.80' (M)

NOTE:
MEAN HIGH WATER ELEVATION=0.16' (NAVD88)
*(SEE SURVEYOR'S NOTE 21 ON SHEET 1 OF 4)

NOTE:
THERE ARE VESSELS MOORED/ANCHORED
WITHIN THE CITY OWNED SUBMERGED LANDS

SUBMERGED LANDS (SEE SHEET 1)

(SEE SHEET 1 OF 4 FOR BOUNDARY SURVEY, NOTES,
LEGEND, AND LEGAL DESCRIPTION)
(SEE SHEET 3 OF 4 FOR ADDITIONAL SKETCH OF SURVEY)
(SEE SHEET 4 OF 4 FOR AS-BUILT TABLE)



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1/9/20	ADD MHW LINE REVISE CERTIFICATE
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BOUNDARY AND TOPOGRAPHIC SURVEY
CITY OF MIAMI BEACH
MAURICE GIBB MEMORIAL PARK
A PORTION OF ISLAND VIEW SUBDIVISION
P.B. 6, PG. 115, M.D.C.R.
MIAMI-DADE COUNTY, FLORIDA

SHEET NO.	3
OF	4 SHEETS
PROJECT NO.	512100098.03C

STRUCTURE ID	RIM EL.	PIPE INFORMATION	INVERT EL.	COMMENTS
CB 1	1.70'	N, 18" PVC	(-1.02')	BOS EL.=(-)1.12'
CB 2	3.15'	UTD	UTD	NO ACCESS, BOS EL.=(-)5.74'
CB 3	2.04'	N, 18" RCP	(-0.98')	
		S, 18" RCP	(-1.02')	BOS EL.=(-)1.03'
CB 4	3.18'	UTD	UTD	BOS EL.=(-)5.76'
CB 5	1.85'	NE 12" HDPE	(-1.03')	
		S, 18" RCP	(-0.99')	BOS EL.=(-)1.15'
CB 6	3.18'	UTD	UTD	NO ACCESS, BOS EL.=(-)5.62'
CB 7	3.14'	TOP OF BAFFLE	(-1.75')	BOS EL.=(-)6.51'
CB 11091	4.53'	NE, 2" PVC	3.05'	BOS EL.=0.55'
CB 12330	3.15'	N, 60" RCP	(-6.36')	
CB 12547	3.33'	UTD	UTD	BOS EL.=(-)5.80'
CB 12570	3.02'	E, 18" RCP	(-4.82')	BOS EL.=(-)6.76'
CI 12238	2.94'	UTD	UTD	FULL OF WATER/DEBRIS
DMH 1	3.66'	N, UTD	(-2.35')	FULL OF WATER/DEBRIS
		W, 12" PVC	(-2.37')	
DMH 2	3.43'	N, 24" PVC	(-2.52')	NO ACCESS, BOS EL.=(-)4.69'
		E, 12" PVC	(-2.55')	
		S, 24" PVC	(-3.16')	
		W, 12" PVC	(-2.37')	BOS EL.=(-)4.67'
DMH 3	3.61'	E, 15" PVC	(-2.67')	
		S, 15" PVC	(-2.67')	BOS EL.=(-)10.77'
SMH 4	3.64'	UTD	UTD	FULL OF WASTE MATERIAL
		N, UTD	(-3.33')	
		S, UTD	(-2.62')	
DMH 5	3.58'	W, UTD	(-2.62')	
		E, UTD	(-2.57')	BOS EL.=(-)4.57'
DMH 7	4.22'	NW, UTD	UTD	PLUGGED
DMH 11	3.48'	NW, UTD	(-4.41')	FULL OF WATER/DEBRIS
		NE, UTD	(-2.28')	FULL OF WATER/DEBRIS
		S, 12" RCP	(-5.07')	
		E, 15" RCP	(-4.73')	
DMH 12	3.40'	NW, 12" RCP	(-3.85')	
		W, 24" PVC	(-3.00')	FULL OF WATER
		E, 12" HDPE	(-1.97')	FULL OF WATER
		N, 24" PVC	(-3.36')	FULL OF WATER
		S, 24" PVC	(-3.60')	FULL OF WATER
		W, 30" PVC	(-4.63')	FULL OF WATER
		N, 15" PVC	(-3.59')	FULL OF WATER
DMH 7170	3.31'	UTD	UTD	FULL OF WATER/DEBRIS, BOS EL.=(-)15.73'
DMH 7171	3.36'	UTD	UTD	FULL OF WATER/DEBRIS, BOS EL.=(-)15.73'
DMH 7297	3.56'	T.O.P., 28" DIP	0.53'	BOS EL.=(-)3.26'
DMH 7307	2.62'	UTD	UTD	FULL OF WATER/DEBRIS, BOS EL.=(-)8.64'
DMH 10071	2.59'	T.O.P., 28" DIP	(-0.78)	FULL OF WATER/DEBRIS, BOS EL.=(-)6.53'
DMH 12018	3.48'	UTD	UTD	NO ACCESS, UNABLE TO OPEN, RIM RUSTED SHUT
DMH 12220	3.72'	NE, 24" RCP	(-1.86')	
		W, 24" HDPE	(-4.72')	BOS EL.=(-)3.80
DMH 12557	3.73'	S, UTD	(-4.14')	
		E, UTD	(-0.94')	BOS EL.=(-)8.82
DMH 12559	3.89'	N, UTD	(-4.28')	
		S, 24" RCP	(-8.83')	
		E, 36" RCP	(-9.11')	FULL OF WATER, BOS EL.=(-)10.47'
DMH 12565	3.73'	UTD	UTD	UNABLE TO FIND PIPES, BOS EL.=(-)10.83
DMH 12567	3.78'	W, 36" RCP	(-4.99')	BOS EL.=(-)10.62
DMH 12645	3.04'	E, 36" RCP	(-4.95')	
DMH 12655	3.81'	UTD	UTD	FULL OF WATER/DEBRIS
DMH 12677	2.35'	SW, 18" RCP	(-1.39')	
		W, 18" RCP	(-1.63')	
OF 1	N/A	30" PVC	(-2.13')	
OF 12354	N/A	18" PVC	(-0.77')	
OF 12355	N/A	30" PVC	(-2.92')	
		N, 10" PVC	(-0.64')	
		E, 6" PVC	(-0.45')	
SMH 1	3.82'	W, 6" PVC	(-1.29')	
SMH 2987	3.75'	UTD	(-0.75')	FULL OF WATER

NOTE:

PIPE SIZES, DIMENSIONS, INVERTS AND TYPES SHOULD BE VERIFIED PRIOR TO CONSTRUCTION DUE TO STANDING WATER, DEBRIS AND OTHER OBSTRUCTIONS WITHIN THE STRUCTURES.

STRUCTURE ID	RIM EL.	PIPE INFORMATION	INVERT EL.	COMMENTS
DMH 2349	3.08'	E, 12" PVC	1.01'	BOS EL.=(-)5.69'
CB 3019	3.31'	E, 18" PVC	(-0.19')	BOS EL.=(-)5.91'
DMH A	3.93'	W, 36" HDPE	(-4.75')	
		N, 24" RCP	(-8.76')	
		S, 24" RCP	(-8.62')	BOS EL.=(-)9.64'
CB 3223	2.81'	N, 18" HDPE	(-1.84')	
		S, 18" HDPE	(-1.73')	BOS EL.=(-)3.84'
CB 3227	2.67'	N, 18" HDPE	(-1.91')	BOS EL.=(-)4.05'
DMH 7297	3.56'	T.O.P., 28" DIP	0.53'	BOS EL.=(-)3.26'
CB 2448	3.12	UTD	UTD	BOS EL.=(-)6.39'
CB 2510	2.85'	UTD	UTD	BOS EL.=(-)6.42'
DMH 12694	3.77'	T.O.P., 28" DIP	(-0.82)	CONFLICT STRUCTURE
		S, 18" DIP	(-1.52')	BOS EL.=(-)6.70'
CB 4436	2.60'	S, 12" PVC	0.98'	BOS EL.=0.98'
CB 3500	3.14'	S, 24" HDPE	(-1.66')	
		W, 24" HDPE	(-1.92')	BOS EL.=(-)4.03'
		E, 24" HDPE	(-1.96')	
CB 3504	3.36'	N, 18" HDPE	(-4.27')	BOS EL.=(-)4.28'
CB 4432	2.57'	N, 12" PVC	0.89'	BOS EL.=0.89'
CB 3468	3.83'	E, 36" HDPE	(-2.18)	BOS EL.=(-)4.57'
DMH 3468A	3.83'	W, 36" HDPE	(-2.27')	
		12" TOP OF WIER WALL	(-3.24')	MEASURED ON TOP OF WIER WALL/BOS EL.=(-)4.93'
DMH 3452	3.79'	NW, 18" HDPE	(-1.87')	
		S, 24" HDPE	(-4.21')	
		E, 24" HDPE	(-4.77')	
		W, 36" HDPE	(-4.48')	BOS EL.=(-)5.86'
DMH 3518	3.52'	UTD	UTD	UNABLE TO ACCESS RIM IS RUSTED SHUT
DMH 12677	2.34'	SW, 18" DIP	(-2.28')	
		E, 18" DIP	(-2.00')	BOS EL.=(-)5.45'
DMH 12645	3.02'	E, 36" RCP	(-4.88')	BOS EL.=(-)7.94'
CB 3784	2.62'	N, 12" PVC	0.17'	BOS EL.=0.17'
DMH 12655	3.81'	28" DIP T.O.P.	2.36'	BOS EL.=(-)4.00'
DMH 3912	2.33'	E, 24" DIP	(-0.77')	BOS EL.=(-)3.79'
CB 3308	2.75'	N, 24" HDPE	(-4.09')	
		S, 24" HDPE	(-1.90')	
		SW, 24" HDPE	(-1.44')	BOS EL.=(-)5.67'
DMH 8	3.62'	E, 12" PVC	(-2.81')	
		N, 24" RCP	(-8.70')	
		W, 12" PVC	(-2.68')	
		S, 24" HDPE	(-2.66')	BOS EL.=(-)10.93'
SMH 10	3.69'	UTD	UTD	FULL OF WATER/DEBRIS
		N, 8" PVC	(-2.02')	FULL OF WATER
SMH 14	3.68'	S, 8" PVC	(-1.98')	FULL OF WATER
SMH 12551	3.94'	UTD	UTD	BOS EL.=(-)2.59'
SMH 12561	4.18'	UTD	UTD	FULL OF WASTE MATERIAL
SMH 12562	4.23'	UTD	UTD	FULL OF WASTE MATERIAL

LEGEND:

- ALUM ALUMINUM
- BFP BACKFLOW PREVENTOR
- BOL BOLLARD
- BOS BOTTOM OF STRUCTURE
- CA CENTRAL ANGLE/Delta (CURVE)
- CATV CABLE TELEVISION
- CB CATCH BASIN
- CBS CONCRETE BLOCK STRUCTURE
- CI CURB INLET
- COMC CONCRETE
- CPP CONCRETE POWER POLE
- (D) MEASUREMENT PER DEED
- DMH DRAINAGE MANHOLE (STORMWATER)
- DWS DETECTABLE WARNING SURFACE
- EB ELECTRIC BOX
- EL ELEVATION
- EM ELECTRIC METER
- EP ELECTRIC PANEL
- ETB ELECTRIC TRANSFORMER BOX
- FND FOUND
- FPL FLORIDA POWER AND LIGHT
- GV GATE VALVE
- HDPE HIGH DENSITY POLYETHYLENE
- HH HAND HOLE
- ICB IRRIGATION CONTROL BOX
- ID IDENTIFICATION
- IRC IRON ROD WITH CAP
- K&S KEITH & SCHNARS
- L ARC LENGTH (CURVE)
- LB LICENSED BUSINESS
- (M) FIELD MEASUREMENT
- M.D.C.R. MIAMI-DADE COUNTY RECORDS
- MAG MAGNETIC
- MF METAL FENCE
- MH MANHOLE
- MLP METAL LIGHT POLE
- MS MULTI-STEM
- MW MONITORING WELL
- N/A NOT APPLICABLE
- NAVD88 NORTH AMERICAN VERTICAL DATUM OF 1988
- NL&D NAIL AND DISK
- NO. NUMBER
- O.R.B. OFFICIAL RECORDS BOOK
- OF OUTFALL
- (P) PLAT
- P.A. PROFESSIONAL ASSOCIATION
- P.B. PLAT BOOK
- P.O.B. POINT OF BEGINNING
- P.S.M. PROFESSIONAL SURVEYOR AND MAPPER
- PG. PAGE
- PHR POLYVINYL CHLORIDE PIPE HAND RAIL
- PK&D PARKER-KALON NAIL AND DISK
- PS PUMP STATION
- PVC POLYVINYL CHLORIDE PIPE
- R RADIUS (CURVE)
- R/W RIGHT OF WAY
- RCP REINFORCED CONCRETE PIPE
- SBT&T TELEPHONE AND TELECOMMUNICATIONS
- SLB STREET LIGHT BOX
- SMH SANITARY MANHOLE
- SP SIGN POST
- SQ. FT. SQUARE FEET
- SSCO SANITARY SEWER CLEANOUT
- STA STATION
- SWP STORM WATER PUMP
- TRAV PT TRAVERSE POINT
- TRSH TRASH RECEPTACLE
- TSB TRAFFIC SIGNAL BOX
- TYP. TYPICAL
- UTD UNABLE TO BE DETERMINED
- VG VALLEY GUTTER
- W/ WITH
- WM WATER METER
- WV WATER VALVE
- ⊕ FIRE HYDRANT
- ⊕ SIAMISE CONNECTOR
- ⊕ GATE VALVE (UNLESS NOTED OTHERWISE)
- ⊕ WATER METER
- ⊕ CATCH BASIN
- ⊕ GUYWIRE ANCHOR
- ⊕ TREE
- ⊕ PINE TREE
- ⊕ PALM TREE
- ⊕ HEDGE/SHRUB
- ⊕ SPOTLIGHT AND/OR FLOODLIGHT
- ⊕ SIGN
- ⊕ NUMBER OF PARKING SPACES
- ⊕ HANDICAP PARKING SPACE
- MEAN HIGH WATER LINE
- RIGHT OF WAY LINE
- CENTER LINE
- EASEMENT LINE
- LOT LINE
- ⊕ METAL LIGHT POLE
- ⊕ PROPERTY CORNER

(SEE SHEET 1 OF 4 FOR BOUNDARY SURVEY, NOTES, LEGEND, AND LEGAL DESCRIPTION)
 (SEE SHEETS 2 AND 3 OF 4 FOR SKETCH OF SURVEY)

Z:\PROJECTS\512100098_CITY OF MIAMI BEACH\03_MAUICE_GIBB_MEMORIAL_PARK_BTY\SURVEY\CAD_512100098-03-BSTS_MCMP_MARINE_PATROL.DWG

**ENGINEERS | PLANNERS | SCIENTISTS
 CONSTRUCTION MANAGERS**
 1425 W. Cypress Creek Road, Suite 101
 Fort Lauderdale, FL 33309 • 954.776.1616 • www.kci.com
KCI
 LICENSED BUSINESS NO. 6901

DATE	REVISIONS
1/9/20	ADD MHW LINE REVISE CERTIFICATE
5/5/21	ADD R/W WIDTHS & LOT DIMENSIONS
8/18/22	UPDATE SURVEY

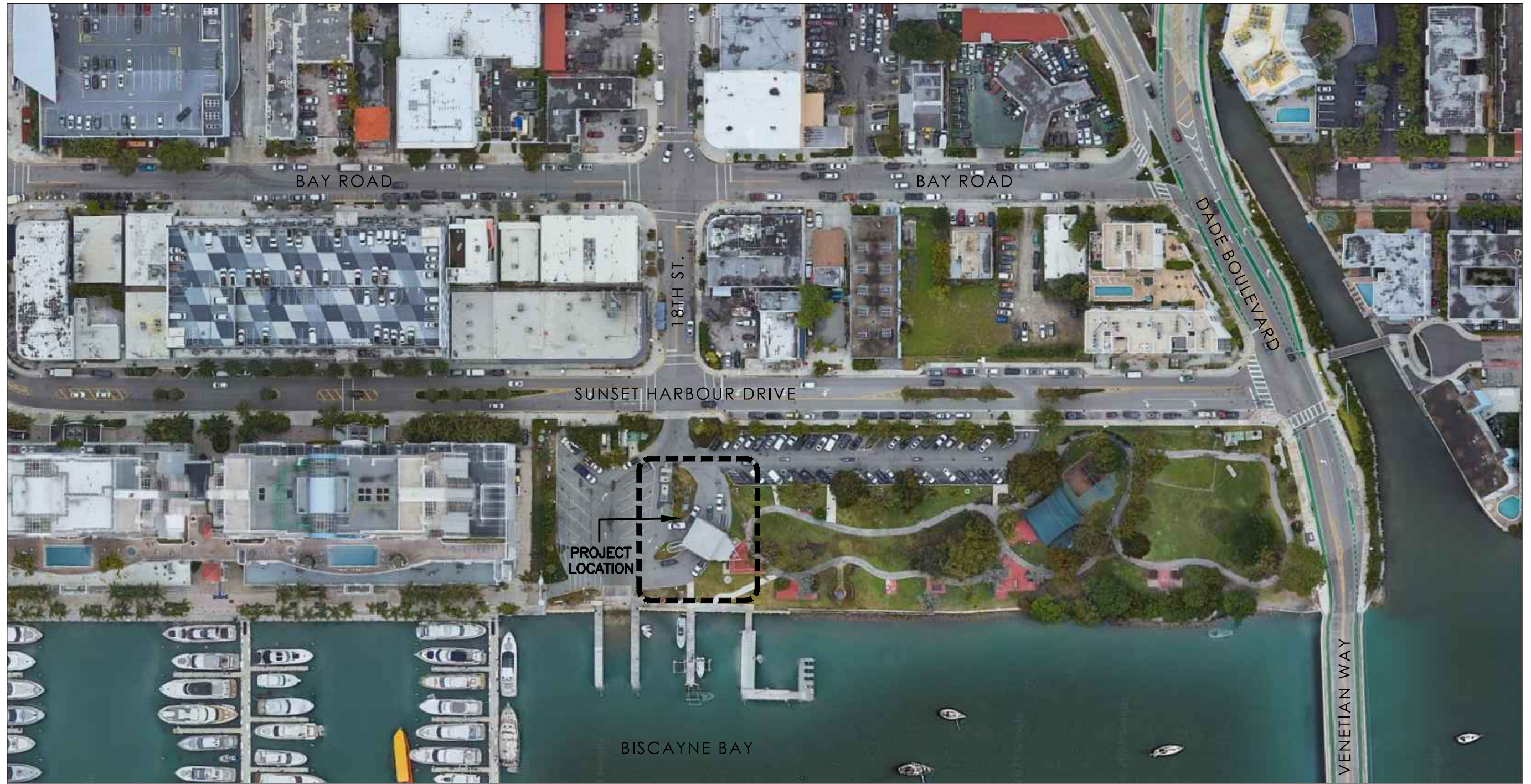
DATE 6/19/2019

SCALE AS SHOWN
 1367 1475 1567
 1528 1631



FIELD BOOK JW/MB/DS/AB
 DRAWN BY RKK/BBH

BOUNDARY AND TOPOGRAPHIC SURVEY
 CITY OF MIAMI BEACH
 MAURICE GIBB MEMORIAL PARK
 A PORTION OF ISLAND VIEW SUBDIVISION
 P.B. 6, PG. 115, M.D.C.R.
 MIAMI-DADE COUNTY, FLORIDA

SHEET NO. 4
 OF 4 SHEETS
 PROJECT NO. 512100098.03C

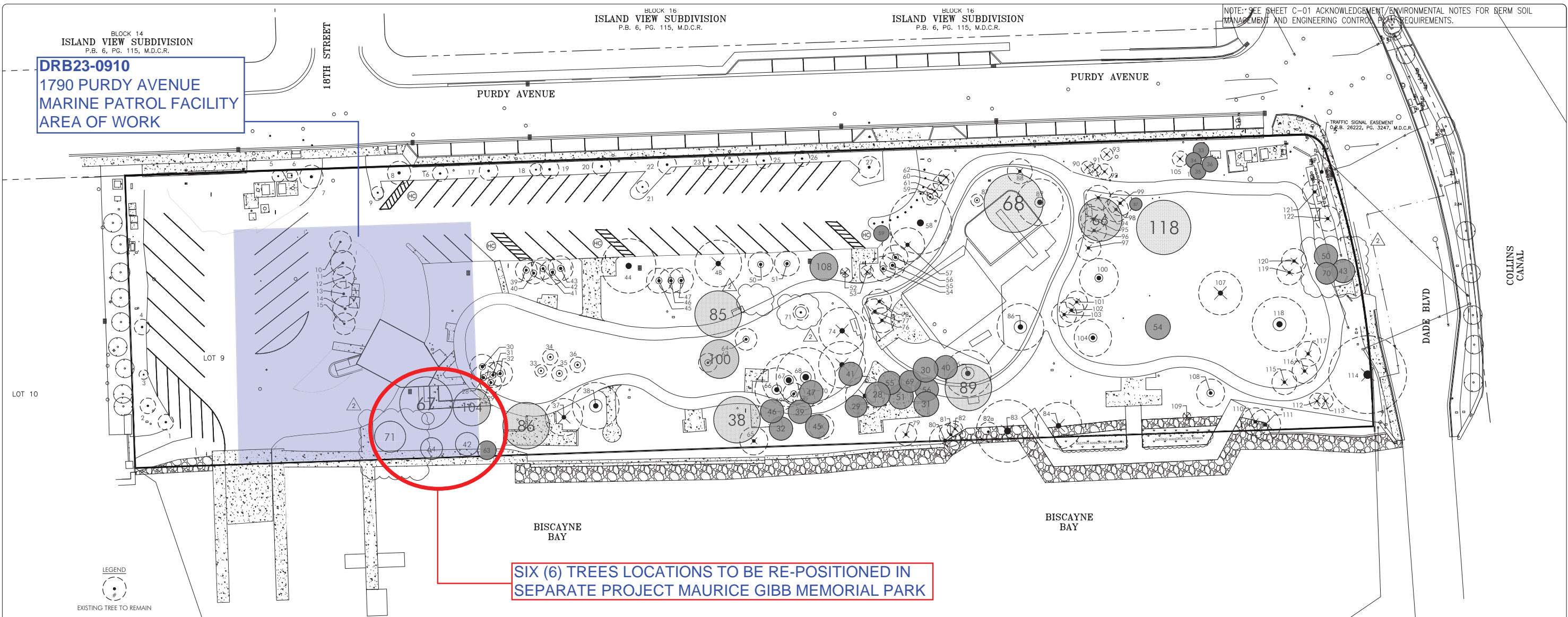


1 CONTEXT LOCATION PLAN 

 OFFICE OF CAPITAL IMPROVEMENT PROJECTS <small>1701 MERIDIAN AVENUE, MIAMI BEACH, FL 33139</small>	PROJECT: MARINE PATROL FACILITY MAURICE GIBB MEMORIAL PARK	 ARCHITECTURE • PLANNING • INTERIORS AR 14445 <small>MIAMI, FLORIDA 33133 (305) 445-3765 2780 SW DOUGLAS ROAD SUITE 302 WWW.MCHARRY.COM</small>	SUB CONSULTANT:	ARCH. OF RECORD: <u>LOURDES SOLERA</u> FL REG: <u>AR 14445</u> DRAWN BY: <u>AD</u> CHECKED BY: <u>-</u> SCALE: <u>VARIOUS</u>	2/3/2023	<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION</th> <th>APP'D. BY</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO.	DATE	REVISION	APP'D. BY																									Drawing Title: CONTEXT LOCATION PLAN - Filename: A0.03-CMB MARINE PATROL-CONTEXT LOCATION PLAN.dwg	Drawing No.: A0.03
	NO.		DATE	REVISION	APP'D. BY																															
ADDRESS: 1790 PURDY AVENUE MIAMI BEACH, FL 33139	Date: - Sheet: - of -																																			

DRB23-0910
1790 PURDY AVENUE
MARINE PATROL FACILITY
AREA OF WORK

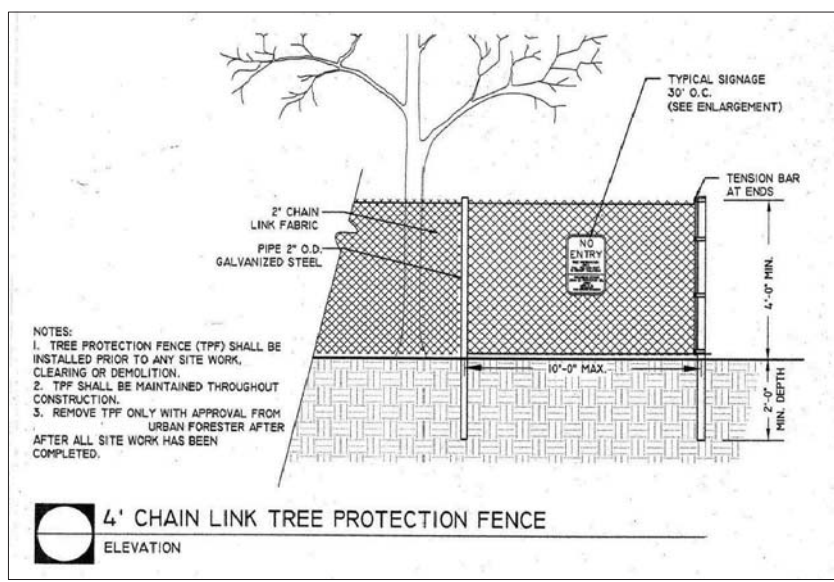
NOTE: SEE SHEET C-01 ACKNOWLEDGMENT/ENVIRONMENTAL NOTES FOR BERM SOIL MANAGEMENT AND ENGINEERING CONTROL PLAN REQUIREMENTS.



SIX (6) TREES LOCATIONS TO BE RE-POSITIONED IN SEPARATE PROJECT MAURICE GIBB MEMORIAL PARK

DRB23-0910
COORDINATION PLAN:
ADJACENT PARK PROJECT

- LEGEND**
- EXISTING TREE TO REMAIN
 - EXISTING TREE TO BE REMOVED
 - EXISTING TREE TO BE TRANSPLANTED
 - NEW LOCATION OF TRANSPLANTED TREE



NOTES:
 1. TREE PROTECTION FENCE (TPF) SHALL BE INSTALLED PRIOR TO ANY SITE WORK, CLEARING OR DEMOLITION.
 2. TPF SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
 3. REMOVE TPF ONLY WITH APPROVAL FROM URBAN FORESTER AFTER ALL SITE WORK HAS BEEN COMPLETED.

NOTES:
 BARRIER SHALL BE PLACED AT THE EDGE OF THE DRILLING OF THE TREE CANOPY OR AS FAR FROM THE TREE AS POSSIBLE WHERE THE CANOPY OVERHANGS PARALLEL THAT IS TO REMAIN. BARRIER SHALL BE MAINTAINED IN AN UPRIGHT POSITION AT ALL TIMES.
 TREE PROTECTION FENCE (TPF) SHALL BE INSTALLED PRIOR TO ANY SITE WORK, CLEARING, OR DEMOLITION, AND MAINTAINED THROUGHOUT CONSTRUCTION.
 REMOVE TPF ONLY WITH APPROVAL FROM URBAN FORESTER AFTER ALL SITE WORK HAS BEEN COMPLETED.
 *NOTE: Should any existing trees or palms be damaged they shall be evaluated by the City Urban Forester to determine corrective actions that may include removal, corrective pruning and or replacement. Any corrective actions required shall be performed in accordance with the City of Miami Beach Code, the most current ANSI A-300 Pruning Standards and or an issued City Tree or Environmental Permit. Any corrective pruning required shall be performed by an ISA Certified Arborist and the City Urban Forester shall be consulted.

4' CHAIN LINK TREE PROTECTION FENCE
 ELEVATION

A EXISTING TREE DISPOSITION PLAN
 SCALE: 1"=30'

MIAMI BEACH
 OFFICE OF CAPITAL IMPROVEMENT PROJECTS
 1701 MERIDIAN AVENUE, MIAMI BEACH, FL 33139

PROJECT: MAURICE GIBB MEMORIAL PARK
 ADDRESS:

COASTAL SYSTEMS INTERNATIONAL, INC.
 484 South Dixie Highway, Coral Gables, Florida 33134
 Tel: 305-441-3600 Fax: 305-441-1014 www.CoastalSystems.com
 OFFICE OF URBAN DESIGN

GS&A DESIGN
 LANDSCAPE ARCHITECTURE
 1700 SW 76th Ave., Suite 211
 Ft. Lauderdale, FL 33309
 Tel: 754-561-1111 Fax: 754-561-1112
 www.gsanda.com

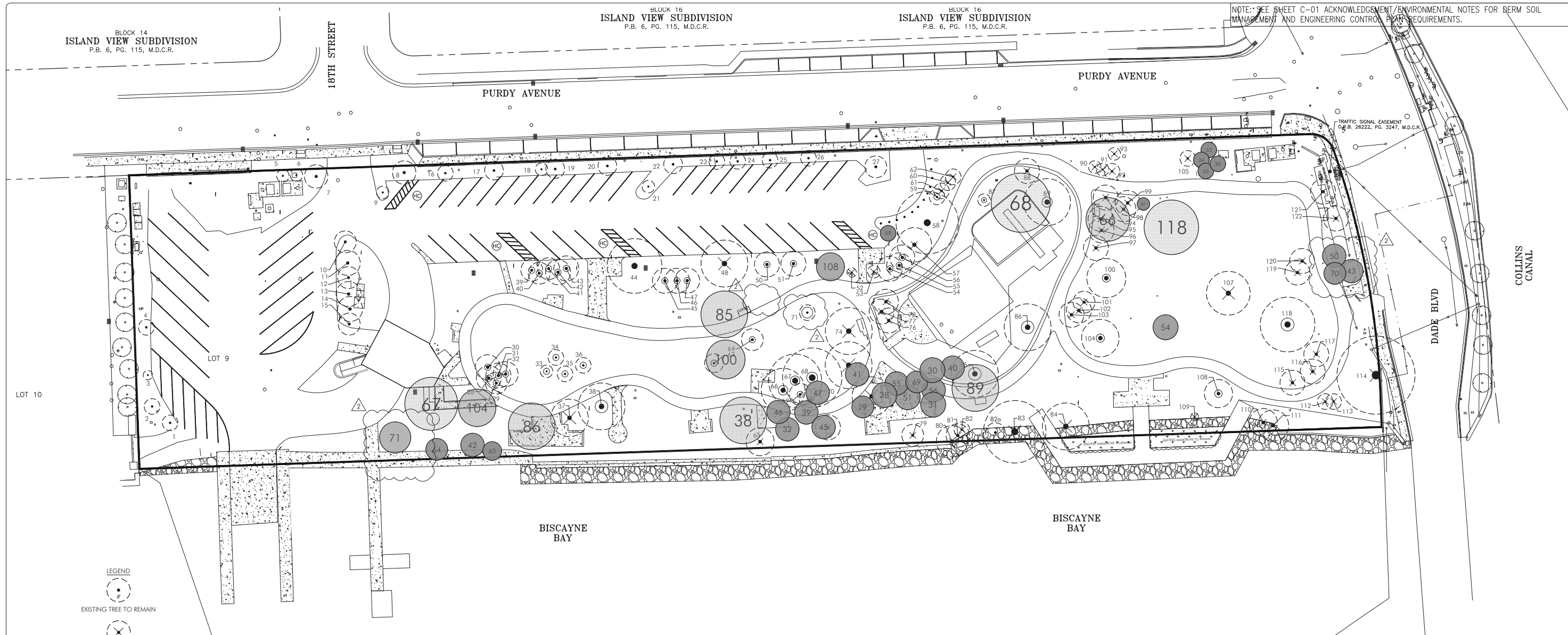
LA OF RECORD: KEG
 DESIGN LA: KEG
 DRAWN BY: HM
 CHECKER: KEG
 SCALE:

LANDSCAPE ARCHITECT OF RECORD:
 Ken Gardner, ASLA
 FL LA 1569

NO.	DATE	REVISION
5		
4		
3		
2	11-29-2021	100% CONSTRUCTION PLANS
1	07-19-2021	100% CONSTRUCTION PLANS

Drawing Title: **COORDINATION PLAN**
 Drawing No.: **A0.03A**
 Filename: GS&A - SHEETS.dwg
 Date: 06.28.19 Sheet: of

APPD. BY:



NOTE: SEE SHEET C-01 ACKNOWLEDGMENT/ENVIRONMENTAL NOTES FOR BERM SOIL MANAGEMENT AND ENGINEERING CONTROL REQUIREMENTS.

