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Project Title

8 CENTURY LANE

PROPOSED NEW SINGLE
FAMILY RESIDENCE FOR
MR. MICHAEL SAIGER

8 CENTURY LANE
MIAMI BEACH, FL 33139

Issued for:
DRB FINAL SUBMITTAL

Sheet Title:
CONTEXT
AERIAL IMAGES

Project No. 2202	Sheet No. A0-4
Date 07/11/2022	
Drawn By A.S./M.G.	
Reviewed By PGS	Sheet 4 of 30



KEY DIRECTIONAL PLAN



VIEW OF SITE FROM WATERWAY 01



VIEW OF SITE FROM WATERWAY 02



VIEW OF SITE FROM VENETIAN WAY 03

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Sheet Title:
PROJECT SITE
SURROUNDINGS

Project No. 2202	Sheet No. A0-5
Date 11/07/2022	
Drawn By A.S./M.G.	
Reviewed By PGS	Sheet 5 of 30

NOTE: REFER TO KEY DIRECTIONAL PLAN ON SHEET A0-6



5/31/22

PROPERTY FRONT @ CENTURY LANE 04



5/31/22

7 CENTURY LANE | NEXT DOOR 05



5/31/22

9 CENTURY LANE | NEXT DOOR 06



1 CENTURY LN | ACROSS THE STREET 07

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Sheet Title:
PROJECT SITE IMAGES

Project No. 2202	Sheet No. A0-6
Date 11/07/2022	
Drawn By A.S./M.G.	
Reviewed By PGS	Sheet 6 of 30



