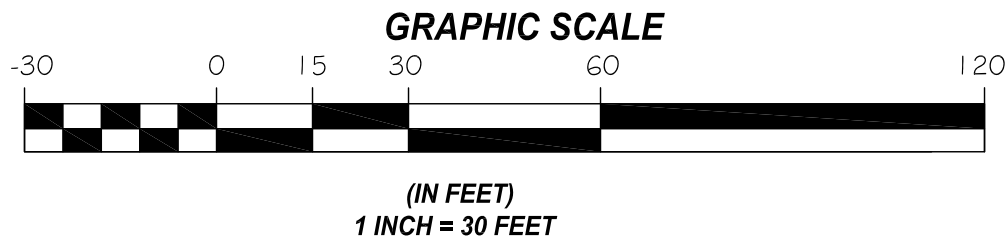
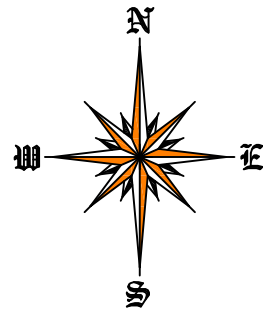


MAP OF BOUNDARY SURVEY TOPOGRAPHIC & TREES SURVEY



LEGAL DESCRIPTION:
BLOCK ALL OF BLOCK 4-E OF THIRD REVISED PLAT OF SUNSET ISLANDS ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 40, PAGE 8 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PROPERTY ADDRESS:
1420 22ND STREET,
MIAMI BEACH, FLORIDA, 33140

CERTIFICATION:
DANIEL HERTZBERG

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:

- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY. EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
- LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING PLAT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON. THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

FLOOD ZONE INFORMATION:

THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN:
FLOOD ZONE: "AE"
BASE FLOOD ELEVATION: 8 FT.
COMMUNITY: 120651
FIRM: 13017
DATE OF FIRM: 09/11/09
THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA.

SURVEYOR'S NOTES:

- IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
- THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
- CERTIFICATE OF AUTHORIZATION LB # 7806.
- ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 MIAMI DADE COUNTY BENCH MARK #CMB- S4-02 LOCATOR NO. SE CORNER BRIDGE BET. SUNSET IS. 3 & 4; ELEVATION IS 7.04 FEET OF N.G.V.D. OF 1929
- TOTAL LAND AREA = ±19,863 SQUARE FEET OR ±0.46 ACRES

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THIS "TOPOGRAPHIC SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 53-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

BY: **JOHN IBARRA** (DATE OF FIELD WORK)
PROFESSIONAL LAND SURVEYOR NO.: 5204 STATE OF FLORIDA

REVISED ON: _____
REVISED ON: _____

ABBREVIATIONS

A = ARC
A/C = AIR CONDITIONER PAD
A/E = ANCHOR EASEMENT
A/R = ALUMINUM ROOF
A/S = ALUMINUM SHED
ASPH. = ASPHALT
B.C. = BLOCK CORNER
BLDG. = BUILDING
B.M. = BENCH MARK
B.C.R. = BROWARD COUNTY RECORDS
B.O.B. = BASIS OF BEARING
B.S.L. = BUILDING SETBACK LINE
(C) = CALCULATED
C.B. = CATCH BASIN
C.B.S. = CONCRETE BLOCK STRUCTURE
C.B.W. = CONCRETE BLOCK WALL
CH = CHORD
CH.B. = CHORD BEARING
CH.L. = CHORD LENGTH
CL = CLEAR
C.O. = CLEAN OUT
CL.F. = CHAIN LINK FENCE
C.M.E. = CANAL MAINTENANCE EASEMENT
CONC. = CONCRETE
C.U.P. = CONCRETE UTILITY POLE
C.P. = CONCRETE PORCH
C.S. = CONCRETE SLAB
C.W. = CONCRETE WALK
D.E. = DRAINAGE EASEMENT
D.M.E. = DRAINAGE MAINTENANCE EASEMENT
DRIVE = DRIVEWAY
D. = DEGREES
E.B. = ELECTRIC BOX
E.T.P. = ELECTRIC TRANSFORMER PAD
ELEV. = ELEVATION
ENC. = ENCROACHMENT
F.H. = FIRE HYDRANT
F.I.P. = FOUND IRON PIPE
F.I.R. = FOUND IRON ROD
F.F.E. = FINISHED FLOOR ELEVATION
F.N.D. = FOUND NAIL & DISK
F.T. = FEET
F.N.P. = FEDERAL NATIONAL INSURANCE PROGRAM
F.N. = FOUND NAIL
H. = HIGH OR (HEIGHT)
H.A.E.G. = HIGHWAY AND EGRESS EASEMENT
I.C.V. = IRRIGATION CONTROL VALVE
I.F. = IRON FENCE
L.B. = LICENSED BUSINESS
L.P. = LIGHT POLE
L.F.E. = LOWEST FLOOR ELEVATION
L.M.E. = LAKE MAINTENANCE EASEMENT
L.M. = MINUTES
(M) = MEASURED DISTANCE
M.B. = MAIL BOX
M.D.C.R. = MIAMI DADE COUNTY RECORDS
M.E. = MAINTENANCE EASEMENT
M.H. = MANHOLE
N.A.P. = NOT A PART OF
NOVD = NATIONAL GEODETIC VERTICAL DATUM
N.T.S. = NOT TO SCALE
or NO. = NUMBER
OS = OFFSET
O.H. = OVERHEAD
O.H.L. = OVERHEAD UTILITY LINES
O.R.B. = OFFICIAL RECORDS BOOK
O.V.H. = OVERHANG
P.V.M.T. = PAVEMENT
P.L. = PLANTER
P.L. = PROPERTY LINE
P.C. = POINT OF COMPOUND CURVATURE
P.C. = POINT OF CURVATURE
P.O.T. = POINT OF TANGENCY
P.O.C. = POINT OF COMMENCEMENT
P.O.B. = POINT OF BEGINNING
P.R.C. = POINT OF REVERSE CURVATURE
P.W.Y. = PARKWAY
P.R.M. = PERMANENT REFERENCE MONUMENT
P.L.S. = PROFESSIONAL LAND SURVEYOR
P.P. = POWER POLE
P.P.S. = POOL PUMP SLAB
P.U.E. = PUBLIC UTILITY EASEMENT
R. = RECORD DISTANCE
R.R. = RAILROAD
RES. = RESIDENCE
R.W. = RIGHT-OF-WAY
RAD. = RADIAL OR RADIAL
RGE. = RANGE
R.O.E. = ROOF OVERHANG EASEMENT
SEC. = SECTION
STV. = STORY
SWK. = SIDEWALK
S.I.P. = SET IRON PIPE
S. = SOUTH
S.P. = SCREENED PORCH
S.V. = SEWER VALVE
S. = SECONDS
T. = TANGENT
T.B. = TELEPHONE BOOTH
T.B.M. = TEMPORARY BENCHMARK
T.U.E. = TECHNOLOGY UTILITY EASEMENT
T.S.B. = TRAFFIC SIGNAL BOX
T.S.P. = TRAFFIC SIGNAL POLE
TWP. = TOWNSHIP
UTL. = UTILITY
U.E. = UTILITY EASEMENT
U.P. = UTILITY POLE
W.M. = WATER METER
W.F. = WOOD FENCE
W.P. = WOOD PORCH
W.R. = WOOD ROOF
W.V. = WATER VALVE
M. = MONUMENT LINE
C. = CENTER LINE
Δ = DELTA

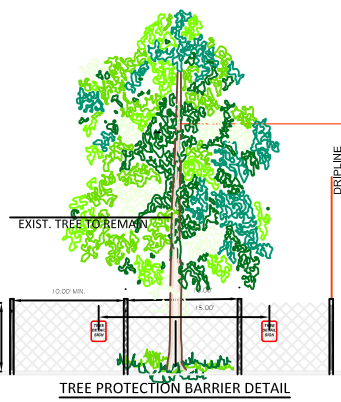
LEGEND

—O—H— = OVERHEAD UTILITY LINES
—X—X—X—X— = CONCRETE BLOCK WALL
—X—X—X—X— = CHAIN LINK FENCE
—0—0—0—0— = IRON FENCE
—||—||—||—||— = WOOD FENCE
—||—||—||—||— = BUILDING SETBACK LINE
—||—||—||—||— = UTILITY EASEMENT
—||—||—||—||— = LIMITED ACCESS R/W
—||—||—||—||— = NON-VEHICULAR ACCESS R/W
—||—||—||—||— = EXISTING ELEVATIONS
x 0.00

DRAWN BY:	CA
FIELD DATE:	12/13/2021
SURVEY NO:	10-002107-2
SHEET:	1 OF 1

TREE TABLE			
No.	Name	Diameter (Ft.)	Height (Ft.)
1	OAK	2	40
2	TRAVELERS PALM	1.00	30
3	OAK	1.50	40
4	PGMY DATE PALM	2.0	35
5	PGMY DATE PALM	1.5	30
6	PGMY DATE PALM	0.30	10
7	HEDGE	0.25	20
8	HEDGE	0.25	20
9	BISMARCK PALM	2.0	35
10	PALM	2.0	30
11	PALM	2	29
12	PALM	2	30
13	PALM	1.80	30
14	PALM	1.80	30
15	PALM	2.0	30
16	ROYAL PALM	1.90	30
17	PALM	2.0	40
18	ROYAL PALM	1.80	40
19	COCONUT PALM	1.2	50
20	COCONUT PALM	1.2	50
21	MANGO	0.50	12
22	TRAVELERS PALM	1.00	25
23	PGMY DATE PALM	2	30
24	MANGO	0.50	15
25	FICUS	0.25	20
26	FICUS	0.25	20
27	MANGO	0.50	10
28	UMBRELLA TREE	0.75	20
29	UMBRELLA TREE	0.80	20
30	UMBRELLA TREE	0.80	20
31	TRAVELERS PALM(1)	1.00	30
32	ROYAL PALM	2.00	50
33	ROYAL PALM	2.00	50
34	TRAVELERS PALM	1.00	30
35	TRAVELERS PALM	1.00	30
36	TRAVELERS PALM	1.00	30
37	TRAVELERS PALM	1.00	25
38	TRAVELERS PALM	1.00	25
39	TRAVELERS PALM	1.00	25
40	TRAVELERS PALM	1.00	25
41	TRAVELERS PALM	1.00	25
42	TRAVELERS PALM	1.00	25
43	STAR FRUIT	0.50	12
44	OAK	2.00	45
45	UMBRELLA TREE	0.90	20
46	PGMY DATE PALM(5)	0.40	8
47	ALEXANDER PALM	0.30	12
48	PGMY DATE PALM(3)	0.30	12
49	PGMY DATE PALM(2)	0.30	12
50	ALOCASIA	0.70	10
51	ALOCASIA	0.70	10
52	PALM	0.45	8
53	ALEXANDER PALM(2)	0.30	30
54	PALM	0.50	10
55	DATE PALM	2.00	20
56	ALEXANDER PALM(5)	0.30	30
57	PGMY DATE PALM(2)	0.30	12
58	PGMY DATE PALM(2)	0.30	12
59	PGMY DATE PALM(2)	0.30	12
60	FICUS	1	25
61	DRACAENA	2.50	20
62	ROYAL POINCIANA	2.50	45
63	PGMY DATE PALM(3)	0.30	12
64	PGMY DATE PALM(2)	0.30	12
65	ALEXANDER PALM(2)	0.30	30
66	PGMY DATE PALM	0.30	12
67	SABALA PALM	0.60	25
68	ALOCASIA	0.70	10
69	PGMY DATE PALM(2)	0.30	12
70	STAR FRUIT	0.50	12
71	MORINGA	1.00	15
72	LIME	0.40	8

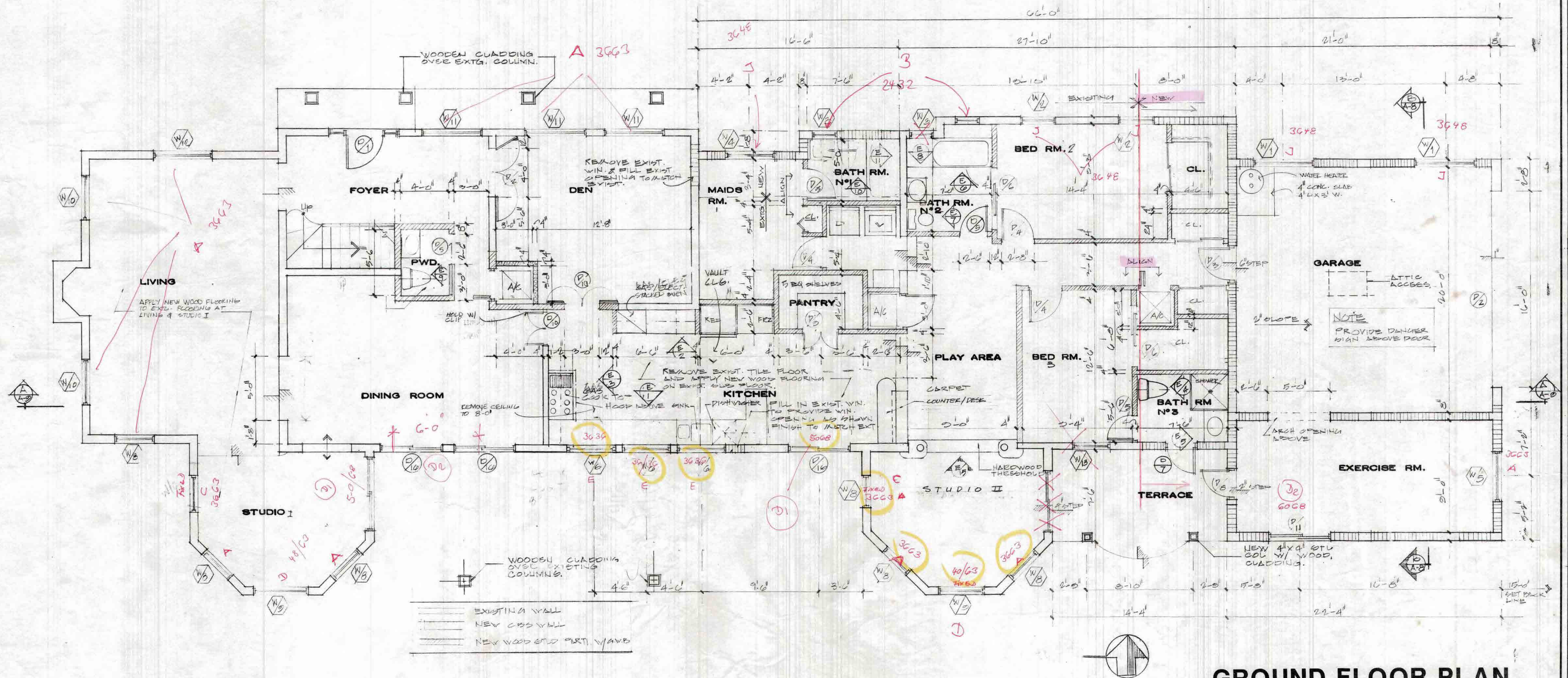
SURVEYOR'S NOTE:
AN ARBORIST MUST CONFIRM ALL THE TREE NAMES, CONDITION AND SPECIES, WHAT IS SHOWN ON THE SURVEY MAY NOT BE THE CORRECT NAME OF THE TREES. LAND SURVEYORS ARE NOT ARBORIST.



- NOTE: K.T.S.
- MINIMUM SIX (6) FOOT HIGH TEMPORARY CHAIN LINK FENCE SHALL BE PLACED AT THE CRITICAL ROOT ZONE OR DESIGNATED LIMIT OF DISTURBANCE OF THE TREE TO BE SAVED. FENCE SHALL COMPLETELY ENCLOSE TREES. INSTALL FENCE POSTS USING PIER BLOCK ONLY. AVOID POST OR STAKES INTO MAJOR ROOTS. MODIFICATIONS TO FENCING MATERIAL AND LOCATION MUST BE APPROVED BY PLANNING OFFICIAL.
 - TREATMENT OF ROOTS EXPOSED DURING CONSTRUCTION FOR ALL ROOTS OVER ONE (1) INCH IN DIAMETER DAMAGED DURING CONSTRUCTION. MAKE A CLEAN STRAIGHT CUT TO REMOVE DAMAGED PORTION OF ROOT. ALL EXPOSED ROOTS SHALL BE TEMPORARILY COVERED WITH DAMP BURLAP TO PREVENT DRYING AND COVERED WITH SOIL AS SOON AS POSSIBLE.
 - NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMIT OF THE FENCING. FENCING SHALL NOT BE MOVED OR REMOVED UNLESS APPROVED BY THE CITY PLANNING OFFICIAL. WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY UNDER THE SUPERVISION OF THE ON-SITE ARBORIST AND WITH PRIOR APPROVAL BY THE CITY PLANNING OFFICIAL.
 - FENCING SIGNAGE AS DETAILED ABOVE MUST BE POSTED EVERY FIFTEEN (15) ALONG THE FENCE.

DOOR SCHEDULE					
MARK	SIZE (W X H X T)	FRAME	THRESHOLD	DESCRIPTION	REMARK
1	3'-0" x 6'-8" x 1 3/4"	WOOD	WEATHERPROOF	SOLID WOOD DOOR W/ SIDEGLASS	
2	16'-0" x 6'-8" x 1 3/4"	METAL		GARDEN BY GUYER	
3	3'-0" x 6'-8" x 1 3/4"	WOOD	WEATHERPROOF	SOLID WOOD DOOR 1 1/2" THICK	
4	2'-6" x 6'-8" x 1 3/4"	WOOD		HOLLOW CORE FLUSH PANEL WOOD	
5	2'-0" x 6'-8" x 1 3/4"	WOOD	NABELE		
6	2'-0" x 6'-8" x 1 3/4"	WOOD	NABELE	HOLLOW CORE POCKET DOOR	
7	2'-0" x 6'-8" x 1 3/4"	WOOD		SOLID WOOD DOOR	
8	2'-0" x 6'-8" x 1 3/4"	WOOD			
9	2'-11-0" x 6'-8" x 1 3/4"	WOOD		HOLLOW CORE DOOR W/ SHROUDED INSIDE	
10	2'-11-0" x 6'-8" x 1 3/4"	WOOD		WOOD DOOR SHUTTER	
11	3'-0" x 6'-8" x 1 3/4"	WOOD		SOLID SLIDING GLASS DOOR	
12	2'-0" x 6'-8" x 1 3/4"	WOOD	WEATHERPROOF METAL	SOLID WOOD DOOR	
13	2'-11-0" x 6'-8" x 1 3/4"	WOOD		HOLLOW CORE FLUSH PANEL	
14	3'-0" x 6'-8" x 1 3/4"	WOOD		SOLID WOOD RAISED PANEL DOOR	
15	3'-0" x 6'-8" x 1 3/4"	WOOD	WEATHERPROOF METAL	SOLID SLIDING GLASS DOOR	
16	3'-0" x 6'-8" x 1 3/4"	WOOD			

SEE DOOR MANUFACTURER SCHEDULE FOR DOOR SIZES & DETAILS.



GROUND FLOOR PLAN

REVISIONS	BY

RABIN RESIDENCE
1420 W. 22ND STREET SUNSET ISLAND 4
MIAMI BEACH FLORIDA

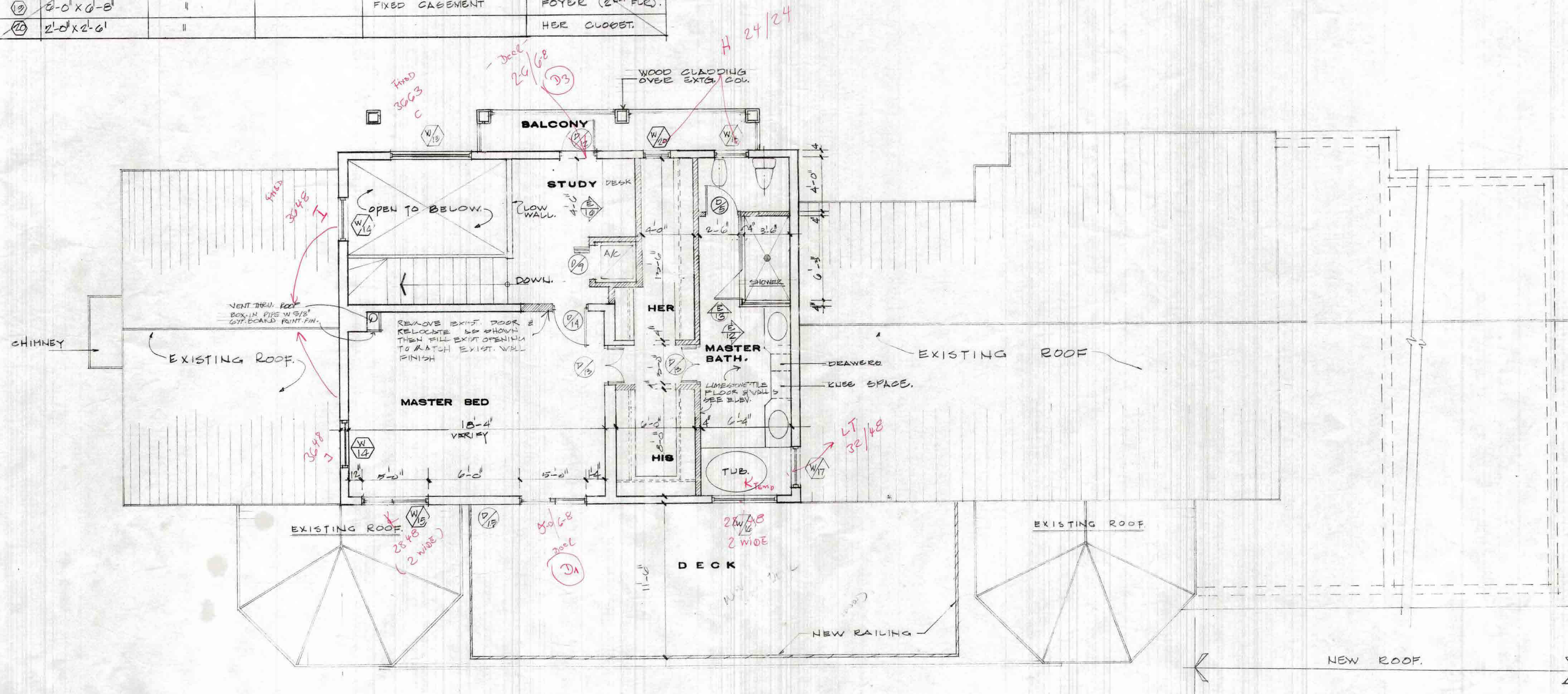
LANE PETTIGREW KARP
ARCHITECTS
(305) 673-0719
Miami Beach

INTERIOR DESIGNERS
Turks & Caicos
St. Lucia

Date 10-94
Scale 1/4" = 1'-0"
Drawn
Job 9341
Sheet
A5
Of Sheets

WINDOW SCHEDULE					
MARK	SIZE(WXH)	FRAME	SHUTTER	DESCRIPTION	LOCATION
①	5'-0" x 5'-0"	WOOD	BAHAMAS	CASEMENT	GARAGE
②	3'-0" x 3'-0"	"	"	"	BEDROOM
③	2'-0" x 2'-0"	"	BAHAMAS	"	BATHEN #18 #2.
④	4'-0" x 5'-0"	"	"	"	MAIDS RM.
⑤	4'-0" x 4'-0"	"	"	"	EXERCISE RM.
⑥	4'-0" x 3'-0"	"	"	"	KITCHEN
⑦	5'-0" x 4'-0"	"	"	"	"
⑧	3'-0" x 4'-0"	"	BAHAMAS	"	LIVING RM, STUDIO, BREAKFAST RM.
⑨	4'-0" x 4'-0"	"	"	"	BREAKFAST RM/STUDIO.
⑩	3'-0" x 5'-0"	"	"	"	LIVING RM.
⑪	5'-0" x 4'-0"	"	"	"	DBN.
⑫	5'-0" x 5'-0"	"	"	"	LIVING RM.
⑬	3'-0" x 2'-0"	"	"	"	BEDEM.
⑭	3'-0" x 4'-0"	"	"	"	MASTER BEDRM.
⑮	5'-0" x 4'-0"	"	"	"	"
⑯	5'-0" x 4'-0"	"	"	"	MASTER BATHEN.
⑰	3'-0" x 2'-0"	"	"	"	"
⑱	2'-0" x 2'-0"	"	"	"	"
⑲	2'-0" x 4'-0"	"	"	FIXED CASEMENT	FOYER (2ND FUR.)
⑳	2'-0" x 2'-0"	"	"	"	HER CLOSET.

