



# MIAMI BEACH

## BUILDING DEPARTMENT

1700 Convention Center Drive, 2<sup>nd</sup> Floor  
Miami Beach, FL 33139  
Phone: (305) 673-7610 Fax: (305) 673-7613

# B140014

**Owner/ Qualifier Contractor Estimate Construction Cost Affidavit  
(To be submitted with the main/master permits or the stand alone permits).**

Permit Number: B1400014

Date: 1/6/14

Job Address: 8 Century Lane

Folio No.: 02-3233-002-0080

The construction cost should include the work under the main Permit and all associated permits.

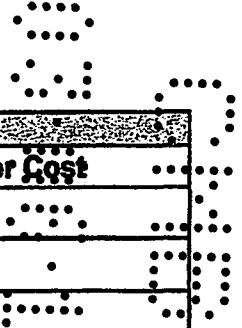
Part I: FEMA 50% Related Construction Cost		
Items to be excluded from Estimate Construction Cost for Part I (FEMA 50% Related Construction Cost): Plan and Specification, Survey Costs, Permit Fees, Swimming Pools, detached structures (garages, storages, cabanas), Landscaping, Fences, Yard light, Not Built-In Appliances and Furniture.		
Estimated Construction Cost	General Contractor Cost	Owner Cost
Demolition & Removal	800	
Building & Structural Elements	2800	
Roofing	—	
Doors & Windows	1700	
Railing	—	
Interior Finish, Floor Covering, Painting	1200	
Cabinets and Furniture-Built-Ins	500	
Appliances-Built-Ins	—	
Other Building related Items	800	
Electrical including Fixtures	1300	
Elevator	—	
Mechanical-HVAC-equipments	—	
Plumbing including Fixtures	900	
Overhead and Profit	3200	
Sub Total Construction Cost	\$ 13,200	\$
Sub Total Construction Cost Estimate for FEMA 50% Rule Purposes	\$ 13,200	



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Miami Beach, Fl, 33139  
Phone: (305) 673-7610 Fax: (305) 673-7857



Part II: Non Related FEMA 50% Construction Cost		
Estimated Construction Cost	General Contractor Cost	Owner Cost
Swimming Pools		
Fences, Pavers, Sidewalks, Site Improvements	1000	
Yard Light		
Other and detached: garages, storage and cabanas		
<b>Sub Total Cost</b>	<b>\$ 1,800</b>	<b>\$</b>
<b>Sub Total Construction Cost Estimate for non FEMA 50% Rule Purposes</b>	<b>\$ 1,800</b>	

Part III: Total Construction Cost (Note: The construction cost will be validated by Plan Examiners)	
Estimated Construction Cost	
Sub Total Construction Cost Estimate for FEMA 50% Rule Purposes-Part I	\$ 13,200
Sub Total Construction Cost Estimate for Non FEMA 50% Rule Purposes- Part II	\$ 1,800
<b>Total Construction Cost Estimate. (Add Part I and Part II of Construction Cost)</b>	<b>\$ 15,000</b>

### Part IV: Signature Required

If the improvements cost will increase at any point during the proposed construction, it is Owner and the Contractor of Record responsibility to submit the revised improvements cost to the Building Department for review and approval.

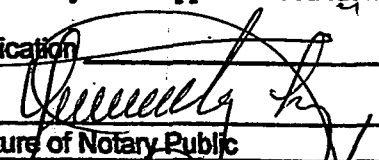
  
Signature of Owner

NOTARY PUBLIC-STATE OF FLORIDA  
John Udbardy Lopez  
Commission #DD987918  
Expires: MAY 03, 2014  
BONDED THRU ATLANTIC BONDING CO., INC.

STATE OF FLORIDA  
COUNTY OF Miami Dade

Sworn to and Subscribed before me this 4 day of December 2013, by:  
Brian Clark

Personally known [ ] Produced Identification - Type of Identification

  
Signature of Notary Public



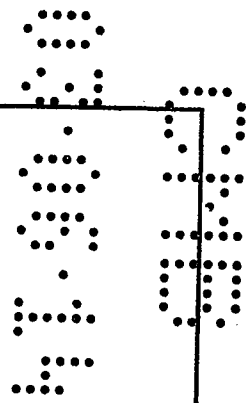
# MIAMI BEACH

## BUILDING DEPARTMENT

1700 Convention Center Drive, 2<sup>nd</sup> Floor

Miami Beach, FL 33139

Phone: (305) 673-7610 Fax: (305) 673-7857



*[Signature]*  
Signature of Qualifier / Contractor

NOTARY PUBLIC STATE OF FLORIDA  
John Udbardy Lopez  
Commission # DD987918  
Expires: MAY 03, 2014  
BONDED THRU ATLANTIC BONDING CO, INC.

STATE OF FLORIDA  
COUNTY OF \_\_\_\_\_

Sworn to and Subscribed before me this 1 day of March 2014, by:

*[Signature]* Bernard Amengual

Personally known  Produced Identification - Type of Identification \_\_\_\_\_

*[Signature]*  
Signature of Notary Public

**Part V: Building Department Use Only**

A	Sub Total Construction Cost Estimate for FEMA 50% Rule Purposes.	\$	15,000
B	Over Five Year Improvements	\$	0.000
C	Total Improvements	\$	15,000
D	Building Tax Assessed Value	\$	112,143
E	Building Appraised Market Value	\$	
F	Improvements Cost Ratio (C/E or C/D)	%	13.37%

If improvements cost exceed 40% of the Building Tax Value, a building appraised market Value is required for evaluation of Improvement Cost Ratio.

Check one box:

New Construction and Substantial Improvement     Existing Building and Non Substantial Improvement

*Howard Ramirez*  
Engineering Inspector Name

*[Signature]* 3-06-14  
Engineering Inspector Signature and Date

Note: Over \$1,000,000.00 Improvements Cost requires Chief Governmental Compliance Division Approval, over \$50,000,000.00 Improvements Cost requires Building Director Approval.

Name \_\_\_\_\_

Signature and Date \_\_\_\_\_



DEPARTMENT OF PERMITTING, ENVIRONMENT AND REGULATORY AFFAIRS (PERA)  
 BOARD AND CODE ADMINISTRATION DIVISION  
**NOTICE OF ACCEPTANCE (NOA)**

MIAMI-DADE COUNTY  
 PRODUCT CONTROL SECTION  
 1180 SW 28th Street, Room 208  
 Miami, Florida 33175-2474  
 Tel: (786) 2590-7860 Fax: (786) 315-2599  
 www.miamidade.gov/pera/

**B140001**

Master Security Doors Inc.,  
 2179 N. Powerline Road, Suite #2  
 Pompano Beach, FL 33069

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County PERA Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami Dade County) and/or the AHJ in other areas other than Miami Dade County reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. PERA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

**DESCRIPTION:** Series "EX3" Single Outswing Steel Door -L.M.I.

**APPROVAL DOCUMENT:** Drawing No. 12-060 (old # 11-037), titled "EX3 USA Outswing Door Large Missile Impact Resistant", sheets 1 through 11 of 11, dated 03/12/12, prepared by Tilteco Inc., signed and sealed by Walter A. Tillit Jr., P.E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Section.

**MISSILE IMPACT RATING:** Large and Small Missile Impact Resistant

**Limitations:**

1. Refer to sheet 3 of the Dwgs for Design Pressure Vs anchor type and anchor spacing "S"
2. Min (5) retention clip per side jamb required (Max 28.74" OC), See detail X/11 in sheets 3 and 11.

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and series and following statement: "Miami-Dade County Product Control Approved", noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 11-0420.01 and consists of this page 1 and evidence pages E-1, as well as approval document mentioned above.

The submitted documentation was reviewed by Ishaq I. Chanda, P.E.



*approved as submitted*  
*Illiz/12*

**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

**A. DRAWINGS**

1. Manufacturer's die drawings and sections (transferred from file # 11-0420.01)
2. Drawing No. 12-060 (old # 11-037), titled "EX3 USA Outswing Door Large Missile Impact Resistant", sheets 1 through 11 of 11, dated 03/12/12, prepared by Tilteco Inc., signed and sealed by Walter A. Tillit Jr., P.E.

Note: This revision consists of FBC 2010 notes only.

**B. TESTS (Submitted under file # 11-0420.01/ 05-1121.03)**

1. Test reports on:
  - 1) Air Infiltration Test, per FBC, TAS 202-94
  - 2) Uniform Static Air Pressure Test, Loading per FBC TAS 202-94
  - 3) Water Resistance Test, per FBC, TAS 202-94
  - 4) Large Missile Impact Test per FBC, TAS 201-94
  - 5) Cyclic Wind Pressure Loading per FBC, TAS 203-94
  - 6) Forced Entry Test, per FBC 2411 3.2.1, TAS 202-94

Along with marked-up drawings and installation diagram of outswing steel door, prepared by American Test Lab of South Florida, Test Report No. ATL# 0531.01-05, dated 11/09/05, signed and sealed by William R. Mehner, P.E. and Henry Hattem, P. E.

**C. CALCULATIONS**

1. Anchor Calculation and Structural analysis complying w/ FBC 2004, prepared by Tilteco, Inc., dated 09/09/05, signed and sealed by Walter A. Tillit Jr., P.E. (submitted under # 05-1121.03)

**D. QUALITY ASSURANCE**

1. Miami Dade Department of Permitting, Environment, and Regulatory Affairs (PERA).

**E. MATERIAL CERTIFICATIONS**

1. Tensile test report # 5GM-704 dated July 28, 2005 per ASTM E-8, issued by Metallurgical Inc, signed by Frank Grate(submitted under # 05-1121.03)

**F. STATEMENTS**

1. Statement letter of compliance to FBC 2010, dated 03/12/12 issued by Tilteco Inc., signed and sealed by Walter A. Tillit Jr., P.E.
2. Statement letter of compliance to FBC 2007, dated 04/14/11 issued by Tilteco Inc., signed and sealed by Walter A. Tillit Jr., P.E. (submitted under # 11-0420.01)
3. Statement letter of compliance to FBC 2004 & "No financial interest", dated 04/14/11 issued by Tilteco Inc., both signed and sealed by Walter A. Tillit Jr., P.E. (submitted under # 05-1121.03).
4. Lab compliance as part of the above referenced test report.

**G. OTHER**

1. This NOA revises NOA # 11-0420.01, expiring on 04/20/16.

Ishaq I. Chanda  
Ishaq I. Chanda, P.E.

Product Control Examiner  
NOA No 12-0320.21

Expiration Date: April 20, 2016  
Approval Date: June 14, 2012

**GENERAL NOTES**

1. EX-3 USA, Outswing single door, large missile impact resistant shown on this Product Approval Document (P.A.D.) has been verified for compliance in accordance with the 2007 & 2010 editions of the Florida Building Code. Door may be installed at High Velocity Hurricane Zones (H.V.H.Z.). Design wind loads shall be determined as per section 1620 of the above mentioned codes, using ASCE 7-05 standard for installations under 2007 FBC & ASCE 7-10 standard for installations under 2010 FBC and shall not exceed the maximum (A.S.D.) design pressure rating indicated on note 2 on this sheet & sheet 3. In order to verify the above condition, ultimate design wind loads determined per ASCE 7-10 shall be first reduced to A.S.D design wind loads by multiplying them by 0.6 in order to compare these w/ max. (A.S.D) design pressure rating indicated on note 2 on this sheet & sheet 3.

In order to verify that anchors on this P.A.D., as tested, were not overstressed, a 33% increase in allowable stresses for wind loads was not used in their analysis. A duration factor  $C_D = 1.60$  was used to verify fasteners in wood. This door's adequacy for impact and cyclic resistance has been verified in accordance with section 1626 of the above mentioned code, as per TAS 201, 202 and 203 protocols, per ATL Report #0531.01-05, and as per submitted calculations performed as per section 1612 of the Florida Building Code.

2. Max A.S.D. Design Pressure Rating: + 150, -200 psf  
This A.S.D. design pressure rating is only valid if door is assembled with required hardware indicated on sheet 2 of this drawing.

3. This Door is approved for Air and Water Infiltration.  
This approval is only valid if door is sealed with required gasketing and weather stripping as indicated on Bill of Materials on sheet 3, and sealant specified on General Note 10 below.

4. This Door will not require a Hurricane Protective Device.

5. Wood bucks by others, and must be properly anchored to transfer loads to the existing structure.  
Wood bucks must be Southern Pine #2, with specific Gravity G equal or greater than 0.55, and shall comply w/ sections 2411.3.3. & 2326 of the 2007 & 2010 editions of the Florida Building Code & must sustain loads imposed by door and transfer them to the Building Structure.

6. Anchors for fastening door subframe to existing structure must be as indicated on sheet 3.

7. All welding to conform to the American Welding Society AWS D1.3 and AWS D9.1. Regulations per Florida Building Code section 2214.3. Use certified welders.

8. All screws used for assembly connections (metal to metal) to be stainless steel 304 or 316 series or corrosion resistant coated carbon steel as per DIN 50018 with 50 ksi minimum yield strength and 90 ksi tensile strength and shall comply with Florida Building Code section 2411.3.3.4

9. Remaining components for this door system shall be as indicated on Bill of Materials on sheet 2 of this drawing.

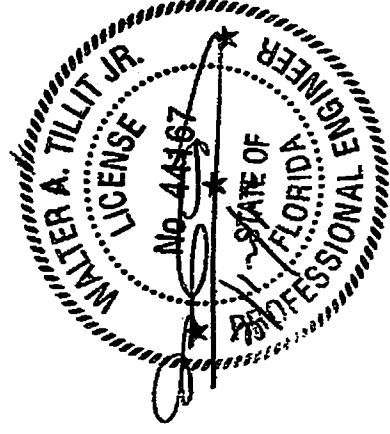
10. Sealing of door components shall be as follows:

**Sealant:**

**Frame:** The interior and exterior perimeter joints and all frame connections shall be sealed with silicone sealant. The two sheet metal 45° angle shaped sections at the corner key shall be sealed to each other and to the sheet metal fabricated corner section with silicone sealant. The two steel sections at the sill shall be sealed with silicone sealant. Hinges shall be also sealed to hinge jamb with silicone sealant.

**Sub-frame:** The interior and exterior perimeter joints and all sub-frame connections shall be sealed with silicone sealant. Sub-frame shall be also sealed to the frame with silicone sealant around the exterior perimeter. Sub-frame shall be sealed to the wood buck using silicone sealant.

**Door:** The interior and exterior perimeter joints and all door connections to the main casing at the top rail, bottom rail and stiles shall be sealed with silicone sealant. Hinges shall also be sealed to hinge stile with silicone sealant. The plywood panel on exterior side of door shall be sealed around perimeter of the top rail, bottom rail and stiles with silicone sealant.



11. Frame and Sub-frame Material: Hot rolled steel DD12 Reference EN 10111 with Tensile Strength = 59,100 psi; Yield Strength at 0.2% = 52,300 psi; Ultimate Elongation 33%.

12. Door Material: Hot rolled zinc plated DX51 + Z100 (275 G/M ± 0.6 Oz/Ft<sup>2</sup>) Reference EN 10142 + A1-97 with Tensile Strength = 54300 psi, Yield Strength at 49,600 psi; Ultimate Elongation = 23%.

13. ASTM Designation for Steel: Equivalent to ASTM A 653 CQ Grade 50 at frame and ASTM A 653 CQ Grade 50 at door.

14. Galvanizing type: G60 (initial shop coated), followed by a second coat of asphalt paint in accordance w/ 2007 & 2010 Florida Building Code, section 2220.2

15. Decorative Wood Clad Panels: 0.250 (1/4") thick plywood (min. E=1300 ksi), oak (min. E=1573 ksi), pine (min. E=1417 ksi), mahogany (min. E=1204 ksi), Douglas fir (min. E=1390 ksi.) with 10-12% maximum moisture content, painted with minimum of two (2) coats of water based varnishes, protective impregnators and coatings for outdoor installations.

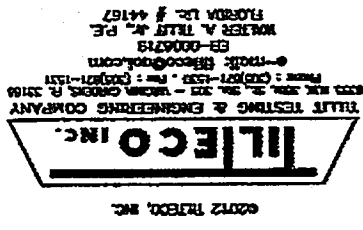
16. Door's manufacturer label shall be placed on the exposed surface of door's frame or sub-frame. One Label shall be placed for every door. Label shall read as follows:

Master Security Doors, Inc.  
Deerfield Beach, Fl  
Miami Dade County Product Control Approved.

17. a. This P.A.D. prepared by this engineer is generic and does not provide information for a specific project; i.e., where the site conditions deviate from the P.A.D.  
b. Contractor to be responsible for the selection, purchase and installation, including life safety of this product, based on this P.A.D., provide he/she does not deviate from the conditions detailed on this document. Construction safety at site is the contractor's responsibility.  
c. This P.A.D. will be considered invalid if altered by any means.  
d. Original P.A.D. shall bear the date and original seal and signature of the professional engineer of record that prepared it.

18. Materials, included but not limited to steel / metal screws, that come in contact with other dissimilar materials shall meet the requirements of 2007 & 2010 Florida Building Code section 2003.8.4.

19. Provide 1/4" max. bearing shim space.



MASTER SECURITY DOORS, INC

2179 N POWER LINE ROAD  
SUITE 2  
POMERANO BEACH, FL 33069

TELEPHONE: 954-971-4747  
FAX: 954-971-4525

MODEL: EX3 USA  
OUTSWING DOOR  
LARGE MISSILE  
IMPACT RESISTANT

DRAWING: ELEVATION

SCALE: NONE

DRAWN BY: KP, REAG

DATE DWN: OLD 11-037 02/29/12

PRODUCT REVISED  
in compliance with the Florida  
Building Code  
Approval No. 12-0320-01  
Expiration Date: April 30, 2016  
Walter A. Tillit Jr.  
Professional Engineer

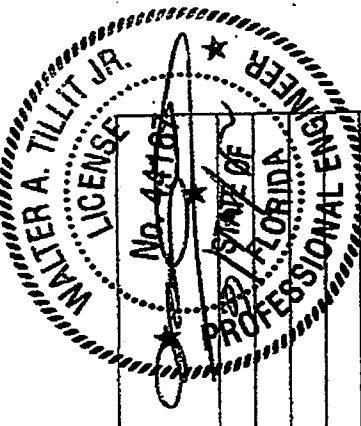
12-060

DRAWING N°

SHEET 1 OF 11

**BILL OF MATERIALS**

ITEM #	DESCRIPTION	MATERIAL	QTY	COMMENTS
1	HANDLE SET W/HEAD BOLT	MISC.	1	NOT APPLICABLE
2	EXTERIOR PANEL (SEE NOTE 15)	0.250 THK. WOOD G > = 0.55	1	ATTACHED TO ITEM 11 WITH LIQUID NAIL GLUE
3	INTERIOR PANEL (SEE NOTE 15)	0.250 THK. WOOD G > = 0.55	1	ATTACHED TO ITEM 11 WITH LIQUID NAIL GLUE
4	FRAME JAMBS, HEAD	HR. STL W/ A52 PVC FILM	3	NOT APPLICABLE
5	FRAME CORNER KEY	CALV. STEEL	2	REFER TO SHEET 8
6	HINGE ASSEMBLY	STEEL	3	REFER TO SHEET 10
7	ROCKWOOL INSULATION	FIBERGLASS	A/R	PANEL CAVITY
8	REINF (MULTI-POINT LOCK HOUSING)	STEEL	1	AT LOCK STILE
9	9/16" X 1/8" THK OPEN CELL FOAM	EPS	A/R	W/ADHESIVE BACKING AND CLIPED TO COMPRESSION GASKET
10	PANEL REINF (HINGE STILE)	STEEL	1	AT HINGE STILE
11	PANEL TOP, BOTTOM & STILE RAILS	HR. STL W/ A52 PVC FILM	4	NOT APPLICABLE
12	#5 X 1/2" PPHSMS	STEEL	19	PANEL ASS'Y SCREW
13	DISA CYLINDER ASSEMBLY LOCK	STEEL	1	REFER TO SHEET 2
14	BACKING TOBAR	CALV. STEEL	2	NOT APPLICABLE
15	ELEVATED FRAME SILL	HR. STL W/ A52 PVC FILM	1	REFER TO SHEET 6
16	FRONT PANEL PLATE	HOT ROLLED STEEL	1	0.051" THK, WELDED TO THE STEEL FORMED SECTION AROUND THE ENTIRE PERIMETER ON INTERIOR AND EXTERIOR SIDE, (20) WELDS AT EACH STILE, LOCATED AT (4) AT 1/8" FROM TOP RAIL, THEN (19) WELDS AT 3/4" O-C, (8) WELDS AT TOP AND BOTTOM RAIL, EACH LOCATED (1) AT 1" FROM LOCK STILE, THEN (7) AT 5" O-C.
17	REAR PANEL FORMED PLATE	HOT ROLLED STEEL	1	0.051" THK, SPOT WELDED TO ITEM 8 IN THE LOCK STILE WITH TWO ROWS OF SPOT WELDS, 4" APART, FIRST ROW AT 5/8" FROM LOCK STILE. EACH ROW WITH (8) WELDS, LOCATED (1) AT 1/2" FROM TOP RAIL, BALANCE AT 1 1/8", 17 1/4", 16", 3 3/4", 11", 10 3/4", 16" AND ALSO SPOT WELDED TO ITEM 10 IN THE HINGE STILE WITH ONE ROW OF (6) SPOT WELDS AT 2 1/2" FROM HINGE STILE, AND AT 2 1/2" FROM TOP RAIL, WITH BALANCE AT 14 1/2", 17", 17 7/8", 18" AND 19 1/2".
18	SUBFRAME HEAD	HOT ROLLED STEEL	1	REFER TO DETAIL 18, SHEET 7
19	SUBFRAME JAMBS	HOT ROLLED STEEL	2	REFER TO DETAIL 19, SHEET 7
20	LOWER FRAME SILL	HR. STL W/ A52 PVC FILM	1	REFER TO DETAIL 20, SHEET 7
21	SUBFRAME CORNER KEY	CALV. STEEL	2	REFER TO DETAIL 21, SHEET 7 AND DETAIL 5, SHEET 8
22	FRAME GASKET	VINYL	A/R	REFER TO DETAIL 22, SHEET 11
23	COMPRESSION GASKET	VINYL	A/R	REFER TO DETAIL 23, SHEET 11
24	BLOT W/THREADED SLEEVE	STEEL	5	REF DET 24, SHEET 6 AND REF DET 28, SHEET 7. LOCATED AT 1 3/8" WIDE X 1 1/8" HIGH CUT OUTS COVERED WITH VINYL COVER (5) AT HINGE JAMB
25	RETENTION CLIP HOUSING	CALV STEEL	10	5 PER JAMB, SEE LOCATIONS ON SHEET 3. REF. DET 25, SHEET 11
26	RETENTION CLIP	CALV. STEEL	10	5 PER JAMB, SEE LOCATIONS ON SHEET 3. REF. DET 26, SHEET 11
27	M8 X 30MM ALLEN HEAD BOLT	STEEL	5	SEE SHEET 3 FOR LOCATIONS
28	BLOT KEEPER	PLASTIC	5	REF DET 28, SHEET 7. USE 5 AT HINGE JAMB AT ITEM 24.



**TILFICO INC.**  
2012 TILFICO, INC.  
TILFICO TESTING & ENGINEERING COMPANY  
699 NE 15th St, Suite 205 - Miramar, FL 33185  
Tel: (305) 867-1531 Fax: (305) 867-1531  
www.tilfico.com

**MASTER SECURITY DOORS, INC**  
2179 N POWER LINE ROAD  
SUITE 2  
POMEROY BEACH, FL 33069  
TELEPHONE: 954-971-4747  
FAX: 954-971-4925

**MODEL:** EX3 USA  
OUTSWING DOOR  
LARGE MISSILE  
IMPACT RESISTANT

**DRAWING:** ELEVATION  
SCALE: NONE  
**DRAWN BY:** KP, RE, AG  
DATE DWN: OLD 11-037 02/29/12

PRODUCT REVISED  
in compliance with the Florida  
Building Code  
Approval No. 12-0320-21  
Expiration Date 4/20/16

12-060  
DRAWING N°  
SHEET 2 OF 11

**TILECO INC.**  
 2012 TILECO, INC.  
 TILT TESTING & ENGINEERING COMPANY  
 3555 NW 35th St., Suite 305 - Western Office, Ft. Lauderdale, FL 33309  
 Phone: (954) 571-1100 Fax: (954) 571-1151  
 Email: tileco@tileco.com  
 Website: www.tileco.com  
 WALTER A. TILLIT JR., P.E.  
 REGISTERED PROFESSIONAL ENGINEER  
 FLORIDA LICENSE NO. 13546

**MASTER SECURITY DOORS, INC.**  
 2179 N POWER LINE ROAD  
 ROMANO BEACH, FL 33069  
 TELEPHONE: 954-971-4747  
 FAX: 954-971-4925

**MODEL: EX3 USA**  
**OUTSWING DOOR**  
**LARGE MISSILE**  
**IMPACT RESISTANT**  
**DRAWING: ELEVATION**  
**SCALE: NONE**  
**DRAWN BY: KP, REAG.**  
**DATE DWN: OLD 11-037 02/29/12**

**PRODUCT REVISED**  
 as complying with the Florida Building Code  
 Amendment No. 12-0320-21  
 Expiration Date: 12/24/16  
 [Signature]  
 Special Design Product Control

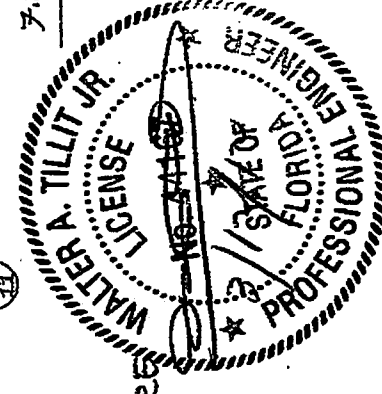
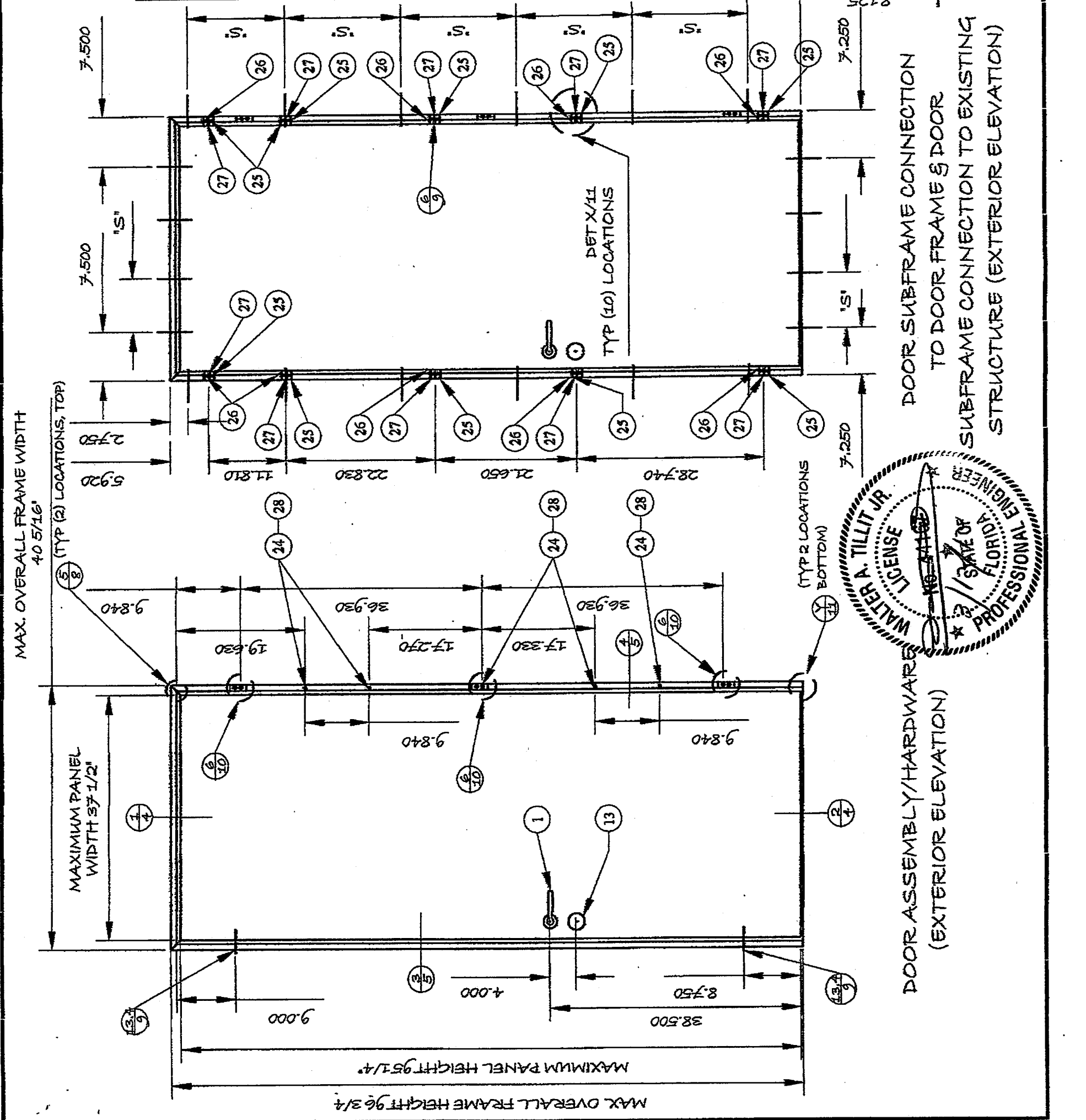
**12-060**  
**DRAWING N°**  
**SHEET 3 OF 11**

**MAXIMUM ANCHOR SPACING 'S' SCHEDULE FOR SUBFRAME ANCHORAGE TO EXISTING STRUCTURE**

DOOR FRAME TYPE	MAX. A.S.P. DESIGN PRESSURE RATING	ANCHOR TYPE	
		1	2
JAMBS	UP TO 100 PSF	10' O.C.	17' 3/4" O.C.
	>100 TO 200 PSF	5' O.C.	9' O.C.
HEAD	UP TO 100 PSF	12' 3/4" O.C.	25' O.C.
	>100 TO 200 PSF	6' 3/8" O.C.	8' 3/8" O.C.

\* VALID FOR EITHER POURED CONCRETE, CONCRETE BLOCK, OR WOOD SUBSTRATES (REFER TO ANCHOR LEGEND)

**ANCHOR LEGEND:**  
 1. 1/4" TAPCON ANCHORS, BY BLOO TEXTRON W/ 1 1/4" MIN. EMBEDMENT TO F<sub>0</sub> = 3.32 KSI CONCRETE, OR ASTM C-90 CONCRETE BLOCK AND WITH 3" MIN. EMBEDMENT TO WOOD SUBSTRATE W/  $q > = 0.55$  MIN EDGE DISTANCE = 2 1/2" (MASONRY) AND MIN. EDGE DISTANCE 1" (WOOD).  
 2. 3/8" TAPPERS BY POWER FASTENERS, INC; W/ 1 1/4" MIN. EMBEDMENT TO F<sub>0</sub> = 3.0 KSI CONCRETE OR ASTM C-90 CONCRETE BLOCK WALL AND WITH 3" MIN. EMBED. TO WOOD SUBSTRATE W/  $q > = 0.55$  MIN EDGE DISTANCE = 4 1/2" (MASONRY), MIN. EDGE DISTANCE = 1 1/2" (WOOD).




**DOOR ASSEMBLY/HARDWARE (EXTERIOR ELEVATION)**

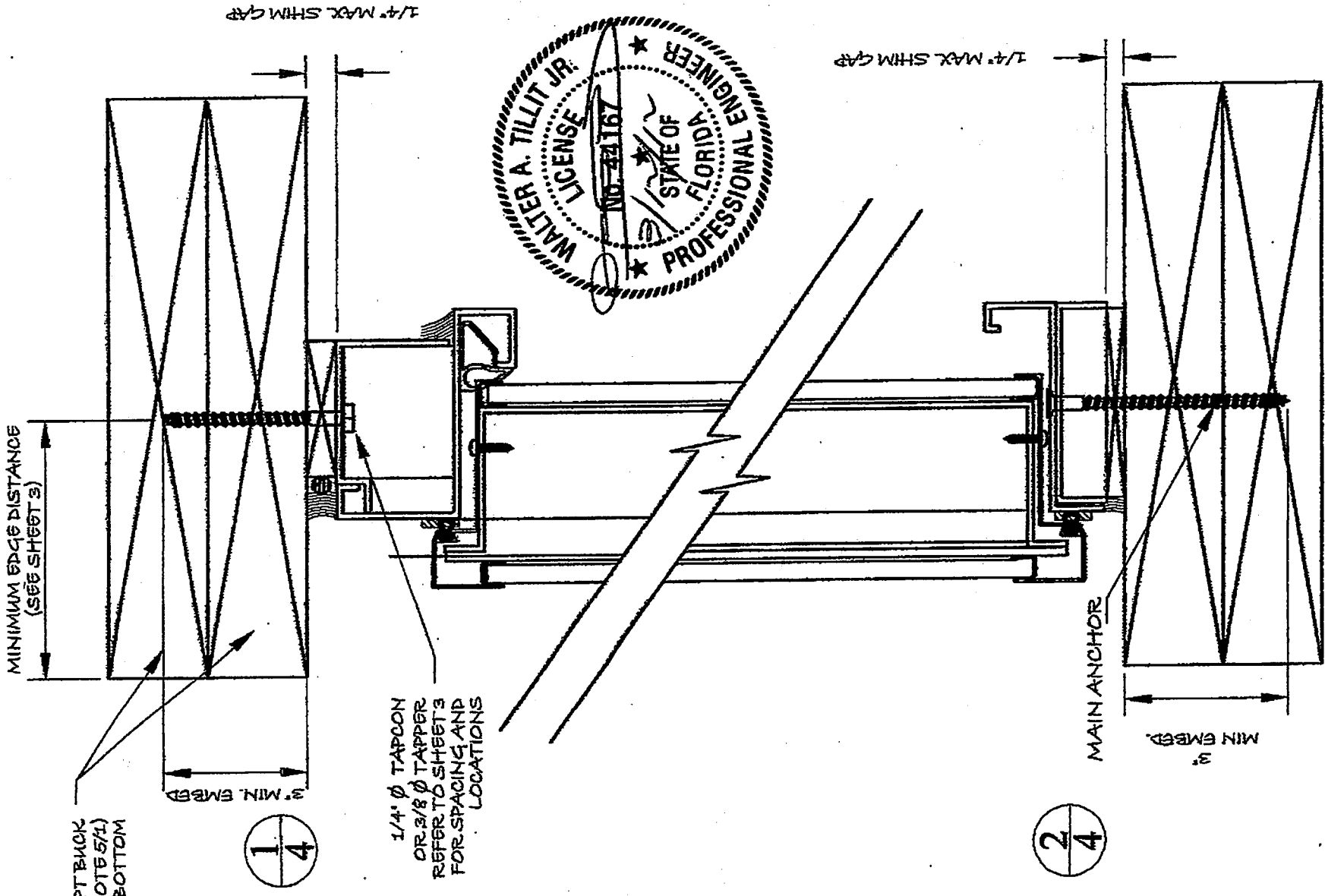
**DOOR SUBFRAME CONNECTION TO DOOR FRAME & DOOR SUBFRAME CONNECTION TO EXISTING STRUCTURE (EXTERIOR ELEVATION)**

— PERIMETER FASTENER LOCATIONS (SEE ANCHOR LEGEND, THIS SHEET)

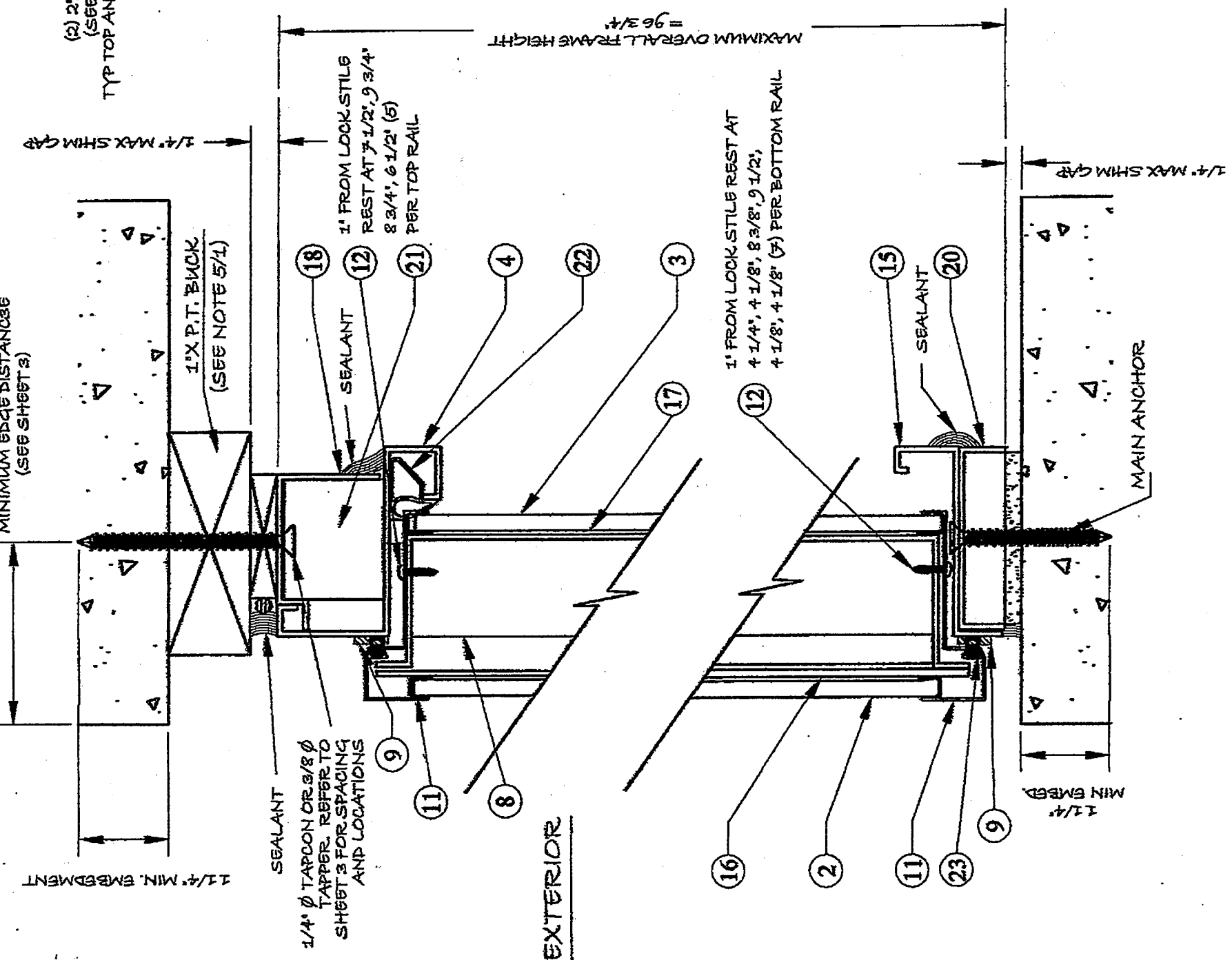


 <p>TILTECO INC. 2179 N POWERLINE ROAD SCOTTSDALE, AZ 85258 TEL: 480-990-1100 FAX: 480-990-1101 WWW.TILTECO.COM</p>	<p>MASTER SECURITY DOORS, INC. 2179 N POWERLINE ROAD SCOTTSDALE, AZ 85258 TEL: 480-990-1100 FAX: 480-990-1101</p>	<p>MODEL: EX3 USA OUTSWING DOOR LARGE MISSILE IMPACT RESISTANT</p>	<p>DRAWING: VERT. CROSS SECT</p>	<p>SCALE: NONE</p>	<p>DRAWN BY: KP, REAG</p>	<p>DATE DWN: OLD 11-037 02/29/12</p>	
		<p>PRODUCT REVISED in compliance with the Florida Building Code Apparatus No. 12-0320-2 Expiration Date 4/20/11</p>	<p>12-060</p>	<p>DRAWING N°</p>	<p>SHEET 4 OF 11</p>		
		<p>WALTER A. TILLIT JR. LICENSE NO. 34167 PROFESSIONAL ENGINEER STATE OF FLORIDA</p>			<p>1/4" MAX SHIM GAP</p>		
		<p>MINIMUM EDGE DISTANCE (SEE SHEET 3)</p>			<p>MIN. EMBD.</p>		

