

8 CENTURY LANE RESIDENCE

8 CENTURY LANE MIAMI BEACH, FL 33139



DRB22-0841 - FINAL SUBMITTAL
NOVEMBER 7TH, 2022

SCOPE OF WORK
NEW SIX - STORY SINGLE FAMILY HOME

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Project Title
8 CENTURY LANE

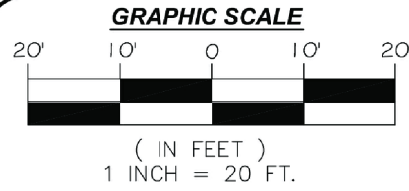
PROPOSED NEW SINGLE
FAMILY RESIDENCE FOR
MR. MICHAEL SAIGER

8 CENTURY LANE
MIAMI BEACH, FL 33139

Issued for:
DRB FINAL SUBMITTAL

Sheet Title:
COVER PAGE
INDEX OF DRAWINGS

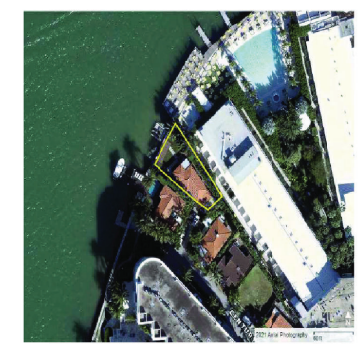
Project No. 2202	Sheet No. A0-1
Date 11/07/2022	
Drawn By D.S./A.S.	
Reviewed By PGS	Sheet 1 of 30



MAP OF BOUNDARY SURVEY

LOCATION MAP

SECTION 33, TOWNSHIP 53 SOUTH, RANGE 42 EAST
LYING AND BEING IN MIAMI-DADE COUNTY FLORIDA
(NOT TO SCALE)



LB No. 7633
PROFESSIONAL SURVEYORS AND MAPPERS
1435 S.W. 87th AVENUE, SUITE "20"
MIAMI, FL 33174
PHONE: (305) 556-4002 FAX: (305) 556-4003
WWW.LMSURVEYING.COM
EMAIL-REQUEST@LMSURVEYING.COM

ABBREVIATIONS AND LEGEND:

A/C	=DENOTES AIR CONDITIONING UNIT
B.B.	=DENOTES BASIS OF BEARINGS
ASPH.	=DENOTES ASPHALT
P	=DENOTES PROPERTY LINE
B.M.	=DENOTES BENCH MARK
C.B.S.	=DENOTES CONCRETE BLOCK STUCCO
CONC.	=DENOTES CONCRETE
L.P	=DENOTES LIGHT POLE
CB	=DENOTES CATCH BASIN
CL	=DENOTES CENTERLINE
M.L.E.	=DENOTES LAKE & MAINTENANCE EASEMENT
D.E.	=DENOTES DRAINAGE EASEMENT
D.H.	=DENOTES DRILL HOLE
(M)	=DENOTES MEASURE
(R)	=DENOTES RECORD
WPP	=DENOTES WOOD POWER POLE
U.E.	=DENOTES UTILITY EASEMENT
P.B.	=DENOTES PLAT BOOK
PG.	=DENOTES PAGE
P.C.P.	=DENOTES PERMANENT CONTROL POINT
P.O.B.	=DENOTES POINT OF BEGINNING
TYP.	=DENOTES TYPICAL
M.H.W.	=DENOTES MEAN HIGH WATER LINE
—/—	=DENOTES WOOD FENCE
-x-	=DENOTES CHAIN LINK FENCE
— —	=DENOTES IRON FENCE
○	=DENOTES FOUND IRON PIPE (NO ID.)
△	=DENOTES FOUND NAIL AND DISC
X.XX	=DENOTES ELEVATIONS
[Brick Pattern]	=DENOTES BRICK
[Concrete Pad Pattern]	=DENOTES CONCRETE PAD

ALL BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND MEASURED UNLESS OTHERWISE NOTED.