SEE WINDOW MANUF. SCHEDULE FOR WINDOW SIZES & DETAILS



2ND. FLOOR PLAN
SCALE: 1/4" = 1'-0"

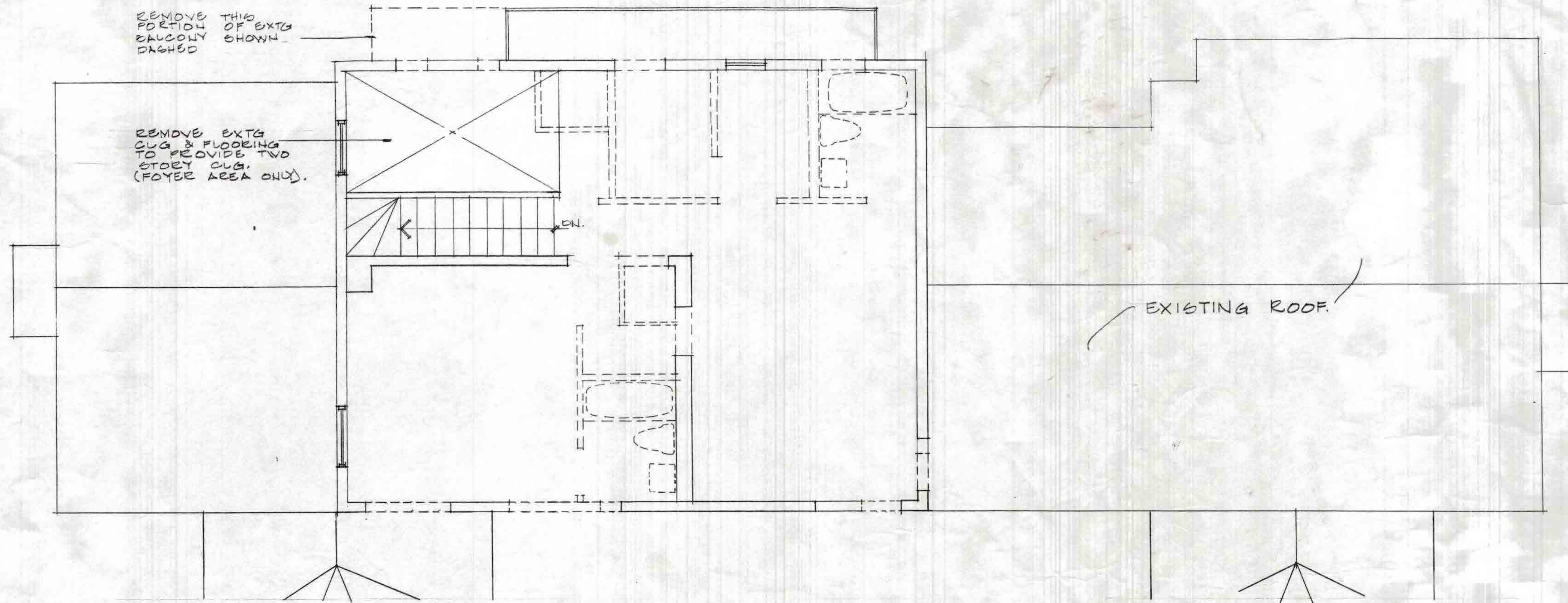
FIRST FLOOR PLAN

REVISIONS	BY

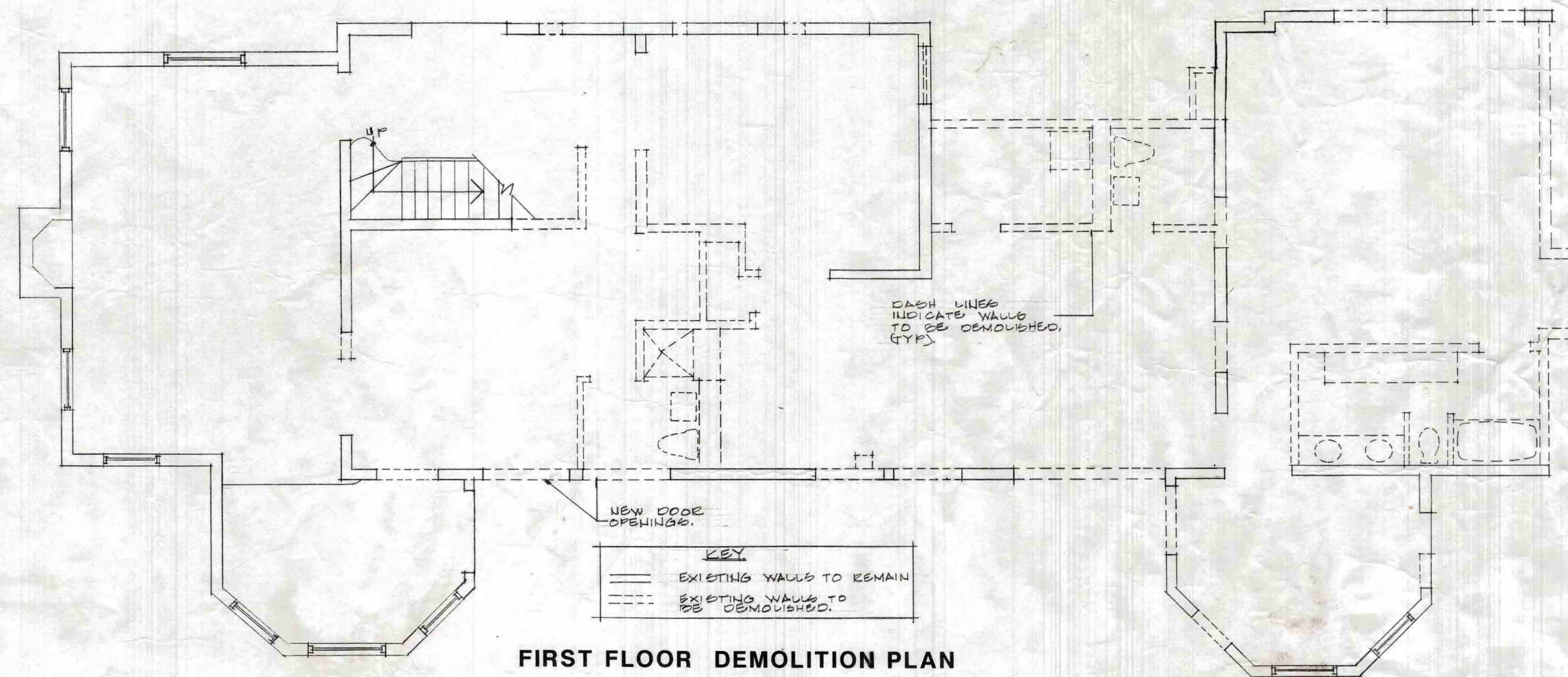
RABIN RESIDENCE
1420 W. 22ND STREET SUNSET ISLAND 4
MIAMI BEACH FLORIDA

LANE PETTIGREW KARP
ARCHITECTS
(305) 673-0719
Miami Beach
Turks & Caicos
St. Lucia

Date	10-94
Scale	1/4" = 1'-0"
Drawn	
Job	9341
Sheet	A6
Of	Sheets



SECOND FLOOR DEMOLITION PLAN



FIRST FLOOR DEMOLITION PLAN

DEMOLITION PLANS

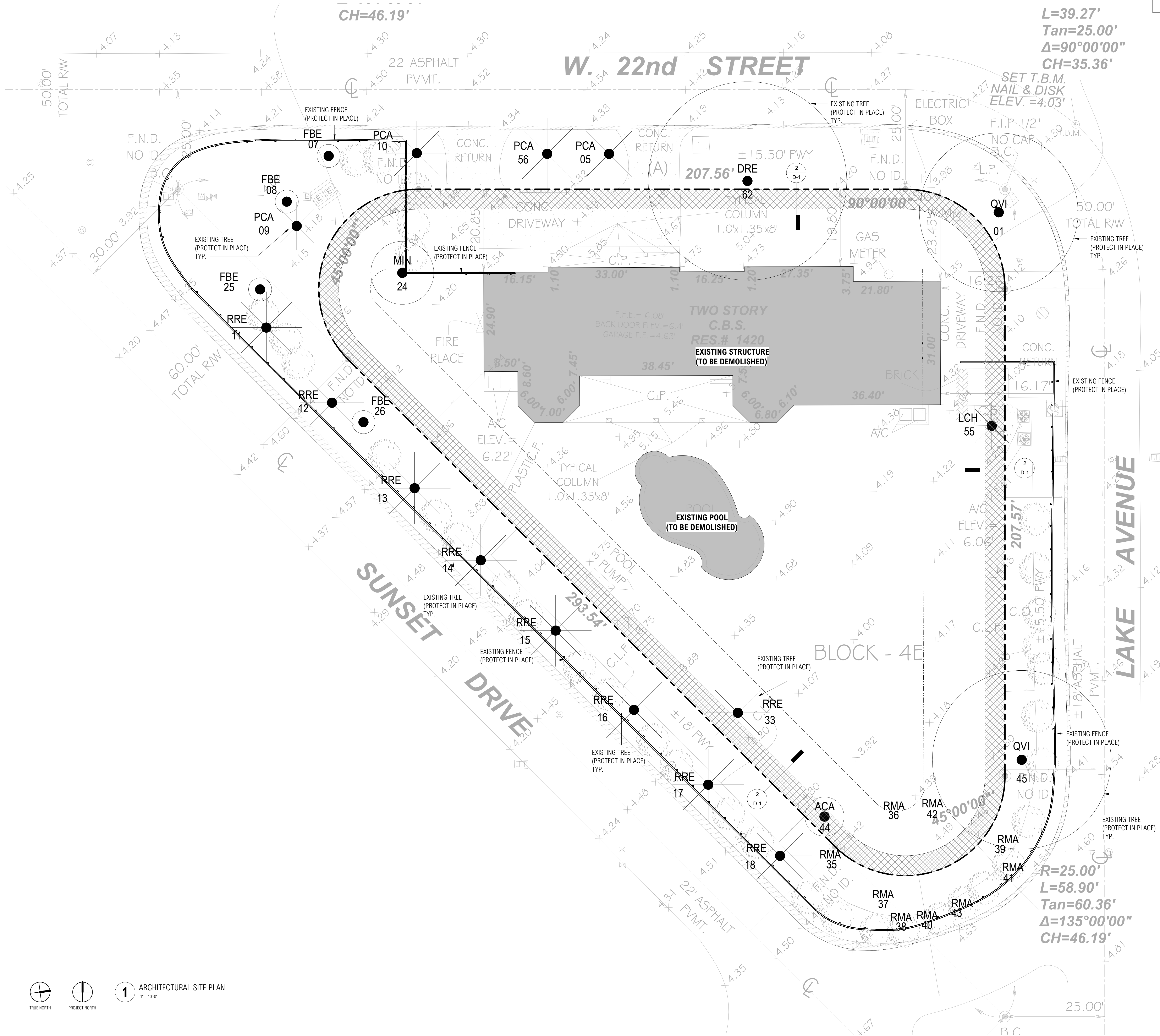
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RABIN RESIDENCE
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 MIAMI BEACH FLORIDA

LANE PETTIGREW KARP
 ARCHITECTS
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 Miami Beach

INTERIOR DESIGNERS
 Turks & Caicos
 St. Lucia

Date	10-94
Scale	1/4" = 1'-0"
Drawn	
Job	9341
Sheet	D2
Of	Sheets



1. SITE TO BE FENCED ON ALL SIDES AT A HEIGHT BETWEEN 72 AND 84 INCHES USING A CHAIN LINK OVERLAIN ON THE EXTERIOR WITH AN OPAQUE VINYL FENCE.
2. EXISTING SQUARE FOOTAGE OF BUILDING AND BEDROOM COUNT: 4,227 S.F. (4) BEDS
3. ALL DEBRIS SHALL BE WET AT TIME OF HANDLING TO PREVENT DUST.
4. SEWER LINE SHALL BE CAPPED.
5. ALL BASEMENT FILL (IF APPLICABLE) SHALL BE CLEAN AND UNIFORM.
6. STREETS AND SIDEWALKS ARE TO REMAIN CLEAN AND FREE OF ANY OBSTRUCTIONS.
7. PEDESTRIAN CANOPY PROTECTION REQUIRED IF DEMOLITION WITHIN 10 FT. OF PUBLIC SIDEWALK, SEE TABLE B/A-0.3
8. EROSION CONTROL DEVICES SHALL BE AVAILABLE ON-SITE BETWEEN OCTOBER 15 AND MAY 15
9. BETWEEN OCTOBER 15 AND MAY 15, EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHENEVER THE FIVE-DAY PROBABILITY OF RAIN EXCEEDS 30 PERCENT. DURING THE REMAINDER OF THE YEAR, THEY SHALL BE IN PLACE AT THE END OF THE WORKING DAY, WHENEVER THE DAILY RAINFALL PROBABILITY EXCEEDS 50 PERCENT.
10. TEMPORARY DESILTING BASINS, WHEN REQUIRED, SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT.
11. ALL TREES ON LANDSCAPE PLAN DEFINED AS EXISTING TREES TO REMAIN SHALL BE PROTECTED IN PLACE. REFER TO L-100 FOR ADDITIONAL INFORMATION.

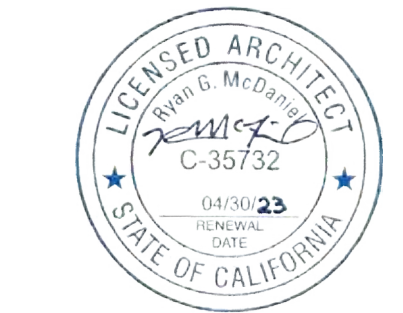
BRANDON ARCHITECTS

151 KALAMUS DRIVE, SUITE G-1
COSTA MESA, CA 92626
714.754.4040
WWW.BRANDONARCHITECTS.COM

PROJECT STATUS
DRB FINAL SUBMITTAL

PLAN CHECK NO.
DRB22-0905

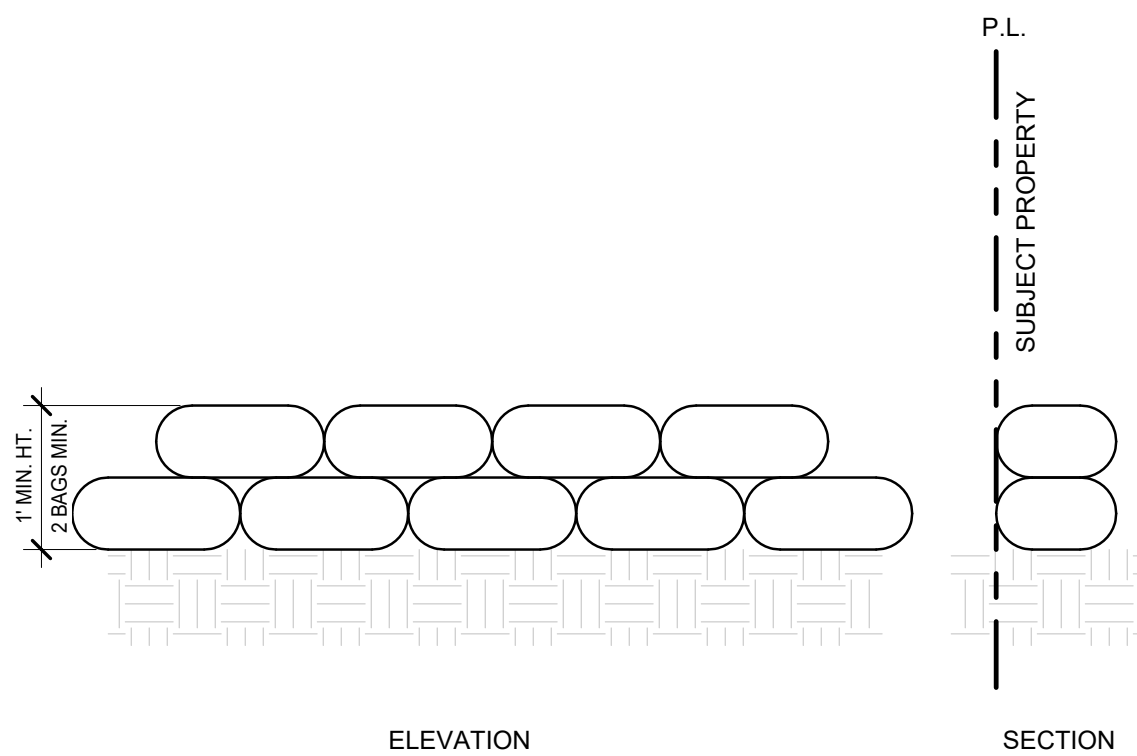
PROJECT CONTACT
RYAN MCDANIEL



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A DEMO PLAN NOTES

NOTE: GRAVEL BAGS PLACED PER DETAIL BELOW ARE MIN. REQUIREMENT & ADDITIONAL BAGS SHOULD BE PLACED AT THE DISCRETION OF THE GENERAL CONTRACTOR & DEMO CONSULTANT IN RESPONSIBLE CHARGE.



B SAND BAG DETAIL

PROJECT ADDRESS:
1420 22ND ST., MIAMI BEACH,
FL
DRB22-0905

OWNER INFORMATION:
DANIEL & AMANDA
HERTZBERG
1420 22ND STREET, MIAMI
BEACH, FL 33140

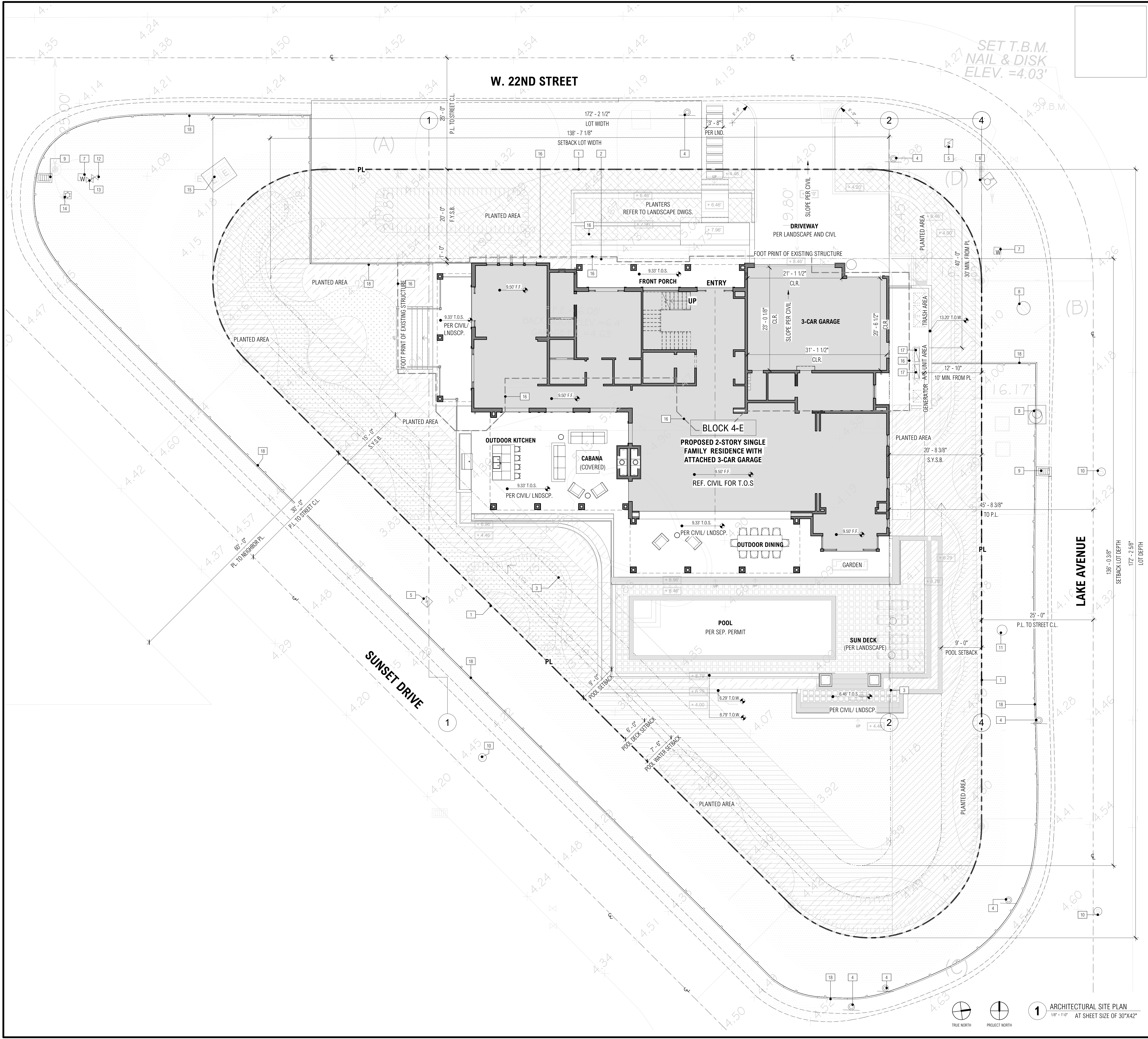
DATE
02/13/2023

REVISIONS
NO. REVISION DATE

DEMO PLAN

D-1

C KEYNOTE LEGEND



DIMENSION NOTE:
ALL DIMENSIONS ARE TO FACE OF SHEATHING (EXT. WALLS) OR FACE OF STRUCTURE (F.O.S.) TYP. U.N.O. ROUNDED TO THE NEAREST 1/8" AND INTERIOR PARTITIONS ARE DIMENSIONED FROM FACE OF STRUCTURE TO FACE OF STRUCTURE (F.O.S.) U.N.O. - CONTACT ARCHITECT IN WRITING FOR ANY CLARIFICATION OF NOTED DIMENSIONS, DO NOT SCALE PLANS.

GENERAL NOTES:
1. SEE SHEET A-3.0 FOR ROOF PLAN INFORMATION NOT SHOWN ON THIS SHEET (INCLUDING EAVE DETAILS AND PROJECTION DISTANCES).
2. PRIOR TO PERFORMING ANY WORK IN THE CITY RIGHT-OF-WAY AN ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.
3. ELECTRICAL SERVICE TO BE UNDERGROUND FOR NEW CONSTRUCTION, REPLACEMENT BUILDING OR ADDITIONS TO AN EXISTING BUILDING EXCEEDING 50% OF THE GROSS FLOOR AREA OF THE EXISTING BUILDING.
4. FIELD INSPECTOR TO REVIEW AND APPROVE UNDERGROUND ELEC. SERVICE REQUIREMENT PRIOR TO CONCRETE PLACEMENT.

LANDSCAPE NOTES:
1. ENCROACHMENT PERMIT REQ'D. FOR ANY WORK PROPOSED IN THE PUBLIC R.O.W.
2. IF APPLICABLE, REF. PRELIMINARY LANDSCAPE PLANS, FOR ALL HARDSCAPE & PLANTING AREAS WITH RESPECTIVE HEIGHTS AND MATERIALS.
3. THE MAXIMUM ELEVATION WITHIN A REQUIRED FRONT YARD AND SIDE YARDS FACING A STREET SHALL NOT EXCEED ADJUSTED GRADE, 30 INCHES ABOVE GRADE, OR FUTURE ADJUSTED GRADE, WHICHEVER IS GREATER.

POOL:
1. PROVIDE AN ALARM FOR DOORS AND WINDOWS WITH SILL HEIGHTS LESS THAN 60-INCHES ABV.F.F. OF THE DWELLING THAT FORMS A PART OF THE POOL ENCLOSURE. THE ALARM SHALL BE LISTED AS A WATER HAZARD ENTRANCE ALARM IN ACCORDANCE WITH UL 2017. THE DEACTIVATION SWITCH SHALL BE AT LEAST 60" ABOVE THE FLOOR IF THE RESIDENCE IS NOT REQUIRED TO BE ACCESSIBLE.
2. SUCTION OUTLETS SHALL BE DESIGNED AND INSTALLED WITH SUCTION ANTI-ENTRAPMENT GRATE IN ACCORDANCE WITH ANSI/APSP-16. SUCTION ENTRAPMENT AVOIDANCE FOR POOL AND SPA SHALL BE PROVIDED IN ACCORDANCE WITH APSP-7 PER ISPCS SECTION 310.
3. POOL ENCLOSURE FENCE SHALL BE 60-INCHES MIN. ABV. FS/NG MEASURED ON THE SIDE THAT FACES AWAY FROM SWIMMING POOL W/ MAX VERTICAL CLEARANCE OF 2-INCHES BETWEEN FS/NG AND BOTTOM OF THE FENCE/BARRIER MEASURED ON THE SIDE OF FENCE THAT FACES AWAY FROM SWIMMING POOL. OPENING, GAP, AND VOID IN ENCLOSURE FENCE OR GATE SHALL NOT ALLOW THE PASSAGE OF 4-INCH DIA. SPHERE OR LARGER. OUTSIDE SURFACE (FACING AWAY FROM SWIMMING POOL) OF THE POOL ENCLOSURE INCLUDING THE GATE TO BE FREE OF PROTRUSIONS, CAVITIES, OR OTHER PHYSICAL CHARACTERISTICS THAT WOULD SERVE AS HANDHOLDS OR FOOTHOLDS WHICH COULD ENABLE A CHILD FIVE YEARS OLD OR YOUNGER TO CLIMB OVER.