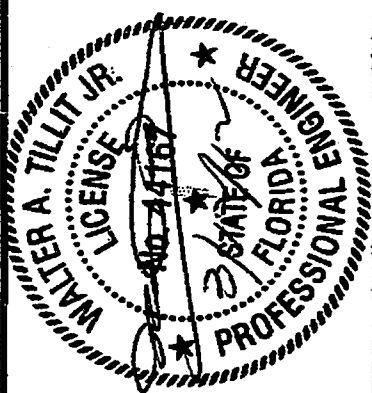
WOOD INSTALLATION



MASONRY INSTALLATION



EXTERIOR



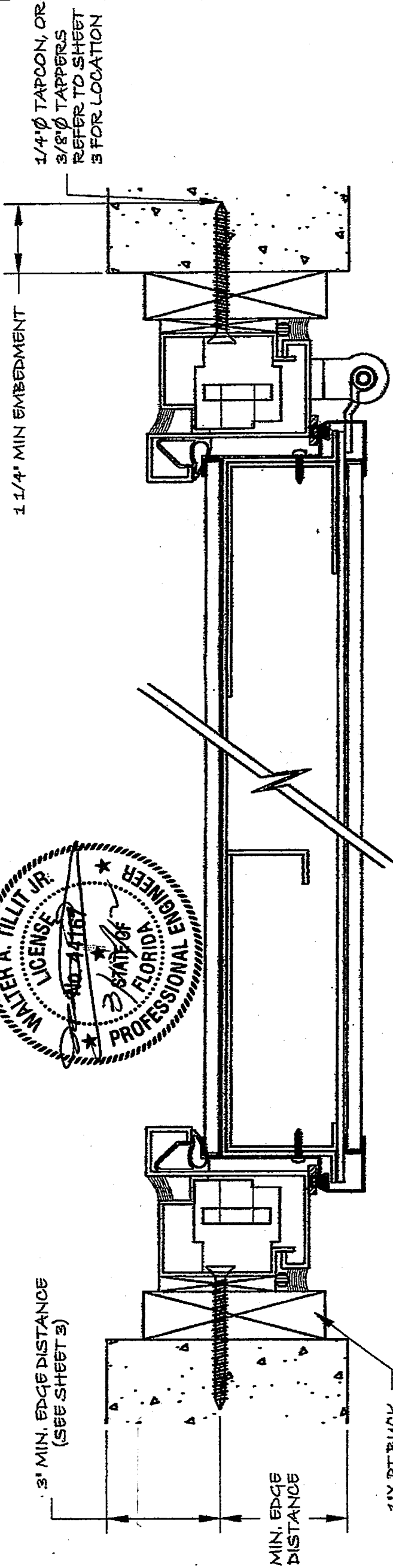
**TILTECO INC.**  
 2179 N POWER LINE ROAD  
 SUITE 203  
 PALM BEACH, FL 33409  
 TELEPHONE: 954-971-4147  
 FAX: 954-971-4925

TILT TESTING & ENGINEERING COMPANY  
 1300 W. Palm Beach Blvd. - Palm Beach, FL 33411  
 Phone: (561) 832-1111 - Fax: (561) 832-1111  
 e-mail: tilt@tilteco.com  
 EB-0005719  
 WALTER A. TILLIT JR., P.E.  
 FLORIDA LIC. # 44167

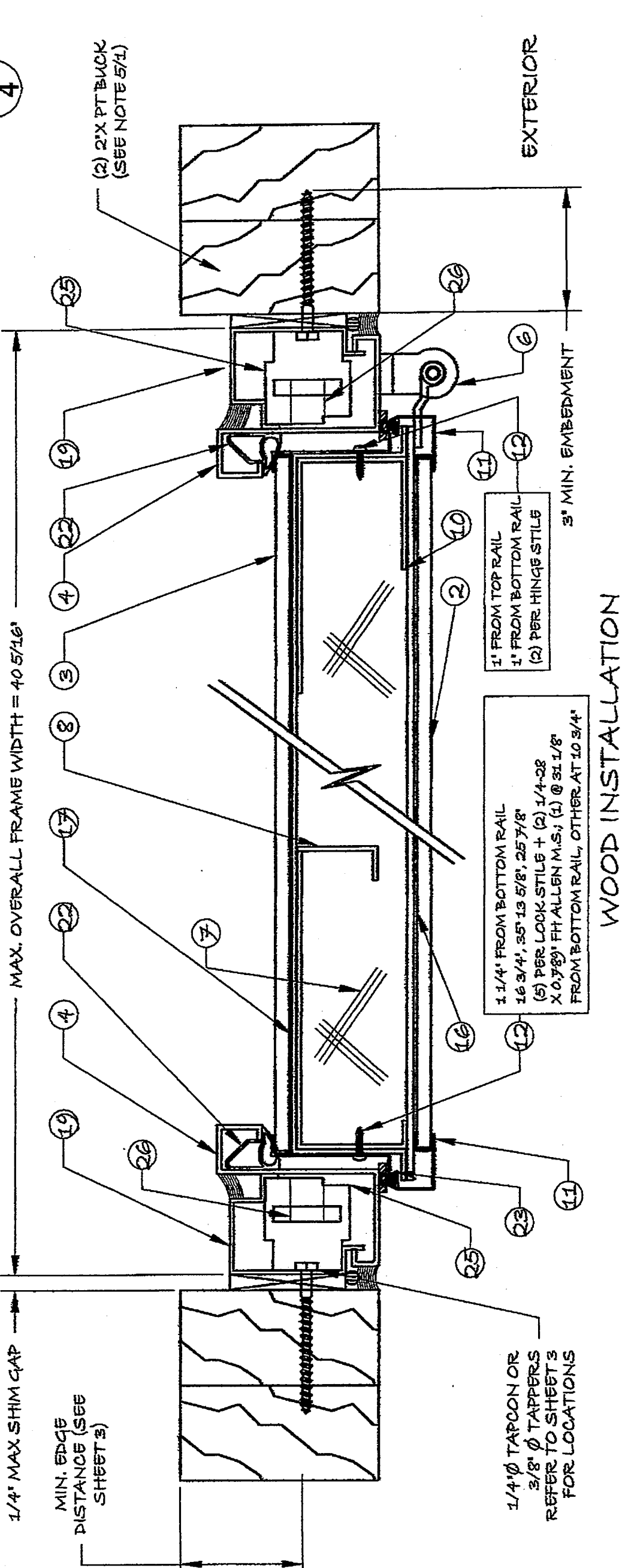
**MASTER SECURITY DOORS, INC.**  
 DATE DWN: OLD 11-037 02/29/12  
 DRAWN BY: KP, REAG.  
 SCALE: NONE  
 DRAWING: HORIZ. CROSS SECT  
 IMPACT RESISTANT  
 LARG MISSILE  
 OUTSWING DOOR  
 EX3 USA  
 MODEL:

PRODUCT REVISED  
 in compliance with the Florida  
 Building Code  
 Acceptance No. 12-03302  
 Expiration Date 12/2012  
 By: *Walter A. Tillit Jr.*  
 Mutual Safety Product Control

12-060  
 DRAWING N°  
 SHEET 5 OF 11



MASONRY INSTALLATION



WOOD INSTALLATION

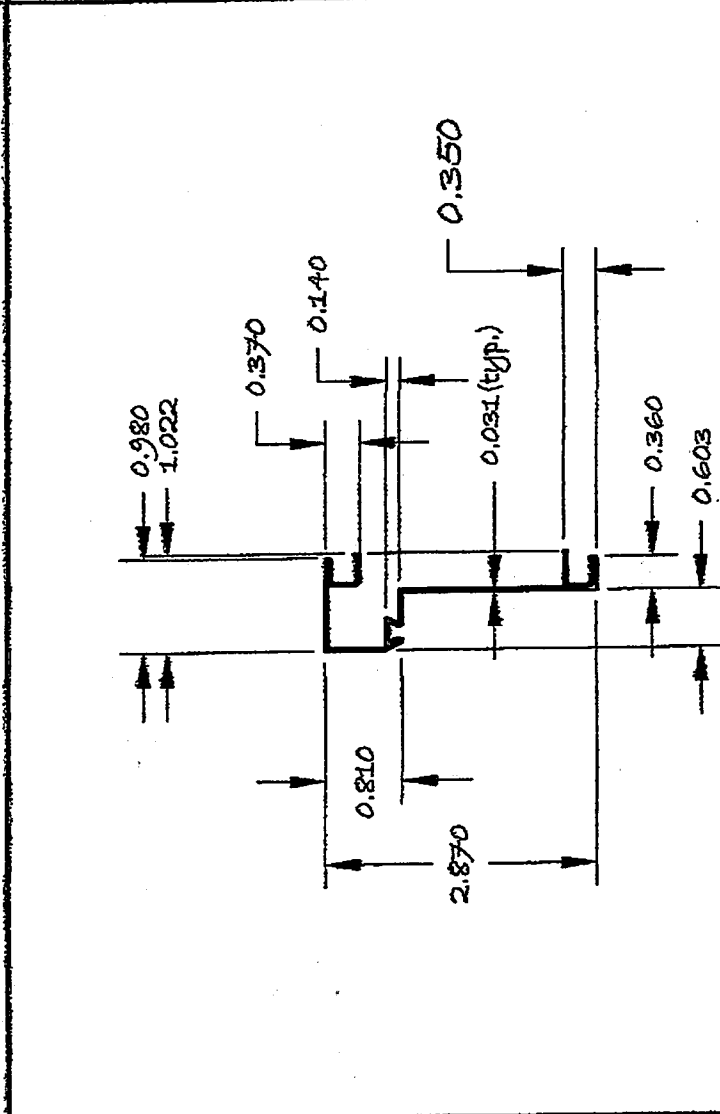
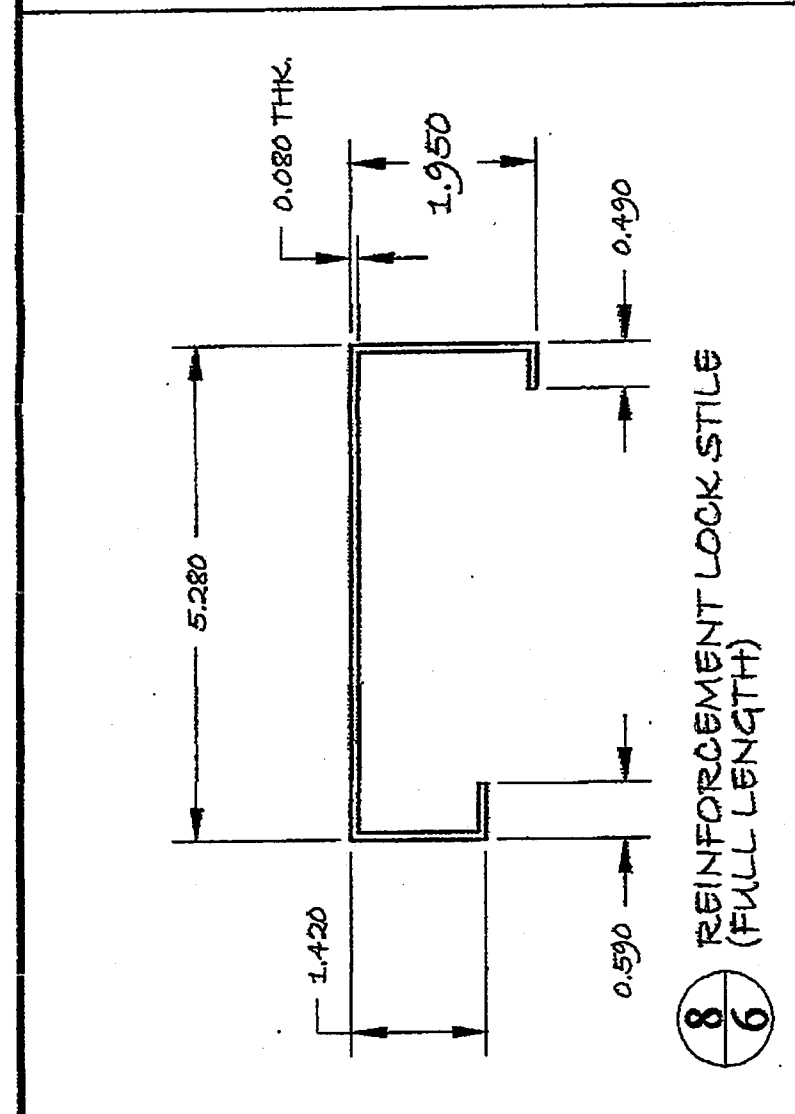
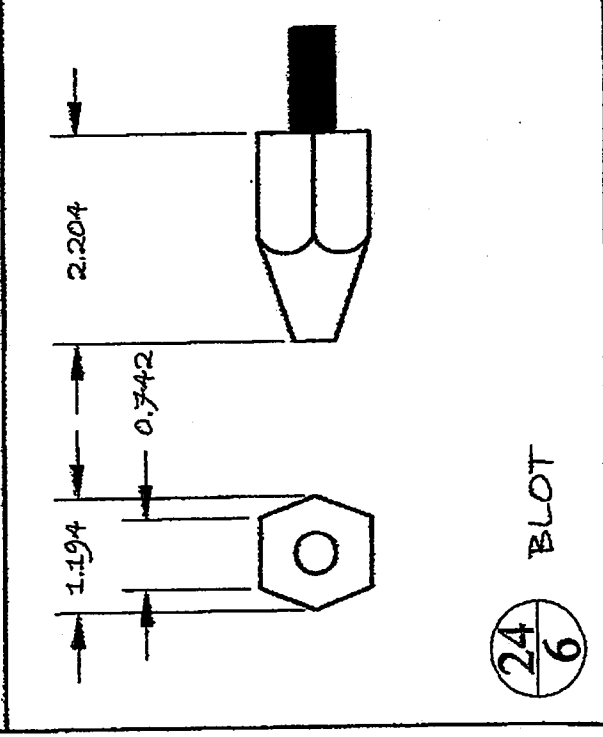
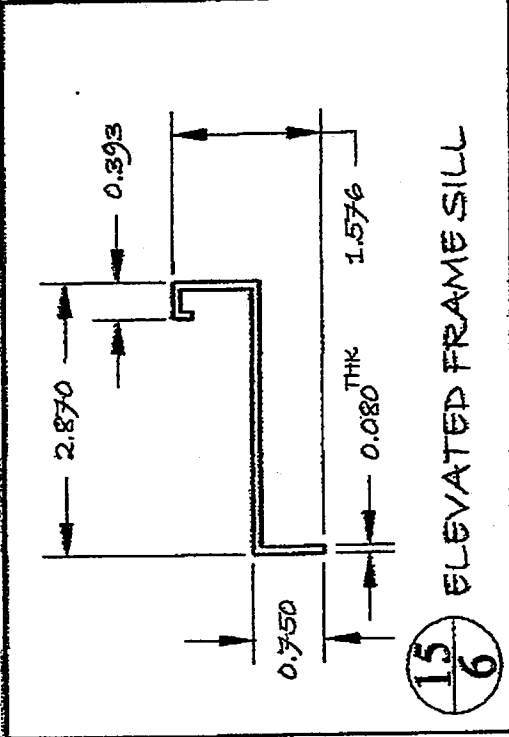
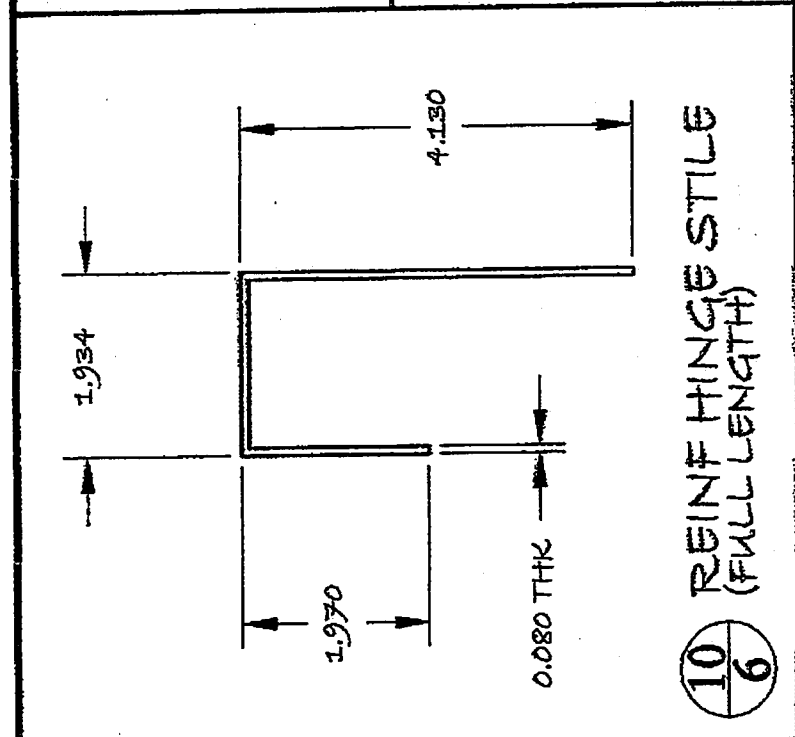
**ILITECO INC.**  
 2012 ILITECO, INC.  
 TRAIT TESTING & ENGINEERING COMPANY  
 3525 NE 15th St., Suite 200 - Fort Lauderdale, FL 33305  
 Phone: (954) 341-1200 Fax: (954) 341-1201  
 e-mail: [info@iliteco.com](mailto:info@iliteco.com)  
 EB-0000719  
 WALTER A. TILLIT JR., P.E.  
 FLORIDA Lic. # 44167

**MASTER SECURITY DOORS, INC.**  
 2179 N POWERLINE ROAD  
 SUITE 22  
 POMPANO BEACH, FL 33069  
 TEL: (954) 971-4747  
 FAX: (954) 971-4925

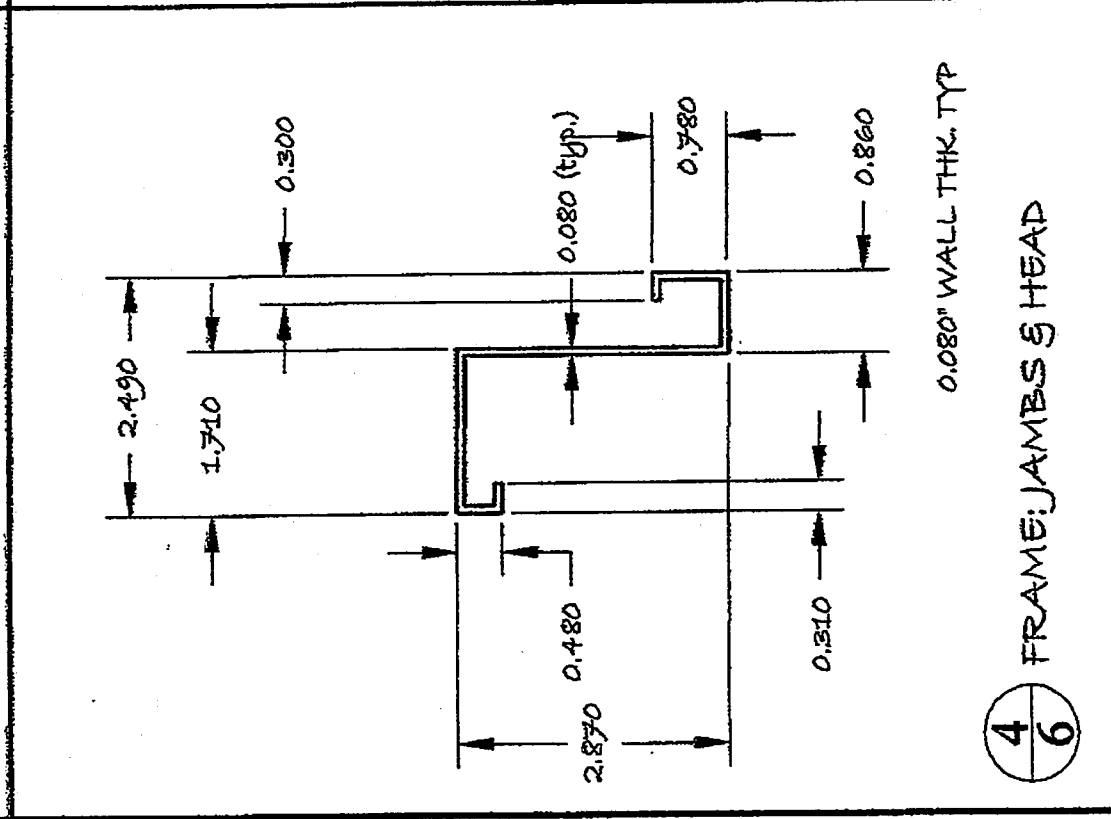
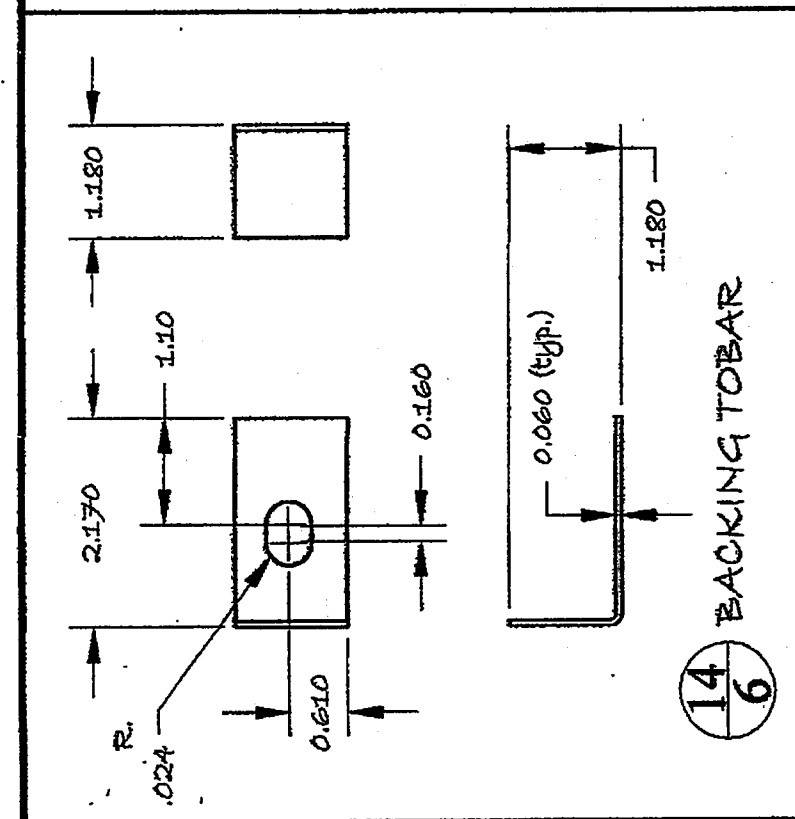
**MODEL:** EX3 USA  
**LARGE MISSILE IMPACT RESISTANT**  
**DRAWING:** DETAILS  
**SCALE:** NONE  
**DRAWN BY:** KP, REAG  
**DATE DWN:** OLD 11-037 02/29/12

**PRODUCT REVISED**  
 as complying with the Florida  
 Building Code  
 Acceptance No. 12-022021  
 Expiration Date 4/20/11  
 Walter A. Tillit Jr.  
 Professional Engineer

12-060  
**DRAWING N°**  
**SHEET 6 OF 11**



**WALTER A. TILLIT JR.**  
**PROFESSIONAL ENGINEER**  
 FLORIDA  
 LICENSE  
 No. 44167  
 P.E. / S.W.P.E.



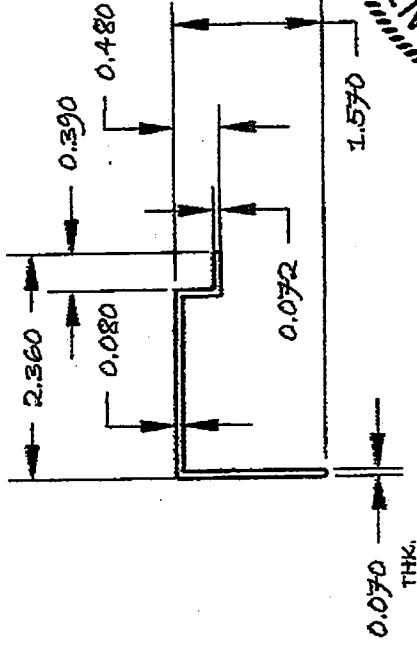
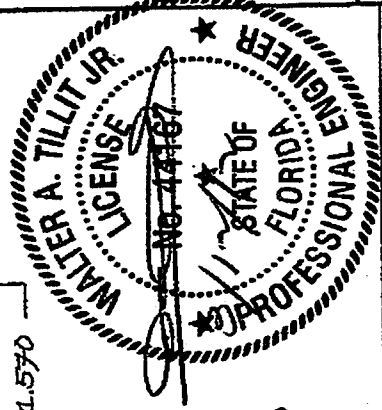
**TILITECO INC.**  
 2012 TILITECO, INC.  
 TILITE TESTING & ENGINEERING COMPANY  
 6035 W.W. 30th St. - Fort Lauderdale, FL 33309  
 Phone: (954) 771-1200 Fax: (954) 771-1201  
 e-mail: [tilite@tiliteco.com](mailto:tilite@tiliteco.com)  
 69-0006719  
 WATER A. TILLIT JR., P.E.  
 FLORENCE, FL 32205

**MASTER SECURITY DOORS, INC.**  
 2179 N. POWERLINE ROAD  
 SUITE 2  
 POMPANO BEACH, FL 33069  
 TELEPHONE: 954-972-4747  
 FAX: 954-971-0925

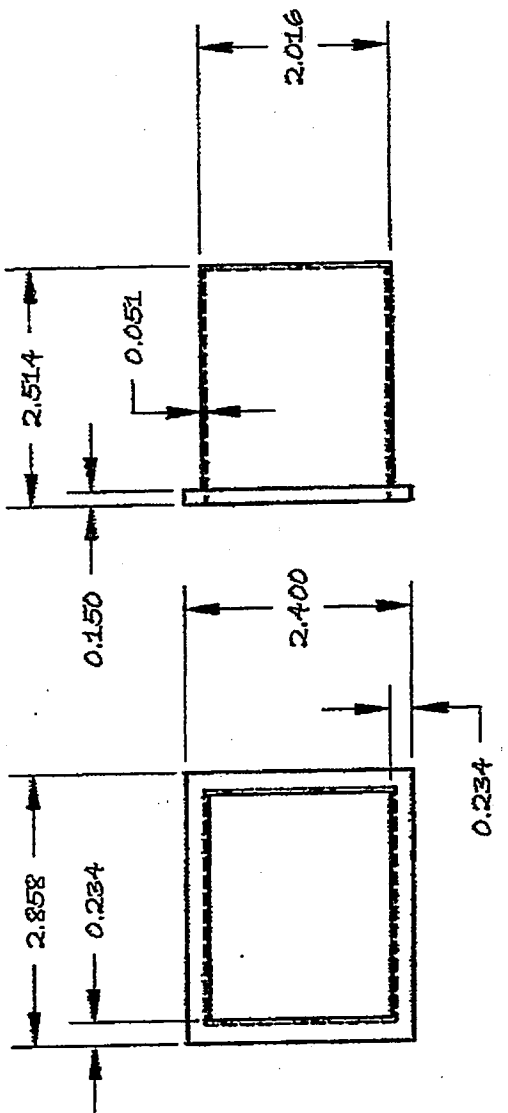
**MODEL: EX3 USA**  
**OUTSWING DOOR**  
**LARGE MISSILE**  
**IMPACT RESISTANT**  
**DRAWING: SUBFRM DETAILS**  
**SCALE: NONE**  
**DRAWN BY: KP, REAG**  
**DATE DWN: OLD 11-037 02/29/12**

**PRODUCT REVISERS**  
 as complying with the Florida  
 Building Code  
 Acceptance No. 12-0220-21  
 Expiration Date 12/31/12  
*Walter A. Tillit Jr.*  
 Professional Engineer

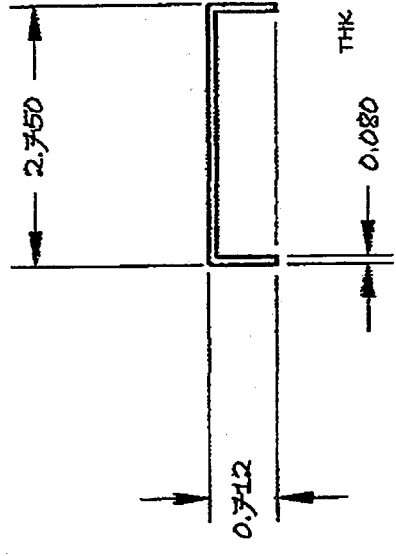
12-060  
**DRAWING N°**  
**SHEET 7 OF 11**



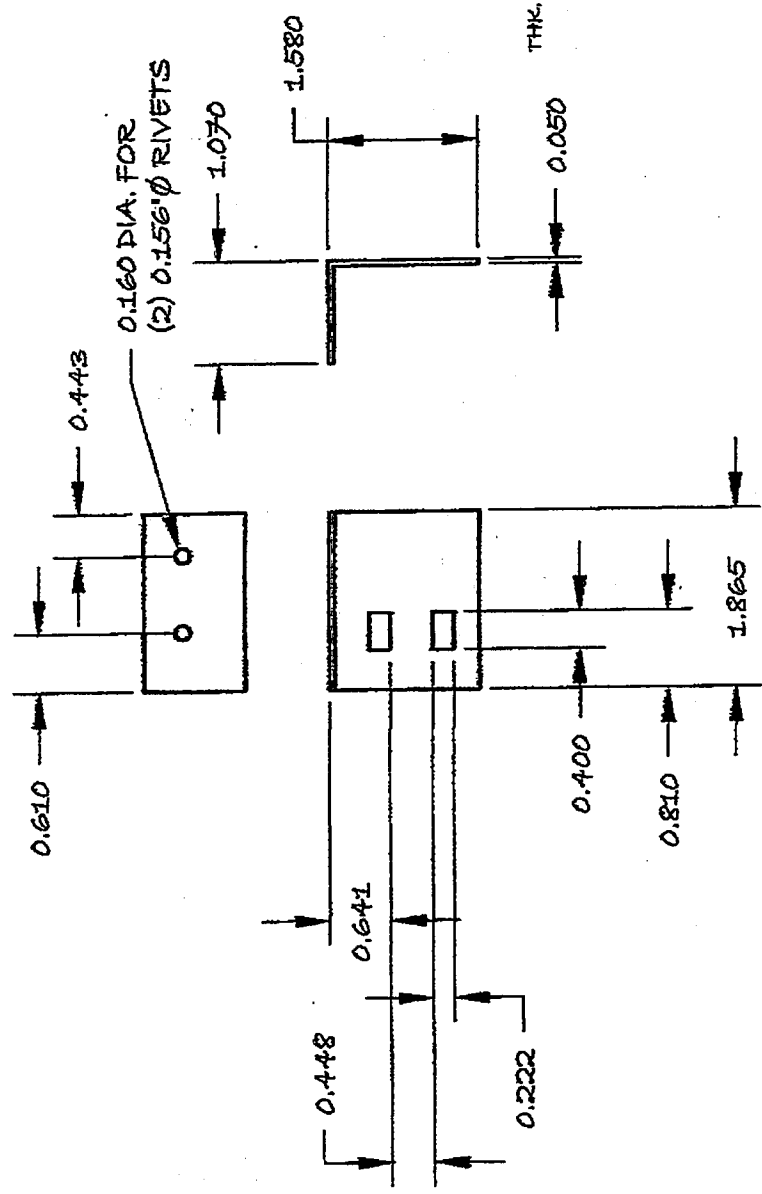
**18** SUB FRAME HEAD  
 SCALE: 1/2



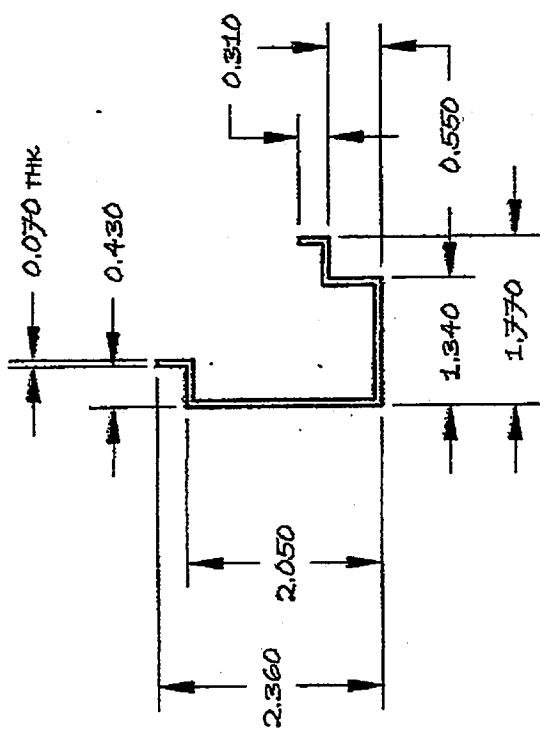
**28** BLOT KEEPER  
 SCALE: FULL



**20** LOWER FRAME SILL  
 SCALE: 1/2



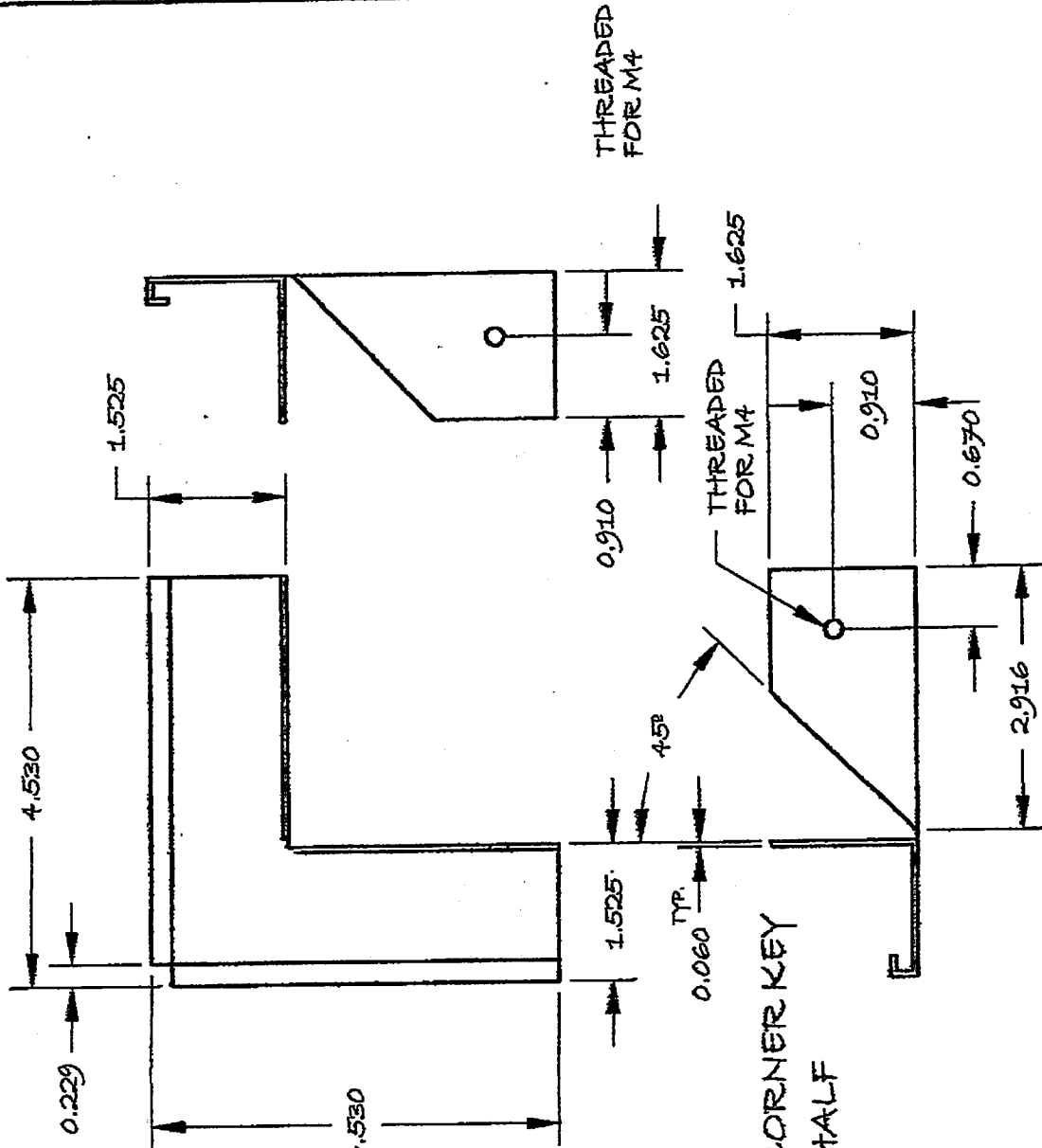
**21** SUB FRAME CORNER KEY  
 SCALE: 1/2