KEY DIRECTIONAL PLAN



EXISTING STRUCTURES 08



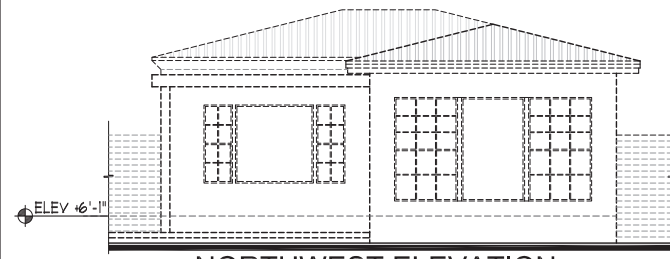
EXISTING STRUCTURES 09



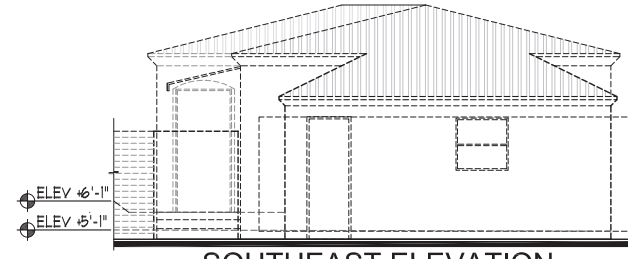
EXISTING STRUCTURES 10

DEMOLITION LEGEND

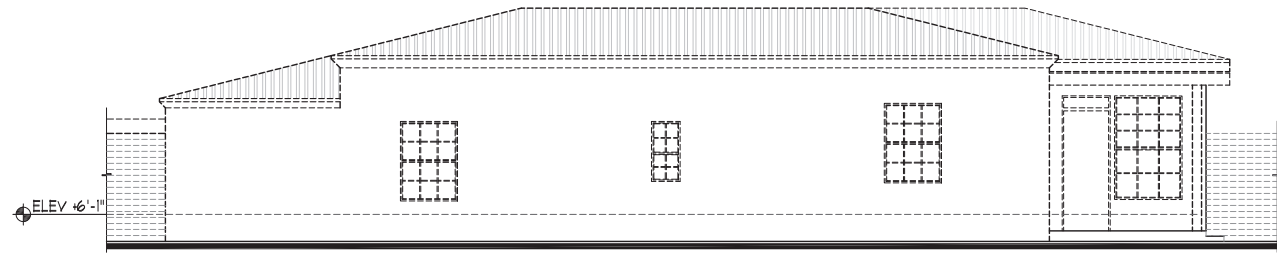
EXIST'G CONSTRUCTION TO BE REMOVED



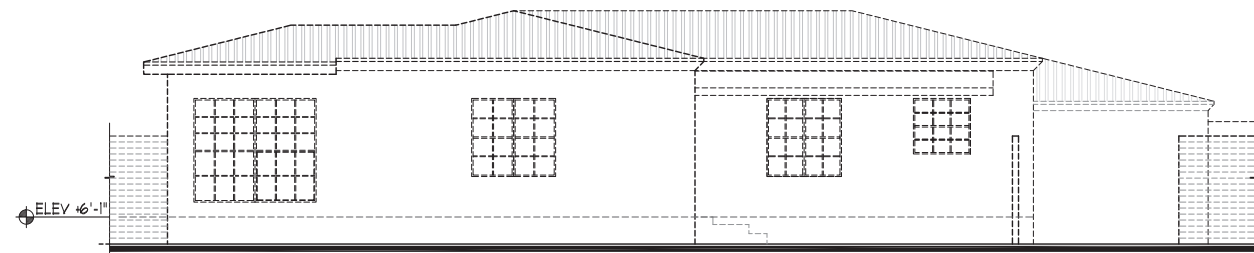
NORTHWEST ELEVATION



SOUTHEAST ELEVATION



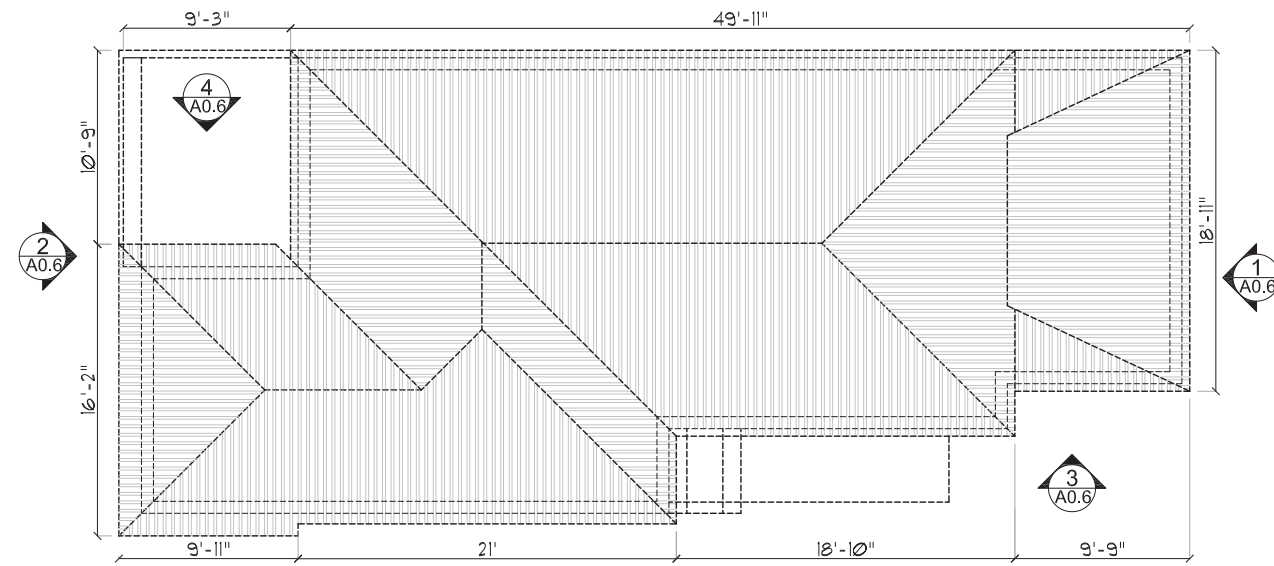
NORTHEAST ELEVATION



SOUTHWEST ELEVATION

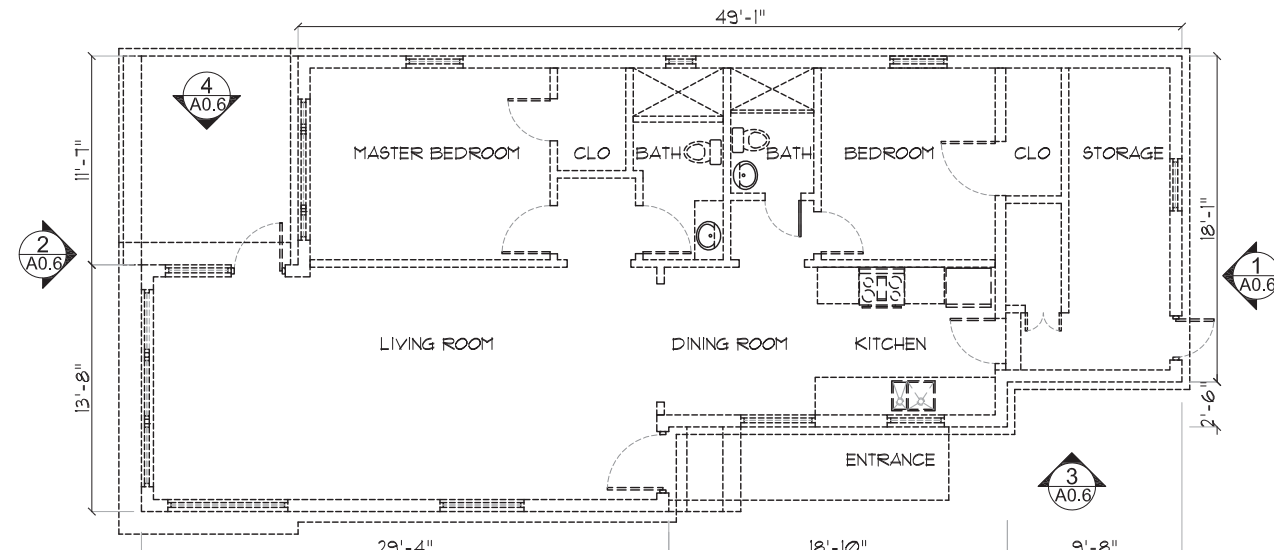
DEMOLITION GENERAL NOTES

- ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2020 11TH EDITION, AND LOCAL ORDINANCES REQUIREMENTS. THE CONTRACTOR IS TO BID THE WORK TO CONFORM WITH THIS CODE.
- INTENT OF THESE DRAWINGS IS THAT THE CONTRACTOR'S WORK WILL CONSIST OF FURNISHING ALL DEMOLITION, LABOR MATERIALS, EQUIPMENT AND DEBRIS REMOVAL NECESSARY TO COMPLETE THE SCOPE OF WORK INDICATED ON THESE DRAWINGS.
- OBTAIN CLARIFICATION AND INTERPRETATION OF DRAWINGS AND SPECIFICATIONS, INCLUDING ADDITIONAL DETAILS, DIRECTLY FROM THE ARCHITECT.
- DEMOLITION SHALL BE SELECTIVE AS INDICATED ON THESE DRAWINGS. REFER TO DEMOLITION SCOPE OF WORK.
- DEMOLITION WORK TO INCLUDE REMOVAL OF EXISTING COMPONENTS, NECESSARY AND INCIDENTAL TO COMPLETE SCOPE OF WORK. REFER TO DRAWINGS FOR LOCATION OF WORK.
- SCOPE OF WORK TO INCLUDE TOTAL DEMOLITION OF EXISTING BUILDING AND SITE CONSTRUCTION OF ANY KIND. REMOVE EXISTING PAVING, LANDSCAPING AND FENCE.
- EXECUTION OF DEMOLITION AND ALTERATION WORK SHALL PROGRESS IN SUCH A MANNER AS NOT TO INTERFERE WITH SAFETY AND CONVENIENCE OF THOSE OCCUPYING AND/OR EMPLOYED IN AND ABOUT PREMISES. SAFETY FEATURES FOR PROTECTION OF EMPLOYEES AND THE PUBLIC SHALL COMPLY WITH MINIMUM STANDARDS OF THE FLORIDA INDUSTRIAL COMMISSION.
- COORDINATE WITH APPLICABLE UTILITY COMPANIES FOR UTILITY LINE REMOVAL, IF ANY, AND RELATED CAPPING AND UTILITY SHUTDOWN IF NECESSARY BY SUCH DEMOLITION WORK.
- DEMOLITION AND REMOVAL OPERATIONS SHALL BE CONDUCTED IN AN EXPEDIENT MANNER, WITH PRECAUTIONS TAKEN TO PREVENT DEMOLITION SITE FROM DISRUPTING NORMAL SITE AND ADJACENT SITES ACTIVITIES.
- REMOVE ALL MECHANICAL, PLUMBING AND WATER PIPING BACK TO THEIR SOURCE AND CAP AS REQUIRED.
- TRANSPORT DEBRIS MATERIAL IN AN ACCEPTABLE MANNER AS TO PREVENT SPILLAGE ON TO STREETS.
- DEMOLITION AND TRANSPORTATION OR DEBRIS SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS GOVERNING THESE OPERATIONS. THE DEMOLITION CONTRACTOR SHALL PAY ALL FEES FOR RUBBISH DISPOSAL.
- WASTE MATERIAL AND RUBBISH FROM DEMOLITION AND ALTERATION OPERATION SHALL BE REMOVED FROM SITE AS RAPIDLY AS POSSIBLE AND SHALL NOT BE ALLOWED TO ACCUMULATE ON PREMISES. DISPOSAL OF MATERIAL WILL BE AT THE DISCRETION OF THE CONTRACTOR. OPEN FIRES WILL NOT BE PERMITTED FOR DISPOSING OF WASTE. CONTRACTOR SHALL PROVIDE AN EXTERIOR AREA TO COLLECT ALL DEMOLISHED MATERIAL NOT TO BE REUSED. THIS AREA SHALL BE SAFE AND UNOBSTRUCTING TO BUILDING FUNCTIONS.
- CONDUCT REMOVAL OPERATIONS SO THAT TRAFFIC IS MAINTAINED ALONG EXISTING STREETS AND WALKS. KEEP PAVED STREETS AND WALKWAYS FREE OF DEBRIS. REMOVE MATERIAL AND OTHER MATTER TRACKED OR FALLEN ONTO TRAFFIC SURFACES.
- CONTROL THE AMOUNT OF DUST RESULTING FROM CONSTRUCTION OR DEMOLITION TO PREVENT SPREAD OF DUST TO OTHER BUILDINGS AND TO AVOID CREATING A NUISANCE IN SURROUNDING AREAS. AVOID THE USE OF WATER TO CONTROL DUST WHEN IT WILL CREATE OBJECTIONABLE CONDITIONS SUCH AS FLOODING.
- EXISTING PAVING, LANDSCAPING OR OTHER EXISTING WORK NOT SPECIFIED FOR REMOVAL WHICH IS TEMPORARILY REMOVED, DAMAGED, EXPOSED OR IN ANY WAY DISTURBED OR ALTERED BY REMOVAL WORK SHALL BE REPAIRED, PATCHED OR REPLACED WITH NO ADDITIONAL COST TO OWNER.