A SITE PLAN NOTES

ROOM NAME	PROPERTY LINE TAG
10'-0"	ROOM TAG
7	SPOT ELEVATION
10'-0"	KEYNOTE TAG
10'-0"	REVISION TAG
UP	RECESSED MAIN SERVICE PANEL - 400 AMP MAX. (MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION) GC TO COORDINATE W/ UTILITY COMPANY
UP	EXT. STAIRS - MAX. 7.75" RISE, MIN. 10" RUN, PROVIDE ARTIFICIAL LIGHT SOURCE AT THE TOP LANDING - VERIFY TREADS DEPTH & RISERS HT. W/ CIVIL & LANDSCAPE
UP	A/C CONDENSER / HEAT PUMP - VERIFY W/ OWNER - SIZE TBD, PROVIDE POWER & SOUND DAMPENING PAD AS REQ'D. INSTALL & MAINTAIN REQ'D CLEARANCES PER MFG.
OVERFLOW	FIREPIT - AS SELECTED & APPROVED, VERIFY W/ OWNER - PROVIDE POWER & GAS & CLEARANCE AS REQUIRED
DRAINLINE	VERTICAL STORM DRAIN PIPE IN-WALL / OVERFLOW - MTL. PIPE (MIN. 2" DIA. PIPE & TYP. 3" DIA. PIPE) - SEE CIVIL FOR TERMINATION DTLS. ABV. OR BLW. GROUND. VERIFY ALL TERMINATION POINTS, TYPE & DETAILS W/ CIVIL PRIOR TO POURING THE CONCRETE SLAB

B ANNOTATION LEGEND

1	PROPERTY LINE
2	FRONT YARD SETBACK
3	SIDE YARD SETBACK
4	(E.) STREET SIGN - PROTECT IN PLACE
5	(E.) ELECTRIC BOX - (REF. SURVEY & CIVIL DWGS.)
6	(E.) FIRE HYDRANT - PROTECT IN PLACE - (REF. SURVEY & CIVIL DWGS.)
7	(E.) WATER METER LOCATION - (REF. SURVEY & CIVIL DWGS.)
8	(E.) DRAIN - (REF. SURVEY & CIVIL DWGS.)
9	(E.) CATCH BASIN - (REF. SURVEY & CIVIL DWGS.)
10	(E.) SEWER M.H. - (REF. SURVEY & CIVIL DWGS.)
11	(E.) SEWER C.O. LOCATION - (REF. SURVEY & CIVIL DWGS.)
12	(E.) WATER VALVE - (REF. SURVEY & CIVIL DWGS.)
13	(E.) IRRIGATION CONTROL VALVE - (REF. SURVEY & CIVIL DWGS.)
14	(E.) STREET LIGHT (REF. SURVEY & CIVIL DWGS.)
15	ELECTRICAL TRANSFORMER PAD (REF. SURVEY & CIVIL DWGS.)
16	FOOTPRINT OF EXISTING STRUCTURE, TO BE REMOVED
17	A/C. CONDENSER UNIT - SIZE TBD - PROVIDE POWER AND SOUND DAMPENING PAD AS REQ'D. (SOUND ATTENUATION REQ'D. PER SECTION 10.26.045 N.B.M.C. UNDER SEPARATE PERMIT & PLAN CHECK)
18	(E.) PROPERTY LINE FENCE ALONG EXISTING HEDGE- PROTECT IN PLACE

C KEYNOTES

BRANDON ARCHITECTS
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PROJECT STATUS
DRB FINAL SUBMITTAL

PLAN CHECK NO.
DRB22-0905

PROJECT CONTACT
RYAN MCDANIEL

ARCHITECT
BRANDON ARCHITECTS
C-35732
STATE OF CALIFORNIA

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DRB22-0905

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HERTZBERG
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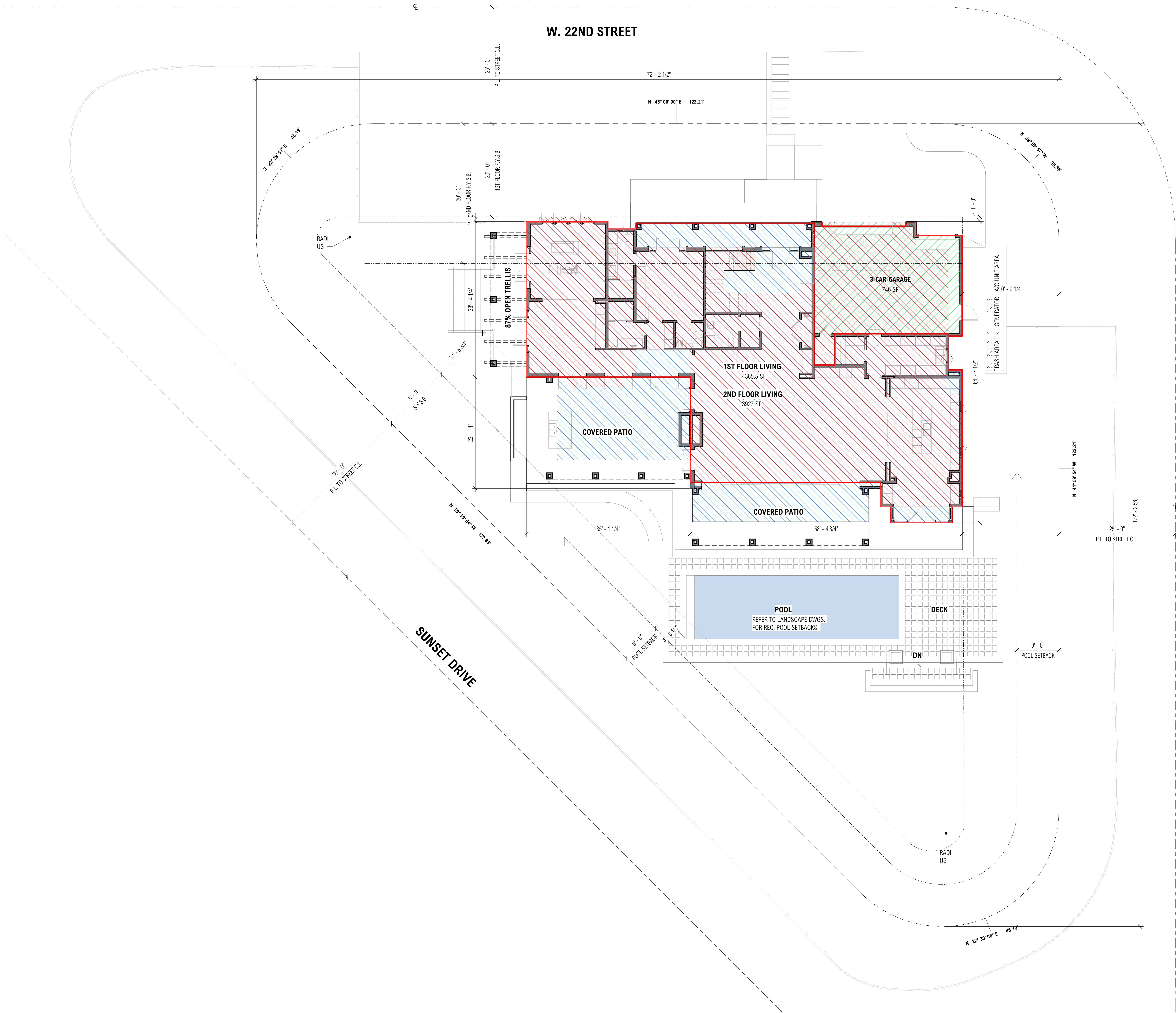
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ARCHITECTURAL SITE PLAN

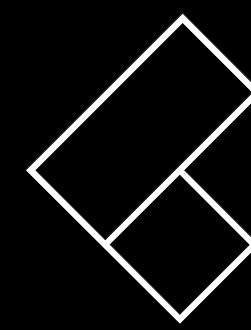
A-0.0

1 SITE PLAN DIAGRAM
1/8" = 1'-0"



- 1ST & 2ND FLOOR OVERLAPPING: 3274.2 SF
- 1ST FLOOR LOT COVERAGE: 4556.8 SF
- 1ST FLOOR LOT COVERAGE (NOT OVERLAPPING): 1282.6 SF
- 2ND FLOOR LOT COVERAGE: 3942 SF
- GARAGE LOT COVERAGE: 746 SF

MAX LOT COVERAGE:
ALLOWED: 19863 SF 30% = 5959 SF
PROVIDED: 5302.8 SF 26.6%

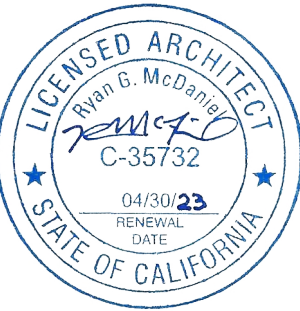


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**FIRST AND
SECOND FLOOR
LOT COVERAGE
DIAGRAM**

A-0.2



1 1ST AND 2ND LOT AREA DIAGRAMS
1/8" = 1'-0"

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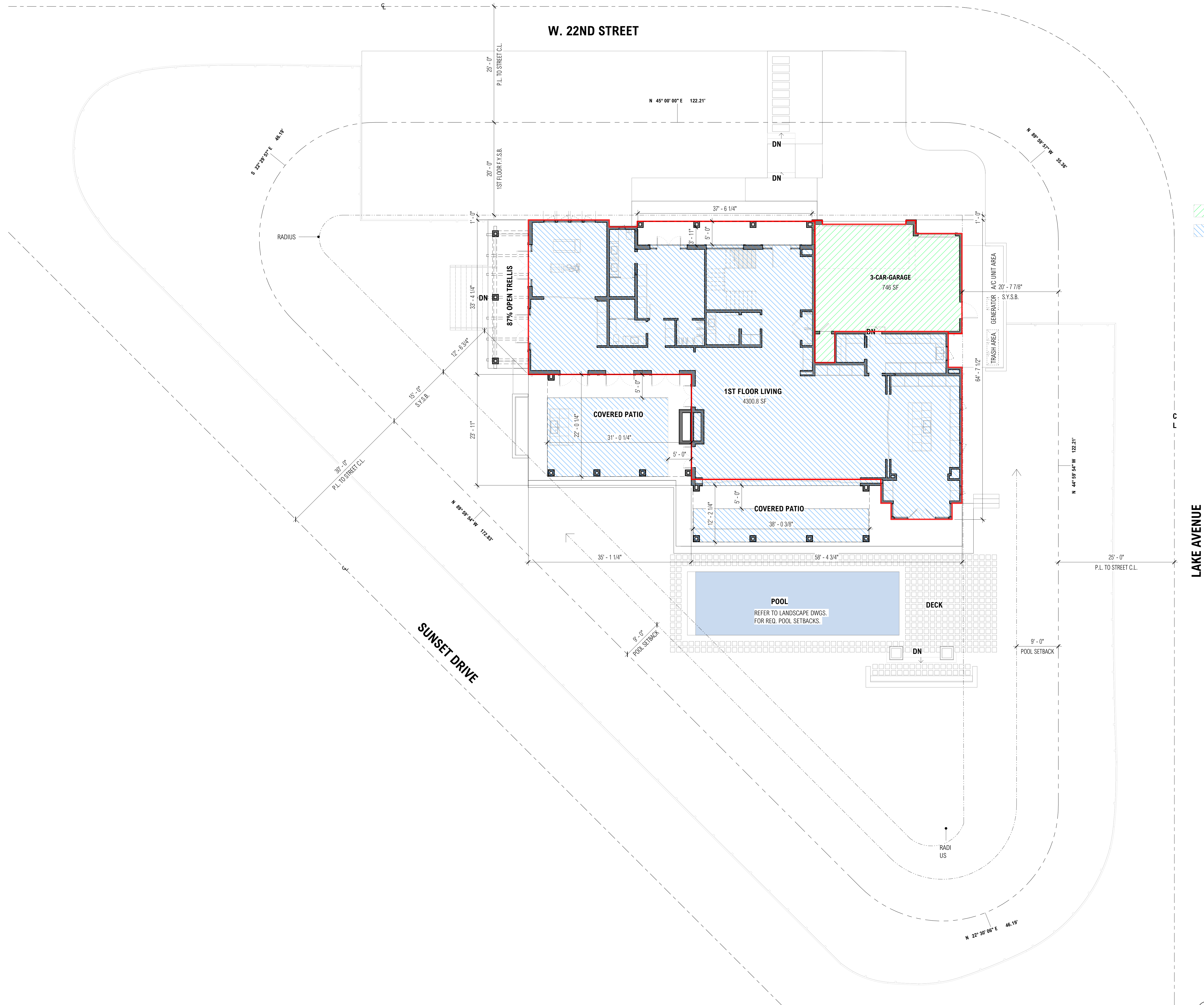
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**FIRST FLOOR LOT
COVERAGE
DIAGRAM**

A-0.3

 **GARAGE LOT COVERAGE: 748 SF**

 **1ST FLOOR LOT COVERAGE: 4921 SF**

MAX LOT COVERAGE:

ALLOWED: 19863 SF 30% = 5959 SF

PROVIDED: 5669 SF 28.5%

28.5% < 30%

LAKE AVENUE



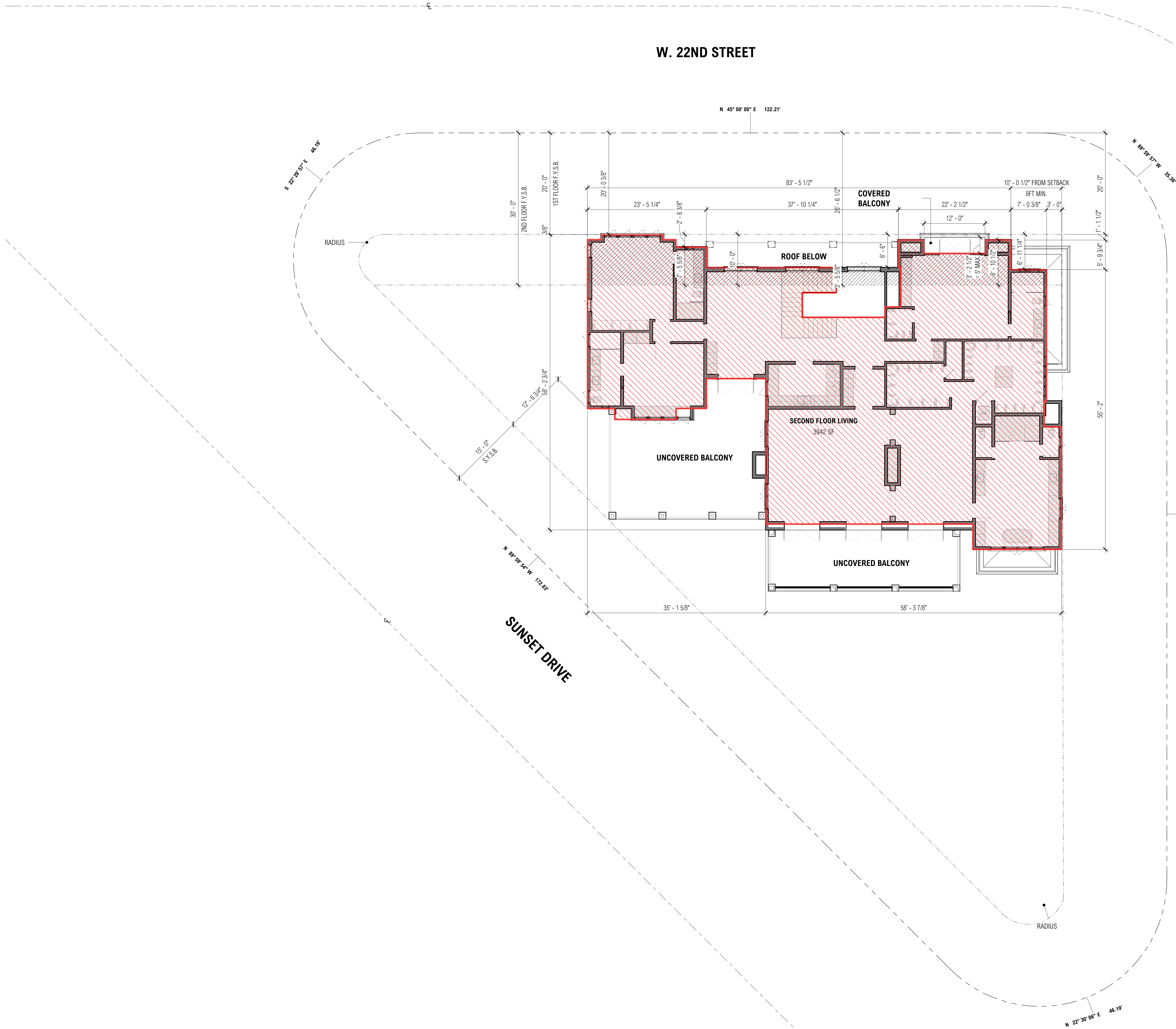
TRUE NORTH



PROJECT NORTH

1

FIRST LEVEL AREA PLAN
1/8" = 1'-0"



2ND FLOOR LOT COVERAGE: 3924 SF
2ND FLOOR NOT IN REQUIRED SETBACK: 532.41 SF

MAX LOT COVERAGE:
ALLOWED: 19863 SF 30% = 5959 SF
PROVIDED: 3924 SF 14.72%

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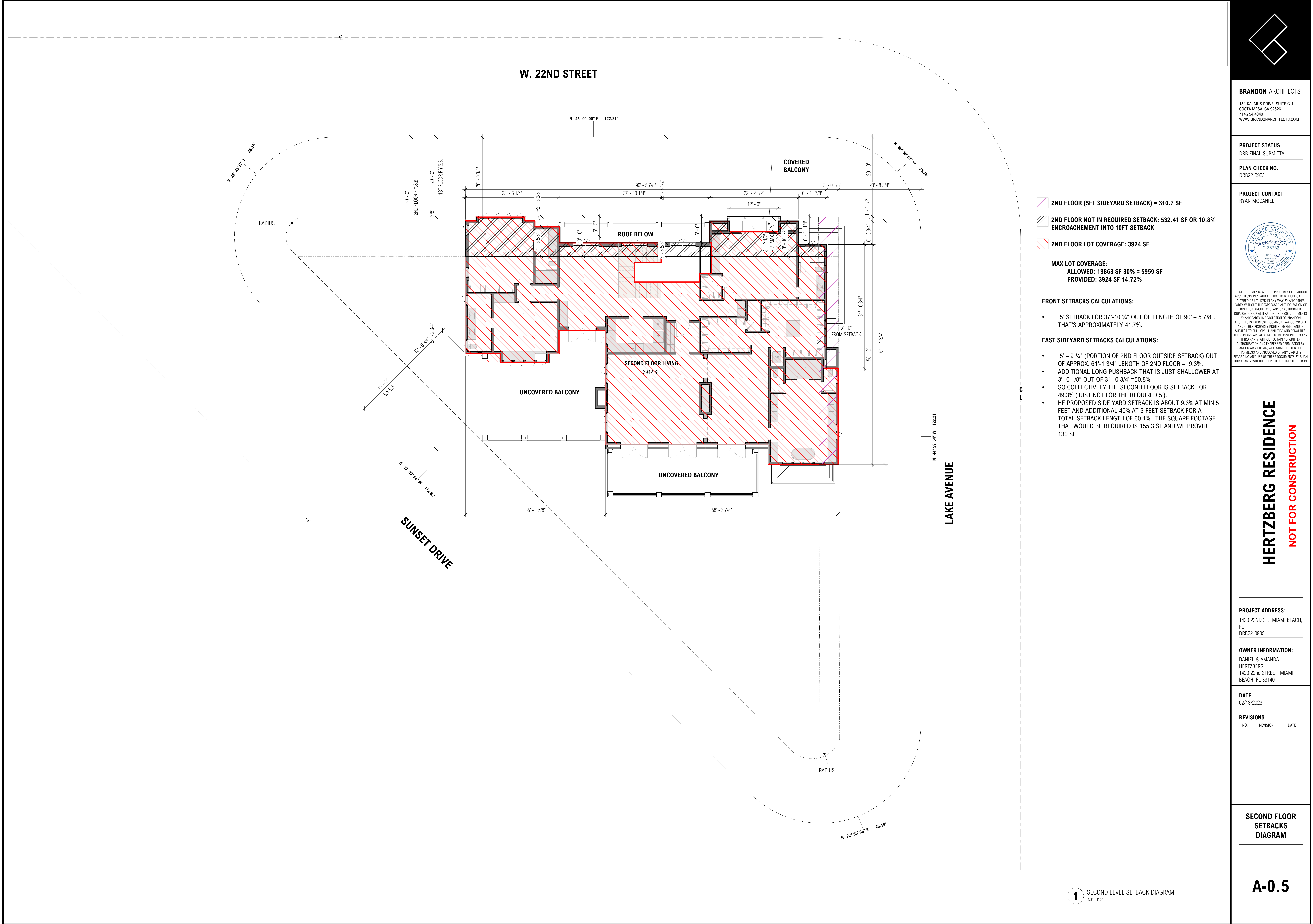
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SECOND FLOOR
LOT COVERAGE
DIAGRAM

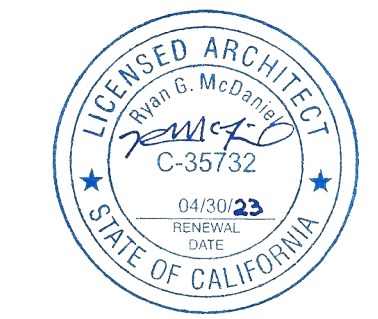


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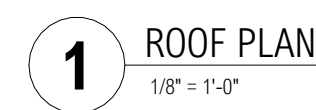
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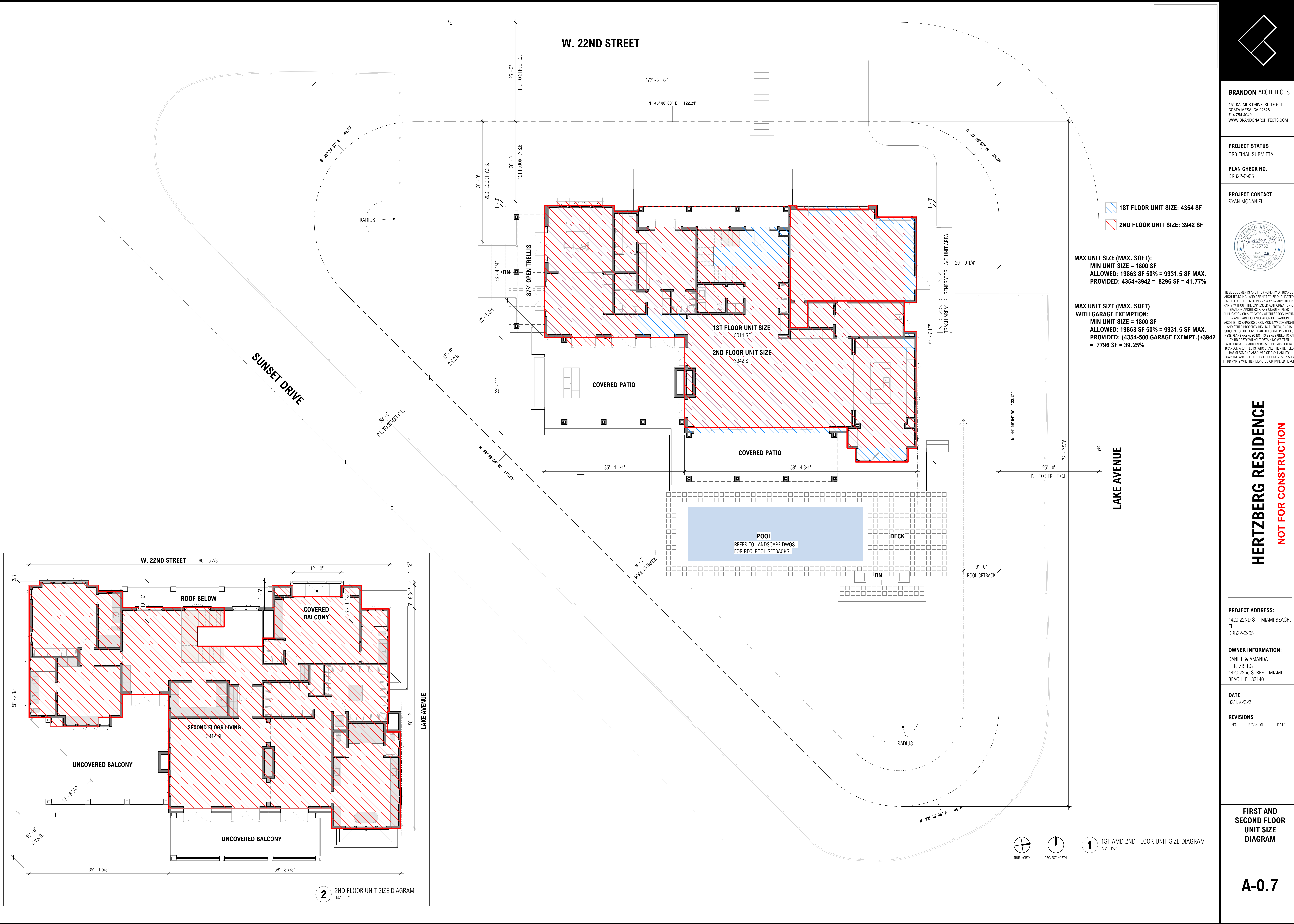
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SECOND FLOOR SETBACKS DIAGRAM

A-0.5





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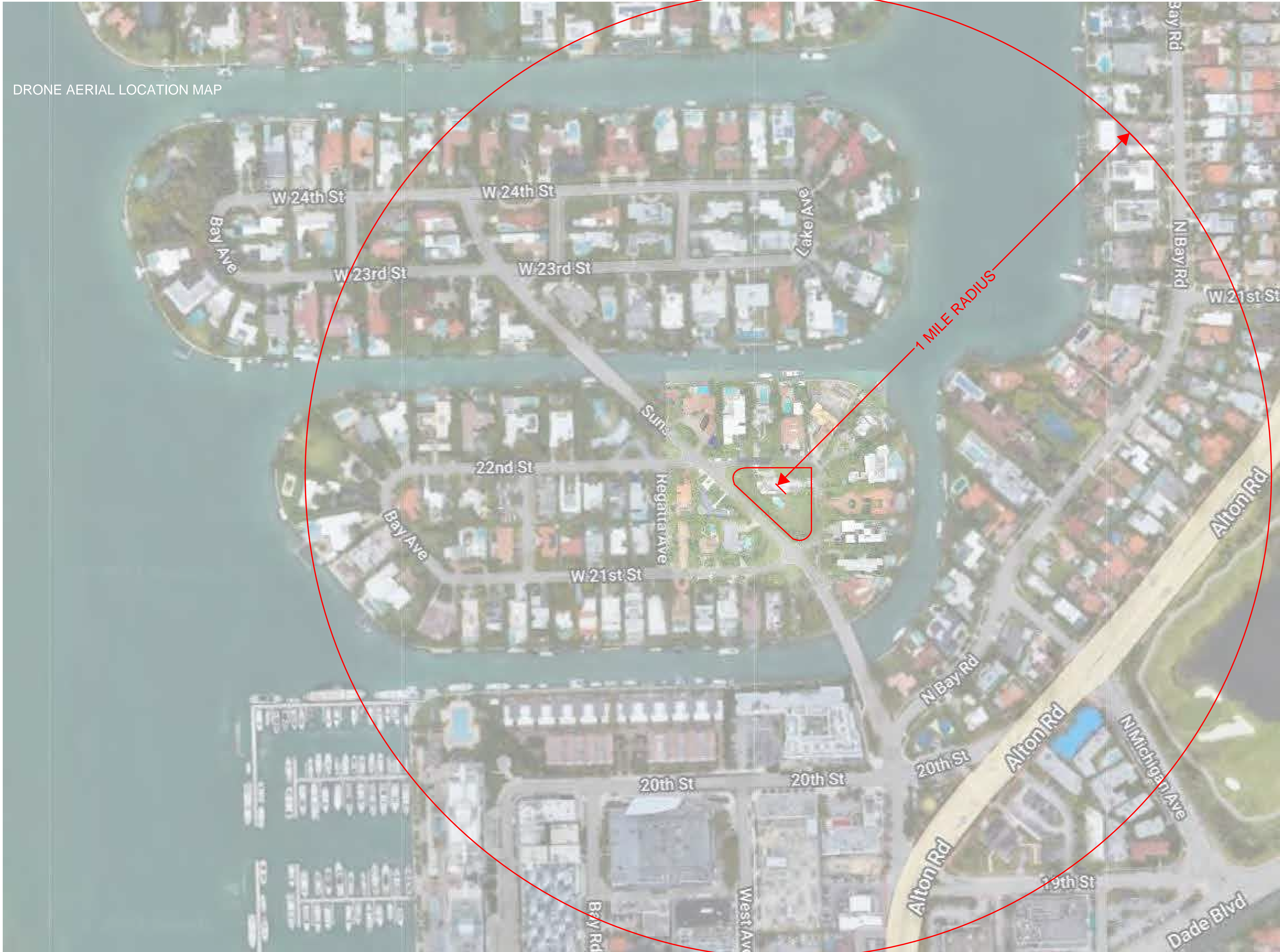
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FIRST AND SECOND FLOOR UNIT SIZE DIAGRAM

A-0.7



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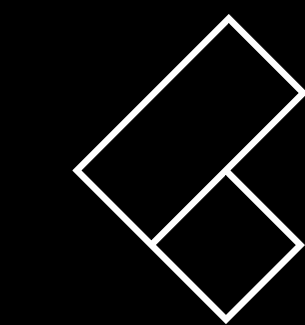
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**CONTEXT
LOCATION PLAN**