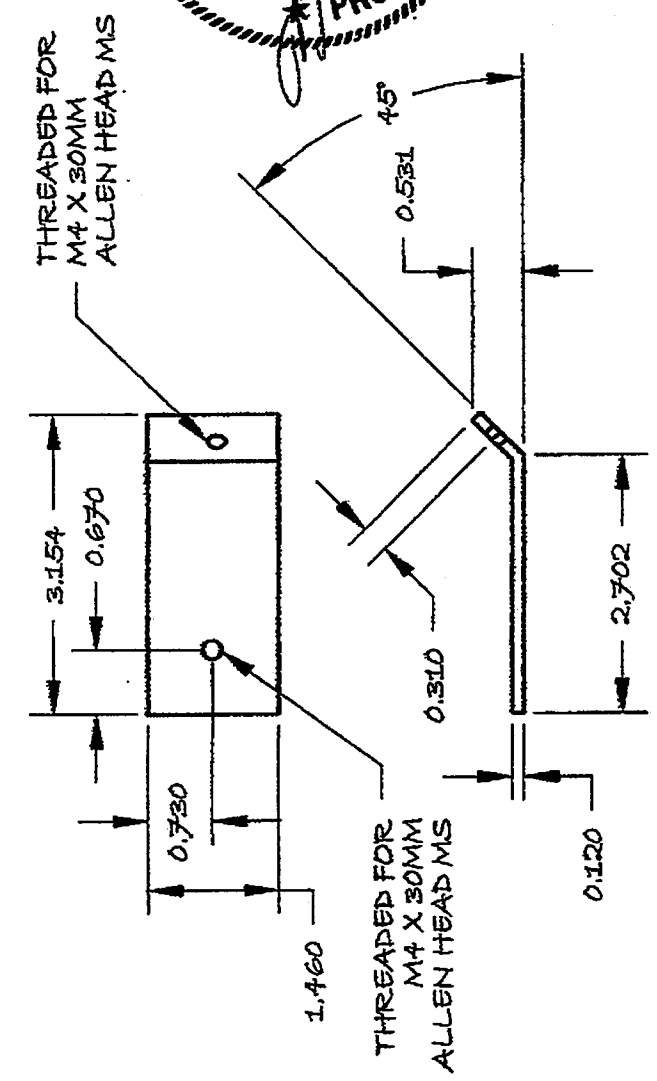
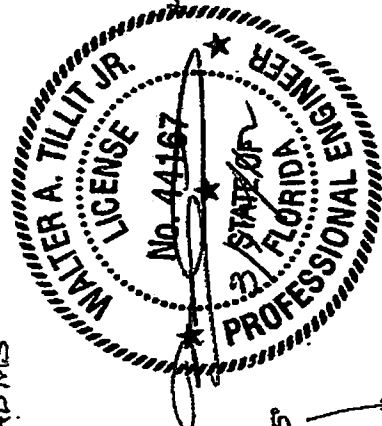
**19** SUBFRAME JAMBS  
 SCALE: 1/2

**PRODUCT REVIEWED**  
 in compliance with the Florida  
 Building Code  
 Approval No. 12-0520-2/  
 Expiration Date 4/22/16  
 By: *[Signature]*  
 Michael Duke Product Control

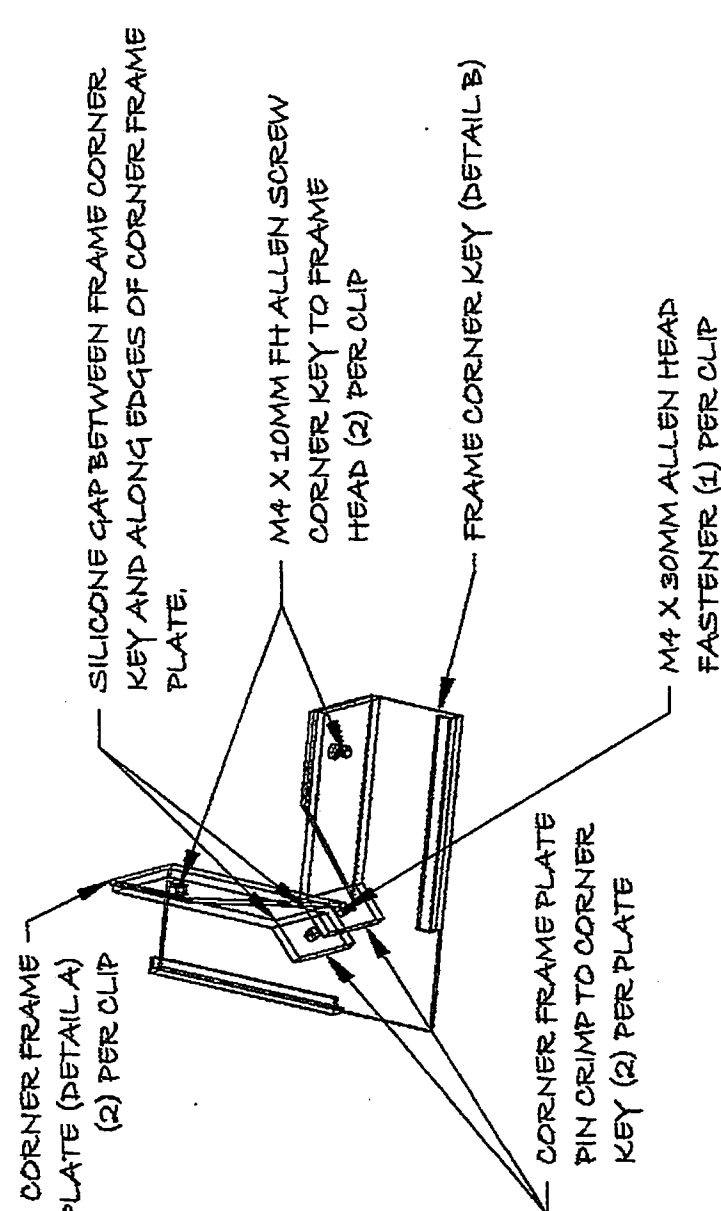
12-060  
**DRAWING N**  
**SHEET 8 OF 11**



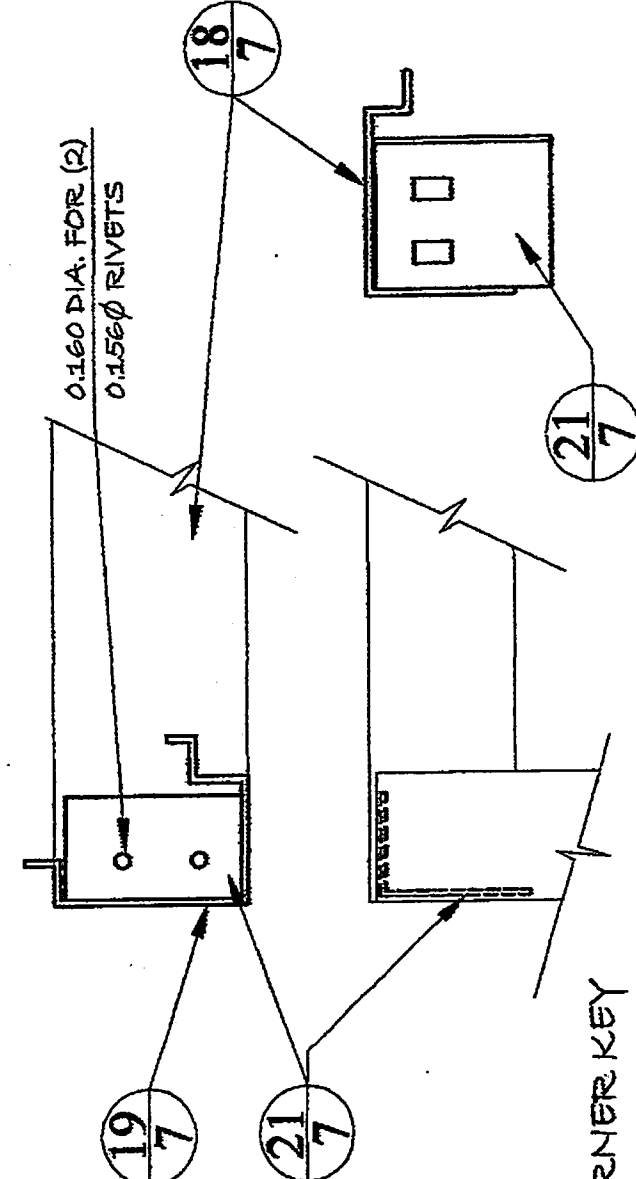
**8**  
**FRAME CORNER KEY**  
**SCALE: HALF**



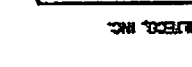
**8**  
**CORNER FRAME PLATE**  
**SCALE: HALF**



**8**  
**FRAME CORNER KEY ASS'Y**



**7**  
**SUBFRAME CORNER KEY**



2012 TILTECO, INC.  
 TILTE TESTING & ENGINEERING COMPANY  
 630 NE 2nd St. - Victoria Gardens, # 2108  
 Ft. Lauderdale, FL 33304  
 (954) 575-1111  
 TILTE TESTING & ENGINEERING COMPANY  
 630 NE 2nd St. - Victoria Gardens, # 2108  
 Ft. Lauderdale, FL 33304  
 (954) 575-1111  
 TILTE TESTING & ENGINEERING COMPANY  
 630 NE 2nd St. - Victoria Gardens, # 2108  
 Ft. Lauderdale, FL 33304  
 (954) 575-1111

MASTER SECURITY DOORS, INC.  
 2179 N. POWER LINE ROAD  
 SUITE 2  
 CORPANO BEACH, FL 33069  
 TELEPHONE: 954-971-4747  
 FAX: 954-971-4925

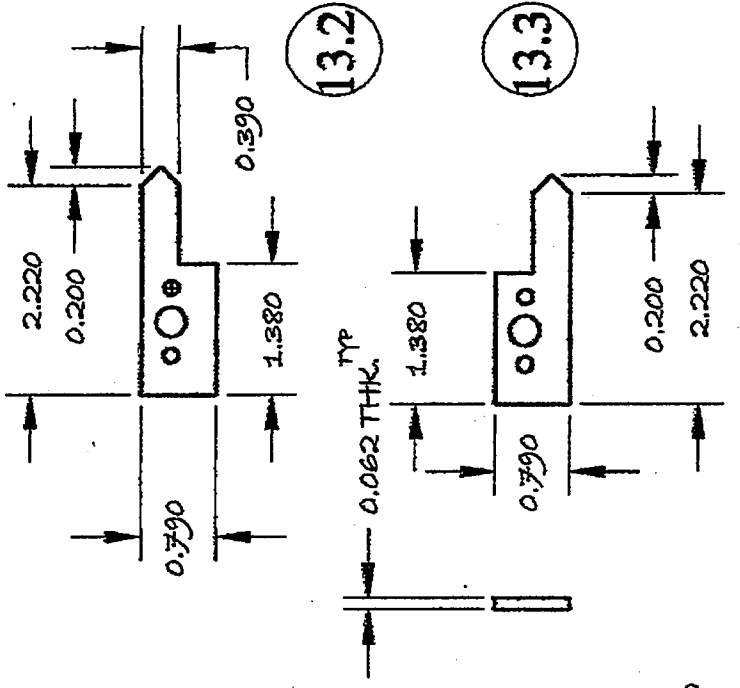
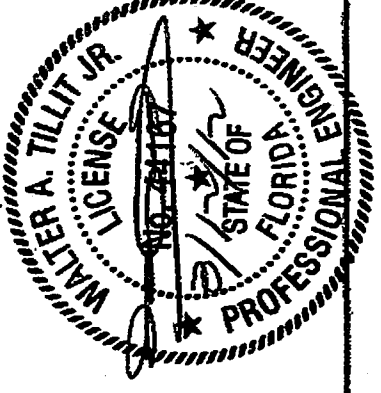
MODEL: EX3 USA  
 OUTFSWING DOOR  
 LARGE MISSILE  
 IMPACT RESISTANT  
 DRAWING: LOCK SYSTEM  
 SCALE: NONE  
 DRAWN BY: KP, RE.A.G.  
 DATE DWN: OLD 11-037 02/29/12

PROVIDER MANUFACTURE  
 as complying with the Florida  
 Building Code  
 Acceptance No. 12-0520-21  
 Expiration Date 4/12/17  
 By: [Signature]  
 Florida Professional Engineer

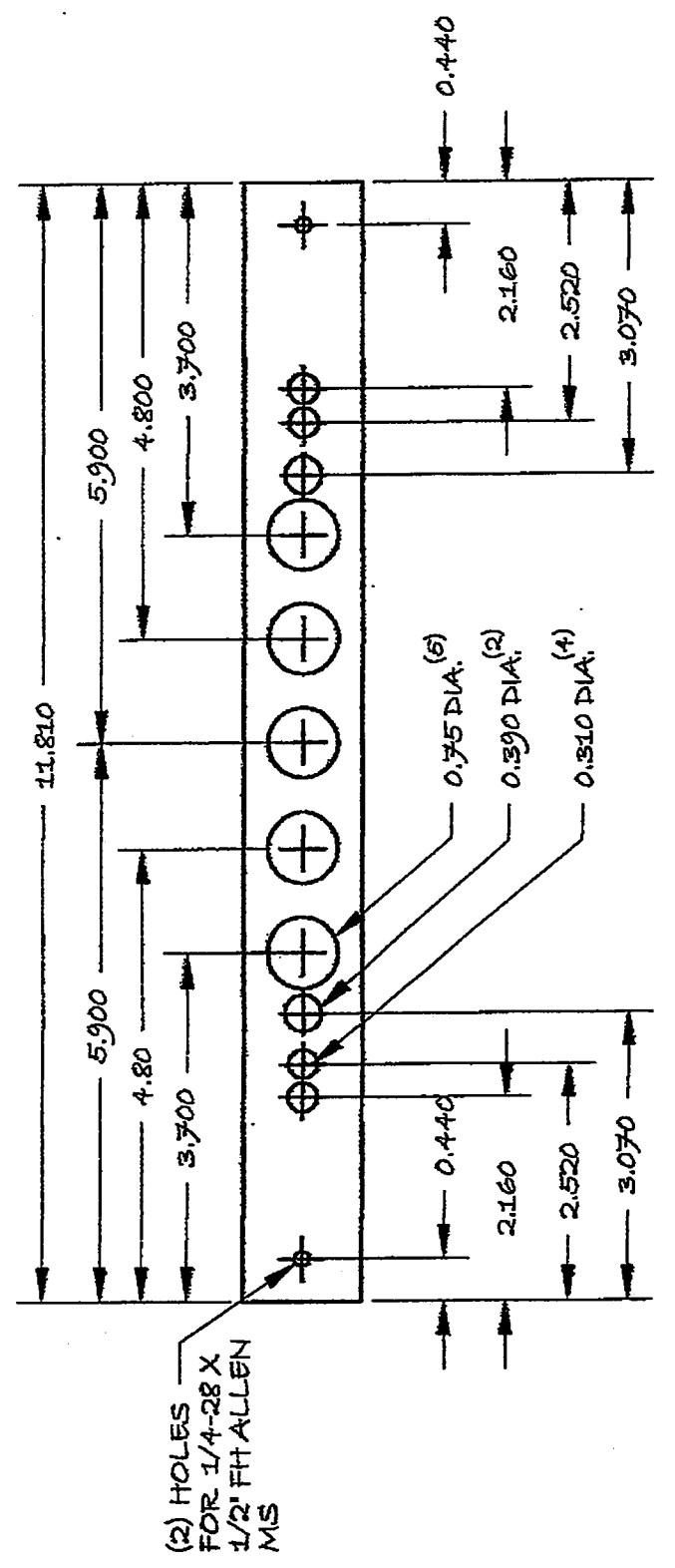
12-060  
 DRAWING N°  
 SHEET 9 OF 11

ITEM #	DESCRIPTION	QUANTITY
13.1	LOCK	1
13.2	TONGUE UPPER	1
13.3	TONGUE LOWER	1
13.4	LOCK SLIDE BOLTS	2
13.5	CONNECTOR ROD (NOT SHOWN)	2
13.6	LOCK STRIKE PLATE	1

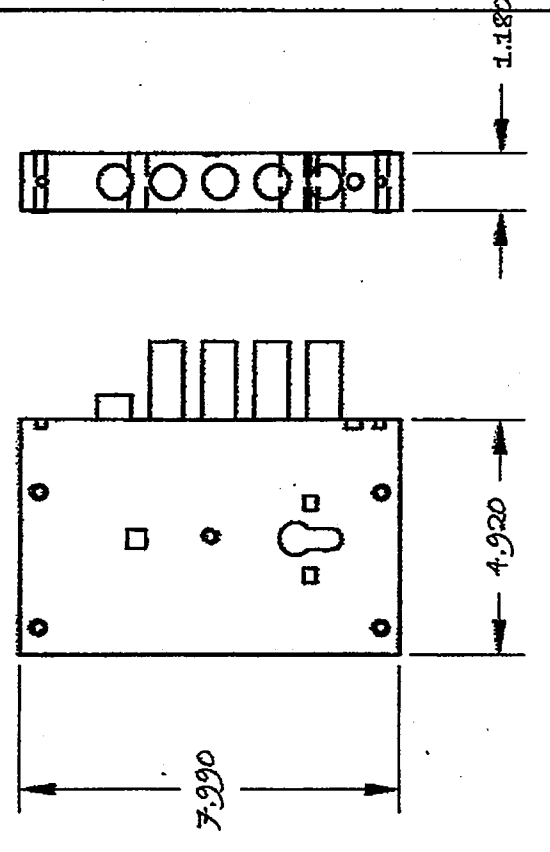
13  
 9 MULTI-POINT LOCKING SYSTEM



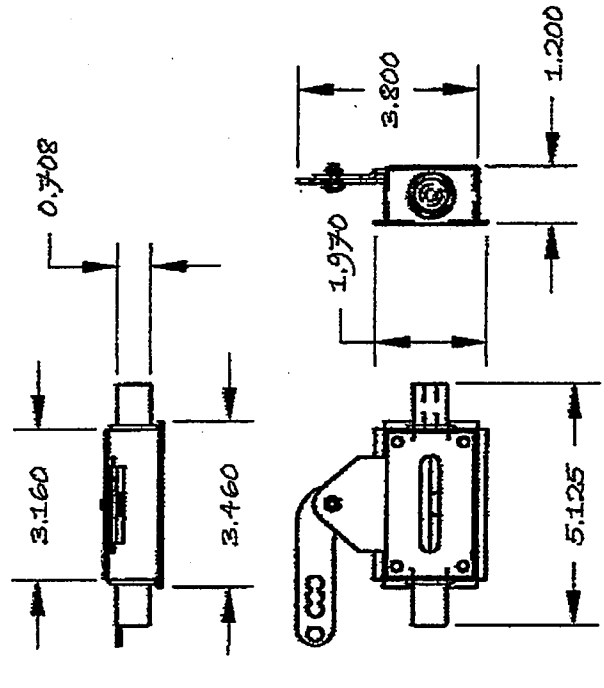
13.2 TONGUE UPPER AND LOWER  
 SCALE: 1/2



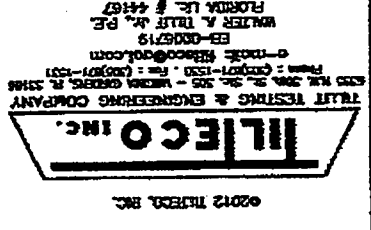
13.6 LOCK STRIKE PLATE  
 SCALE: 1/2



13.1 LOCK  
 SCALE: 1/4



(2) REQUIRED AT LOCK STILE  
 13.4 LOCK SLIDE BOLTS  
 SCALE: 1/4



MASTER SECURITY DOORS, INC.

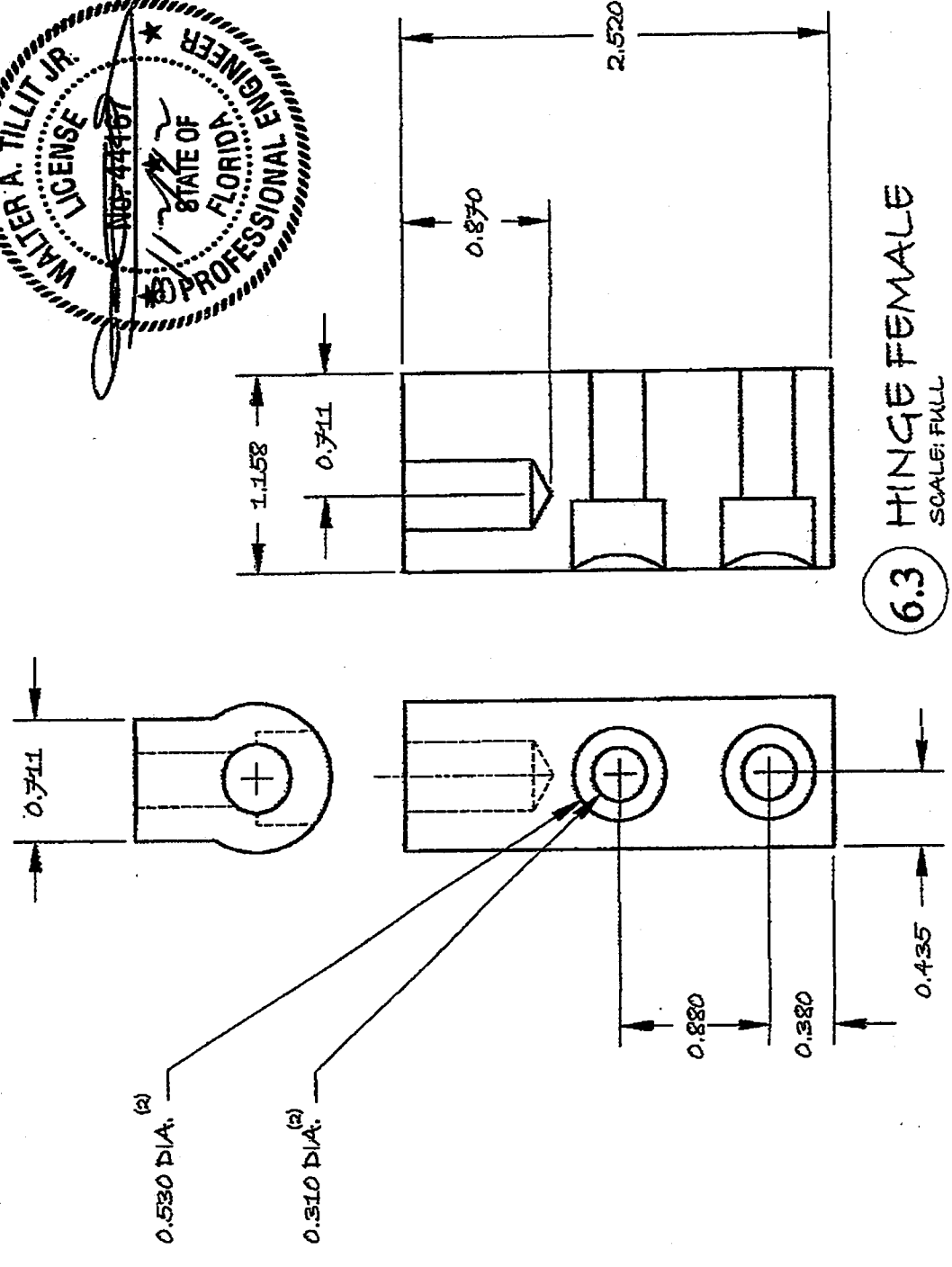
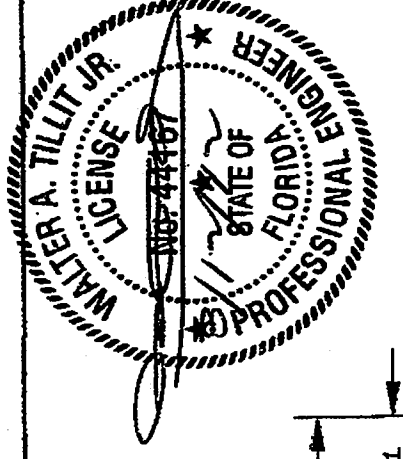
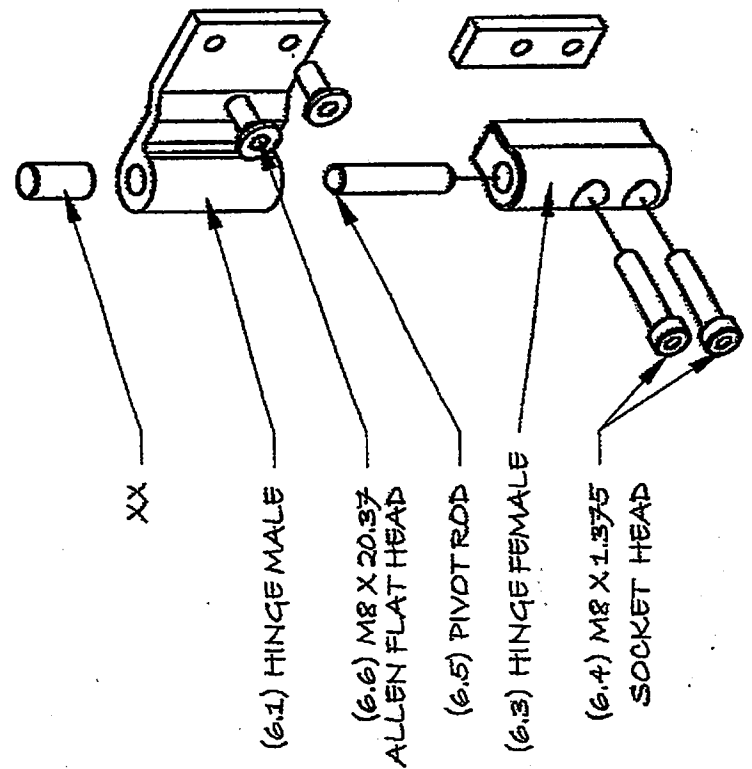
MODEL: EX3 USA  
 OUTSWING DOOR  
 LARGE MISSILE  
 IMPACT RESISTANT  
 DRAWING: HINGE ASSY  
 SCALE: NONE  
 DRAWN BY: KP, RE.A.G.  
 DATE DWN: OLD 11-037 02/29/12

PRODUCT REVISED  
 in compliance with the Florida  
 Building Code  
 Amendment No. 12-0320-21  
 Expiration Date 4/26/16  
 By: *Walter A. Tillit Jr.*  
 Miami Dade Product Control

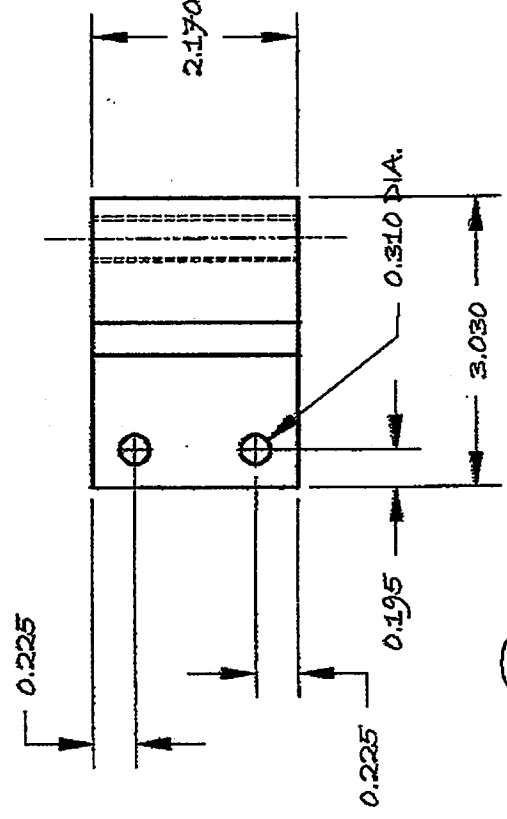
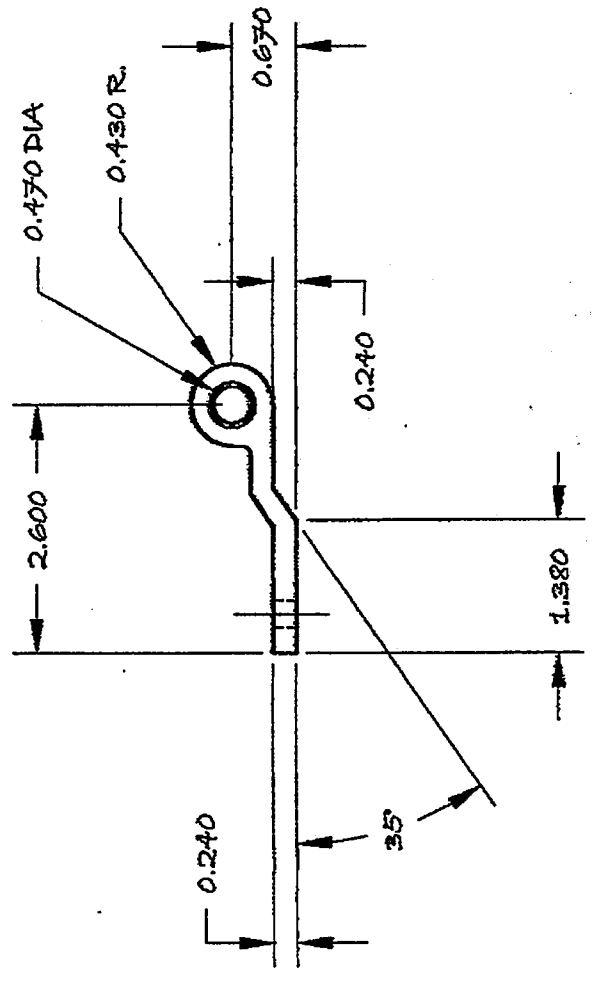
12-060  
 DRAWING N°  
 SHEET 10 OF 11

6/10 HINGE ASSEMBLY

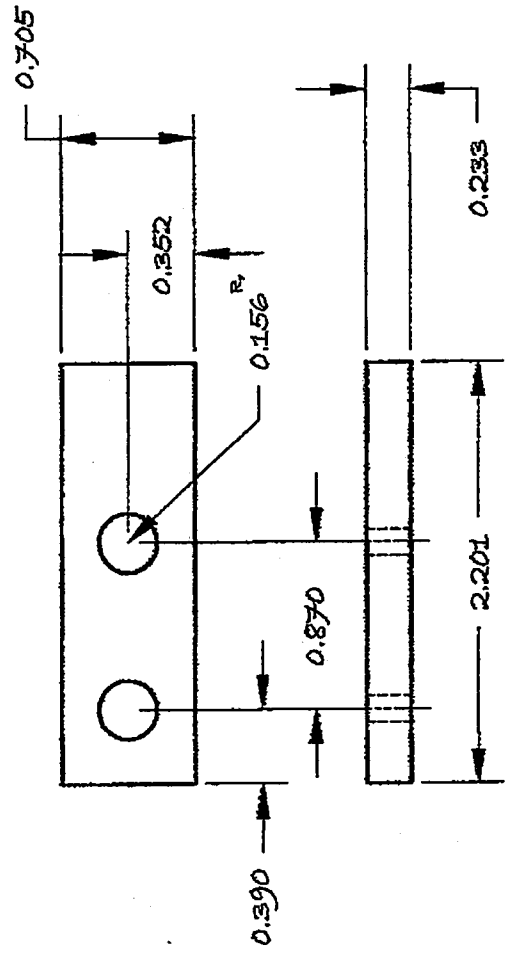
ITEM #	DESCRIPTION	QUANTITY
6.1	HINGE MALE	1 / ASSY
6.2	HINGE BACKER PLATE	1 / ASSY
6.3	HINGE FEMALE	1 / ASSY
6.4	M8 X 1.375 SOCKET HEAD	2 / ASSY
6.5	PIVOT ROD	1 / ASSY
6.6	M8 X 20.37 ALLEN FH	2 / ASSY