BLOCK 14
ISLAND VIEW SUBDIVISION
P.B. 6, PG. 115, M.D.C.R.

BLOCK 16
ISLAND VIEW SUBDIVISION
P.B. 6, PG. 115, M.D.C.R.

BLOCK 16
ISLAND VIEW SUBDIVISION
P.B. 6, PG. 115, M.D.C.R.

PURDY AVENUE

PURDY AVENUE

18TH STREET

DADE BLVD

COLLINS CANAL

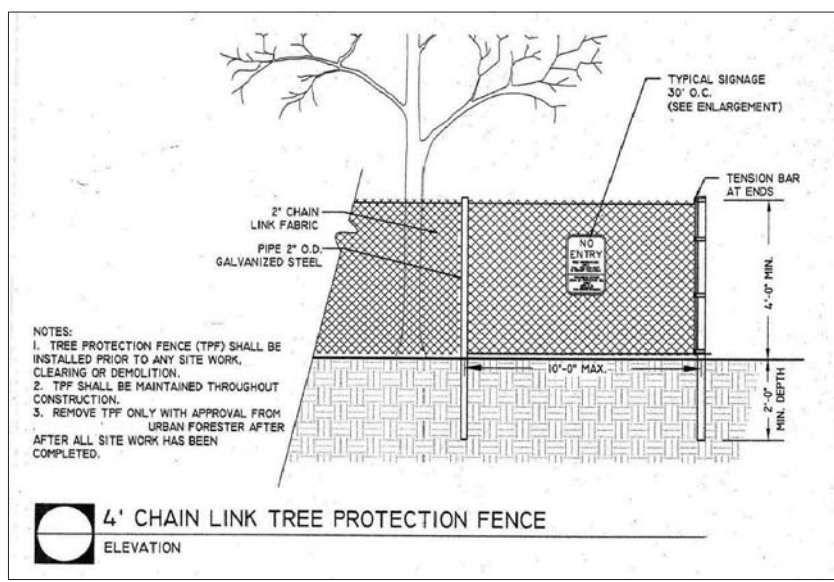
LOT 9

LOT 10

BISCAYNE BAY

BISCAYNE BAY

- LEGEND
- EXISTING TREE TO REMAIN
 - EXISTING TREE TO BE REMOVED
 - EXISTING TREE TO BE TRANSPLANTED
 - NEW LOCATION OF TRANSPLANTED TREE



NOTES:

- BARRIER SHALL BE PLACED AT THE EDGE OF THE DRILLPIE OF THE TREE CANOPY OR AS FAR FROM THE TREE AS POSSIBLE WHERE THE CANOPY OVERHANGS PARALLEL THAT IS TO REMAIN. BARRIER SHALL BE MAINTAINED IN AN UPRIGHT POSITION AT ALL TIMES.
- TREE PROTECTION FENCE (TPF) SHALL BE INSTALLED PRIOR TO ANY SITE WORK, CLEARING, OR DEMOLITION, AND MAINTAINED THROUGHOUT CONSTRUCTION.
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*NOTE: Should any existing trees or palms be damaged they shall be evaluated by the City Urban Forester to determine corrective actions that may include removal, corrective pruning and or replacement. Any corrective actions required shall be performed in accordance with the City of Miami Beach Code, the most current ANSI A-300 Pruning Standards and or an issued City Tree or Environmental Permit. Any corrective pruning required shall be performed by an ISA Certified Arborist and the City Urban Forester shall be consulted.

**FOR REFERENCE ONLY
FROM SEPARATE DRB
SUBMITTAL: DRB22-0805**

A EXISTING TREE DISPOSITION PLAN
SCALE: 1"=30'

MIAMI BEACH
OFFICE OF CAPITAL IMPROVEMENT PROJECTS
1701 MERIDIAN AVENUE, MIAMI BEACH, FL 33139

PROJECT: MAURICE GIBB MEMORIAL PARK
ADDRESS:

COASTAL SYSTEMS INTERNATIONAL, INC.
484 South Dixie Highway, Coral Gables, Florida 33134
Tel: 305-441-3600 Fax: 305-441-1014 www.CoastalSystems.com
CREATED BY: EFP

GS&A DESIGN

LA OF RECORD: KEG
DESIGN LA: KEG
DRAWN BY: HM
CHECKER: KEG
SCALE:

LANDSCAPE ARCHITECT OF RECORD:
Ken Gardner, ASLA
FL LA 1569

NO.	DATE	REVISION
5		
4		
3		
2	11-29-2021	100% CONSTRUCTION PLANS
1	07-19-2021	100% CONSTRUCTION PLANS

Drawing Title: EXISTING TREE DISPOSITION PLAN
Filename: GS&A - SHEETS.dwg
Date: 06.28.19 Sheet: of

Drawing No.: **LA-001**

NOTE: SEE SHEET C-01 ACKNOWLEDGEMENT/ENVIRONMENTAL NOTES FOR DERM SOIL MANAGEMENT AND ENGINEERING CONTROL PLAN REQUIREMENTS.

Table with 8 columns: No., Common Name, Scientific Name, Diameter (in), Height (ft), Spread (ft), Condition, Disposition, Comments. Lists various tree species and their management status.

Table with 8 columns: No., Common Name, Scientific Name, Diameter (in), Height (ft), Spread (ft), Condition, Disposition, Comments. Continuation of tree disposition list.

Table with 8 columns: No., Common Name, Scientific Name, Diameter (in), Height (ft), Spread (ft), Condition, Disposition. Lists trees to be transplanted.

Table with 8 columns: No., Common Name, Scientific Name, Diameter (in), Height (ft), Spread (ft), Condition, Disposition. Lists trees to remain.

FOR REFERENCE ONLY FROM SEPARATE DRB SUBMITTAL: DRB22-0805



PROJECT: MAURICE GIBB MEMORIAL PARK ADDRESS:



LA OF RECORD DESIGNED BY: KEK CHECKED BY: KEK SCALE:

LANDSCAPE ARCHITECT OF RECORD: Ken Gardner, ASLA FL LA 1569

Table with 5 columns: NO., DATE, REVISION, APPD. BY. Shows revision history.

Drawing Title: EXISTING TREE DISPOSITION LIST Drawing No.: LA-002

Filename: GS LA - SHEETS.dwg Date: 06.28.19 Sheet: of

NOTE: SEE SHEET C-01 ACKNOWLEDGEMENT/ENVIRONMENTAL NOTES FOR DERM SOIL MANAGEMENT AND ENGINEERING CONTROL PLAN REQUIREMENTS.

**FOR REFERENCE ONLY
FROM SEPARATE DRB
SUBMITTAL: DRB22-0805**



A PLANTING PLAN
SCALE: 1/8\"/>

MIAMI BEACH
OFFICE OF CAPITAL IMPROVEMENT PROJECTS
1701 MERIDIAN AVENUE, MIAMI BEACH, FL 33139

PROJECT: MAURICE GIBB MEMORIAL PARK
ADDRESS:

COASTAL SYSTEMS INTERNATIONAL, INC.
404 South Dixie Highway, Coral Gables, Florida 33134
Tel: 305-441-3820 Fax: 305-441-1914 www.CoastalSystems.com
SINCE 1978 OUR FIRST
Civil, Environmental, CM Engineering and Management

GS DESIGN
LANDSCAPE ARCHITECTURE
Ken Gardner, ASLA
FL LA 1569

LA OF RECORD: KEG
DESIGN LA: KEG
DRAWN BY: HM
CHECKER: KEG
SCALE:

LANDSCAPE ARCHITECT OF RECORD:
Ken Gardner, ASLA
FL LA 1569

NO.	DATE	REVISION
5		
4		
3		
2	11-29-2021	100% CONSTRUCTION PLANS
1	07-19-2021	100% CONSTRUCTION PLANS

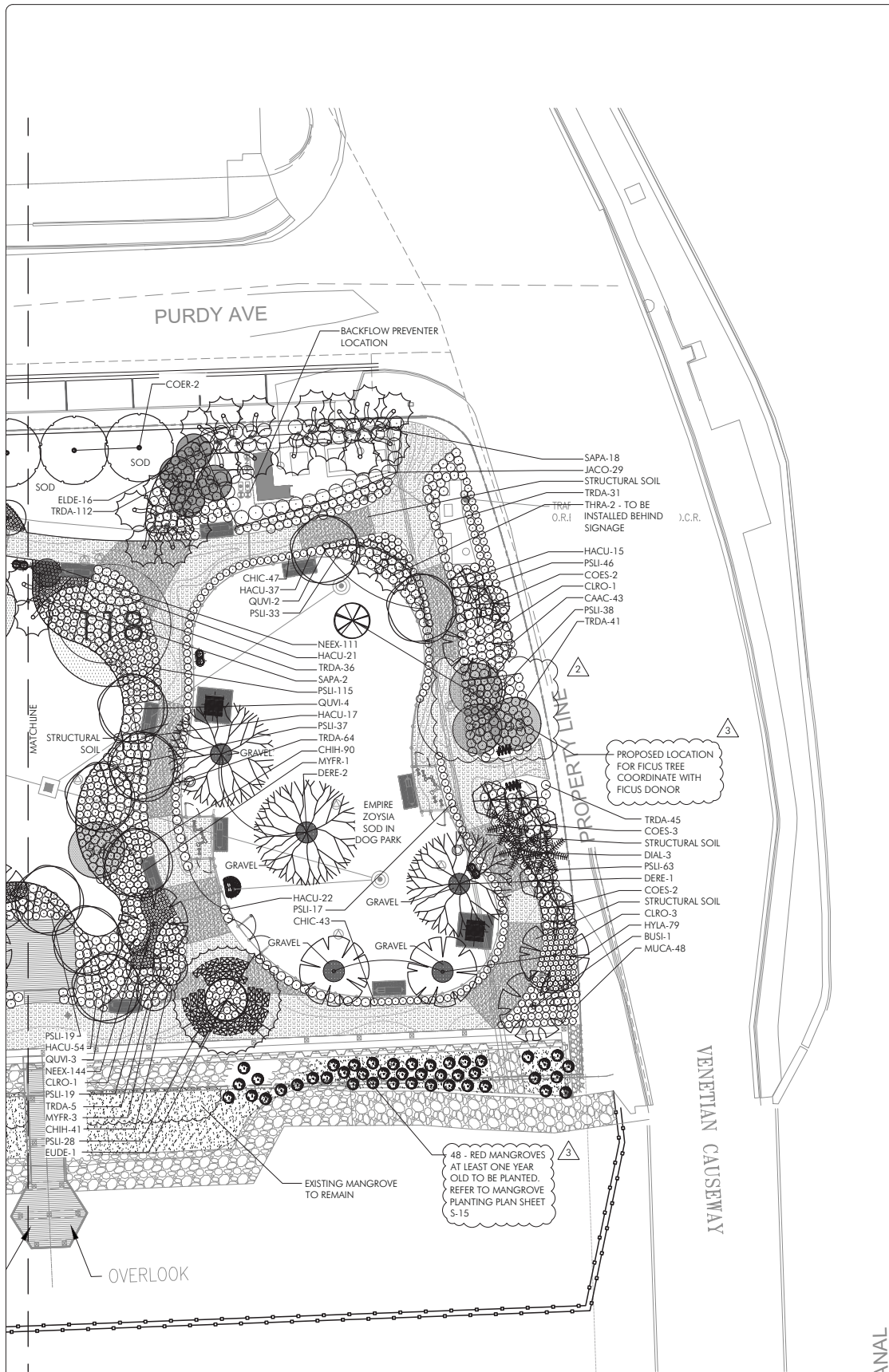
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Filename: GS LA - SHEETS.dwg
Date: 06.28.19 Sheet: of

Drawing No.: **LA-003**

NOTE: SEE SHEET C-01 ACKNOWLEDGEMENT/ENVIRONMENTAL NOTES FOR DERM SOIL MANAGEMENT AND ENGINEERING CONTROL PLAN REQUIREMENTS.

NOTE: WE ARE INCORPORATING THE SMP/ECP, DCP/AMP, AND EHASP DATED NOVEMBER 29, 2021 AND SARA-4 DATED NOVEMBER 30, 2021 AND PREPARED BY GALLAGHER BASSETT FOR THE CITY OF MIAMI BEACH MAURICE GIBB PARK (UT-5443/FILE-15745/BROWNSFIELD ID BF131803001), AS APPROVED BY DERM ENVIRONMENTAL MONITORING AND RESTORATION DIVISION ON DECEMBER 30, 2021.

NOTE: LANDSCAPE PLANS ARE DESIGNED TO CONFORM ALL REQUIREMENTS SHOWN IN THE PLANS, DETAILS AND REPORTS FOR THIS PROJECT AS PREPARED BY GALLAGHER, BASSETT TECHNICAL SERVICES.

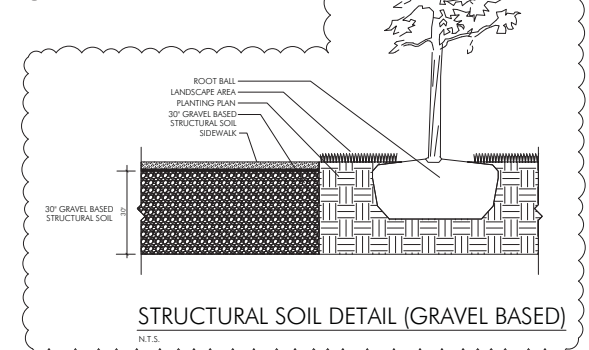


PLANT LIST				
KEY	PLANT NAME	QTY.	UT.	SIZE
TREES				
BUSI	Bursera simaruba Gumbo Limbo	12	ea.	14' tall x 6' spread, 3" DBH
COER	Conocarpus erectus Green Buttonwood	7	ea.	12' tall x 4' spread, 1 trunk max., lifted to tree form
COES	Conocarpus erectus 'Sericeus' Silver Buttonwood	25	ea.	12' tall x 4' spread, 1 trunk max., lifted to tree form
CLRO	Clusia rosea Pitch Apple	7	ea.	14' tall x 6' spread, 3" DBH
DERE	Derecadinia regia Royal Poinciana	3	ea.	14' tall x 6' spread, 3" DBH
EUDE	Eucalyptus degulpta Rainbow Eucalyptus	1	ea.	18' tall x 8' spread, 4" DBH
GUSA	Gualicum sanctum Lignum Vitae	3	ea.	12' tall x 4' spread, 1 1/2"-2" DBH
KRFE	Krugiodendron ferreum Black Ironwood	10	ea.	12' tall x 4' spread, 1 1/2" cal
MYFR	Myrciathes fragrans Red Mangrove	22	ea.	12' tall x 4' spread, 1 trunk max., lifted to tree form
RHMA	Rhizophora mangle Red Mangrove	48	ea.	Seedlings, less than 1" Refer to Sheet S-14
QUVI	Quercus virginiana Live Oak	18	ea.	14' tall x 6' spread, 3" DBH
PALMS				
KEY	PLANT NAME	QTY.	UT.	SIZE
DIAL	Dichyosperma album Hurricane Palm	9	ea.	6'-7' tall overall
SAPA	Sabal palmetto Sabal Palm	20	ea.	10 @ 16' tall OA; 5 @ 20' tall OA; 5 @ 24' tall OA; smooth trunk; hurricane cut, heavily leaning
THRA	Thrinax radiata Florida Thatch Palm	2	ea.	7' tall OA, 13' GW
SHRUBS AND GROUNDCOVERS				
KEY	PLANT NAME	QTY.	UT.	SIZE
CAAC	Callicarpa americana American Beautyberry	108	ea.	24"x24"
CACY	Capparis cynophallophora Jamaican Caper	16	ea.	24' x 24', install 36" o.c.
CHIC	Chrysothamnus icaco Cocoplum	496	ea.	24' x 24"
CHIH	Chrysothamnus icaco 'Horizontalis' Horizontal Cocoplum	257	ea.	12' spread
CLGU	Clusia guifera Small Leaf Clusia	8	ea.	36"x24", install 36" o.c.
ELDE	Elaeocarpus decipiens Japanese Blueberry	28	ea.	6' tall x 3' spread, full to ground
ERU	Ernodea littoralis Golden Creeper	246	ea.	12' spread
HACU	Hamelia cuprea Firebush	421	ea.	24' x 24"
HANO	Hamelia nodosa Dwarf Firebush	82	ea.	18"x18"
HYLA	Hymenocallis latifolia Spider Lily	80	ea.	18' tall x 18' spread, install 18" o.c.
JACO	Jatropha integririma 'Compacta' Peregrina	34	ea.	6' tall x 3' spread, lifted to tree form, 3 trunks max
MUCA	Muhlenbergia capillaris Muhly Grass	486	ea.	18' x 12"
NEEX	Nephrolepis exaltata 'Bostoniensis' Boston Fern	1488	ea.	8' x 8'
PSBA	Psychotria nervosa Wild Coffee	217	ea.	24' x 24"
PSU	Psychotria ligustrifolia Dwarf Coffee	751	ea.	18' x 18"
SERE	Serenes repens Saw Palmetto	18	ea.	24' x 24"
TRDA	Tripsacum dactyloides Fakahatchee Grass	549	ea.	30' x 24"
ZAPU	Zamia pumila Coontie	230	ea.	18' tall x 18' spread, install 18" o.c.
MISCELLANEOUS				
sod	St. Augustine Floratam - Entire site	as req.	s.f.	solid sod
	Empire Zoysia - Dog Park only	as req.	c.y.	
	Planting Soil 70% Silica Sand 30% Everglades Muck	as req.	c.y.	
	Natural Brown Double Shredded Hardwood Bulk Mulch	as req.	c.y.	As manufactured by Mr. Mulch (mrmulch.com), or approved equal. To be used in the sand/mulch mix replacement for top 12" of soil replenishment for existing and relocated trees
	Amerigrow Pine Bark Brown Mulch	as req.	c.y.	2" layer in all shrub beds

CITY OF MIAMI BEACH			
LANDSCAPE LEGEND			
INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS			
Zoning District	GU	Lot Area	3.40 Acres
Acres 148,376			
OPEN SPACE		REQUIRED/ALLOWED	PROVIDED
A. Square feet of required Open Space as indicated on site plan: Lot Area = 148,376 s.f. x 20% = 29,675 s.f.		29,675	58,250
B. Square feet of parking lot open space required as indicated on site Number of parking spaces x 10 s.f. parking space =		390	390
C. Total square feet of landscaped open space required: A+B=		30,065	58,640
LAWN AREA CALCULATION			
A. Square feet of landscaped open space required		29,675	58,640
B. Maximum lawn area (sod) permitted= 50% x _____ s.f.		74,188	26,114
TREES			
A. Number of trees required per lot or net lot acre, less existing number of trees meeting minimum requirements = 22 trees / acre (22 x 3.406 acres = 75 trees - number of existing trees (20) = 55 new		55	108
B. % Natives required: Number of trees provided x 30% =		33	91
C. % Low maintenance / drought and salt tolerant required: Number of trees provided x 50% =		54	91
D. Street Trees (maximum average spacing of 20' o.c.) 950 linear feet along street divided by 20' = 48 trees		48	48
E. Street tree species allowed directly beneath power lines: (maximum average spacing of 20' o.c.): 0 linear feet along street divided by 20' = 0 trees		0	0
SHRUBS			
A. Number of shrubs required: Sum of lot and street trees required x		1236	5,458
B. % Native shrubs required: Number of shrubs provided x 50% =		2746	3,718
LARGE SHRUBS OR SMALL TREES			
A. Number of large shrubs or small trees required: Number of required shrubs x 10% =		124	70
B. % Native large shrubs or small trees required: Number of large shrubs or small trees provided x 50% =		31	8

NOTE: NO GROUNDCOVER OR SHRUB SHALL BE PLANTED WITHIN THE ROOT BALL OF NEWLY PLANTED OR RELOCATED TREES

48 - RED MANGROVES AT LEAST ONE YEAR OLD TO BE PLANTED. REFER TO MANGROVE PLANTING PLAN SHEET S-15

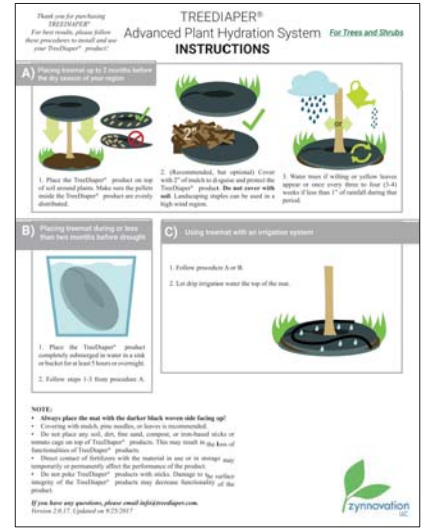


SILVA CELL - REFER TO SILVA CELL DETAIL ON SHEET LA-006

STRUCTURAL SOIL

FOR REFERENCE ONLY FROM SEPARATE DRB SUBMITTAL: DRB22-0805

NOTE: SEE SHEET C-01 ACKNOWLEDGEMENT/ENVIRONMENTAL NOTES FOR DERM SOIL MANAGEMENT AND ENGINEERING CONTROL PLAN REQUIREMENTS.



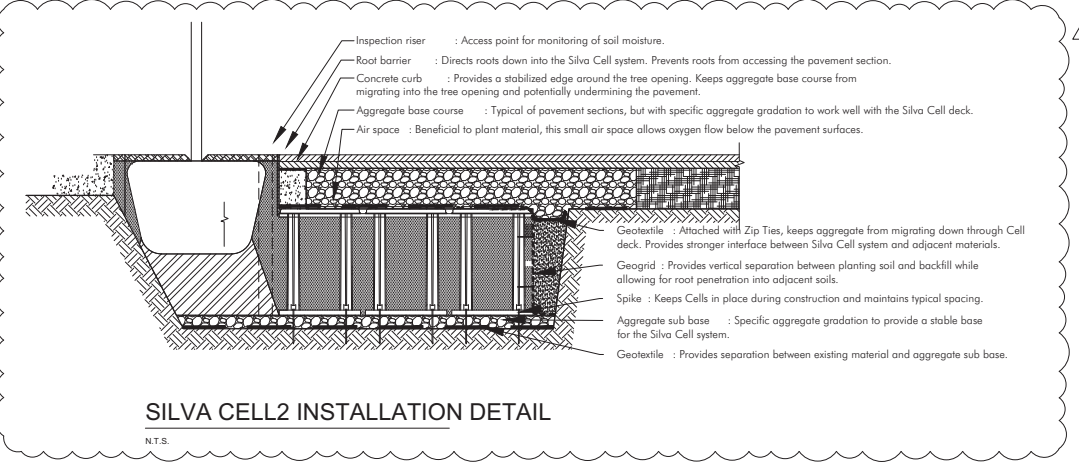
Dimensions: 18 in. diameter
 Materials: Plastic fabrics and super absorbent polymer
 Shape: Round
 Product Weight: 0.23 lbs.
 Color/finish: Top - black / Bottom - light grey.
 Plant Caliper/Selection: Potted plant in 10 gal. container
 Features: One center hole

NOTE:

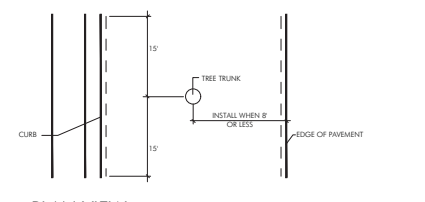
- Relocated trees shall have dust control measures implemented as per GBTS's soil management plan / corrective action plan.
- Root systems of trees to be relocated shall be minimally washed as per above mentioned soil management plan
- Excavations for trees to be relocated and new trees shall be dug as per requirements of the soil management plan
- All trees to be removed must go to a lined landfill as per the soil management plan
- Relocated trees will not be held temporarily. Relocated trees will be transplanted immediately to their final location as per plans.

NOTE:

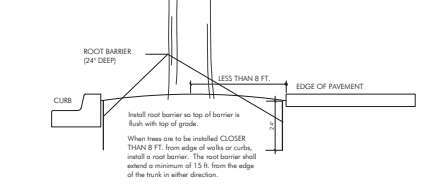
- ALL ROOTPRUNING MUST BE SUPERVISED BY AN ISA CERTIFIED ARBORIST. THE ARBORIST MUST BE ONSITE WHILE ANY ROOTPRUNING OR CANOPY PRUNING ACTIVITIES ARE OCCURRING.
- ALL CANOPY PRUNING SHALL FOLLOW THE ISA GUIDELINES FOR CANOPY REDUCTION FOR RELOCATED TREES



SILVA CELL2 INSTALLATION DETAIL



PLAN VIEW



ROOT BARRIER INSTALLATION DETAIL

1.01 Root pruning, Watering Before Transplanting

A. Root prune trees a minimum of eight (8) weeks prior to moving them. It is not necessary to root prune palms prior to transplanting unless specifically instructed to do so by the Landscape Architect. Prior to root pruning, thoroughly water the root zone with at least 2"-3" of water.

B. Root pruning shall be accomplished by digging a trench two-thirds (2/3) of the way around the tree at a minimum of twenty-four (24) inches deep. Root prune only with a mechanical root-pruning saw or a trencher with a maximum trench width of 8 inches. This trench shall form a rootball of the following sizes:

4"-5" caliper	3' diameter
6"-8" caliper	4'-6" diameter
9"-12" caliper	8' diameter
Over 12" caliper	10' diameter

C. All exposed roots shall be cut off smoothly, with sharp instruments. Backfill trenches with soil consisting of 30% silica sand and 70% mulch. Water them thoroughly after root pruning, and once weekly during the root regeneration period, with a soluble fertilizer that has a 20.20.20 analysis at manufacturer's recommended rate, dissolved in the water.

D. If it may be necessary to re move curbing and/or paving to complete the root pruning operation. When this is required the Contractor shall first cut cleanly with a concrete saw, any section of curb or pavement before cutting the roots.

E. This material shall be removed from the site by the Contractor and the area of pavement cut and removed by the root pruning shall be filled to flush with adjacent pavement. If required by the Landscape Architect for maintenance of traffic or pedestrian safety, the Contractor shall replace said curb or pavement.

F. Maintenance of Traffic safety requirements must be met where trees are close to travel lanes.

1.02 Top Pruning and Thinning

A. The amount of general pruning and thinning shall be limited to the minimum necessary to remove dead or injured twigs or branches and to compensate for the loss of roots as a result of transplanting operations. Approximately one third (1/3) of the mass of the canopy shall be removed unless otherwise instructed by the Landscape Architect. Pruning and thinning shall be done in such a manner as not to change the natural habit or shape of a plant. For very large trees that must be transported on public ROWs or where obstacles require it, additional pruning may be allowed at time of transport. Cut back trees to the maximum size which can be transported after limbs are tied in as much as possible. The Landscape Architect shall be contacted prior to performing any major pruning or thinning. For palms, remove only fronds that are in decline or hanging lower than horizontal to the ground. Sabal palms may be "hurricane cut".

B. Bracing and Guying of Trees after Root Pruning

a. Bracing and Guying shall be provided to assure the trees' stability during the root regeneration period; as per the applicable detail.

C. Baling and Burlapping

a. Plant material which is in a soil of a loose texture, which does not readily adhere to the root system, especially in the case of large plants or trees, shall have the root ball wrapped in burlap and then wire, if directed by the Landscape Architect.

1.03 Transporting Plant Material

A. Movement of plants on public ROWs shall comply with all ordinances, codes and safety requirements, etc.

B. Before attaching slings to tree trunks for lifting, wrap the trunks with burlap tied tightly to avoid slippage and damage to the bark. To lift a large specimen, drill a two-inch diameter hole through the trunk and skewer it with a hardened steel pin. Attach the slings to the projecting ends. When the tree is planted, remove the pin and drive a hardwood dowel to lug into both ends of the hole, driven just below the level of the bark.

C. Transport materials on vehicles large enough to allow plants to not be crowded and damaged.

D. Protect plant material during transporting to prevent damage to the root system and desiccation of leaves. Trees shall be protected by tying in the branches and covering all exposed branches as necessary. Do not bend or bundle plant material in such a manner as to damage bark, break branches or alter the natural shape. Plants shall be covered to prevent wind damage during transit.

E. The Contractor shall exercise care in handling, loading, unloading, storing and transporting material to prevent damage. The Contractor shall assume full responsibility for protection and safekeeping of materials stored.

F. Transplanting must be done within 24 hours after being dug. Store plants in shade and keep the root ball and canopy moist.

1.04 Installation

A. Excavation of Holes: Plant holes shall be roughly cylindrical in shape with sides approximately vertical. The depth of the hole shall be equal to the rootball depth, unless further depth is required to provide adequate drainage. The diameter of the hole shall be a minimum of 24" larger than the rootball diameter.

B. Setting of Plants

a. PLANT MATERIAL SHALL BE PLANTED AT THEIR NATURAL AND ORIGINAL PLANTING LEVEL PRIOR TO THEIR PLACEMENT ON THIS PROJECT OR JOB. WHEN LOWERED INTO THE HOLE, THE PLANTS SHALL REST ON THE PREPARED HOLE BOTTOM SUCH THAT THE SURFACE ROOTS AT THE TOP OF THE ROOTBALL ARE LEVEL OR SLIGHTLY ABOVE THE LEVEL OF THE TOP OF THE HOLE. CREATE A SAUCER, APPROXIMATELY 6" DEEP TO HELP HOLD WATER. THE PRACTICE OF FLUNGING, BURNING OR PLANTING PLANT MATERIAL SUCH THAT THE SURFACE ROOTS AT THE TOP OF THE ROOTBALL ARE BELOW THE LEVEL OF THE SURROUNDING FINAL GRADE WILL NOT BE PERMITTED UNLESS IT IS INDICATED OTHERWISE IN THESE SPECIFICATIONS. The plants shall be set straight or plumb or normal to the relationship of their growth prior to transplanting. The Landscape Architect reserves the right to realign any plant material after it has been set.