A-0.8



1 PROPERTY DISTANCE TO NEIGHBOR'S DIAGRAM
N.T.S.



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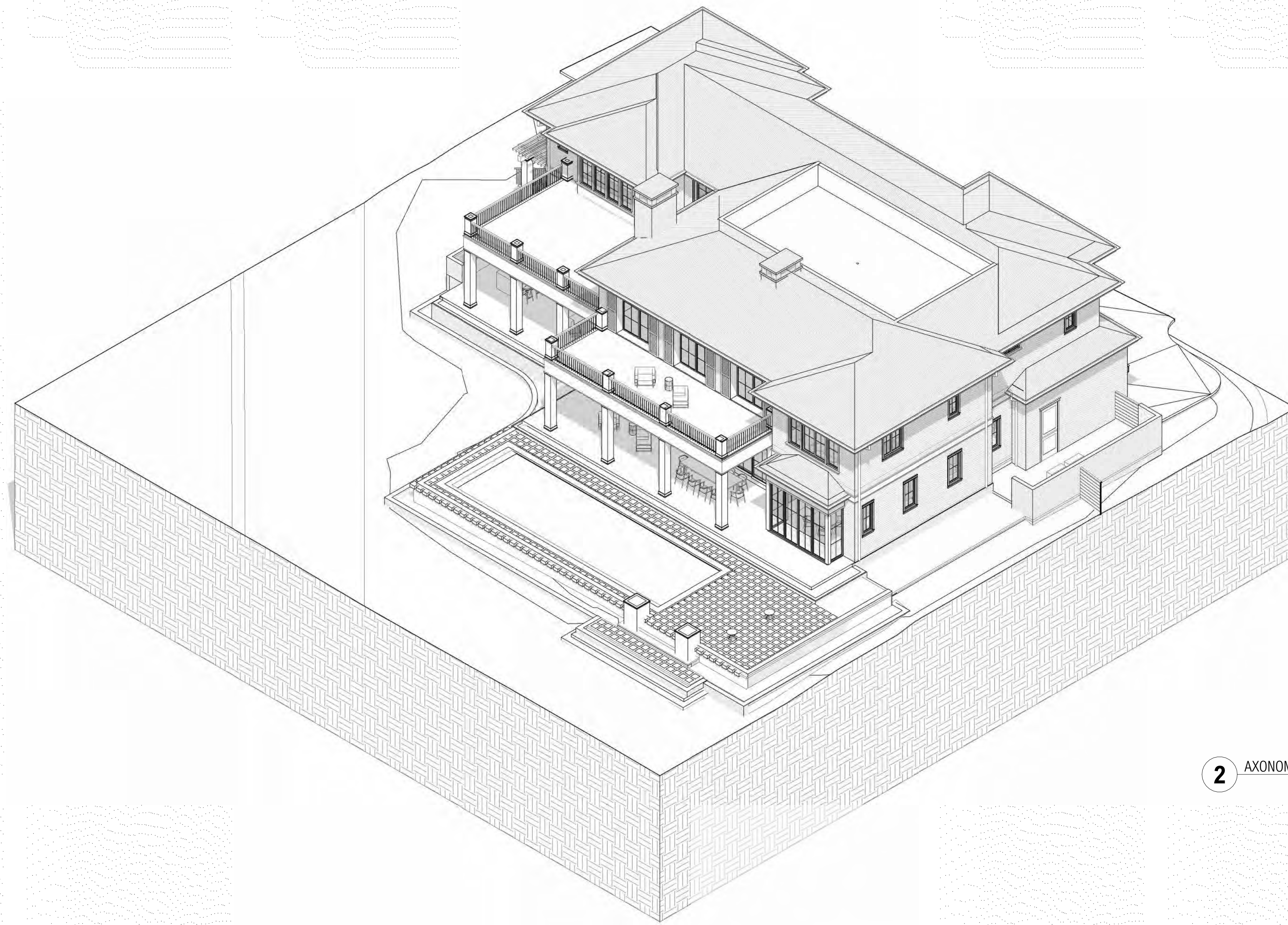
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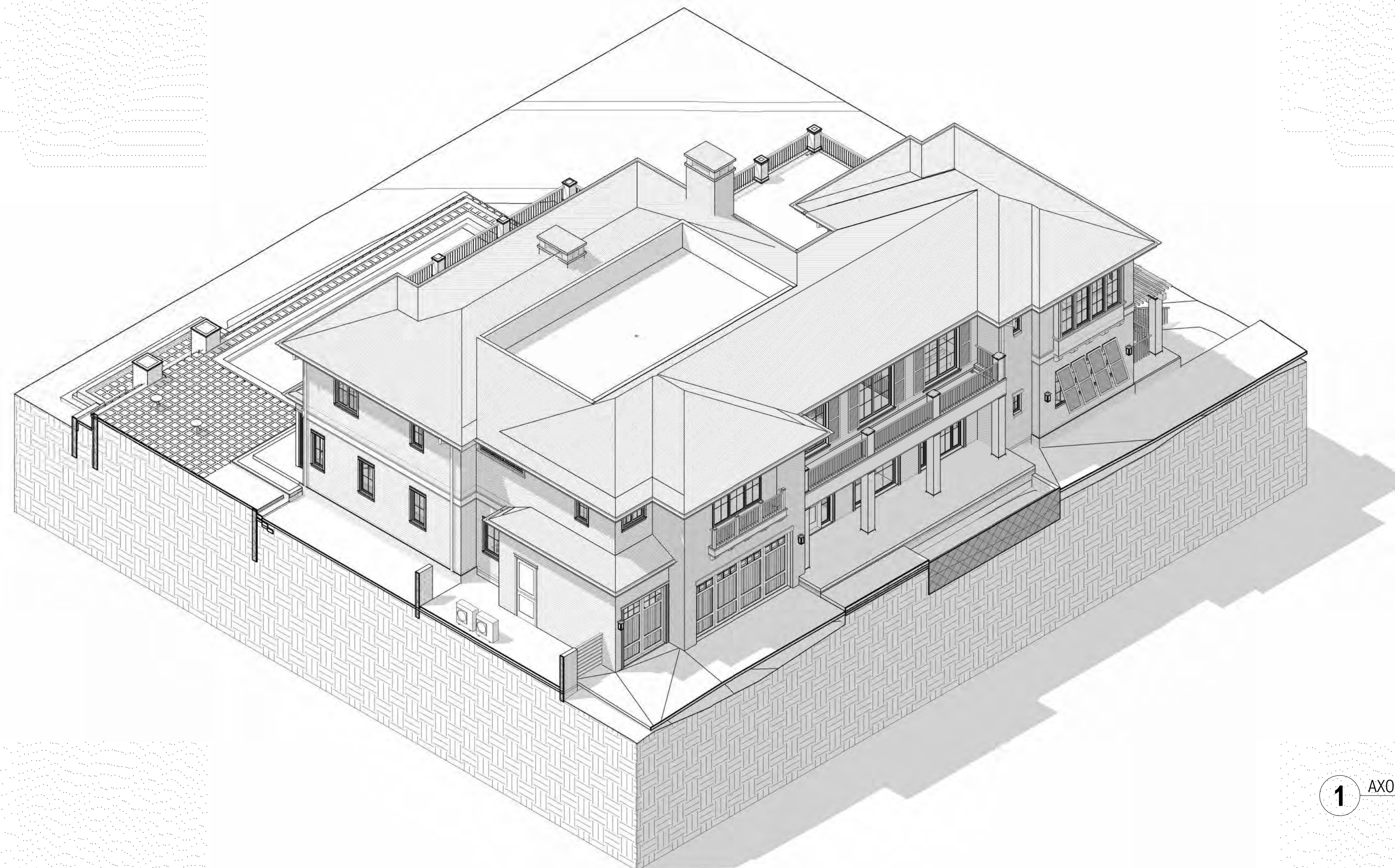
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CONTEXT
DISTANCE TO
NEIGHBORS
DIAGRAM

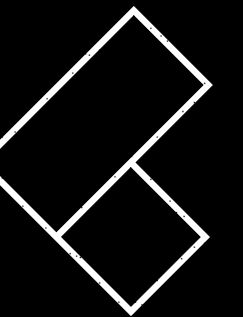
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2 AXONOMETRIC - E



1 AXONOMETRIC - N

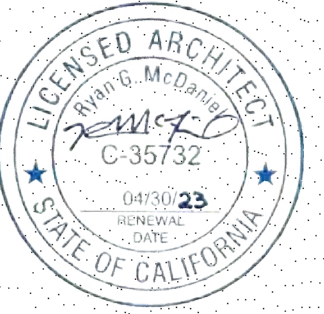


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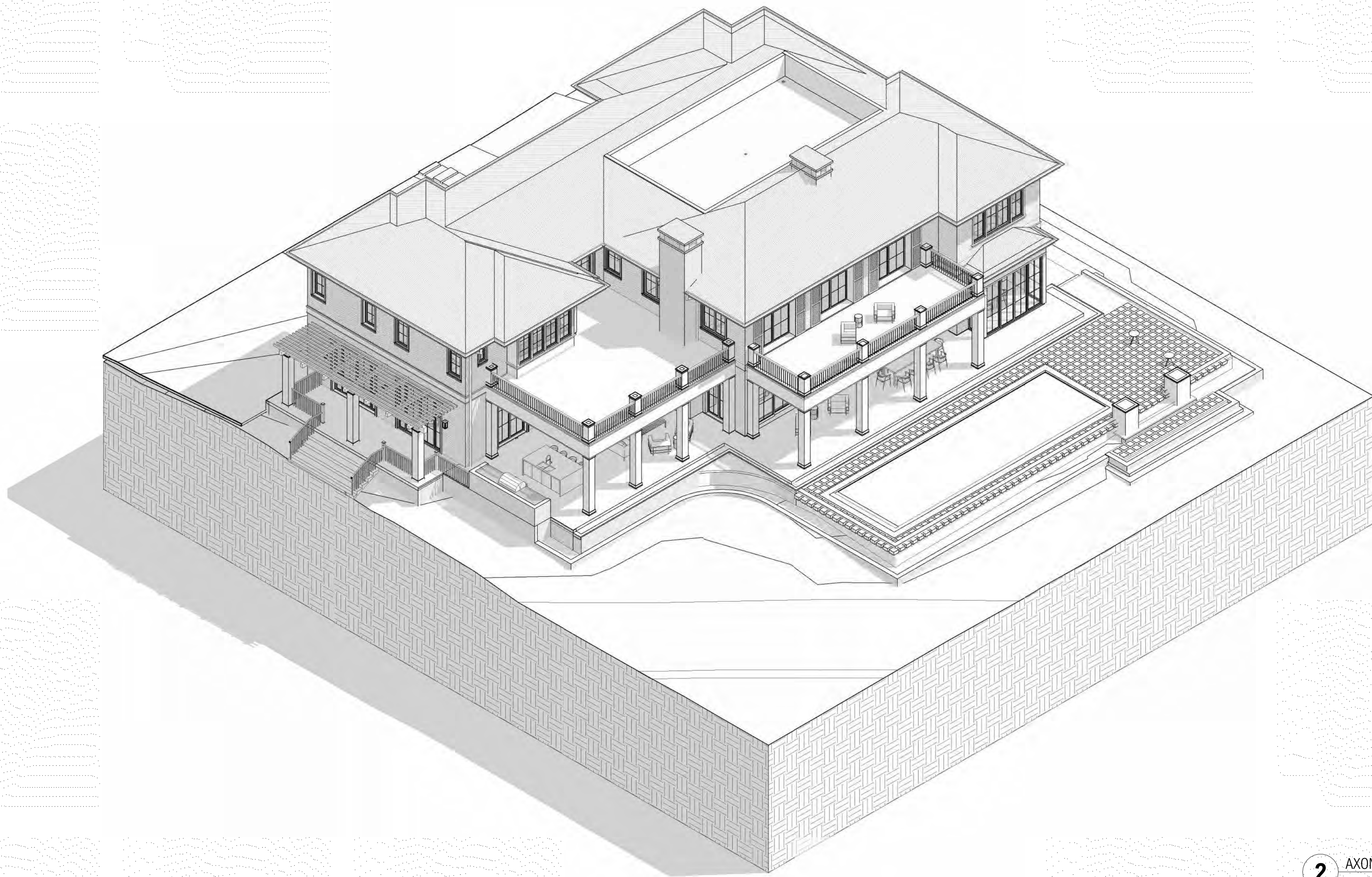
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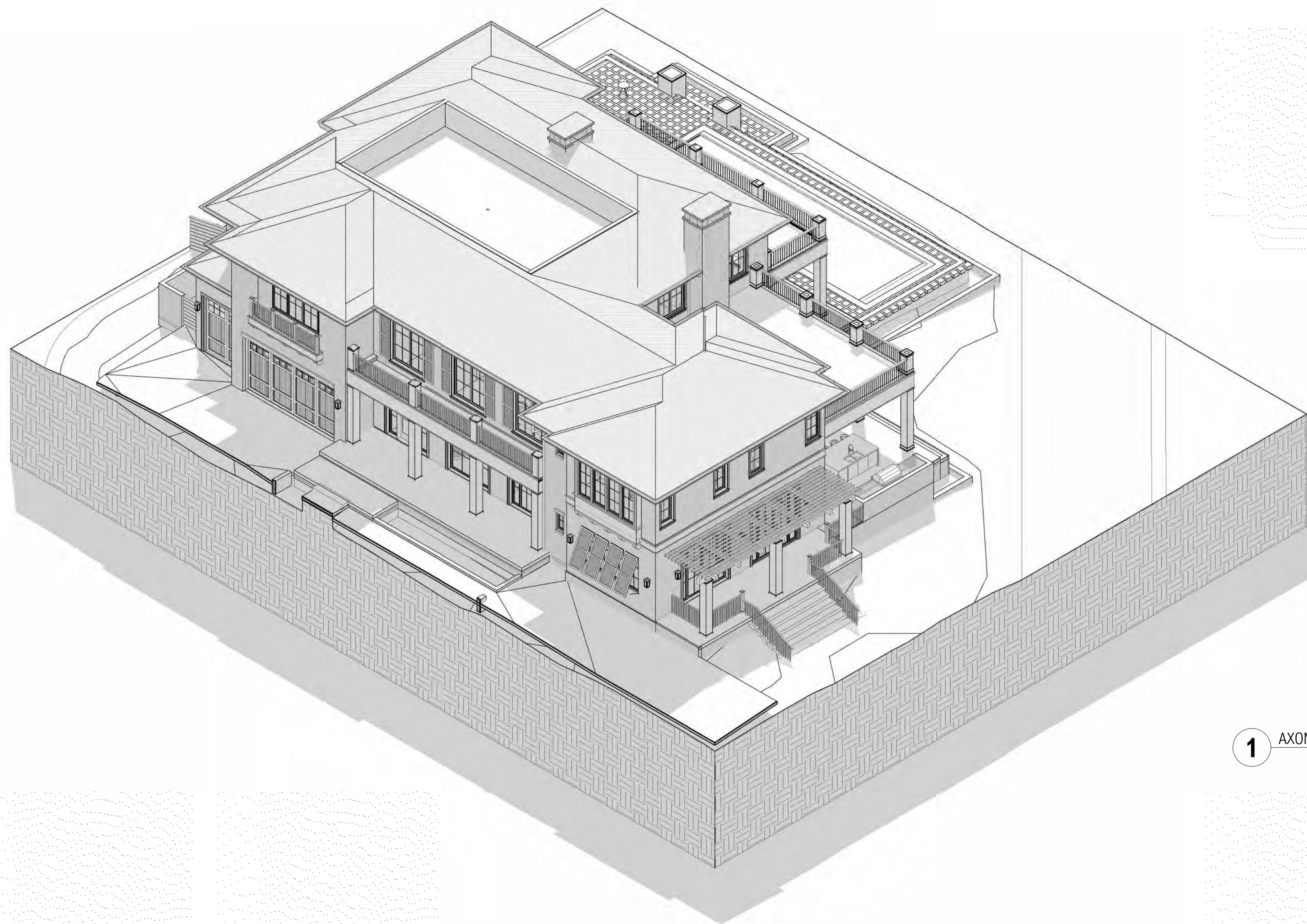
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3D VIEWS

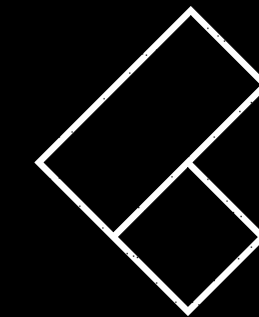
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2 AXONOMETRIC - W



1 AXONOMETRIC - S

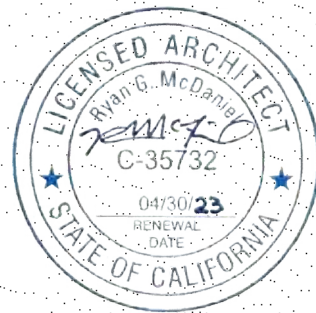


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FL
DRB22-0905

OWNER INFORMATION:
DANIEL & AMANDA
HERTZBERG
1420 22nd STREET, MIAMI
BEACH, FL 33140

DATE
02/13/2023

REVISIONS

NO.	REVISION	DATE
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3D VIEWS

A-1.1



FRONT PERSPECTIVE - FRONT



FRONT PERSPECTIVE - GARAGE



FRONT PERSPECTIVE - PULLED BACK



WHITE SIDING WITH SHUTTER ELEMENTS



WHITE BRICK



WHITE WINDOWS AND WOOD FRAMED POPOUTS



COOREGATED METAL ROOF



WHITE TRELLIS

RENDERINGS

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**3-D PERSPECTIVE
VIEWS AND
MATERIALS**

A-1.2

MATERIAL CASE STUDY IMAGES

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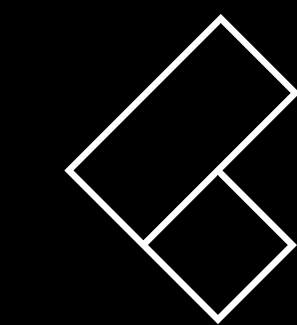
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BRANDON ARCHITECTS
SMART DESIGN | BETTER LIVING

REAR PERSPECTIVE - FRONT



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3-D PERSPECTIVE
VIEWS AND
MATERIALS

A-1.3

RENDERINGS



COVERED OUTDOOR AREAS



WHITE RAILING WITH WHITE COLUMNS



WHITE SIDING, BRICK, AND WOOD FRAMED COLUMNS



POOL HOUSE WITH METAL ROOF



COLLONDADE OVERLOOKING POOL

MATERIAL CASE STUDY IMAGES



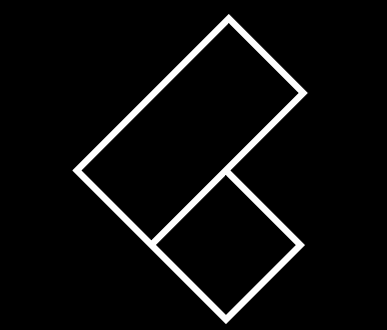
1. AERIAL SHOT FROM SUNSET DRIVE



2. AERIAL SHOT FROM 22ND STREET



KEY MAP



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**EXISTING SITE
PHOTOS AND KEY
MAP**



3. AERIAL SHOT FROM SUNSET DRIVE



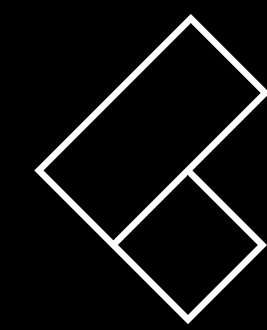
4. AERIAL SHOT FROM CORNER OF SUNSET AND 22ND ST.



5. EXISTING HOME FROM 22ND STREET



6. EXISTING HOME FROM 22ND STREET



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EXISTING SITE PHOTOS

A-1.5



7. EXISTING HOME VIEW FROM 22ND STREET



8. EXISTING HOME VIEW FROM CORNER OF 22ND ST AND LAKE AVE.



9. EXISTING HOME VIEW OF BACKYARD



10. EXISTING HOME VIEW FROM BACKYARD

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EXISTING SITE PHOTOS

A-1.6



11. NEIGHBORING HOME



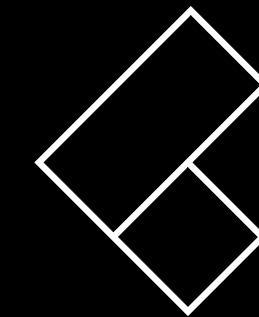
12. NEIGHBORING HOME



13. NEIGHBORING HOME



14. VIEW FROM CORNER OF SUNSET DRIVE AND LAKE AVE.



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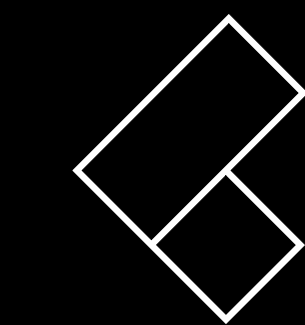
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EXISTING SITE PHOTOS

A-1.7



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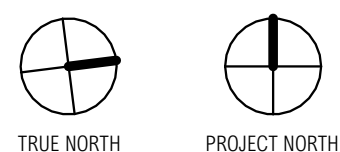
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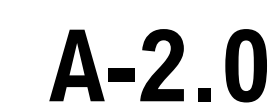
REVISIONS
NO. REVISION DATE

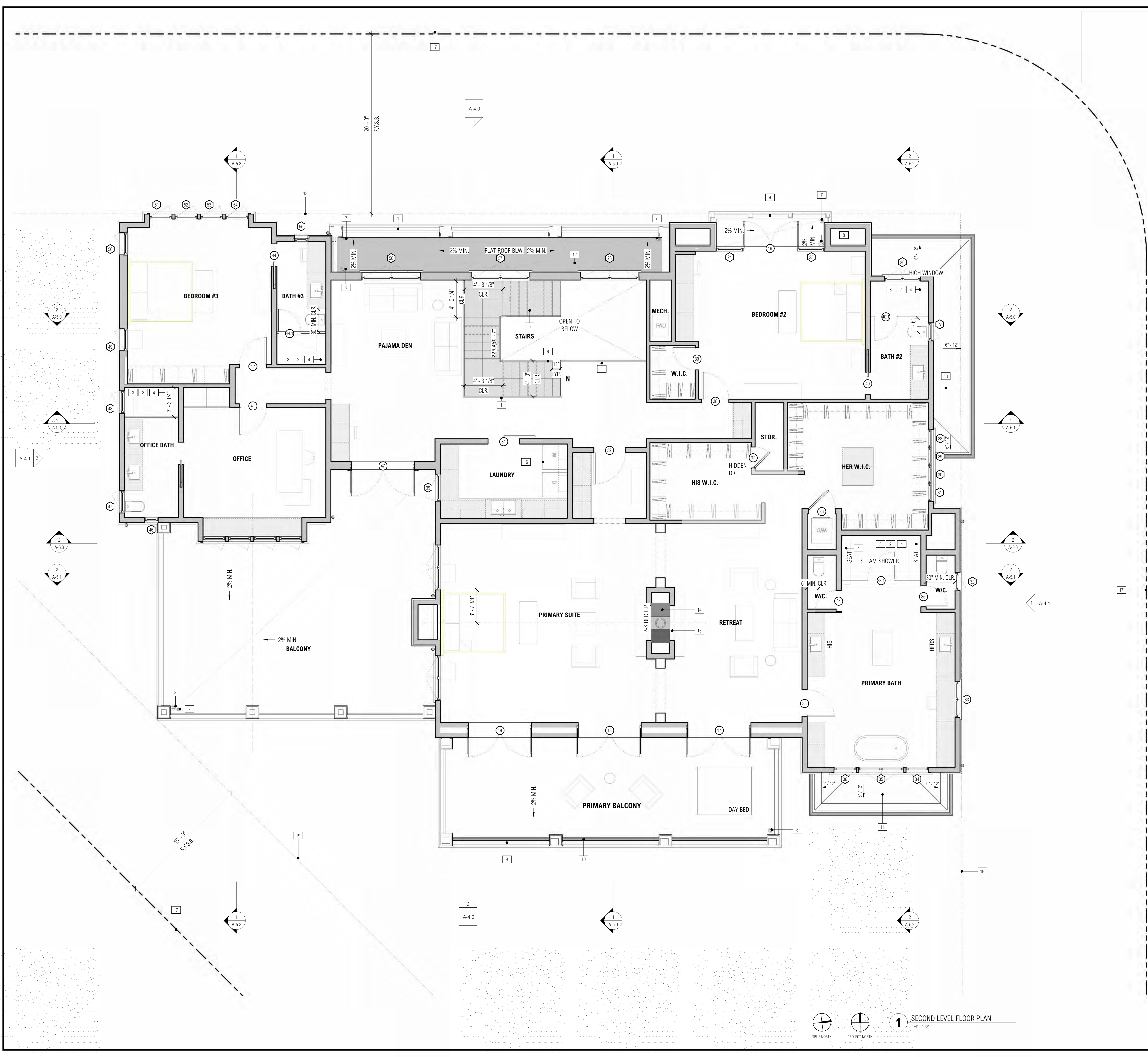
**EXISTING INTERIOR
HOME PHOTOS**

A-1.8



B	KEYNOTES
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ROOM NAME

ROOM TAG

ELEVATION / SECTION INDICATOR

CALL-OUT TAG

SPOT ELEVATION

KEYNOTE TAG

DOOR / WINDOW / WINDOW WALL TAG

REVISION TAG

FIRE RATED CEILING ASS'Y - REF. DTL. 7/AD-1.0

1-HR RATED INT CONDITION - REF. DTL. 7/AD-1.0

1-HR RATED EXT CONDITION - REF. DTL. 7/AD-1.0

STRUCTURAL STEEL COLUMN - PER STRUCT., - PAINT AND SEAL AS REQ. - ARCH. TO APPV. COLOR

STRUCTURAL WOOD POST/COLUMN - PER STRUCT., - PAINT, STAIN & SEAL AS REQ'D - ARCH. TO APPV. PAINT / STAIN COLOR FOR EXPOSED WOOD

DOORS - AS SPECIFIED, SEE WNDW. SCHEDULE AND NOTES ON SHEET A-7.0 - PROVIDE FLASHING AND WATERPROOFING AT DOOR OPENING PER THE DOOR MFG. AND/OR FLASHING MFG.

WINDOW - AS SPECIFIED, SEE WNDW. SCHEDULE AND NOTES ON SHEET A-7.0 - PROVIDE FLASHING & WATERPROOFING AT WNDW OPENING PER THE WNDW MFG. AND/OR FLASHING MFG.

STAIRS - MAX. 7.75" RISE, MIN. 10" RUN, PROVIDE AN ILLUMINATION LEVEL OF NOT LESS THAN 1 FT CANDLE AT THE CNTR. OF TREADS & LANDING W/ ARTIFICIAL LIGHTING - REF. DTL. 3/AD-1

KITCHEN RANGE W/ EXHAUST HOOD - AS SELECTED PER I.D., VERIFY W/ I.D. & OWNER - PROVIDE POWER & GAS AS REQ'D - 30" MIN. VERTICAL CLR. TO ANY COMBUSTIBLE MATERIAL ABV. COOKING TOP - EXHAUST RATE OF MIN. 100 CFM AND VENT TO OUTDOOR, HOOD DUCTS TO BE OF METAL W/ SMOOTH INT.