LEGAL DESCRIPTION:

LOT 8, OF "BELLE ISLE VILLAS", ACCORDING TO THE FLAT THEREOF, AS RECORDED IN PLAT BOOK 42, PAGE 92, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PROPERTY ADDRESS:

FOLIO NO. 02-3233-002-0080

8 CENTURY LANE,
MIAMI BEACH, FLORIDA 33139-8803

AREA OF PROPERTY: 4,599 SQUARE FEET AND/OR
0.106 ACRES MORE OR LESS.

CERTIFIED TO:

THIS BOUNDARY SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAME HEREON. THE CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED PARTIES.

—MICHAEL A SAIGER

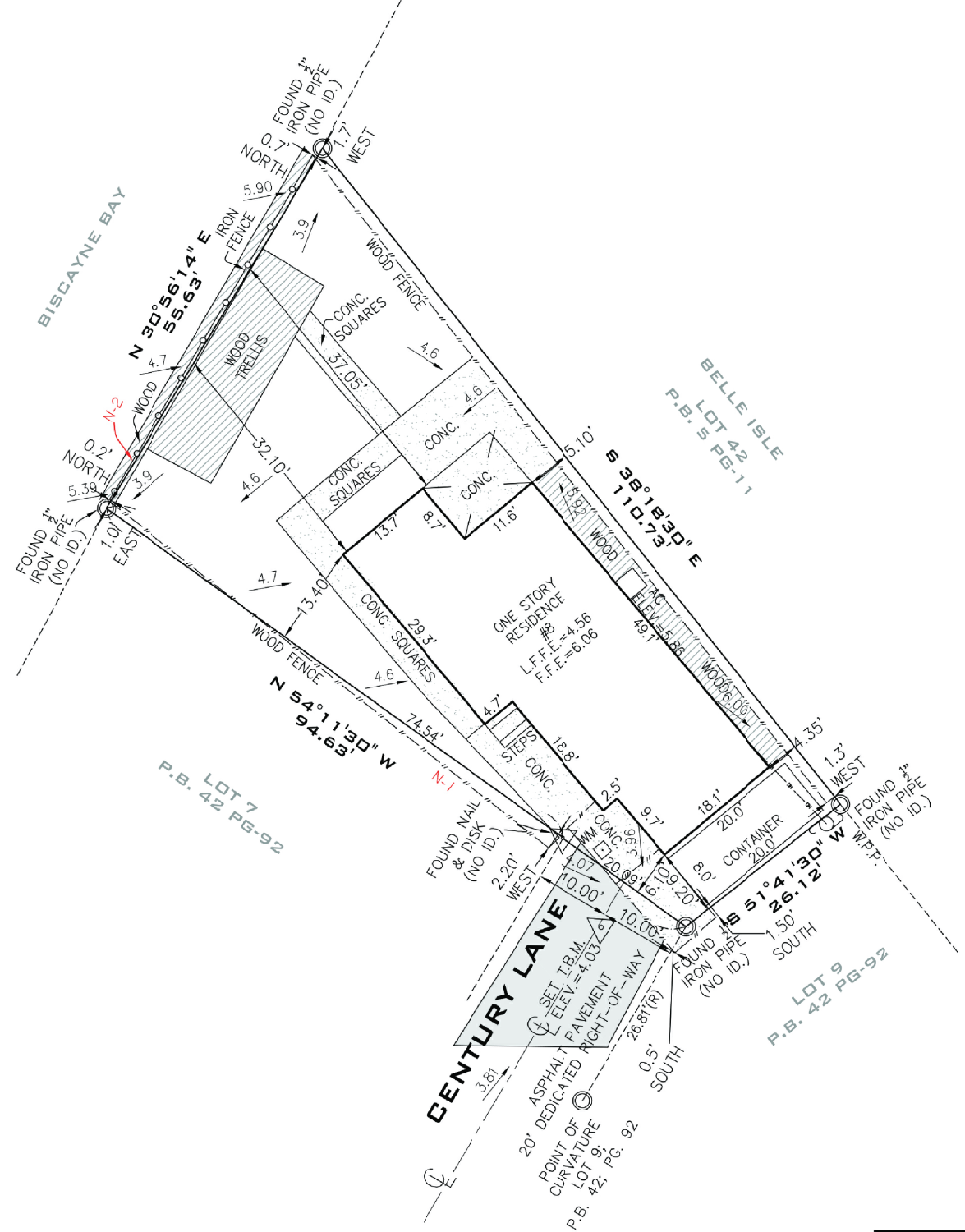
SURVEYOR'S NOTES:

- 1.) THE ABOVE CAPTIONED PROPERTY WAS SURVEYED AND DESCRIBED BASED ON THE ABOVE LEGAL DESCRIPTION; PROVIDED BY CLIENT.
- 2.) THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED. IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS, OR FREEDOM OF ENCUMBRANCES. ABSTRACT NOT REVIEWED.
- 3.) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS BOUNDARY SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF HIS COUNTY. EXAMINATION OF ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY AFFECTING THIS PROPERTY.
- 4.) ACCURACY: THE EXPECTED USE OF THE LAND, AS CLASSIFIED IN FLORIDA MINIMUM TECHNICAL STANDARDS (5J-17.51FAC), IS "RESIDENTIAL". THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT.
- 5.) FOUNDATIONS AND/OR FOOTINGS THAT MAY CROSS BEYOND THE BOUNDARY LINES OF THE PARCEL HEREIN DESCRIBED ARE NOT SHOWN.
- 6.) TYPE OF SURVEY: BOUNDARY SURVEY
- 7.) ELEVATIONS SHOWN HEREON ARE BASED ON TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D.29)
- 8.) ALL MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD U.S. FOOT
- 9.) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK ON THE HEREIN DESCRIBED PARCEL FOR BUILDING AND ZONING INFORMATION.
- 10.) UNDERGROUND UTILITIES ARE NOT DEPICTED HEREON, CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK OR CONSTRUCTION ON THE PROPERTY HEREIN DESCRIBED. SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVIATION FROM UTILITIES SHOWN HEREON.
- 11.) ENCUMBRANCES NOT SHOWN ON THE PLAT.
- 12.) THE WRITTEN CONSENT OF LANDMARK SURVEYING & ASSOCIATES, INC. UNDERGROUND PORTIONS OF FOOTING, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- 13.) ONLY VISIBLE AND ABOVE GROUND ENCROACHMENTS LOCATED.
- 14.) WALL TIES ARE TO THE FACE OF THE WALL.
- 15.) FENCE OWNERSHIP NOT DETERMINED.
- 16.) BASIS OF BEARINGS REFERENCED TO LINE NOTED AS B.B.
- 17.) BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD.
- 18.) NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.
- 19.) THE SOURCES OF DATA USED FOR THE PREPARATION OF THIS BOUNDARY SURVEY IS "BELLE ISLE VILLAS" RECORDED IN PLAT BOOK 42, AT PAGE 92.
- 20.) THIS MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT A SCALE OF ONE INCH EQUALS 20 FEET OR SMALLER.

NOTES:

- N-1 = A PORTION OF THE WOOD FENCE ALONG THE WEST BOUNDARY LINE, FALLS OUTSIDE THE PROPERTY LINE.
- N-2 = A PORTION OF THE IRON FENCE ALONG THE NORTH BOUNDARY LINE, FALLS OUTSIDE THE PROPERTY LINE.
- N-3= THERE ARE NOT TREES IN THIS PROPERTY

PROVIDED FOR REFERENCE ONLY



SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS "MAP OF BOUNDARY SURVEY" IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. THAT IT MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.050 THROUGH 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW, PURSUANT TO CHAPTER 42.02, FLORIDA STATUTE.

Digitally signed by Arturo Mendigutia
Date: 2022.06.01 10:57:18 -04'00'

SIGNED FOR THE FIRM
ARTURO MENDIGUTIA, P.S.M. P.S.M. No. 5844-STATE OF FLORIDA
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES AND/OR NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL.