C. Backfilling

a. Use planting soil consisting of 80% soil from site and 20% well-rotted compost derived from yard wastes. Remove any rocks 2" in diameter or larger before backfilling.

b. Backfill the bottom two-thirds of the planting hole and firmly tamp and settle by watering as backfilling progresses. After having tamped and settled the bottom two-thirds of the hole, thoroughly puddle with water and fill remaining one-third of the hole with planting soil, tamping and watering to eliminate air pockets.

1.05 Watering Transplanted Trees

A. Once trees have been relocated and well-watered in during the transplanting, provide water for a minimum of 90 days or the length of time specified in the plans.

B. Rootball watering: Maintain a soil moisture in the root zone at an optimum level for growth by deep watering of the entire rootball area according to the following schedule (or extended schedule specified in plans):

When	Frequency	Amount
Week 1	once daily	3 gallons water per inch caliper
Weeks 2-4	every other day	2 gallons water per inch caliper
Weeks 5-8	twice a week	1 1/2 gallons water per inch caliper
Weeks 9-12	once per week	1 1/2 gallons water per inch caliper

C. If there is no available water source at the project, such as a hose bib(s) or fire hydrant(s) if approved for use, then the Contractor shall be responsible for supplying water by means of a truck or tank. It is the Contractor's responsibility to pay any fees for water use.

1.06 Mulching of Plant Source

A. Spread a 3" thick layer for shredded Eucalyptus or Melaleuca mulch over entire area of the rootball.

1.07 Application of Fertilizer

A. At time of watering root-pruned trees prior to transplanting, drench rootball once per week during the course of watering with a soluble fertilizer that has a 20.20.20 analysis of manufacturer's recommended rate.

B. Three (3) weeks after transplanting, and after mulching, apply on the surface, evenly spread over the area of the entire rootball, FFC (Florida Fast Coat Fertilizer Ca) #5231 (12-6-8) or equal at the rate of one (1) pound per inch of trunk diameter.

Fertilizer Analysis

Total Nitrogen	12.00%
Ammoniacal Nitrogen	0.00%
Nitrate	0.75%
Water soluble	10.25%
Water insoluble	1.00%
Total Phosphoric Acid	6.00%
Derived from triple super phosphate	
Total Water Soluble Potash	8.00%
Derived from Sulfate of Potash Magnesium, Potassium Nitrate, Sulfate of Potash, and activated sludge	
Total Water Soluble Magnesium	2.41%
Derived from Sulfate of Potash Magnesium	
Total Manganese	0.77%
Derived from Manganese Oxide	
Total Boron	0.02%
Derived from Sodium Borate	
Total Copper	0.07%
Derived from Copper Oxide	
Total Zinc	0.08%
Derived from Zinc Oxide	
Total Iron	1.00%
Derived from Iron Oxide	

1.08 Staking Trees

A. Stake all trees and palms at the new site with new timbers with a minimum 2" x 4" dimension as per the details enclosed, or in the case of obstacle, in another manner which will support the trees.

Stakes will remain according to the following schedule, after which stakes will be removed by the Contractor:

Trees up to 6" DBH	4 months
Trees 6"-12" DBH	6 months
Trees greater than 12" DBH	12 months, or as required by Landscape Architect

Contractor will replace damaged guys as necessary.

1.09 Clean-Up

A. Disposal of Waste: All waste and other objectionable material created through planting operations and landscape construction shall be removed completely on a daily basis from the job or as directed by the Landscape Architect. Any paved areas, including curbs and sidewalks which have been driven with soil, mulch, fertilizer or other waste shall be thoroughly swept.

B. The Contractor shall remove and dispose of stakes and bolters and unless any tied-up concrete when it is determined by the Landscape Architect that sufficient time has elapsed for the plants to root, stabilizing the plant. This shall be done even if the project has been completed and green final acceptance.

C. Backfilling of holes left after trees are transplanted shall be done immediately after tree removal, or suitable barricades shall be provided to prevent injuries. If the area is to be planted, backfill with a mix of 80% sand, 20% organic material. If the area is to be paved, consult with the Landscape Architect for proper backfill material.

1.10 Guarantee and Replacement

A. Plant material which is on the site and scheduled to be transplanted is not covered by the guarantee, except in the case of Contractor's negligence or work that has been done in an unworkmanlike manner. If it is determined by the Landscape Architect that the Contractor's negligence or unworkmanlike operations has severely damaged or poses a threat to the health of material to be transplanted or already transplanted, then the Contractor shall be required to replace the tree at a size equal to the transplanted tree, at his cost, and water it as per 1.07.

**FOR REFERENCE ONLY
 FROM SEPARATE DRB
 SUBMITTAL: DRB22-0805**

NOTE: SEE SHEET C-01 ACKNOWLEDGEMENT/ENVIRONMENTAL NOTES FOR DERM SOIL MANAGEMENT AND ENGINEERING CONTROL PLAN REQUIREMENTS.

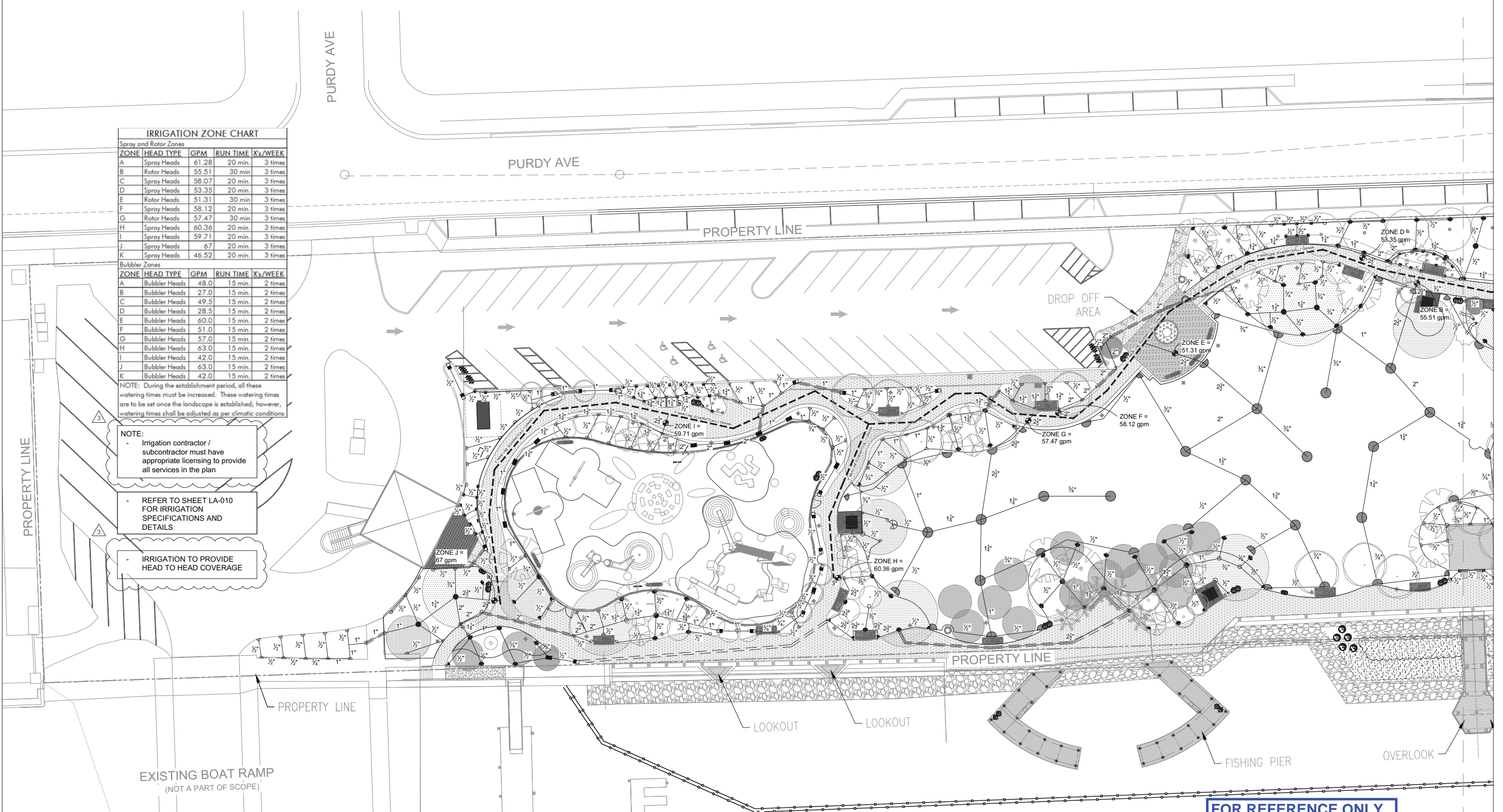
IRRIGATION ZONE CHART

Spray and Rotor Zones				
ZONE	HEAD TYPE	GPM	RUN TIME	X _s /WEEK
A	Spray Heads	61.28	20 min.	3 times
B	Rotor Heads	55.51	30 min.	3 times
C	Spray Heads	58.07	20 min.	3 times
D	Spray Heads	53.35	20 min.	3 times
E	Rotor Heads	51.31	30 min.	3 times
F	Spray Heads	58.12	20 min.	3 times
G	Rotor Heads	57.47	30 min.	3 times
H	Spray Heads	60.36	20 min.	3 times
I	Spray Heads	59.71	20 min.	3 times
J	Spray Heads	67	20 min.	3 times
K	Spray Heads	46.52	20 min.	3 times

Bubbler Zones				
ZONE	HEAD TYPE	GPM	RUN TIME	X _s /WEEK
A	Bubbler Heads	48.0	15 min.	2 times
B	Bubbler Heads	27.0	15 min.	2 times
C	Bubbler Heads	49.5	15 min.	2 times
D	Bubbler Heads	28.5	15 min.	2 times
E	Bubbler Heads	60.0	15 min.	2 times
F	Bubbler Heads	51.0	15 min.	2 times
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H	Bubbler Heads	63.0	15 min.	2 times
I	Bubbler Heads	42.0	15 min.	2 times
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K	Bubbler Heads	42.0	15 min.	2 times

NOTE: During the establishment period, all these watering times must be increased. These watering times are to be set once the landscape is established; however, watering times shall be adjusted as per climatic conditions.

- NOTE:
- Irrigation contractor / subcontractor must have appropriate licensing to provide all services in the plan
 - REFER TO SHEET LA-010 FOR IRRIGATION SPECIFICATIONS AND DETAILS
 - IRRIGATION TO PROVIDE HEAD TO HEAD COVERAGE



**FOR REFERENCE ONLY
FROM SEPARATE DRB
SUBMITTAL: DRB22-0805**

A IRRIGATION PLAN
SCALE: 1"=20'

MIAMI BEACH
OFFICE OF CAPITAL IMPROVEMENT PROJECTS
1701 MERIDIAN AVENUE, MIAMI BEACH, FL 33139

PROJECT: MAURICE GIBB MEMORIAL PARK
ADDRESS:

COASTAL SYSTEMS INTERNATIONAL, INC.
4814 South Dixie Highway, Coral Gables, Florida 33146
Tel: 305-441-3828 Fax: 305-441-1014 www.CoastalSystems.com
Circle 10 on the GSI Form
Coastal, Environmental, Civil Engineering and Management

GS
DESIGN

LA OF RECORD: KEG
DESIGN LA: KEG
DRAWN BY: HM
CHECKER: KEG
SCALE:

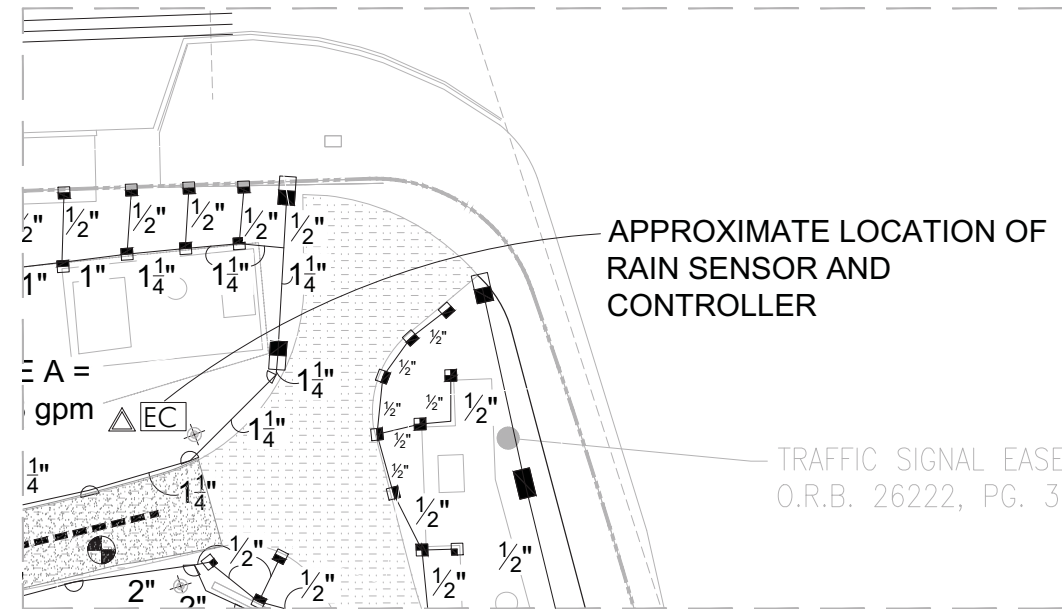
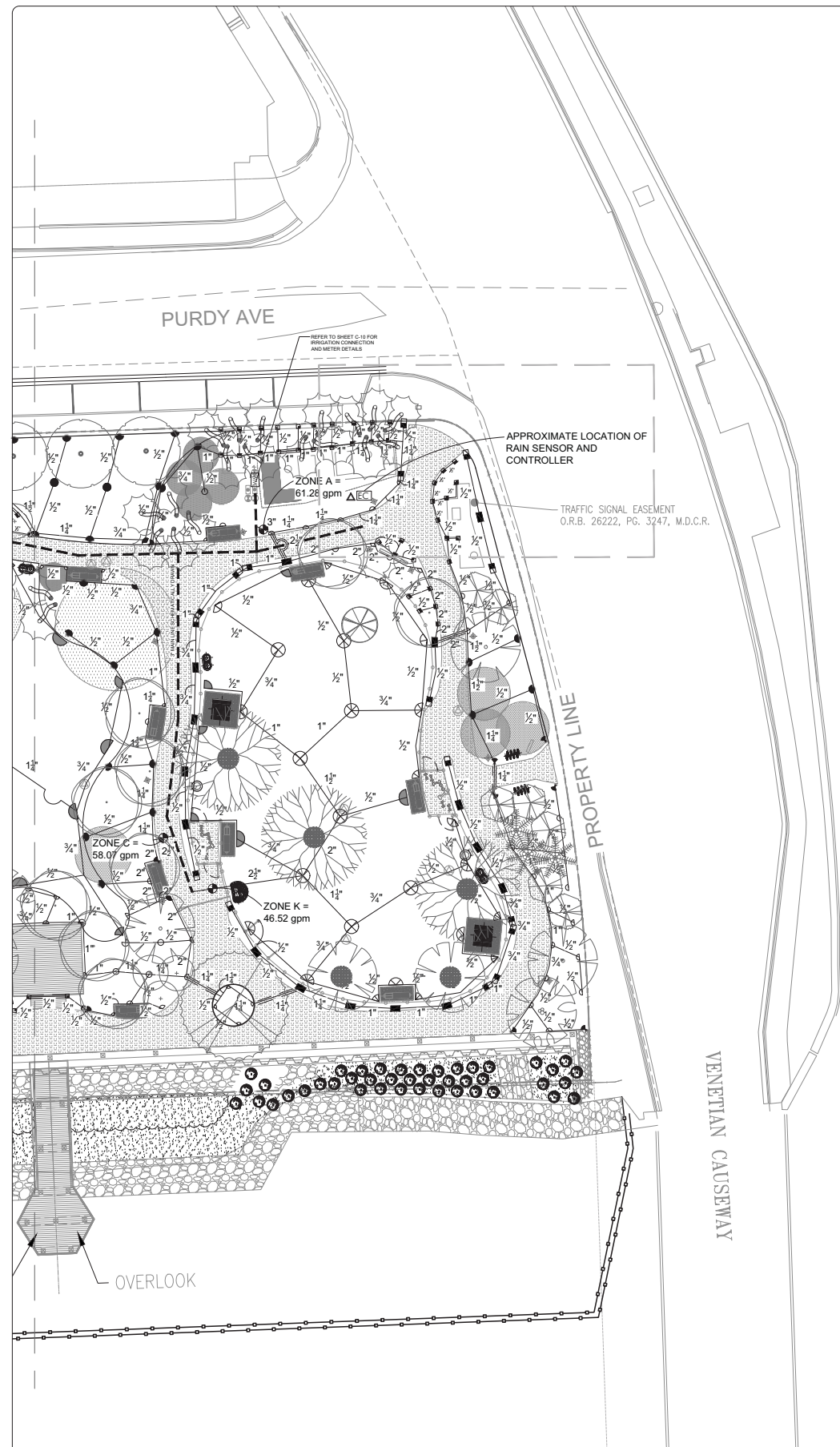
LANDSCAPE ARCHITECT OF RECORD:
Ken Gardner, ASLA
FL LA 1569

NO.	DATE	REVISION
5		
4		
3		
2	11-29-2021	100% CONSTRUCTION PLANS
1	07-19-2021	100% CONSTRUCTION PLANS

Drawing Title: IRRIGATION PLAN
Filename: GS LA - SHEETS.dwg
Date: 06.28.19 Sheet: of

Drawing No.: **LA-007**

NOTE: SEE SHEET C-01 ACKNOWLEDGEMENT/ENVIRONMENTAL NOTES FOR DERM SOIL MANAGEMENT AND ENGINEERING CONTROL PLAN REQUIREMENTS.



ENLARGED PLAN FOR REFERENCE
Scale: 1 1/2" = 1'-0"

IRRIGATION ZONE CHART

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- NOTE: Irrigation contractor / subcontractor must have appropriate licensing to provide all services in the plan
- REFER TO SHEET LA-010 FOR IRRIGATION SPECIFICATIONS AND DETAILS
- REFER TO SHEET C-10 FOR DETAILS OF IRRIGATION METER AND SERVICE
- IRRIGATION TO PROVIDE HEAD TO HEAD COVERAGE

IRRIGATION MATERIALS LIST

KEY	ITEM	QTY.
—	PVC laterals & mains shall be schedule 40 PVC (sized as shown on plans)	as required
—	MAIN	as required
≡≡≡	PVC sleeves shall be Schedule 40 PVC (sized 2 sizes larger than the pipe running through it)	as required
	Flexible PVC or Polypipe (for swing joints)	as required
WM	2" WATER METER (See Civil Plans)	1
EC	Electric Controller RAINBIRD Multistation Controller	1
Δ	MINI-Click II Rain Sensor (locate in area of free rainfall)	1
⊕	RAINBIRD 200-PESB 2" Electromechanical Solenoid Control Valve	22
	Irrigation Control Wire	as required
	RAINBIRD Spray Heads 1800 @ 30 PSI Series w/MPR nozzles	as required
	6" pop-up in grass areas	
	12" pop-up on risers in shrub beds	
●	15-F (3.7 gpm)	
●	15-TQ (2.78 gpm)	
●	15-H (1.85 gpm)	
●	15-T (1.23 gpm)	
●	15-Q (1.92 gpm)	
■	15-est (1.21 gpm)	
■	15-est (1.21 gpm)	
■	15-est (1.61 gpm)	
■	9-ssst (1.73 gpm)	
○	10-F (1.58 gpm)	
○	10-TQ (1.18 gpm)	
○	10-H (1.79 gpm)	
○	10-T (1.53 gpm)	
○	10-Q (1.39 gpm)	
■	5-F (4.1 gpm)	
■	5-TQ (3.33 gpm)	
■	5-H (2.0 gpm)	
■	5-T (1.13 gpm)	
■	5-Q (1.10 gpm)	
★	RAINBIRD 1300A-F Adjustable Flood Bubbler 1300A-F (1.5 gpm)	as required
	RAINBIRD Rotary Spray Heads 20" radius 17-24 Series @ 30 PSI	as required
	4" pop-up in grass areas	
	12" pop-up on risers in shrub beds	
⊗	17-24-F (2.35 gpm)	
⊗	17-24-TQ (1.80 gpm)	
⊗	17-24-H (1.20 gpm)	
⊗	17-24-T (1.0 gpm)	
⊗	17-24-Q (1.60 gpm)	
⊗	17-24-HQ (0.3 gpm)	
	5000/Series MPR-30 (Green) Heads @ 45 PSI 30" RADIUS	
●	Full (5.78 gpm)	
●	Half (2.96 gpm)	
●	Third (1.85 gpm)	
●	Quarter (1.40 gpm)	

LATERAL PIPE SIZING
The Contractor is responsible to properly size all laterals. All laterals shall be sized according to the following schedule. Total gallonage per pipe section shall be calculated by adding the GPM per head for every head downstream of the pipe.

FOR REFERENCE ONLY FROM SEPARATE DRB SUBMITTAL: DRB22-0805

NOTE: SEE SHEET C-01 ACKNOWLEDGEMENT/ENVIRONMENTAL NOTES FOR DERM SOIL MANAGEMENT AND ENGINEERING CONTROL PLAN REQUIREMENTS.

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NOTE:
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- REFER TO SHEET LA-010 FOR IRRIGATION SPECIFICATIONS AND DETAILS

- IRRIGATION TO PROVIDE HEAD TO HEAD COVERAGE

PURDY AVE

PURDY AVE

PROPERTY LINE

DROP OFF AREA

BUBBLERS ARE INSTALLED AT EACH TREE

ZONE I (bubbler) = 42 gpm

ZONE H (bubbler) = 63 gpm

ZONE G (bubbler) = 57 gpm

ZONE D (bubbler) = 28.5 gpm

ZONE J (bubbler) = 63 gpm

ZONE K (bubbler) = 42 gpm

PROPERTY LINE

PROPERTY LINE

LOOKOUT

LOOKOUT

FISHING PIER

OVERLOOK

EXISTING BOAT RAMP
(NOT A PART OF SCOPE)

FOR REFERENCE ONLY
FROM SEPARATE DRB
SUBMITTAL: DRB22-0805

A IRRIGATION PLAN
SCALE: 1"=20'

MIAMI BEACH
OFFICE OF CAPITAL IMPROVEMENT PROJECTS
1701 MERIDIAN AVENUE, MIAMI BEACH, FL 33139

PROJECT: MAURICE GIBB MEMORIAL PARK
ADDRESS:

COASTAL SYSTEMS INTERNATIONAL, INC.
4814 South Dixie Highway, Coral Gables, Florida 33146
Tel: 305-441-3600 Fax: 305-461-1014 www.CoastalSystems.com
ONE OF US IS A PRO
Coastal, Environmental, Civil Engineering and Management

GS DESIGN
LANDSCAPE ARCHITECTURE
Ken Gardner, ASLA
FL LA 1569

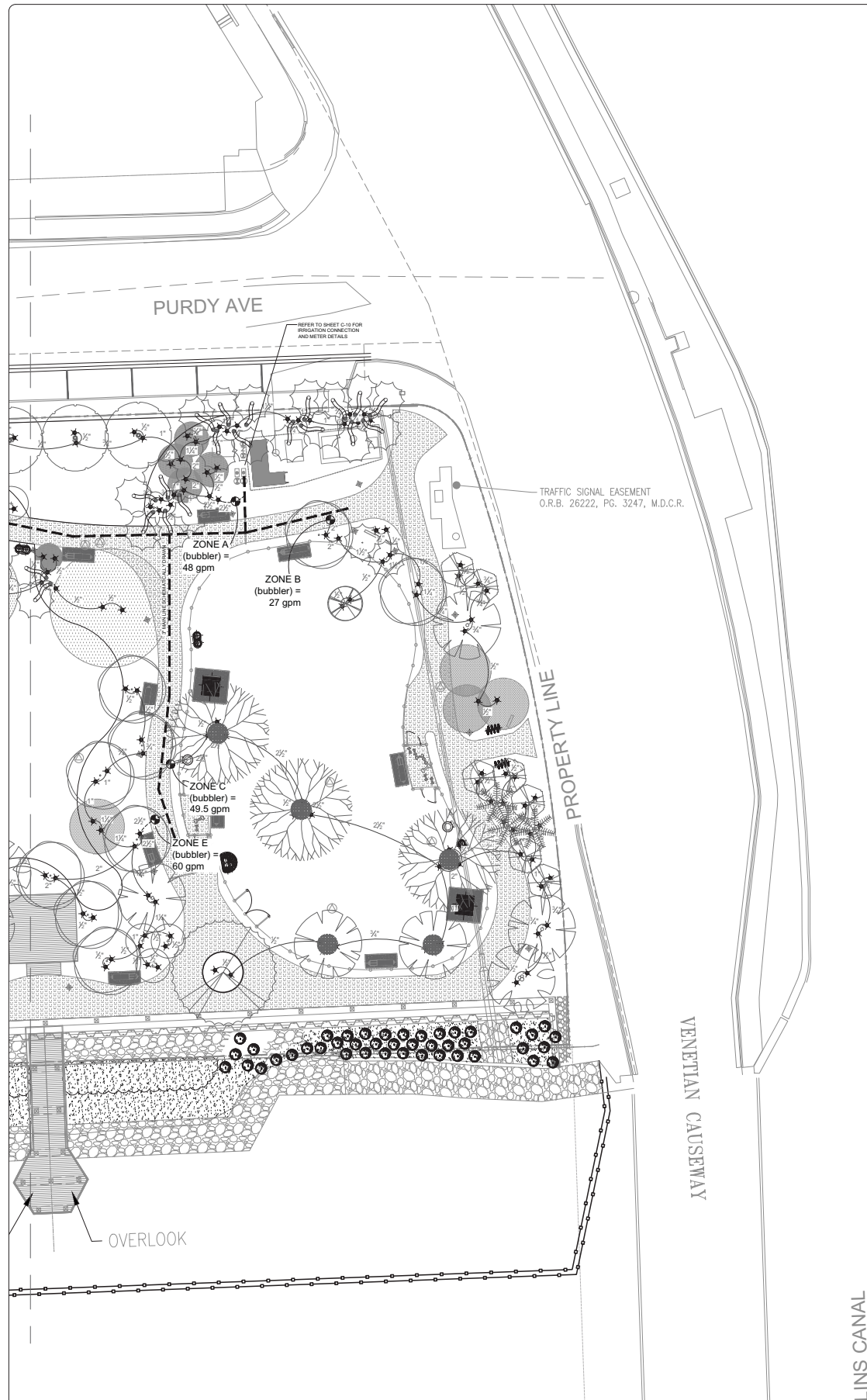
LA OF RECORD: KEG
DESIGN LA: KEG
DRAWN BY: HM
CHECKER: KEG
SCALE:

NO.	DATE	REVISION
5		
4		
3		
2	11-29-2021	100% CONSTRUCTION PLANS
1	07-19-2021	100% CONSTRUCTION PLANS

Drawing Title: BUBBLER IRRIGATION PLAN
Filename: GS LA - SHEETS.dwg
Date: 06.28.19 Sheet: of

Drawing No.: **LA-009**

NOTE: SEE SHEET C-01 ACKNOWLEDGEMENT/ENVIRONMENTAL NOTES FOR DERM SOIL MANAGEMENT AND ENGINEERING CONTROL PLAN REQUIREMENTS.



IRRIGATION ZONE CHART				
Spray and Rotor Zones				
ZONE	HEAD TYPE	GPM	RUN TIME	X's/WEEK
A	Spray Heads	61.28	20 min.	3 times
B	Rotor Heads	55.51	30 min	3 times
C	Spray Heads	58.07	20 min.	3 times
D	Spray Heads	53.35	20 min.	3 times
E	Rotor Heads	51.31	30 min	3 times
F	Spray Heads	58.12	20 min.	3 times
G	Rotor Heads	57.47	30 min	3 times
H	Spray Heads	60.36	20 min.	3 times
I	Spray Heads	59.71	20 min.	3 times
J	Spray Heads	67	20 min.	3 times
K	Spray Heads	46.52	20 min.	3 times

Bubbler Zones				
ZONE	HEAD TYPE	GPM	RUN TIME	X's/WEEK
A	Bubbler Heads	48.0	15 min.	2 times
B	Bubbler Heads	27.0	15 min.	2 times
C	Bubbler Heads	49.5	15 min.	2 times
D	Bubbler Heads	28.5	15 min.	2 times
E	Bubbler Heads	60.0	15 min.	2 times
F	Bubbler Heads	51.0	15 min.	2 times
G	Bubbler Heads	57.0	15 min.	2 times
H	Bubbler Heads	63.0	15 min.	2 times
I	Bubbler Heads	42.0	15 min.	2 times
J	Bubbler Heads	63.0	15 min.	2 times
K	Bubbler Heads	42.0	15 min.	2 times

NOTE: During the establishment period, all these watering times must be increased. These watering times are to be set once the landscape is established; however, watering times shall be adjusted as per climatic conditions

NOTE:
- Irrigation contractor / subcontractor must have appropriate licensing to provide all services in the plan

- REFER TO SHEET LA-010 FOR IRRIGATION SPECIFICATIONS AND DETAILS

- IRRIGATION TO PROVIDE HEAD TO HEAD COVERAGE

- BUBBLERS ARE INSTALLED AT EACH TREE

IRRIGATION MATERIALS LIST

KEY	ITEM	QTY.
—	PVC laterals & mains shall be schedule 40 PVC (sized as shown on plans)	as required
—	MAIN	as required
—	PVC sleeves shall be Schedule 40 PVC (sized 2 sizes larger than the pipe running through it)	as required
—	Flexible PVC or Polypipe (for swing joints)	as required
WM	2" WATER METER (See Civil Plans)	1
EC	Electric Controller RAINBIRD Multistation Controller	1
Δ	MINI-Click II Rain Sensor (locate in area of free rainfall)	1
●	RAINBIRD 200-PESB 2" Electromechanical Solenoid Control Valve	22
—	Irrigation Control Wire	as required
—	RAINBIRD Spray Heads 1800 @ 30 PSI Series w/MPR nozzles 6" pop-up in grass areas 12" pop-up on risers in shrub beds	as required
●	15-F (3.7 gpm)	
●	15-TQ (2.78 gpm)	
●	15-H (1.85 gpm)	
●	15-T (1.23 gpm)	
●	15-Q (.92 gpm)	
●	15-sst (1.21 gpm)	
●	15-cst (1.21 gpm)	
●	15-est (.61 gpm)	
●	9-sst (1.73 gpm)	
●	10-F (1.58 gpm)	
●	10-TQ (1.18 gpm)	
●	10-H (.79 gpm)	
●	10-T (.53 gpm)	
●	10-Q (.39 gpm)	
●	5-F (.41 gpm)	
●	5-TQ (.33 gpm)	
●	5-H (.20 gpm)	
●	5-T (.13 gpm)	
●	5-Q (.10 gpm)	
★	RAINBIRD 1300A-F Adjustable Flood Bubbler 1300A-F (1.5 gpm)	as required
—	RAINBIRD Rotary Spray Heads 20' radius 17-24 Series @ 30 PSI 4" pop-up in grass areas 12" pop-up on risers in shrub beds	as required
⊗	17-24-F (2.35 gpm)	
⊗	17-24-TQ (1.80 gpm)	
⊗	17-24-H (1.20 gpm)	
⊗	17-24-T (1.0 gpm)	
⊗	17-24-Q (.60 gpm)	
⊗	17-24-HQ (0.3 gpm)	
●	5000/Series MPR-30 (Green) Heads @ 45 PSI 30' RADIUS	
●	Full (5.78 gpm)	
●	Half (2.96 gpm)	
●	Third (1.85 gpm)	
●	Quarter (1.40 gpm)	

LATERAL PIPE SIZING
The Contractor is responsible to properly size all laterals. All laterals shall be sized according to the following schedule. Total gpm per pipe section shall be calculated by adding the GPM per head for every head downstream of the pipe.