KITCHEN/BATH SINK - AS SELECTED PER I.D., VERIFY W/ I.D. & OWNER - SINK TO COMPLY W/ REQ. OF SECTION 420.0 OF IPC AND HAVE A MAX FLOW RATE OF 1.8 GPM @ 60 PSI

VANITY SINK - AS SELECTED PER I.D., VERIFY W/ I.D. & OWNER - LAVATORY TO HAVE 24" MIN. CLEAR SPACE IN FRONT OF IT. W/ MAX. FLOW RATE OF 1.2 GPM @ 60 PSI AND MIN. FLOW RATE OF 0.8 GPM @ 20 PSI

WASHER (W) / DRYER (D) / STACKED (W/D) - AS SELECTED PER I.D. & OWNER - PROVIDE POWER, GAS, WATER SUPPLY & DRAINAGE AS REQ'D - THE DRYERS VENT TO BE A RIGID METALLIC MATERIAL HAVE A BACKDRAFT DAMPER & NOT TO EXCEED 14 FT IN LENGTH W/ MAX. OF TWO 90° ELBOW, SUBTRACT 2FT FOR EA. ADD. 90° ELBOW. SEE WASHER & DRYER NOTES, REF. T-1.1.

REFRIGERATOR (REF) / FREEZER (FRZ) - AS SELECTED PER I.D. & OWNER - PROVIDE POWER AND WATER SUPPLY AS REQUIRED

BUILT-IN APPLIANCE / DISHWASHER (DW) / TRASH COMPACTOR (TR) - AS SELECTED PER I.D., VERIFY W/ I.D. & OWNER - PROVIDE POWER, WATER SUPPLY & DRAINAGE PIPE AS REQUIRED

TOILET - WATER CLOSET SHALL BE IN COMPLIANCE OF SECTION 411.0 OF IPC AND HAS MAX EFFECTIVE FLUSH RATE OF 1.28 GAL. PER FLUSH. WATER CLOSETS CLR. TO BE 24" IN FRONT & 15" FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION.

CASEWORK, TALL CABINET - AS SELECTED PER I.D. & OWNER

CASEWORK, BASE CABINET W/ COUNTERTOP - AS SELECTED PER I.D., VERIFY W/ I.D. & OWNER

CASEWORK, UPPER CABINET/SHELVES - AS SELECTED PER I.D., VERIFY W/ I.D. & OWNER

BUILT-IN CLOSET - AS SELECTED PER I.D. & OWNER

FIREPLACE - FACTORY-BUILT DIRECT VENT GAS FIREPLACE W/ SEALED COMBUST - FACTORY-BUILT FIREPLACES, CHIMNEYS & ALL OF THEIR COMPONENTS SHALL BE LISTED & INSTALLED IN ACCORDANCE W/ THEIR LISTING & MANUF'GRS INSTRUCTS.

A/C CONDENSER / HEAT PUMP - TO BE IN COMPLIANCE OF SECTION 307.3 OF CMC AS SELECTED, VERIFY W/ OWNER - SIZE TBD. - PROVIDE POWER AND SOUND DAMPENING PAD AS REQ'D. - INSTALL & MAINTAIN REQ'D CLEARANCES PER MFG.

FAU - PROVIDE GAS S.O., POWER, AND VENTING AS REQ'D. BY MFG'R. - INSTALL PER MFG'R. INSTRUCTION

ROOF/DECK DRAIN - PER CHAPTER 11 OF IPC - SIZE THE DRAIN AND PIPING PER TABLE 1103.1 AND 1103.2 OF IPC - ROOF DRAIN SHALL HAVE DOWED STRAINER

OVERFLOW OR EMERGENCY DRAIN - PER CHAPTER 11 OF IPC - COPPER OR EQ., INSTALL PER MFG'R. INSTRUC., SLOPED TOWARD IN-WALL DRAIN INLETS - SLOPE AND SIZE PER TABLE 1103.3 OF IPC - REF. DTL. 11/AD-1.0

A

ANNOTATION LEGEND

1

INTERIOR GUARDRAIL - MIN. 36" HIGH - MATERIAL AS SELECTED, <4" MAX. SPHERE OPENING, REF. DTL. 4/AD-1

2

BATHTUB & SHOWER - PROVIDE TILE W/ CEMENT BACKING MIN. 72" HIGH (R307.2)

3

DEPRESS STRUCTURE FOR FLUSH SHOWER CONDITION - COORD. WITH I.D. & GENERAL CONTRACTOR, REF. STRUCT. DWGS.

4

CUSTOM SHOWER SEAT PER I.D.

5

STAIRS - MAX. 7.75" RISE, MIN. 10" RUN, PROVIDE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT CANDLE (CBC 1205.4) REF. DTL. 3/AD-1

6

INTERIOR STAIR MOUNTED HANDRAIL - 34"-38" ABV. NOSING, REF. DTL. 4/AD-1

7

DECK DRAIN - SLOPE 2% MIN. - REF. DTL. 11/AD-1

8

OVERFLOW DRAIN - REF. DTL. 12/AD-1

9

EXTERIOR GUARDRAIL - MIN. 36" HEIGHT - 4" MAX. SPHERE OPENING, REF. DTL. 4/AD-1

10

CHANNEL DECK DRAIN - SLOPE 2% MIN. - REF. DTL. 11/AD-1

11

CORRUGATED METAL ROOFING - REF. MAT. SCHEDULE SHT. A-4.0

12

FLAT COOL ROOF, CLASS 'A' - COLOR AS SELECTED - TPO MEMBRANE - REF. MAT. SCHEDULE SHT. A-4.0

13

CORRUGATED METAL ROOFING - REF. MAT. SCHEDULE SHT. A-4.0

14

FIREPLACE - PREFABRICATED, GAS ONLY, 'ISOKERN,' ICC# ESR-2316 [REF. DTL. 22/AD-1] (FACTORY BUILT FIREPLACES, CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AN INSTALLED IN ACCORDANCE W/ THEIR LISTING AND MFG'R. INSTALLATION INSTRUCTIONS. GASEOUS FUEL BURNING PAN MUST BE PERMANENTLY ANCHORED TO THE FIREBOX. FIREPLACE MUST COMPLY W/ THE CALIFORNIA ENERGY STANDARDS MANDATORY MEASURES.)

15

DEPRESSED SLAB/STRUCTURE FOR FIREPLACE - COORD. WITH MFG'R. & GENERAL CONTRACTOR, REF. STRUCT. DWGS.

16

PROVIDE FLOOR DRAIN IN LAUNDRY ROOM

17

PROPERTY LINE

18

FRONT YARD SETBACK

19

SIDE YARD SETBACK

B

KEYNOTES

BRANDON ARCHITECTS

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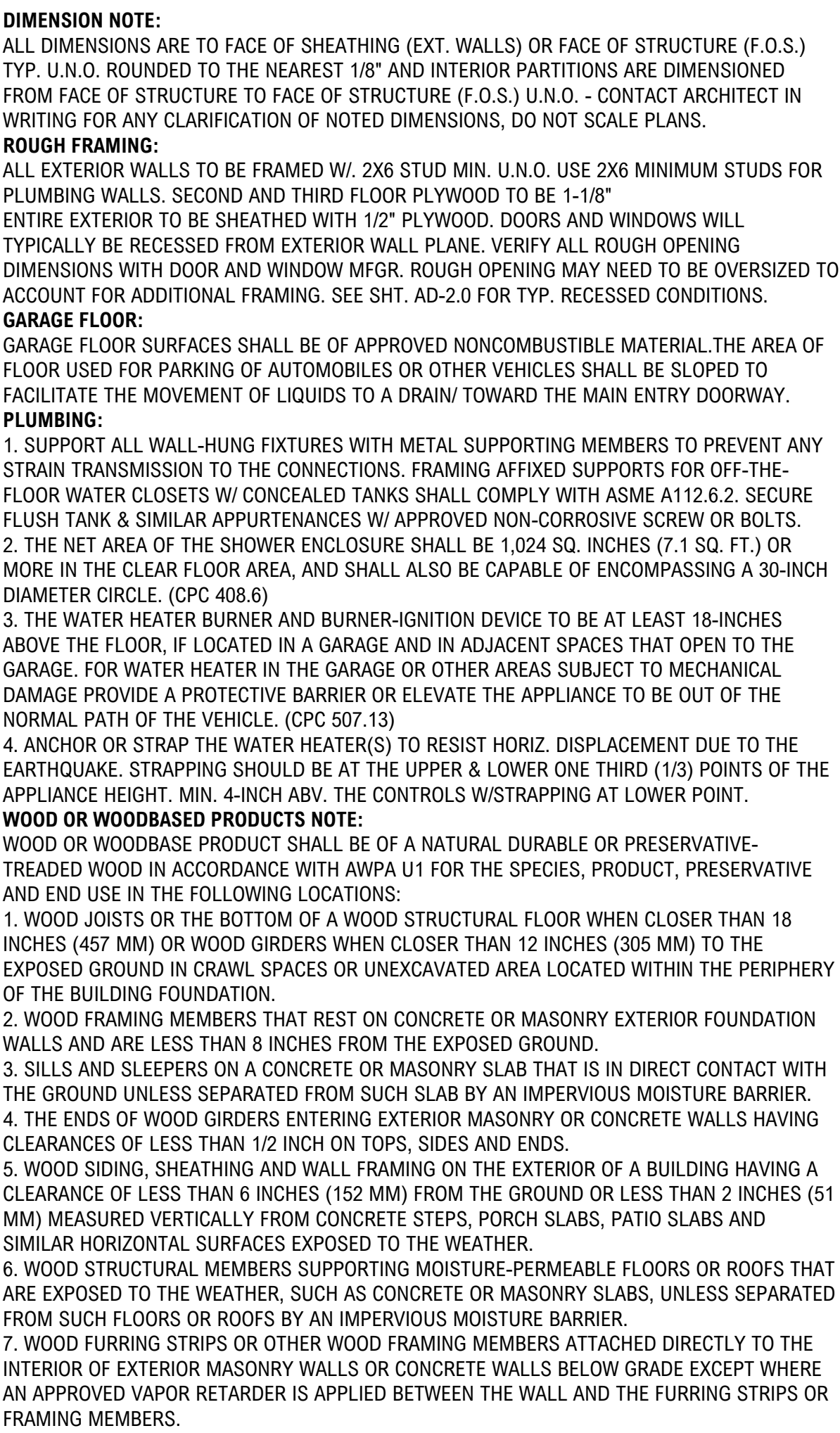
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1420 22nd STREET, MIAMI
BEACH, FL 33140

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SECOND LEVEL
FLOOR PLAN

A-2.1



GENERAL NOTES

ROOM NAME	ROOM TAG
	SPOT ELEVATION
	DOOR TAG
	WINDOW TAG
	WINDOW WALL TAG
	REVISION TAG
	4" CMU WALL
	6" CMU WALL
	8" CMU WALL
	DOUBLE 8" CMU WALL
EXT. POCKET DOOR WALL - TYP. 6" CMU EXT. FRMG. AND 4" CMU INTERIOR FRAMING W/. DOUBLE TOP PLATE AND SINGLE SILL PLATE U.N.O., MIN. AIR SPACE/DOOR POCKET TO BE VERIFIED W/. DOOR MFGFR. - STUDS MIN. SPACING PER STRUCT. AND EXT. FINISH MFGFR. INSTRUCTION AND/OR LISTING - SEE EXT. WALL DETAILS AND STRUCT. DWGS	
CONCRETE WALL - 12" REINFORCED CAST IN PLACE CONCRETE WALL TYP. U.N.O. PER STRUCT., REF. STRUCT. DWGS. - FOR BASEMENT/RETAINING CONCRETE WALL PROVIDE WATERPROOFING OR DAMPPROOFING AND DRAINAGE AS REQUIRED PER SECTION R406.1 & R406.2, REF. SOILS REPORT, WATERPROOFING & DAMPPROOFING NOTES ON SHEET T-1.1 - EXPOSED SURFACES TO HAVE TROWELED SMOOTH FINISH WITH A LIGHT GRAY COLOR, PROVIDE SAMPLE FOR ARCH. APPROVAL	
SLAB/FRAMING DEPRESSION - SEE STRUCT. DWGS. FOR THE RECEPTION DETAILS - FOR RECEPTION SPECIFIC TO EQUIPMENT OR ASSEMBLY VERIFY THE REQUIRED RECEPTION W/. MFGFR. OR FABRICATOR - SHOWER RECEPTION TO BE VERIFIED W/. I.D. SEE SHEET AD-2.0 FOR THE TYPICAL DEPRESSION OF DOORS AND WINDOWS, VERIFY ALL DEPRESSIONS W/. MFGFR.	
STRUCTURAL STEEL COLUMN - PER STRUCT., - PAINT AND SEAL AS REQ. - ARCH. TO APPV. COLOR	
STRUCTURAL WOOD POST/COLUMN - PER STRUCT. - PAINT, STAIN & SEAL AS REQ'D - ARCH. TO APPV. PAINT / STAIN COLOR FOR EXPOSED WOOD	
DOORS - AS SPECIFIED, SEE WNDW. SCHEDULE AND NOTES ON SHEET A-7.0 - PROVIDE FLASHING AND WATERPROOFING AT DOOR OPENING PER THE DOOR MFGFR. AND/OR FLASHING MFGFR.	
WINDOW - AS SPECIFIED, SEE WNDW. SCHEDULE AND NOTES ON SHEET A-7.0 - PROVIDE FLASHING AND WATERPROOFING AT WNDW OPENING PER THE WNDW MFGFR. AND/OR FLASHING MFGFR.	
STAIRS - MAX. 7.75" RISE, MIN. 10" RUN, PROVIDE AN ILLUMINATION LEVEL OF NOT LESS THAN 1 FT CANDLE AT THE CNTR. OF TREADS & LANDING W/ ARTIFICIAL LIGHTING - REF. DTL. 3/A0-1	
FIREPLACE - FACTORY-BUILT DIRECT VENT GAS FIREPLACE W/ SEALED COMBUST. - FACTORY-BUILT FIREPLACES, CHIMNEYS & ALL OF THEIR COMPONENTS SHALL BE LISTED & INSTALLED IN ACCORDANCE W/ THEIR LISTING & MANUF'GRS INSTRUCTS.	
A/C CONDENSER / HEAT PUMP - TO BE IN COMPLIANCE OF SECTION 307.3 OF OMC AS SELECTED, VERIFY W/ OWNER - SIZE TBD. - PROVIDE POWER AND SOUND DAMPENING PAD AS REQ'D. - INSTALL & MAINTAIN REQ'D CLEARANCES PER MFGFR.	
FAU - PROVIDE GAS S.O., POWER, AND VENTING AS REQ'D. BY MFGFR. - INSTALL PER MFGFR. INSTRUCTION	
ROOF/DECK DRAIN - PER CHAPTER 11 OF IPC - SIZE THE DRAIN AND PIPING PER TABLE 1103.1 AND 1103.2 OF IPC - ROOF DRAIN SHALL HAVE DOME DRAINER	
OVERFLOW OR EMERGENCY DRAIN - PER CHAPTER 11 OF IPC - COPPER OR ED., INSTALL PER MFGFR. INSTRUCT., SLOPED TOWARD IN-WALL DRAIN INLETS - SLOPE AND SIZE PER TABLE 1103.3 OF IPC - REF. DTL. 11/A0-1.0	

B

ANNOTATION LEGEND

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PROJECT STATUS
DRB FINAL SUBMITTAL

PLAN CHECK NO.
DRB22-0905

PROJECT CONTACT
RYAN MCDANIEL



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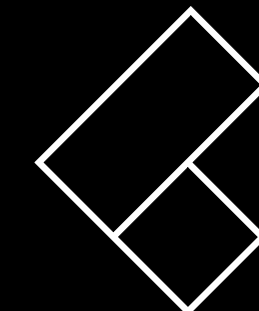
OWNER INFORMATION:
DANIEL & AMANDA
HERTZBERG
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BEACH, FL 33140

DATE
02/13/2023

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FIRST LEVEL DIMENSION PLAN

A-2.2



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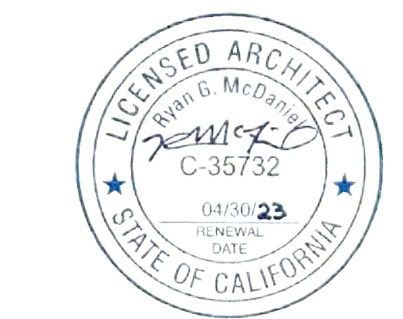
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PROJECT ADDRESS:

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DRB22-0905

OWNER INFORMATION:

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HERTZBERG
1420 22nd STREET, MIAMI
BEACH, FL 33140

DATE

02/13/2023

REVISIONS

NO.	REVISION	DATE
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SECOND LEVEL DIMENSION PLAN

A-2.3

DIMENSION NOTE:
ALL DIMENSIONS ARE TO FACE OF SHEATHING (EXT. WALLS) OR FACE OF STRUCTURE (F.O.S.) TYP. U.N.O. ROUNDED TO THE NEAREST 1/8" AND INTERIOR PARTITIONS ARE DIMENSIONED FROM FACE OF STRUCTURE TO FACE OF STRUCTURE (F.O.S.) U.N.O. - CONTACT ARCHITECT IN WRITING FOR ANY CLARIFICATION OF NOTED DIMENSIONS, DO NOT SCALE PLANS.

ROUGH FRAMING:
ALL EXTERIOR WALLS TO BE FRAMED W/ 2X6 STUD MIN. U.N.O. USE 2X6 MINIMUM STUDS FOR PLUMBING WALLS. SECOND AND THIRD FLOOR PLYWOOD TO BE 1-1/8" ENTIRE EXTERIOR TO BE SHEATHED WITH 1/2" PLYWOOD. DOORS AND WINDOWS WILL TYPICALLY BE RECESSED FROM EXTERIOR WALL PLANE. VERIFY ALL ROUGH OPENING DIMENSIONS WITH DOOR AND WINDOW MFRGR. ROUGH OPENING MAY NEED TO BE OVERSIZED TO ACCOUNT FOR ADDITIONAL FRAMING. SEE SHT. AD-2.0 FOR TYP. RECESSED CONDITIONS.

GARAGE FLOOR:
GARAGE FLOOR SURFACES SHALL BE OF APPROVED NONCOMBUSTIBLE MATERIAL. THE AREA OF FLOOR USED FOR PARKING OF AUTOMOBILES OR OTHER VEHICLES SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN/ TOWARD THE MAIN ENTRY DOORWAY.

PLUMBING:
1. SUPPORT ALL WALL-HUNG FIXTURES WITH METAL SUPPORTING MEMBERS TO PREVENT ANY STRAIN TRANSMISSION TO THE CONNECTIONS. FRAMING AFFIXED SUPPORTS FOR OFF-THE-FLOOR WATER CLOSETS W/ CONCEALED TANKS SHALL COMPLY WITH ASME A12.6.2. SECURE FLUSH TANK & SIMILAR APPURTENANCES W/ APPROVED NON-CORROSIVE SCREW OR BOLTS.
2. THE NET AREA OF THE SHOWER ENCLOSURE SHALL BE 1,024 SQ. INCHES (7.1 SQ. FT.) OR MORE IN THE CLEAR FLOOR AREA, AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30-INCH DIAMETER CIRCLE. (CPC 408.6)
3. THE WATER HEATER BURNER AND BURNER-IGNITION DEVICE TO BE AT LEAST 18-INCHES ABOVE THE FLOOR, IF LOCATED IN A GARAGE AND IN ADJACENT SPACES THAT OPEN TO THE GARAGE. FOR WATER HEATER IN THE GARAGE OR OTHER AREAS SUBJECT TO MECHANICAL DAMAGE PROVIDE A PROTECTIVE BARRIER OR ELEVATE THE APPLIANCE TO BE OUT OF THE NORMAL PATH OF THE VEHICLE. (CPC 507.13)
4. ANCHOR OR STRAP THE WATER HEATER(S) TO RESIST HORIZ. DISPLACEMENT DUE TO THE EARTHQUAKE. STRAPPING SHOULD BE AT THE UPPER & LOWER ONE THIRD (1/3) POINTS OF THE APPLIANCE HEIGHT. MIN. 4-INCH ABV. THE CONTROLS W/STRAPPING AT LOWER POINT.

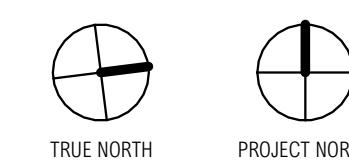
WOOD OR WOODBASED PRODUCTS NOTE:
WOOD OR WOODBASE PRODUCT SHALL BE OF A NATURAL DURABLE OR PRESERVATIVE-TREATED WOOD IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE IN THE FOLLOWING LOCATIONS:

- WOOD JOISTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR WHEN CLOSER THAN 18 INCHES (457 MM) OR WOOD GIRDERS WHEN CLOSER THAN 12 INCHES (305 MM) TO THE EXPOSED GROUND IN CRAWL SPACES OR UNEXCAVATED AREA LOCATED WITHIN THE PERIPHERY OF THE BUILDING FOUNDATION.
- WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES FROM THE EXPOSED GROUND.
- SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND UNLESS SEPARATED BY AN IMPERVIOUS MOISTURE BARRIER.
- THE ENDS OF WOOD GIRDERS ENTERING EXTERIOR MASONRY OR CONCRETE WALLS HAVING CLEARANCES OF LESS THAN 1/2 INCH ON TOPS, SIDES AND ENDS.
- WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6 INCHES (152 MM) FROM THE GROUND OR LESS THAN 2 INCHES (51 MM) MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER.
- WOOD STRUCTURAL MEMBERS SUPPORTING MOISTURE-PERMEABLE FLOORS OR ROOFS THAT ARE EXPOSED TO THE WEATHER, SUCH AS CONCRETE OR MASONRY SLABS, UNLESS SEPARATED FROM SUCH FLOORS OR ROOFS BY AN IMPERVIOUS MOISTURE BARRIER.
- WOOD FURRING STRIPS OR OTHER WOOD FRAMING MEMBERS ATTACHED DIRECTLY TO THE INTERIOR OF EXTERIOR MASONRY WALLS BELOW GRADE EXCEPT WHEN SEPARATED BY AN APPROVED VAPOR RETARDER IS APPLIED BETWEEN THE WALL AND THE FURRING STRIPS OR FRAMING MEMBERS.

A GENERAL NOTES

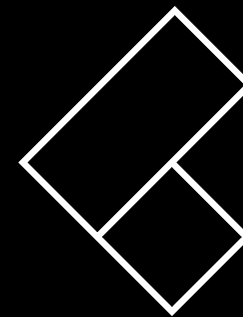
ROOM NAME	ROOM TAG	SPOT ELEVATION
10.00'		
DOOR TAG		
WINDOW TAG		
WINDOW WALL TAG		
REVISION TAG		
4" CMU WALL		
6" CMU WALL		
8" CMU WALL		
10" CMU WALL		
DOUBLE 6" CMU WALL		
EXT. POCKET DOOR WALL - TYP. 6" CMU EXT. FRMG. AND 4" CMU INTERIOR FRAMING W/ DOUBLE TOP PLATE AND SINGLE SILL PLATE U.N.O., MIN. AIR SPACE/DOOR POCKET TO BE VERIFIED W/ DOOR MFRGR. STUDS MIN. SPACING PER STRUCT. AND EXT. FINISH MFRGR. INSTRUCTION AND/OR LISTING - SEE EXT. WALL DETAILS AND STRUCT. DWGS		
CONCRETE WALL - 12" REINFORCED CAST IN PLACE CONCRETE WALL TYP. U.N.O. PER STRUCT. REF. STRUCT. DWGS. - FOR BASEMENT/RETAINING CONCRETE WALL PROVIDE WATERPROOFING OR DAMPROOFING AND DRAINAGE AS REQUIRED PER SECTION R406.1 & R406.2, REF. SOILS REPORT, WATERPROOFING & DAMPROOFING NOTES ON SHEET T-1.1 - EXPOSED SURFACES TO HAVE TROWELED SMOOTH FINISH WITH A LIGHT GRAY COLOR, PROVIDE SAMPLE FOR ARCH. APPROVAL		
SLAB/FRAMING DEPRESSION - SEE STRUCT. DWGS. FOR THE RECESSON DETAILS - FOR RECESSON SPECIFIC TO EQUIPMENT OR ASSEMBLY VERIFY THE REQUIRED RECESSON W/ MFRGR. OR FABRICATOR - SHOWER RECESSON TO BE VERIFIED W/ I.D. SEE SHEET AD-2.0 FOR THE TYPICAL DEPRESSION OF DOORS AND WINDOWS, VERIFY ALL DEPRESSIONS W/ MFRGR.		
STRUCTURAL STEEL COLUMN - PER STRUCT. - PAINT AND SEAL AS REQ. - ARCH. TO APPV. COLOR		
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DOORS - AS SPECIFIED, SEE WNDW. SCHEDULE AND NOTES ON SHEET A-7.0 - PROVIDE FLASHING AND WATERPROOFING AT DOOR OPENING PER THE DOOR MFRGR. AND/OR FLASHING MFRGR.		
WINDOW - AS SPECIFIED, SEE WNDW. SCHEDULE AND NOTES ON SHEET A-7.0 - PROVIDE FLASHING & WATERPROOFING AT WNDW OPENING PER THE WNDW MFRGR. AND/OR FLASHING MFRGR.		
STAIRS - MAX. 7.75" RISE, MIN. 10" RUN, PROVIDE AN ILLUMINATION LEVEL OF NOT LESS THAN 1FT CANDLE AT THE CNTR. OF TREADS & LANDING W/ ARTIFICIAL LIGHTING - REF. DTL. 3/AD-1		
FIREPLACE - FACTORY-BUILT DIRECT VENT GAS FIREPLACE W/ SEALED COMBUST. - FACTORY-BUILT FIREPLACES, CHIMNEYS & ALL OF THEIR COMPONENTS SHALL BE LISTED & INSTALLED IN ACCORDANCE W/ THEIR LISTING & MANUFACTURERS INSTRUCTS.		
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FAU - PROVIDE GAS S.O., POWER, AND VENTING AS REQ'D. BY MFRGR. - INSTALL PER MFRGR. INSTRUCTION		
ROOF/DECK DRAIN - PER CHAPTER 11 OF IPC - SIZE THE DRAIN AND PIPING PER TABLE 1103.1 AND 1103.2 OF IPC - ROOF DRAIN SHALL HAVE DOME STRAINER		
OVERFLOW OR EMERGENCY DRAIN - PER CHAPTER 11 OF IPC - COPPER OR EQ. INSTALL PER MFRGR. INSTRUC., SLOPED TOWARD IN-WALL DRAIN INLETS - SLOPE AND SIZE PER TABLE 1103.3 OF IPC - REF. DTL. 11/AD-1.0		

B ANNOTATION LEGEND



1 SECOND LEVEL DIMENSION PLAN

1/8" = 1'-0"



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DRB22-0905

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HERTZBERG
1420 22nd STREET, MIAMI BEACH, FL 33140

DATE
02/13/2023

REVISIONS		
NO.	REVISION	DATE

ROOF PLAN

A-3.0

- CHIMNEY CAP/SPARK ARRESTOR - AS SELECTED (NOTE: DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY BUILT CHIMNEYS EXCEPT WHERE SUCH SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FAC. BLT. CHIMNEY SYSTEM AND ARE INSTALLED IN ACCORDANCE W/ MFG'R. INST. INSTRUCTIONS. REFER TO DETAIL 23/ AD-1.0
- FLAT COOL ROOF, CLASS 'A' - COLOR AS SELECTED - TPO MEMBRANE - REF. MAT. SCHEDULE SHT. A-4.0
- CORRUGATED METAL ROOFING - REF. MAT. SCHEDULE SHT. A-4.0
- GUTTER - ALUMINUM W/ KYNAR FINISH, SHAPE AS SEL. - PROVIDE SHOP DWGS. TO ARCH.
- EXTERIOR DECORATIVE RAIL
- INTERIOR GUARDRAIL - MIN. 36" HIGH - MATERIAL AS SELECTED, <4" MAX. SPHERE OPENING, REF. DTL. 4/AD-1
- DOWNSPOUT - ALUMINUM W/ KYNAR FINISH OR EQUIV. - AS SEL. (ARCH. TO APPROVE)
- FOOTPRINT OF EXISTING STRUCTURE, TO BE REMOVED
- PROPERTY LINE
- FRONT YARD SETBACK
- SIDE YARD SETBACK
- DECK DRAIN - SLOPE 2% MIN. - REF. DTL. 11/AD-1
- OVERFLOW DRAIN - REF. DTL. 12/AD-1

A KEYNOTES

DIMENSION NOTE:
ALL DIMS. ARE TO FACE OF STUD (F.O.S.) OR FACE OF SHT'G. (F.O.S.) TYP. U.N.O. EAVE DIMS. ARE FROM FACE OF SHT'G. TO FACE OF FINISH FASCIA.