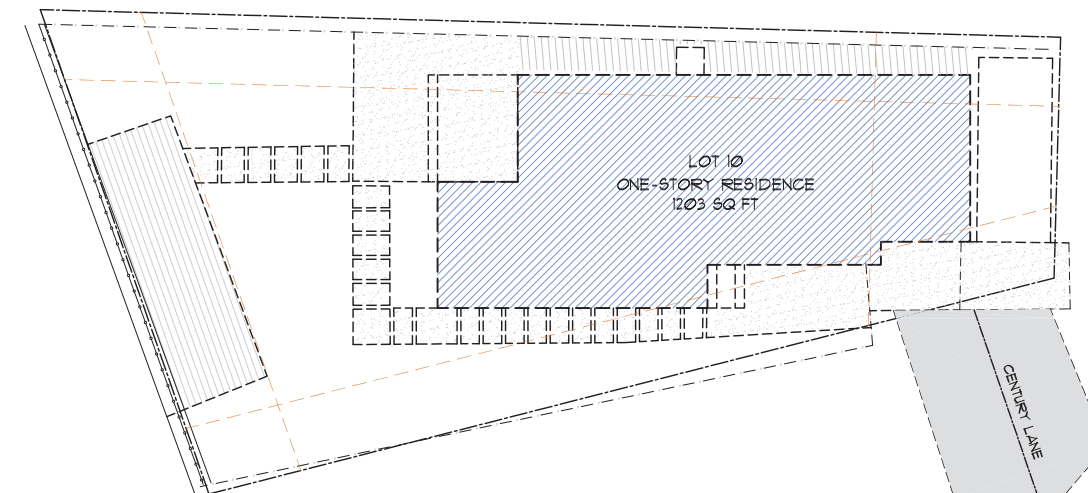
EXISTING ROOF PLAN

SCALE: 3/32" = 1'-0"



EXISTING FLOOR PLAN

SCALE: 3/32" = 1'-0"



EXISTING FAR DIAGRAM

SCALE: N.T.S.

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Sheet Title:
**EXISTING CONDITION
DEMOLITION PLAN**

Project No. 2202

Date 11/07/2022
Drawn By A.S./M.G.
Reviewed By PGS

Sheet No.
A0-7
Sheet 7 of 30

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Issued for:

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Sheet Title:

CONTEXTUAL
ELEVATION

Project No.

2202

Date

11/07/2022

Drawn By

A.S./M.G.

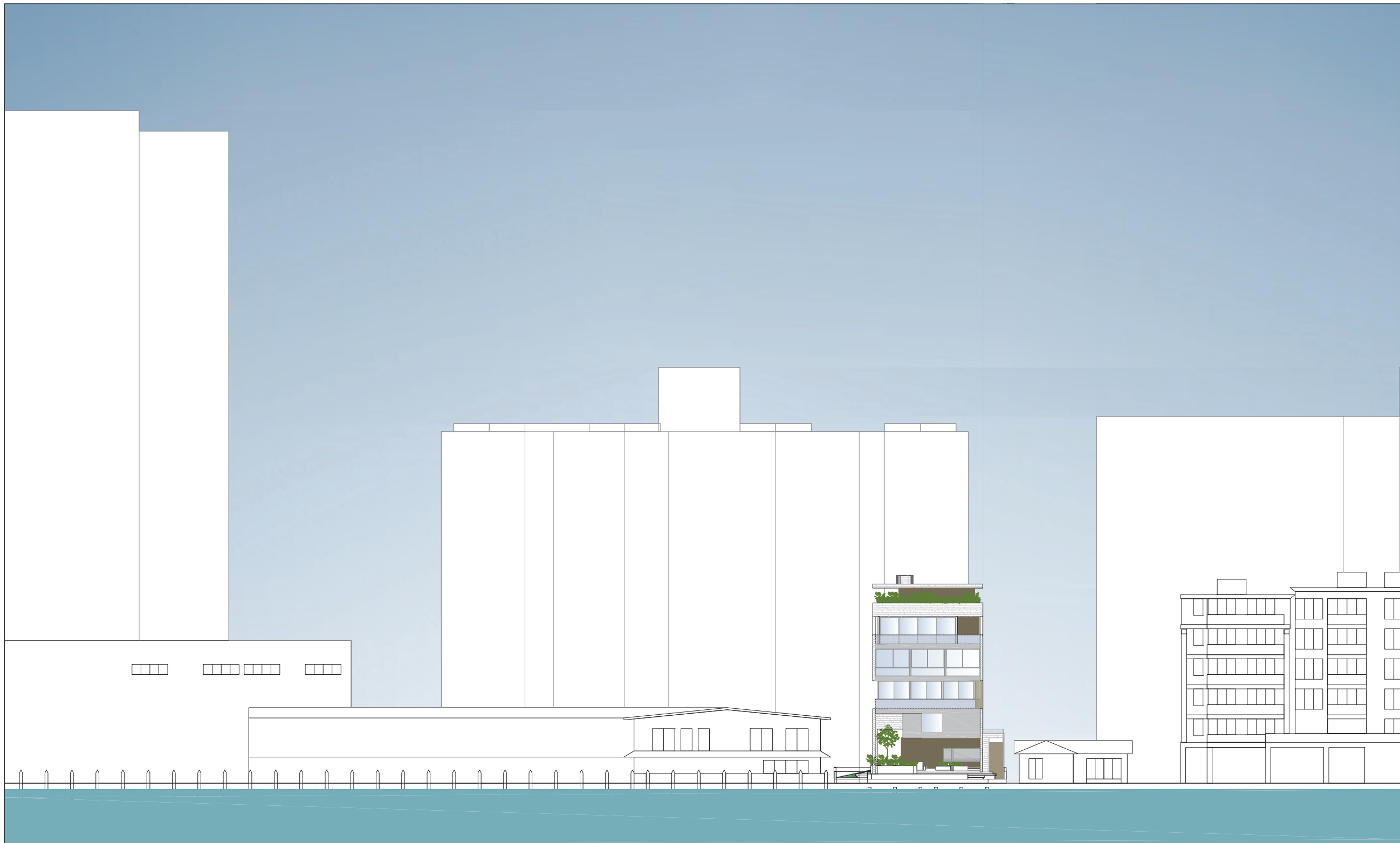
Reviewed By

PGS

Sheet No.