6.3 HINGE FEMALE  
SCALE: FULL



6.1 HINGE MALE  
SCALE: HALF



6.2 HINGE BACKER PLATE  
SCALE: FULL

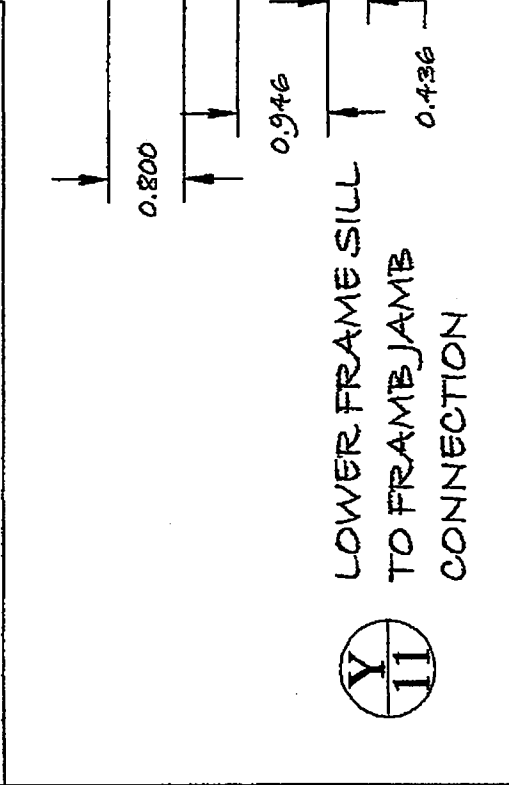
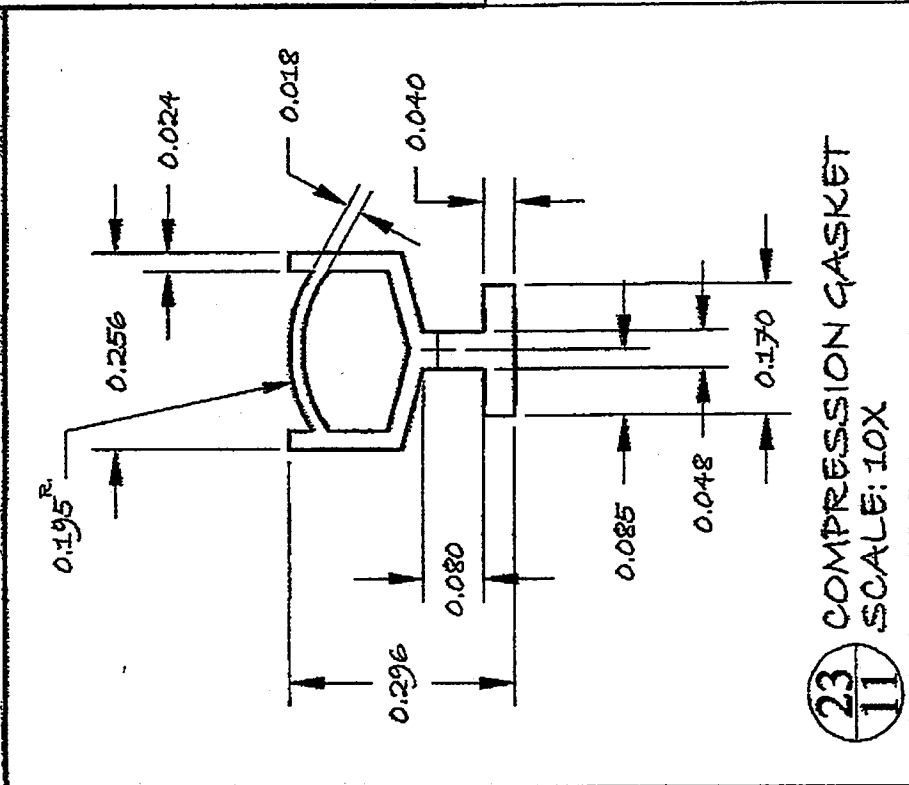
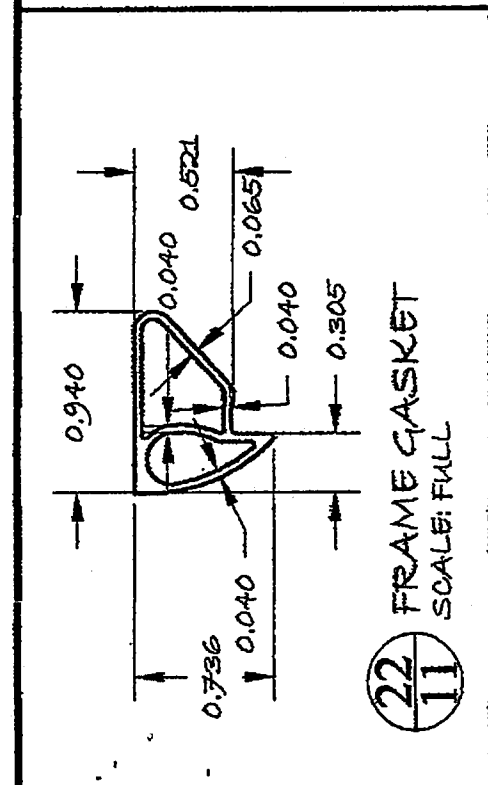
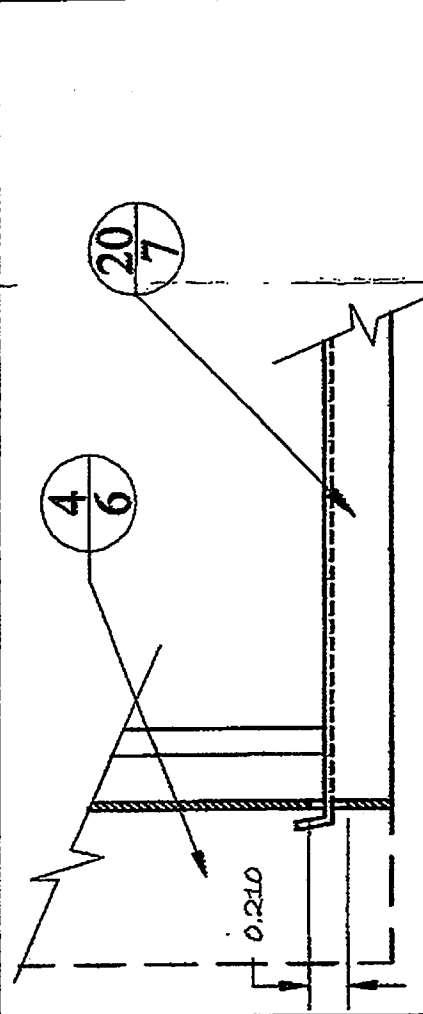
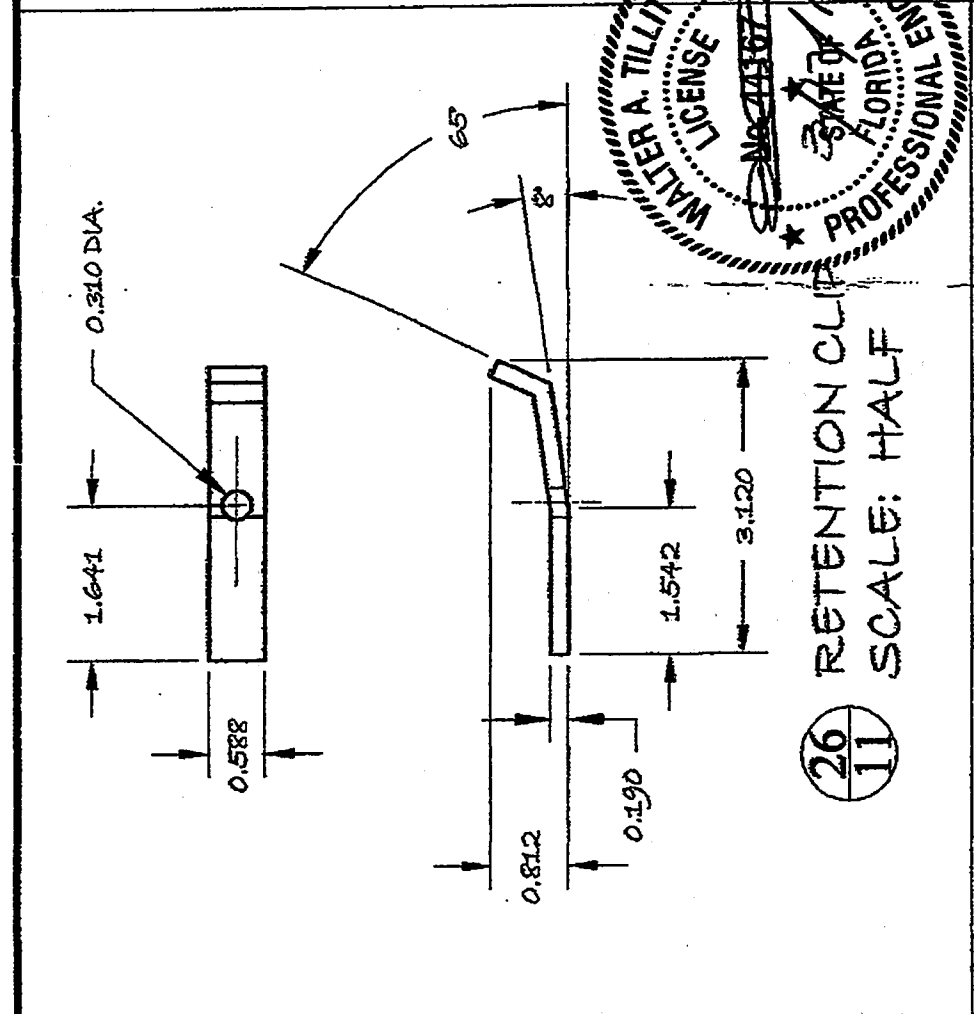
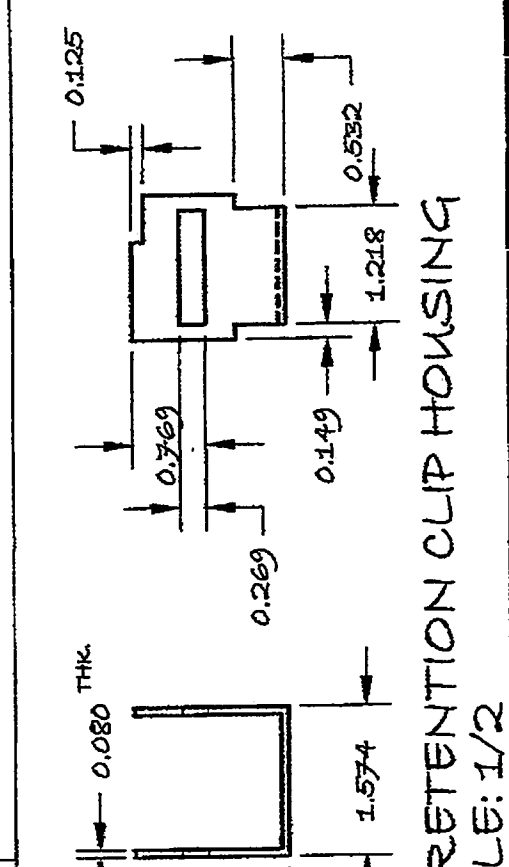
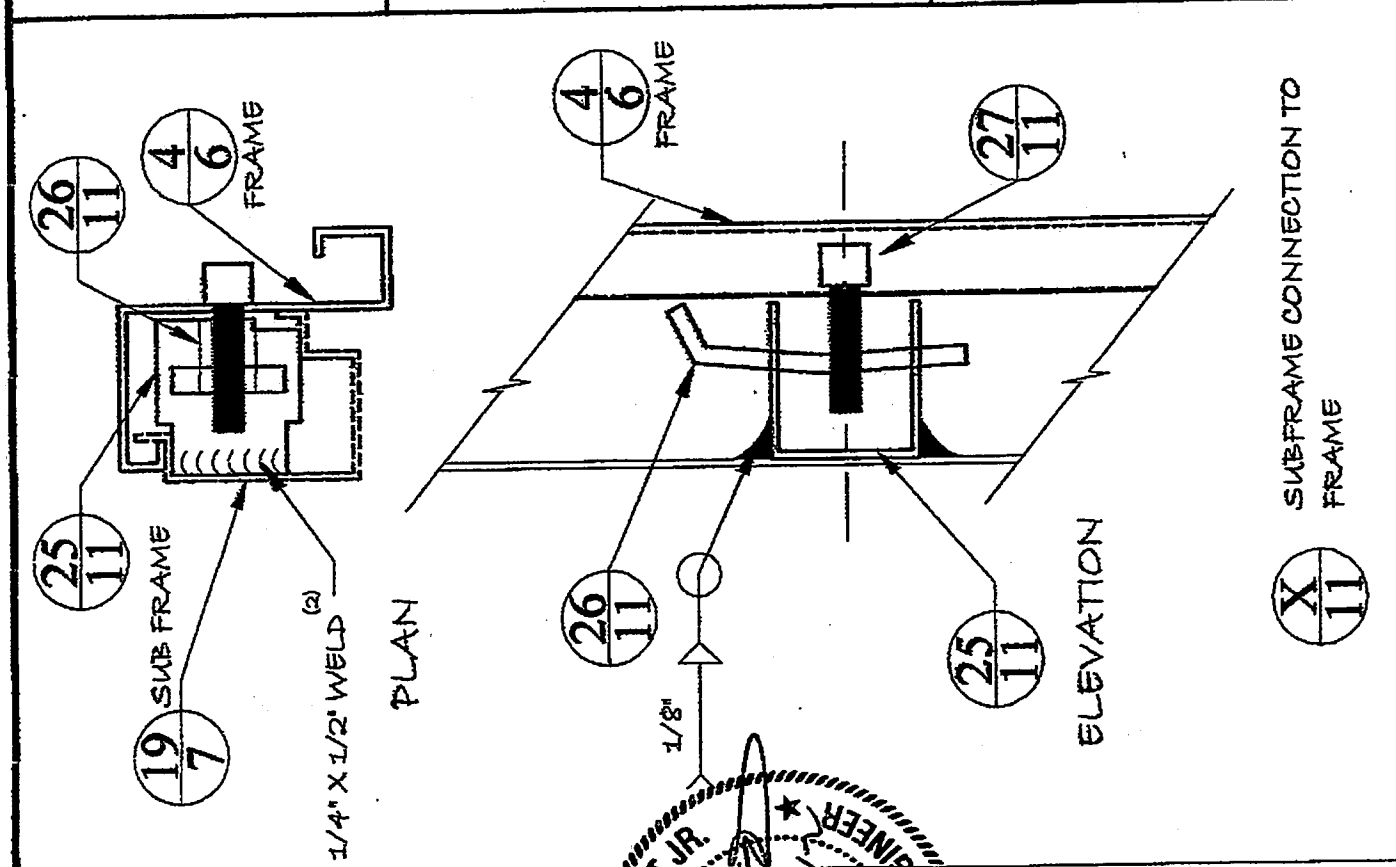
**TILTECO INC.**  
 2179 N POWER LINE ROAD  
 SUTHERLAND, MISSISSIPPI 39069  
 TEL: 601-971-4747 FAX: 601-971-4925  
 TILTECO TESTING & ENGINEERING COMPANY  
 1000 N. GULF BLVD., SUITE 200, GULF BORO, MISSISSIPPI 39238  
 WWW.TILTECO.COM  
 TILTECO INC. 2012 TILTECO, INC.  
 WALTER A. TILLIT JR., P.E.  
 FLORIDA LICENSE NO. 44107

**MASTER SECURITY DOORS, INC.**  
 2179 N POWER LINE ROAD  
 SUTHERLAND, MISSISSIPPI 39069  
 TEL: 601-971-4747 FAX: 601-971-4925

**MODEL: EX3 USA**  
**LARGE MISSILE**  
**OUTSWING DOOR**  
**IMPACT RESISTANT**  
**DRAWING: DETAILS**  
**SCALE: NONE**  
**DRAWN BY: KP, REAG**  
**DATE DWN: OLD 11-037 02/29/12**

PRODUCT REVISED  
 in compliance with the Florida  
 Building Code  
 Amendment No. 17-0320.21  
 Expiration Date 07/29/2016  
 Walter A. Tillit Jr.  
 Professional Engineer  
 License No. 44107

12-060  
 DRAWING N°  
 SHEET 11 OF 11



WALTER A. TILLIT JR.  
 LICENSE NO. 44107  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER





BUILDING AND NEIGHBORHOOD COMPLIANCE DEPARTMENT (BNC)  
BOARD AND CODE ADMINISTRATION DIVISION

MIAMI-DADE COUNTY, FLORIDA  
PRODUCT CONTROL SECTION  
11805 SW 26<sup>th</sup> Street, Room 208  
Miami, Florida 33175-2474  
T (305) 315-2590 F (786) 315-2599  
[www.miamidade.gov/building](http://www.miamidade.gov/building)

**NOTICE OF ACCEPTANCE**

**BRADY**

**JELD-WEN, INC. (OR)**  
3737 Lakeport Boulevard  
Klamath Falls, OR 97601

**SCOPE:**

This NOA is being issued under applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County BNC-Product Control Section to be used in Miami-Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (in Miami-Dade County) and/or the AHJ in areas other than Miami-Dade County reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or materials within their jurisdiction. BNC reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

**DESCRIPTION:** Series "6400 Premium Atlantic" Aluminum Double Hung Window - L.M.I.

**APPROVAL DOCUMENT:** Drawing No. JELD0020, titled Series "Premium Atlantic Aluminum 6400 Double Hung Window, LMP", sheets 1 through 11 of 11, dated 04/12/2006 with revision "2" dated 07/06/2011, prepared by PTC, LLC, signed and sealed by Robert J. Amoruso, P. E., bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and Expiration date by the Miami-Dade County Product Control Section.

**MISSILE IMPACT RATING:** Large and Small Missile Impact Resistant.

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state, model/series and following statement: "Miami-Dade County Product Control Approved" unless otherwise noted herein.

**REVISION** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA renews NOA No. 06-0504.02 and consists of this page 1, evidence pages E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by **Jaime D. Gascon, P. E.**



*J. Gascon*  
*7/19/11*

*approved*  
*as submitted*  
*9/30/13*

NOA No. 11-0426.03  
Expiration Date: August 10, 2016  
Approval Date: July 28, 2011

**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

**A. DRAWINGS**

1. Manufacturer's die drawings and sections.
2. Drawing No. **JELD0020**, titled Series "Premium Atlantic Aluminum 6400 Double Hung Window, LMI", sheets 1 through 11 of 11, dated 04/12/2006 with revision "2" dated 07/06/2011, prepared by PTC, LLC, signed and sealed by Robert J. Amoruso, P. E.

**B. TESTS**

1. Test reports on:
  - 1) Air Infiltration Test, per FBC, TAS 202-94
  - 2) Uniform Static Air Pressure Test, Loading per FBC TAS 202-94
  - 3) Water Resistance Test, per FBC, TAS 202-94
  - 4) Large Missile Impact Test per FBC, TAS 201-94
  - 5) Cyclic Wind Pressure Loading per FBC, TAS 203-94.
  - 6) Forced Entry Test, Type "A", Grade 10, per ASTM F 842-04, and per FBC 2411 3.2.1 TAS 202-94

along with marked-up drawings and installation diagram of double hung window, prepared by National Certified Testing Laboratories, inc., Test Report No. **NCTL 210-3209-2**, dated 10/28/2005, signed and sealed by Gerard J. Ferrara, P. E. *(Submitted under previous NOA No.06-0504.02)*

**C. CALCULATIONS**

1. Anchor verification calculations and structural analysis, complying with FBC-2007, prepared by PTC, LLC, dated 04/20/2011, signed, sealed and dated 07/05/2011 by Robert J. Amoruso, P. E.  
**Complies with ASTM E1300-04**

**D. QUALITY ASSURANCE**

1. Miami-Dade Building and Neighborhood Compliance Department (BNC).

**E. MATERIAL CERTIFICATIONS**

1. Notice of Acceptance No. **10-0413.04** issued to E.I. DuPont DeNemours & Co., Inc. for their "**DuPont Sentry Glass® Interlayer**" dated 05/26/2010, expiring on 01/14/12.

**F. STATEMENTS**

1. Statement letter of no financial interest, conformance and compliance with the FBC-2007, dated 04/20/2011, signed and sealed by Robert J. Amoruso, P. E.



Jaime D. Gascon, P. E.  
Product Control Section Supervisor  
NOA No. 11-0426.03  
Expiration Date: August 10, 2016  
Approval Date: July 28, 2011

**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

**F. STATEMENTS (CONTUNIED)**

2. Laboratory compliance letter for Test Report No. NCTL 210-3209-2, issued by National Certified Testing Laboratories, Inc., dated 10/28/2005, signed and sealed by Gerard J. Ferrara, P. E.  
*(Submitted under previous NOA No.06-0504.02)*
3. Laboratory addendum letter for Test Report No. NCTL 210-3209-2, issued by National Certified Testing Laboratories, Inc., dated 06/29/2006, signed by Christopher Bennett.  
*(Submitted under previous NOA No.06-0504.02)*

**G. OTHERS**

1. Notice of Acceptance No. 06-0504.02, issued to Jeld-Wen, Inc. (OR) for their Series "6400 Premium Atlantic" Aluminum Double Hung Window - L.M.I." approved on 08/10/2006 and expiring on 08/10/2011.



Jaime D. Gascon, P. E.  
Product Control Section Supervisor  
NOA No. 11-0426.03  
Expiration Date: August 10, 2016  
Approval Date: July 28, 2011

# JELD-WEN PREMIUM ATLANTIC ALUMINUM 6400 DOUBLE HUNG WINDOW, LMI INSTALLATION ANCHORAGE DETAILS

**GENERAL NOTES:**

1. THIS PRODUCT IS DESIGNED TO COMPLY WITH THE HIGH VELOCITY HURRICANE ZONE (HVHZ) OF THE 2007 FLORIDA BUILDING CODE (FBC) AT THE DESIGN PRESSURE STATED HEREIN. THE PRODUCT DETAILS CONTAINED HEREIN ARE BASED UPON SIGNED AND SEALED TEST REPORT #NCTL-210-3209-2 DATED 06/28/08 AND ASSOCIATED LABORATORY STAMPED DRAWINGS AND WERE TESTED IN ACCORDANCE WITH CURRENT DADE COUNTY PROTOCOLS.
2. ADEQUACY OF THE EXISTING STRUCTURAL CONCRETE MASONRY AND 2X FRAMING AS A MAIN WIND FORCE RESISTING SYSTEM CAPABLE OF WITHSTANDING AND TRANSFERRING APPLIED PRODUCT LOADS TO THE STRUCTURE IS THE RESPONSIBILITY OF THE ENGINEER OR ARCHITECT OF RECORD.
3. 1X BUCKS AND 2X WOOD FRAMING (WHEN USED) SHALL BE DESIGNED AND ANCHORED TO PROPERLY TRANSFER ALL LOADS TO THE STRUCTURE. BUCK DESIGN AND INSTALLATION IS THE RESPONSIBILITY OF THE ENGINEER OR ARCHITECT OF RECORD.
4. IN AREAS WHERE WIND-BORNE DEBRIS PROTECTION REQUIREMENTS EXIST, USE OF AN APPROVED MIAMI DADE IMPACT PROTECTIVE SYSTEM IS NOT REQUIRED.

5. WINDOW FRAME MATERIAL: ALUMINUM ALLOY 6063-T6.
6. GLASS MEETS THE REQUIREMENTS OF ASTM E1300-04 AND PER CALCULATIONS.
7. DESIGNATION "X" STANDS FOR THE FOLLOWING:  
7.1. X: OPERABLE PANEL
8. A 1/3 INCREASE IN ALLOWABLE STRESS FOR WIND LOADS WAS NOT USED IN THE DESIGN OF THE PRODUCT(S) SHOWN HEREIN. WIND LOAD DURATION FACTOR (Cd = 1.0) HAS BEEN USED FOR WOOD ANCHOR WITHDRAWAL DESIGN ONLY.
9. IN ACCORDANCE WITH THE 2007 FBC, SECTION 2411.3.3.3 WOOD SHALL HAVE BEEN PRESERVATIVE TREATED OR SHALL BE OF A DURABLE SPECIES AS DEFINED IN SECTION 2328.2.
10. IN ACCORDANCE WITH THE 2007 FBC, SECTION 2003.8.4 DISSIMILAR METALS INCLUDING FASTENERS THAT MAY COME INTO CONTACT WITH ALUMINUM WINDOW FRAMING WOOD SHALL HAVE BEEN PROTECTED AS DEFINED IN SECTION 2003.8.4.2.

**INSTALLATION NOTES:**

1. ONE (1) INSTALLATION ANCHOR IS REQUIRED AT EACH ANCHOR LOCATION SHOWN.
2. THE NUMBER OF INSTALLATION ANCHORS DEPICTED IS THE MINIMUM NUMBER OF ANCHORS TO BE USED FOR PRODUCT INSTALLATION.
3. SHIM AS REQUIRED AT EACH INSTALLATION ANCHOR WITH LOAD BEARING SHIM(S). MAXIMUM ALLOWABLE SHIM SIZE IS 1/4 INCH. SHIM WHERE SPACE OF 1/16 INCH OR GREATER OCCURS. SHIM(S) SHALL BE CONSTRUCTED OF HIGH DENSITY PLASTIC OR BETTER.
4. FASTENERS FOR INSTALLATION INTO WOOD FRAMING OR THROUGH 1X BUCK TO CONCRETE / MASONRY, OR DIRECTLY INTO CONCRETE / MASONRY SHALL BE AS SHOWN IN "ANCHOR SCHEDULE" THIS SHEET.
5. MINIMUM EMBEDMENT AND EDGE DISTANCE EXCLUDE WALL FINISHES, INCLUDING BUT NOT LIMITED TO STUCCO, FOAM, BRICK VENEER AND SIDING.
6. FOR CONCRETE BLOCK APPLICATIONS DO NOT INSTALL INSTALLATION ANCHORS INTO MORTAR JOINTS.
7. INSTALLATION ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH ANCHOR MANUFACTURER'S INSTALLATION INSTRUCTIONS AND ANCHORS SHALL NOT BE USED IN SUBSTRATES WITH STRENGTHS LESS THAN THE MINIMUM STRENGTH SPECIFIED BY THE ANCHOR MANUFACTURER.
8. INSTALLATION ANCHOR CAPACITIES FOR PRODUCTS HEREIN ARE BASED ON SUBSTRATE MATERIAL PROPERTIES SHOWN IN "ANCHOR SCHEDULE" THIS SHEET.

DESIGN PRESSURE RATING (PSF)		IMPACT RATING
WINDOW SIZE	DP (PSF)	
UP TO 53 1/8" X 76"	+80.0 / -80.0	LARGE MISSILE IMPACT
UP TO 37" X 73"	+90.0 / -95.0	

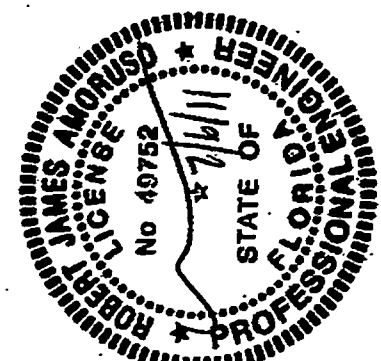
TABLE OF CONTENTS	
SHEET	REV. SHEET DESCRIPTION
1	1 GENERAL NOTES, INSTALLATION NOTES & D.P. CHART
2	1 ELEVATIONS
3	1 ELEVATIONS & ANCHOR LAYOUTS - FLANGE
4	1 ELEVATIONS & ANCHOR LAYOUTS - FIN
5	1 SECTIONS - FLANGE INST. IN CONCRETE/MASONRY
6	1 SECTIONS - FLANGE INST. IN WOOD
7	1 SECTIONS - NAILING FIN INST. IN WOOD
8	1 GLAZING DETAIL & BILL OF MATERIALS
9	1 COMPONENT DETAILS
10	1 FRAME CORNER CONSTRUCTION DETAILS
11	1 SASH CORNER CONSTRUCTION DETAILS

ANCHOR SCHEDULE									
SUBSTRATE	WINDOW FRAME TYPE	TYPE	SIZE	MANUFACTURER AND/OR SPECIFICATION	EMBEDMENT (IN) (3)(5)	EDGE DISTANCE (IN) (3)(5)	ANCHOR CAPACITIES BASED ON		
CONCRETE	THRU-FRAME (FLANGE)	FLAT HEAD	1/4"	ITW TAPCONS(1)	1-1/2"	1-1/2"	MIN. 2000 PSI CONCRETE AND COMPLIES WITH ACI 301, ACI 318 AND ACI 355		
MASONRY (BLOCK/CMU)	THRU-FRAME (FLANGE)	FLAT HEAD	1/4"	ITW TAPCONS(1)	1"	2"	STRENGTH CONFORMANCE TO ASTM C-90, MEDIUM WEIGHT		
WOOD	THRU-FRAME (FLANGE)	FLAT HEAD, CUT THREADED	NO. 14	ANSI B18.8.1 (WOOD SCREW)	1-1/2"	1"	WOOD WITH A MINIMUM SPECIFIC GRAVITY OF 0.55.		
		FLAT HEAD	No. 14 or 1/4" Dia.	ASME B18.8.4 (TAPPING SCREW)					
WOOD	FIN FRAME	PAN HEAD	NO. 10	ANSI B18.8.1 (WOOD SCREW) ASME B18.8.4 (TAPPING SCREW)	1-1/2"	3/8"	WOOD WITH A MINIMUM SPECIFIC GRAVITY OF 0.55.		

NOTES:  
1) ITW (ADVANCED THREADFORM TECHNOLOGY) TAPCONS WILL BE USED FOR CONCRETE/MASONRY INSTALLATION.  
2) FOR WOOD SCREWS IF SPLITTING IS A CONCERN, DRILL 5/32" PILOT HOLE FOR NO. 14 OR 3/32" PILOT HOLE FOR NO. 10.  
3) FOR TAPPING SCREWS IF SPLITTING IS A CONCERN, DRILL 11/64" PILOT HOLE FOR NO. 14 & 1/4" DIA. OR 3/32" PILOT HOLE FOR NO. 10.

PROJECT # 411-0112	DATE	DESCRIPTION	REV.
	07/06/11	NOA RENEWAL	1
	04/12/08		2

**JELD-WEN**  
 3737 LAKEPORT BLVD.  
 KLAMATH FALLS, OR 97607  
 Premium Atlantic Aluminum 6400 Double Hung Window, LMI  
 GENERAL NOTES, INSTALLATION NOTES & D.P. CHART  
 PREPARED BY: [Signature]  
 DATE: 04/12/08  
 DRAWING NO: JELD0020  
 SHEET: 1 OF 11

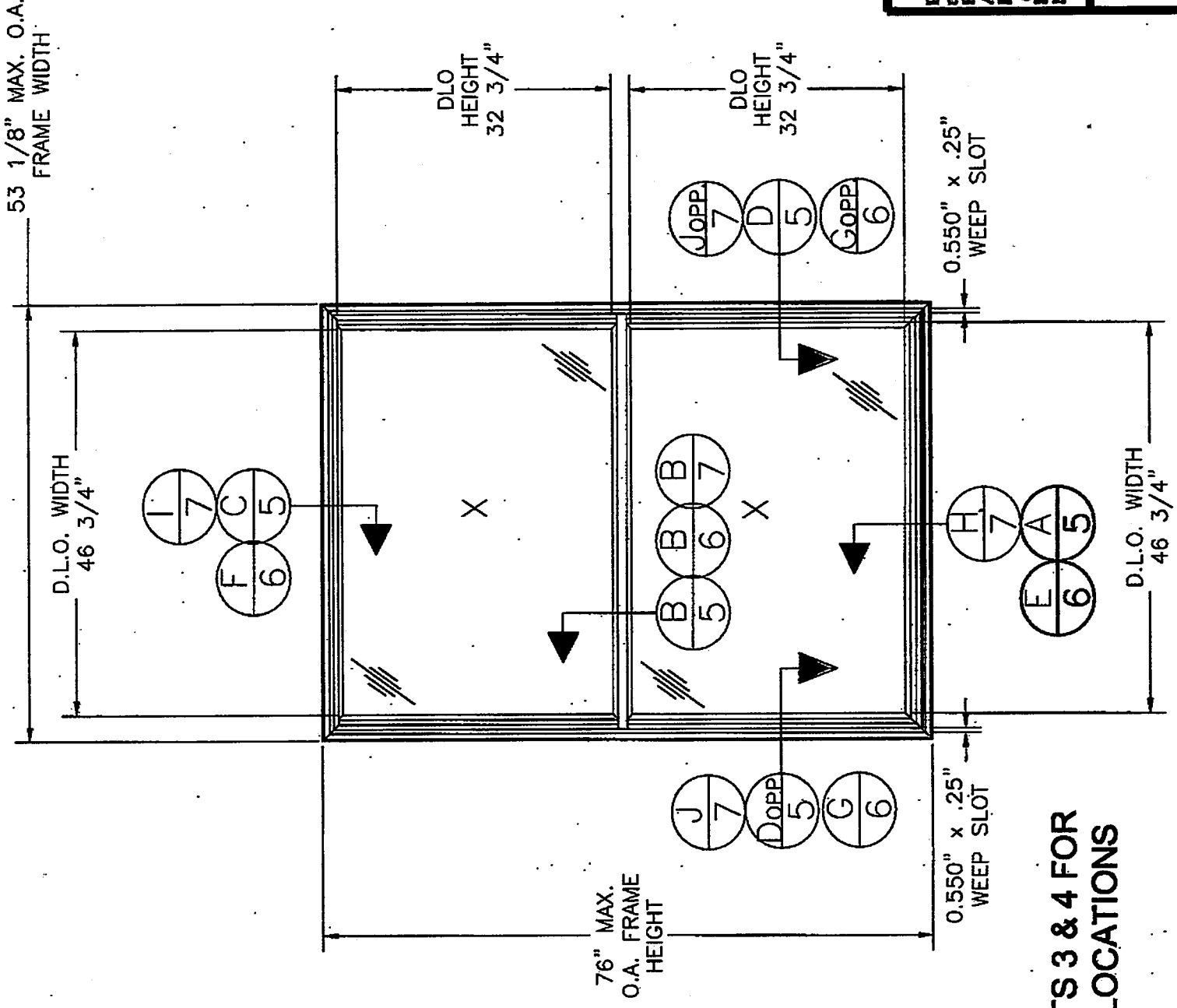
PRODUCT RENEWED in compliance with the Florida Building Code  
 Acceptance No. 11-0421/2013  
 Inspected Date: 12/12/2013  
 By: [Signature]  
 Miami Dade Product Control  
 Robert J. Amoroso, P.E.  
 Florida P.E. No. 49762  


REV	DESCRIPTION	DATE	BY
1	NOA RENEWAL	3/9/11	RJA
2	PER DADE LETTER DATED JUNE 28, 2011	07/06/11	TJH

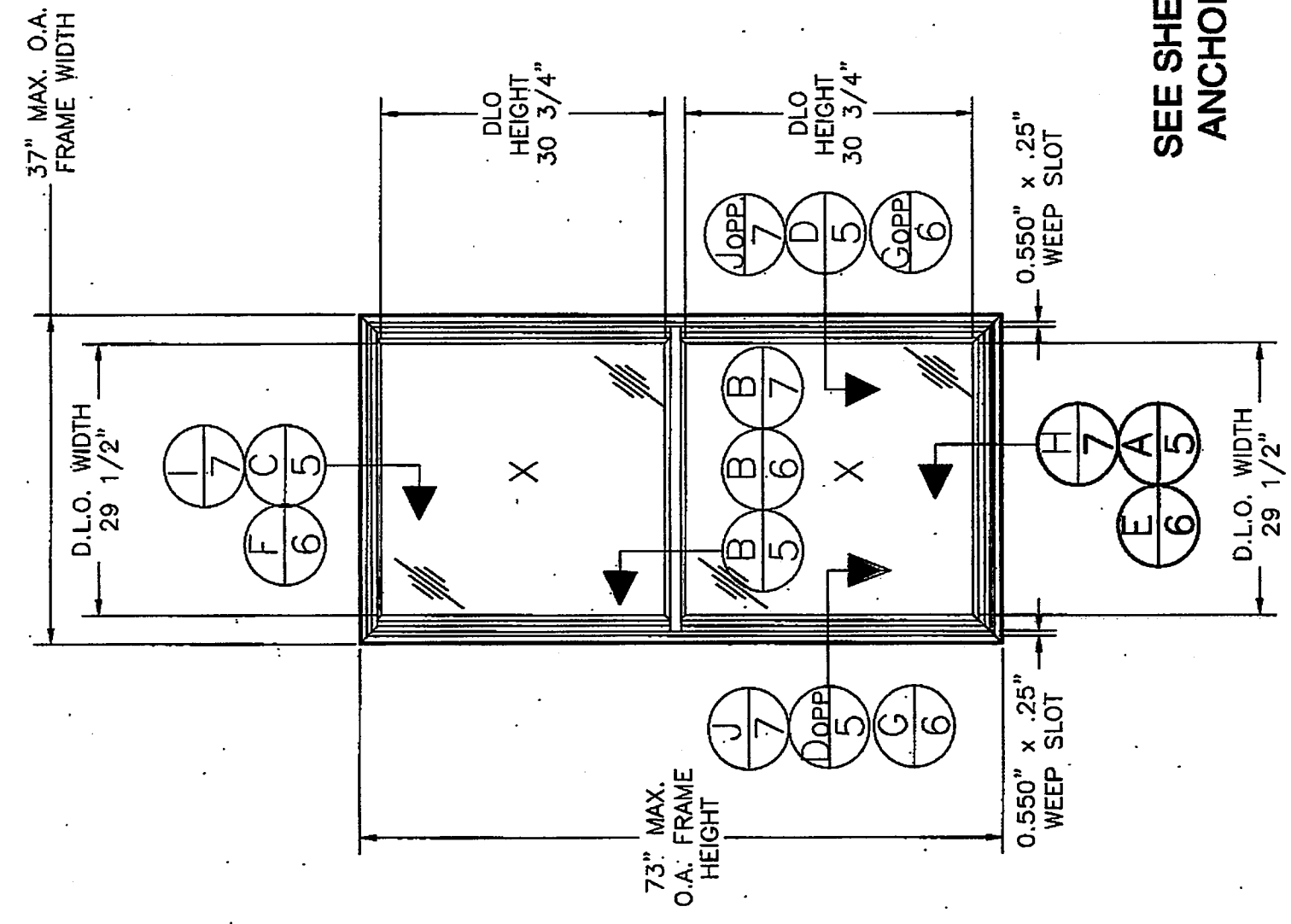
**JLDWEN**  
 3737 LAKEPORT BLDG.  
 KLAMATH FALLS, OR 97601  
 Premium Atlantic Aluminum 6400 Double Hung Window, LMI  
 ELEVATIONS  
 DRAWN BY: BB  
 DATE: 04/12/06  
 DRAWING NO.: JELD0020  
 SHEETS: 2 OF 11  
 SCALE: N.T.S.  
 PROJECT: 411-0112

**PRODUCT RENEWED**  
 as complying with the Florida  
 Building Code  
 Acceptance No. **11-2942/2012**  
 Expiration Date **08/10/2012**  
 By *[Signature]*  
 Miami Davis Product Control

Robert J. Amoroso, P.E.  
 Florida P.E. No. 49752

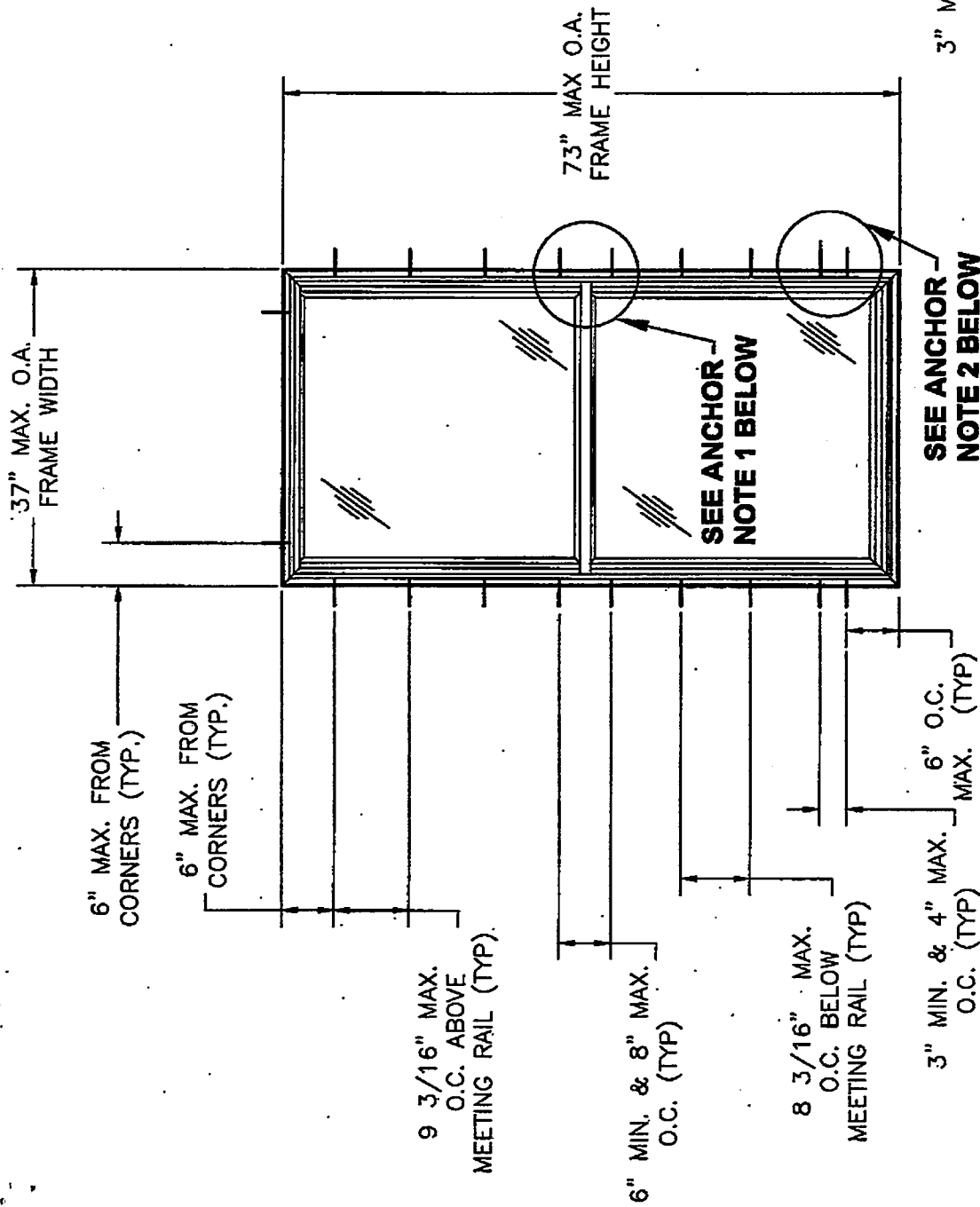


**ELEVATION**  
 EXTERIOR VIEW 53 1/8" X 76"  
 (FLANGE (SHOWN) OR FIN FRAME)



**ELEVATION**  
 EXTERIOR VIEW 37" X 73"  
 (FLANGE (SHOWN) OR FIN FRAME)

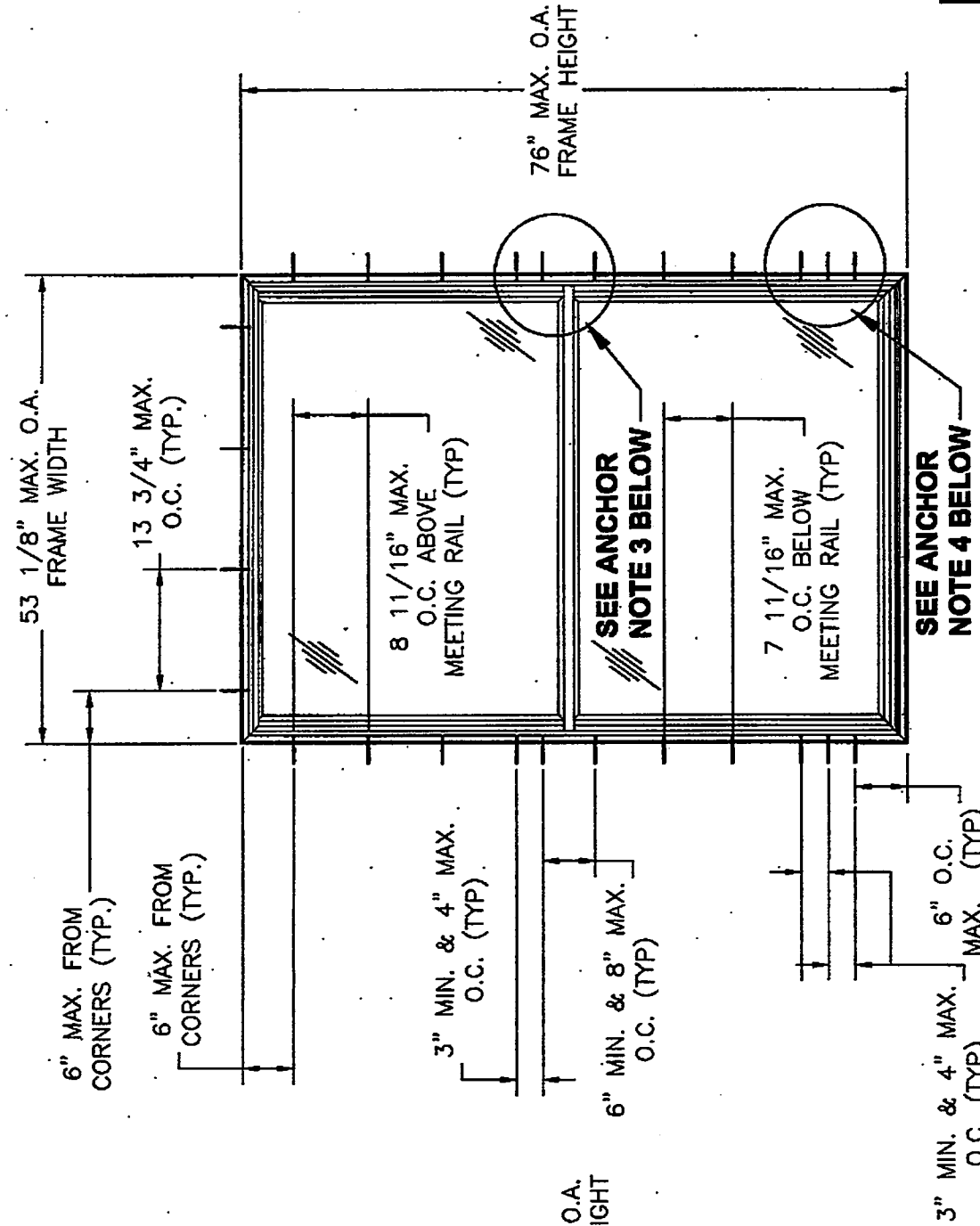
SEE SHEETS 3 & 4 FOR  
 ANCHOR LOCATIONS



### ANCHOR LAYOUT

EXTERIOR VIEW 37" X 73" (FLANGE INTO CONCRETE/MASONRY OR WOOD SUBSTRATE)

- ANCHOR NOTE 1: CLUSTER OF 2 ITW TAPCONS OR WOOD SCREWS 6" O.C. MIN. TO 8" O.C. MAX. SPACING
- ANCHOR NOTE 1: CLUSTER OF 2 ITW TAPCONS OR WOOD SCREWS 3" O.C. MIN. TO 4" O.C. MAX. SPACING AND 6" MAX. FROM CORNER.