ENCLOSED ATTIC AND ENCLOSED RAFTER SPACES VENTILATION NOTES:
1. ENCLOSED ATTIC AND ENCLOSED RAFTER SPACES SHALL HAVE CROSS VENTILATION BY VENTILATION OPENING PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW UNLESS THEY MEET THE REQUIREMENT OF SECTION R806.5 FOR UNVENTED ATTIC AND UNVENTED ENCLOSED RAFTER ASSEMBLIES. VENTILATION OPENING SHALL HAVE THE LEAST DIMENSION OF 1/16" MIN. AND 1/4" MAX OTHERWISE THE OPENING SHALL HAVE THE CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL WITH OPENINGS HAVE A LEAST DIMENSION OF 1/16" MIN. AND 1/4" MAX. OPENING IN ROOF FRAMING MEMBERS SHALL BE PER THE REQUIREMENT OF SECTION R802.7. REQUIRED VENTILATION OPENINGS SHALL OPEN DIRECTLY TO THE OUTSIDE AIR AND SHALL BE PROTECTED TO PREVENT THE ENTRY OF BIRDS, RODENTS, SNAKES AND OTHER SIMILAR CREATURES. (R806.1)

2. THE MINIMUM NET FREE VENTILATING AREA SHOULD BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPT FOR THE PROJECT LOCATED IN CLIMATE ZONE 14 OR 16 WITH A CLASS I OR II VAPOR RETARDER AT THE WARM-IN-WINTER SIDE OF THE CEILING AND WHERE MIN. 40% AND MAX 50% OF THE REQUIRED VENTILATION PROVIDED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE PER SECTION R806.2 THEN THE MINIMUM NET FREE VENTILATING AREA CAN BE 1/300 OF THE VENTED SPACE. (R802.2)

3. PROVIDE 1" SPACE BETWEEN THE INSULATION AND THE ROOF SHEATHING WHERE EAVE OR CORNICE VENTS PROVIDE BLOCKING, BRIDGING AND INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. (R806.3)

4. INSTALL VENTILATOR PER MANUFACTURER INSTRUCTION. INSTALL VENTILATOR IN ROOF PER SECTION R903 AND VENTILATOR IN WALL ASSEMBLIES.

5. FOR THE ATTIC WITH VERTICAL HEIGHT GREATER THAN OR EQUAL TO 30" (VERTICAL HEIGHT MEASURED FROM THE TOP OF CEILING JOIST TO THE BOTTOM OF THE ROOF RAFTERS) WITHIN 305.F. MIN. PROVIDE THE OPENING WITH ROUGH-FRAMED OPENING OF NOT LESS THAN 22"X30" WHICH SHOULD BE LOCATED IN HALLWAY/ OTHER LOCATION WITH READY ACCESS. IF THE ACCESS LOCATED IN THE WALL THEN THE WIDTH SHOULD BE 22" AND HEIGHT SHOULD BE 30" MIN. IF LOCATED IN CEILING THEN THE MIN. UNOBSTRUCTED HEADROOM IN THE ATTIC SHOULD BE 30" FROM THE BOTTOM OF CEILING JOIST AT SOME POINT.

ROOF DRAINAGE:
IF THE PROJECT LOCATED IN THE AREA WITH EXPANSIVE OR COLLAPSIBLE SOILS, WATER RUNOFF FROM ROOFS OF ALL DWELLINGS SHALL BE DISCHARGED TO THE GROUND SURFACE NOT LESS THAN 5 FEET FROM FOUNDATION WALLS OR TO AN APPROVED DRAINAGE SYSTEM. (R801.3) - REF.CIVIL DWGS FOR STORM WATER MANAGEMENT AND SYSTEM.

WEATHER PROTECTION:
1. ROOF DECKS SHALL BE COVERED WITH APPROVED ROOF COVERINGS SECURED TO THE BUILDING OR STRUCTURE. ROOF ASSEMBLIES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CHAPTER 9 OF CRC AND THE APPROVED MANUF.'S INSTRUCTS. SUCH THAT THE ROOF ASSEMBLY SHALL SERVE TO PROTECT THE BUILDING OR STRUCTURE.

2. PROVIDE AND INSTALL FLASHING TO PREVENT ENTRY OF MOISTURE TO WALL AND ROOF ASSEMBLIES THRU THE JOINTS IN COPINGS, PERMEABLE MATERIAL, AND AT INTERSECTION W/ PARAPET WALLS AND OTHER PENETRATION THRU ROOF.

3. FLASHINGS SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS. A FLASHING SHALL BE INSTALLED TO DIVERT THE WATER AWAY FROM WHERE THE EAVE OF A SLOPED ROOF INTERSECTS A VERTICAL SIDEWALL. WHERE FLASHING IS OF METAL, THE METAL SHALL BE CORROSION RESISTANT WITH A THICKNESS OF NOT LESS THAN 0.019 INCH (NO. 26 GALVANIZED SHEET). (R903.2.1)

4. A CRICKET OR SADDLE SHALL BE INSTALLED ON THE RIDGE SIDE OF ANY CHIMNEY OR PENETRATION MORE THAN 30 INCHES WIDE AS MEASURED PERPENDICULAR TO THE SLOPE. CRICKET OR SADDLE COVERINGS SHALL BE SHEET METAL OR OF THE SAME MATERIAL AS THE ROOF COVERING. INSTRUCTIONS SHALL BE PERMITTED TO BE INSTALLED WITHOUT A CRICKET OR SADDLE. (R903.2)

5. PARAPET WALLS SHALL BE PROPERLY COPED WITH NONCOMBUSTIBLE, WEATHERPROOF MATERIALS OF A WIDTH NOT LESS THAN THE THICKNESS OF THE PARAPET WALL. (R903.3)

6. UNLESS ROOFS ARE SLOPED TO DRAIN OVER ROOF EDGES, ROOF DRAINS SHALL BE INSTALLED AT EACH LOW POINT OF THE ROOF. IF WATER CAN BE ENTRAPPED WITHIN THE ROOF AREA THEN SECONDARY EMERGENCY OVERFLOW ROOF DRAINS OR SCUPPERS SHALL BE PROVIDED PER SECTION R903.4.1. (R903.4)

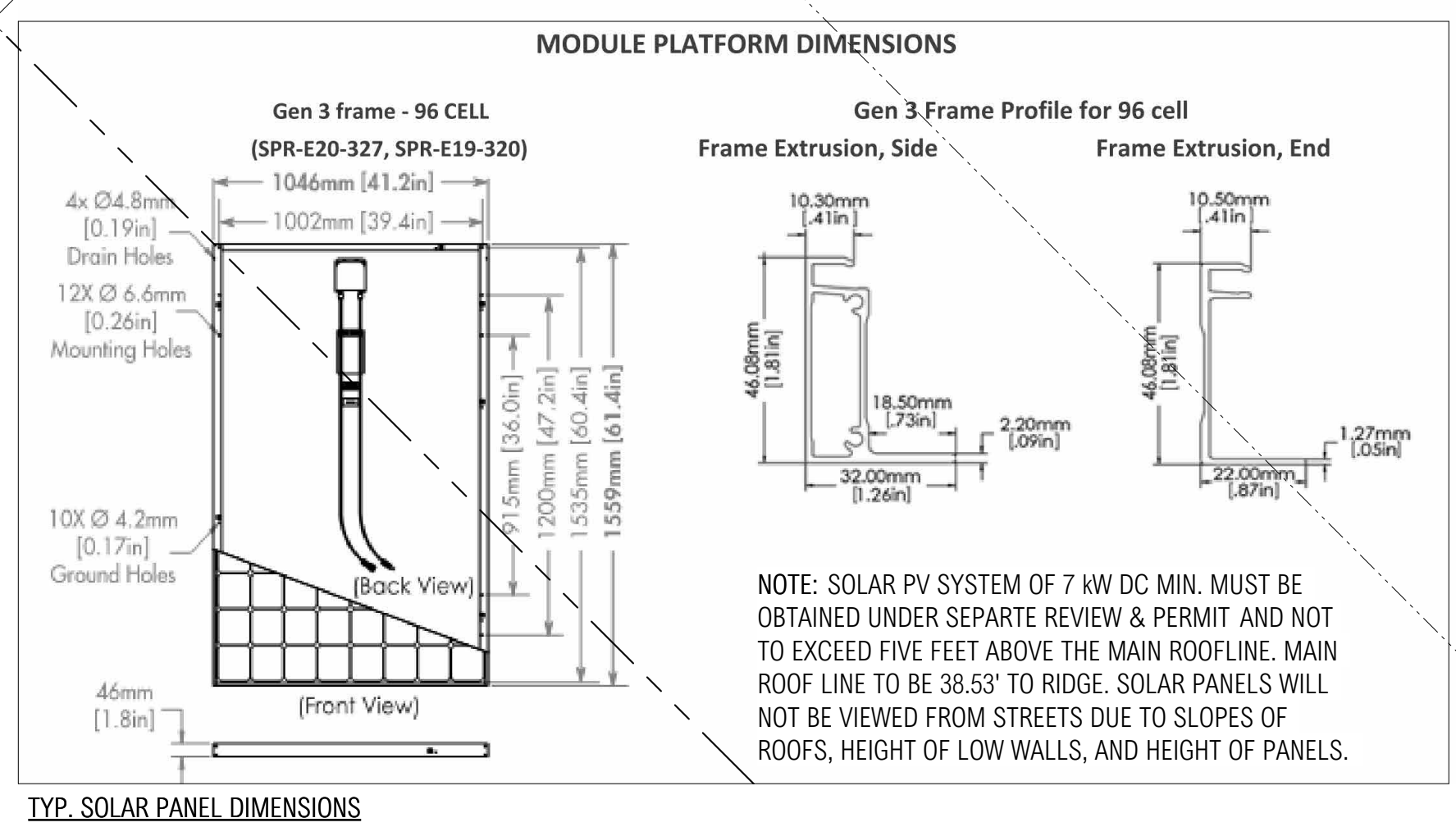
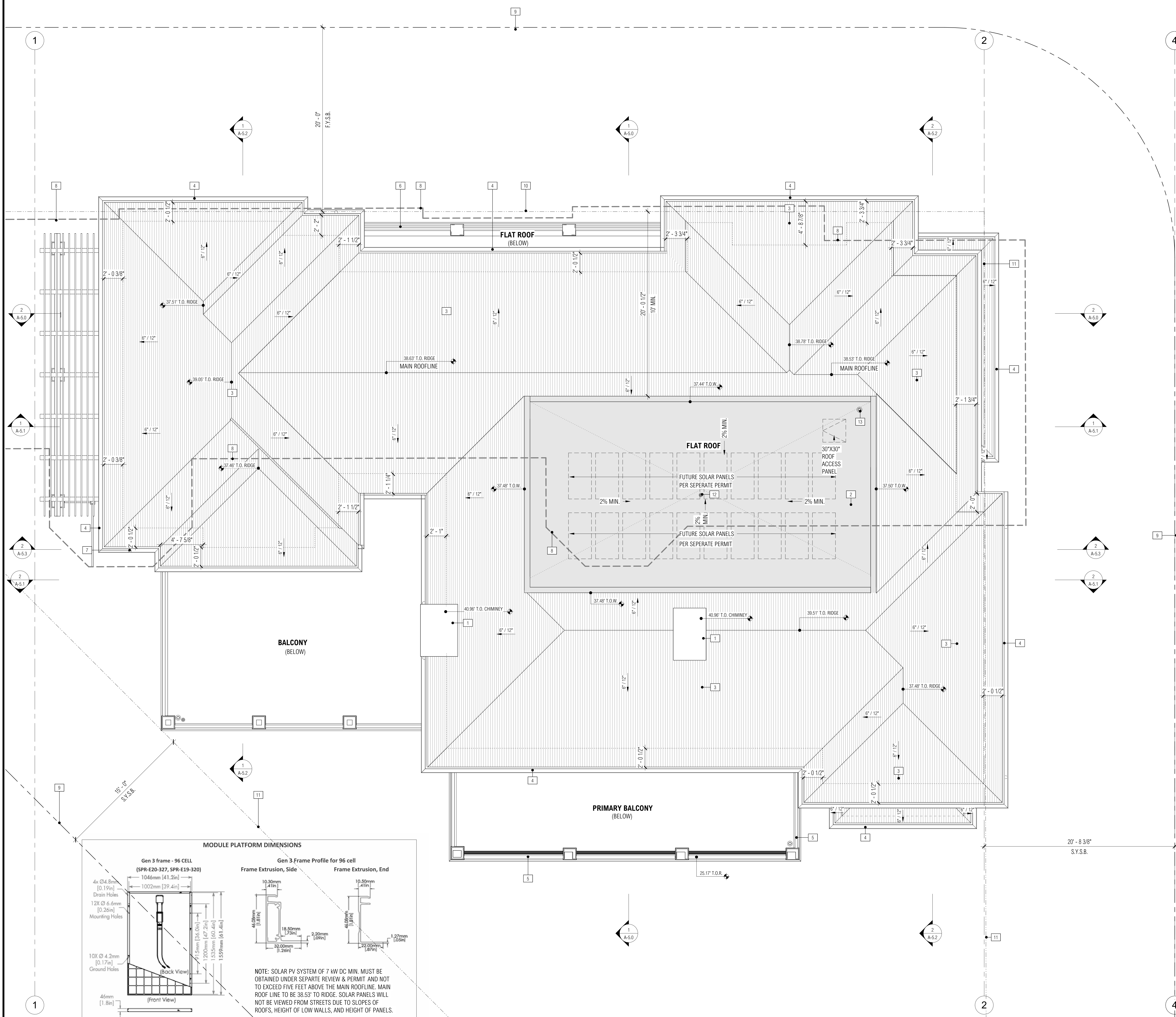
MISC. NOTES:
1. INSTALL ROOF PER ROOFING MFG'R. SPECS & INSTALLATION GUIDELINE

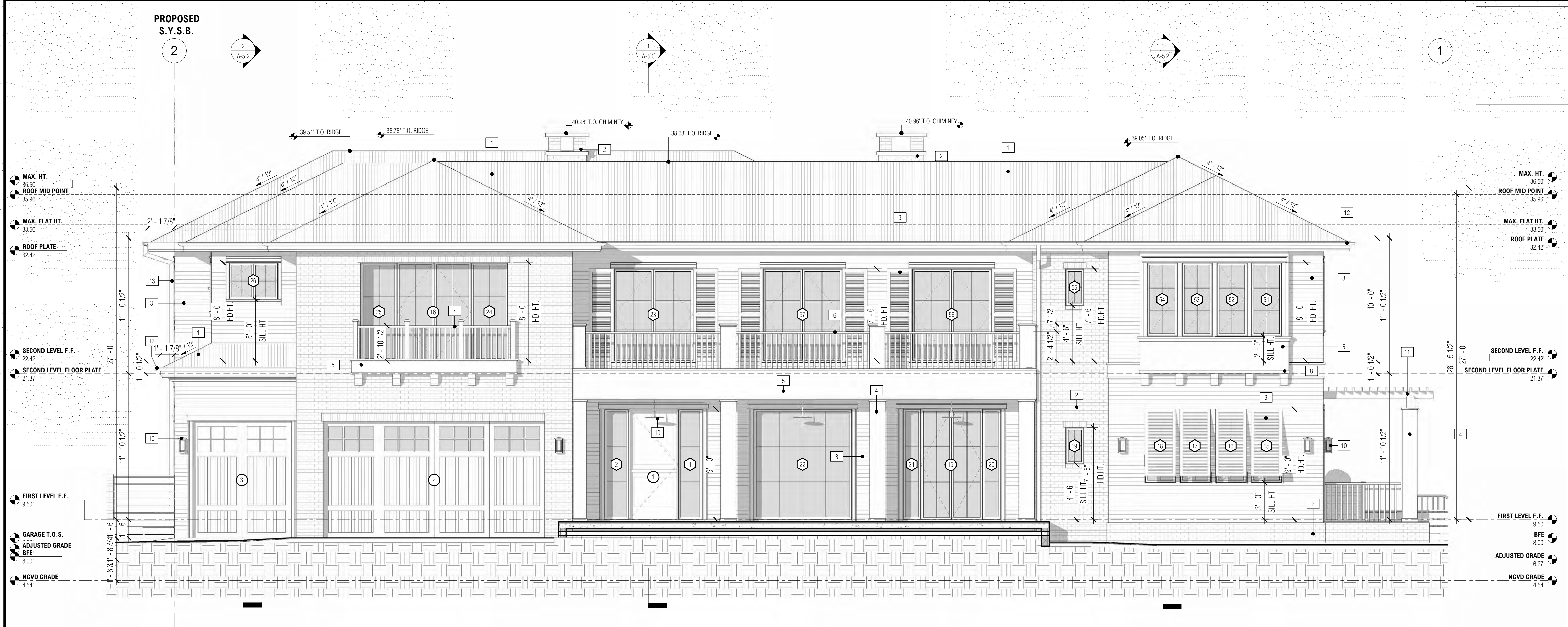
2. ARCH. TO APPV. SIZE, COLOR & PROFILE OF EAVE & RAKE COMPONENTS. G.C. TO PROVIDE MOCK-UPS.

3. UNVENTED ENCLOSED RAFTER ASSEMBLY: NO INTERIOR CLASS I VAPOR RETARDER SHALL BE INSTALLED ON THE CEILING SIDE (ATTIC FLOOR) OF THE UNVENTED ATTIC ASSEMBLY OR ON THE CEILING SIDE OF THE UNVENTED ENCLOSED ROOF FRAMING ASSEMBLY.

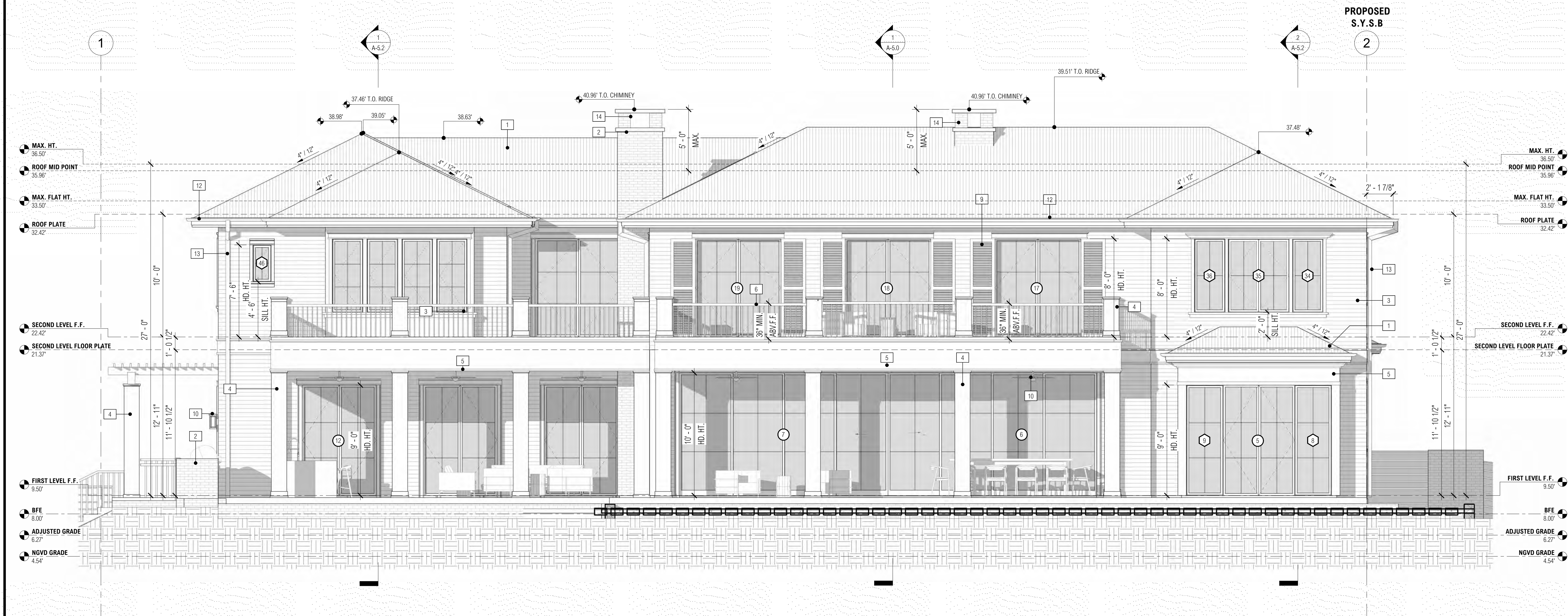
4. REF. WOOD OR WOODBASE PRODUCT NOTES ON FLOOR PLANS

B GENERAL NOTES





1 NORTH ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

WINDOWS & DOORS:

AUTHORIZED DEALER (PRODUCTS LISTED BELOW)
SUPPLIER: ASSOCIATED BUILDING SUPPLY
ADDRESS: STONE MILL DESIGN CENTER 2915 RED HILL AVE., SUITE F104, COSTA MESA, CA 92626
CONTACT: JOE YOUNAN
PHONE: 949-872-3319
FAX: 206-666-2150
EMAIL: JYOUNAN@ABSSSOCAL.COM
WEB: WWW.ASSOCIATEDBUILDINGSUPPLY.COM

ALUMINUM CLAD WINDOWS & PATIO DOORS
MANUFACTURER: JELD-WEN WINDOWS & DOORS
PRODUCT: CUSTOM COLLECTION
ADDRESS: 3250 LAKEPORT BLVD. P.O. BOX 1329; KLAMATH FALLS, OREGON 97601
PHONE: 541-885-7412 OR 800-535-3936
FAX: 541-884-3331
WEB: WWW.JELD-WEN.COM

MULTI SLIDE DOORS & STOREFRONT
MANUFACTURER: WESTERN WINDOW SYSTEMS
PRODUCT: SERIES 600 & STOREFRONT SYSTEMS
ADDRESS: 5621 S. 25TH ST., PHOENIX, AZ 85040
PHONE: 877.268.1300
WEB: WWW.WESTERNWINDOWSYSTEMS.COM

WOOD SIDING:
MANUFACTURER: TBD
COLOR: TBD
APPLICATION: TBD
CODE: TBD

ROOFING:
PRODUCT: TBD
MFR: TBD
COLOR: TO BE APPROVED BY ARCH. & OWNER
APPLICATION: TBD
CODE: ICC # ESR-
WEIGHT: ??? LBS./S.F.

GUTTERS:
MATERIAL: METAL - COPPER/ALUM. PAINTED KYNAR
SHAPE: HALF ROUND/SQUARE (5") (VERIFY W/ ARCH.)