A0-8

Sheet 8 of 30



CONTEXTUAL ELEVATION SKETCH - BISCAYNE BAY

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FAMILY RESIDENCE FOR

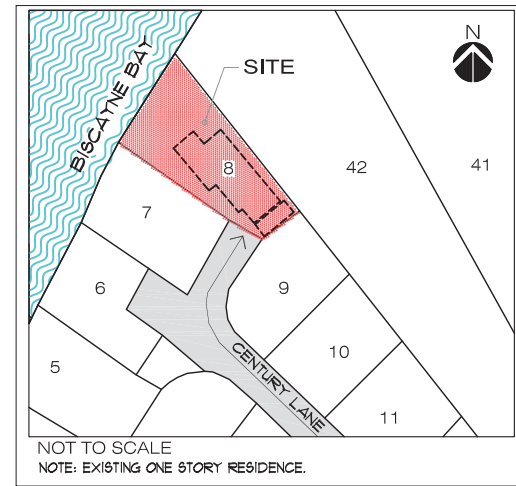
MR. MICHAEL SAIGER

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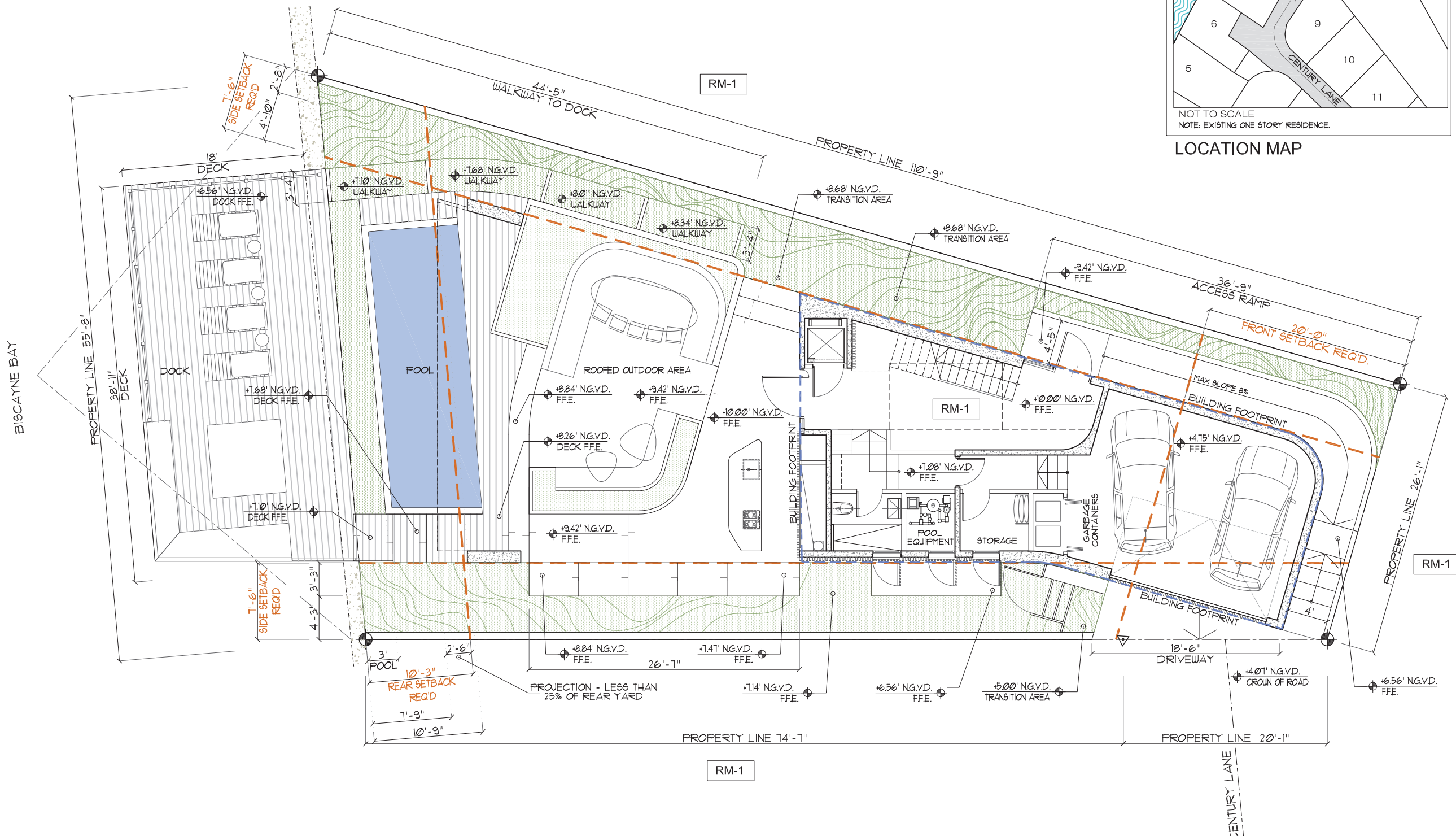
Sheet Title:
PROPOSED SITE PLAN

Project No. 2202	Sheet No. A1-0
Date 11/01/2022	
Drawn By D.S./A.S.	
Reviewed By _PGS	Sheet 9 of 30



NOT TO SCALE
NOTE: EXISTING ONE STORY RESIDENCE.