**FOR REFERENCE ONLY
FROM SEPARATE DRB
SUBMITTAL: DRB22-0805**

MIAMI BEACH
OFFICE OF CAPITAL IMPROVEMENT PROJECTS
1701 MERIDIAN AVENUE, MIAMI BEACH, FL 33139

PROJECT: MAURICE GIBB MEMORIAL PARK
ADDRESS:

COASTAL SYSTEMS INTERNATIONAL, INC.
4814 South Dixie Highway, Coral Gables, Florida 33146
Tel: 305-461-2628 Fax: 305-461-1914 www.CoastalSystems.com
SINCE 1978
Civil, Environmental, CM Engineering and Management

DESIGN LA: HM
CHECKER: KEG
SCALE:

LANDSCAPE ARCHITECT OF RECORD:
Ken Gardner, ASLA
FL LA 1569

NO.	DATE	REVISION
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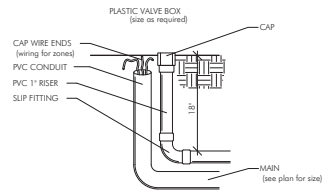
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Drawing No.: LA-010
Filename: GS LA - SHEETS.dwg
Date: 06.28.19 Sheet: of

Drawing No.: LA-010

NOTE: SEE SHEET C-01 ACKNOWLEDGEMENT/ENVIRONMENTAL NOTES FOR DERM SOIL MANAGEMENT AND ENGINEERING CONTROL PLAN REQUIREMENTS.

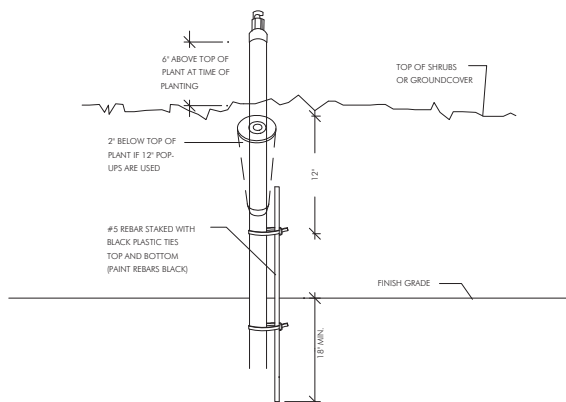
GENERAL NOTES:

- SCOPE OF WORK:** The Contractor shall furnish all labor, machinery, tools, supplies, and equipment as necessary to construct and provide an operating system, as indicated in the Plans. The work shall include, but not be limited to, furnishing materials (pipe, valves, sprinkler heads, fittings, controllers, electrical, wire and fittings, primer, glue, etc.), layout, protection to the public, excavation, assembly, installation, backfilling, compaction, repair of road or pavement surfaces, controller and low voltage feed to the valves, clean-up, maintenance and guarantee, and as-built plans.
- The Contractor shall coordinate with General Contractor or other pertinent Contractors on the job to insure that sleeves are provided and installed under hard surfaces to allow access to all areas to be irrigated. All sleeves shall be constructed of Schedule 40 PVC. Bury all sleeves a minimum of 24" below the surface. Sleeve to be 2 times the size if the pipe running through it. Sleeve shall extend 24" past the edge of pavement into the area to be irrigated.
- GUARANTEE:** The irrigation system shall be guaranteed for a minimum of one calendar year from the time of final acceptance.
- REPAIR UTILITIES:** The Contractor shall be responsible to verify the location of all utilities by hand excavation or other appropriate measures before performing any work that may result in damage to utilities structures, or property. The Contractor shall take immediate steps to repair, replace, or restore all services to any utilities which are disrupted due to his operations. All costs involved in disruption of service and repairs due to negligence on part of the Contractor shall be his responsibility.
- AS-BUILT DRAWINGS:** Prints of the plans will be supplied to the Contractor for recording "as-built" information. Immediately upon installation of any work which deviates from what is shown on the Plans, the Contractor shall clearly indicate such changes in red pencil on the prints. Such changes shall include, but not be limited to, changes in (1) materials; (2) sizes of material; (3) location; and (4) quantities.
- The entire installation shall fully comply with all applicable local and state codes and ordinances. The Contractor shall take out all required plumbing and electrical applications and permits, arrange for all necessary inspections and shall pay all fees and expenses in connection with same as part of work under the contract.
- UNIT PRICES:** The successful bidder shall furnish, to the Owner, a unit price breakdown for all materials. The Owner may at his own discretion, add to or delete from the materials, using the unit price breakdown submitted to and accepted by the Owner.
- MAINTENANCE PERIOD:** The irrigation system shall be maintained for a period of 90 days after final acceptance of installation. Maintenance shall include checking of the system 2 times per week. Contractor shall be responsible to replace/repair any broken or malfunctioning parts of the system including those damaged by accidents or vandalism. Repairs shall be made immediately at the time of inspection or when notified by the Landscape Architect.
- The irrigation system shall provide 100% coverage with a minimum of 90% overlap of water spray.
- The system is design to provide sprinkler precipitation rates that are nearly equal in each zone. Mixing of sprinklers with widely varying precipitation rates in a zone will not be accepted.
- All pipe shall be made of Schedule 40 PVC, except flexible PVC (or Toro funny pipe) for flexible swing joint and Schedule 80 galvanized steel pipe for all above ground fittings. Pipe locations shall be adjusted in the field. When laying out mains and laterals, locate pipe near edges of pavement or against buildings wherever possible, to allow space for plant rootballs. Coordinate pipe locations with plantings. Bury all mains 18" below surface and laterals 12". Depth shall be measured to top of pipe.
- Keep pop-up sprinkler heads a minimum of 8" from edges of pavement and curbing, and heads on risers a minimum of 18", or as indicated in the plans.
- All heads located in shrub or groundcover beds shall be installed on a riser as per details in the plans. All other heads shall be installed on a swing joint as per details in the plans.
- Place irrigation control wire in conduit in the same trench as mains and under the main. ASI wire shall be #14 or larger solid copper U.L. approved underground direct burial cable and shall be continuous with no splices from controller to solenoid valve.
- Valve locations are schematic and shall be adjusted in the field. Each valve shall be in a separate valve box (10' x 16" min.). When grouping valve boxes in grass or groundcover areas, set boxes a minimum of 12' apart to allow grass or groundcover to grow between them. When possible, hide valve boxes in shrub beds, a minimum of 12' from edge of beds. Set all valve boxes, concrete or plastic, in ground with cover flush with finish grade, and level, with a minimum of 6" of pea gravel at the bottom of the box, with at least 2" of clearance from the bottom of the valve to the top of the gravel.
- TESTING:** Notify the Landscape Architect in writing when testing will be conducted. Conduct test in the presence of the Landscape Architect. After all PVC assembly is completed the lines shall be flushed to insure that no rocks, sand, or other foreign debris remains in the lines. The mains shall be filled with water and all outlets shall be capped and plugged. The main shall be pressurized to 100 PSI for a minimum of one hour. No section of the main will be approved if the pressure drops more than 5 PSI at the end of the one hour period. Leaks shall be repaired immediately and the system shall be re-tested until found satisfactory by the Landscape Architect.



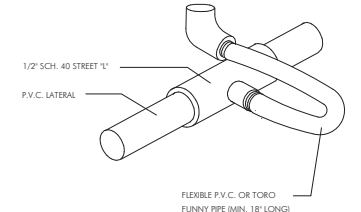
DETAIL OF STUB-OUT FOR FUTURE USE

N.T.S.



SPRINKLER ON RISER DETAIL FOR SHRUB AREAS

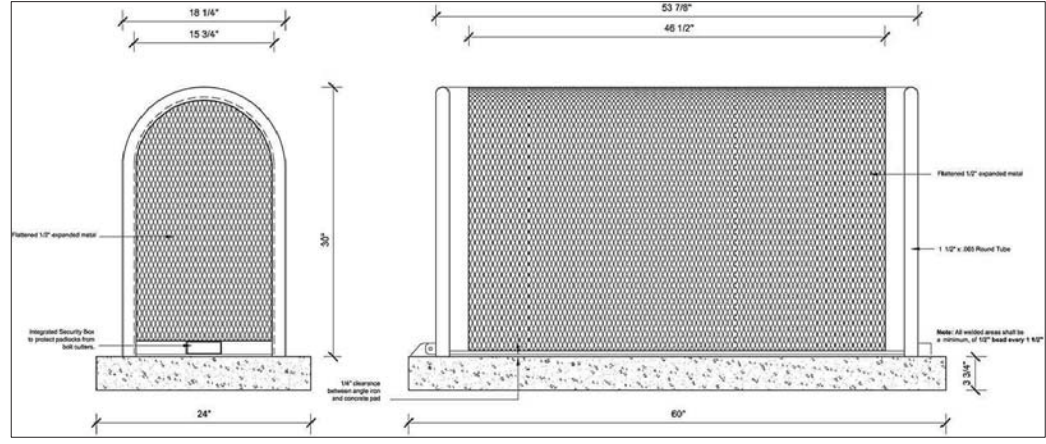
N.T.S.



FLEXIBLE SWING JOINT DETAIL

N.T.S.

NOTE:
- Irrigation contractor / subcontractor must have appropriate licensing to provide all services in the plan

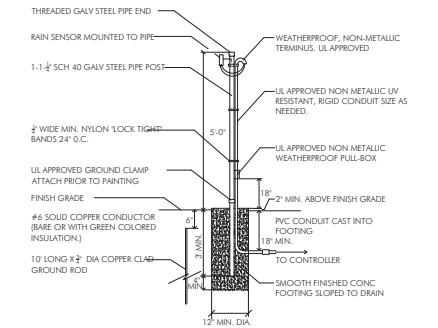


BACKFLOW PREVENTER PROTECTIVE CAGE DETAIL

N.T.S.

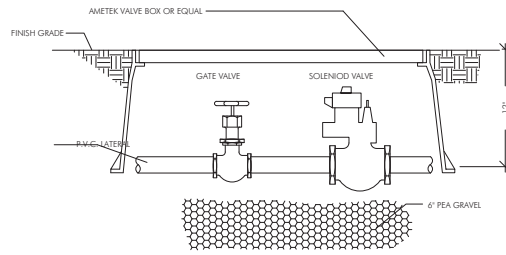
NOTE:
CAGE COLOR SHALL BE BLACK. CONTRACTOR TO PROVIDE SHOP DRAWINGS

NOTE:
ALL WIRE CONNECTIONS SHALL BE APPROVED WATERTIGHT CONNECTIONS.
FINISH ENTIRE ASSEMBLY, EXCEPT FOR EQUIPMENT, WITH FLAT BLACK ACRYLIC ENAMEL PAINT.
PRIME METALLIC SURFACES WITH ZINC CHROMATE PRIOR TO FINISHING.



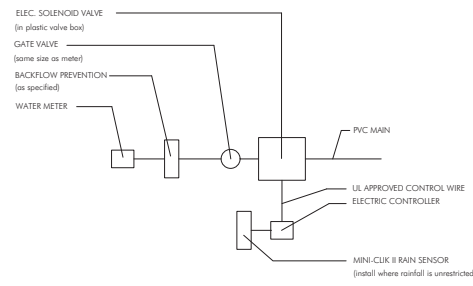
RAIN SENSOR DETAIL

N.T.S.



TYPICAL SOLENOID VALVE ASSEMBLY

N.T.S.



CONNECTION TO METER DETAIL

N.T.S.

FOR REFERENCE ONLY FROM SEPARATE DRB SUBMITTAL: DRB22-0805

	PROJECT: MAURICE GIBB MEMORIAL PARK			LA OF RECORD: KEG	LANDSCAPE ARCHITECT OF RECORD: Ken Gardner, ASLA FL LA 1569	5		Drawing Title: IRRIGATION MATERIALS LIST, NOTES & DETAILS Filename: GS_LA - SHEETS.dwg Date: 06.28.19 Sheet: of	Drawing No.: LA-011
	ADDRESS:			CHECKER: KEG		NO. DATE REVISION APPD. BY			



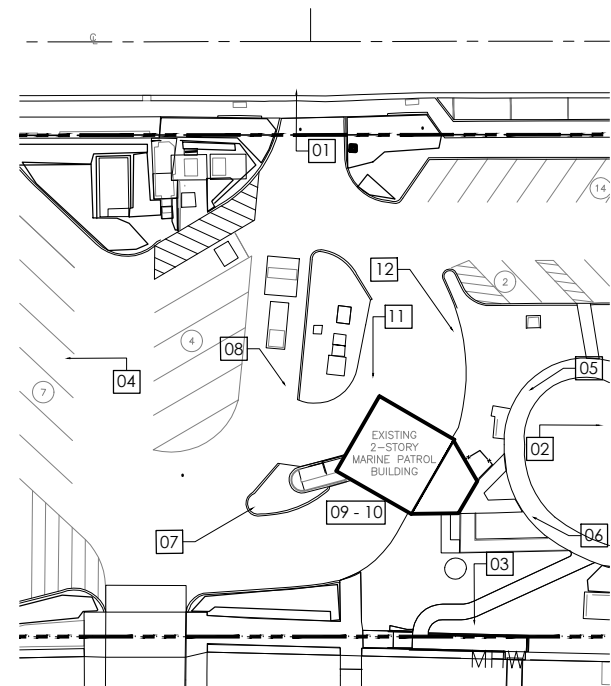
01



03



02



1 KEY PLAN - EXISTING SITE SCALE: 1/16"=1'-0" NORTH



04

MIAMI BEACH <small>OFFICE OF CAPITAL IMPROVEMENT PROJECTS 1701 MERIDIAN AVENUE, MIAMI BEACH, FL 33139</small>	PROJECT: MARINE PATROL FACILITY MAURICE GIBB MEMORIAL PARK	MCHARRY ASSOCIATES <small>ARCHITECTURE • PLANNING • INTERIORS AR 14445 MIAMI, FLORIDA 33133 (305) 445-3765 2780 SW DOUGLAS ROAD SUITE 302 WWW.MCHARRY.COM</small>	SUB CONSULTANT: _____	ARCH. OF RECORD: <u>LOURDES SOLERA</u> FL REG: <u>AR 14445</u>	2/3/2023	<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 5%;">NO.</th> <th style="width: 15%;">DATE</th> <th style="width: 45%;">REVISION</th> <th style="width: 35%;">APPD. BY</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO.	DATE	REVISION	APPD. BY																																	Drawing Title: EXISTING SITE PHOTOS	Drawing No.: A0.04
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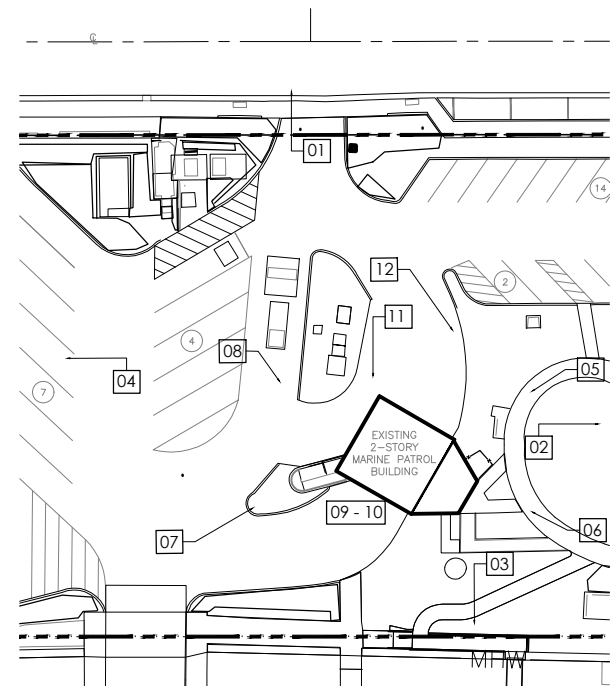
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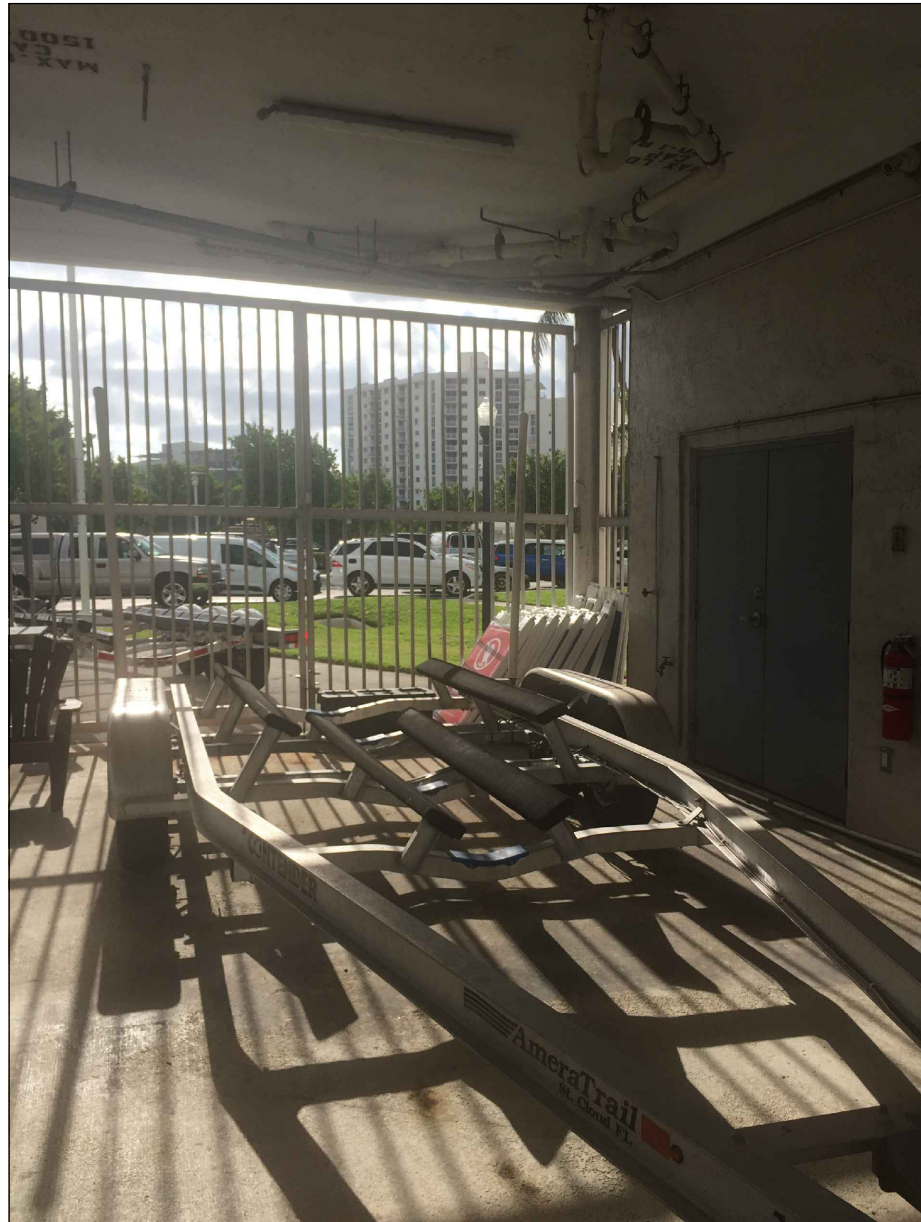
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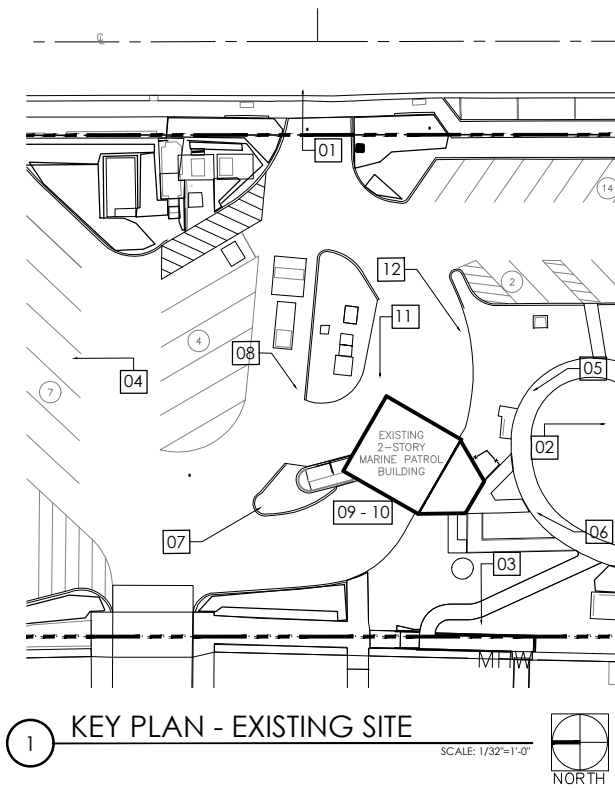
1 KEY PLAN - EXISTING SITE SCALE: 1/32"=1'-0" NORTH



08



09

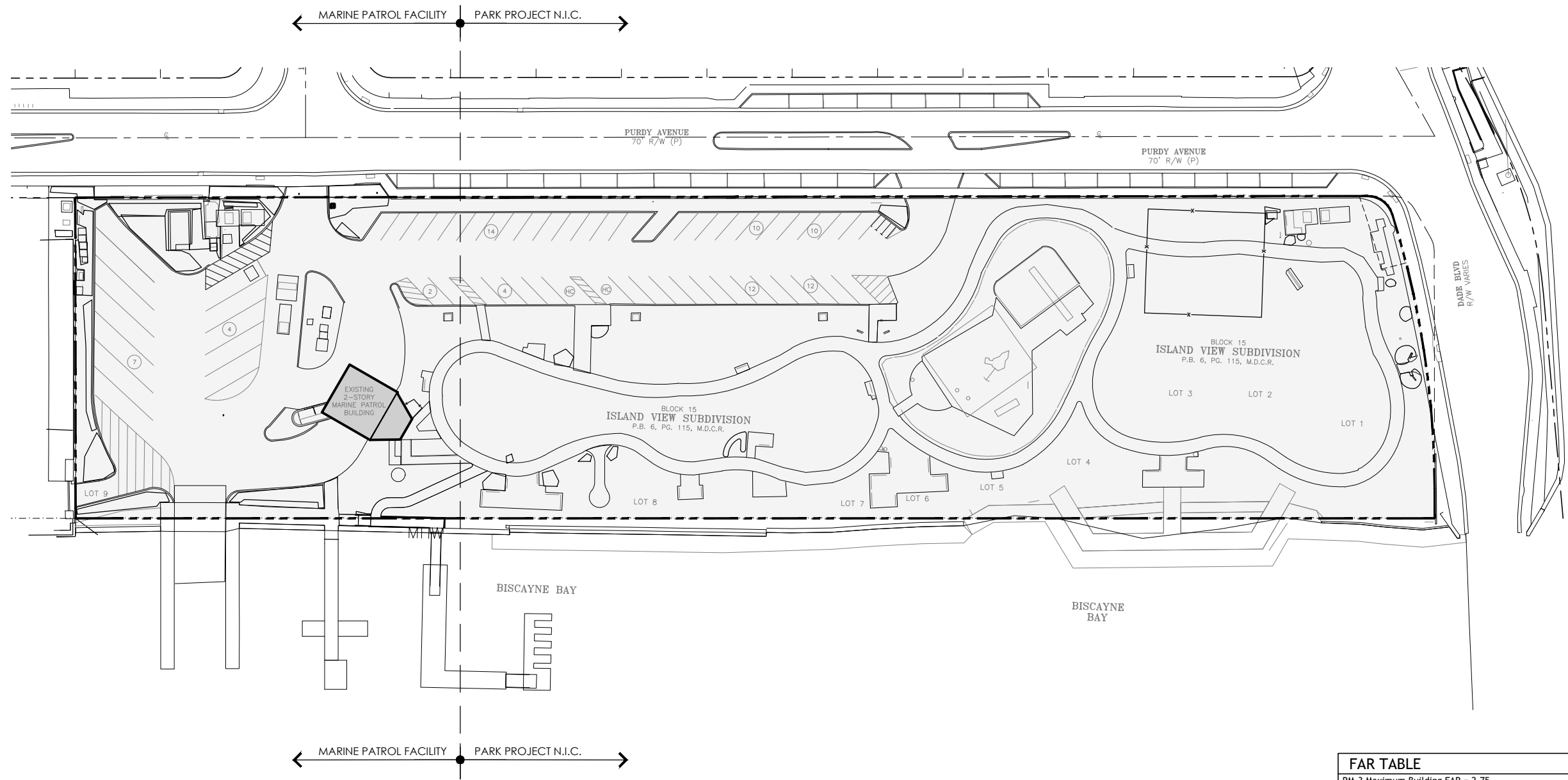


1 KEY PLAN - EXISTING SITE

SCALE: 1/32"=1'-0"



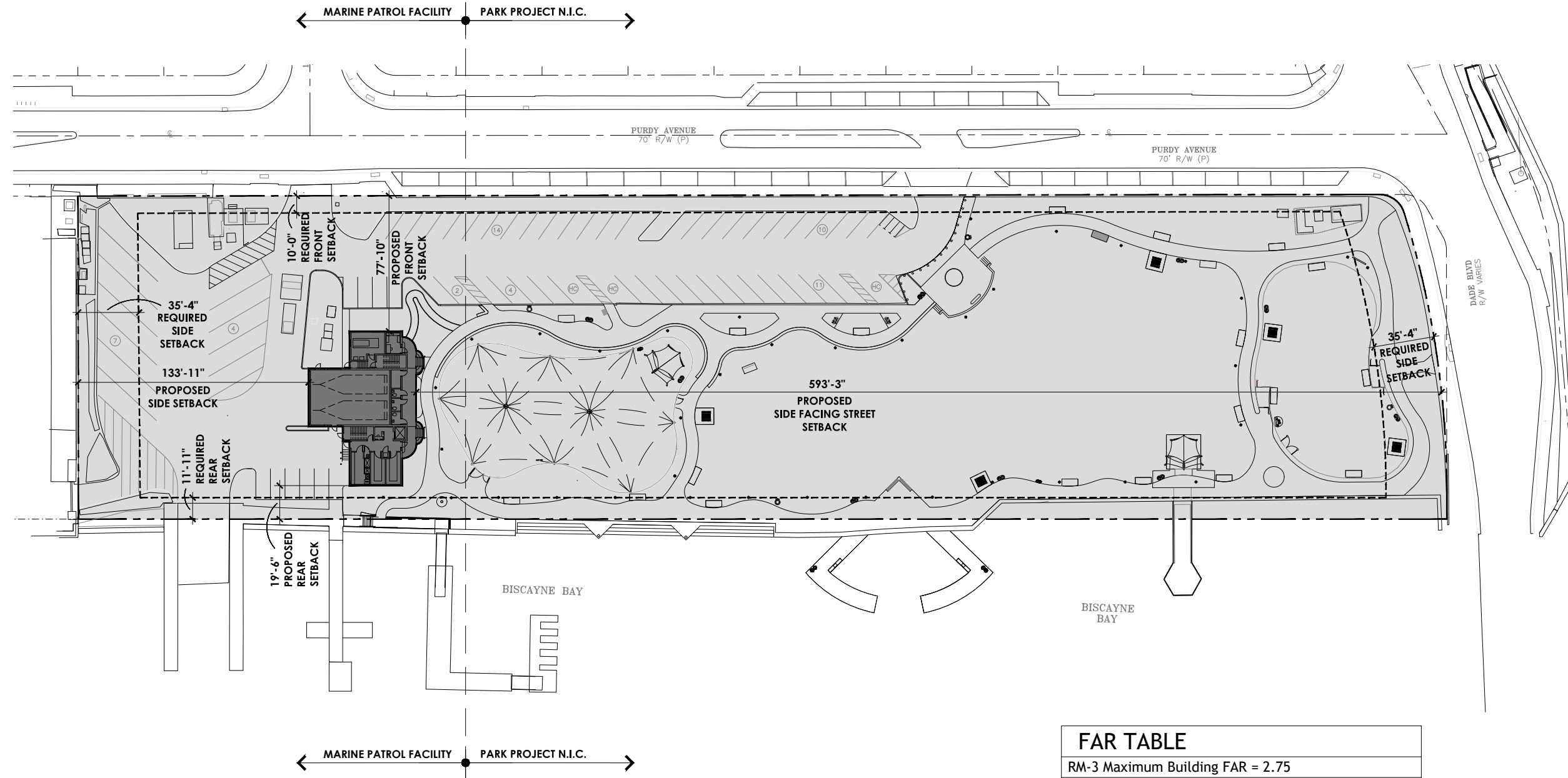
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1 EXISTING FAR DIAGRAM

FAR TABLE	
RM-3 Maximum Building FAR =	2.75
CD-2 Maximum Building FAR =	1.5
RM-3/CD-2 Average FAR =	2.125
Maximum Building FAR =	2.125
Existing Lot Coverage =	2,500 SF / 148,376 SF = 0.02
Proposed Lot Coverage =	9,650 SF / 148,376 SF = 0.06