GARAGE DOORS:
SUPPLIER: RANCH HOUSE DOORS
WEB: WWW.RANCHHOUSEDOORS.COM
STYLE: CUSTOM
MATERIAL: CUSTOM BUILT, WOOD & GLASS

WATERPROOF DECK MEMBRANE:
MFR: TUFFLEX POLYMERS
ADDRESS: 10880 POPLAR AVE., FONTANA, CA
PHONE: 909.349.2016
WEB: WWW.TUFFLEXPOLYMERS.COM
CODE: ICC # ESR-2505

FLASHING & WEATHERSTRIPPING
PROVIDE CORROSION-RESISTANCE METAL FLASHING PER CRC FOR ALL EXTERIOR FLASHING, MIN. 24 GAUGE COPPER (16 OZ.) SHEETS U.N.O. IN CRC OR MFR. INSTALLATION GUIDELINES. ALL METAL IN CONTACTS TO BE OF SIMILAR TYPE TO AVOID GALVANIC CORROSION. VERIFY W/ ARCHITECT ANY UNCONVENTIONAL ENVELOPE WATERPROOFING AREAS PRIOR TO INSTALLATION

1. FENESTRATIONS MUST HAVE TEMPORARY AND PERMANENT LABELS.
2. REF. ROOF PLAN (A-3.0) FOR ALL PLATE HTS. & RIDGE HTS.

BRANDON ARCHITECTS
151 KALAMUS DRIVE, SUITE G-1
COSTA MESA, CA 92626
714.754.0040
WWW.BRANDONARCHITECTS.COM

PROJECT STATUS
DRB FINAL SUBMITTAL

PLAN CHECK NO.
DRB22-0905

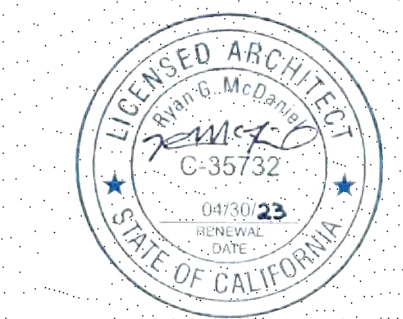
PROJECT CONTACT
RYAN MCDANIEL

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HERTZBERG RESIDENCE
NOT FOR CONSTRUCTION

A MATERIAL SPECIFICATIONS

- CORRUGATED METAL ROOFING - REF. MAT. SCHEDULE SHT. A-4.0
- BRICK VENEER - REF. MAT. SCHEDULE SHT. A-4.0
- SHIP LAP SIDING, FINISH AS SELECTED - REF. MATERIAL SCHEDULE SHT. A-4.0
- DECORATIVE WOOD WRAPPED COLUMN - REF. STRUCT. DWGS. & PROVIDE SHOP DWGS. FOR ARCH. & ENGINEER APPV. PRIOR TO FAB.
- WOOD PANEL SIDING - EXT. GRADE MDX, PAINT AS SEL., REF. MATERIAL SCHEDULE SHT. A-4.0
- EXTERIOR GUARDRAIL - MIN. 36" HEIGHT - 4" MAX. SPHERE OPENING, REF. DTL. 4/AD-1
- EXTERIOR DECORATIVE RAIL
- DECO 'BELLYBAND' - EXT. PAINT GRADE, SMOOTH FINISH, ARCH. TO APPROVE PROFILE, REF. DTL. 5/AD-1.0
- WOOD LOUVERED SHUTTER. ARCH TO APPROVE
- EXTERIOR LIGHTING - TO BE HIGH EFFICIENCY, LOW EFFICIENCY MAY BE PROVIDED PER ELECTRICAL NOTE #33
- WOOD TRELLIS, PAINT & SEAL AS SEL. - ARCH. TO APPV. - SIZE & CONN. PER STRUCT.
- GUTTER - ALUMINUM W/ KYNAR FINISH, SHAPE AS SEL. - PROVIDE SHOP DWGS. TO ARCH.
- DOWNSPOUT - ALUMINUM W/ KYNAR FINISH OR EQUIV. - AS SEL. (ARCH. TO APPROVE)
- CHIMNEY CAP/SPARK ARRESTOR - AS SELECTED (NOTE: DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY BUILT CHIMNEYS EXCEPT WHERE SUCH SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FAC. BTL. CHIMNEY SYSTEM AND ARE INSTALLED IN ACCORDANCE W/ MFR. INST. INSTRUCTIONS. REFER TO DETAIL 23/ AD-1.0

PROJECT ADDRESS:
1420 22ND ST., MIAMI BEACH, FL
DRB22-0905

OWNER INFORMATION:
DANIEL & AMANDA
HERTZBERG
1420 22nd STREET, MIAMI
BEACH, FL 33140

DATE
02/13/2023

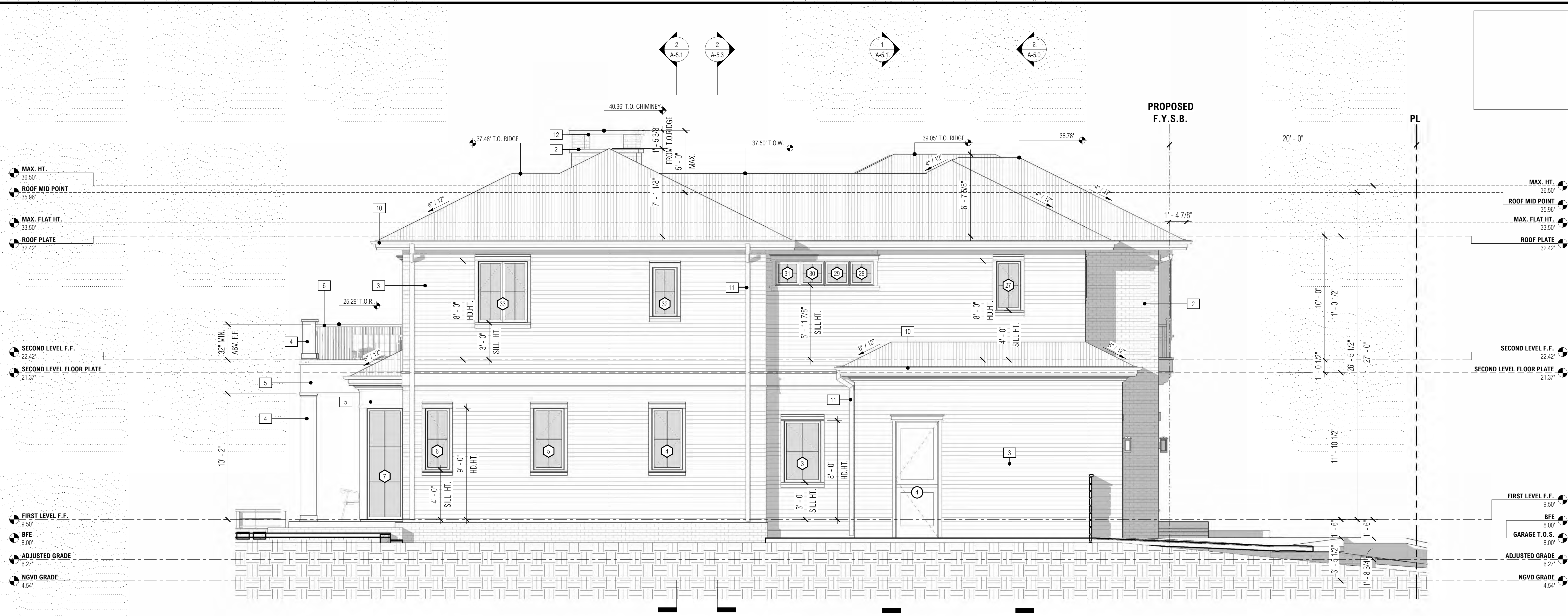
REVISIONS

NO.	REVISION	DATE
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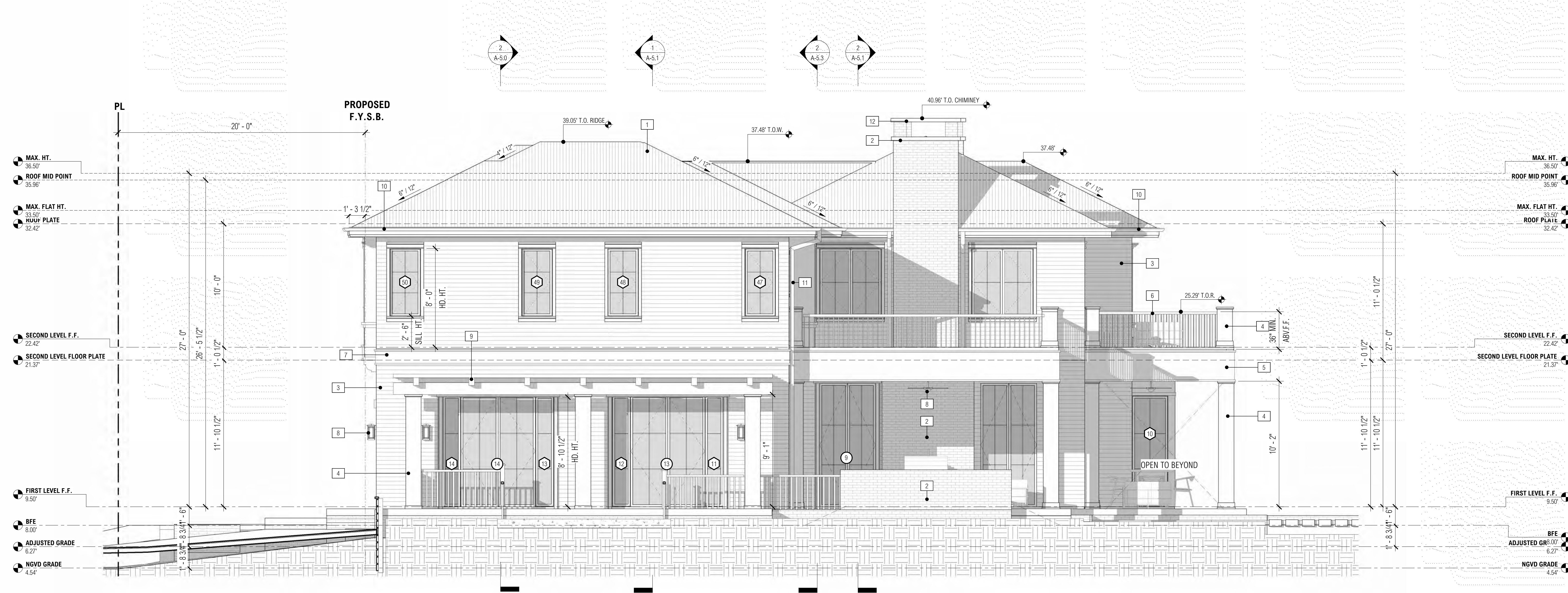
**EXTERIOR
ELEVATIONS**

A-4.0

C KEYNOTES



1 EAST ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

WINDOWS & DOORS:

AUTHORIZED DEALER (PRODUCTS LISTED BELOW)
SUPPLIER: ASSOCIATED BUILDING SUPPLY
ADDRESS: STONE MILL DESIGN CENTER 2915 RED HILL AVE., SUITE F104, COSTA MESA, CA 92626
CONTACT: JOE YOUNAN
PHONE: 949-872-3319
FAX: 206-666-2150
EMAIL: JYOUNAN@ABSSSOCAL.COM
WEB: WWW.ASSOCIATEDBUILDINGSUPPLY.COM

ALUMINUM CLAD WINDOWS & PATIO DOORS
MANUFACTURER: JELD-WEN WINDOWS & DOORS
PRODUCT: CUSTOM COLLECTION
ADDRESS: 3250 LAKEPORT BLVD. P.O. BOX 1329; KLAMATH FALLS, OREGON 97601
PHONE: 541-885-7412 OR 800-535-3936
FAX: 541-884-3331
WEB: WWW.JELD-WEN.COM

MULTI SLIDE DOORS & STOREFRONT
MANUFACTURER: WESTERN WINDOW SYSTEMS
PRODUCT: SERIES 600 & STOREFRONT SYSTEMS
ADDRESS: 5621 S. 25TH ST., PHOENIX, AZ 85040
PHONE: 877.268.1300
WEB: WWW.WESTERNWINDOWSYSTEMS.COM

WOOD SIDING:
MANUFACTURER: TBD
COLOR: TBD
APPLICATION: TBD
CODE: TBD

ROOFING:
PRODUCT: TBD
MFGR: TBD
COLOR: TO BE APPROVED BY ARCH. & OWNER
APPLICATION: TBD
CODE: ICC # ESR-
WEIGHT: ??? LBS./S.F.

GUTTERS:
MATERIAL: METAL - COPPER/ALUM. PAINTED KYNAR
SHAPE: HALF ROUND/SQUARE (5") (VERIFY W/ ARCH.)

GARAGE DOORS:
SUPPLIER: RANCH HOUSE DOORS
WEB: WWW.RANCHHOUSEDOORS.COM
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MATERIAL: CUSTOM BUILT, WOOD & GLASS

WATERPROOF DECK MEMBRANE:
MFGR: TUFFLEX POLYMERS
ADDRESS: 10880 POPLAR AVE., FONTANA, CA
PHONE: 909.349.2016
WEB: WWW.TUFFLEXPOLYMERS.COM
CODE: ICC # ESR-2505

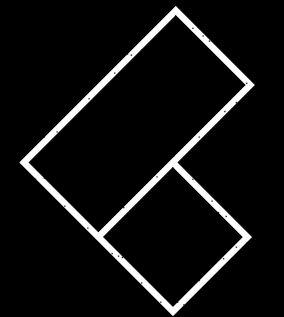
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C KEYNOTES

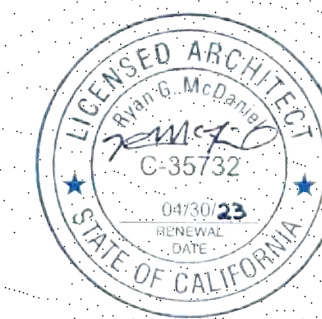


BRANDON ARCHITECTS
151 KALAMUS DRIVE, SUITE G-1
COSTA MESA, CA 92626
714.754.0040
WWW.BRANDONARCHITECTS.COM

PROJECT STATUS
DRB FINAL SUBMITTAL

PLAN CHECK NO.
DRB22-0905

PROJECT CONTACT
RYAN MCDANIEL



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1420 22ND ST., MIAMI BEACH, FL
DRB22-0905

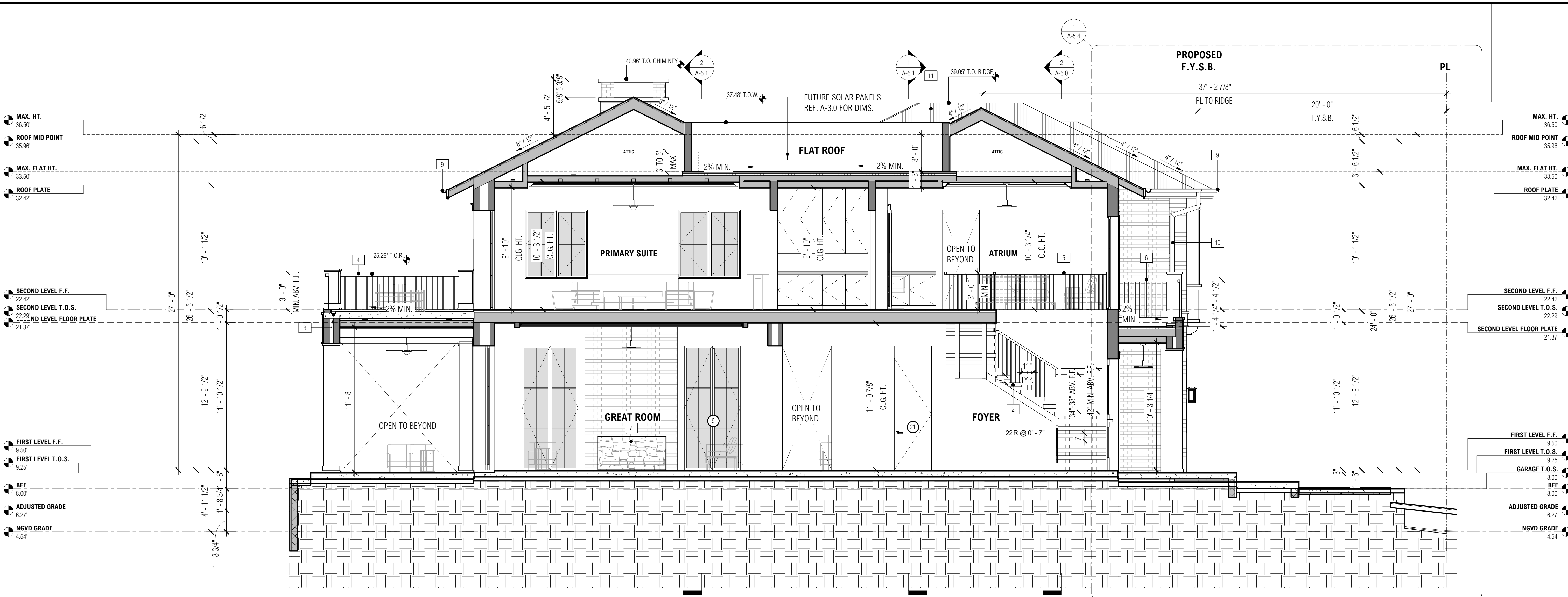
OWNER INFORMATION:
DANIEL & AMANDA HERTZBERG
1420 22nd STREET, MIAMI BEACH, FL 33140

DATE
02/13/2023

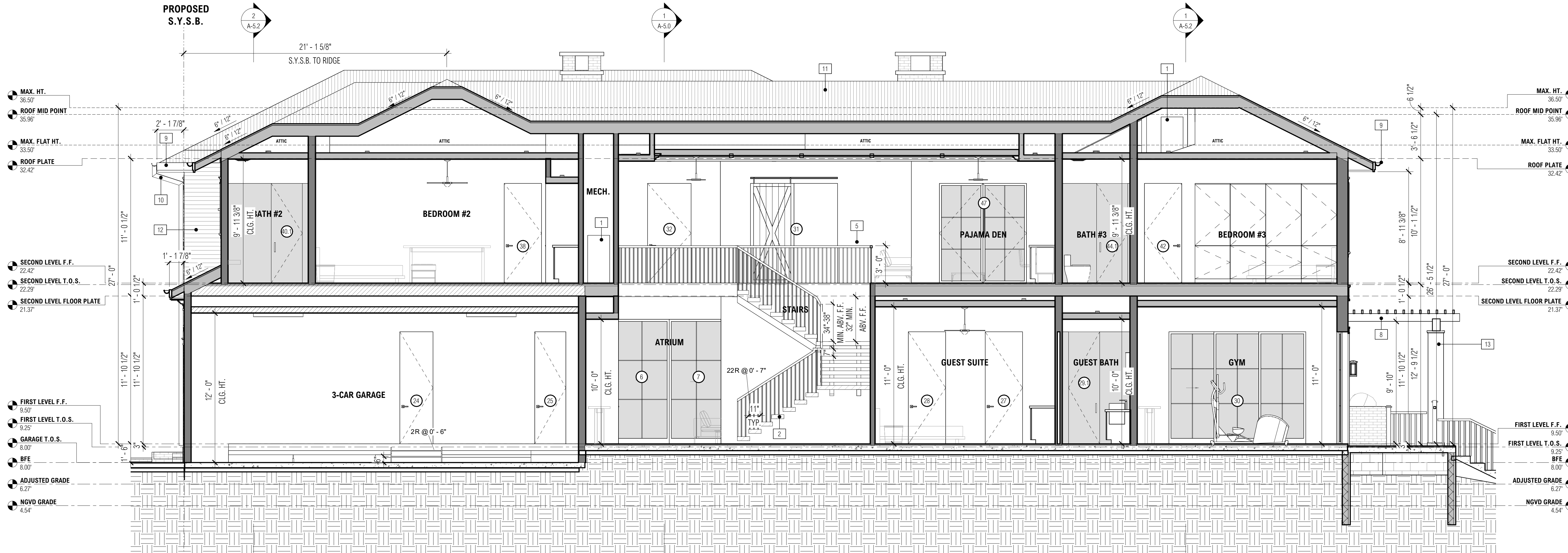
REVISIONS	NO.	REVISION	DATE
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EXTERIOR ELEVATIONS

A-4.1



1 TRANSVERSE SECTION - FOYER
1/4" = 1'-0"



2 LONGITUDINAL SECTION - STAIRS
1/4" = 1'-0"

FIREBLOCKING AND DRAFTSTOPPING SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS, BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE, AND SHALL SUBDIVIDE ATTIC SPACES, CONCEALED ROOF SPACES AND FLOOR-CEILING ASSEM. THE INTEGRITY TO BE MAINTAINED FIRE BLOCKS

- FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS & PARTITIONS, INCL. FURRED SPACES, AT THE CEILING, FLOOR LEVELS & AT 10FT INTERVALS BOTH VERTICAL & HORIZ.

FIRE BLOCK CONSTRUCTION

- FIREBLOCKING SHALL CONSIST OF 2" NOMINAL LUMBER. FIRE BLOCKS MAY ALSO BE OF GYPSUM BOARD, CEMENT FIBER BOARD, BATTS OR BLANKETS OF MINERAL OR GLASS FIBER, OR OTHER APPR. MATERIALS INSTALLED TO BE SECURELY RETAINED IN PLACE. DONT USED LOOSE-FILL INSULATION.

- WALLS HAVING PARALLEL/TAGGED STUDS FOR SOUND-TRANSMISSION CONTROL SHALL HAVE FIRE BLOCKS OF BATTS/BLANKETS OF MINERAL/GLASS FIBER/OTHER APPR. FLEXIBLE MATERIALS. DRAFT STOPS

- DRAFT STOPPING SHALL BE PROVIDED IN THE LOCATIONS SET FORTH IN THIS SECTION.

- DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN 1/2" GYPSUM BOARD, 3/8" WOOD STRUCT. PANEL, 3/8" TYPE 2-M PARTICLEBOARD/ APPROVED MATERIALS ADEQUATELY SUPPORTED.

- OPENINGS IN THE PARTITIONS SHALL BE PROTECTED BY SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.

- DRAFT STOPS SHALL BE INSTALLED IN FLOOR-CEILING ASSEMBLIES OF THE BUILDING.

- DRAFT STOPS SHALL BE INSTALLED IN THE ATTICS, MANSARDS, OVERHANGS, FALSE FRONTS SET OUT FROM WALLS & SIMILAR CONCEALED SPACES OF THIS BUILDING.

- DRAFT STOPS ABV. & IN LINE W/ THE WALLS SEP. INDIVID. UNITS FROM EA. OTHER & OTHER USES.

A FIRE-BLOCKING & DRAFT STOP NOTES

EXTERIOR WALL:
2 x 4 CONST. - R-13 MIN.
2 x 6 CONST. OR LARGER - R-20 MIN.

RAISED FLOOR: R-30 MIN.

ROOF: R-30

NOTES:
1. REF. T-24 REPORT FOR MORE INFORMATION
2. PROVIDE BID FOR INSULATION OF ENTIRE HOME
*TOTAL R-VALUE INCLUDING THE RIDGID AND SPRAYED AIR-IMPERMEABLE INSULATION WHERE OCCURS FOR UNVENTED ASSEMBLY

"ALWAYS CHECK THIS INSULATION SCHEDULE FOR CONFORMANCE WITH THE TITLE 24 REPORT"

B INSULATION SCHEDULE

ROOM NAME	ROOM TAG
	ELEVATION / SECTION INDICATOR
	CALL-OUT TAG
	SPOT ELEVATION
	KEYNOTE TAG
	DOOR / WINDOW / WINDOW WALL TAG
	REVISION TAG
	FIRE RATED CEILING ASSY - REF. DTLS. 7/AD-1.0
	1-HR RATED INT CONDITION - REF. DTLS. 7/AD-1.0
	1-HR RATED EXT CONDITION - REF. DTLS. 7/AD-1.0
	CONCRETE WALL/PODIUM DECK - PER STRUCT.
	REF. STRUCT DWGS. - FOR SLAB ON GRADE
	UNVENTED ROOF ASSEMBLY ROOF FRAMING - PER STRUCT., REF. STRUCT.
	VENTED ROOF ASSEMBLY ROOF FRAMING - PER STRUCT. PROVIDE CROSS VENTILATION, SEE ROOF PLAN SHEET A-3.0 FOR ATTIC VENT CALC
	INSULATED BUILDING ENVELOPE - 2X STUDS PER PLANS, SEE DIM.PLANS FOR MORE INFO - INSULATION PER INSULATION SCHEDULE

C ANNOTATION LEGEND

- FAU - PROVIDE GAS S.O., POWER, AND VENTING AS REQ'D. BY MFG'R.
- STAIRS - MAX. 7.75" RISE, MIN. 10" RUN, PROVIDE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT CANDLE (CBC 1205.4) REF. DTL. 3/AD-1
- CHANNEL DECK DRAIN - SLOPE 2% MIN. - REF. DTL. 11/AD-1
- EXTERIOR GUARDRAIL - MIN. 36" HEIGHT - 4" MAX. SPHERE OPENING, REF. DTL. 4/AD-1
- INTERIOR GUARDRAIL - MIN. 36" HIGH - MATERIAL AS SELECTED, <4" MAX. SPHERE OPENING, REF. DTL. 4/AD-1
- EXTERIOR DECORATIVE RAIL
- FIREPLACE - PREFABRICATED, GAS ONLY, 'ISOKERN,' ICC# ESR-2316 [REF. DTL. 22/AD-1] (FACTORY BUILT FIREPLACES, CHIMNEYS AND ALL OF THEIR COMPONENTS SHALL BE LISTED AN INSTALLED IN ACCORDANCE W/ THEIR LISTING AND MFG'R. INSTALLATION INSTRUCTIONS. GASEOUS FUEL BURNING PAN MUST BE PERMANENTLY ANCHORED TO THE FIREBOX. FIREPLACE MUST COMPLY W/ THE CALIFORNIA ENERGY STANDARDS MANDATORY MEASURES.)
- WOOD TRELLIS, PAINT & SEAL AS SEL. - ARCH. TO APPV. - SIZE & CONN. PER STRUCT.
- GUTTER - ALUMINUM W/ KYNAR FINISH, SHAPE AS SEL. - PROVIDE SHOP DWGS. TO ARCH.
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- CORRUGATED METAL ROOFING - REF. MAT. SCHEDULE SHT. A-4.0
- SHIP LAP SIDING, FINISH AS SELECTED - REF. MATERIAL SCHEDULE SHT. A-4.0
- DECORATIVE WOOD WRAPPED COLUMN - REF. STRUCT. DWGS. & PROVIDE SHOP DWGS. FOR ARCH. & ENGINEER APPV. PRIOR TO FAB.