LOCATION MAP

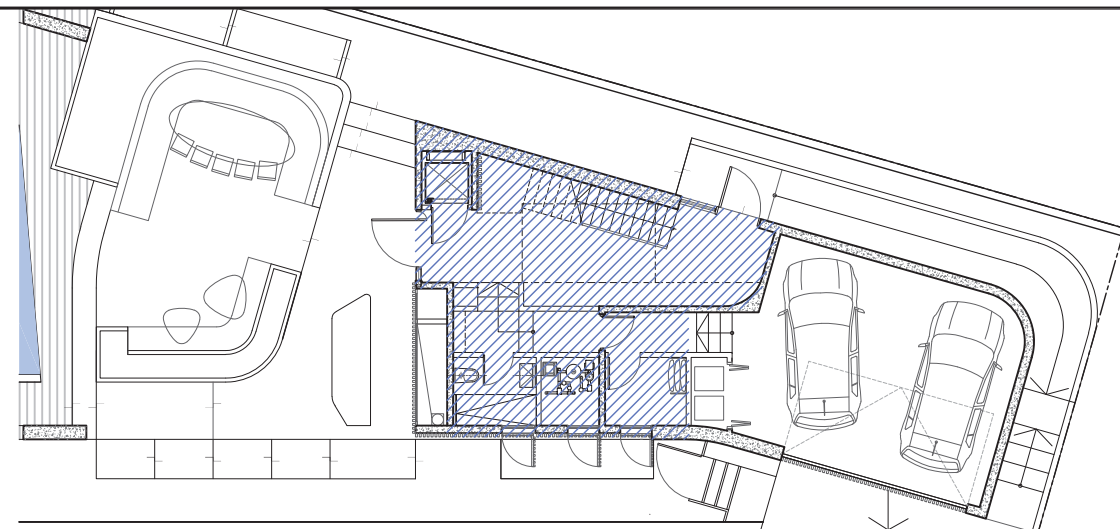


PROPOSED SITE PLAN

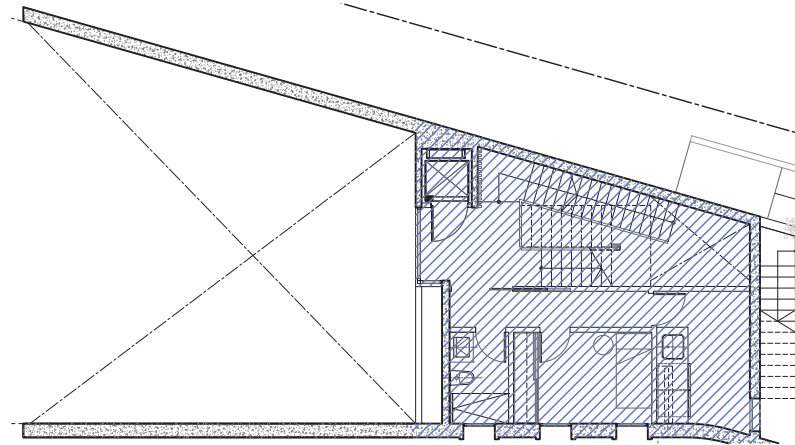


SCALE: 3/32" = 1'-0"