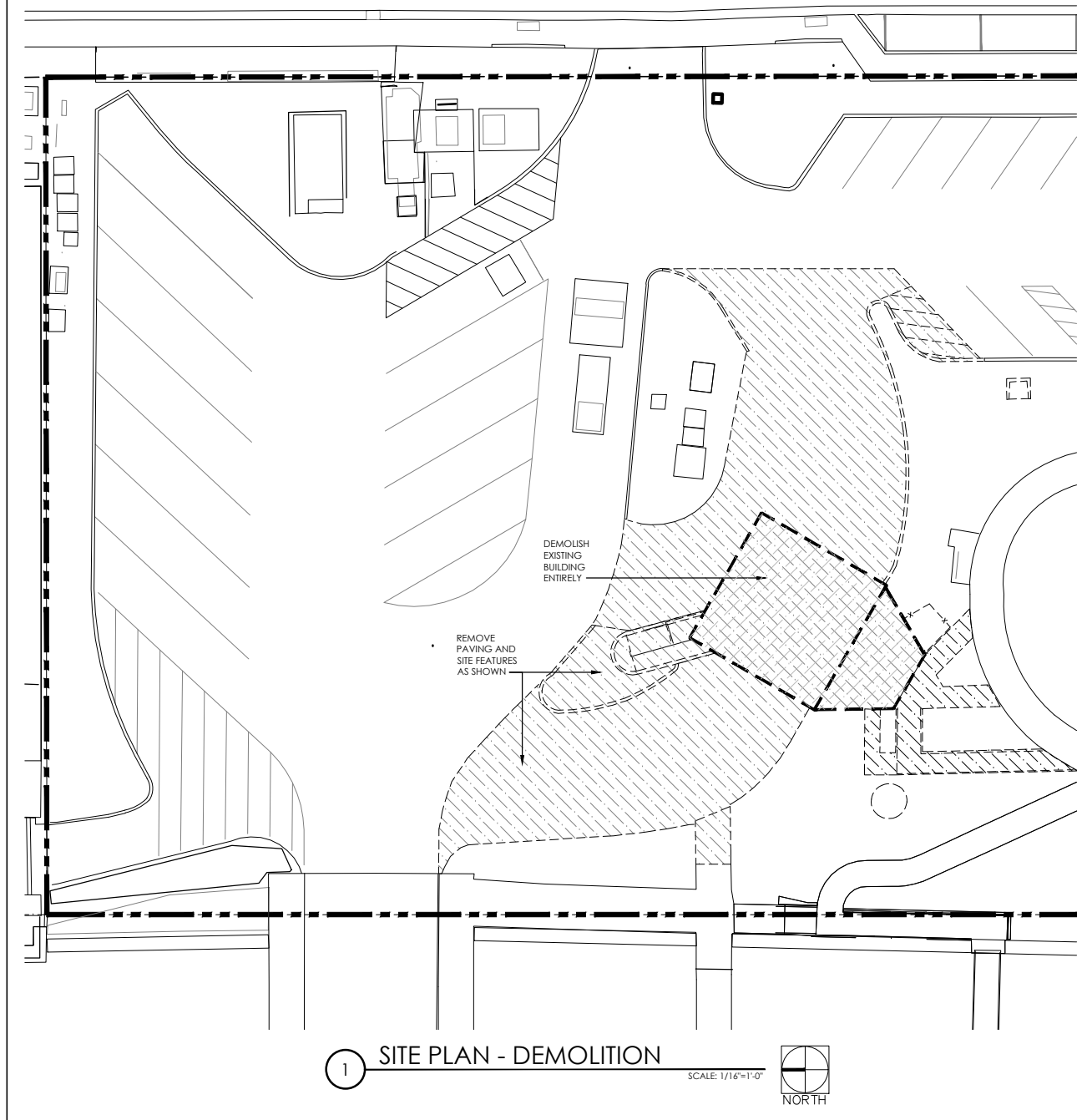
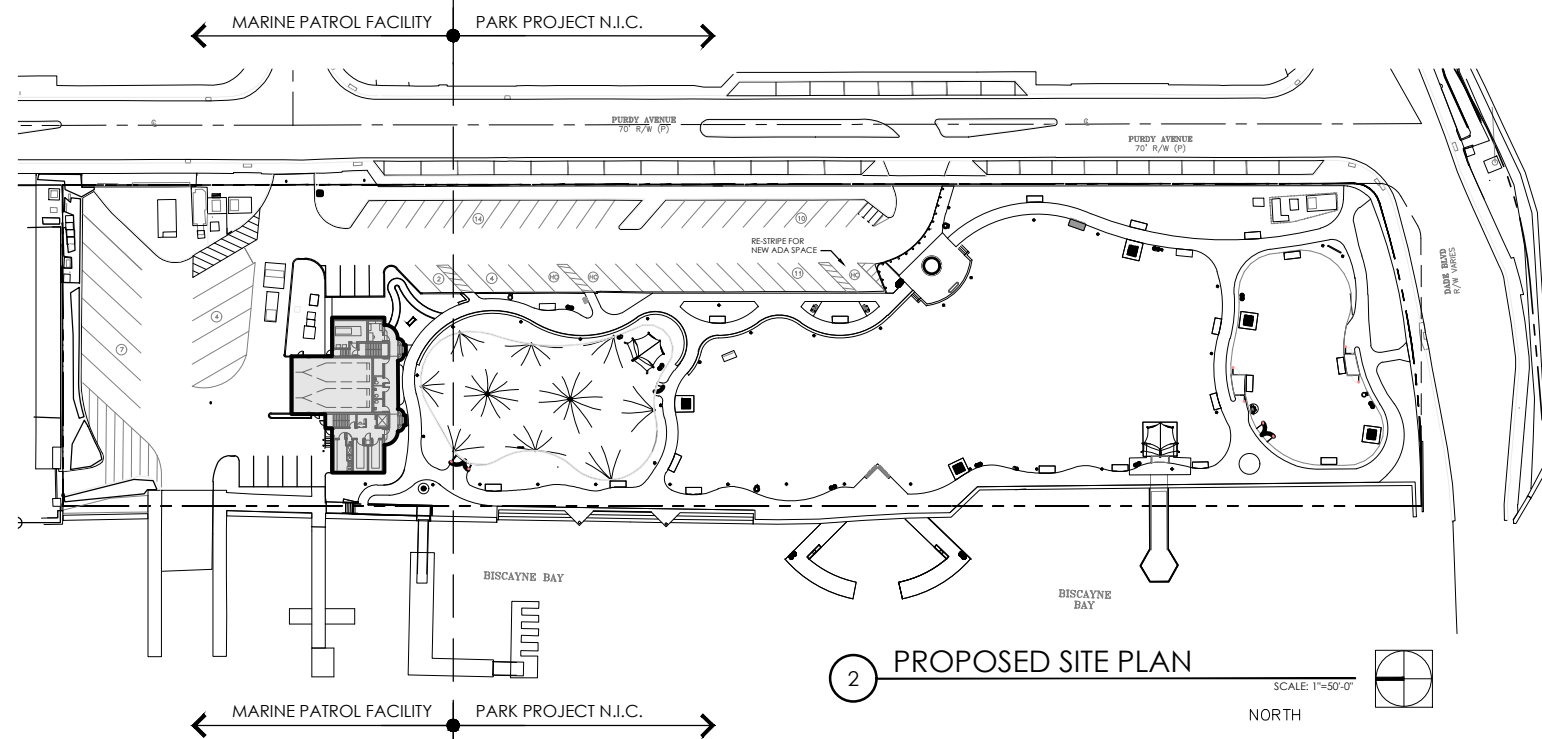
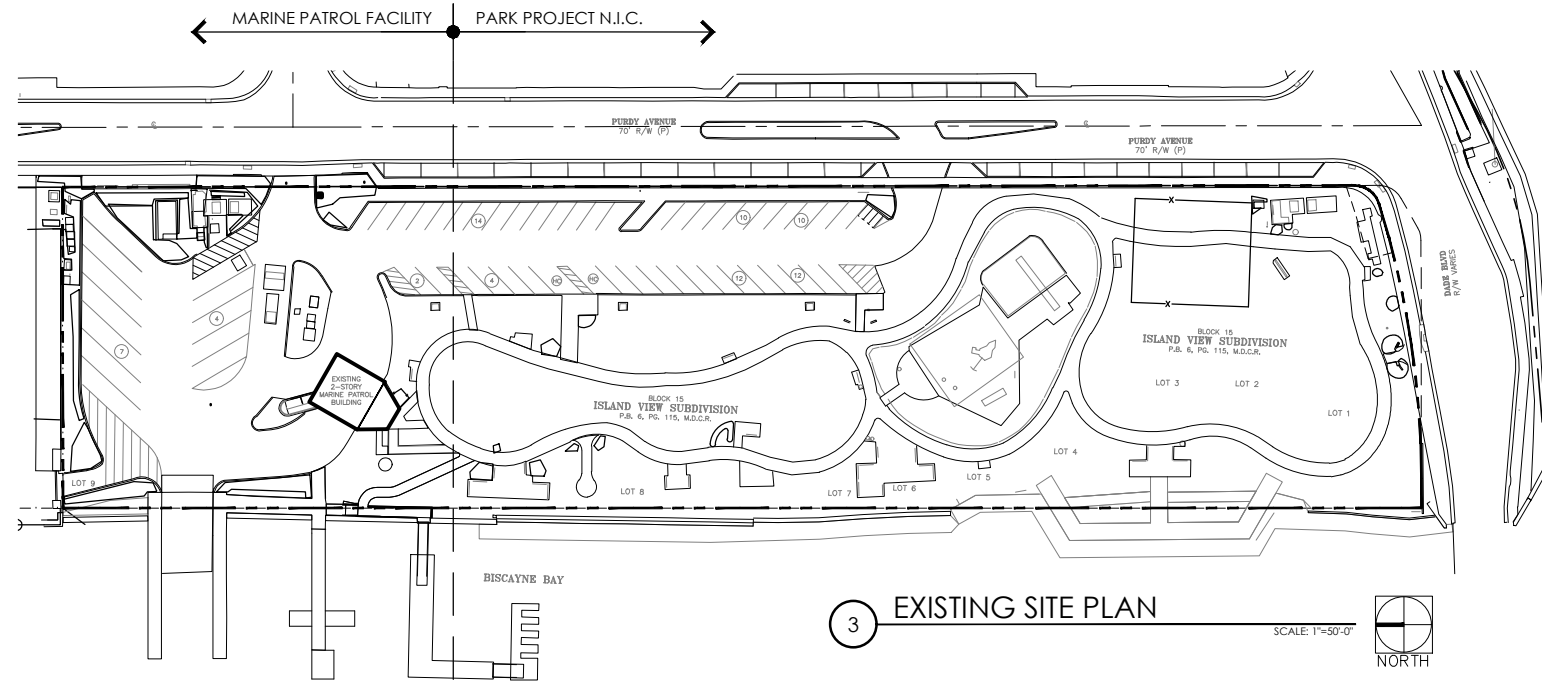
	PROJECT: MARINE PATROL FACILITY MAURICE GIBB MEMORIAL PARK	ARCHITECTURE • PLANNING • INTERIORS AR 14445 MIAMI, FLORIDA 33133 (305) 445-3765 2780 SW DOUGLAS ROAD SUITE 302 WWW.MCHARRY.COM	SUB CONSULTANT:	ARCH. OF RECORD: <u>LOURDES SOLERA</u> FL REG: <u>AR 14445</u> DRAWN BY: <u>AD</u> CHECKED BY: <u>-</u> SCALE: <u>VARIOUS</u>	<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION</th> <th>APP'D. BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	REVISION	APP'D. BY													Drawing Title: EXISTING FAR DIAGRAM - Filename: A0.07-CMB MARINE PATROL-EXISTING FAR DIAGRAM.dwg Date: - Sheet: - of -	Drawing No.: A0.07
	NO.		DATE	REVISION	APP'D. BY																		
ADDRESS: 1790 PURDY AVENUE MIAMI BEACH, FL 33139	Date: 2/3/2023	Drawing No.:																					



1 PROPOSED FAR DIAGRAM
 SCALE: 1/32"=1'-0"
 NORTH

FAR TABLE	
RM-3 Maximum Building FAR =	2.75
CD-2 Maximum Building FAR =	1.5
RM-3/CD-2 Average FAR =	2.125
Maximum Building FAR = 2.125	
Existing Lot Coverage =	2,500 SF / 148,376 SF = 0.02
Proposed Lot Coverage =	9,650 SF / 148,376 SF = 0.06

	PROJECT: MARINE PATROL FACILITY MAURICE GIBB MEMORIAL PARK		SUB CONSULTANT:	ARCH. OF RECORD: <u>LOURDES SOLERA</u> FL REG: <u>AR 14445</u>	<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION</th> <th>APPD. BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	REVISION	APPD. BY					Drawing Title: PROPOSED FAR DIAGRAM	Drawing No.: A0.08
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MIAMI BEACH
OFFICE OF CAPITAL IMPROVEMENT PROJECTS
1701 MERIDIAN AVENUE, MIAMI BEACH, FL 33139

PROJECT: MARINE PATROL FACILITY
MAURICE GIBB MEMORIAL PARK
ADDRESS: 1790 PURDY AVENUE
MIAMI BEACH, FL 33139

MCHARRY ASSOCIATES
ARCHITECTURE • PLANNING • INTERIORS
AR 14445
MIAMI, FLORIDA 33133 (305) 445-3765
2780 SW DOUGLAS ROAD SUITE 302
WWW.MCHARRY.COM

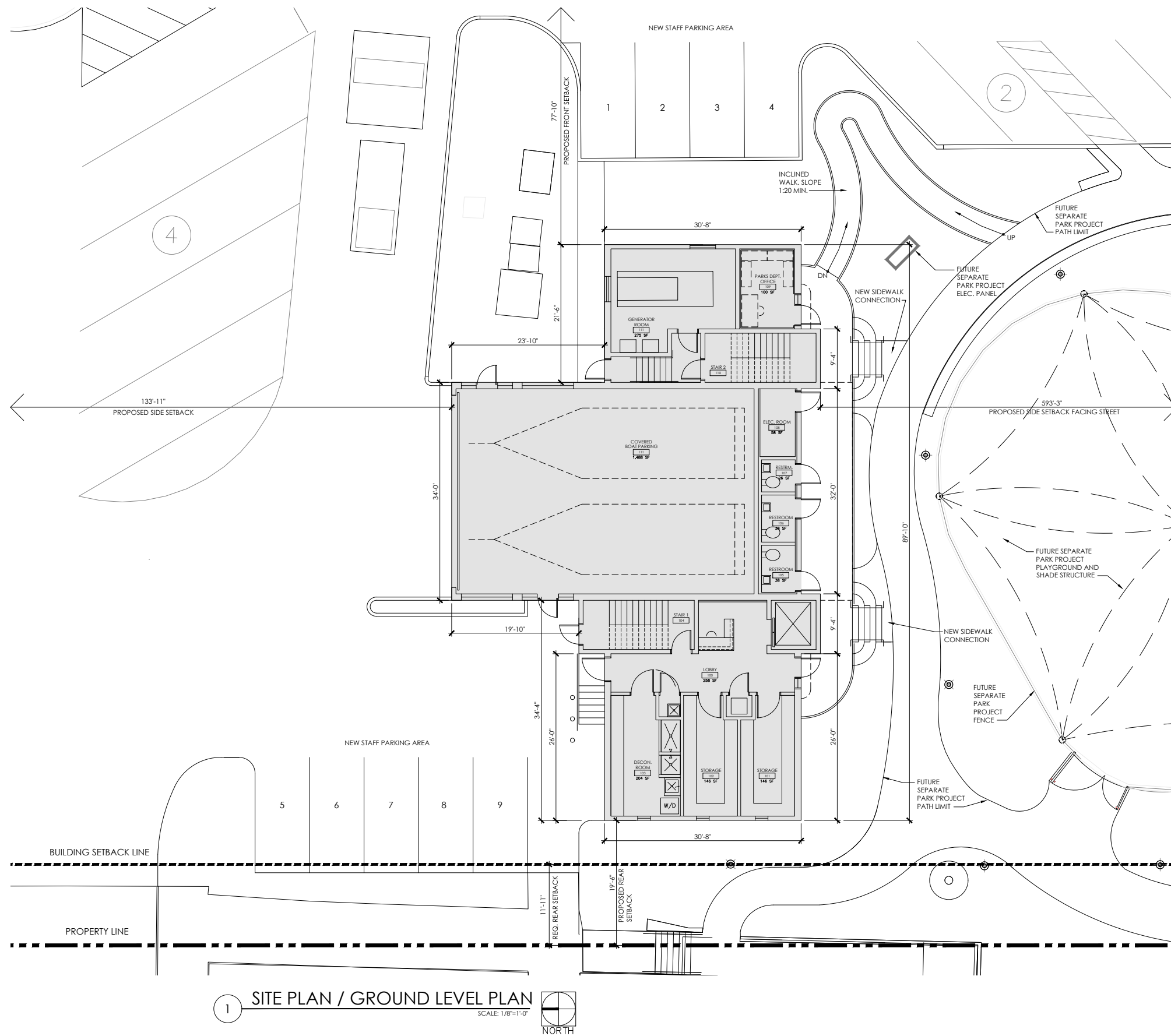
SUB CONSULTANT:

ARCH. OF RECORD: LOURDES SOLERA
FL REG: AR 14445
DRAWN BY: AD
CHECKED BY: -
SCALE: VARIOUS
2/3/2023

NO.	DATE	REVISION	APP'D. BY

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**DEMOLITION SITE PLAN
OVERALL SITE PLANS**
Filename: A1.00-CMB MARINE PATROL-DEMOLITION SITE PLAN.dwg

Drawing No.:
A1.00
Sheet: - of -



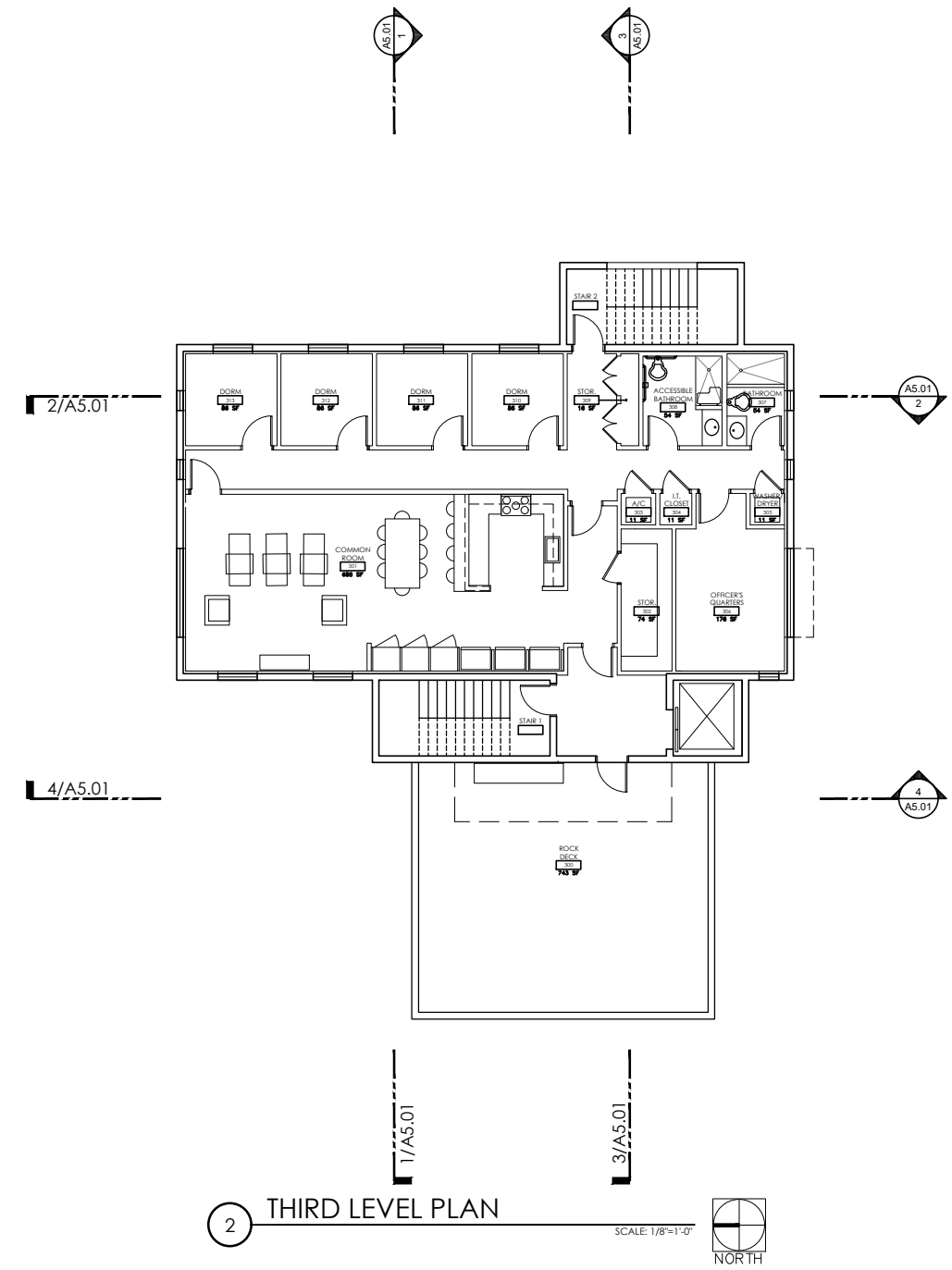
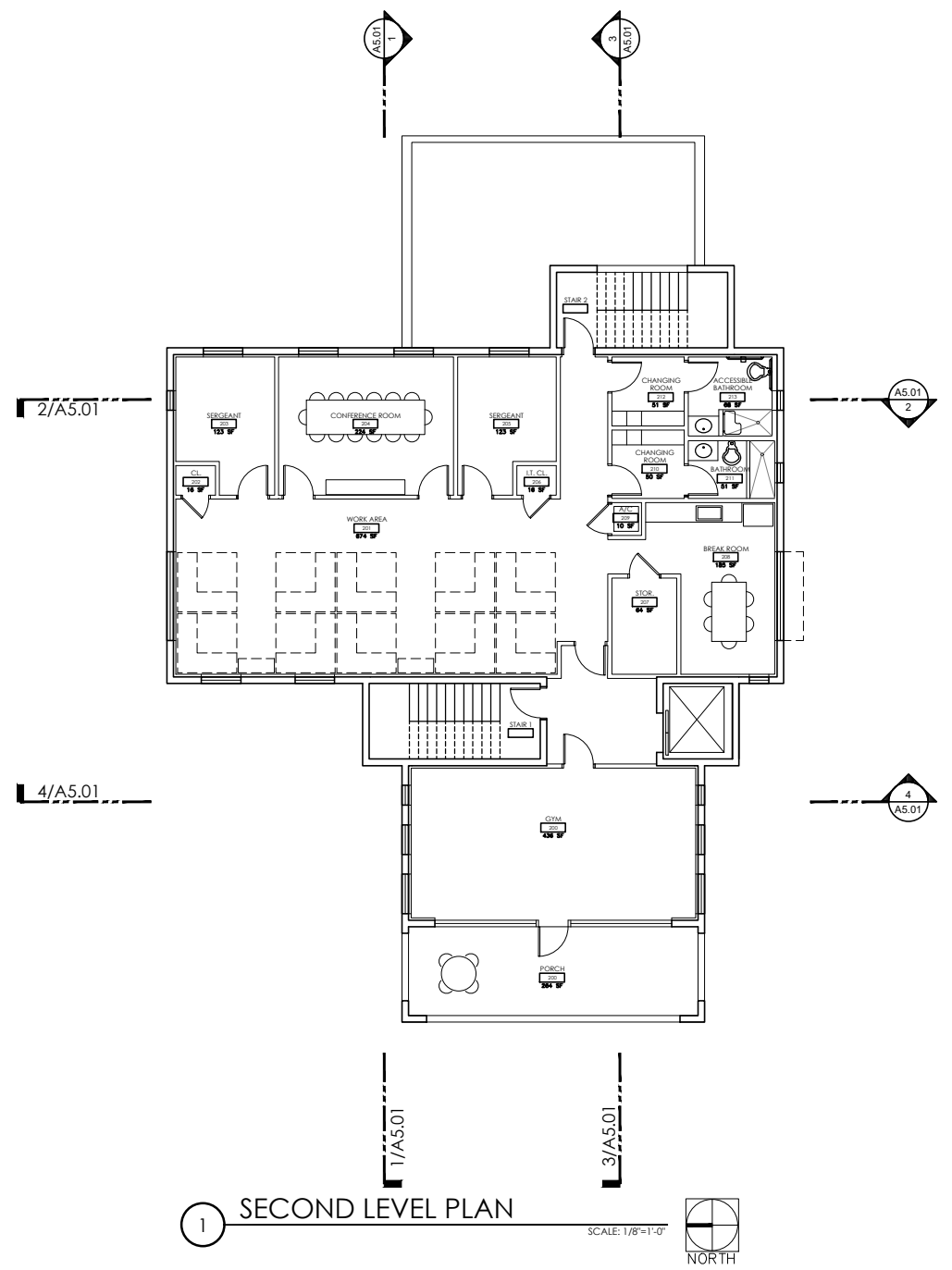
PARKING CALCULATIONS	
Maurice Gibb Park Parking Requirement =	0 Parking Spaces
Existing Parking Lot:	44 Spaces
2 Handicap Spaces Required.	2 Handicap Spaces Provided
Marine Patrol Office Use Parking Required:	
1 Parking Space per 400 SF Offices Above Ground Floor.	1,600 SF Offices / 400 SF = 4 Parking Spaces
1 Parking Space per 300 SF Offices on Ground Floor	100 SF / 300 SF = 1 Parking Space
Marine Patrol Facility Total Parking Required:	5 spaces
Marine Patrol Facility Total Parking Provided:	9 spaces
Total Parking Provided:	53 Spaces
3 Handicap Spaces Required.	3 Handicap Spaces Provided

REQUIRED SETBACKS	
Front Setback	10'-0"
Side Setback	35'-4"
Side Setback Facing Street	30'-4"
Rear Setback	11'-11"

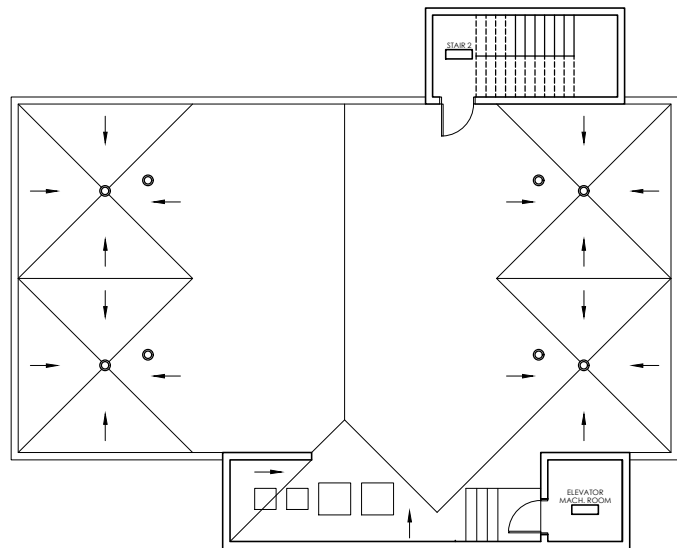
PROPOSED SETBACKS	
Front Setback	77'-10"
Side Setback	133'-11"
Side Setback Facing Street	604'-6"
Rear Setback	19'-6"

1 SITE PLAN / GROUND LEVEL PLAN
SCALE: 1/8"=1'-0"
NORTH

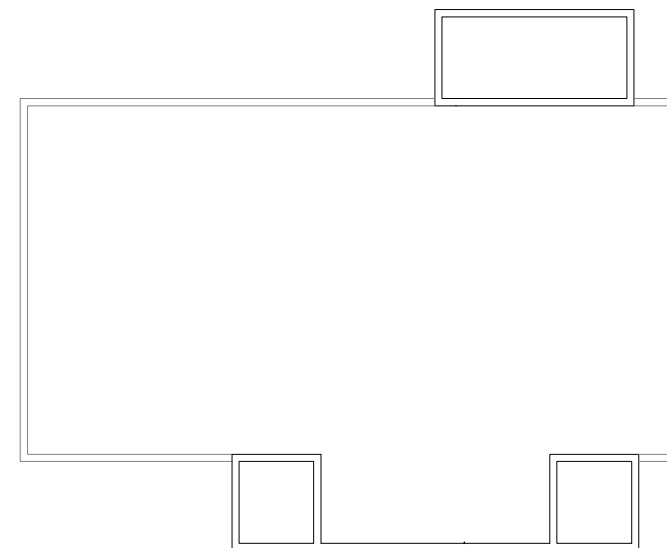
	PROJECT: MARINE PATROL FACILITY MAURICE GIBB MEMORIAL PARK		SUB CONSULTANT:	ARCH. OF RECORD: <u>LOURDES SOLERA</u> FL REG: <u>AR 14445</u>	<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION</th> <th>APPD. BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	REVISION	APPD. BY					Drawing Title: SITE PLAN GROUND LEVEL PLAN	Drawing No.: A2.01
	NO.		DATE	REVISION		APPD. BY									
ADDRESS: 1790 PURDY AVENUE MIAMI BEACH, FL 33139		ARCH. OF RECORD: <u>LOURDES SOLERA</u> FL REG: <u>AR 14445</u> DRAWN BY: <u>AD</u> CHECKED BY: <u>-</u> SCALE: <u>VARIOUS</u>	2/5/2023	Drawing Title: SITE PLAN GROUND LEVEL PLAN	Drawing No.: A2.01										



<p>1701 MERIDIAN AVENUE, MIAMI BEACH, FL 33139</p>	PROJECT: MARINE PATROL FACILITY MAURICE GIBB MEMORIAL PARK	<p>ARCHITECTURE • PLANNING • INTERIORS AR 14445 MIAMI, FLORIDA 33133 (305) 445-3765 2780 SW DOUGLAS ROAD SUITE 302 WWW.MCHARRY.COM</p>	SUB CONSULTANT:	ARCH. OF RECORD: <u>LOURDES SOLERA</u> FL REG: <u>AR 14445</u> DRAWN BY: <u>AD</u> CHECKED BY: <u>-</u> SCALE: <u>VARIOUS</u>	<table border="1"> <tr><td>NO.</td><td>DATE</td><td>REVISION</td><td>APPD. BY</td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </table>	NO.	DATE	REVISION	APPD. BY																													Drawing Title: SECOND & THIRD LEVEL PLAN - Filename: A2.02-CMB MARINE PATROL-SECOND & THIRD LEVEL PLAN.dwg Date: - Sheet: - of -	Drawing No.: A2.02
	NO.		DATE	REVISION	APPD. BY																																		
ADDRESS: 1790 PURDY AVENUE MIAMI BEACH, FL 33139	MIAMI, FLORIDA 33133 (305) 445-3765 2780 SW DOUGLAS ROAD SUITE 302 WWW.MCHARRY.COM	2/3/2023	Date: - Sheet: - of -																																				