D KEYNOTES

BRANDON ARCHITECTS

151 KALAMUS DRIVE, SUITE G-1
COSTA MESA, CA 92626
714.754.4040
WWW.BRANDONARCHITECTS.COM

PROJECT STATUS
DRB FINAL SUBMITTAL

PLAN CHECK NO.
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PROJECT CONTACT
RYAN MCDANIEL



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HERTZBERG RESIDENCE
NOT FOR CONSTRUCTION

PROJECT ADDRESS:
1420 22ND ST., MIAMI BEACH, FL
DRB22-0905

OWNER INFORMATION:
DANIEL & AMANDA
HERTZBERG
1420 22nd STREET, MIAMI BEACH, FL 33140

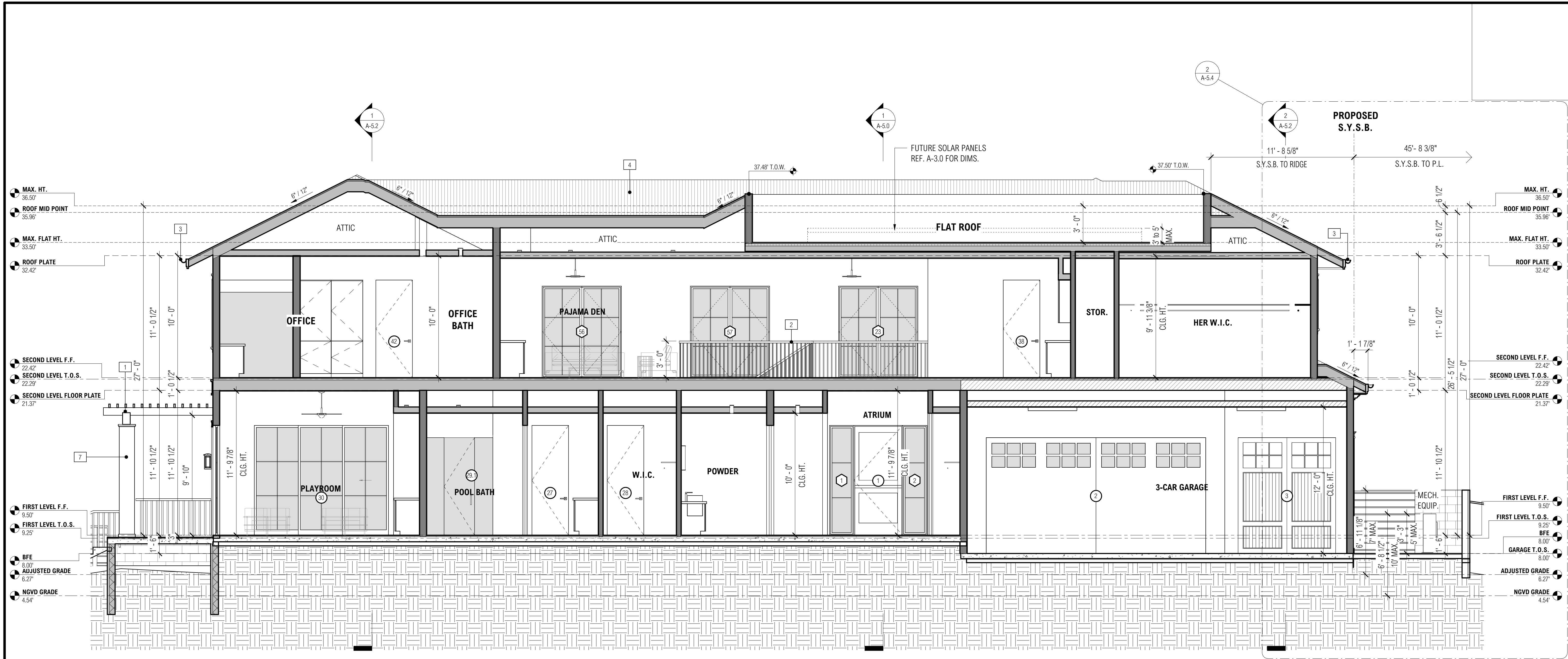
DATE
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REVISIONS

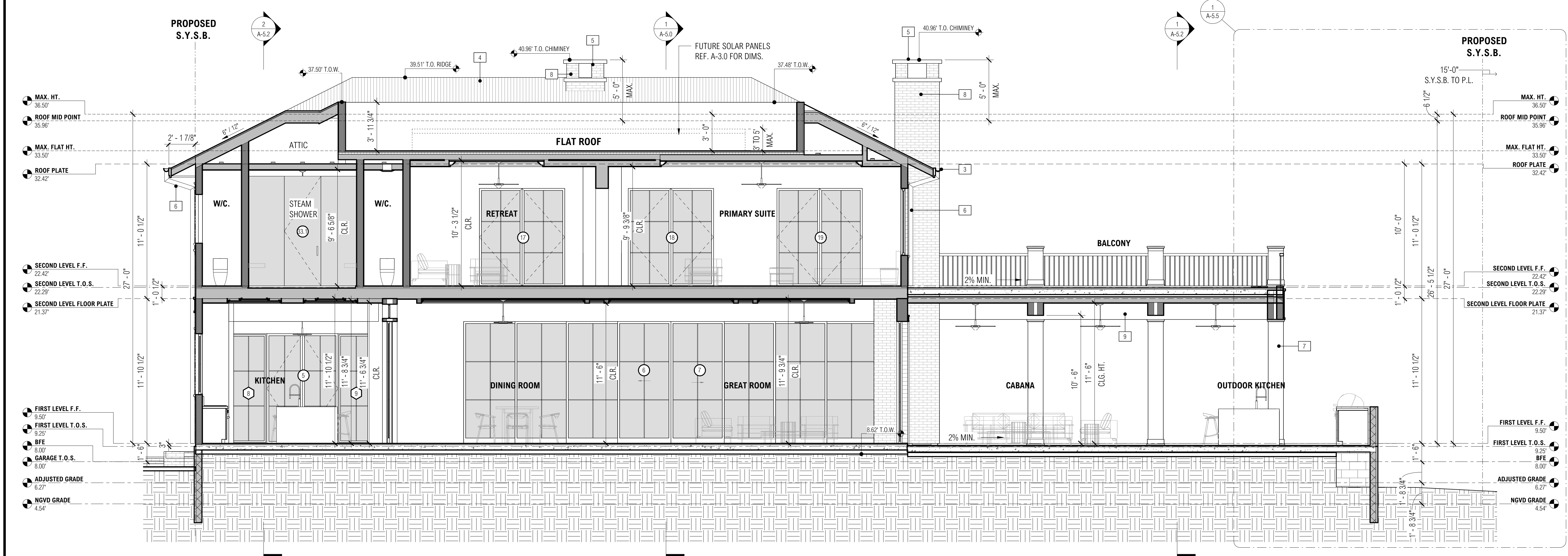
NO.	REVISION	DATE
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BUILDING SECTIONS

A-5.0



1 LONGITUDINAL SECTION - FAMILY DEN
1/4" = 1'-0"



2 LONGITUDINAL SECTION - PRIMARY SUITE
1/4" = 1'-0"

FIREBLOCKING AND DRAFTSTOPPING SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS, BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE, AND SHALL SUBDIVIDE ATTIC SPACES, CONCEALED ROOF SPACES AND FLOOR-CEILING ASSEM. THE INTEGRITY TO BE MAINTAINED.

FIRE BLOCKS

- FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS & PARTITIONS, INCL. FURRED SPACES, AT THE CEILING, FLOOR LEVELS & AT 10FT INTERVALS BOTH VERTICAL & HORIZ.

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- WALLS HAVING PARALLEL/STAGGERED STUDS FOR SOUND-TRANSMISSION CONTROL SHALL HAVE FIRE BLOCKS OF BATTS/BLANKETS OF MINERAL/GLASS FIBER/OTHER APPR. FLEXIBLE MATERIALS.

DRAFT STOPS

- DRAFT STOPPING SHALL BE PROVIDED IN THE LOCATIONS SET FORTH IN THIS SECTION.
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- OPENINGS IN THE PARTITIONS SHALL BE PROTECTED BY SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.
- FLOOR-CEILING ASSEMBLIES AND ATTICS
- DRAFT STOPS SHALL BE INSTALLED IN FLOOR-CEILING ASSEMBLIES OF THE BUILDING.
- DRAFT STOPS SHALL BE INSTALLED IN THE ATTICS, MANSARDS, OVERHANGS, FALSE FRONTS SET OUT FROM WALLS & SIMILAR CONCEALED SPACES OF THIS BUILDING.
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EXTERIOR WALL:
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	REF. STRUCT DWGS. - FOR SLAB ON GRADE
	UNVENTED ROOF ASSEMBLY ROOF FRAMING - PER STRUCT.
	REF. STRUCT. PROVIDE CROSS VENTILATION, SEE ROOF PLAN SHEET A-3.0 FOR ATTIC VENT CALC
	INSULATED BUILDING ENVELOPE - 2X STUDS PER PLANS, SEE DIM. PLANS FOR MORE INFO - INSULATION PER INSULATION SCHEDULE

C ANNOTATION LEGEND

- WOOD TRELLIS, PAINT & SEAL AS SEL. - ARCH. TO APPV. - SIZE & CONN. PER STRUCT.
- INTERIOR GUARDRAIL - MIN. 36" HIGH - MATERIAL AS SELECTED, <4" MAX. SPHERE OPENING, REF. DTL. 4/AD-1
- GUTTER - ALUMINUM W/ KYNAR FINISH, SHAPE AS SEL. - PROVIDE SHOP DWGS. TO ARCH.
- CORRUGATED METAL ROOFING - REF. MAT. SCHEDULE SHT. A-4.0
- CHIMNEY CAP/SPARK ARRESTOR - AS SELECTED (NOTE: DECORATIVE SHROUDS SHALL NOT BE INSTALLED AT THE TERMINATION OF FACTORY BUILT CHIMNEYS EXCEPT WHERE SUCH SHROUDS ARE LISTED AND LABELED FOR USE WITH THE SPECIFIC FAC. BLT. CHIMNEY SYSTEM AND ARE INSTALLED IN ACCORDANCE W/ MFGR. INST. INSTRUCTIONS. REFER TO DETAIL 23/ AD-1.0
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- DECORATIVE WOOD WRAPPED COLUMN - REF. STRUCT. DWGS. & PROVIDE SHOP DWGS. FOR ARCH. & ENGINEER APPV. PRIOR TO FAB.
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- WOOD PANEL SIDING - EXT. GRADE MDX, PAINT AS SEL., REF. MATERIAL SCHEDULE SHT. A-4.0

D KEYNOTES

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PROJECT STATUS
DRB FINAL SUBMITTAL

PLAN CHECK NO.
DRB22-0905

PROJECT CONTACT
RYAN MCDANIEL

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PROJECT ADDRESS:
1420 22ND ST., MIAMI BEACH, FL
DRB22-0905

OWNER INFORMATION:
DANIEL & AMANDA
HERTZBERG
1420 22nd STREET, MIAMI
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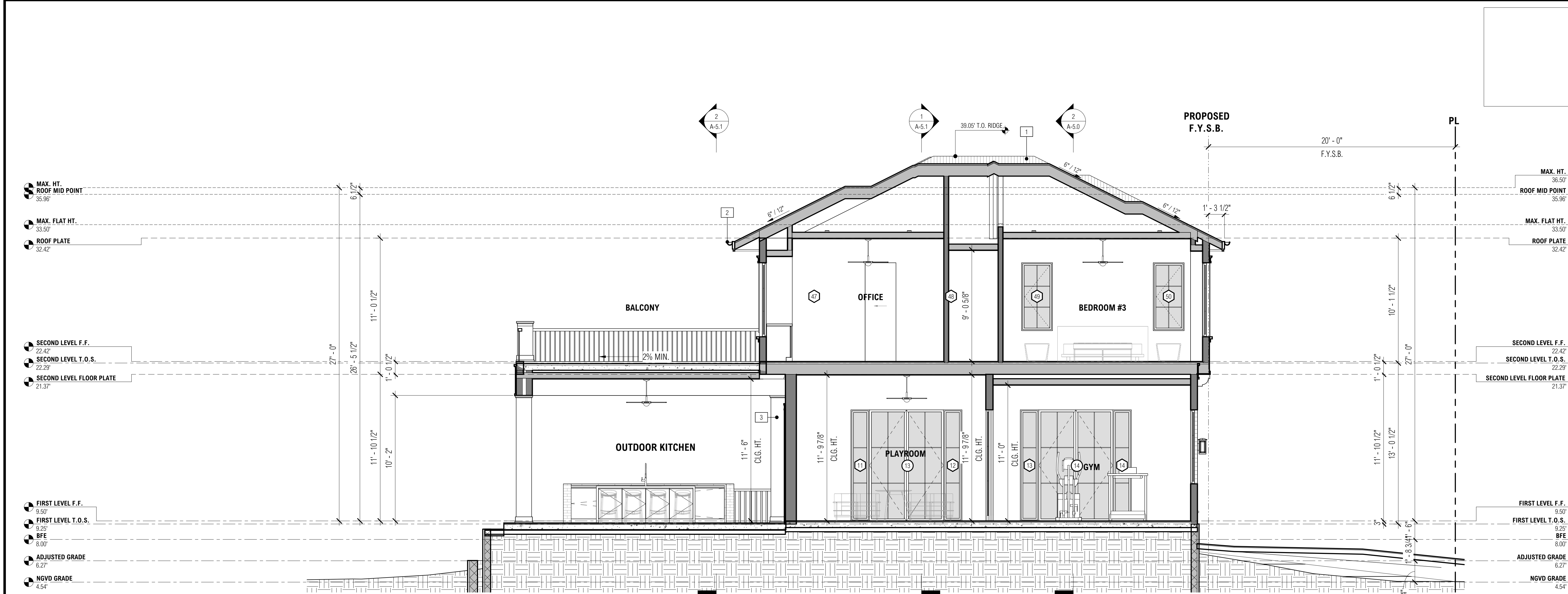
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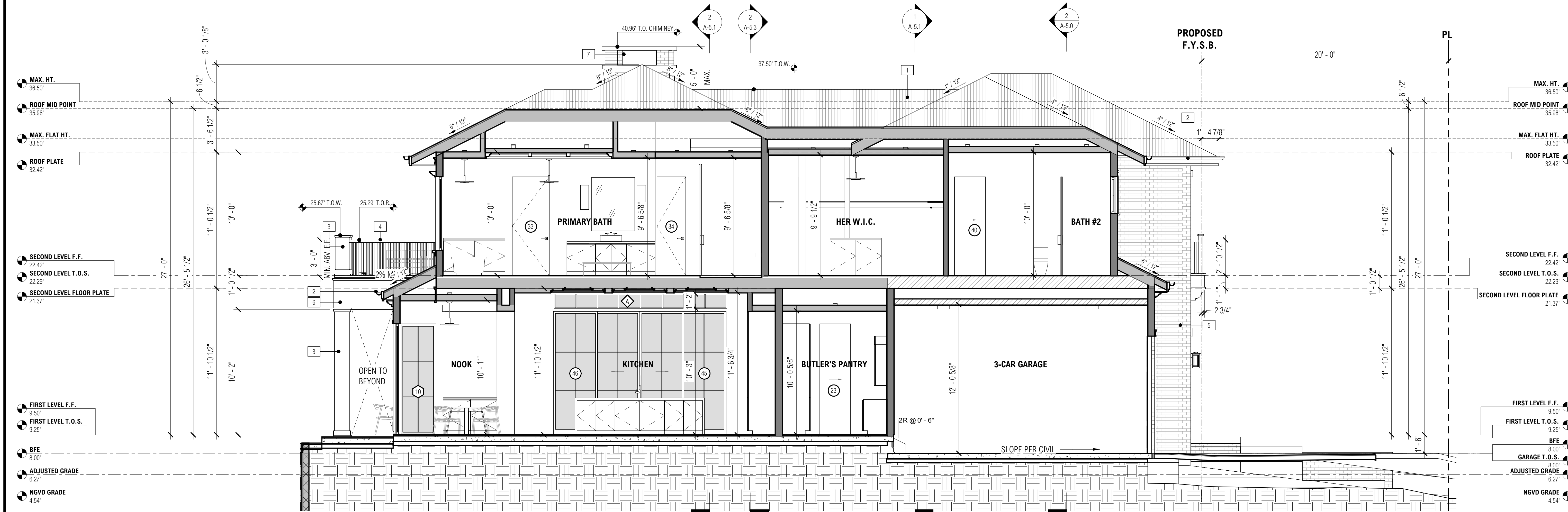
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BUILDING SECTIONS

A-5.1



1 TRANSVERSE SECTION - GYM
1/4" = 1'-0"



2 TRANSVERSE SECTION - KITCHEN
1/4" = 1'-0"

FIREBLOCKING AND DRAFTSTOPPING SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS, BETWEEN A TOP STORY AND A ROOF OR ATTIC SPACE, AND SHALL SUBDIVIDE ATTIC SPACES, CONCEALED ROOF SPACES AND FLOOR-CEILING ASSEM. THE INTEGRITY TO BE MAINTAINED.

FIRE BLOCKS

- FIREBLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS & PARTITIONS, INCL. FURRED SPACES, AT THE CEILING, FLOOR LEVELS & AT 10FT INTERVALS BOTH VERTICAL & HORIZ.

FIRE BLOCK CONSTRUCTION

- FIREBLOCKING SHALL CONSIST OF 2" NOMINAL LUMBER. FIRE BLOCKS MAY ALSO BE OF GYPSUM BOARD, CEMENT FIBER BOARD, BATTS OR BLANKETS OF MINERAL OR GLASS FIBER, OR OTHER APPR. MATERIALS INSTALLED TO BE SECURELY RETAINED IN PLACE. DONT USED LOOSE-FILL INSULATION.
- WALLS HAVING PARALLEL/STAGGERED STUDS FOR SOUND-TRANSMISSION CONTROL SHALL HAVE FIRE BLOCKS OF BATTS/BLANKETS OF MINERAL/GLASS FIBER/OTHER APPR. FLEXIBLE MATERIALS.

DRAFT STOPS

- DRAFT STOPPING SHALL BE PROVIDED IN THE LOCATIONS SET FORTH IN THIS SECTION.
- DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN 1/2" GYPSUM BOARD, 3/8" WOOD STRUCT. PANEL, 3/8" TYPE 2-M PARTICLEBOARD/ APPROVED MATERIALS ADEQUATELY SUPPORTED.
- OPENINGS IN THE PARTITIONS SHALL BE PROTECTED BY SELF-CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.
- FLOOR-CEILING ASSEMBLIES AND ATTICS
- DRAFT STOPS SHALL BE INSTALLED IN FLOOR-CEILING ASSEMBLIES OF THE BUILDING.
- DRAFT STOPS SHALL BE INSTALLED IN THE ATTICS, MANSARDS, OVERHANGS, FALSE FRONTS SET OUT FROM WALLS & SIMILAR CONCEALED SPACES OF THIS BUILDING.
- DRAFT STOPS ABV. & IN LINE W/ THE WALLS SEP. INDIVID. UNITS FROM EA. OTHER & OTHER USES.

A FIRE-BLOCKING & DRAFT STOP NOTES

EXTERIOR WALL:
2 x 4 CONST. R-13 MIN.
2 x 6 CONST. OR LARGER: R-20 MIN.

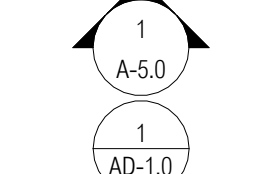
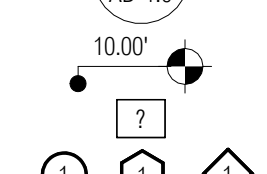
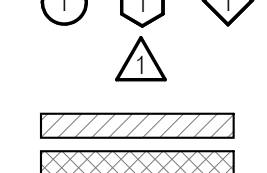
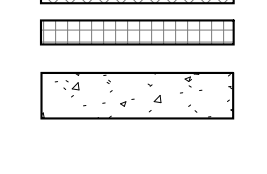
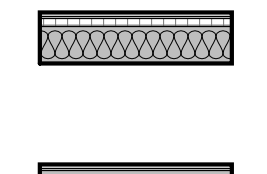
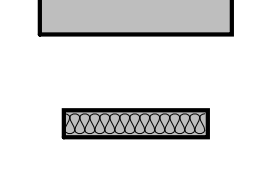

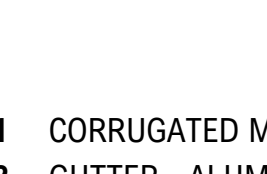
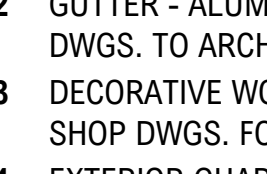
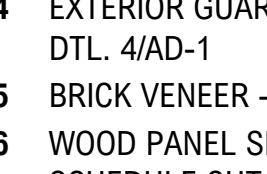
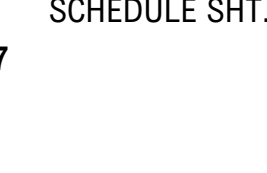



RAISED FLOOR: R-30 MIN.

ROOF: R-30

NOTES:
1. REF. T-24 REPORT FOR MORE INFORMATION
2. PROVIDE BID FOR INSULATION OF ENTIRE HOME
*TOTAL R-VALUE INCLUDING THE RIDGID AND SPRAYED AIR-IMPERMEABLE INSULATION WHERE OCCURS FOR UNVENTED ASSEMBLY

****ALWAYS CHECK THIS INSULATION SCHEDULE FOR CONFORMANCE WITH THE TITLE 24 REPORT****

B INSULATION SCHEDULE

ROOM NAME	ROOM TAG
	ELEVATION / SECTION INDICATOR
	CALL-OUT TAG
	SPOT ELEVATION
	KEYNOTE TAG
	DOOR / WINDOW / WINDOW WALL TAG
	REVISION TAG
	FIRE RATED CEILING ASS'Y - REF. DTLS. 7/AD-1.0
	1-HR RATED INT CONDITION - REF. DTLS. 7/AD-1.0
	1-HR RATED EXT CONDITION - REF. DTLS. 7/AD-1.0
	CONCRETE WALL/PODIUM DECK - PER STRUCT.
	REF. STRUCT DWGS. - FOR SLAB ON GRADE
	UNVENTED ROOF ASSEMBLY ROOF FRAMING - PER STRUCT., REF. STRUCT.
	VENTED ROOF ASSEMBLY ROOF FRAMING - PER STRUCT. PROVIDE CROSS VENTILATION, SEE ROOF PLAN SHEET A-3.0 FOR ATTIC VENT CALC
	INSULATED BUILDING ENVELOPE - 2X STUDS PER PLANS, SEE DIM. PLANS FOR MORE INFO - INSULATION PER INSULATION SCHEDULE

C ANNOTATION LEGEND

- CORRUGATED METAL ROOFING - REF. MAT. SCHEDULE SHT. A-4.0
- GUTTER - ALUMINUM W/ KYNAR FINISH, SHAPE AS SEL. - PROVIDE SHOP DWGS. TO ARCH.
- DECORATIVE WOOD WRAPPED COLUMN - REF. STRUCT. DWGS. & PROVIDE SHOP DWGS. FOR ARCH. & ENGINEER APPV. PRIOR TO FAB.
- EXTERIOR GUARDRAIL - MIN. 36" HEIGHT - 4" MAX. SPHERE OPENING, REF. DTL. 4/AD-1
- BRICK VENEER - REF. MAT. SCHEDULE SHT. A-4.0
- WOOD PANEL SIDING - EXT. GRADE MDX, PAINT AS SEL., REF. MATERIAL SCHEDULE SHT. A-4.0
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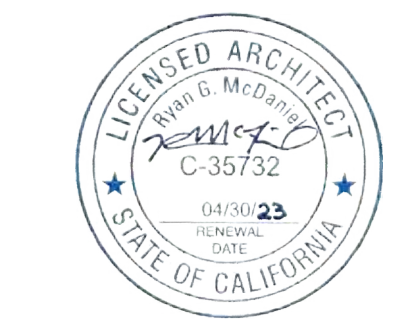
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HERTZBERG RESIDENCE
NOT FOR CONSTRUCTION

PROJECT ADDRESS:
1420 22ND ST., MIAMI BEACH, FL
DRB22-0905

OWNER INFORMATION:
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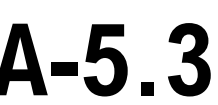
DATE
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REVISIONS

NO.	REVISION	DATE
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BUILDING SECTIONS

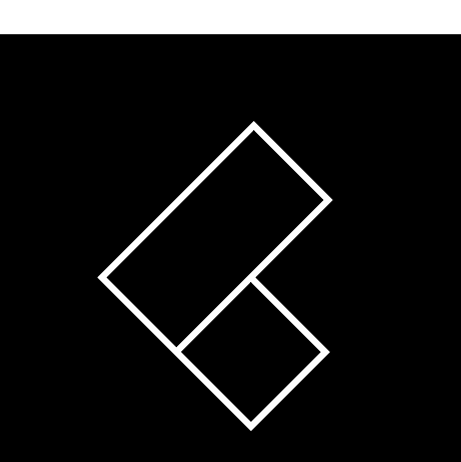
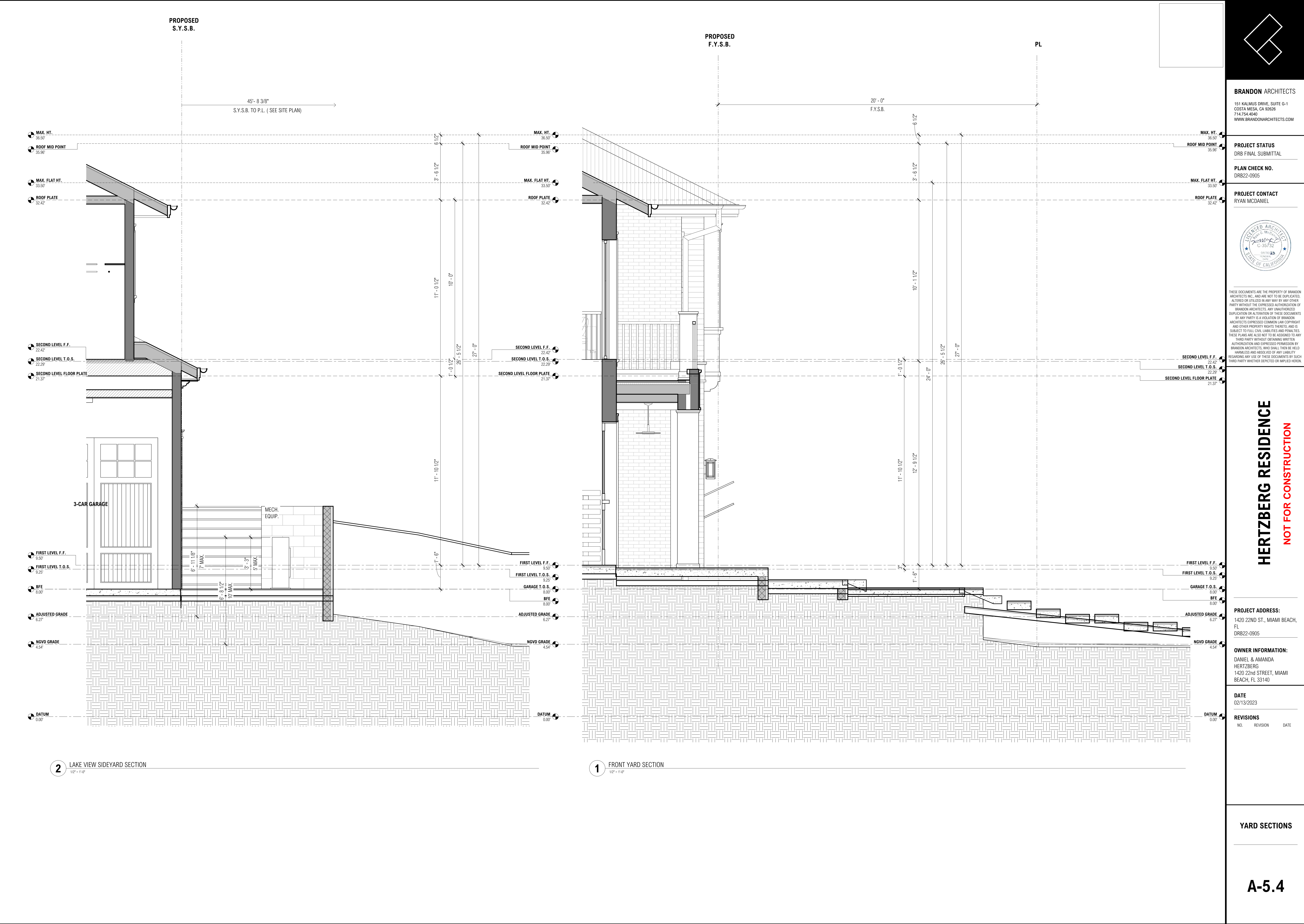
A-5.2



1 TRANSVERSE SECTION - STREET SECTION
3/16" = 1'-0"

2 LONGITUDINAL SECTION - STREET SECTION 2
3/16" = 1'-0"

D KEYNOTES



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HERTZBERG
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BEACH, FL 33140

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YARD SECTIONS

A-5.4

1 SUNSET DRIVE - SIDE YARD SECTION
1/2" = 1'-0"