MAP OF BOUNDARY SURVEY

FLOOD ZONE:	AE	
ELEVATION:	9.0 FEET	
COMMUNITY:	120651	
PANEL:	12086C0317	
DATE OF FIRM:	09-11-2009	
SUFFIX:	L	
ORIGINAL FIELD WORK SURVEY DATE	02-16-2022	
BENCH MARK:	N/A	
ELEVATION:	N/A	
DATE	DRAWN BY	SCALE
02-16-2022	J.FEE	1"=20'
REVISION / UPDATE OF SURVEY		
DATE	DESCRIPTION	
N/A	N/A	
JOB No.		
2202.0128		

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DRB FINAL SUBMITTAL

Sheet Title:
CONTEXT
LOCATION PLAN

Project No. 2202	Sheet No. A0-2
Date 11/07/2022	
Drawn By A.S./M.G.	
Reviewed By PGS	Sheet 2 of 30



AERIAL VIEW OF BELLE ISLE & VENETIAN CROSSWAY

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Issued for:

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CONTEXT
AERIAL IMAGES

Project No.

2202

Date 07/11/2022

Drawn By A.S./M.G.

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Sheet No.

A0-3

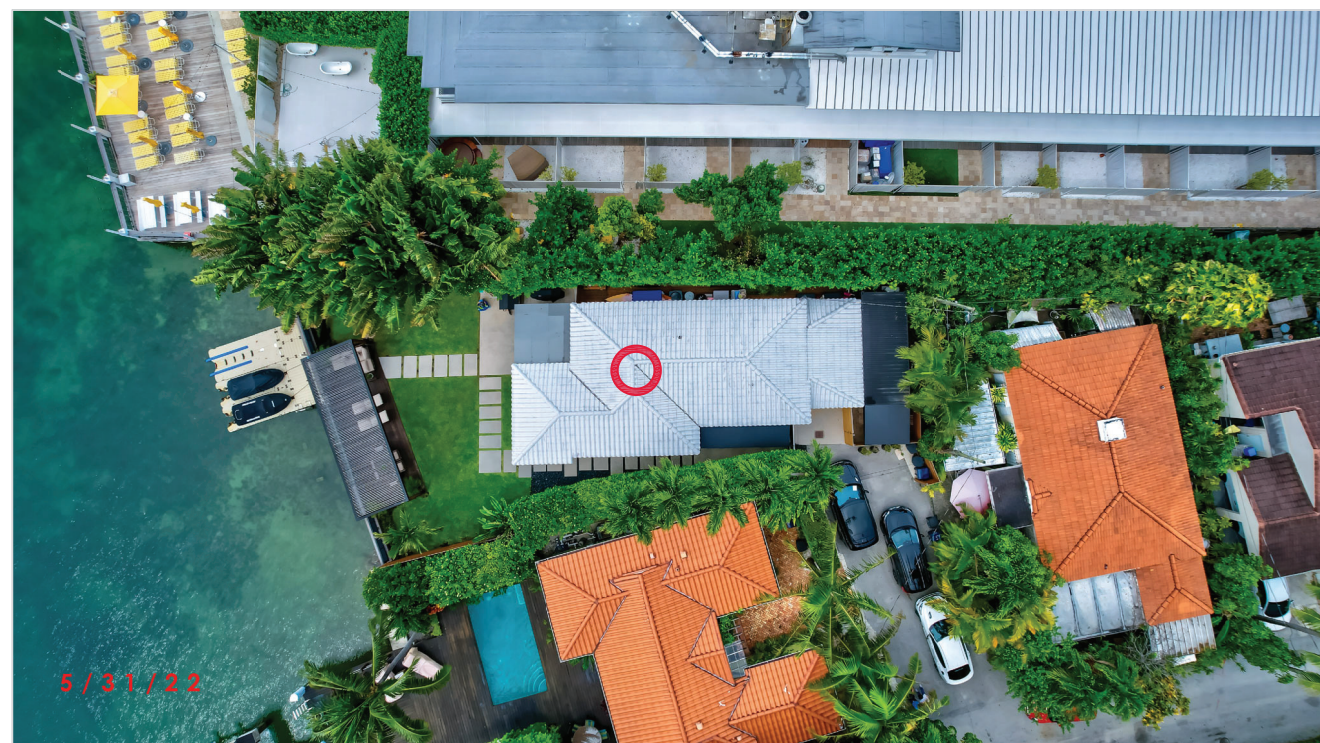
Sheet 3 of 30



SOUTHWEST AERIAL VIEW OF BELLE ISLE & VENETIAN CROSSWAY



AERIAL VIEW OF SITE & SURROUNDINGS



AERIAL VIEW OF SITE & SURROUNDING PROPERTIES