### ANCHOR LAYOUT

EXTERIOR VIEW 53 1/8" X 76" (FLANGE INTO CONCRETE/MASONRY OR WOOD SUBSTRATE)

- ANCHOR NOTE 3: CLUSTER OF 3 ITW TAPCONS OR WOOD SCREWS 6" O.C. MIN. TO 8" O.C. MAX. SPACING
- ANCHOR NOTE 4: CLUSTER OF 3 ITW TAPCONS OR WOOD SCREWS 3" O.C. MIN. TO 4" O.C. MAX. SPACING AND 6" MAX. FROM CORNER.

SEE SHEET 2 FOR SECTION CUTS

PROJECT # 411-0112	
REV	DESCRIPTION
1	NOA RENEWAL
2	PER DADE LETTER DATED JUNE 28, 2011
DATE	3/9/11
BY	RJA

JELD-WEN  
3737 LAKEPORT BLVD.  
KLAMATH-FALLS, OR 97601

Premium Atlantic Aluminum 6480 Double Hung Window, LMT  
ELEVATIONS & ANCHOR LAYOUTS - FLANGE

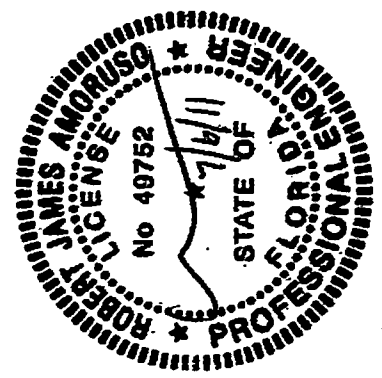
PREPARED BY: [Signature]  
DATE: 04/12/06  
DRAWING NO.: JELD0020  
SHEET: 3 OF 11

PTC, LLC  
P.O. Box 33775  
Longwood, FL 32753-0775  
Phone: 321.333.7775  
Fax: 321.333.7775  
Email: info@ptc.com

PRODUCT RENEWED as complying with the Florida Building Code Acceptance No. 11-0426/03 Expiration Date: 03/22/2012

By: [Signature]  
Miami Dade Product Control

Robert J. Amoroso, P.E.  
Florida P.E. No. 48782



REV.	DESCRIPTION	DATE	BY
2	PER DADE LETTER DATED JUNE 28, 2011	07/06/11	T.J.H.
1	NOA RENEWAL	3/9/11	R.J.A.

DATE	04/12/06
SCALE	N.T.S.
REV.	2

**JLD-WEN**  
 3737 LAKEPORT BLVD.  
 KAMATH FALLS, OR 97601

PREMIUM ALUMINUM 6400 DOUBLE HUNG WINDOWS - FIN  
 ELEVATIONS & ANCHOR LAYOUTS - FIN

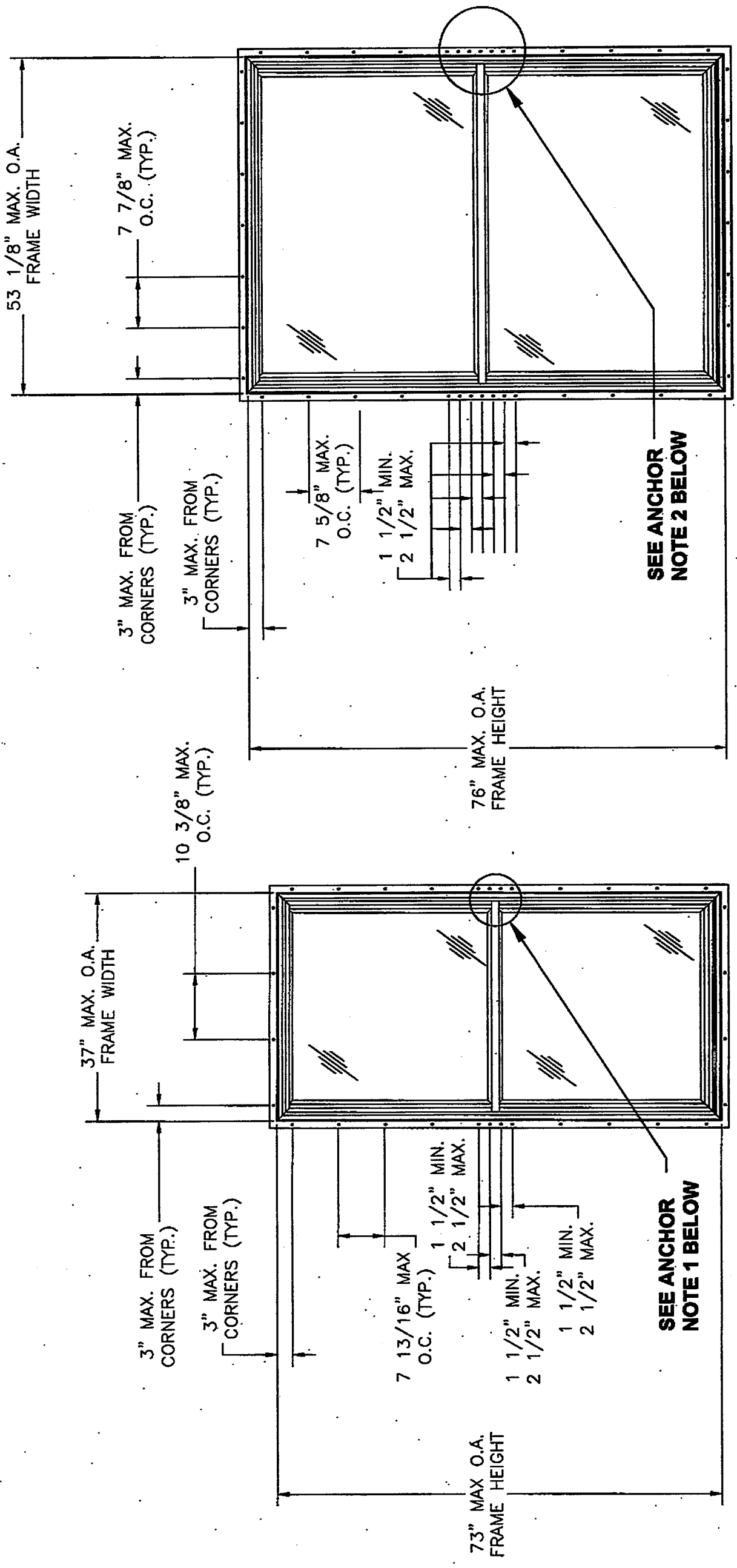
PREPARED BY: [Signature]  
 DRAWN BY: BB  
 CHECKED BY: N.T.S.  
 PROJECT NO. 411-0112

PROJECT # 411-0112

PRODUCT RENEWED as complying with the Florida Building Code Acceptance No. 11-842403 Expiration Date 08/10/2016

By [Signature] Miami Dade Product Control

Robert J. Amoroso, P.E.  
 Florida P.E. No. 49782



## ANCHOR LAYOUT

EXTERIOR VIEW 37" X 73"  
 (NAILING FIN INTO WOOD SUBSTRATE)

ANCHOR NOTE 1: CLUSTER OF 4 WOOD SCREWS 1 1/2" O.C. MIN. TO 2 1/2" O.C. MAX. SPACING

## ANCHOR LAYOUT

EXTERIOR VIEW 53 1/8" X 76"  
 (NAILING FIN INTO WOOD SUBSTRATE)

ANCHOR NOTE 2: CLUSTER OF 7 WOOD SCREWS 1 1/2" O.C. MIN. TO 2 1/2" O.C. MAX. SPACING

PROJECT # 411-0112	PER DADE LETTER	NOA RENEWAL	DATE
	07/06/11	3/9/11	BY

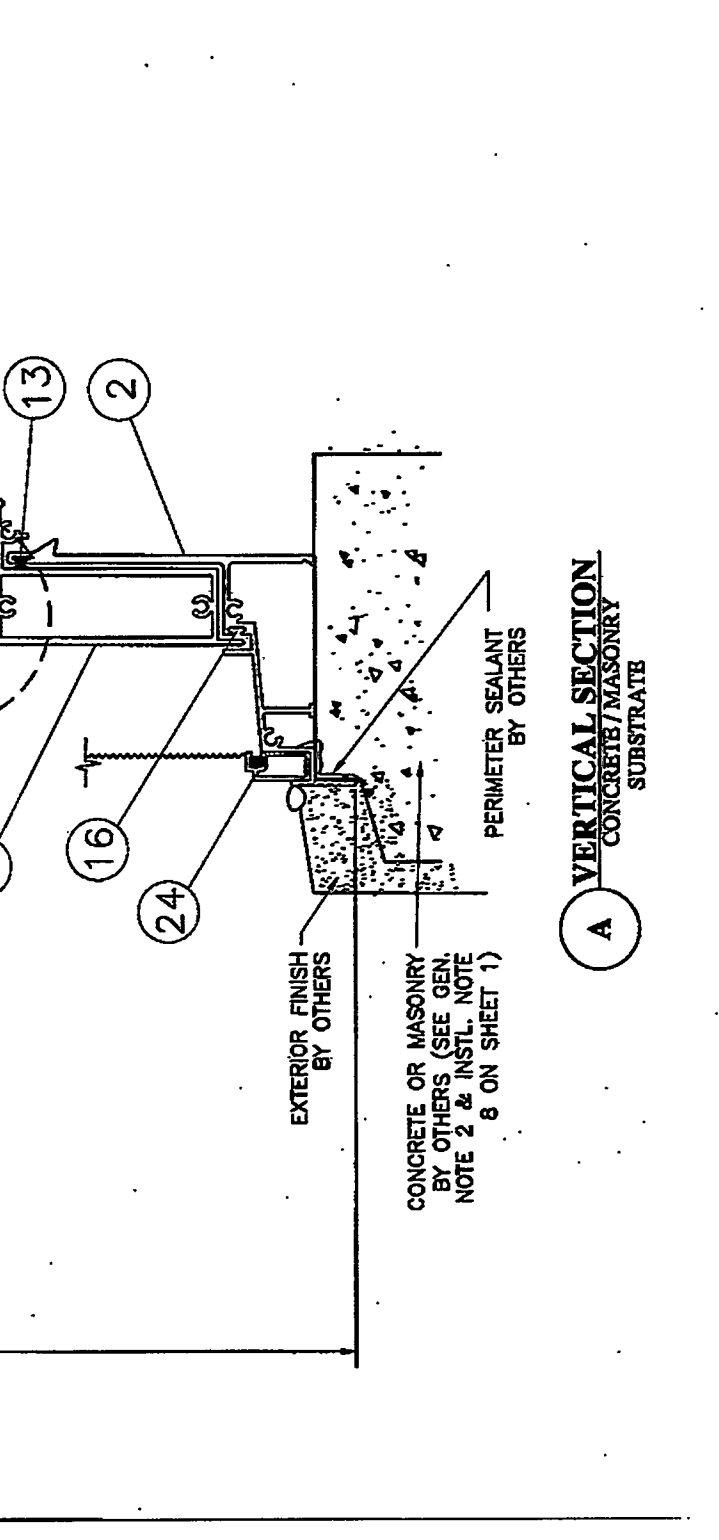
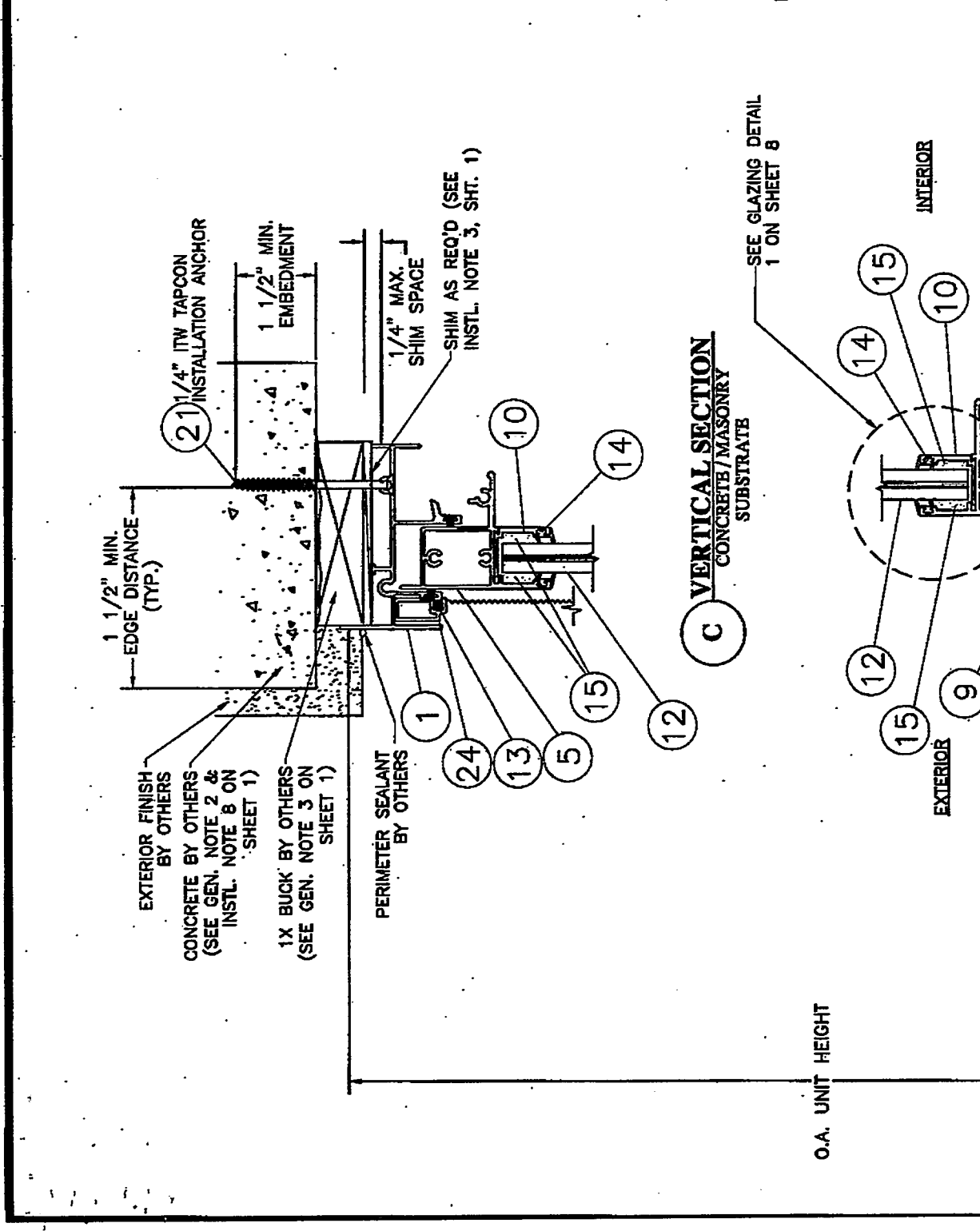
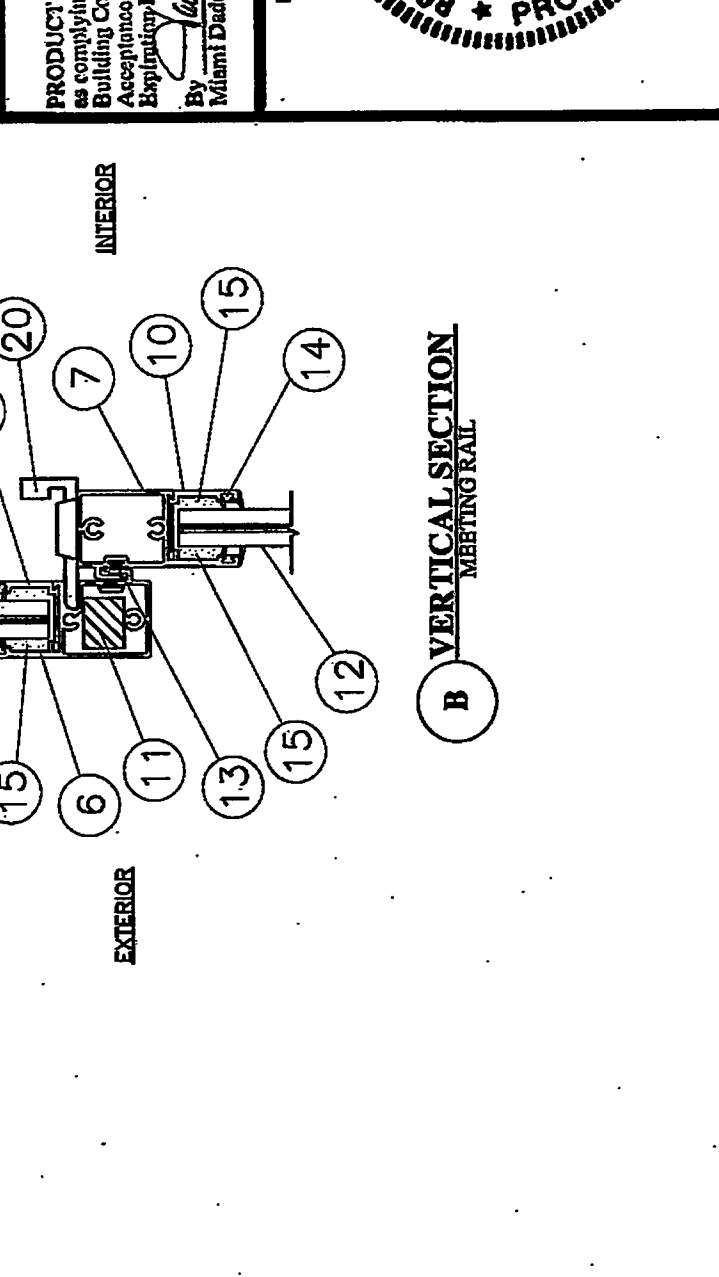
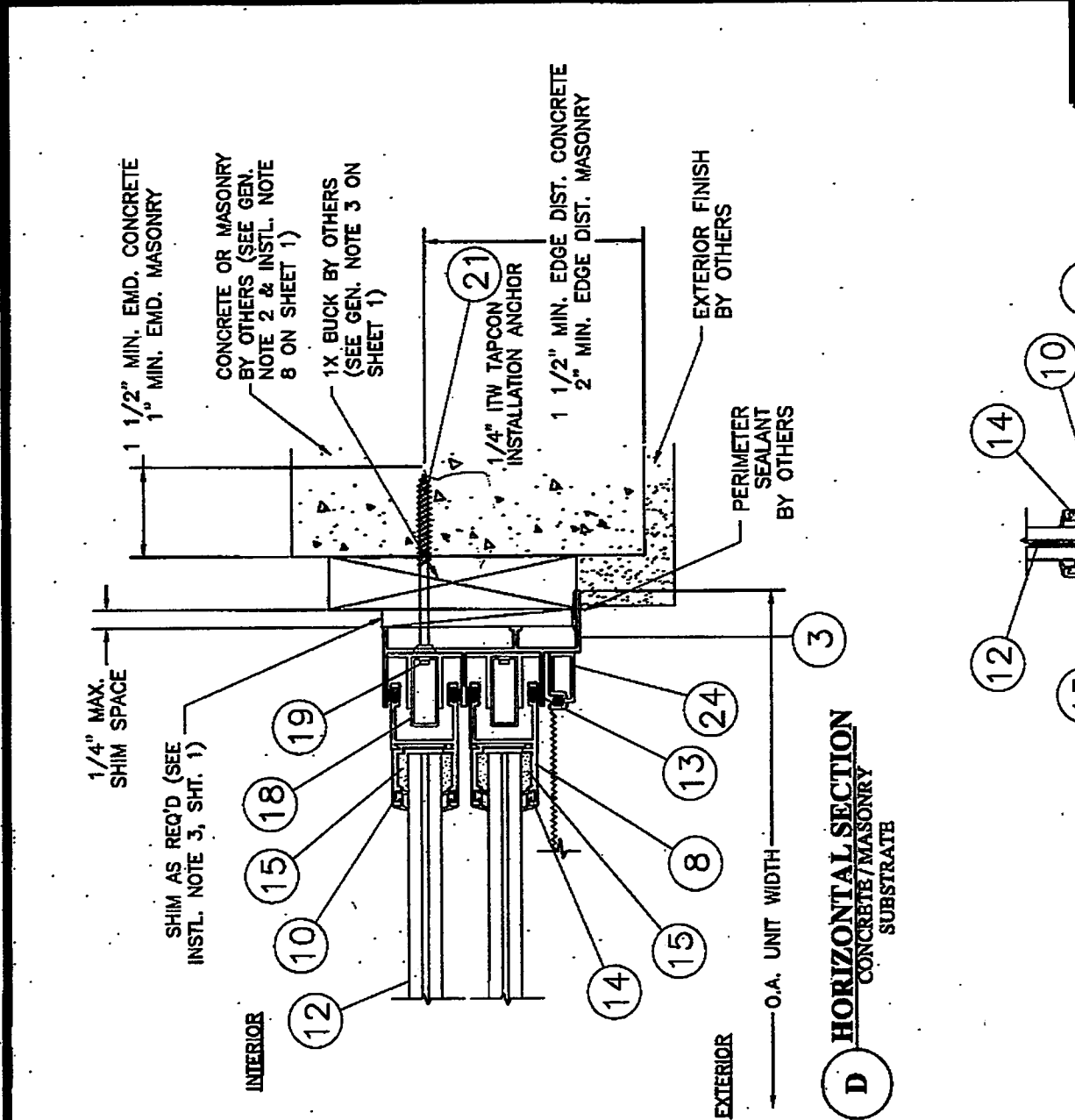
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REV. 1	DATE: 07/06/11	DESCRIPTION: NOA RENEWAL

**PREPARED BY:** JLD-WEN  
**SCALE:** N.T.S.  
**DRAWING NO.:** JELD0020  
**DATE:** 04/12/06  
**DESCRIPTION:** NOA RENEWAL  
**DATE:** 07/06/11  
**BY:** RJA

PRODUCT RENEWED as complying with the Florida Building Code Acceptance No. Explaining Date: 11-24-2010  
 By: [Signature] Miami Dade Product Control

Robert J. Amoruso, P.E.  
 Florida P.E. No. 49762

**ROBERT JAMES AMORUSO**  
 LICENSE NO. 49762  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER



SEE GLAZING DETAIL 1 ON SHEET 8



PROJECT # 411-0112	DATE	DESCRIPTION
07/06/11	3/9/11	NOA RENEWAL
TJH	PER DATE LETTER	DATED JUNE 28, 2011

REV: 2	SCALE: N.T.S.	DATE: 04/12/06
DRWING NO: JELB0020	REV: 2	DATE: 04/12/06
PREPARED BY: JELD-WEN	SCALE: N.T.S.	DATE: 04/12/06
DRAWN BY: BB	SCALE: N.T.S.	DATE: 04/12/06
DATE: 04/12/06	SCALE: N.T.S.	DATE: 04/12/06

**JELD-WEN**  
 Premium Atlantic Aluminum 6400 Double Hung Window, LMI  
 3737 LAKEPORT BLVD.  
 KLAMATH FALLS, OR 97601.

PREPARED BY: JELD-WEN  
 SCALE: N.T.S.  
 DATE: 04/12/06

DRAWN BY: BB  
 SCALE: N.T.S.  
 DATE: 04/12/06

DRWING NO: JELB0020  
 REV: 2  
 DATE: 04/12/06

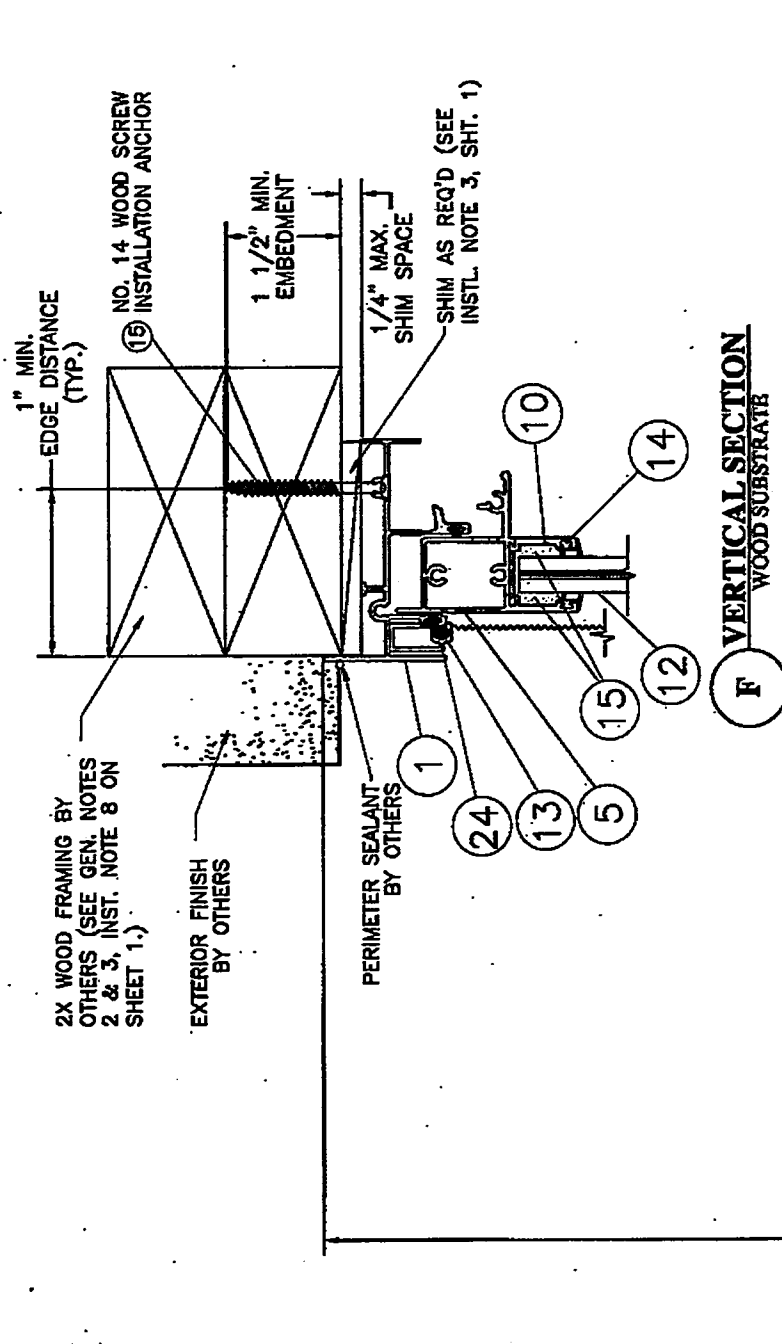
PROJECT # 411-0112

PRODUCT RENEWED  
 as complying with the Florida  
 Building Code  
 Acceptance No. 11-0426/03  
 Expiration Date 02/28/2016

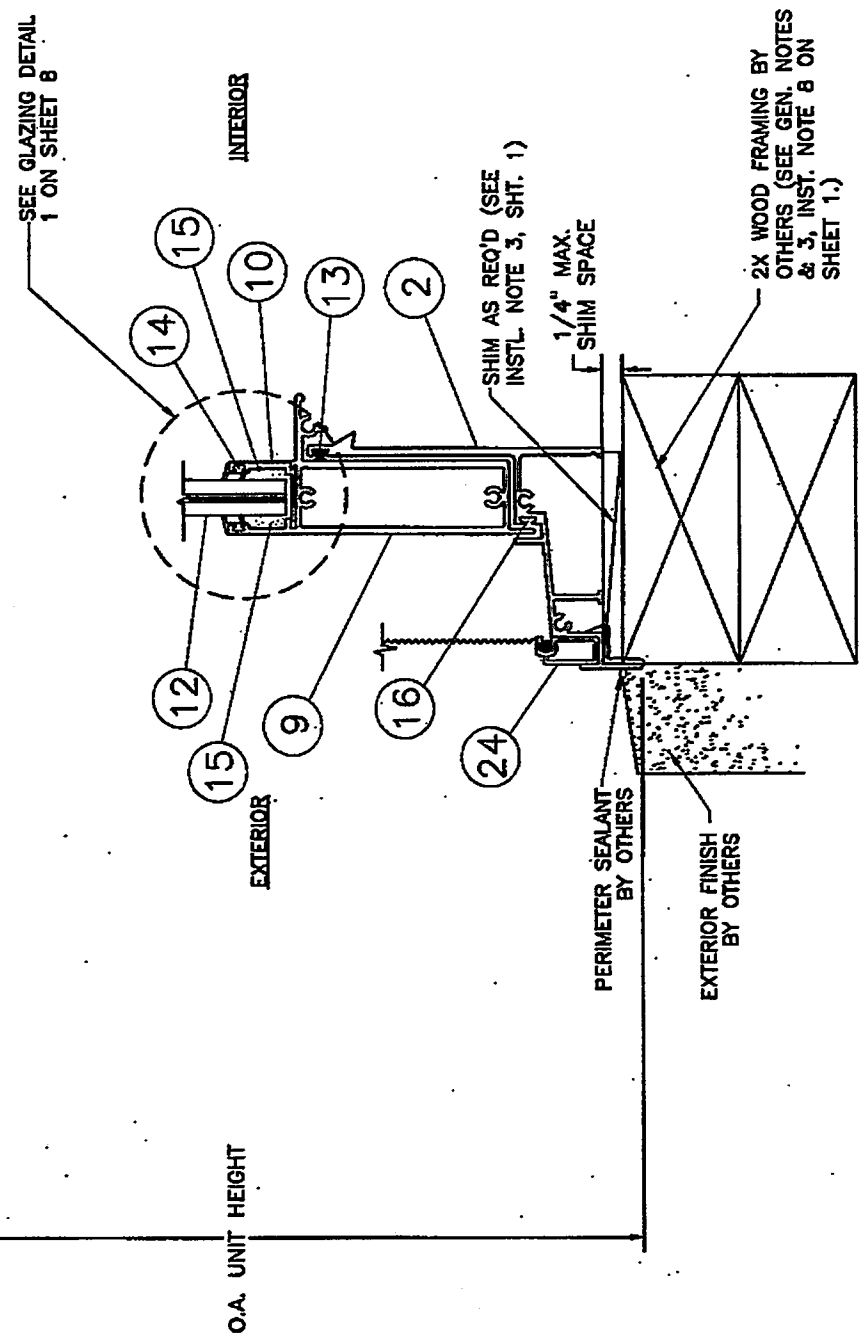
By: *[Signature]*  
 Miami Dade Product Control

Robert J. Amoruso, P.E.  
 Florida P.E. No. 49752

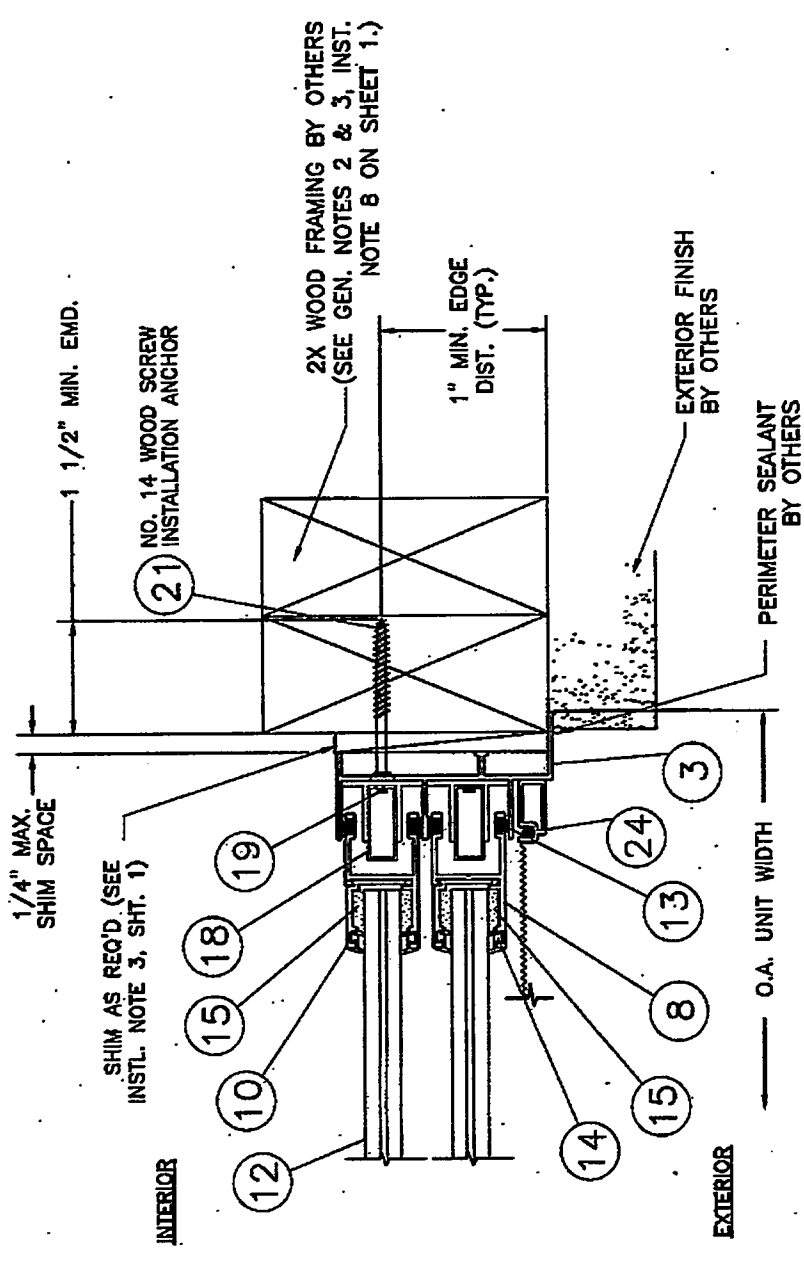
**ROBERT JAMES AMORUSO**  
 LICENSE  
 No 49752  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER



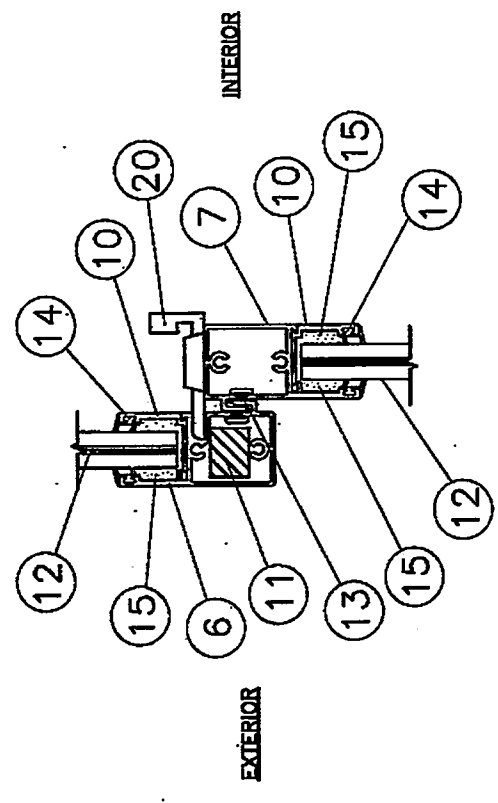
**F VERTICAL SECTION**  
 WOOD SUBSTRATE



**E VERTICAL SECTION**  
 WOOD SUBSTRATE



**G HORIZONTAL SECTION**  
 WOOD SUBSTRATE



**B VERTICAL SECTION**  
 MEETING RAIL

PROJECT # 411-0112	DATE	DESCRIPTION
07/06/11	3/9/11	NOA RENEWAL
TJH		
		PER DADE LETTER
		DATED JUNE 28, 2011

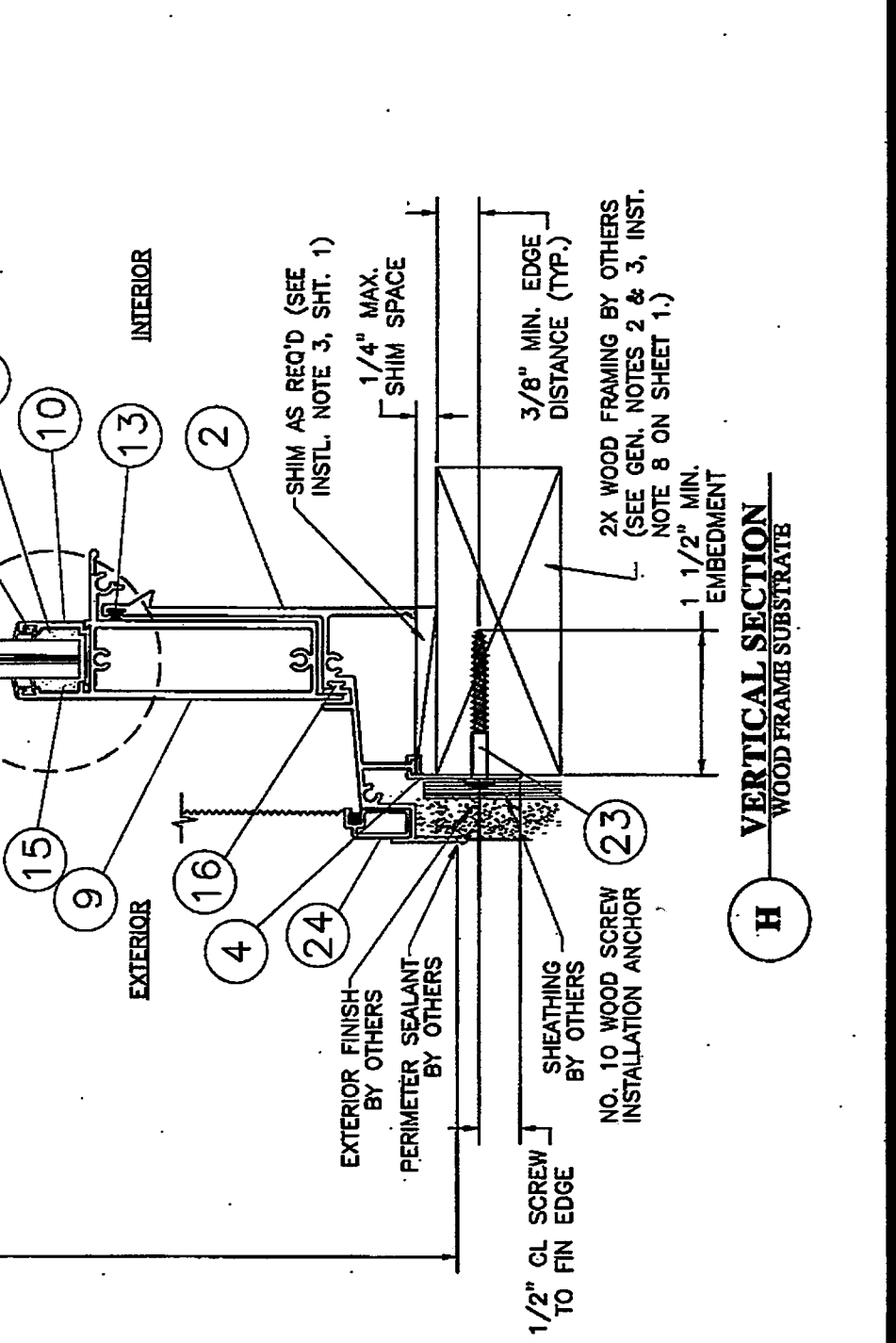
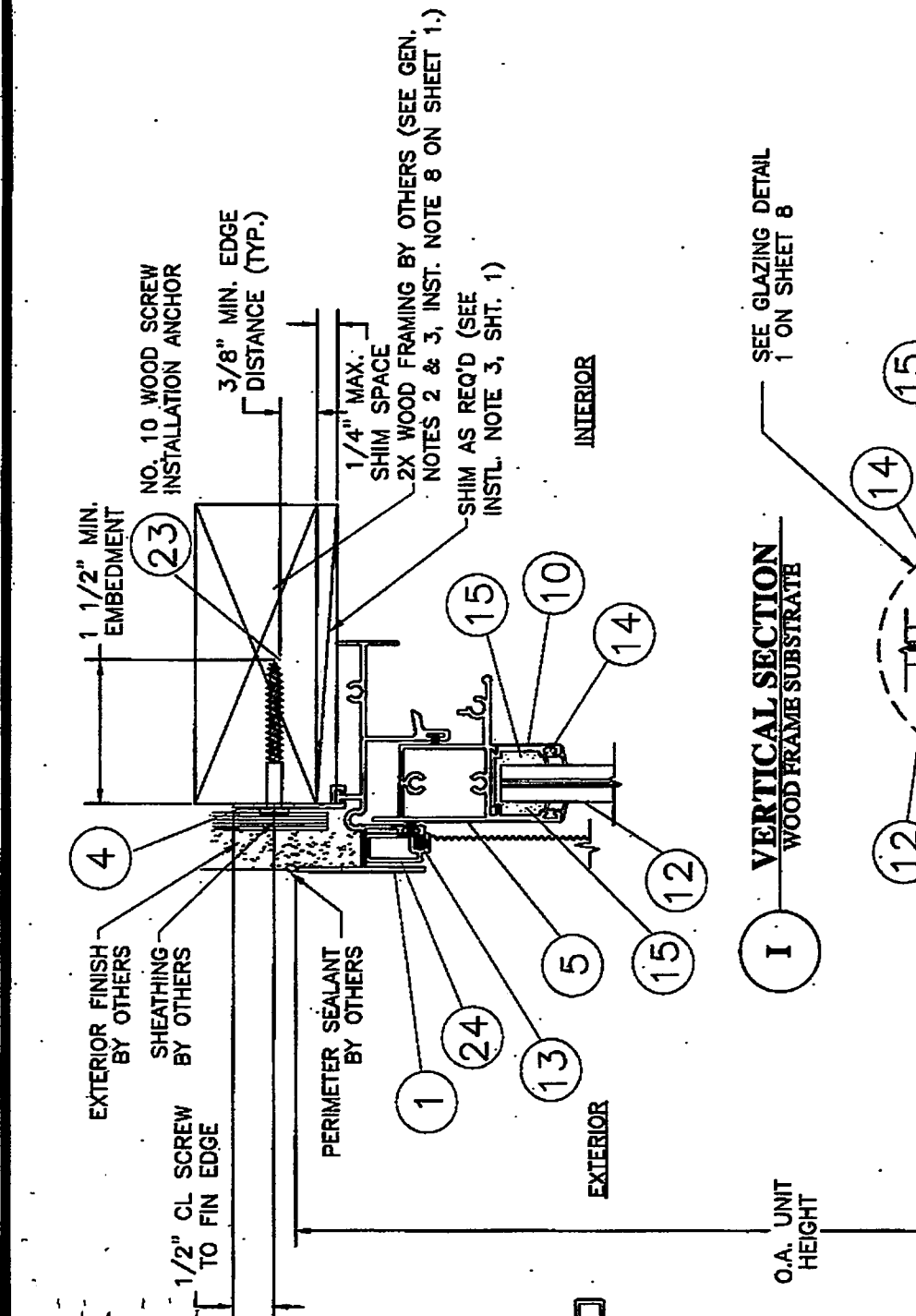
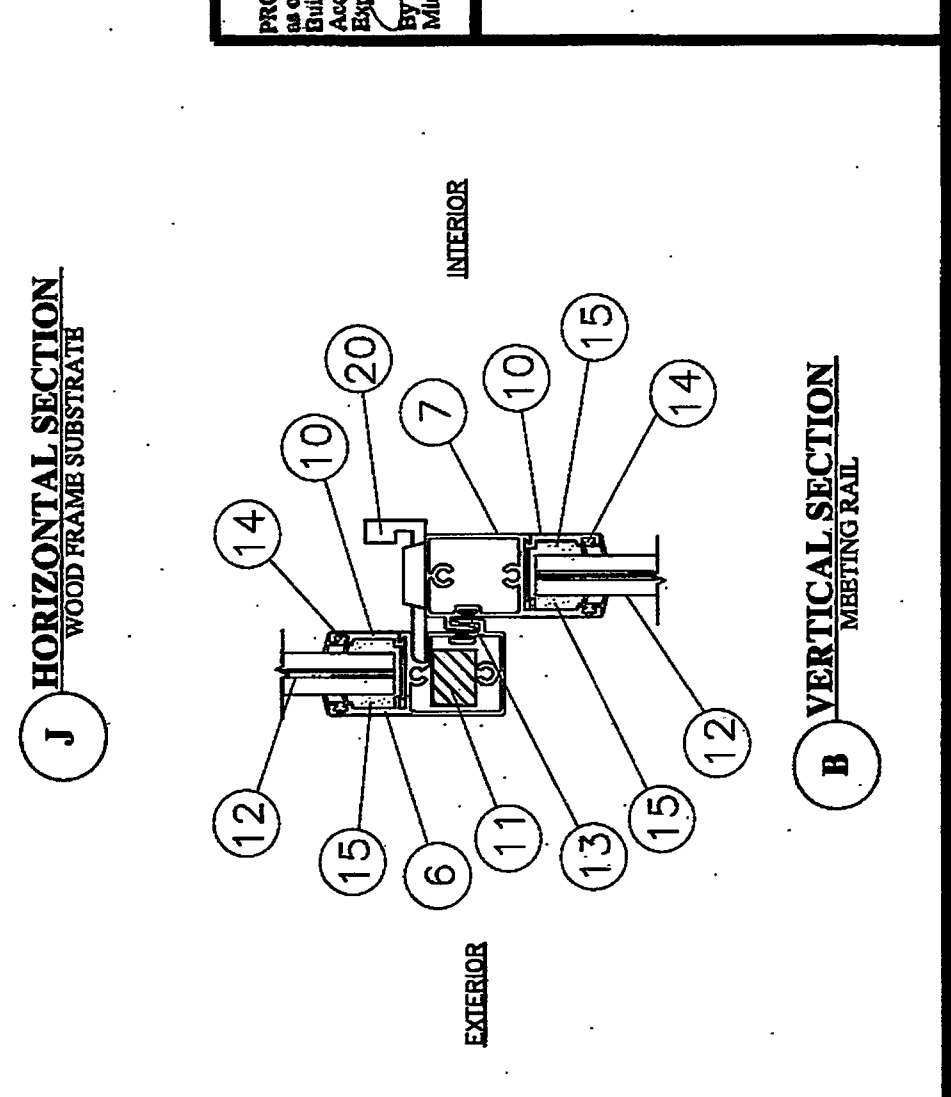
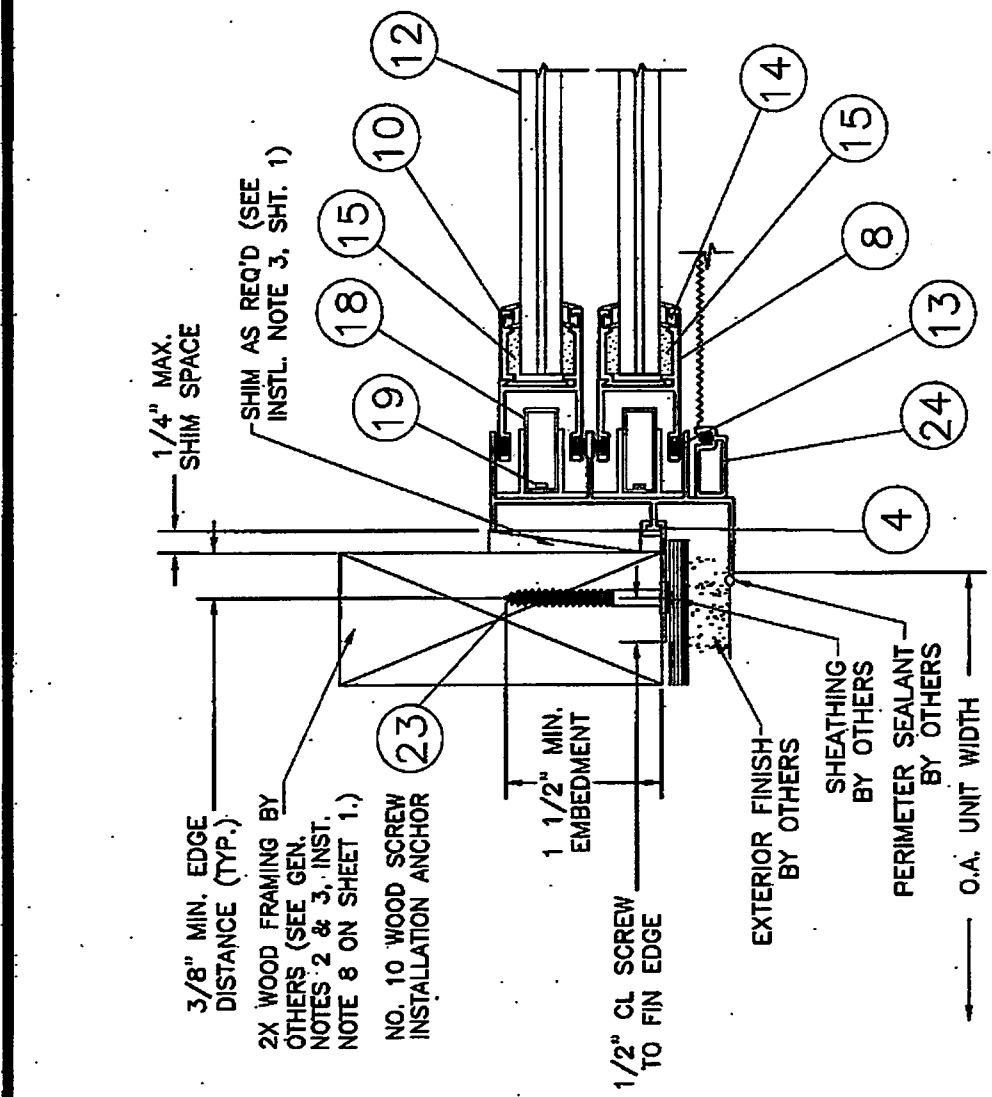
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1	04/12/06	NOA RENEWAL
		PER DADE LETTER
		DATED JUNE 28, 2011

**PREPARED BY:** JLD-WEN  
**DRAWN BY:** BB  
**SCALE:** N.T.S.  
**REV.:** 2  
**DATE:** 04/12/06  
**DESCRIPTION:** NOA RENEWAL  
**DATE:** 3/9/11  
**BY:** RJA

PRODUCT RENEWED  
 as complying with the Florida  
 Building Code  
 Acceptance No. 11-0426-03  
 Expiration Date 02/16/2016  
 By: *[Signature]*  
 Milermi Dade Product Control

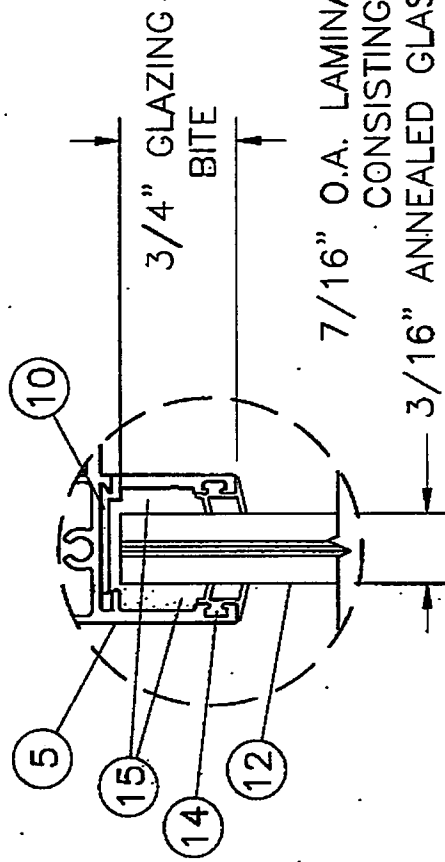
Robert J. Amoroso, P.E.  
 Florida P.E. No. 48752

**ROBERT JAMES AMOROSO**  
 LICENSE  
 No 48752  
 STATE OF  
 FLORIDA  
 PROFESSIONAL ENGINEER



**BILL OF MATERIALS**

ITEM #	PART NO.	DESCRIPTION	ALLOY	SUPPLIER
1	11342	FRAME HEAD	6063-T6	SAPA
2	11344	FRAME SILL	6063-T6	SAPA
3	11343	FRAME JAMB	6063-T6	SAPA
4	45222	APPLIED FIN	6063-T5	SAPA
5	46209	TOP SASH RAIL	6063-T6	SAPA
6	46207	TOP SASH RAIL I'LOCK RAIL	6063-T6	SAPA
7	46206	DTM SASH RAIL I'LOCK IMPACT RAIL	6063-T6	SAPA
8	46208	SASH JAMB/SILL IMPACT	6063-T6	SAPA
9		EXTERNAL VENT SILL	6063-T6	SAPA
10	46210	GLAZING BEAD IMPACT	6063-T6	SAPA
11		.500" X .625" STEEL REINF. BAR (70 KSI ULT. STRENGTH)	C1018	
12		7/16" O.A. LAMINATED GLASS: 3/16" ANNEALED EXTERIOR/ .090" SENTRY PLUS FILM/ 3/16" ANNEALED INTERIOR		
13		.187" HIGH WOOLPILE W/INTEGRAL PLASTIC FIN		
14		BULB VINYL - DUROMETER 75-80 SHORE D		
15		SILICONE DOW CORNING 995		
16		VINYL WEDGE		
17		VINYL SASH STOP - DUROMETER 75 - 80 SHORE D		
18		BLOCK & TACKLE BALANCE		
19		BALANCE TAKE OUT CLIP		
20		SWEEP LOCK		
21		1/4" DIA. ITW ADVANCED THREADFORM TECH. TAPCON	STEEL	ITW
22		#14 WOOD SCREW INSTALLATION ANCHOR	STEEL	
23		#10 WOOD SCREW INSTALLATION ANCHOR	STEEL	
24	GAH-43585	INSECT SCREEN FRAME	6063-T5	INDALEX



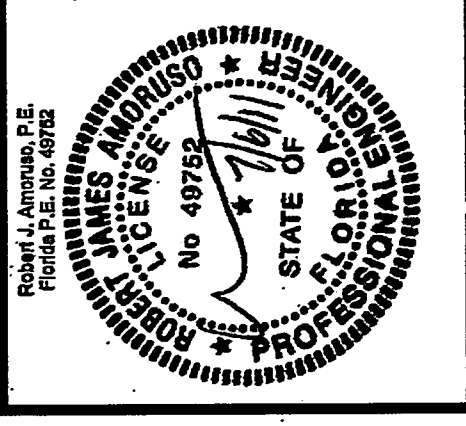
7/16" O.A. LAMINATED GLASS  
 CONSISTING OF:  
 3/16" ANNEALED GLASS (EXTERIOR)/  
 .090" DUPONT SENTRYGLAS/  
 3/16" ANNEALED GLASS (INTERIOR)

GLAZING DETAIL 1

PROJECT # 411-0112	DATE	DESCRIPTION	BY
	07/06/11	NOA RENEWAL	RJA
	04/12/06		

**JELD-WEN**  
 3737 LAKEPORT BLVD.  
 KAMATH FALLS, OR 97601  
 Premium Adaptic Aluminum 6400 Double Hung Window, LMI  
 GLAZING DETAIL & BILL OF MATERIALS  
 DRAWN BY: BB DATE: 04/12/06  
 SCALE: N.T.S.  
 SHEETS: 8 OF 11  
 REV: 2  
 P.O. Box 30075  
 Longwood, FL 32732-0075  
 FIC 21480-0719  
 Email: info@jeld-wen.com

PRODUCT RENEWED  
 as complying with the Florida  
 Building Code  
 Acceptance No. 11-042603  
 Expiration Date: 07/12/2012  
 Miami Trade Product Control



BY	DATE	DESCRIPTION
RAA	3/8/11	NOA RENEWAL
TJH	07/06/11	PER DADE LETTER DATED JUNE 28, 2011

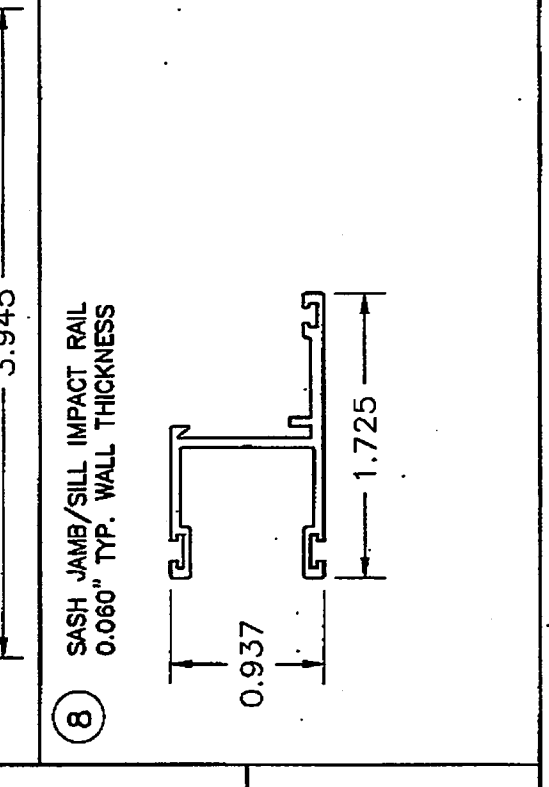
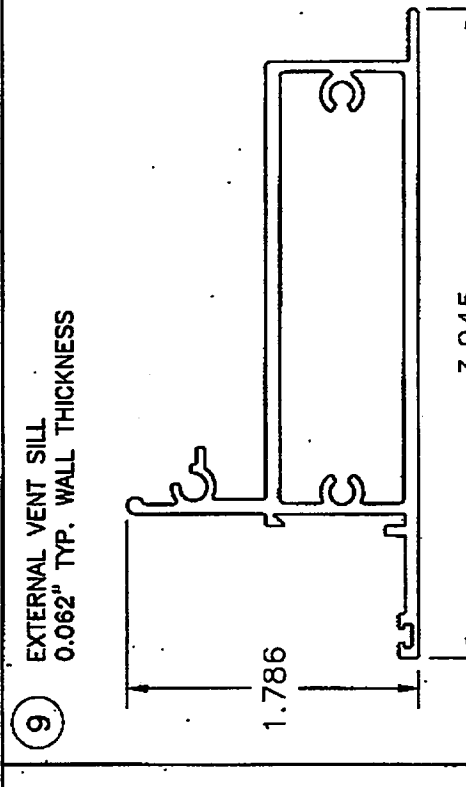
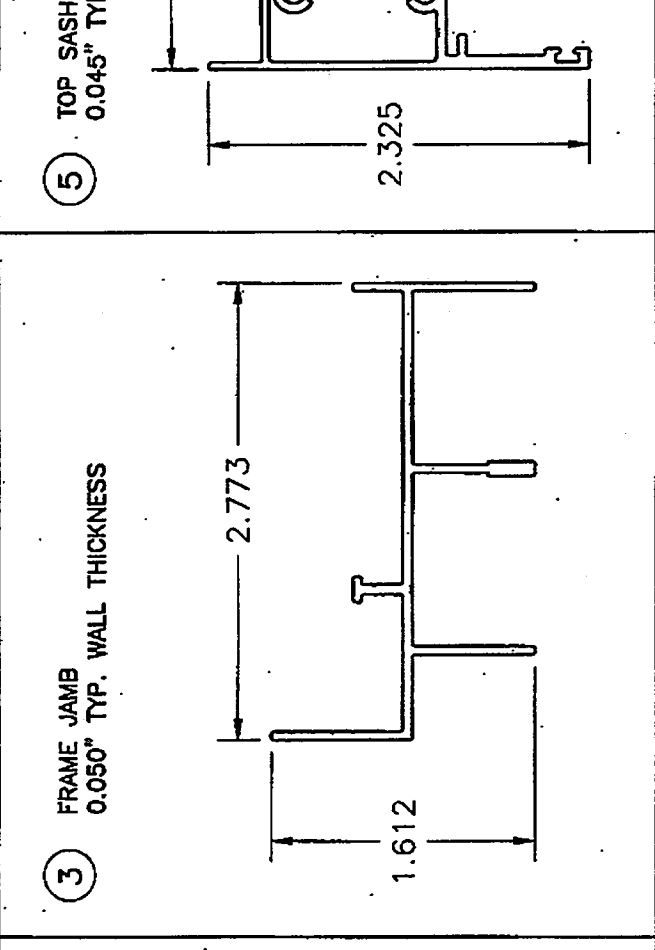
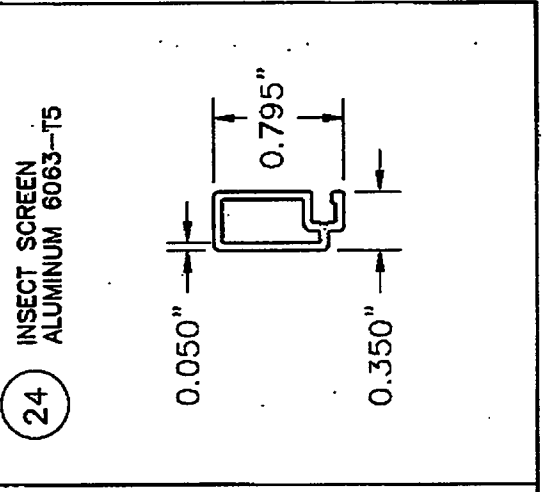
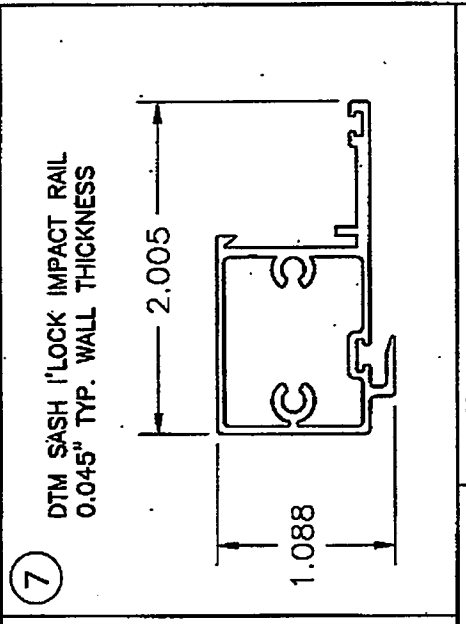
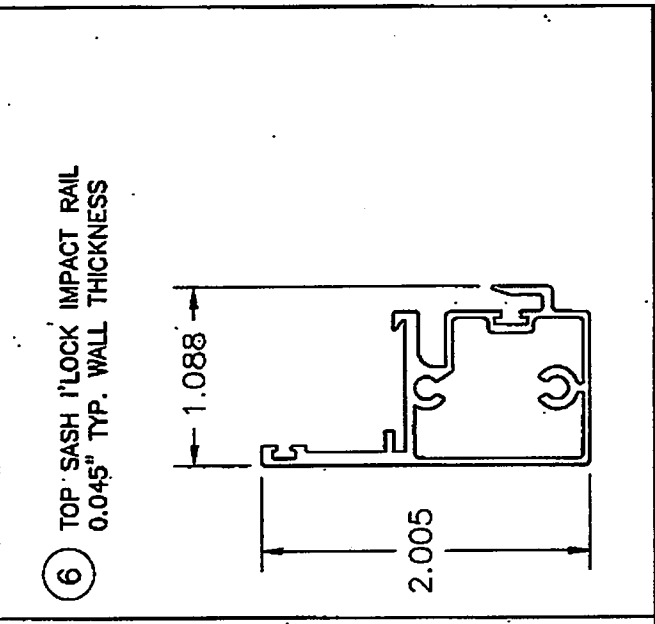
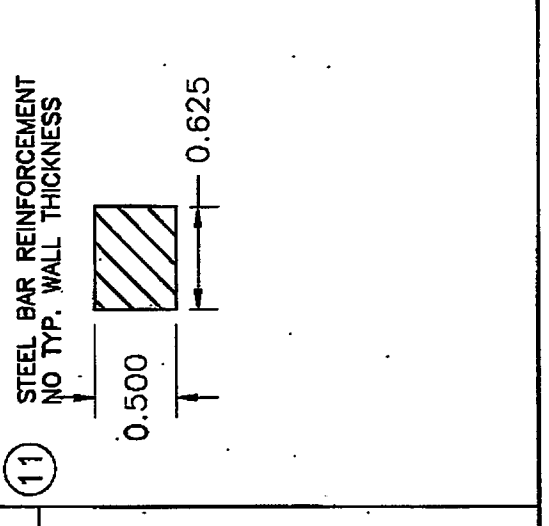
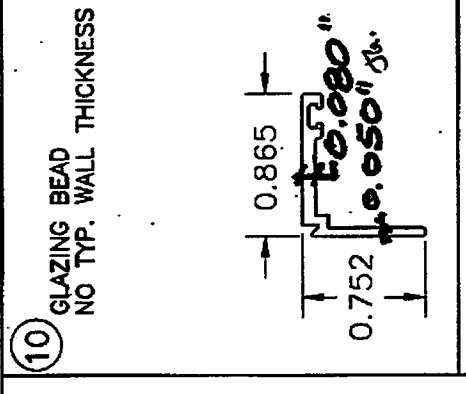
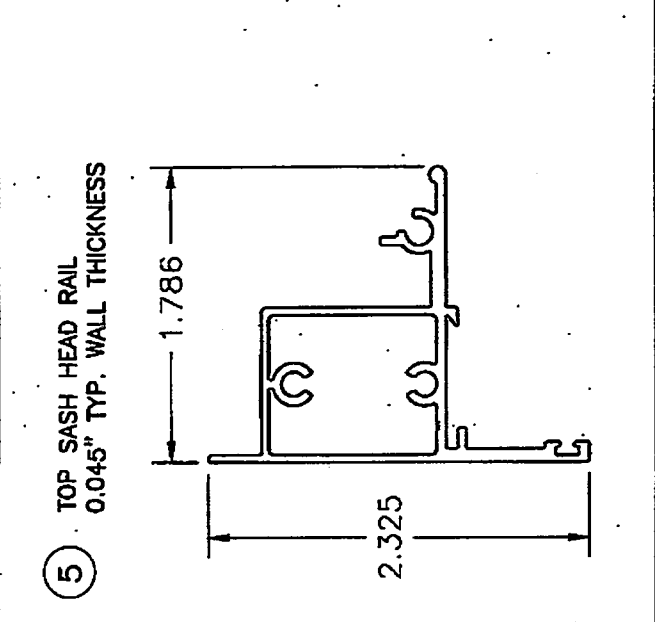
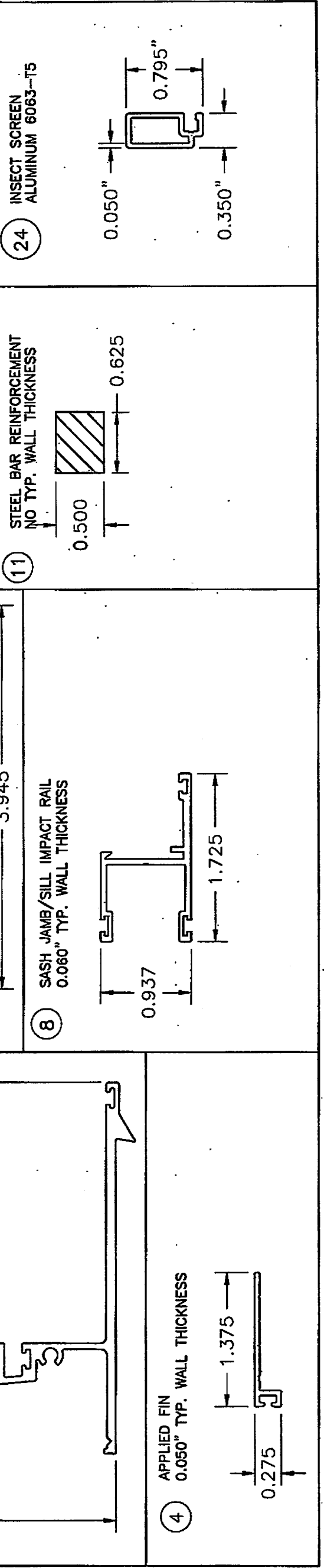
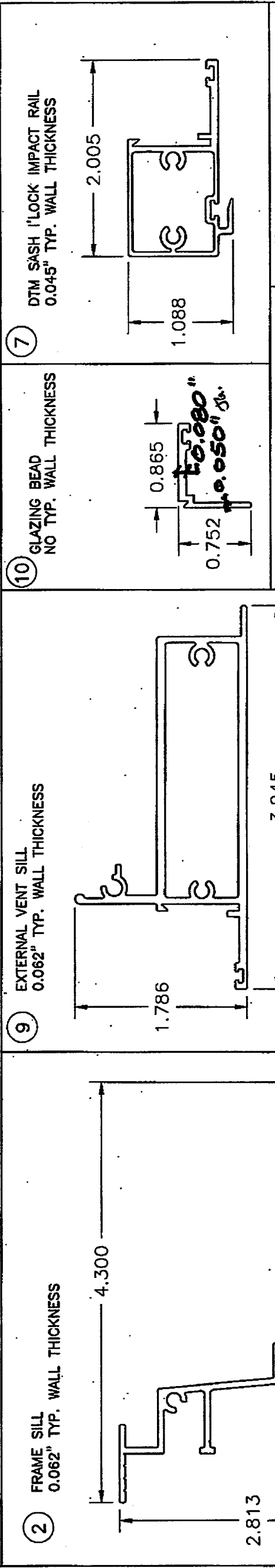
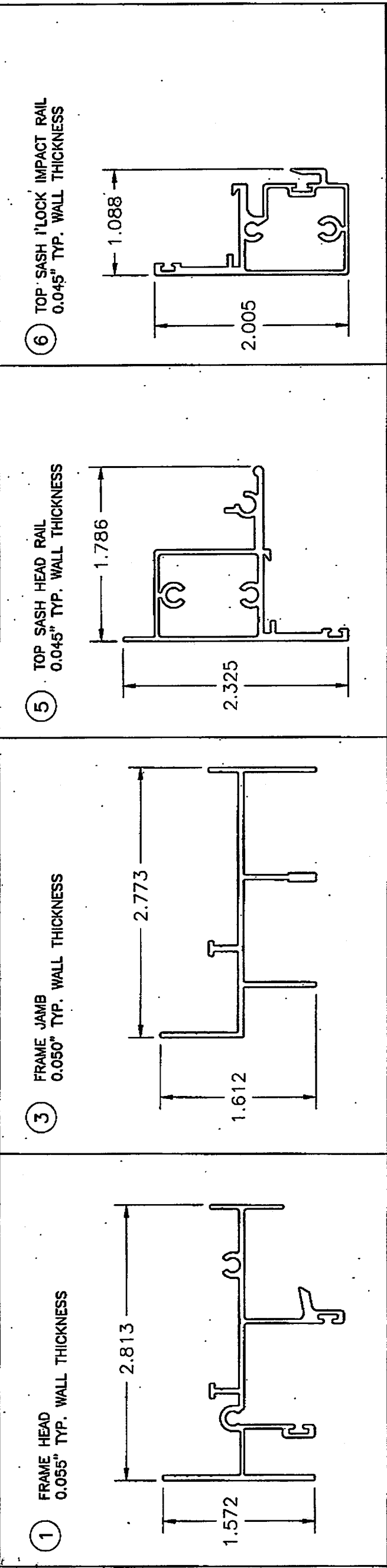
PROJECT # 411-0112	JLDWEN 3737 LAKEPORT BLVD. KLAMATH FALLS, OR 97603
DATE: 04/12/08	PREPARED BY: [Signature]
DRAWING NO.: JLD0020	SCALE: N.T.S.
SHEET: 9 OF 11	REV: 2