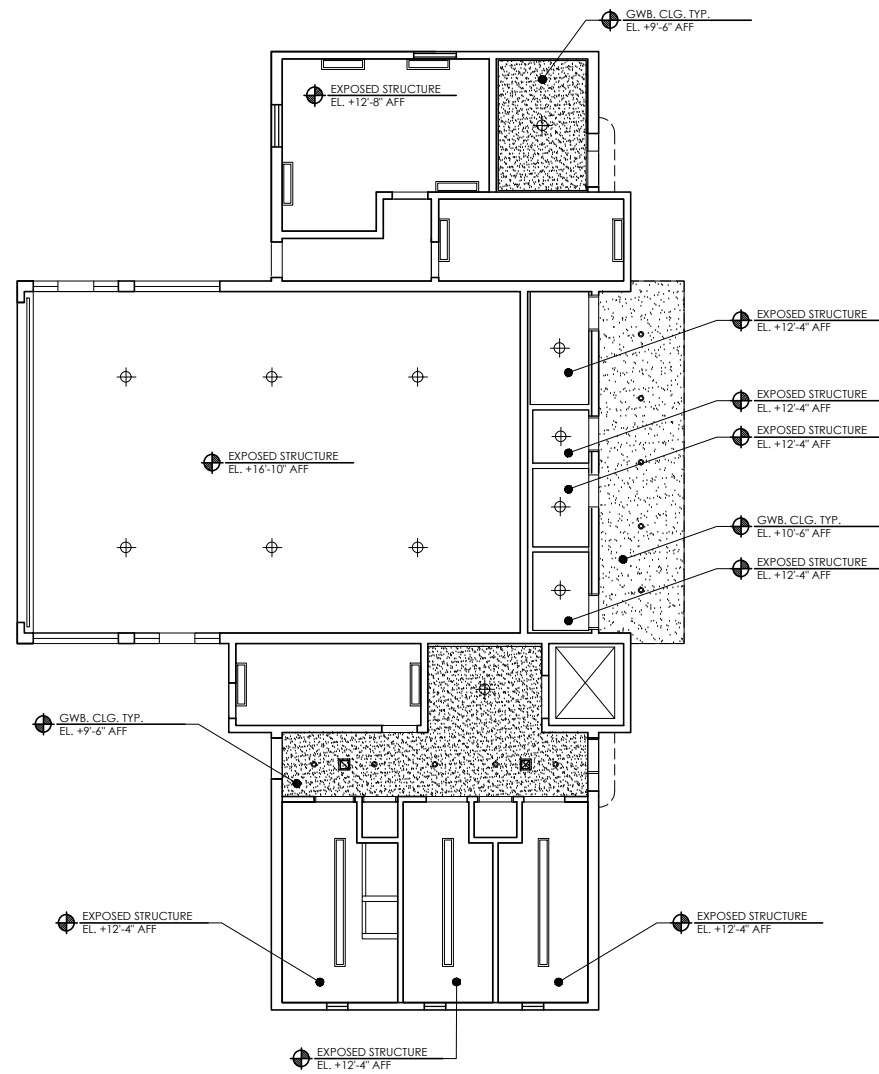


1 ROOF PLAN
SCALE: 1/8"=1'-0"
NORTH

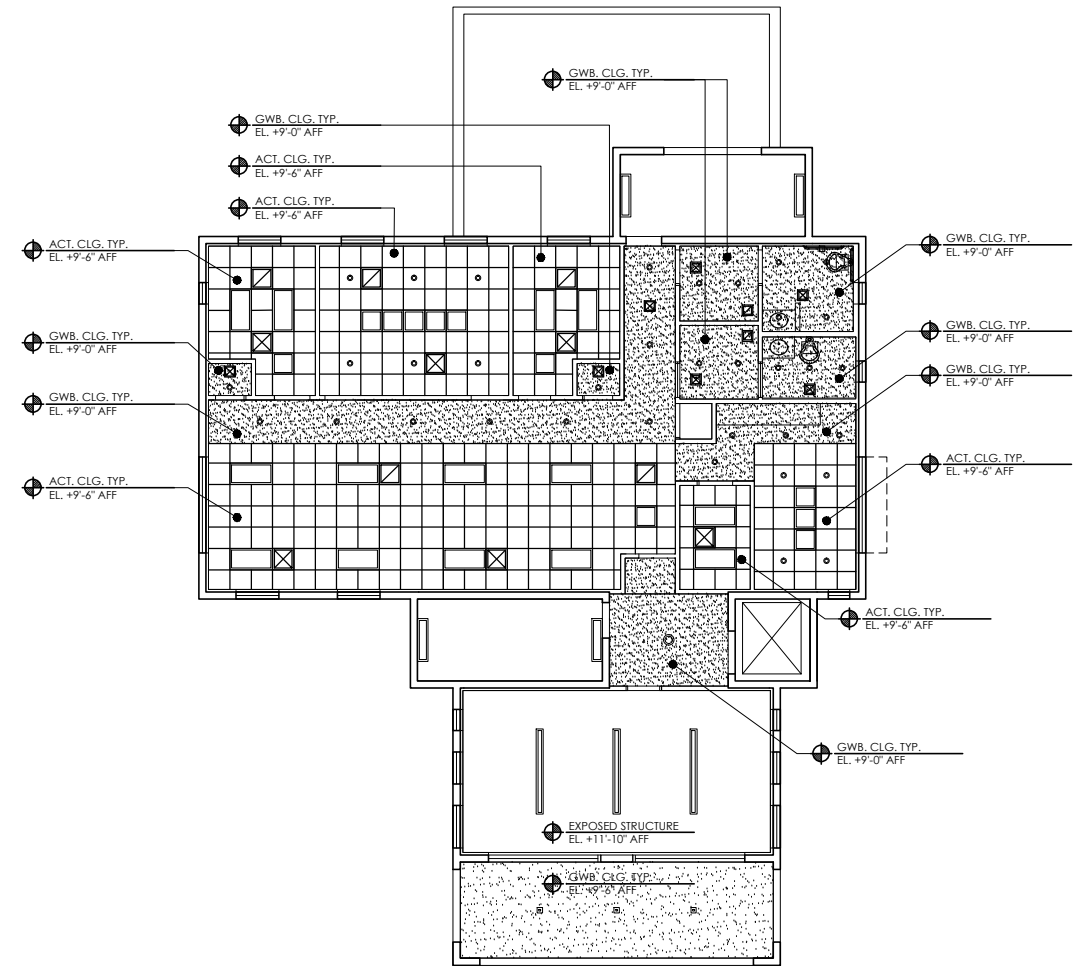


2 UPPER ROOF PLAN
SCALE: 1/8"=1'-0"
NORTH

<p>1701 MERIDIAN AVENUE, MIAMI BEACH, FL 33139</p>	PROJECT: MARINE PATROL FACILITY MAURICE GIBB MEMORIAL PARK	<p>ARCHITECTURE • PLANNING • INTERIORS AR 14445 MIAMI, FLORIDA 33133 (305) 445-3765 2780 SW DOUGLAS ROAD SUITE 302 WWW.MCHARRY.COM</p>	SUB CONSULTANT: 	ARCH. OF RECORD: <u>LOURDES SOLERA</u> FL REG: <u>AR 14445</u> DRAWN BY: <u>AD</u> CHECKED BY: <u>-</u> SCALE: <u>VARIOUS</u>	2/3/2023	<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION</th> <th>APP'D. BY</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO.	DATE	REVISION	APP'D. BY																																									Drawing Title: ROOF & UPPER ROOF PLAN -	Drawing No.: A2.03
	NO.						DATE	REVISION	APP'D. BY																																											
ADDRESS: 1790 PURDY AVENUE MIAMI BEACH, FL 33139		Filename: A2.03-CMB MARINE PATROL-ROOF & UPPER ROOF PLAN.dwg		Date: - Sheet: - of -																																																

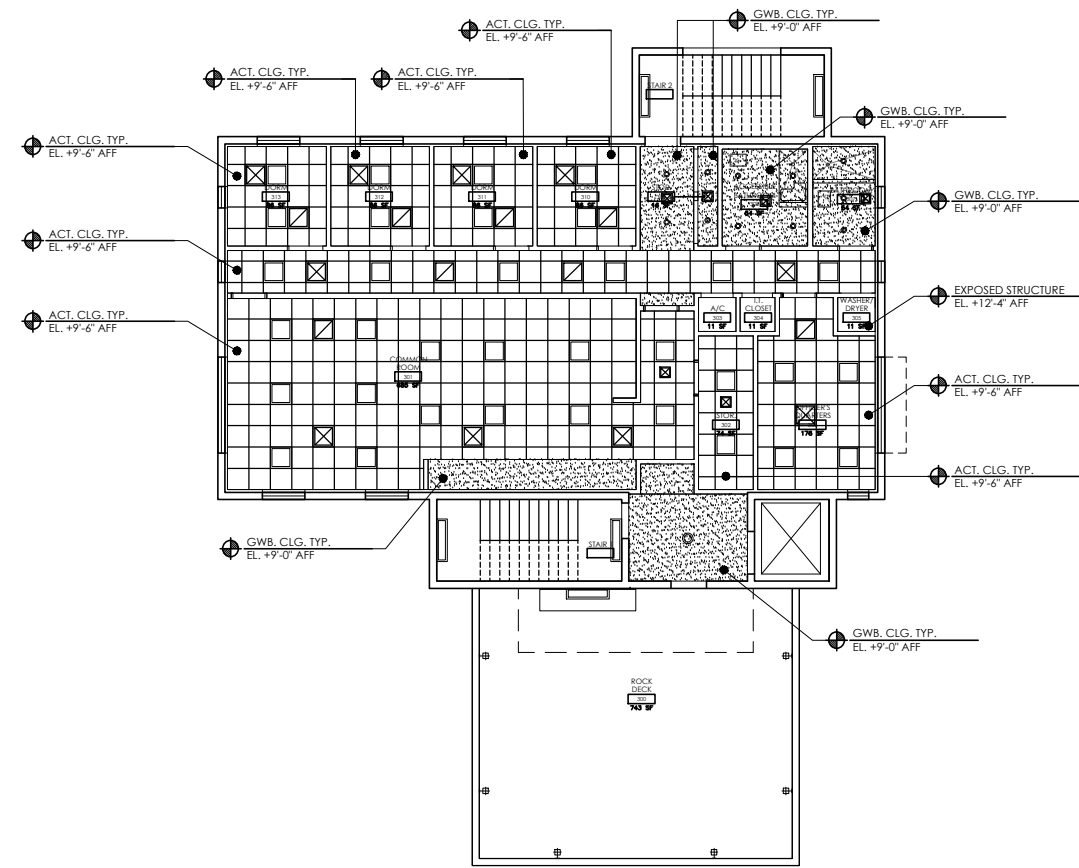


1 GROUND LEVEL REFLECTED CEILING PLAN
 SCALE: 1/8"=1'-0"
 NORTH



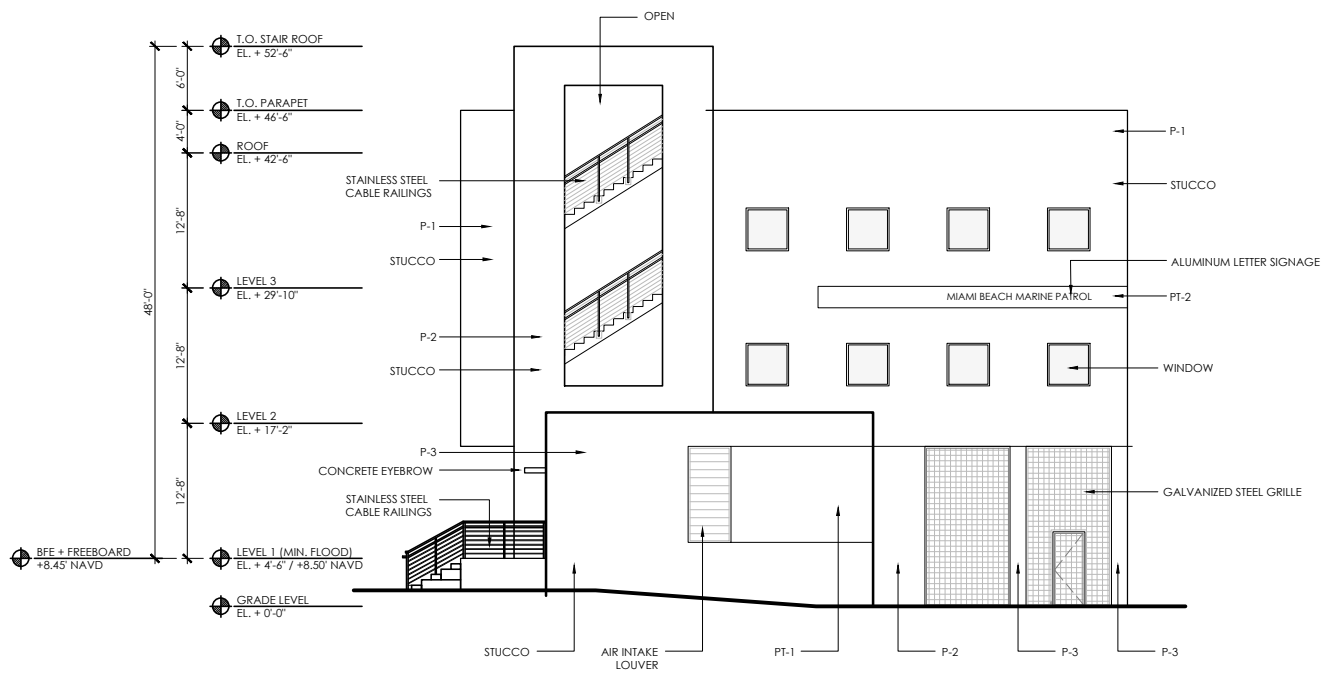
2 SECOND LEVEL REFLECTED CEILING PLAN
 SCALE: 1/8"=1'-0"
 NORTH

	PROJECT: MARINE PATROL FACILITY MAURICE GIBB MEMORIAL PARK	ARCHITECTURE • PLANNING • INTERIORS AR 14445 MIAMI, FLORIDA 33133 (305) 445-3765 2780 SW DOUGLAS ROAD SUITE 302 WWW.MCHARRY.COM	SUB CONSULTANT:	ARCH. OF RECORD: <u>LOURDES SOLERA</u> FL REG: <u>AR 14445</u>	<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION</th> <th>APP'D. BY</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO.	DATE	REVISION	APP'D. BY																																					Drawing Title: GROUND & SECOND LEVEL REFLECTED CEILING PLAN	Drawing No.: A3.01
	NO.		DATE	REVISION		APP'D. BY																																									
OFFICE OF CAPITAL IMPROVEMENT PROJECTS <small>1701 MERIDIAN AVENUE, MIAMI BEACH, FL 33139</small>	ADDRESS: 1790 PURDY AVENUE MIAMI BEACH, FL 33139			DRAWN BY: <u>AD</u> CHECKED BY: <u>-</u> SCALE: <u>VARIOUS</u>	2/3/2023	Filename: <u>A3.01-CMB MARINE PATROL-GROUND & SECOND LEVEL RCP.dwg</u> Date: <u>-</u> Sheet: <u>-</u> of <u>-</u>																																									

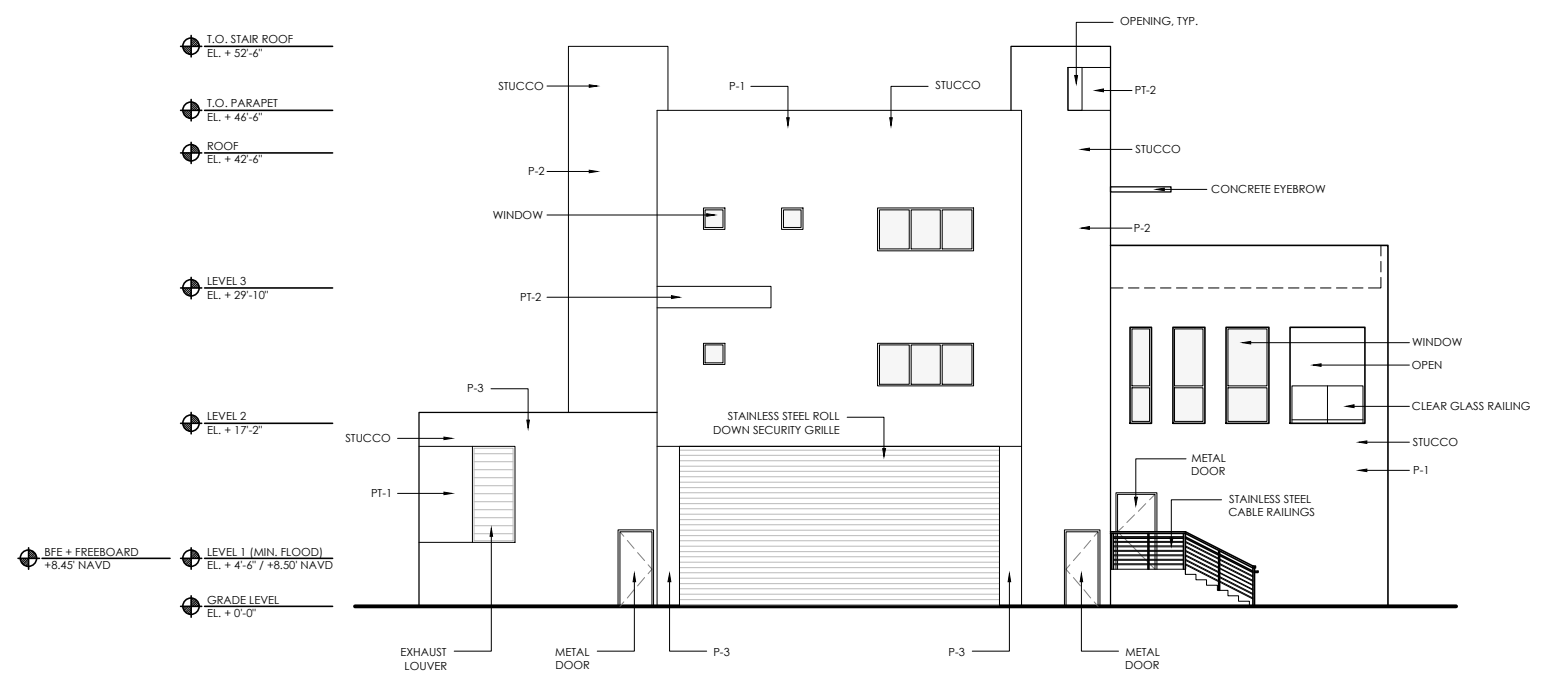


1 THIRD LEVEL REFLECTED CEILING PLAN
 SCALE: 1/8"=1'-0"
 NORTH

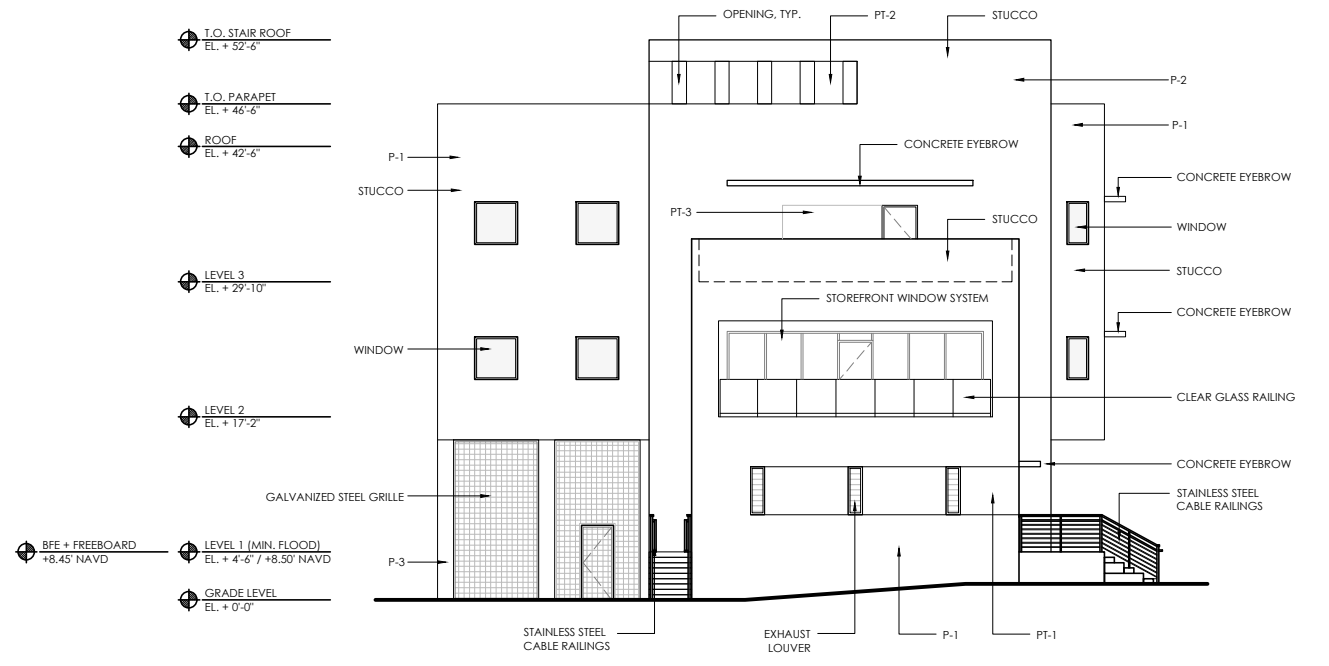
<p>1701 MERIDIAN AVENUE, MIAMI BEACH, FL 33139</p>	PROJECT: MARINE PATROL FACILITY MAURICE GIBB MEMORIAL PARK	<p>ARCHITECTURE • PLANNING • INTERIORS AR 14445 MIAMI, FLORIDA 33133 (305)445-3765 2780 SW DOUGLAS ROAD SUITE 302 WWW.MCHARRY.COM</p>	SUB CONSULTANT:	ARCH. OF RECORD: <u>LOURDES SOLERA</u> FL REG: <u>AR 14445</u> DRAWN BY: <u>AD</u> CHECKED BY: <u>-</u> SCALE: <u>VARIOUS</u>	<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION</th> <th>APP'D. BY</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO.	DATE	REVISION	APP'D. BY																													Drawing Title: THIRD LEVEL REFLECTED CEILING PLAN Drawing No.: A3.02 Filename: A3.02-CMB MARINE PATROL-THIRD & ROOF LEVEL RCP.dwg Date: - Sheet: - of -
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ADDRESS: 1790 PURDY AVENUE MIAMI BEACH, FL 33139	Date: <u>2/3/2023</u>	Drawing No.: A3.02																																				



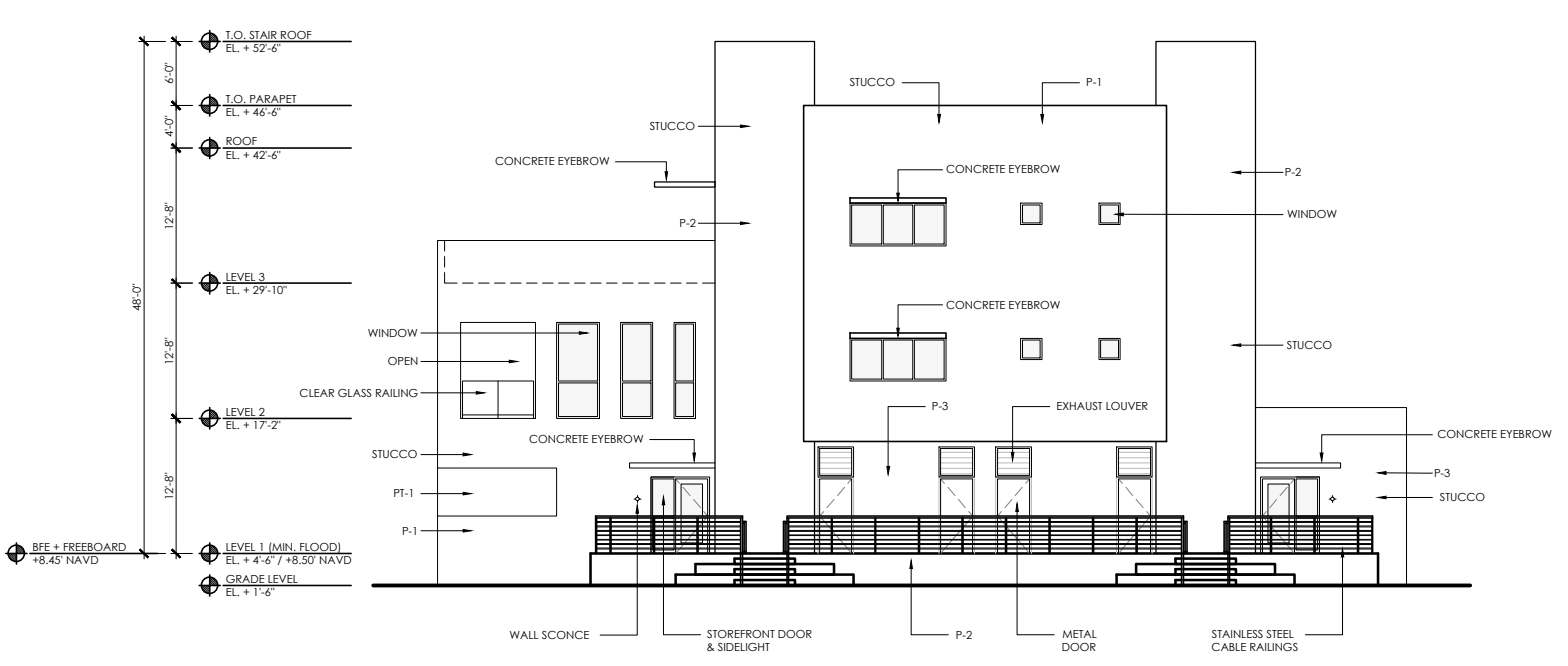
1 EAST ELEVATION SCALE: 1/8"=1'-0"



2 NORTH ELEVATION SCALE: 1/8"=1'-0"



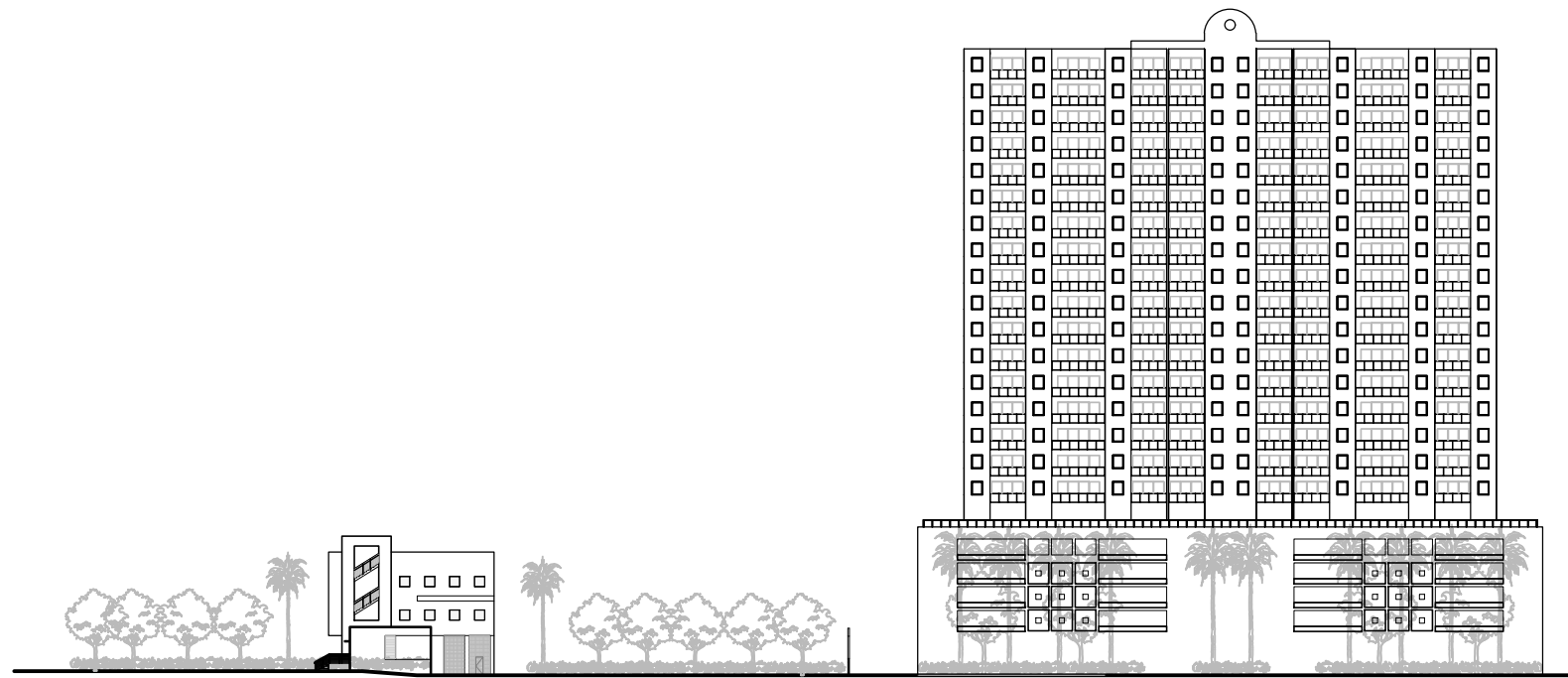
3 WEST ELEVATION SCALE: 1/8"=1'-0"



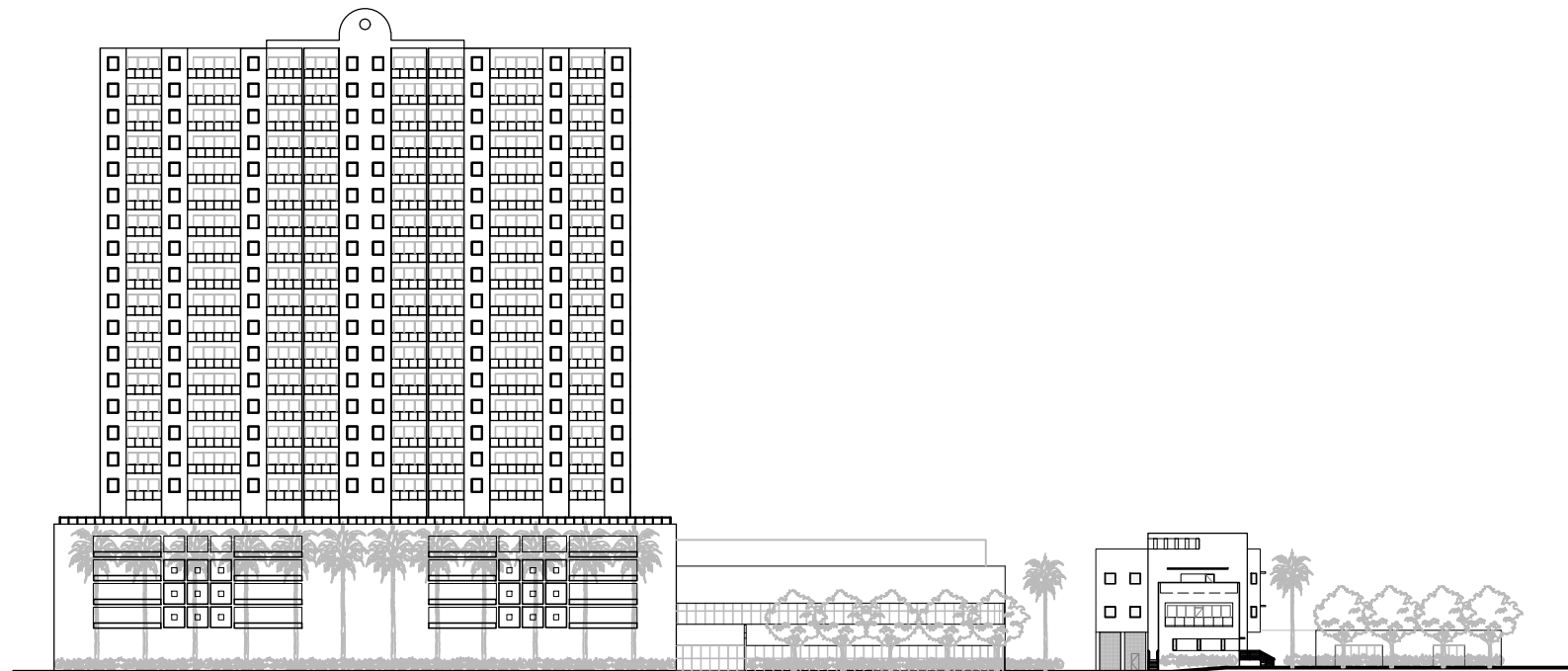
4 SOUTH ELEVATION SCALE: 1/8"=1'-0"

FINISH SCHEDULE				
SYMBOL	TYPE	MANUFACTURER	DESCRIPTION	REMARKS
P-1	PAINT	TBD	WHITE	-
P-2	PAINT	TBD	LIGHT GRAY	-
P-3	PAINT	TBD	DARK GRAY	-
PT-1	PORCELAIN TILE	TBD	NAVY BLUE	EXTERIOR
PT-2	PORCELAIN TILE	TBD	RED	EXTERIOR
PT-3	PORCELAIN TILE	TBD	GRAY	EXTERIOR