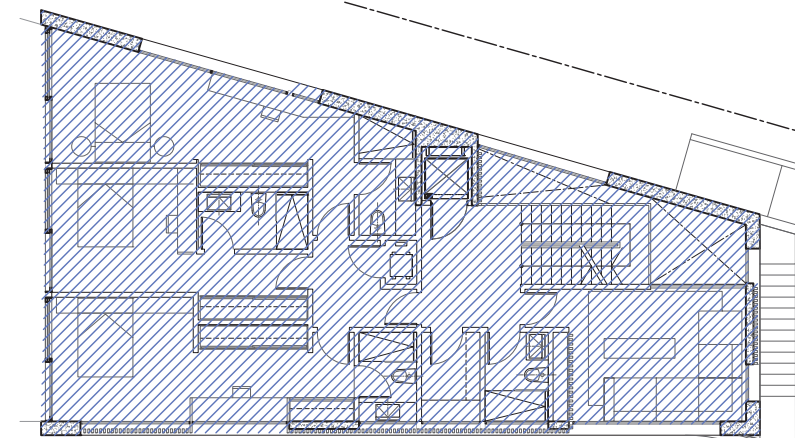




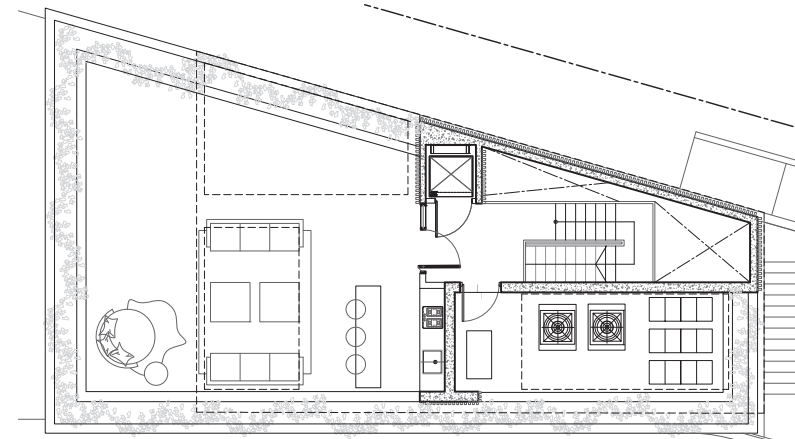
FIRST FLOOR



MEZZANINE



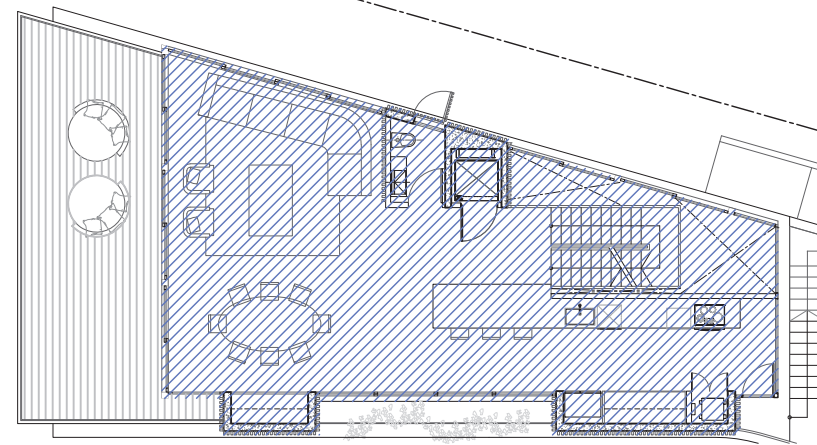
THIRD FLOOR PLAN



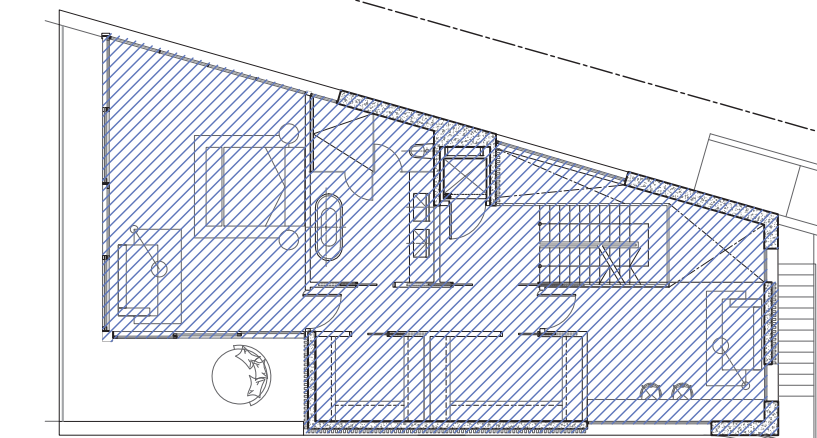
ROOFTOP PLAN

FAR CALCULATIONS

FAR GROUND FLOOR	551.20 Sq. Ft.
FAR MEZZANINE	614.30 Sq. Ft.
FAR SECOND FLOOR	1217.21 Sq. Ft.
FAR THIRD FLOOR	1565.63 Sq. Ft.
FAR FOURTH FLOOR	1311.30 Sq. Ft.
FAR ROOFTOP	0.00 Sq. Ft.
TOTAL FAR PROPOSED	5259.64 Sq. Ft.
TOTAL FAR ALLOWED	5748.75 Sq. Ft.



SECOND FLOOR



FOURTH FLOOR PLAN

ZONING DATA SHEET

MIAMI BEACH

Planning Department, 1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Project Information				
1	Address:	8 Century Lane, Miami Beach, FL 33139			
2	Board and file numbers :	DRB22-0841			
3	Folio number(s):	02-3233-002-0080			
4	Year constructed:	1941	Zoning District:	RM- 1	
5	Based Flood Elevation:	9.00 NGVD - AE ZONE	Grade value in NGVD:	4.07'	
6	Adjusted grade (Flood+Grade/2):	6.54' NGVD	Lot Area:	4,599 Sq Ft	
7	Lot width:	110.73' 114.72'	Lot Depth:	26.12' 55.63'	
8	Minimum Unit Size	550 Sq Ft	Average Unit Size	N/A	
9	Existing use:	Single Family Residence	Proposed use:	Single Family Residence	
Zoning Information / Calculations		Maximum	Existing	Proposed	Deficiencies
10	Height	55 Ft		48 Ft 10in	
11	Number of Stories	6		5 + Mezzanine	
12	FAR	5,748.75 Sq Ft		5,259.64 Sq Ft	
13	Gross square footage	N/A			
14	Square Footage by use	N/A			
15	Number of units Residential	N/A			
16	Number of units Hotel	N/A			
17	Number of seats	N/A			
18	Occupancy load	N/A			
Setbacks		Required	Existing	Proposed	Deficiencies
Subterranean:					
19	Front Setback:				
20	Side Setback:				
21	Side Setback:				
22	Side Setback facing street:				
23	Rear Setback:				
At Grade Parking:					
24	Front Setback:	20'-0"		4'-6"	
25	Side Setback:				
26	Side Setback:				
27	Side Setback facing street:				
28	Rear Setback:				
Pedestal:					
29	Front Setback:	20'-0"		4'-6"	
30	Side Setback: West	7'-6"		GF Projections: 4'-3" Bldg:7'-6"	
31	Side Setback: East	7'-6"		GF Projections: 2'-8" Bldg:7'-6"	
32	Side Setback facing street:				
33	Rear Setback:	10'-3"		Projection: 10'-9" 7'-9"	
Tower:					
34	Front Setback:				
35	Side Setback:				

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Sheet Title:
ZONING DATA &
FAR DIAGRAMS

Project No. 2202	Sheet No. A1-1
Date 11/07/2022	
Drawn By D.S./A.S.	
Reviewed By PGS	Sheet 10 of 30

PROPOSED FAR SHADED DIAGRAMS

SCALE: 1/16" = 1'-0"



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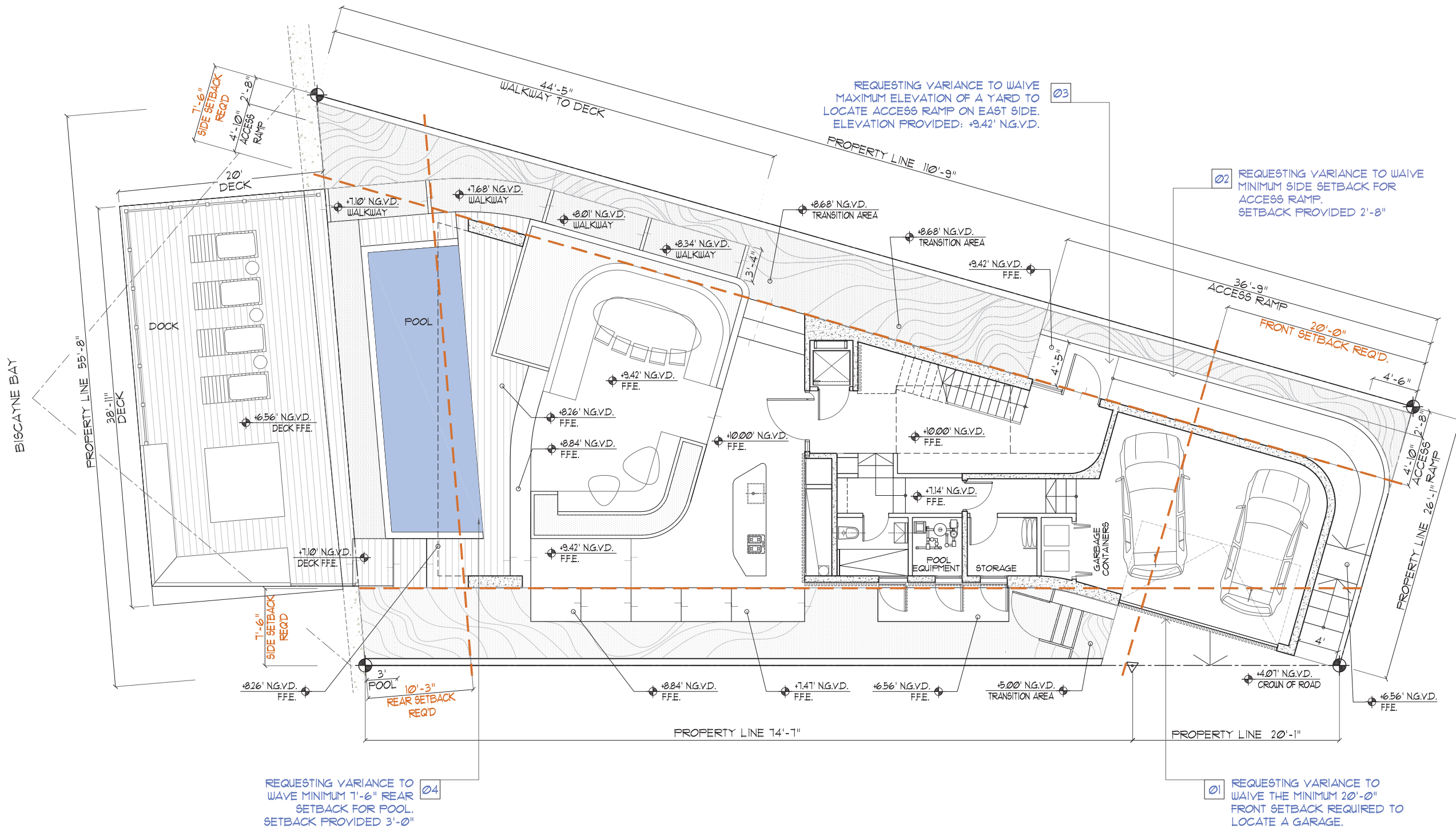
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Issued for:
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Sheet Title:
VARIANCES DIAGRAM