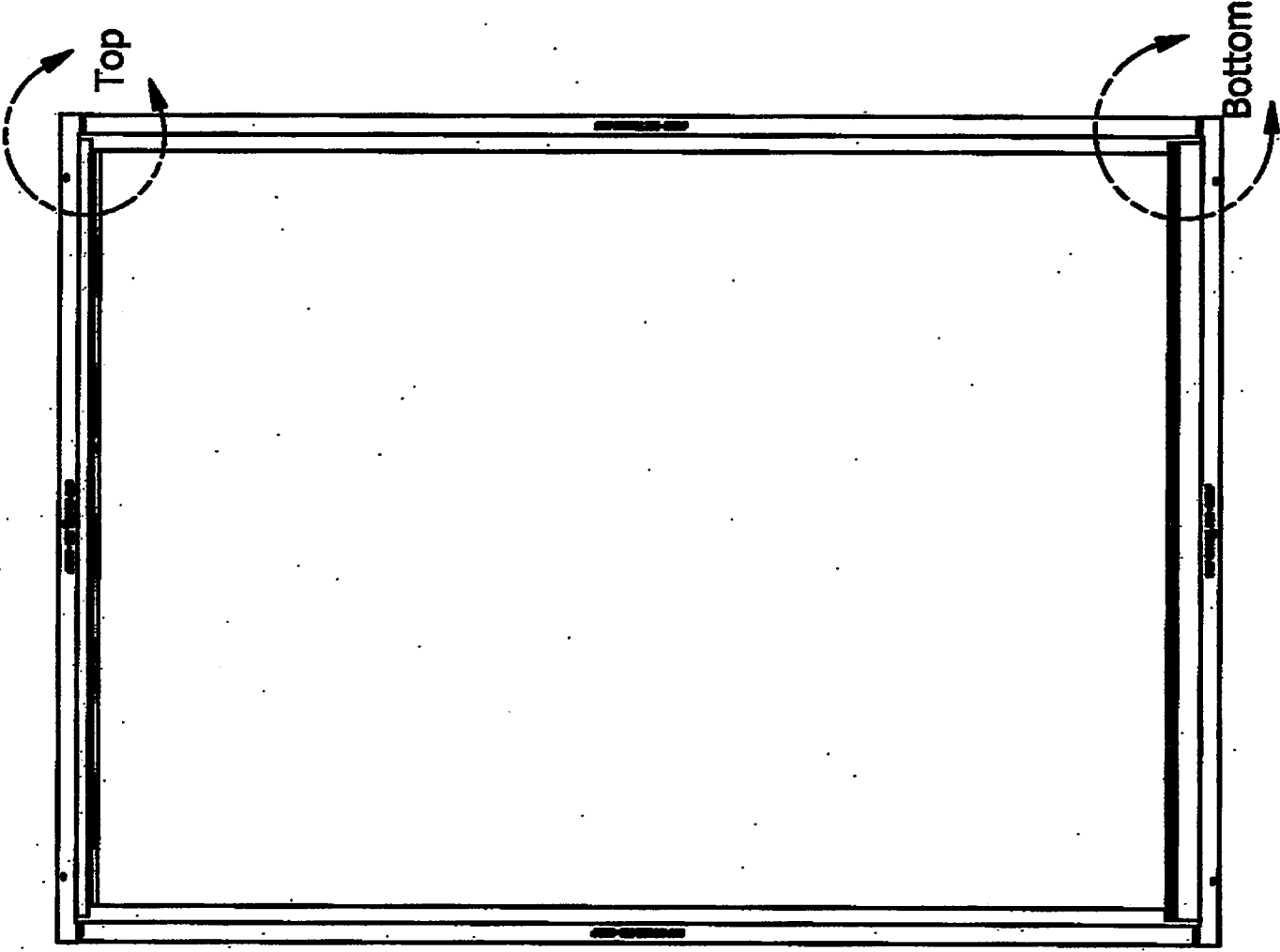
**PRC**  
PREMIUM ATLANTIC ALUMINUM 6400 DOUBLE-HUNG WINDOW, LMI

PRODUCT RENEWED  
 as complying with the Florida  
 Building Code  
 Acceptance No. **11-2426-03**  
 Expiration Date **08/16/2016**  
 Miami Exotic Product Control

Robert J. Amoruso, P.E.  
 Florida P.E. No. 49752

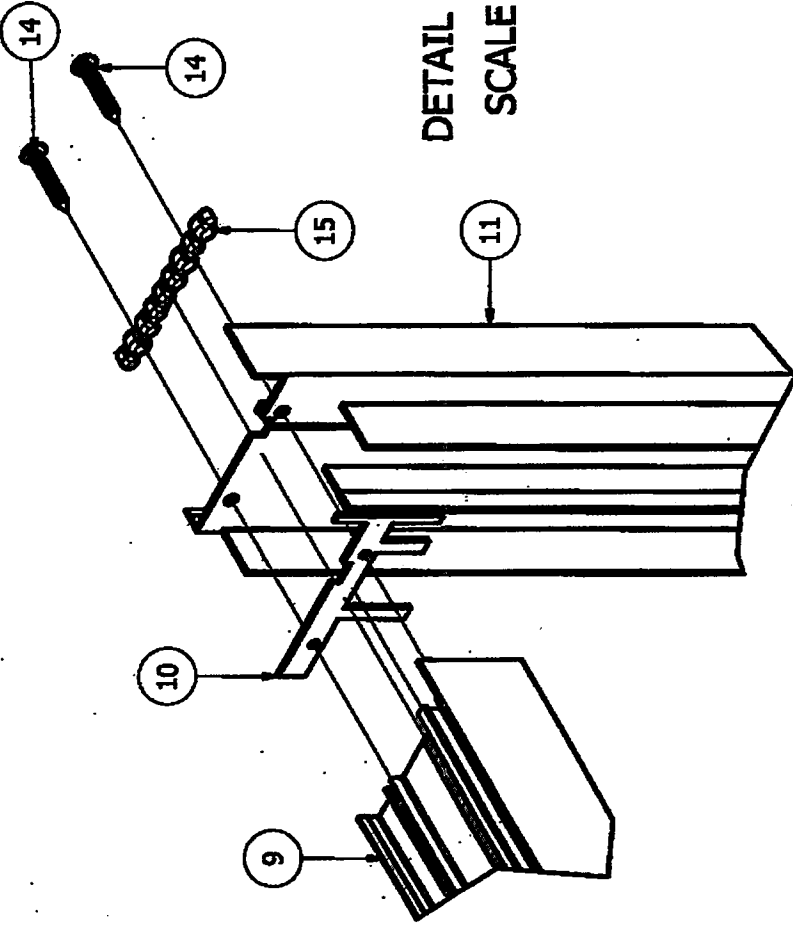
**ROBERT JAMES AMORUSO**  
 LICENSE  
 No 49752  
 STATE OF  
 FLORIDA  
 PROFESSIONAL ENGINEER



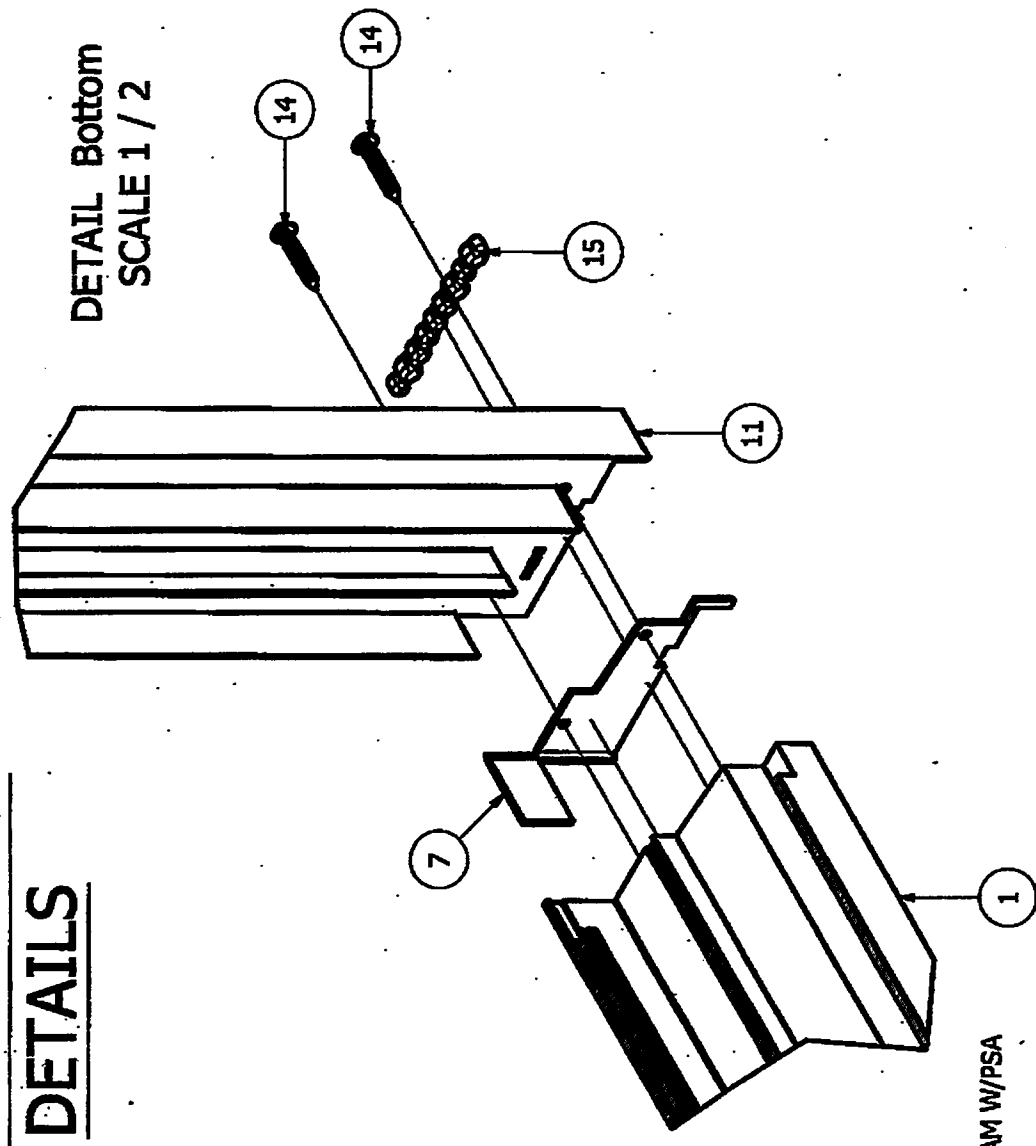


# FRAME CORNER DETAILS

DETAIL Top  
SCALE 1 / 2



DETAIL Bottom  
SCALE 1 / 2



PARTS LIST		
ITEM	QTY	DESCRIPTION
1	1	Main Frame Sill
7	1	Gasket - Sill (See Note 2 Below)
9	1	Main Frame Head
10	2	Head Gasket (See Note 2 Below)
11	2	Main Jamb (DHMJQ)
14	8	#8 x 1.00" PPH SMS S/S
15	4	Seam Sealer - Clear

NOTE:  
 1) BOM ONLY APPLICABLE TO THIS SHEET  
 2) ITEM NO. 5 AND 11 ABOVE MADE FROM 1/16" THICK 4# BLACK OR WHITE CROSS LINKED POLYETHYLENE FOAM W/PSA

PROJECT # 411-0112		JELD-WEN 3737 LAKEPORT BLVD. KLAMATH FALLS, OR 97601	
DATE: 04/12/06		DATE: 04/12/06	
DRAWN BY: BB		DRAWN BY: BB	
SCALE: N.T.S.		SCALE: N.T.S.	
REV: 2		REV: 2	
SHEET: 10 OF 11		SHEET: 10 OF 11	

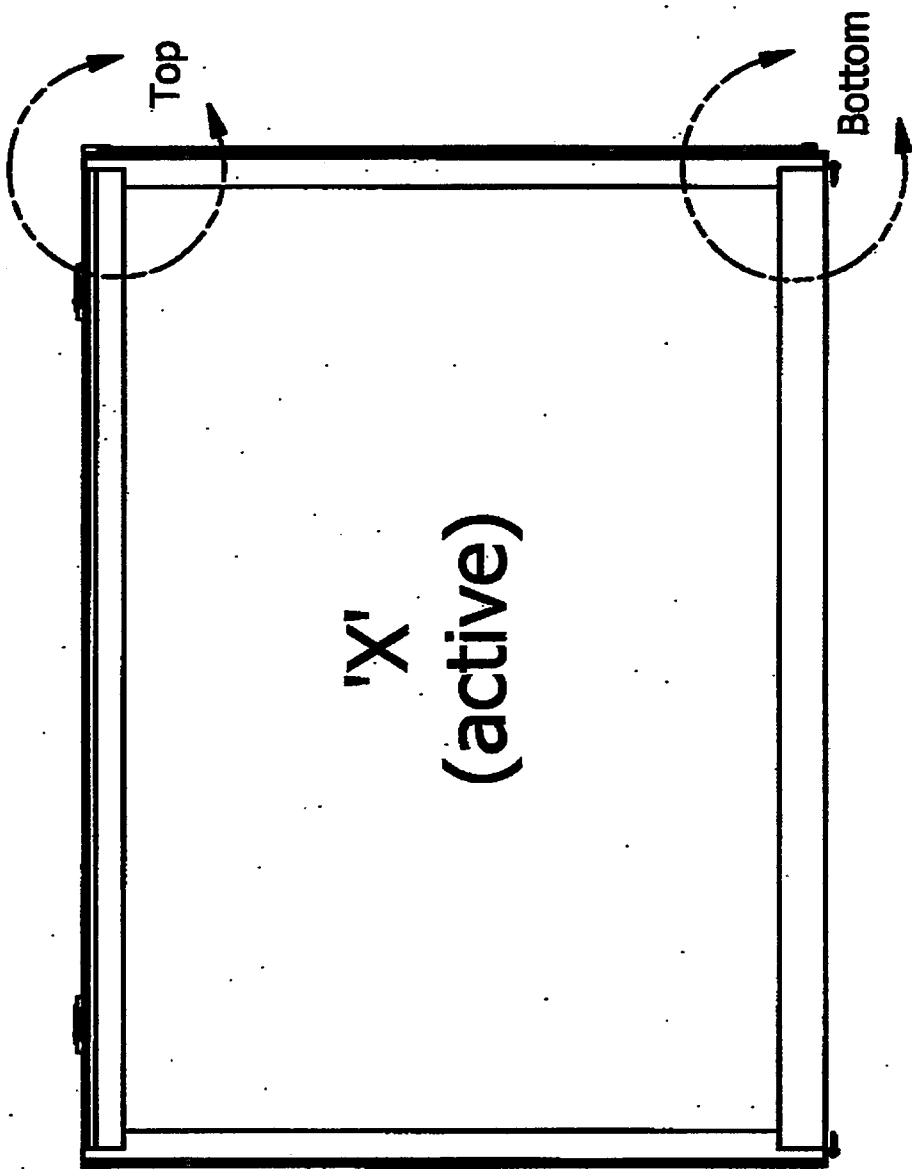
**PRODUCT RENEWED**  
 as complying with the Florida  
 Building Code  
 Acceptance No. 11-042603  
 Expiration Date: 07/28/2016

PREPARED BY: Miami Dade Product Control

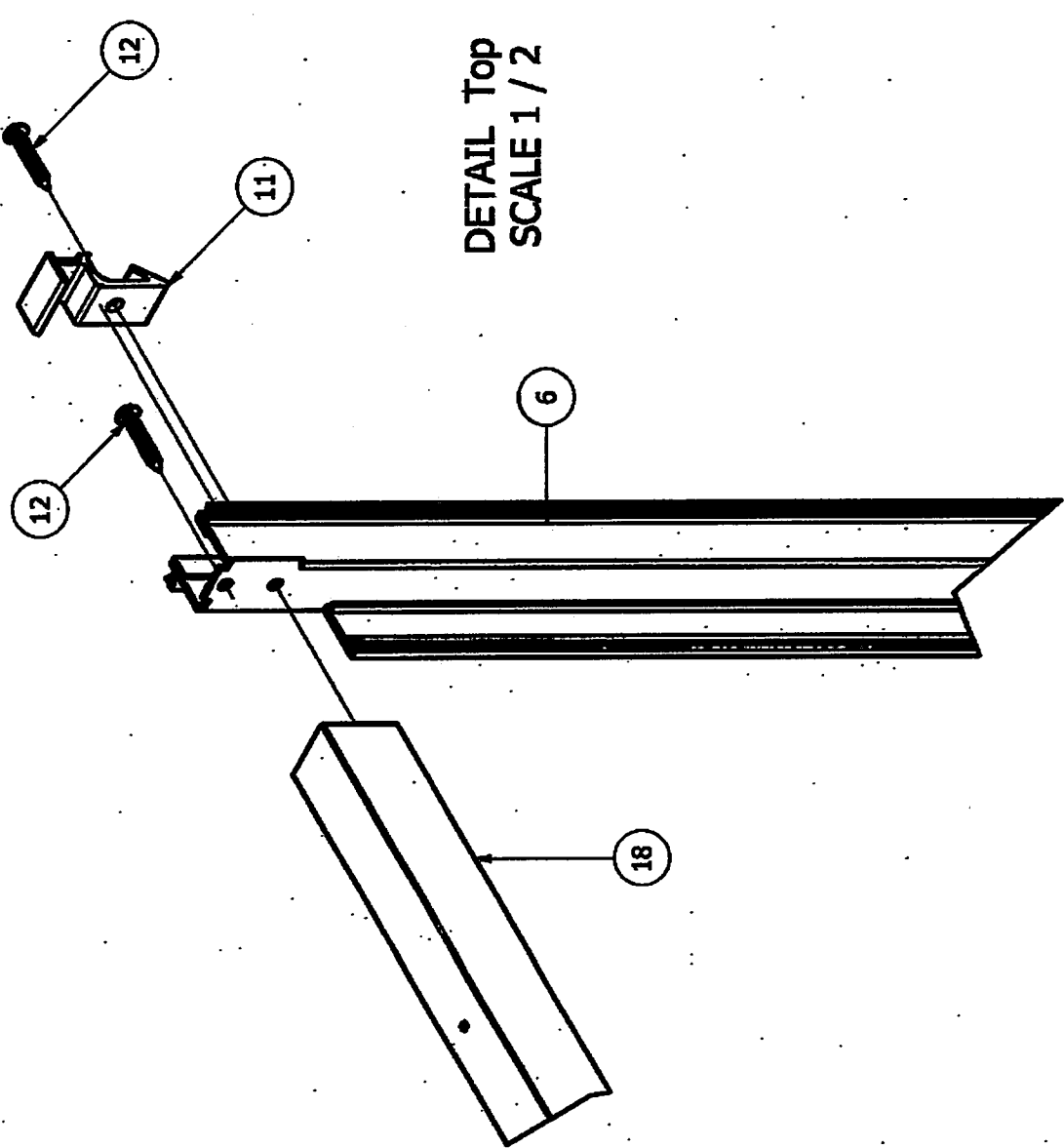
Robert J. Amoroso, P.E.  
 Florida P.E. No. 49762

STATE OF FLORIDA  
 PROFESSIONAL ENGINEER  
 ROBERT JAMES AMOROSO  
 LICENSE No. 49762

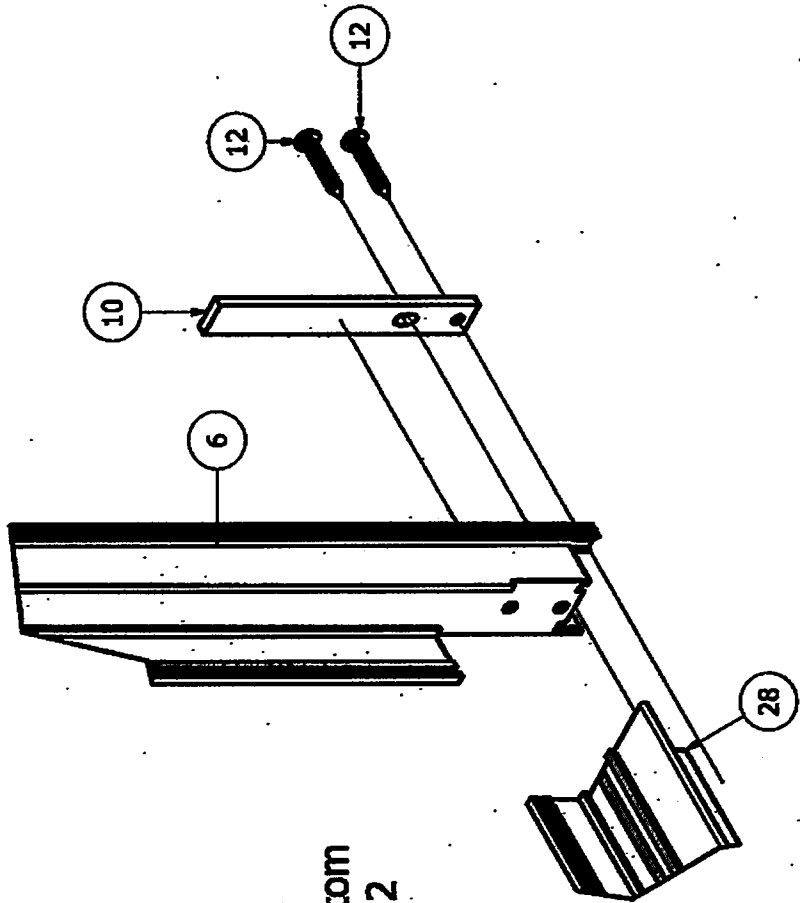
# SASH CORNER DETAILS



DETAIL Top  
SCALE 1 / 2



DETAIL Bottom  
SCALE 1 / 2



PARTS LIST		
ITEM	QTY	DESCRIPTION
6	2	Sash - Stile
10	2	Balance Guide
11	2	Sash Cam (00697)
12	8	#8 x 1.00" PPH SMS S/S
18	1	Interlock - Bottom (60IBIV)
28	1	Lift Rail

NOTE:  
1) BOM ONLY APPLICABLE TO THIS SHEET

PROJECT # 411-0112		JELD-WEN 3737 LAKEPORT BLVD. KLAMATH FALLS, OR 97603	
DATE: 04/12/06		DRAWN BY: BB	
REV: 2		SCALE: N.T.S.	
DESCRIPTION: NOA RENEWAL		DATE: 3/9/11	
DATE: 07/06/11		BY: TJH	
DATE: 07/06/11		BY: RJA	

**PRC**  
PREPARED BY: PRC, LLC  
P.O. BOX 20078  
LONGWOOD, FL 32750-0078  
Email: info@prc.com

PRODUCT RENEWED  
as complying with the Florida  
Building Code

Acceptance No. 11-0426203  
Expiry Date: 03/16/2013

By: *[Signature]*  
Miami Dade Product Control

Robert J. Amoroso, P.E.  
Florida P.E. No. 49752

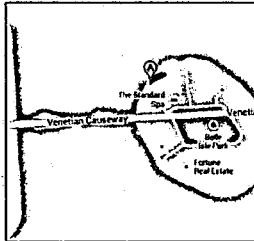
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
ROBERT JAMES AMOROSO  
LICENSE  
No. 49752  
11/16/11

PREPARED BY:

# EXACTA

Land Surveyors, Inc.

www.exactaland.com  
Toll Free 866-735-1916 • F 866-744-2882



PROPERTY ADDRESS: 8 CENTURY LANE MIAMI BEACH, FLORIDA 33139

SURVEY NUMBER: 2.0417

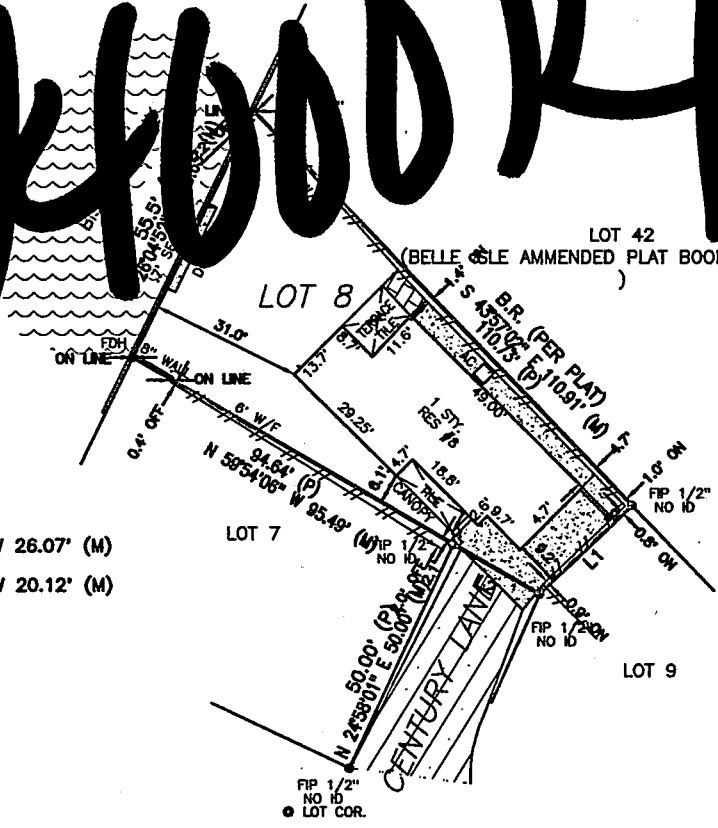
FIELD WORK DATE: 12/12/2013 REVISION DATE(S): (REV.0 12/16/2013)

1312.0417  
BOUNDARY SURVEY  
MIAMI-DADE COUNTY

# BKWOOD K

TABLE:

L1	26.11' (P)
S	48°15'22" W 26.07' (M)
L2	20' (P)
N	60°02'52" W 20.12' (M)



FENCE OWNERSHIP WAS NOT DETERMINED.

I hereby certify that the Boundary Survey of the hereon described property has been made under my direction, and to the best of my knowledge and belief, it is a true and accurate representation of a survey that meets the minimum technical standards set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17 of the Florida Administrative Code.

RONALD W. WALLING  
State of Florida Professional Surveyor and Mapper  
License No. 6473



GRAPHIC SCALE (In Feet)  
1 inch = 30' ft.



Use of This Survey for Purposes other than Intended, Without Written Verification, will be at the User's Sole Risk and Without Liability to the Surveyor. Nothing hereon shall be construed to Give ANY Rights or Benefits to Anyone Other than those Certified.

**FLOOD INFORMATION:**

BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE AE (WITH A BASE FLOOD ELEVATION OF 9). THIS PROPERTY WAS FOUND IN THE CITY OF MIAMI BEACH, COMMUNITY NUMBER 120651, DATED 09/11/09.

**POINTS OF INTEREST**  
NONE VISIBLE

CLIENT NUMBER:

DATE: 12/16/2013

BUYER:

SELLER: BRIAN CLARK

CERTIFIED TO:



Florida Land Title Association

**AFFILIATE MEMBERS**

# EXACTA

Land Surveyors, Inc.

LB4 7337

www.exactaland.com  
P866-735-1916 • F866-744-2882  
11940 Fairway Lakes Drive, Suite 1 • Ft. Myers, FL 33913

**LEGAL DESCRIPTION:**

**LOT 8 OF BELLE ISLES VILLAS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 42, PAGE 92, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.**

**JOB SPECIFIC SURVEYOR NOTES:**

**THE BEARING REFERENCE OF SOUTH 43 DEGREES 57 MINUTES 02 SECONDS EAST IS BASED ON THE NORTHEASTERLY PROPERTY LINE OF LOT 8, LOCATED WITHIN OF BELLE ISLES VILLAS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 42, PAGE 92, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.**

**GENERAL SURVEYOR NOTES:**

1. The Legal Description used to perform this survey was supplied by others. This survey does not determine or imply ownership.
2. This survey only shows Improvements found above ground. Underground footings, utilities and encroachments are not located on this survey map.
3. If there is a septic tank, or drain field shown on this survey, the location is approximate as the location was either shown to Exacta by a third party or it was estimated by metal detection, probing rods, and visual above ground inspection only. No excavation was performed in order to determine the exact and accurate location.
4. This survey is exclusively for the use of the parties to whom it is certified.
5. Additions or deletions to this survey map and report by other than the signing party or parties is prohibited without written consent of the signing party or parties. Dimensions are in feet and decimals thereof.
6. Due to varying construction standards, house dimensions are approximate.
7. Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain such data was performed at [www.fema.gov](http://www.fema.gov).
8. All corners marked as set are at a minimum a 1/4" diameter, 18" iron rebar with a cap stamped LB#7337.
9. If you are reading this survey in an electronic format, the information contained on this document is only valid if this document is electronically signed as specified in Chapter 53-17.062 (3) of the Florida Administrative Code and Florida Statute 472.025. The Electronic Signature File related to this document is prominently displayed on the invoice for this survey which is sent under separate cover. Manually signed and sealed logs of all survey signature files are kept in the office of the performing surveyor. If this document is in paper format, it is not valid without the signature and original raised seal of a Florida Licensed Surveyor.
10. Unless otherwise noted, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.
11. The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the center of the field location, and may not represent the actual shape or size of the feature.
12. Points of Interest (POI's) are selected above-ground improvements which may be in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. There may be additional POI's which are not shown, not called-out as POI's, or which are otherwise unknown to the surveyor. These POI's may not represent all items of interest to the viewer.
13. Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.
14. The information contained on this survey has been performed exclusively, and is the sole responsibility, of Exacta Surveyors. Additional logo or references to third party firms are for informational purposes only.
15. Pursuant to F.S. 558.0035, an individual employee or agent may not be held individually liable for negligence.
17. House measurements should not be used for new construction or planning. Measurements should be verified prior to such activity.

**LEGEND:**

**SURVEYOR'S LEGEND**

<p><b>LINE TYPES: (LIMITED COVERAGE NOTES)</b></p> <p>BOUNDARY LINE</p> <p>STRUCTURE</p> <p>CONTIGUOUS</p> <p>CHAIN LINK OR WIRE FENCE</p> <p>EASEMENT</p> <p>EDGE OF WATER</p> <p>IRON FENCE</p> <p>OVERHEAD LINES</p> <p>SURVEY TIE LINE</p> <p>WALL OR PARTY WALL</p> <p>WOOD FENCE</p> <p>VINYL FENCE</p> <p><b>SURFACE TYPES: (LIMITED COVERAGE NOTES)</b></p> <p>ASPHALT</p> <p>BRICK or TILE</p> <p>CONCRETE</p> <p>WOOD</p> <p><b>SYMBOLS: (LIMITED COVERAGE NOTES)</b></p> <p>BENCH MARK</p> <p>CENTERLINE</p> <p>CENTRAL ANGLE or DELTA</p> <p>COMMON OWNERSHIP</p> <p>CONTROL POINT</p> <p>CONCRETE MONUMENT</p> <p>CATCH BASIN</p> <p>ELEVATION</p> <p>FIRE HYDRANT</p> <p>PIED OR SET MONUMENT</p> <p>GLYSTER OR ANCHOR</p> <p>MANHOLE</p> <p>TREE</p> <p>UTILITY OR LIGHT POLE</p> <p>WELL</p>	<p>ACC AIR CONDITIONING</p> <p>BLK BLOCK CORNER</p> <p>BLK.P. BLOCK/POLE PREVENTOR</p> <p>BLK. BLOCK</p> <p>BLDG. BUILDING</p> <p>BM BENCHMARK</p> <p>BULL. BUILDING RESTRICTION LINE</p> <p>BSMT. BASEMENT</p> <p>DW DRAINAGE WINDOW</p> <p>IC CALCULATED</p> <p>C CABLE TV, RISER</p> <p>C.B. CONCRETE BLOCK</p> <p>CHM. CHIMNEY</p> <p>CL.F. CHAIN LINK FENCE</p> <p>C.O. CLEAN OUT</p> <p>CONC. CONCRETE</p> <p>COR. CORNER</p> <p>CSW CONCRETE SIDEWALK</p> <p>C.V.G. CONCRETE VALLEY GUTTER</p> <p>CL. CENTER LINE</p> <p>CF COVERED PORCH</p> <p>CS CONCRETE SLAB</p> <p>DP DEED</p> <p>D.F. DRAIN FIELD</p> <p>DW DRYWALL</p> <p>ELEV. ELEVATION</p> <p>ENC. ENCLOSURE</p> <p>ENT. ENTRANCE</p> <p>EM ELECTRIC METER</p> <p>E.O.P. EDGE OF PAVEMENT</p> <p>E.O.W. EDGE OF WATER</p> <p>ELB. ELECTRIC UTILITY BOX</p> <p>F. FIELD</p> <p>F.M. FOUND CONCRETE MONUMENT</p> <p>F.D.H. FOUND DRAIN HOLE</p> <p>F.F. FINISHED FLOOR</p> <p>F.I.P. FOUND IRON PIPE</p> <p>F.I.P.F. FOUND IRON PIPE &amp; CAP</p> <p>F.R. FOUND IRON ROD</p> <p>F.R.C. FOUND IRON ROD &amp; CAP</p> <p>FI FOUND NAIL</p> <p>FND. FOUND</p> <p>FFN FOUND PARKER-FALCON NAIL</p> <p>FFOND FOUND PK. NAIL &amp; DRK</p> <p>FRSP. FOUND RAILROAD SPRING</p> <p>GAR. GARAGE</p> <p>GM GAS METER</p> <p>ID. IDENTIFICATION</p> <p>IRL. IRREGULAR</p> <p>INT. INTERSECTION</p> <p>INT. INTERSECTION</p> <p>L. LENGTH</p> <p>LMF LICENSE # - BUSINESS</p> <p>LSF LICENSE # - SURVEYOR</p> <p>M. MEASURED</p> <p>M.B. MAP BOOK</p> <p>M.E.S. METERED END SECTION</p> <p>M.F. METAL FENCE</p> <p>M.R. HIGH RADIAL</p> <p>N.T.S. NOT TO SCALE</p> <p>O.C.S. ON CONCRETE SLAB</p> <p>O.G. ON GROUND</p> <p>OFF. OUTSIDE OF SUBJECT PARCEL</p> <p>OH. OVERHANG</p> <p>ORL. OVERHEAD LINES</p> <p>OS. INSIDE OF SUBJECT PARCEL</p> <p>O.R.B. OFFICIAL RECORD BOOK</p> <p>O.R.V. OFFICIAL RECORD VOLUME</p> <p>OS. OVERSAIL</p> <p>OS. OFFSET</p> <p>OT. FLAT</p> <p>P.B. PLAT BOOK</p> <p>P.C. POINT OF CURVATURE</p> <p>P.C.C. POINT OF COMPOUND CURVATURE</p> <p>P.C.P. PERMANENT CONTROL POINT</p> <p>PE. POOL EQUIPMENT</p> <p>PE. PAGE</p> <p>P.I. POINT OF INTERSECTION</p> <p>PLS. PROFESSIONAL LAND SURVEYOR</p> <p>PLT. PLASTER</p> <p>P.O.B. POINT OF BEGINNING</p> <p>P.O.C. POINT OF COMMENCEMENT</p> <p>P.O.M. POINT OF MONUMENT</p> <p>P.R.C. POINT OF REVERSE CURVATURE</p> <p>P.R.M. PROFESSIONAL SURVEYOR</p> <p>PSM. POINT OF SINGULARITY AND MATH</p> <p>P.T. POINT OF TANGENCY</p> <p>R.R. RAILROAD</p> <p>R. RECORD</p> <p>RGE. RANGE</p> <p>RES. RESIDENCE</p> <p>R.W. RIGHT OF WAY</p> <p>S. SURVEY</p> <p>S.B.L. SIDEWALK LINE</p> <p>S.C.L. SURVEY CLOSURE LINE</p> <p>SCR. SCREEN</p> <p>SEC. SECTION</p> <p>SEP. SEPTIC TANK</p> <p>SDW. SOWER</p> <p>S.GD. SET GUE DISC</p> <p>S.I. SET IRON ROD &amp; CAP</p> <p>S.MD. SET NAIL &amp; DISC</p> <p>SQ.F. SQUARE FEET</p> <p>STR. STORY</p> <p>S.T.L. SURVEY TIE LINE</p> <p>SV. SOWER VALVE</p> <p>SDW. SIDEWALK</p> <p>S.W. SEAWALL</p> <p>TM. TEMPORARY BENCHMARK</p> <p>TBL. TELEPHONE FACILITIES</p> <p>T.O.B. TOP OF BANK</p> <p>TYP. TYPING</p> <p>U.L. UTILITY LOCATOR</p> <p>WC. WITNESS CORNER</p> <p>WF. WATER FILTER</p> <p>WW. WOODEN FENCE</p> <p>WA. WATER METER/VALVE BOX</p> <p>WV. WATER VALVE</p> <p>V.F. VINYL FENCE</p> <p>A.E. ACCESS EASEMENT</p> <p>ANL. ANCHOR EASEMENT</p> <p>C.M.E. CANAL MAINTENANCE ESMT.</p> <p>C.U.E. COUNTY UTILITY ESMT.</p> <p>D.E. DRAINAGE EASEMENT</p> <p>D.L.E. DRAINAGE AND UTILITY ESMT.</p> <p>ESMT. EASEMENT</p> <p>I.E.S. IMPROVEMENTS ESMT.</p> <p>IRL.E. IRRIGATION EASEMENT</p> <p>L.A.E. LIMITED ACCESS ESMT.</p> <p>L.S.E. LANDSCAPE BUFFER ESMT.</p> <p>L.E. LANDSCAPE ESMT.</p> <p>L.L.E. LAKE OR LANDSCAPE MAINTENANCE EASEMENT</p> <p>M.E. MAINTENANCE EASEMENT</p> <p>P.U.E. PUBLIC UTILITY EASEMENT</p> <p>R.O.E. ROOF OVERHANG ESMT.</p> <p>S.W.E. SIDEWALK EASEMENT</p> <p>S.W.M.E. STORM WATER MANAGEMENT ESMT.</p> <p>T.U.E. TECHNOLOGICAL UTILITY ESMT.</p> <p>U.E. UTILITY EASEMENT</p>
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**ELECTRONIC SIGNATURE:**

In complete accordance with Florida Statutes 472.025 and Pursuant to the Electronic Signature Act of 1996 or Florida Statute TITLE XXXIII, Chapter 688, if this document was received electronically via PDF, then it has been lawfully Electronically Signed. Therefore, this survey PDF, if authentic, is completely official and insurable. In order to validate the "Electronic Signature" of PDF surveys sent via [www.surveystars.com](http://www.surveystars.com), you must use a hash calculator. A free hash calculator is available for download at: [www.softpedia.com/get/System/File-Management/Hash-Calculator-4041.shtml](http://www.softpedia.com/get/System/File-Management/Hash-Calculator-4041.shtml)

In order to validate the Electronic Signature of any survey PDF sent via [www.surveystars.com](http://www.surveystars.com):

1. Download the Hash Calculator available at: [www.softpedia.com/get/System/File-Management/Hash-Calculator-4041.shtml](http://www.softpedia.com/get/System/File-Management/Hash-Calculator-4041.shtml)
2. Save the Survey PDF onto your computer from [www.surveystars.com](http://www.surveystars.com) or from the email sent to you from [www.surveystars.com](http://www.surveystars.com).
3. Click the square Browse button in the upper right hand corner of the Hash Calculator to find and select the saved Survey PDF document, and click the COMPUTE button in the lower right hand corner of the Hash Calculator.
4. Compare the 40 digit string of characters in the SHA-1 line to the 40 digit SHA-1 characters for the survey in the job file in [www.surveystars.com](http://www.surveystars.com) which is also printed on the invoice for that survey.
5. If the 40 digit string of SHA-1 characters are exactly the same on the invoice for the survey file at [www.surveystars.com](http://www.surveystars.com) as they are in the Hash Calculator, then this PDF is authentic. If the 40 digit string of characters does not match exactly, then this PDF has been tampered with and it is not authentic.