<p>1701 MERIDIAN AVENUE, MIAMI BEACH, FL 33139</p>	<p>PROJECT: MARINE PATROL FACILITY MAURICE GIBB MEMORIAL PARK</p> <p>ADDRESS: 1790 PURDY AVENUE MIAMI BEACH, FL 33139</p>	<p>ARCHITECTURE + PLANNING + INTERIORS AR 14445 MIAMI, FLORIDA 33133 (305) 445-3765 2780 SW DOUGLAS ROAD SUITE 302 WWW.MCHARRY.COM</p>	<p>SUB CONSULTANT:</p>	<p>ARCH. OF RECORD: LOURDES SOLERA FL REG: AR 14445</p> <p>DRAWN BY: AD CHECKED BY: - SCALE: VARIOUS</p> <p>2/3/2023</p>	<table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION</th> <th>APPD. BY</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	REVISION	APPD. BY					<p>Drawing Title: EXTERIOR ELEVATIONS</p> <p>Filename: A4.01-CMB MARINE PATROL-EXTERIOR ELEVATIONS.dwg</p>	<p>Drawing No.: A4.01</p> <p>Sheet: - of -</p>
	NO.		DATE	REVISION	APPD. BY										
<p>NO. DATE REVISION APPD. BY Date: - Sheet: - of -</p>															

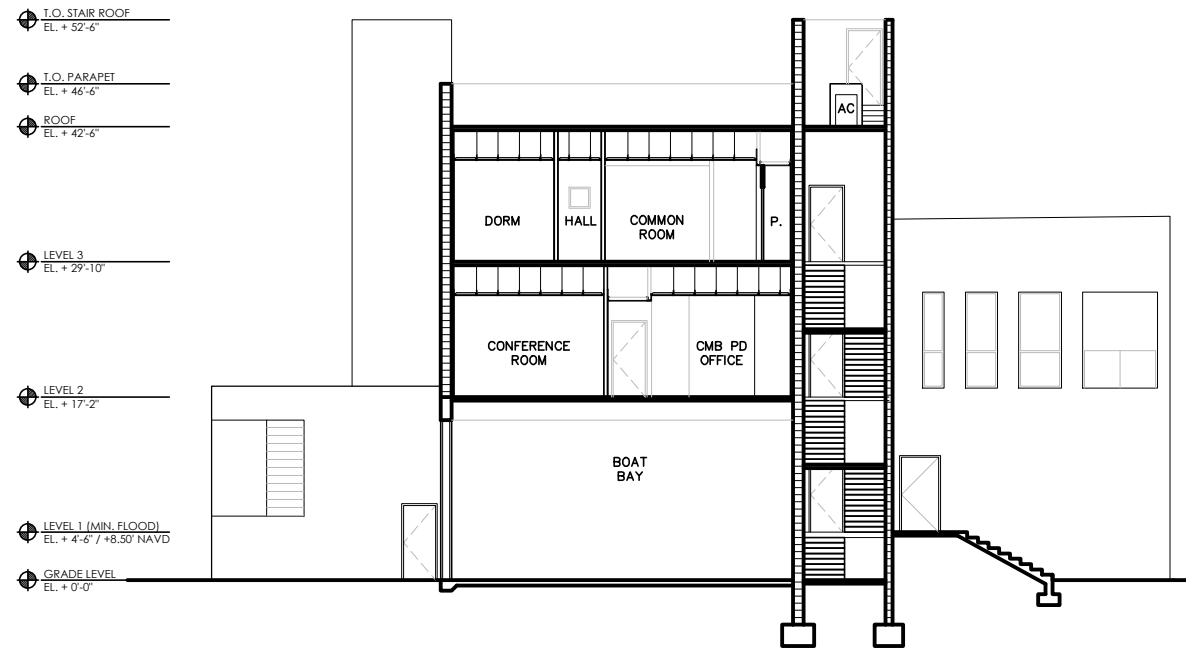


1 WEST CONTEXTUAL ELEVATION
SCALE: 1/32"=1'-0"

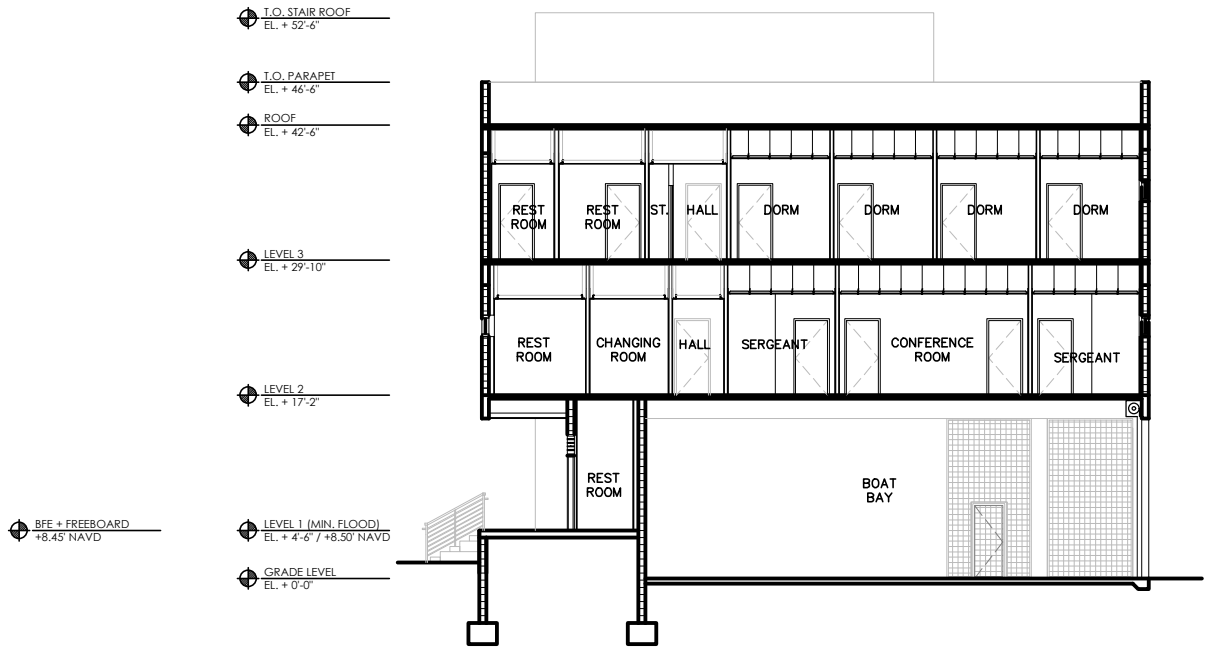


2 EAST CONTEXTUAL ELEVATION
SCALE: 1/32"=1'-0"

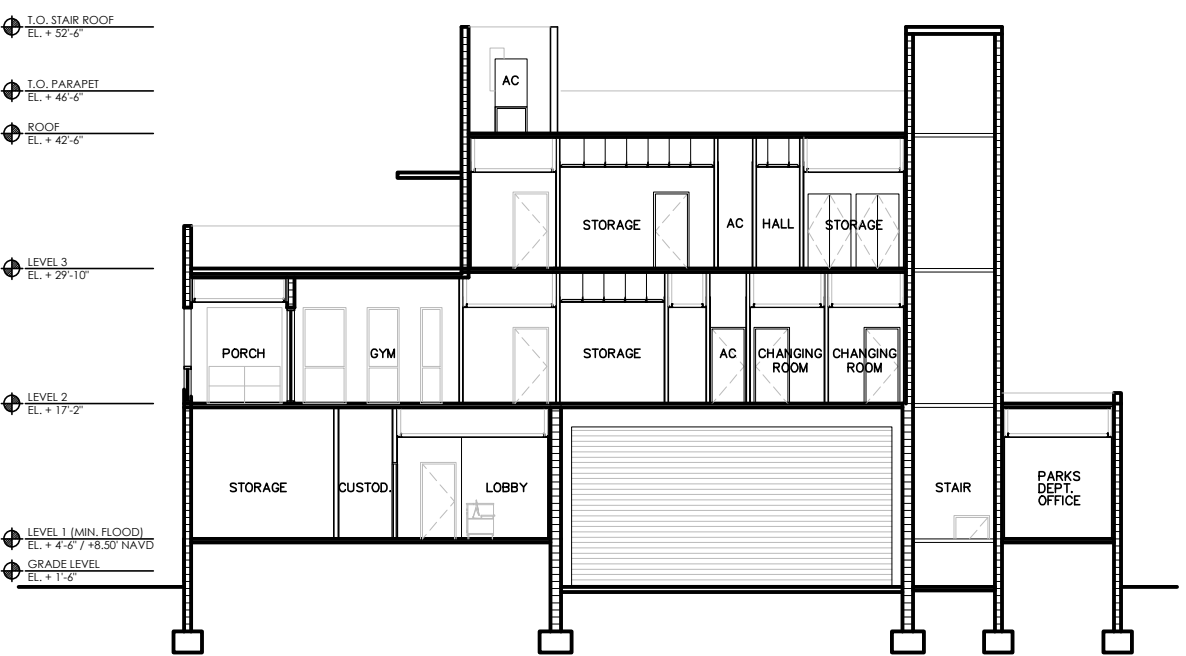
<p>1701 MERIDIAN AVENUE, MIAMI BEACH, FL 33139</p>	<p>PROJECT: MARINE PATROL FACILITY MAURICE GIBB MEMORIAL PARK</p>	<p>ARCHITECTURE • PLANNING • INTERIORS AR 14445 MIAMI, FLORIDA 33133 (305) 445-3765 2780 SW DOUGLAS ROAD SUITE 302 WWW.MCHARRY.COM</p>	<p>SUB CONSULTANT:</p>	<p>ARCH. OF RECORD: LOURDES SOLERA FL REG: AR 14445 DRAWN BY: AD CHECKED BY: - SCALE: VARIOUS</p>	<p>2/3/2023</p>	<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION</th> <th>APP'D. BY</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO.	DATE	REVISION	APP'D. BY																																									<p>Drawing Title: CONTEXTUAL ELEVATIONS</p>	<p>Drawing No.: A4.02</p>
	NO.						DATE	REVISION	APP'D. BY																																											
<p>ADDRESS: 1790 PURDY AVENUE MIAMI BEACH, FL 33139</p>	<p>Filename: A4.02-CMB MARINE PATROL-CONTEXT ELEVATIONS.dwg Date: - Sheet: - of -</p>																																																			



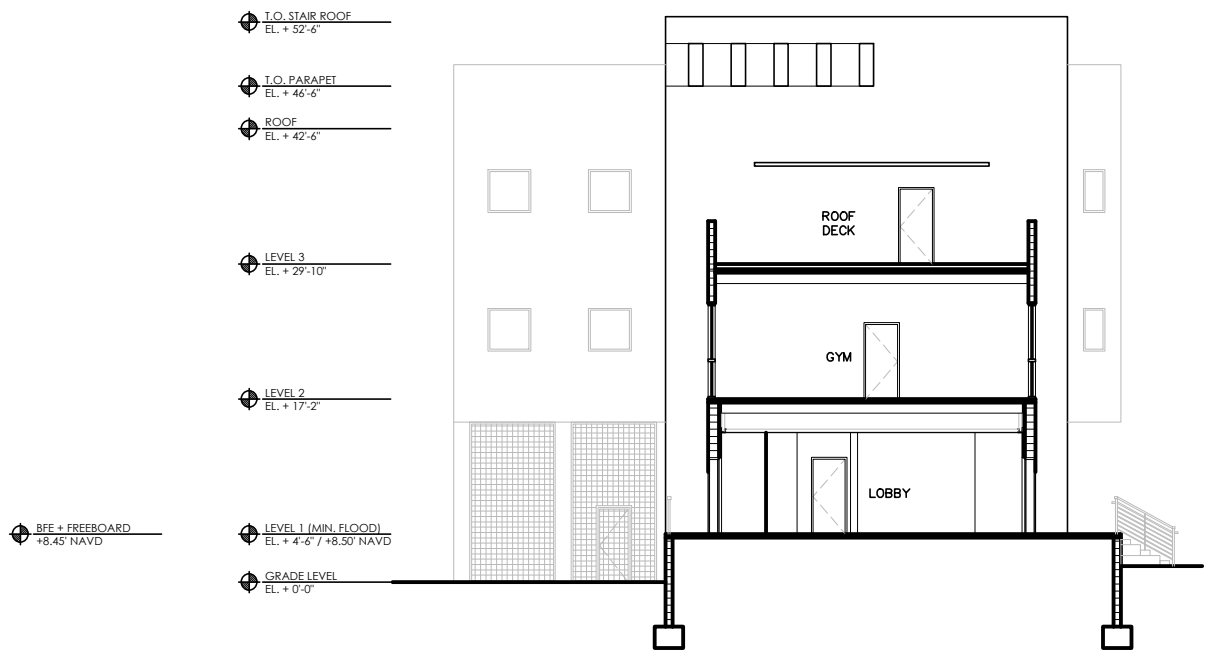
1 EAST-WEST SECTION THROUGH BOAT PARKING SCALE: 1/8"=1'-0"



2 NORTH-SOUTH SECTION THROUGH BOAT PARKING SCALE: 1/8"=1'-0"



3 EAST-WEST SECTION THROUGH LOBBY SCALE: 1/8"=1'-0"



4 NORTH-SOUTH SECTION THROUGH LOBBY SCALE: 1/8"=1'-0"

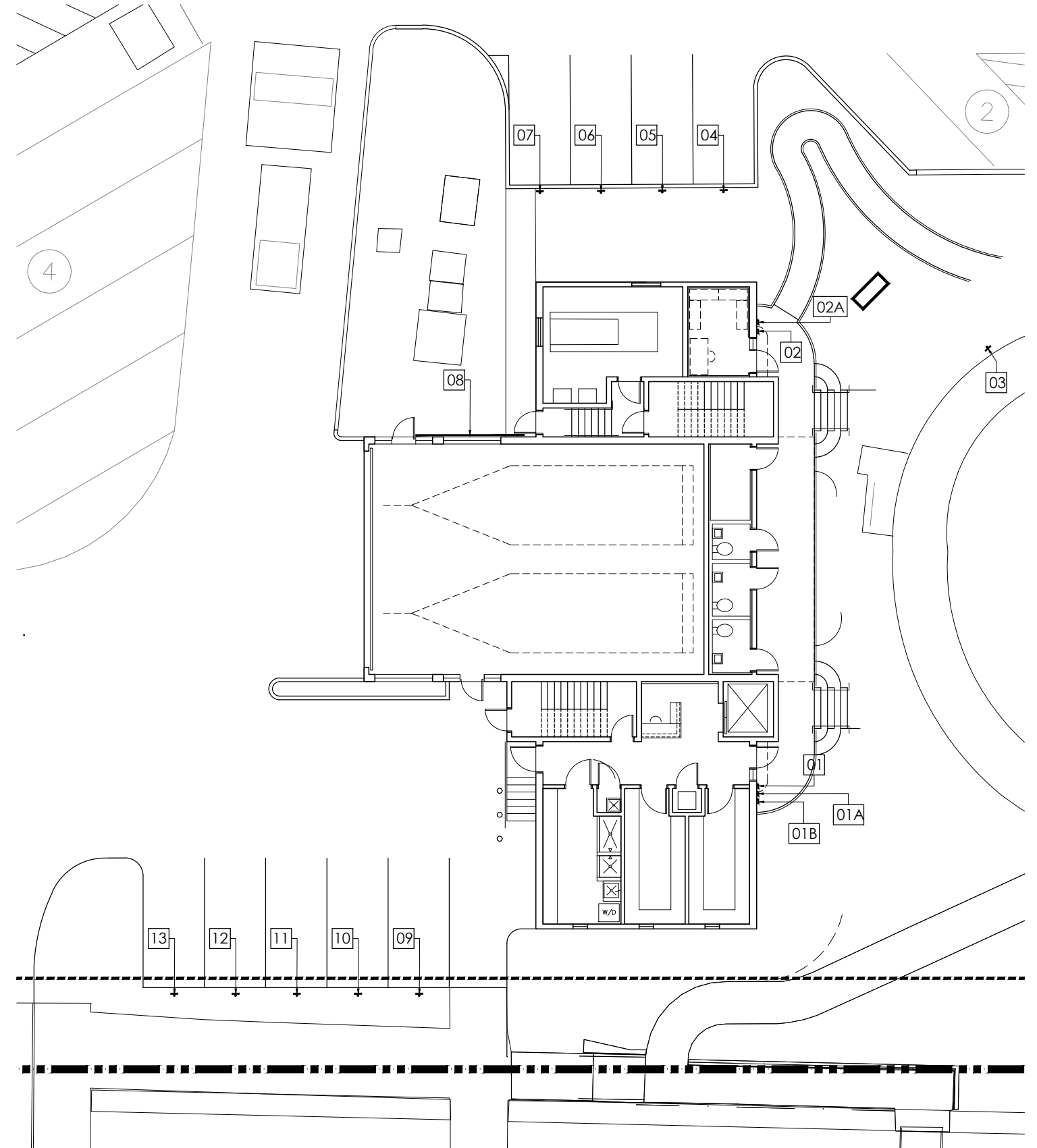
<p>1701 MERIDIAN AVENUE, MIAMI BEACH, FL 33139</p>	<p>PROJECT: MARINE PATROL FACILITY MAURICE GIBB MEMORIAL PARK</p>	<p>ARCHITECTURE • PLANNING • INTERIORS AR 14445 MIAMI, FLORIDA 33133 (305) 445-3765 2780 SW DOUGLAS ROAD SUITE 302 WWW.MCHARRY.COM</p>	<p>SUB CONSULTANT:</p>	<p>ARCH. OF RECORD: LOURDES SOLERA FL REG: AR 14445</p>	<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION</th> <th>APP'D. BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	REVISION	APP'D. BY													<p>Drawing Title: BUILDING SECTIONS</p>	<p>Drawing No.: A5.01</p>
	NO.		DATE	REVISION		APP'D. BY																	
<p>ADDRESS: 1790 PURDY AVENUE MIAMI BEACH, FL 33139</p>	<p>DATE: 2/3/2023</p>	<p>SCALE: VARIOUS</p>	<p>FILENAME: A5.01-CMB MARINE PATROL-BUILDING SECTIONS.dwg</p>	<p>Sheet: - of -</p>																			

SIGNAGE SCHEDULE

SIGN #	FLOOR #	ROOM #	ROOM NAME	TYPE	ROOM TEXT	MAIN TEXT	COMMENTS
01	1	-	LOBBY VISITOR ENTRY	-	-	(SEE COMMENTS)	"PRESS INTERCOM TO ENTER"
01A	1	-	LOBBY VISITOR ENTRY	-	-	(SEE COMMENTS)	"MIAMI BEACH POLICE DEPARTMENT MARINE PATROL"
01B	1	-	LOBBY VISITOR ENTRY	-	-	(SEE COMMENTS)	"MIAMI BEACH FIRE DEPARTMENT MARINE PATROL"
02	1	-	PARKS DEPT. OFFICE	-	-	(SEE COMMENTS)	"PRESS INTERCOM TO ENTER"
02A	1	-	PARKS DEPT. OFFICE	-	-	(SEE COMMENTS)	"MIAMI BEACH PARKS DEPARTMENT"
03	1	-	ADA ACC. TO BUILDING	-	-	(SEE COMMENTS)	"ACCESSIBLE ACCESS TO BUILDING" & ADA SYMBOL
04	1	-	STAFF PARKING	-	-	(SEE COMMENTS)	"MARINE PATROL STAFF PARKING ONLY" & "TOW AWAY ZONE"
05	1	-	STAFF PARKING	-	-	(SEE COMMENTS)	"MARINE PATROL STAFF PARKING ONLY" & "TOW AWAY ZONE"
06	1	-	STAFF PARKING	-	-	(SEE COMMENTS)	"MARINE PATROL STAFF PARKING ONLY" & "TOW AWAY ZONE"
07	1	-	STAFF PARKING	-	-	(SEE COMMENTS)	"MARINE PATROL STAFF PARKING ONLY" & "TOW AWAY ZONE"
08	1	-	BUILDING SIGNAGE	-	-	(SEE COMMENTS)	"MIAMI BEACH MARINE PATROL"
09	1	-	STAFF PARKING	-	-	(SEE COMMENTS)	"MARINE PATROL STAFF PARKING ONLY" & "TOW AWAY ZONE"
10	1	-	STAFF PARKING	-	-	(SEE COMMENTS)	"MARINE PATROL STAFF PARKING ONLY" & "TOW AWAY ZONE"
11	1	-	STAFF PARKING	-	-	(SEE COMMENTS)	"MARINE PATROL STAFF PARKING ONLY" & "TOW AWAY ZONE"
12	1	-	STAFF PARKING	-	-	(SEE COMMENTS)	"MARINE PATROL STAFF PARKING ONLY" & "TOW AWAY ZONE"
13	1	-	STAFF PARKING	-	-	(SEE COMMENTS)	"MARINE PATROL STAFF PARKING ONLY" & "TOW AWAY ZONE"

SIGNAGE NOTES:

1. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SCHEDULE FOR APPROVAL. NO SIGNS SHALL BE MANUFACTURED W/OUT APPROVAL.
2. ROOM TEXT MUST BE VERIFIED PRIOR TO MANUFACTURING OF SIGN.
3. UNLESS SPECIFICALLY NOTED, ALL SIGNS TO BE MOUNTED ON THE LATCH SIDE OF THE DOOR. CONSULT A/E WHERE MOUNTING SPACE IS LIMITED.



<p>1701 MERIDIAN AVENUE, MIAMI BEACH, FL 33139</p>	<p>PROJECT: MARINE PATROL FACILITY MAURICE GIBB MEMORIAL PARK</p>	<p>ARCHITECTURE • PLANNING • INTERIORS AR 14445 MIAMI, FLORIDA 33133 (305)445-3765 2780 SW DOUGLAS ROAD SUITE 302 WWW.MCHARRY.COM</p>	<p>SUB CONSULTANT:</p>	<p>ARCH. OF RECORD: <u>LOURDES SOLERA</u> FL REG: <u>AR 14445</u> DRAWN BY: <u>AD</u> CHECKED BY: <u>-</u> SCALE: <u>VARIOUS</u></p>	<p>2/3/2023</p>	<table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION</th> <th>APPD. BY</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	REVISION	APPD. BY					<p>Drawing Title: SIGNAGE PLAN</p> <p>Drawing No.: A6.01</p> <p>Filename: A6.01-CMB MARINE PATROL-SIGNAGE PLAN.dwg</p>
	NO.		DATE	REVISION	APPD. BY										
<p>ADDRESS: 1790 PURDY AVENUE MIAMI BEACH, FL 33139</p>	<p>NO. DATE REVISION APPD. BY</p>	<p>Date: - Sheet: - of -</p>													



① NORTHEAST VIEW



② NORTHWEST VIEW

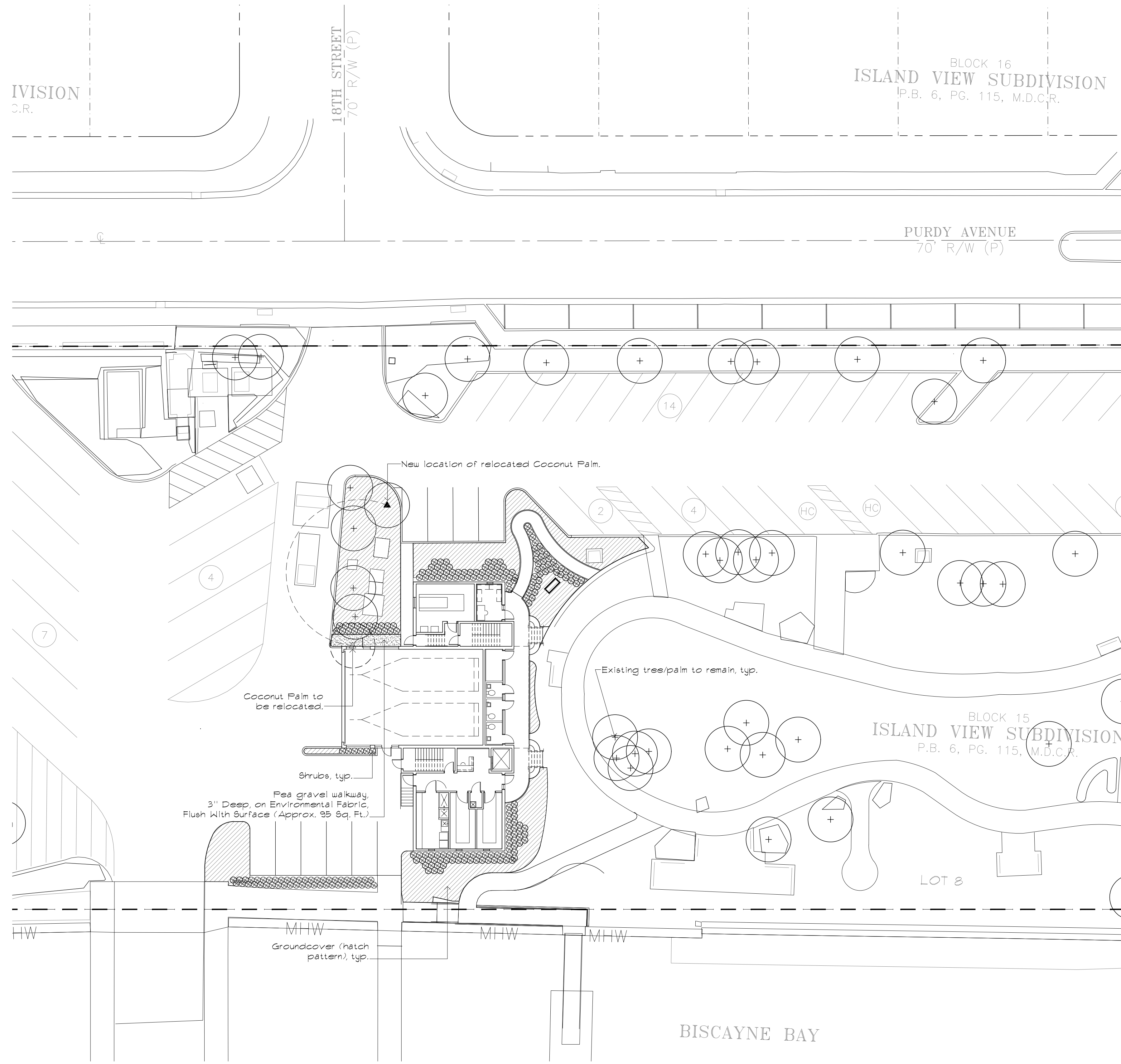


③ SOUTHEAST VIEW



④ SOUTHWEST VIEW

<p>MIAMI BEACH OFFICE OF CAPITAL IMPROVEMENT PROJECTS 1701 MERIDIAN AVENUE, MIAMI BEACH, FL 33139</p>	<p>PROJECT: MARINE PATROL FACILITY MAURICE GIBB MEMORIAL PARK</p>	<p>MCHARRY ASSOCIATES ARCHITECTURE • PLANNING • INTERIORS AR 14445 MIAMI, FLORIDA 33133 (305) 445-3765 2780 SW DOUGLAS ROAD SUITE 302 WWW.MCHARRY.COM</p>	<p>SUB CONSULTANT:</p>	<p>ARCH. OF RECORD: <u>LOURDES SOLERA</u> FL REG: <u>AR 14445</u> DRAWN BY: <u>AD</u> CHECKED BY: <u>-</u> SCALE: <u>VARIOUS</u></p>	<p>2/3/2023</p>	<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION</th> <th>APPD. BY</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO.	DATE	REVISION	APPD. BY																													<p>Drawing Title: BUILDING RENDERINGS</p> <p>Filename: <u>A7.01-CMB MARINE PATROL-BUILDING RENDERINGS.dwg</u></p>	<p>Drawing No.: A7.01</p> <p>Sheet: <u>-</u> of <u>-</u></p>
	NO.		DATE	REVISION	APPD. BY																																			
<p>ADDRESS: 1790 PURDY AVENUE MIAMI BEACH, FL 33139</p>	<p>NO. DATE REVISION APPD. BY</p>	<p>Date: <u>-</u> Sheet: <u>-</u> of <u>-</u></p>																																						



PLANT LIST

QTY.	KEY	BOTANICAL NAME	COMMON NAME	TOLERANCE, SIZE & REMARKS
SHRUBS:				
T.B.D.	CA	CALLICARPA AMERICANA	AMERICAN BEAUTYBERRY	** 3 GAL., 24" O.C., 5R
T.B.D.	CI	CHRYSOBALANUS ICACO	RED TIP COCOPLUM	Δ** 3 GAL., 24" O.C., 5R
T.B.D.	CG	CLUSIA GUTIFERA	SMALL LEAF CLUSIA	Δ** 3 GAL., 24" O.C., 5R
T.B.D.	HN	HAMELIA NODOSA	DIWARF FIREBUSH	** 3 GAL., 24" O.C., 5R
T.B.D.	FN	PSYCHOTRIA NODOSA	WILD COFFEE	Δ** 3 GAL., 24" O.C., 5R
T.B.D.	TD	TRIPSACUM DACTYLOIDES	FAKAHATCHEE GRASS	Δ** 3 GAL., 24" O.C., 5R
GROUNDCOVERS:				
T.B.D.	EL	ERNODEA LITTORALIS	GOLDEN CREEPER	** 1 GAL., 18" O.C., FULL, T.S.
T.B.D.	HL	HYMENOCALLIS LATIFOLIA	SPIDER LILY	** 1 GAL., 18" O.C., FULL, T.S.
T.B.D.	MC	MUHLENBERGHIA CAPILLARIS	MUHLI GRASS	** 1 GAL., 18" O.C., FULL, T.S.
T.B.D.	NE	NEPHROLEPIS EXALTATA	BOSTON FERN	Δ** 1 GAL., 18" O.C., FULL, T.S.
T.B.D.	ZP	ZAMIA FUMILA	COONTIE	Δ** 1 GAL., 18" O.C., FULL, T.S.