Project No. 2202	Sheet No. A1-2
Date 11/07/2022	
Drawn By D.S./A.S.	
Reviewed By PGS	Sheet 11 of 30



VARIANCES DIAGRAM

SCALE: 3/32" = 1'-0"



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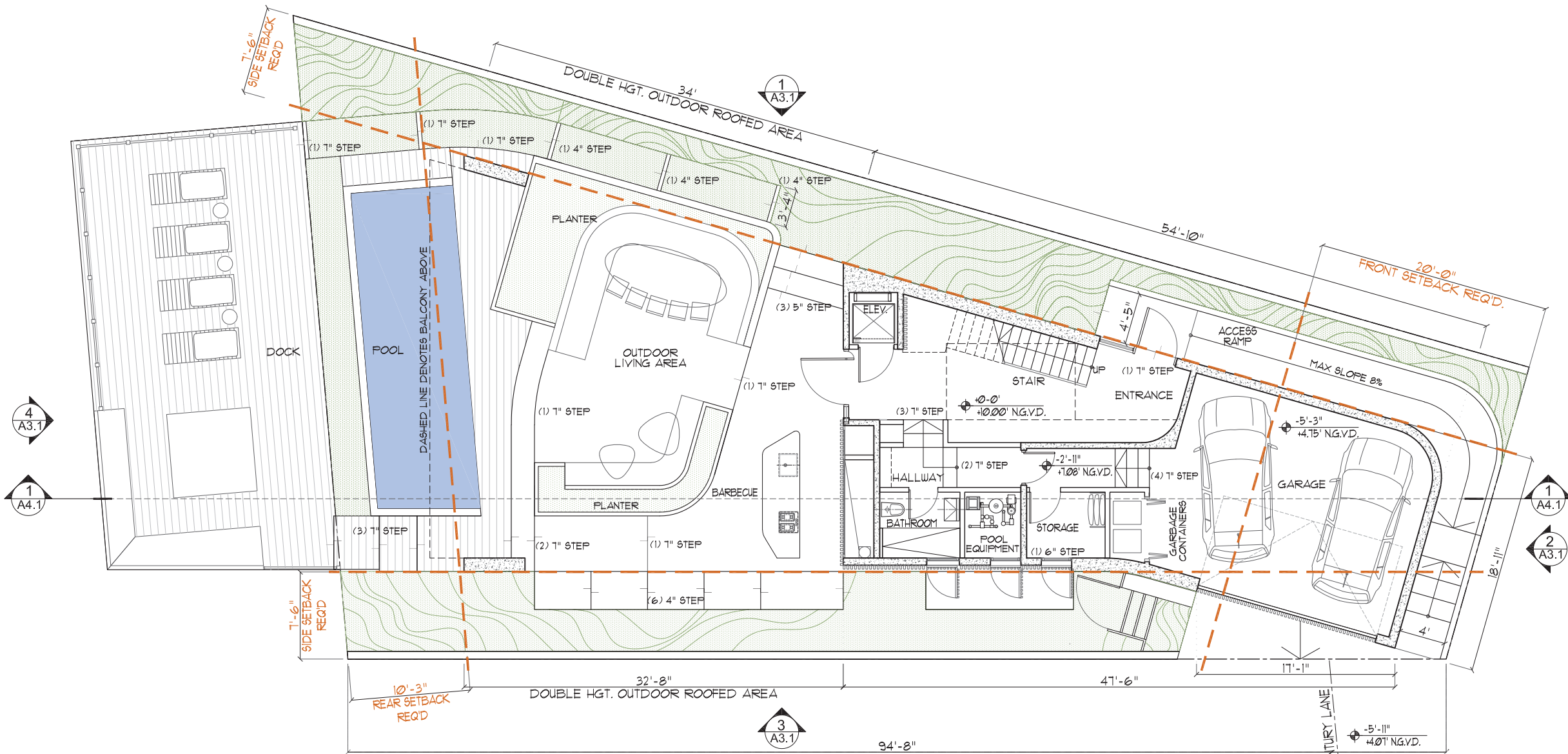
MR. MICHAEL SAIGER

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MIAMI BEACH, FL 33139

Issued for:
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Sheet Title:
PROPOSED FIRST
FLOOR PLAN

Project No. 2202	Sheet No. A2-1
Date 11/07/2022	
Drawn By D.S./A.S.	
Reviewed By PGS	Sheet 12 of 30



PROPOSED FIRST FLOOR PLAN



SCALE: 3/32" = 1'-0"

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Sheet Title:

MEZZANINE
FLOOR PLAN

Project No.