SOD:

T.B.D.* SOD REPAIR SOD AS NEEDED (MATCH EXISTING) Δ * SOLID SOD

ABBREVIATIONS:

OA. HT.	OVERALL HEIGHT	MIN.	MINIMUM	* MODERATE DROUGHT TOLERANCE
STG.	STAGGERED	STD.	STANDARD	** VERY DROUGHT TOLERANT
S.R.	SINGLE ROW	O.C.	ON CENTER	Δ NATIVE
T.S.	TRIANGULAR SPACING	GAL.	GALLON	
S.T.	SINGLE TRUNK	G.W.	GREY WOOD	
D.T.	DOUBLE TRUNK			

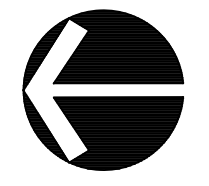
DROUGHT TOLERANCE & ORIGIN:

LANDSCAPE NOTES

- ALL PLANT MATERIAL SHALL BE GRADED FLORIDA #1 OR BETTER, AS DEFINED IN THE GRADES AND STANDARDS FOR NURSERY PLANTS, PART I AND II BY THE STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE.
- ALL LANDSCAPE MATERIAL SHALL COMPLY WITH COUNTY, CITY OR LOCAL ORDINANCES.
- SYMBOLS REPRESENT PLANTS AT MATURE STAGE, NEVER AT TIME OF INSTALLATION.
- VERIFY WITH OWNER'S REPRESENTATIVE OR SITE SUPERVISOR OF ANY EXISTING UNDERGROUND UTILITIES AND/OR EASEMENTS PRIOR TO THE INSTALLATION OF PLANT MATERIAL.
- ALL TREES, SHRUBS AND GROUNDCOVERS SHALL RECEIVE 3" DEPTH OF SHREDDED EUCALYPTUS MULCH.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THEIR OWN QUANTITY TAKE OFF, IN CASE OF ANY DISCREPANCIES, PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST.
- SOLID SOD SHALL BE ST. AUGUSTINE FLORATAM.
- THERE SHALL BE A 24" WIDE STRIP OF SHREDDED EUCALYPTUS MULCH BETWEEN SOD AND SHRUBS/GROUNDCOVERS.
- TERRA-SORB MOISTURE RETENTION GRANULES SHALL BE ADDED TO ALL TREE/PALM PITS AT THE RATE RECOMMENDED BY MANUFACTURER.
- IN PLANTING AREAS, A 6" DEPTH OF PLANTING SOIL SHALL BE INSTALLED THAT CONSISTS OF AN EVENLY BLENDED MIX OF 50% MUCK, 25% SAND, 15% SPHAGNUM PEAT MOSS & 10% SHEEP MANURE. TWO POUNDS OF FERTILIZER SHALL BE ADDED TO EACH CUBIC YARD OF SOIL & THOROUGHLY MIXED. PLANTING SOIL SHALL HAVE A PH OF BETWEEN 6.0 & 7.0 AFTER MIXING & ADDITION OF FERTILIZER.
- IN SOD AREAS, A 3" DEPTH OF TOPSOIL MIX SHALL BE INSTALLED THAT CONSISTS OF 80% SAND & 20% MUCK, THOROUGHLY MIXED WITH A COMMERCIAL SHREDDER MIX SHALL BE FREE OF ROCKS, LIMBS, ROOTS & OTHER MATTER.
- AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL LANDSCAPE AREAS, THIS IS DESIGNED FOR "HEAD TO HEAD" COVERAGE.
- ALL EXISTING SOD OUTSIDE THE PROPERTY LINE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH SAME SPECIES AT NO COST TO OWNER.
- TREES SHALL NOT BE PLANTED ON TOP OF IRRIGATION LINES.
- ALL AREAS NOT COVERED BY SHRUBS, GROUNDCOVERS BEDS, BUILDINGS OR PAVING ARE TO BE SODDED.

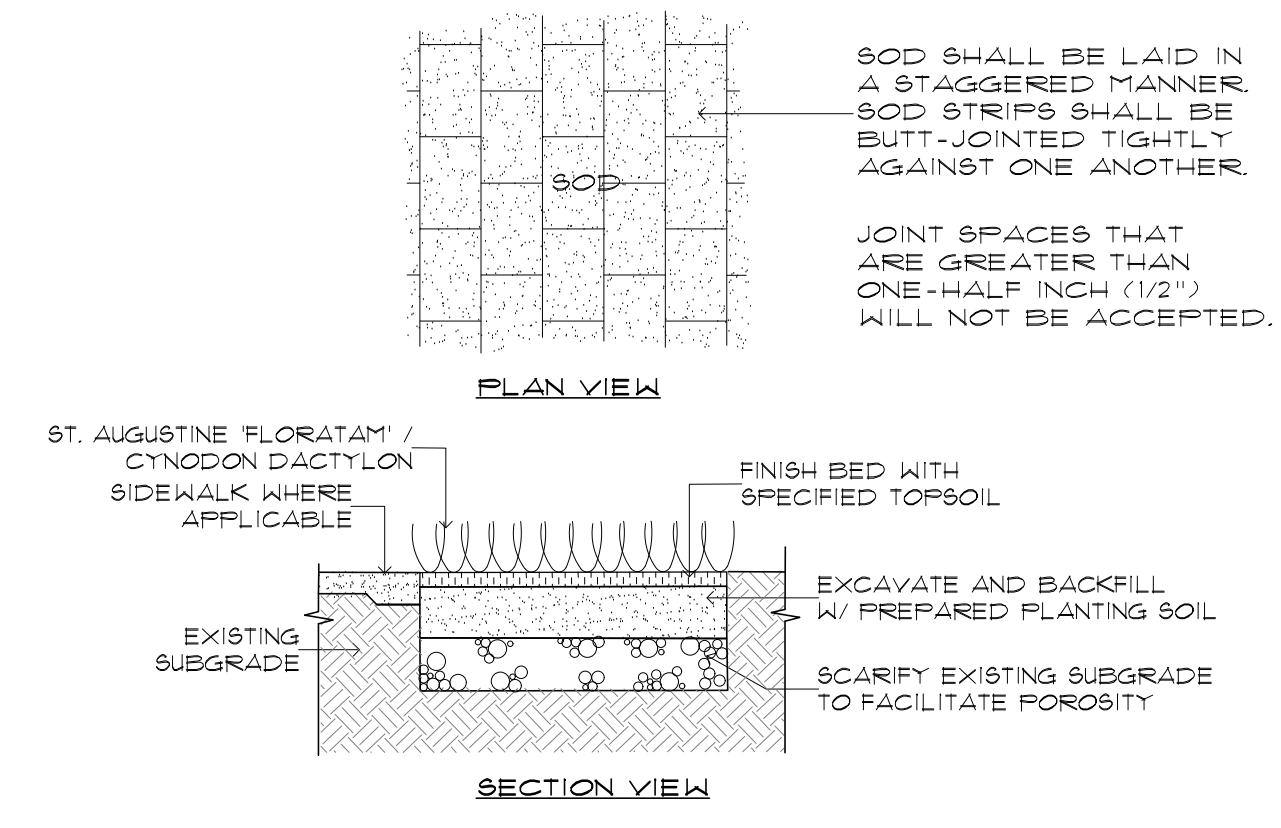
D.D. TREE DISPOSITION / LANDSCAPE PLAN

SCALE: 1" = 20'-0"

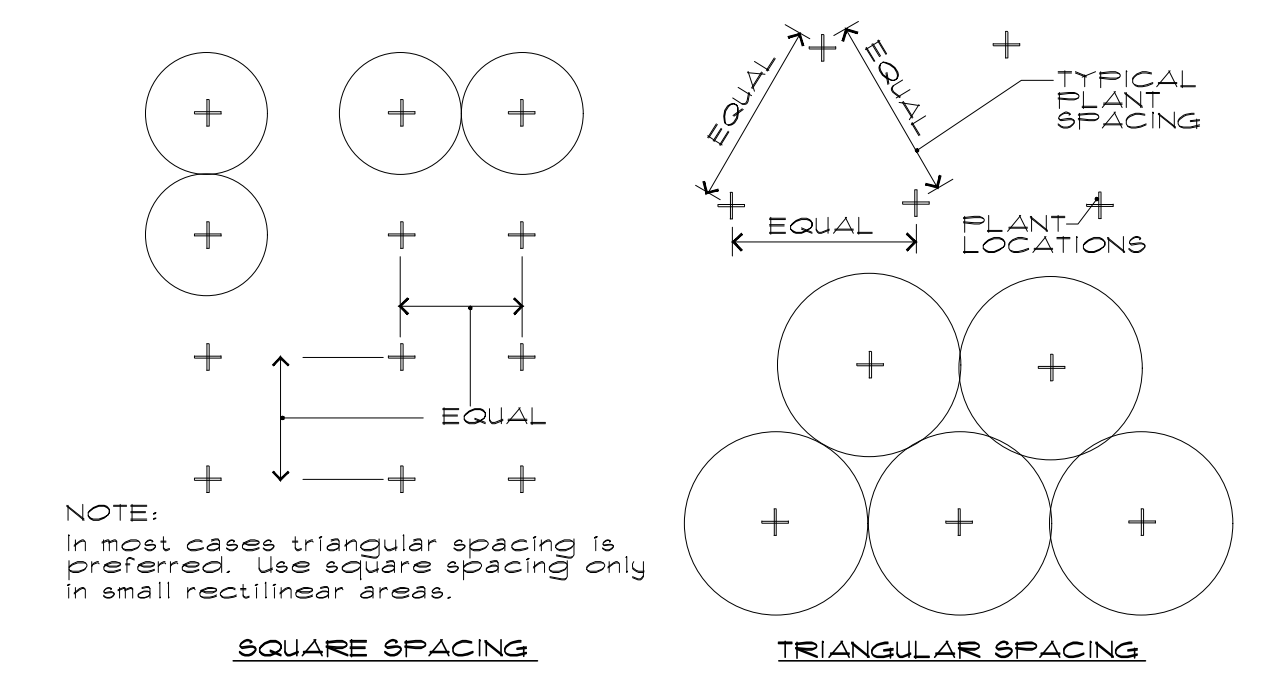


DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE LANDSCAPE ARCHITECT WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY ARE NOT TO BE USED BY OWNER ON OTHER PROJECTS EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE LANDSCAPE ARCHITECT.

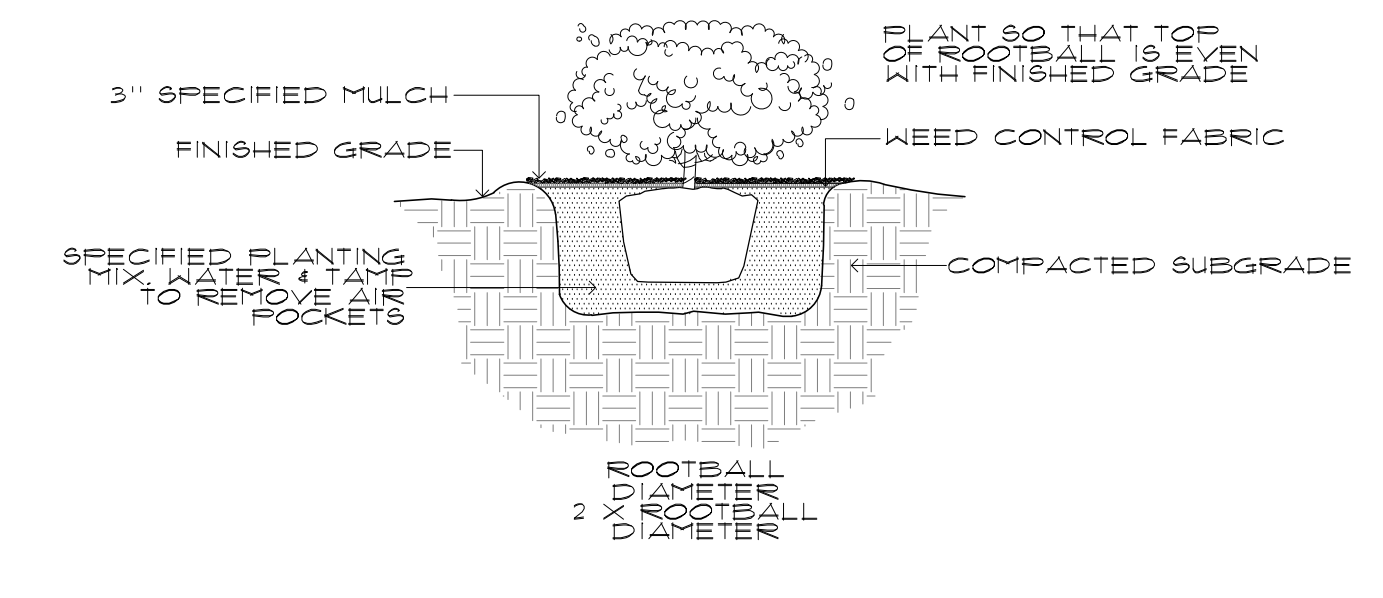
<p>1701 MERIDIAN AVENUE, MIAMI BEACH, FL 33139</p>	<p>PROJECT: MARINE PATROL FACILITY MAURICE GIBB MEMORIAL PARK</p>	<p>ARCHITECTURE • PLANNING • INTERIORS AR 14445 MIAMI, FLORIDA 33133 (305)445-3765 2780 SW DOUGLAS ROAD SUITE 302 WWW.MCHARRY.COM</p>	<p>SUB CONSULTANT:</p> <p>DESIGNING BEAUTIFUL SPACES LAURA LLERENA & ASSOCIATES LANDSCAPE ARCHITECTURE 13170 S.W. 128th Street, Suite 207, Miami, FL 33186 Tel: 305-284-1199 Fax: 305-284-3155 www.llainc.com</p>	<p>ARCH. OF RECORD: LAURA L. HERNANDEZ</p> <p>FL REG: RIA 6667125</p> <p>DRAWN BY: JTK</p> <p>CHECKED BY: JMLH</p> <p>SCALE: SHOWN</p>		<table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION</th> <th>APPD. BY</th> </tr> <tr> <td>1</td> <td>01-17-23</td> <td>DESIGN / DEVELOPMENT</td> <td></td> </tr> <tr> <td>2</td> <td>01/17/23</td> <td></td> <td></td> </tr> </table>	NO.	DATE	REVISION	APPD. BY	1	01-17-23	DESIGN / DEVELOPMENT		2	01/17/23			<p>Drawing Title: D.D. TREE DISPOSITION / LANDSCAPE PLAN</p> <p>Filename: Tree Disp. - Land. Plan.dwg</p>	<p>Drawing No.: L1.01</p>
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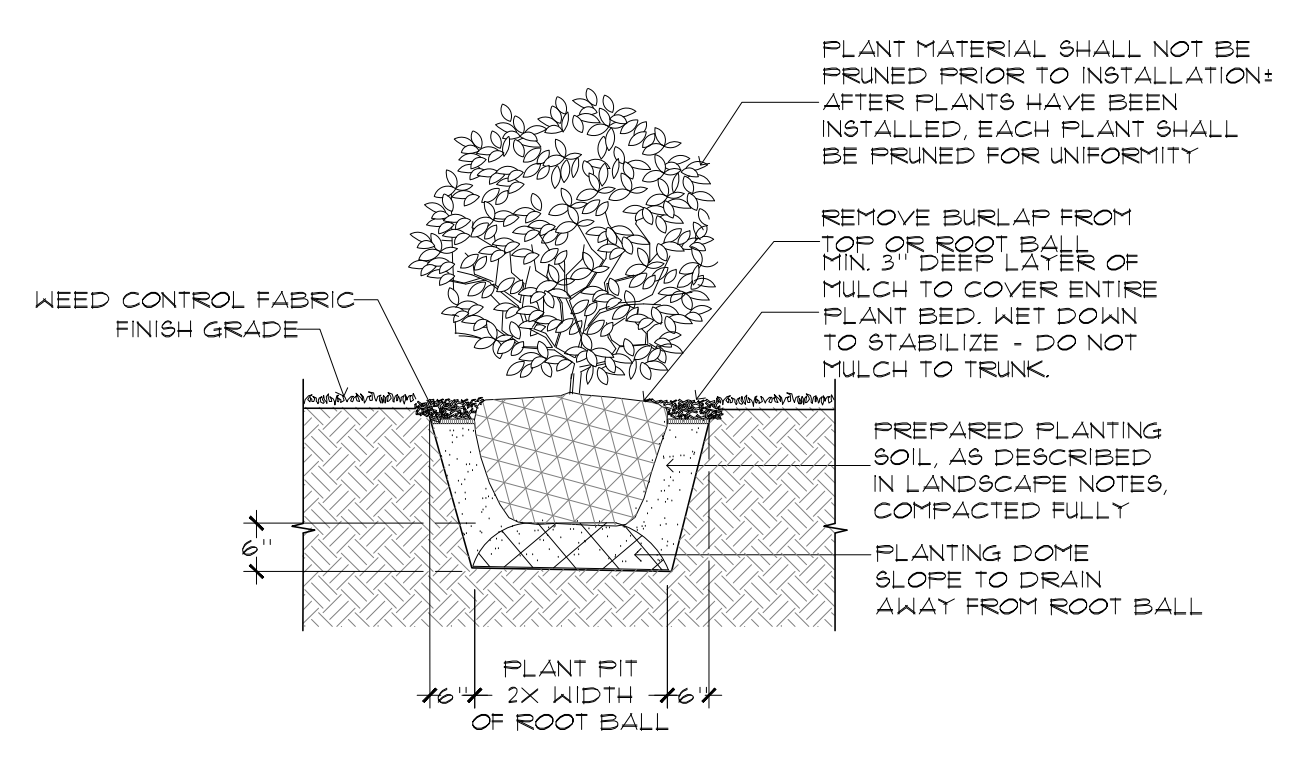
1. SOD INSTALLATION DETAIL
NOT TO SCALE



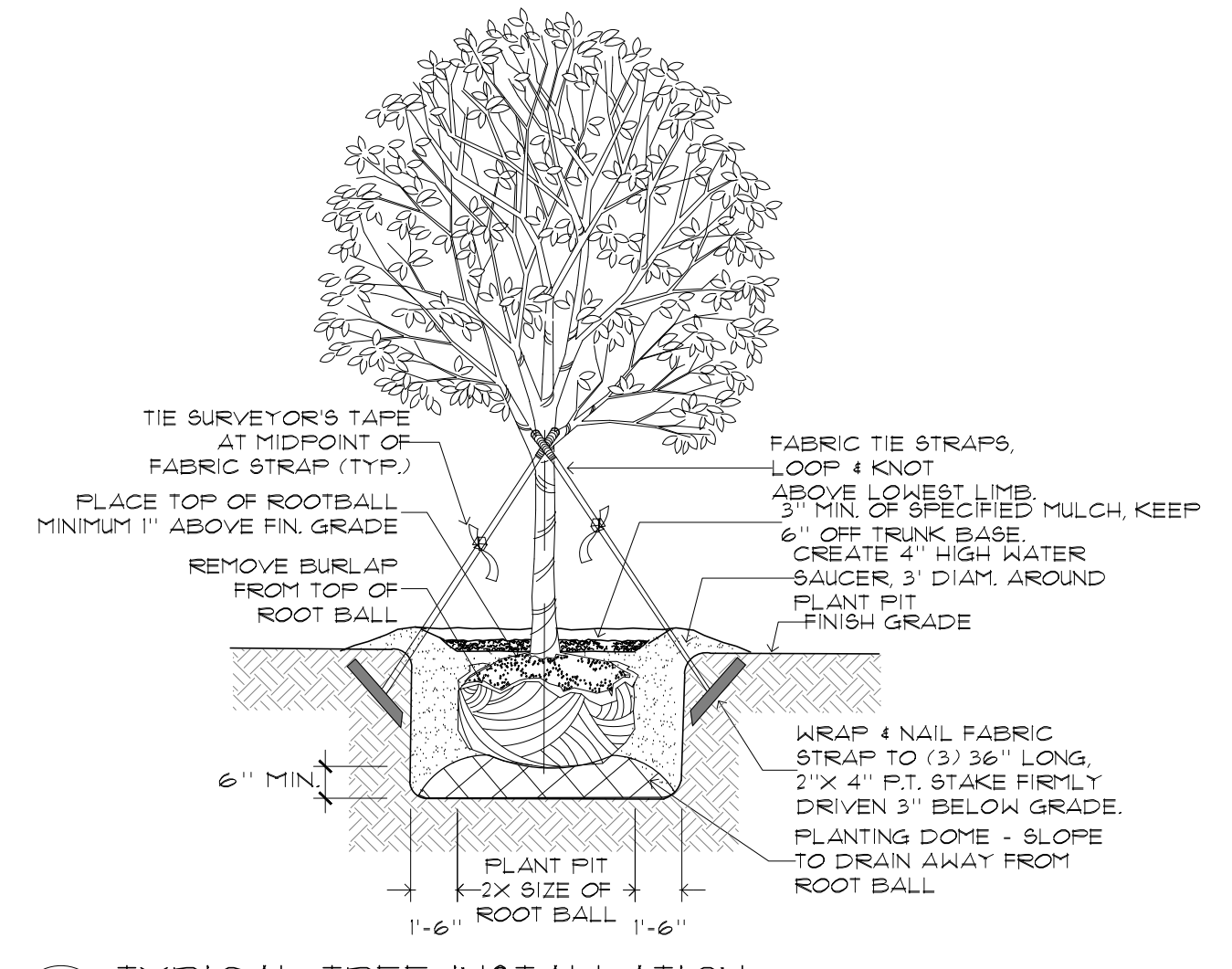
2. PLANT SPACING (FOR SHRUBS & GROUND COVER)
NOT TO SCALE



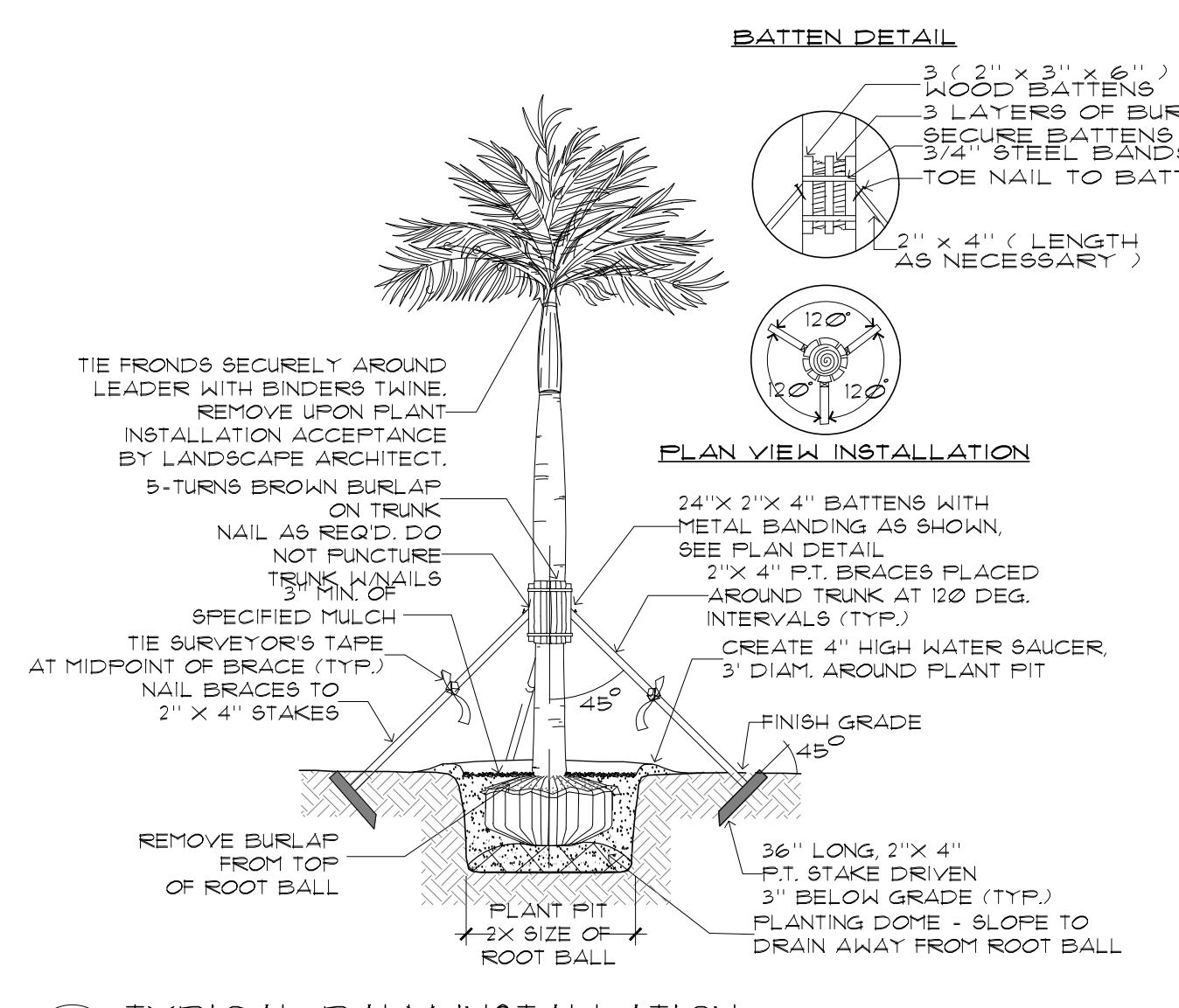
3. GROUND COVER INSTALLATION DETAIL
NOT TO SCALE



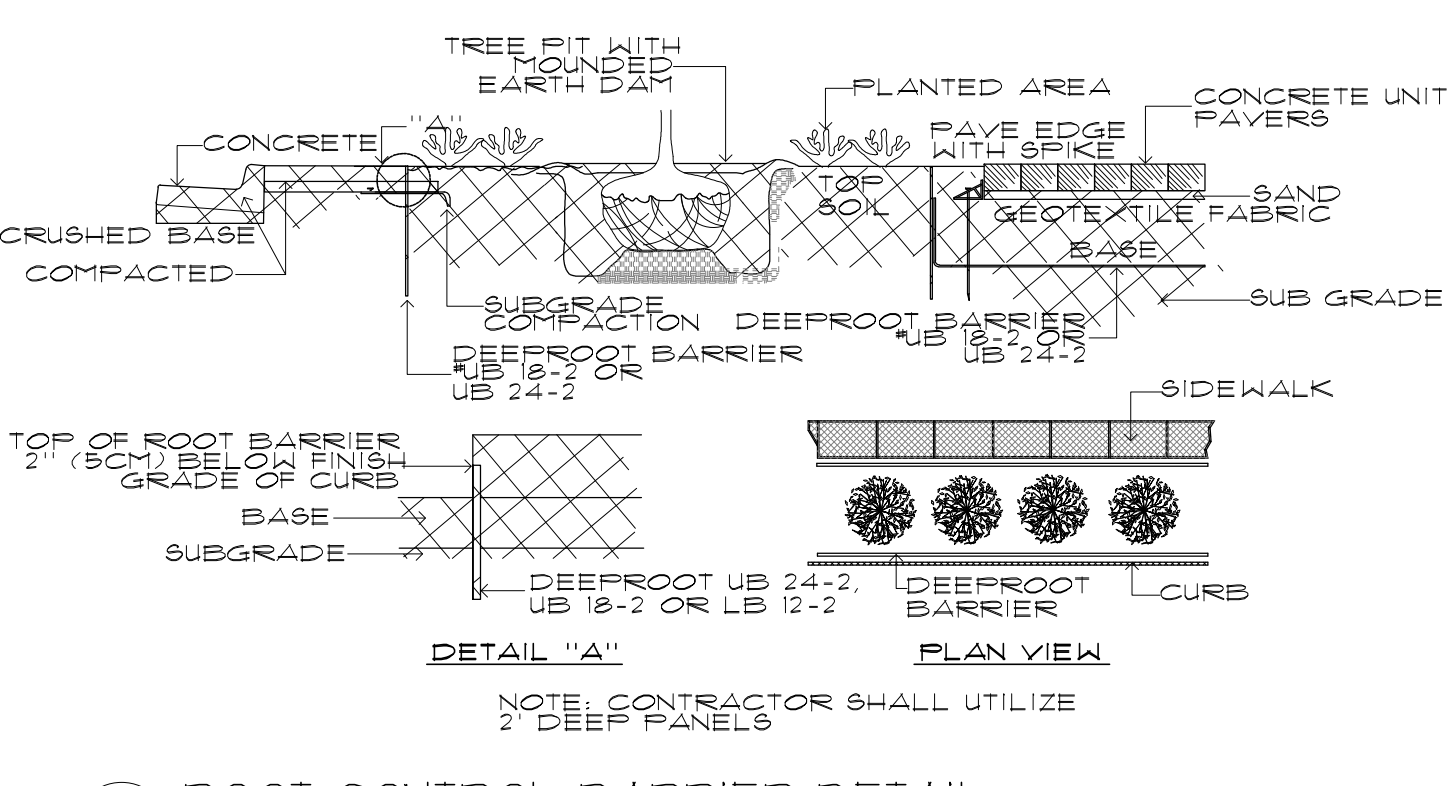
4. SHRUB INSTALLATION
NOT TO SCALE



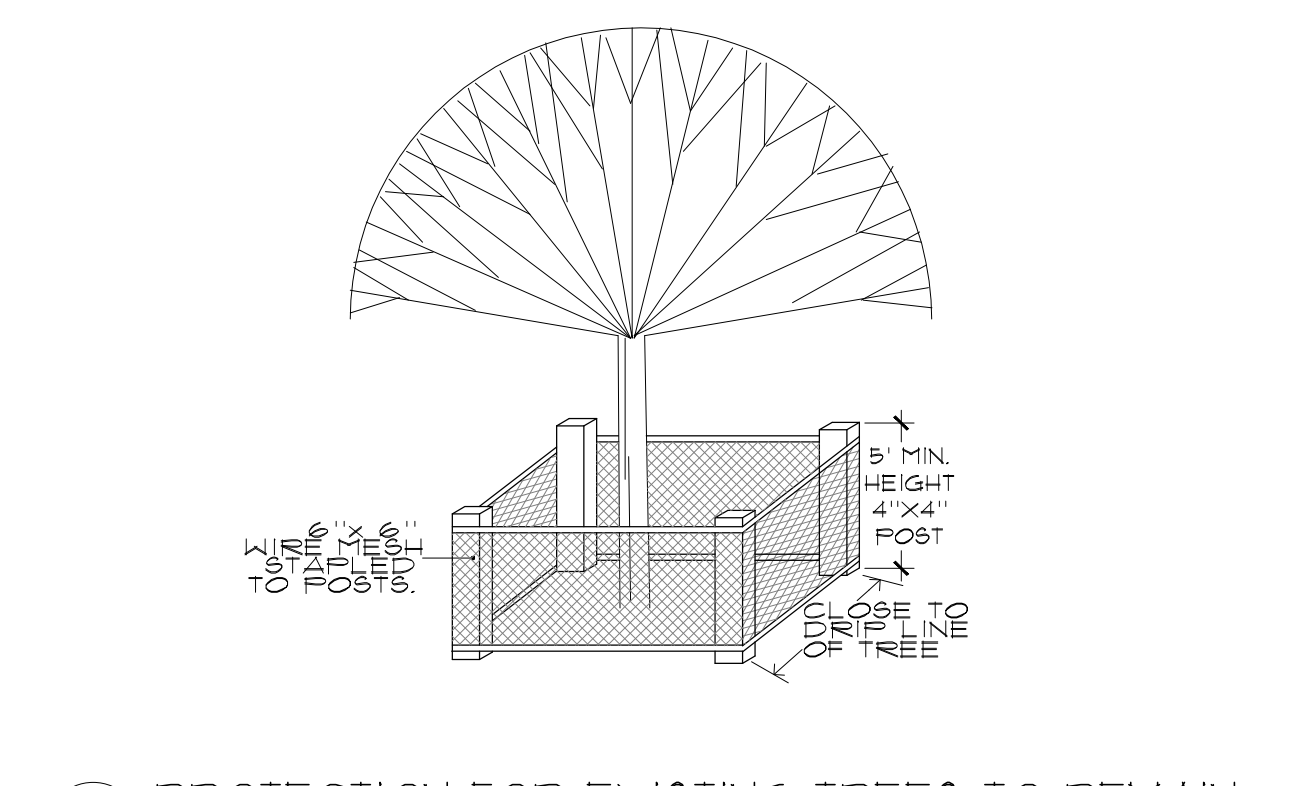
5. TYPICAL TREE INSTALLATION
NOT TO SCALE



6. TYPICAL PALM INSTALLATION
NOT TO SCALE



7. ROOT CONTROL BARRIER DETAIL
NOT TO SCALE



8. PROTECTION FOR EXISTING TREES TO REMAIN
NOT TO SCALE

LANDSCAPE DETAILS
SCALE: N/A

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