2202

Date 11/07/2022

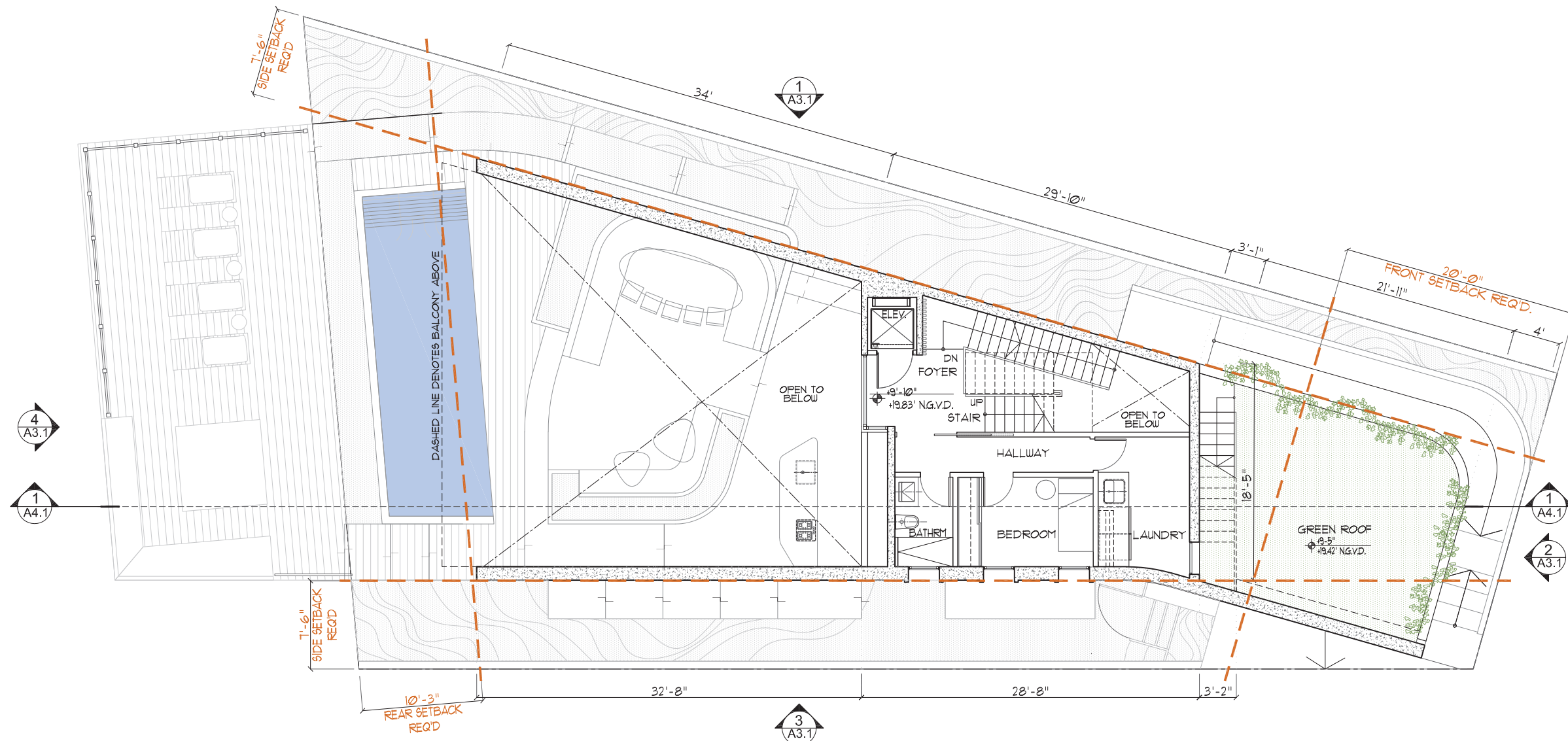
Drawn By D.S./A.S.

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Sheet No.

A2-2

Sheet 13 of 30



PROPOSED MEZZANINE FLOOR PLAN



SCALE: 3/32" = 1'-0"



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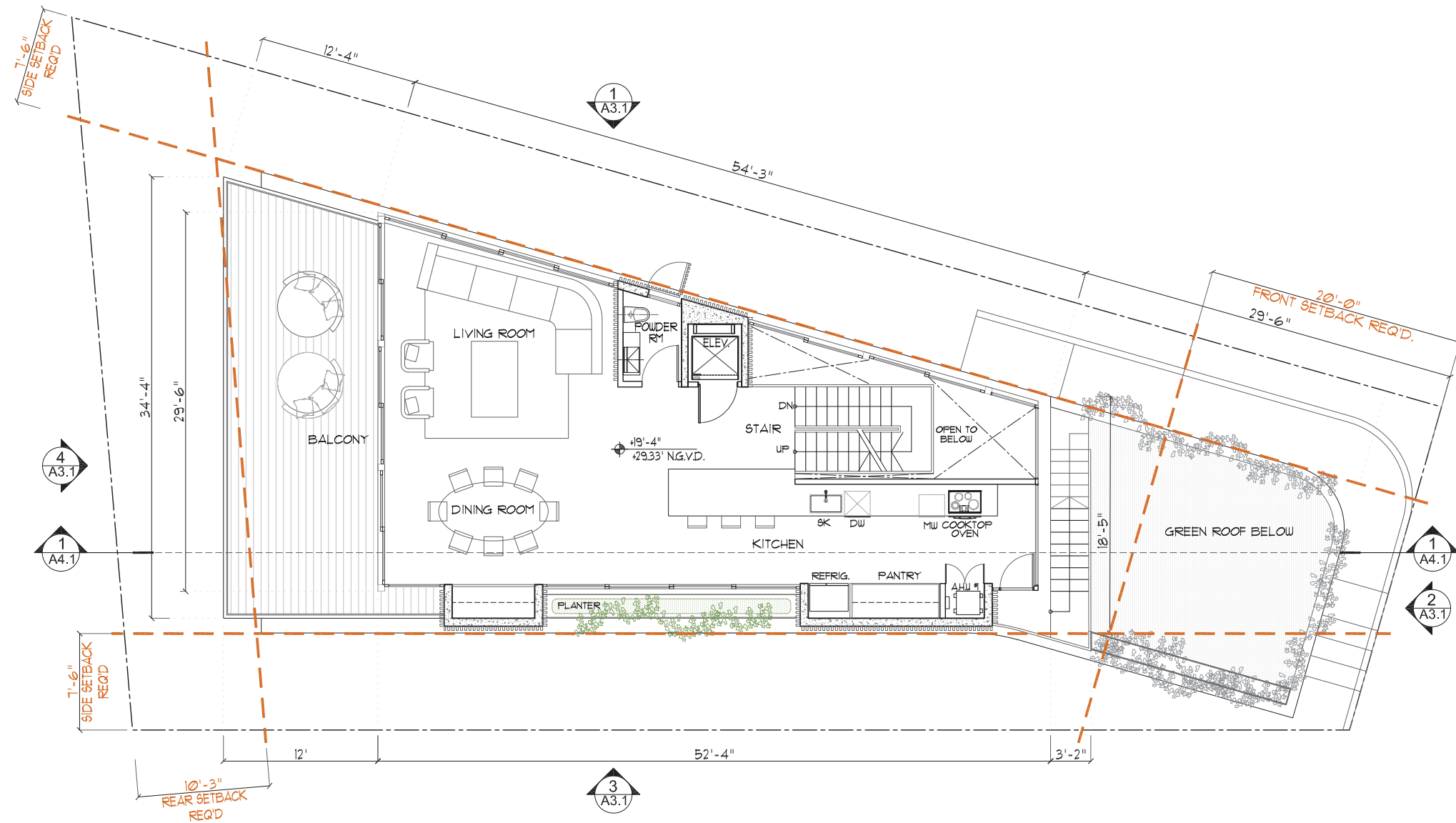
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MIAMI BEACH, FL 33139

Issued for:
DRB FINAL SUBMITTAL

Sheet Title:
SECOND FLOOR PLAN

Project No. 2202	Sheet No. A2-3
Date 11/07/2022	
Drawn By D.S./A.S.	
Reviewed By PGS	Sheet 14 of 30



PROPOSED SECOND FLOOR PLAN



SCALE: 3/32" = 1'-0"