**PRINTING INSTRUCTIONS:**

1. While viewing the survey in Adobe Reader, select the "Print" button under the "File" tab.
  2. Select a printer with legal sized paper.
  3. Under "Print Range", click select the "All" toggle.
  4. Under the "Page Handling" section, select the number of copies that you would like to print.
  5. Under the "Page Scaling" selection drop down menu, select "None."
  6. Uncheck the "Auto Rotate and Center" checkbox.
  7. Check the "Choose Paper size by PDF" checkbox.
  8. Click OK to print.
- TO PRINT IN BLACK & WHITE:**
1. In the main print screen, choose "Properties".
  2. Choose "Quality" from the options.
  3. Change from "Auto Color" or "Full Color" to "Gray Scale".

**OFFER VALID ONLY FOR:**

**EXACTA**

**25% off**  
(UP TO \$500)

**ANY FUTURE SURVEYING SERVICES ON THIS PROPERTY**

Offer valid only for the buyer as listed on the first page of the survey. Total discount not to exceed \$500.





Boundary Survey SURVEY #FL0803.0153EC

PROPERTY ADDRESS:  
 8 CENTURY LANE  
 MIAMI BEACH, FLORIDA 33139



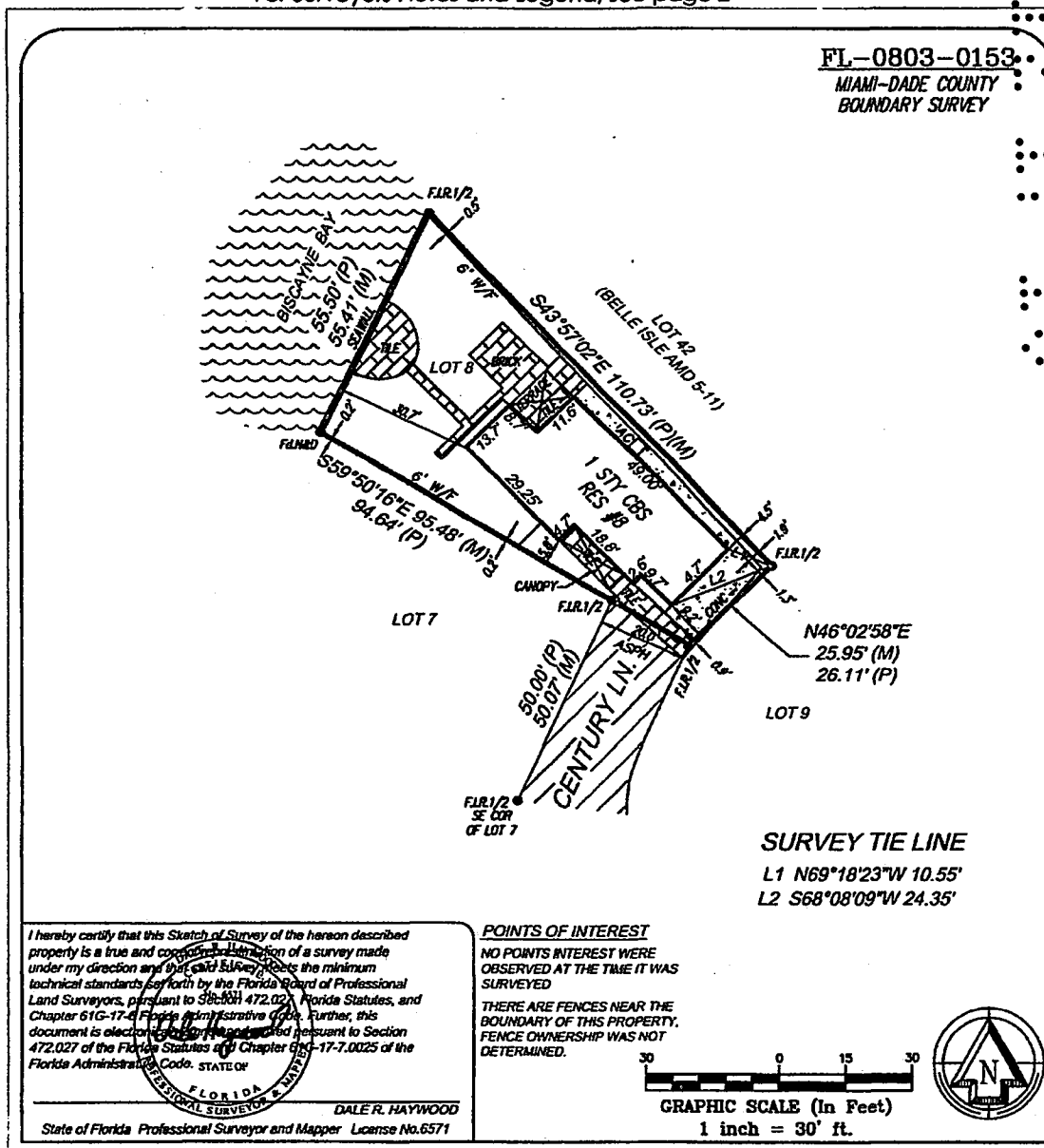
**LEGAL DESCRIPTION:**

Lot 8, BELLE ISLE VILLAS according to the plat thereof, as recorded  
 in Plat Book 42, Page 92 of the public records of MIAMI-DADE  
 County, FLORIDA.

Community Number: 12025  
 Panel: 0184 Suffix: J  
 Index Date: 7/17/1995 F.I.R.M. Date: 03/02/94  
 Flood Zone AE  
 Field Work: 3/7/2008 Completed: 3/10/2008

CERTIFIED TO:  
 BRIAN CLARK ; P & P TITLE SERVICES, LLC-MIAMI  
 ; UNITED GENERAL TITLE INSURANCE COMPANY  
 ; BANK OF AMERICA ; ; ATIMA ; ISAOA.

For Surveyors Notes and Legend, see page 2



U.S. DEPARTMENT OF HOMELAND SECURITY  
Federal Emergency Management Agency  
National Flood Insurance Program

# ELEVATION CERTIFICATE

OMB No. 1650-0008  
Expires February 28, 2009

Important: Read the instructions on pages 1-8.

## SECTION A - PROPERTY INFORMATION

A1. Building Owner's Name <b>BRIAN CLARK</b>		For Insurance Company Use
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. <b>8 CENTURY LANE</b>		Policy Number
City <b>MIAMI BEACH</b>	State <b>FLORIDA</b>	Company NAIC Number
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) <b>Lot 8, BELLE ISLE VILLAS according to the plat thereof, as recorded in Plat Book 42, Page 92 of the public records of MIAMI-DADE County, FLORIDA.</b>		ZIP Code <b>33139</b>
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <b>RESIDENTIAL</b>		
A5. Latitude/Longitude: Lat. <b>25°-47'31"</b> Long. <b>80°-08'59"</b>		Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.		
A7. Building Diagram Number <b>8</b>		
A8. For a building with a crawl space or enclosure(s), provide:		A9. For a building with an attached garage, provide:
a) Square footage of crawl space or enclosure(s) <b>533.75</b> sq ft		a) Square footage of attached garage <b>n/a</b> sq ft
b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade <b>3</b>		b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade <b>n/a</b>
c) Total net area of flood openings in A8.b <b>560</b> sq in		c) Total net area of flood openings in A9.b <b>n/a</b> sq in

## SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number <b>DADE CO UNINC&amp;INC AREAS 12025</b>		B2. County Name <b>MIAMI-DADE</b>		B3. State <b>FLORIDA</b>	
B4. Map/Panel Number <b>12025 - 0184</b>	B5. Suffix <b>J</b>	B6. FIRM Index Date <b>7/17/1995</b>	B7. FIRM Panel Effective/Revised Date <b>03/02/94</b>	B8. Flood Zone(s) <b>AE</b>	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) <b>9.0' NGVD 29</b>

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.  
 FIS Profile  FIRM  Community Determined  Other (Describe) \_\_\_\_\_

B11. Indicate elevation datum used for BFE in Item B9:  NGVD 1929  NAVD 1988  Other (Describe) \_\_\_\_\_

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)?  Yes  No  
 Designation Date **n/a**  CBRS  OPA

## SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction  
 \*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-g below according to the building diagram specified in Item A7.

Benchmark Utilized **3245-se-d-169-7.86** Vertical Datum \_\_\_\_\_

Conversion/Comments \_\_\_\_\_

Check the measurement used.

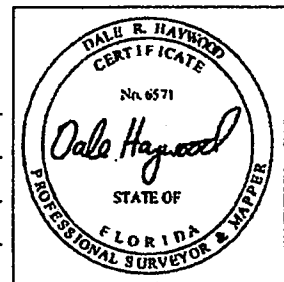
a) Top of bottom floor (including basement, crawl space, or enclosure floor)	<u>4.88</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
b) Top of the next higher floor	<u>6.47</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>n/a</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
d) Attached garage (top of slab)	<u>na</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment in Comments)	<u>6.00</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
f) Lowest adjacent (finished) grade (LAG)	<u>4.63</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)
g) Highest adjacent (finished) grade (HAG)	<u>4.76</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters (Puerto Rico only)

## SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form.

Certifier's Name <b>Dale Haywood</b>	License Number <b>6571</b>
Title <b>Professional Surveyor and Mapper</b>	Company Name <b>Exacta Land Surveyors, Inc.</b>
Address <b>9200 S. DADELAND BLVD., STE. 110</b>	City <b>MIAMI</b>
State <b>FL</b>	ZIP Code <b>33156</b>
Signature <i>Dale Haywood</i>	Date <b>3/10/2008</b>
	Telephone <b>P: 305.668.6169</b>



**IMPORTANT: In these spaces, copy the corresponding information from Section A.**

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.

8 CENTURY LANE

City

MIAMI BEACH

State

FL

ZIP Code

33139

For Insurance Company Use

Policy Number

Company NAIC Number

**SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)**

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Centerline Road Elevation: 4.57

Signature

*John Hayward*

Date

3/10/2008

Check here if attachments

**SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).

- a) Top of bottom floor (including basement, crawl space, or enclosure) is n/a  feet  meters  above or  below the HAG.
- b) Top of bottom floor (including basement, crawl space, or enclosure) is n/a  feet  meters  above or  below the LAG.

E2. For Building Diagrams 6-8 with permanent flood openings provided in Section A Items 8 and/or 9 (see page 8 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is n/a  feet  meters  above or  below the HAG.

E3. Attached garage (top of slab) is n/a  feet  meters  above or  below the HAG.

E4. Top of platform of machinery and/or equipment servicing the building is n/a  feet  meters  above or  below the HAG.

E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

**SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION**

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner's or Owner's Authorized Representative's Name

Address

City

State

ZIP Code

Signature

Date

Telephone

Comments

Check here if attachments

**SECTION G - COMMUNITY INFORMATION (OPTIONAL)**

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8, and G9.

- G1.  The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.  A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3.  The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
-------------------	------------------------	---

G7. This permit has been issued for:  New Construction  Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_  feet  meters (PR) Datum \_\_\_\_\_

G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_  feet  meters (PR) Datum \_\_\_\_\_

Local Official's Name

Title

Community Name

Telephone

Signature

Date

Comments

Check here if attachments

**SPECIAL SURVEYOR'S NOTES**

**SURVEYOR'S NOTES**

1. THIS SURVEY HAS A "SHA-1" SECURE HASH MESSAGE DIGEST AUTHENTICATION CODE WITHIN ITS SIGNATURE FILE. A MANUALLY SIGNED AND SEALED LOG OF THIS SURVEY'S SIGNATURE FILE IS KEPT ON FILE AT EXACTA LAND SURVEYORS; THEREFORE, IN ACCORDANCE WITH FLORIDA STATUTE 61617-7.0023, THIS SURVEY IS ELECTRONICALLY SIGNED AND SEALED AND CAN BE DEEMED AN ORIGINAL DOCUMENT.
2. ANY ATTEMPT TO CHANGE ANYTHING ON THIS SURVEY WILL RESULT IN A CHANGE IN ITS AUTHENTICATION CODE THEREBY REMOVING THE ELECTRONIC SIGNATURE AND VOIDING THE VALIDITY OF THIS SURVEY.
3. THE LEGAL DESCRIPTION USED TO PERFORM THIS SURVEY WAS PROVIDED BY OTHERS. THIS SURVEY DOES NOT DETERMINE OR IMPLY OWNERSHIP.
4. AN EXAMINATION OF THE ABSTRACT OF TITLE WAS NOT MADE BY THE SURVEYOR TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THIS PROPERTY.
5. BOUNDARY DISTANCES AND DIRECTIONS ARE PLATTED AND MEASURED UNLESS OTHERWISE NOTED.
6. ELEVATIONS AND VERTICAL DATA, IF SHOWN, REFER TO NGVD 1929, UNLESS OTHERWISE NOTED.
7. THIS SURVEY ONLY SHOWS IMPROVEMENTS FOUND ABOVE GROUND. UNDERGROUND UTILITIES, FOOTINGS AND ENCROACHMENTS ARE NOT LOCATED ON THIS SURVEY MAP.
8. IF A SEPTIC TANK OR DRAINAGE FIELD IS SHOWN ON THIS SURVEY, THE LOCATION WAS SHOWN TO US BY OTHERS.
9. FENCE OWNERSHIP IS NOT DETERMINED, APPARENT CLEARANCES AND / OR ENCROACHMENTS ARE NOTED BY VISUAL MEANS ONLY.
10. NO IDENTIFICATION CAPS FOUND ON RECOVERED MONUMENTS UNLESS OTHERWISE NOTED.
11. THIS SURVEY IS EXCLUSIVELY FOR THE USE OF THE PARTIES TO WHOM IT IS CERTIFIED.
12. ADDITIONS OR DELETIONS TO SURVEY MAPS AND / OR NOTES ARE PROHIBITED. THIS SURVEY IS ONLY VALID WITH ALL OF THE PAGES CONTAINED HEREIN.
13. IF THIS SURVEY WAS RECEIVED ELECTRONICALLY, THIS SURVEY MAP IS NOT VALID WITHOUT A SIGNATURE AND AN AUTHENTICATED INK SEAL OF A FLORIDA REGISTERED PROFESSIONAL LICENSED SURVEYOR AND MAPPER, AND IT IS ONLY VALID IF ITS SHA-1 HASH MATCHES THE AUTHENTICATION CODE ON FILE AT EXACTA LAND SURVEYORS.
14. IF THIS SURVEY WAS RECEIVED BY MAIL, THIS SURVEY IS NOT VALID WITHOUT A SIGNATURE AND A RAISED SEAL OF A FLORIDA REGISTERED PROFESSIONAL LICENSED SURVEYOR AND MAPPER.
15. BASIS OF BEARINGS ARE ASSUMED OR BASED ON THE LINE MARKED AS B.R. OR AS OTHERWISE SPECIFIED.
16. DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
17. EXACTA LAND SURVEYORS IS NOT REGISTERED WITH FEMA TO PROVIDE FLOOD CERTIFICATES. THE FEMA FLOOD ZONE DATA ON THIS SURVEY IS FOR INFORMATIONAL PURPOSES ONLY.

**PRINTING PROCEDURES**













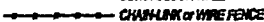



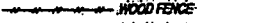











































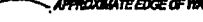


























\*\*\*\*BECAUSE THIS FILE HAS BEEN SENT ELECTRONICALLY, IT IS IMPERATIVE THAT THE PRINT SETTINGS BE CORRECT IN ORDER TO DEPICT AN ACCURATE REPRESENTATION OF THIS DOCUMENT ON PAPER.

1. INSERT LEGAL SIZED PAPER INTO YOUR PRINTER.
2. WHILE VIEWING THE SURVEY IN THE ADOBE READER, SELECT PRINT UNDER THE FILE TAB.

THE FOLLOWING COMMANDS ARE INSIDE THE ADOBE READER PRINT BOX:

3. SELECT COLOR PRINTER (IF AVAILABLE.)
4. UNDER PRINT RANGE, SELECT ALL.
5. UNDER PAGE HANDLING, SELECT NUMBER OF COPIES.
6. UNDER PAGE HANDLING, SELECT "NONE" FOR PAGE SCALING.
7. UNDER PAGE HANDLING, UNCHECK AUTO ROTATE AND CENTER.
8. UNDER PAGE HANDLING, CHECK CHOOSE PAPER SOURCE BY PDF SIZE.
9. CLICK PRINT.

**SURVEYOR'S LEGEND**

	PROPERTY LINE		FOUND		CALCULATED		TELEPHONE FACILITIES
	STRUCTURE		NOT FOUND		B.R. BEARING REFERENCE		UTILITY POLE
	CONG. BLOCK WALL		SET		A CENTRAL ANGLE or DELTA		E.L.B. ELECTRIC UTILITY BOX
	CHAIN LINK or WIRE FENCE		CONTROL POINT		R. RADIUS or RADIAL		SEP. SEPTIC TANK
	WOOD FENCE		CONCRETE MONUMENT		RAD. RADIAL TIE		D.F. DRAIN FIELD
	IRON FENCE		TREE		N.R. NON RADIAL		A/C AIR CONDITIONING
	EASEMENT		POWER POLE		TYP. TYPICAL		S/W SIDEWALK
	CENTER LINE		CATCH BASIN		I.R. IRON ROD		D/WY DRIVEWAY
	WOOD DECK		BENCH MARK		I.P. IRON PIPE		S.C.R. SCREEN
	CONCRETE		ELEVATION		N.&D. NAIL & DISK		GAR. GARAGE
	ASPHALT		P.T. POINT OF TANGENCY		P.K.W. PARKER-KALOU WALL		ENCL. ENCLOSURE
	BRICK TILE		P.C. POINT OF CURVATURE		D.H. DRILL HOLE		N.T.S. NOT TO SCALE
	WATER		P.R.M. PERMANENT REFERENCE MONUMENT		WELL		F.F. FINISHED FLOOR
	APPROXIMATE EDGE OF WATER		P.C.C. POINT OF COMPOUND CURVATURE		EXISTING FIRE HYDRANT		T.O.B. TOP OF BANK
	COVERED AREA		P.R.C. POINT OF REVERSE CURVATURE		M.H. MAN HOLE		E.O.W. EDGE OF WATER
	C.U.E. COUNTY UTILITY ESMT.		P.O.B. POINT OF BEGINNING		O.H.L. OVERHEAD LINE		E.O.P. EDGE OF PAVEMENT
	I.E./E.E. INGRESS/EGRESS ESMT.		P.O.C. POINT OF COMMENCEMENT		P.P. POWER POLE		C.V.G. CONCRETE VALLEY GUTTER
			P.C.P. PERMANENT CONTROL POINT		TX TRANSFORMER		B.S.L. BUILDING SETBACK LINE
			M. FIELD MEASURED		CATV CABLE TV RISER		S.T.L. SURVEY TIE LINE
			P. PLATTED MEASUREMENT		W.M. WATER METER		C.L. CENTER LINE
			L.A.E. LIMITED ACCESS EASEMENT		ESMT. EASEMENT		R.W. RIGHT OF WAY
			L.M.E. LANDSCAPE MAINT. ESMT.		ENCR. ENCROACHMENT		U.E. UTILITY EASEMENT
					D.E. DRAINAGE EASEMENT		R.O.E. ROOF OVERHANG EASEMENT
					L.B.E. LANDSCAPE BUFFER ESMT.		L.A.E. LIMITED ACCESS EASEMENT

# ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

**ESTIMATED ENERGY PERFORMANCE INDEX\* = 77**

The lower the EnergyPerformance Index, the more efficient the home.

8 Century Lane, MIAMI, FL, 33139-

1. New construction or existing	Existing (Project)	9. Wall Types	Insulation	Area
2. Single family or multiple family	Single-family	a. Concrete Block - Int Insul, Exterior	R=7.0	448.00 ft <sup>2</sup>
3. Number of units, if multiple family	1	b. N/A	R=	ft <sup>2</sup>
4. Number of Bedrooms	0	c. N/A	R=	ft <sup>2</sup>
5. Is this a worst case?	No	d. N/A	R=	ft <sup>2</sup>
6. Conditioned floor area (ft <sup>2</sup> )	180	10. Ceiling Types	Insulation	Area
7. Windows**	Description	a. Roof Deck (Vented)	R=0.0	180.00 ft <sup>2</sup>
a. U-Factor:	Sgl, U=1.09	b. N/A	R=	ft <sup>2</sup>
SHGC:	SHGC=0.30	c. N/A	R=	ft <sup>2</sup>
b. U-Factor:	N/A	11. Ducts	R	ft <sup>2</sup>
SHGC:		a. Sup: RoomsInBlock1, Ret: RoomsInBlock1, AH:	6.7	5
c. U-Factor:	N/A			
SHGC:		12. Cooling systems	kBtu/hr	Efficiency
d. U-Factor:	N/A	a. Central Unit	12.0	SEER:15.00
SHGC:				
Area Weighted Average Overhang Depth:	0.250 ft.	13. Heating systems	kBtu/hr	Efficiency
Area Weighted Average SHGC:	0.300	a. Electric Strip Heat	12.0	COP:1.00
8. Floor Types	Insulation	Area		
a. Raised Floor	R=11.0	180.00 ft <sup>2</sup>		
b. N/A	R=	ft <sup>2</sup>		
c. N/A	R=	ft <sup>2</sup>		
		14. Hot water systems	Cap: 4 gallons	
		a. Electric	EF: 0.86	
		b. Conservation features		
		None		
		15. Credits		None

I certify that this home has complied with the Florida Energy Efficiency Code for Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features. *as design*

Builder Signature: \_\_\_\_\_

Date: 9/30/13

Address of New Home: \_\_\_\_\_

City/FL Zip: \_\_\_\_\_



\*Note: This is not a Building Energy Rating. If your Index is below 70, your home may qualify for energy efficient mortgage (EEM) incentives if you obtain a Florida EnergyGauge Rating. Contact the EnergyGauge Hotline at (321) 638-1492 or see the EnergyGauge web site at energygauge.com for information and a list of certified Raters. For information about the Florida Building Code, Energy Conservation, contact the Florida Building Commission's support staff.

\*\*Label required by Section 303.1.3 of the Florida Building Code, Energy Conservation, if not DEFAULT.

# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Business and Professional Regulation - Residential Performance Method

<b>Project Name:</b> Brian Clark <b>Street:</b> 8 Century Lane <b>City, State, Zip:</b> MIAMI, FL, 33139 <b>Owner:</b> Brian Clark <b>Design Location:</b> FL, Miami	<b>Builder Name:</b> Jeff White <b>Permit Office:</b> MIAMI <b>Permit Number:</b> <b>Jurisdiction:</b> 232500
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Glass/Floor Area: 0.070	Total Proposed Modified Loads: 12.24	<b>PASS</b>
	Total Standard Reference Loads: 15.80	

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code

PREPARED BY: Edgar Manoz PE

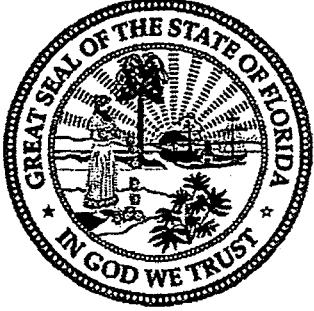
DATE: 9/30/12

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: \_\_\_\_\_

DATE: \_\_\_\_\_

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: \_\_\_\_\_

DATE: \_\_\_\_\_

- Compliance requires completion of a Florida Air Barrier and Insulation Inspection Checklist

**PROJECT**

Title:	Brian Clark	Bedrooms:	0	Address Type:	Street Address
Building Type:	FLProp2010	Conditioned Area:	180	Lot #	
Owner:	Brian Clark	Total Stories:	1	Block/SubDivision:	
# of Units:	1	Worst Case:	No	PlatBook:	
Builder Name:	Jeff White	Rotate Angle:	45	Street:	8 Century Lane
Permit Office:	MIAMI	Cross Ventilation:	No	County:	Dade
Jurisdiction:	232500	Whole House Fan:	No	City, State, Zip:	MIAMI, FL, 33139-
Family Type:	Single-family				
New/Existing:	Existing (Projected)				
Comment:					

**CLIMATE**

✓	Design Location	TMY Site	IECC Zone	Design Temp		Int Design Temp		Heating Degree Days	Design Moisture	Daily Temp Range
				97.5 %	2.5 %	Winter	Summer			
✓	FL, Miami	FL_MIAMI_INTL_AP	1	51	90	70	75	149.5	56	Low

**BLOCKS**

Number	Name	Area	Volume
1	Block1	180	1440

**SPACES**

Number	Name	Area	Volume	Kitchen	Occupants	Bedrooms	Infil ID	Finished	Cooled	Heated
1	RoomsInBlock1	180	1440	No	0	0	1	Yes	Yes	Yes

**FLOORS**

✓	#	Floor Type	Space	R-Value	Area	Tile	Wood	Carpet
✓	1	Raised Floor	RoomsInBlock1		180 ft²	11	0	0.13 0.87

**ROOF**

✓	#	Type	Materials	Roof Area	Gable Area	Roof Color	Solar Absor.	SA Tested	Emitt	Emitt Tested	Deck Insul.	Pitch (deg)
✓	1	Hip	Barrel tile	190 ft²	0 ft²	Medium	0.96	No	0.89	No	0	18.4

**ATTIC**

✓	#	Type	Ventilation	Vent Ratio (1 in)	Area	RBS	IRCC
✓	1	Full attic	Vented	0	180 ft²	Y	N

**CEILING**

✓	#	Ceiling Type	Space	R-Value	Area	Framing Frac	Truss Type
✓	1	Under Attic (Vented)	RoomsInBlock1	30	180 ft²	0.1	Wood

### WALLS

✓ #	Omt	Adjacent To	Wall Type	Space	Cavity R-Value	Width		Height		Area	Sheathing R-Value	Framing Fraction	Solar Absor.	Below Grade%
						Ft	In	Ft	In					
1	NE	Exterior	Concrete Block - Int Ins	RoomsInBloc	7	10	0	8	0	80 ft²	0	0	0.8	0
2	SE	Exterior	Concrete Block - Int Ins	RoomsInBloc	7	18		8	0	144 ft²		0	0.75	0
3	SW	Exterior	Concrete Block - Int Ins	RoomsInBloc	7	10	0	8	0	80 ft²		0	0.75	0
4	NW	Exterior	Concrete Block - Int Ins	RoomsInBloc	7	18	0	8	0	144 ft²		0	0.75	0

### DOORS

✓ #	Omt	Door Type	Space	Storms	U-Value	Width		Height		Area
						Ft	In	Ft	In	
1	NE=>SW	Insulated	RoomsInBloc	Metal	0.46	3	0	6	8	20 ft²

### WINDOWS

Orientation shown is the entered, Proposed orientation.

✓ #	Omt	Wall		NFRC	U-Factor	SHGC	Storms	Area	Overhang		Int Shade	Screening
		ID	Frame						Depth	Separation		
1	SE=>NW	2	Metal Single (Clear)	Yes	1.09	0.3	Y	12.59027	0 ft 3 in	1 ft 2 in	HERS 2006	None

### INFILTRATION

#	Scope	Method	SLA	CFM 50	ELA	EqLA	ACH	ACH 50
1	BySpaces	Proposed SLA	0.000360	169.97	9.3312	17.548	0.2484	7.0821

### HEATING SYSTEM

✓ #	System Type	Subtype	Efficiency	Capacity	Block	Ducts
1	Electric Strip Heat	None	HSPF: 1	12 kBtu/hr	1	sys#1

### COOLING SYSTEM

✓ #	System Type	Subtype	Efficiency	Capacity	Air Flow	SHR	Block	Ducts
1	Central Unit	None	SEER: 15	12 kBtu/hr	360 cfm	0.7	1	sys#1

### HOT WATER SYSTEM

✓ #	System Type	SubType	Location	EF	Cap	Use	SetPnt	Conservation
1	Electric	Tankless	RoomsInBloc	0.18648	1 gal	30 gal	120 deg	None

### SOLAR HOT WATER SYSTEM

✓ FSEC Cert #	Company Name	System Model #	Collector Model #	Collector Area	Storage Volume	FEF
None	None			ft²		



### DUCTS

✓ #	— Supply —			— Return —		Leakage Type	Air Handler CFM 25	Percent Leakage			HVAC #	
	Location	R-Value	Area	Location	Area			QN	RLF	Heat	Cool	
1	RoomInBloc	6.7	5 ft²	RoomInBloc	5 ft²	DSE=0.88	RoomInBl 0.0 cfm	0.00 %	0.00	0.60	1	1

### TEMPERATURES

Programable Thermostat: N

Ceiling Fans: N

Cooling	<input checked="" type="checkbox"/> Jan	<input checked="" type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input checked="" type="checkbox"/> Apr	<input checked="" type="checkbox"/> May	<input checked="" type="checkbox"/> Jun	<input checked="" type="checkbox"/> Jul	<input checked="" type="checkbox"/> Aug	<input checked="" type="checkbox"/> Sep	<input checked="" type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input checked="" type="checkbox"/> Dec
Heating	<input checked="" type="checkbox"/> Jan	<input checked="" type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input checked="" type="checkbox"/> Apr	<input checked="" type="checkbox"/> May	<input checked="" type="checkbox"/> Jun	<input checked="" type="checkbox"/> Jul	<input checked="" type="checkbox"/> Aug	<input checked="" type="checkbox"/> Sep	<input checked="" type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input checked="" type="checkbox"/> Dec
Venting	<input checked="" type="checkbox"/> Jan	<input checked="" type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input checked="" type="checkbox"/> Apr	<input checked="" type="checkbox"/> May	<input checked="" type="checkbox"/> Jun	<input checked="" type="checkbox"/> Jul	<input checked="" type="checkbox"/> Aug	<input checked="" type="checkbox"/> Sep	<input checked="" type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input checked="" type="checkbox"/> Dec

Thermostat Schedule: HERS 2006 Reference

Schedule Type	Hours											
	1	2	3	4	5	6	7	8	9	10	11	12
Cooling (WD)	AM	78	78	78	78	78	78	78	78	78	78	78
	PM	78	78	78	78	78	78	78	78	78	78	78
Cooling (WEH)	AM	78	78	78	78	78	78	78	78	78	78	78
	PM	78	78	78	78	78	78	78	78	78	78	78
Heating (WD)	AM	68	68	68	68	68	68	68	68	68	68	68
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	PM	68	68	68	68	68	68	68	68	68	68	68

### MECHANICAL VENTILATION

Type	Supply CFM	Exhaust CFM	Fan Watts	HRV	Heating System	Run Time	Cooling System
None	0	0	0	0	1 - Electric Strip Heat	0%	1 - Central Unit

# Florida Code Compliance Checklist

Florida Department of Business and Professional Regulations  
Residential Whole Building Performance Method

ADDRESS: 8 Century Lane  
MIAMI, FL, 33139-

PERMIT # **B1300745**

### MANDATORY REQUIREMENTS SUMMARY - See individual code sections for full details.

COMPONENT	SECTION	SUMMARY OF REQUIREMENT(S)	CHECK
Air leakage	402.4	To be caulked, gasketed, weatherstripped or otherwise sealed. Recessed lighting IC-rated as meeting ASTM E 283. Windows and doors = 0.30 cfm/sq.ft. Testing or visual inspection required. Fireplaces: gasketed doors & outdoor combustion air. Must complete envelope leakage report or visually verify Table 402.4.2.	✓
Thermostat & controls	403.1	At least one thermostat shall be provided for each separate heating and cooling system. Where forced-air furnace is primary system, programmable thermostat is required. Heat pumps with supplemental electric heat must prevent supplemental heat when compressor can meet the load.	✓
Ducts	403.2.2	All ducts, air handlers, filter boxes and building cavities which form the primary air containment passageways for air distribution systems shall be considered ducts or plenum chambers, shall be constructed and sealed in accordance with Section 503.2.7.2 of this code.	✓
	403.3.3	Building framing cavities shall not be used as supply ducts.	✓
Water heaters	403.4	Heat trap required for vertical pipe risers. Comply with efficiencies in Table 403.4.3.2. Provide switch or clearly marked circuit breaker (electric) or shutoff (gas). Circulating system pipes insulated to = R-2 + accessible manual OFF switch.	✓
Mechanical ventilation	403.5	Homes designed to operate at positive pressure or with mechanical ventilation systems shall not exceed the minimum ASHRAE 62 level. No make-up air from attics, crawlspaces, garages or outdoors adjacent to pools or spas.	✓
Swimming Pools & Spas	403.9	Pool pumps and pool pump motors with a total horsepower (HP) of = 1 HP shall have the capability of operating at two or more speeds. Spas and heated pools must have vapor-retardant covers or a liquid cover or other means proven to reduce heat loss except if 70% of heat from site-recovered energy. Off/timer switch required. Gas heaters minimum thermal efficiency=78% (82% after 4/16/13). Heat pump pool heaters minimum COP= 4.0.	N/A
Cooling/heating equipment	403.6	Sizing calculation performed & attached. Minimum efficiencies per Tables 503.2.3. Equipment efficiency verification required. Special occasion cooling or heating capacity requires separate system or variable capacity system. Electric heat >10kW must be divided into two or more stages.	✓
Ceilings/knee walls	405.2.1	R-19 space permitting.	✓



NEWDOC

251

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**GENERAL NOTES**

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE BEFORE STARTING WORK. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK. CORRECTIONS OF THESE CONFLICTS ARE TO BE INCLUDED IN THE WORK AND IN THE PROPOSAL.
2. CONTRACTOR SHALL OBTAIN LATEST SET OF DRAWINGS, INCLUDING ANY REVISIONS, BEFORE STARTING CONSTRUCTION.
3. NO CHANGES OR SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
4. DRAWINGS ARE TO BE ISSUED TO THE SUBCONTRACTORS IN COMPLETE SETS SO THAT ALL ARCHITECTURAL DETAILS AFFECTING THEIR WORK ARE INCLUDED.
5. ALL DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR IN THE FIELD. ANY MAJOR DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
6. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS UNLESS AUTHORIZED BY THE ARCHITECT.
7. THE ARCHITECT RESERVES THE RIGHT TO REJECT ALL WORK THAT IS DEFECTIVE AND/OR OF POOR WORKMANSHIP OR WORK THAT DEVIATES FROM THE SPECIFICATIONS OF THESE DOCUMENTS.
8. THIS OFFICE DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE INTERPRETATION OF THESE PLANS BY OTHERS, UNLESS REQUESTED IN WRITING, AND IT IS GIVEN THE AUTHORITY TO CHECK AND APPROVE SHOP DRAWINGS.
9. ALL SECTIONS AND DETAILS SHALL BE CONSIDERED TYPICAL AND APPLY FOR SIMILAR SITUATIONS THROUGHOUT THE PROJECT, UNLESS OTHERWISE SPECIFICALLY NOTED.
10. REFER TO FINISH SCHEDULE, AT THE TIME OF BIDDING, FOR SPECIFICATIONS OF FINISHES, MATERIALS, COLOR, TREATMENTS, ETC. ALL OF THE ABOVE SHALL BE SPECIFIED BY THE ARCHITECT IF NOT NOTED THEREIN.

**FINAL CLEANING**

**FLOORING:**

- A. CLEAN SUBSTRATE, FILL CRACKS, HOLES, AND DEPRESSIONS, AND LEVEL FLOOR WITHIN 1/8" IN 10 FEET BEFORE THE LAYING OF THE WOOD FLOORING.
  - B. IN AREAS WHERE THE FLOORS WILL BE FINISHED BY OTHERS, THE CONTRACTOR IS TO BROOM CLEAN THE FLOOR ONE DAY BEFORE THE INSTALLATION OF FINISH FLOORING.
  - C. GENERAL CONTRACTOR SHALL REMOVE FROM SITE ALL DEBRIS LEFT BY SUBCONTRACTORS PRIOR TO TENANT'S OCCUPANCY.
- OTHER:**
- A. REMOVE GREASE, MASTIC, ADHESIVE, DUST, DIRT, STAINS, FINGERPRINTS, LABELS, AND OTHER FOREIGN MATERIALS FROM THE SITE, AND FROM ANY OTHER EXPOSED FINISHED INTERIOR OR EXTERIOR SURFACES.
  - B. WASH GLASS, AND MIRRORS AS PER MANUFACTURER'S SPECIFIC INSTRUCTIONS.
  - C. POLISH GLOSSY SURFACES.
  - D. CLEAN PERMANENT FILTERS, AND REPLACE FILTERS IN VENTILATING SYSTEMS, IF UNITS ARE OPERATED DURING CONSTRUCTION.
  - E. CLEAN DUCTS, BLOWERS, AND COILS, IF UNITS OPERATED WITHOUT FILTERS DURING CONSTRUCTION.
  - F. PRIOR TO OWNER OCCUPANCY, CONTRACTOR SHALL INSPECT THE SITE, AND EXPOSED INTERIOR AND EXTERIOR SURFACES, TO VERIFY THAT THE ENTIRE WORK IS CLEAN AND SATISFACTORY TO THE ARCHITECT.

**B1400014**  
**8 CENTURY LANE**

**PERMIT AND APPLICABLE RESOLUTIONS**

APPLICANT WILL COMPLY WITH ALL ORDINANCES OF THE COUNTY AND CITY BUILDING CODE PRIOR TO STARTING CONSTRUCTION. ANY VIOLATIONS OF THE PERMIT, MAY BE SUBJECT TO PENALTIES AS PROVIDED IN THE PUBLIC RECORDS OF THE CITY OF MIAMI BEACH. THE CITY OF MIAMI BEACH ASSUMES NO RESPONSIBILITY FOR ACCURACY OF OR RESULTS FROM ANY PERMITS OR APPROVALS SUBJECT TO COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS.

**NOTES**

2010 FLORIDA BUILDING CODE WITH EFFECT ALTERATION LEVEL BUILDING ZONING: PLUMBING: MECHANICAL: ELECTRICAL: FIRE PREVENTION: FLOOD WATER: PUBLIC WORKS: STRUCTURAL: ELEVATOR:

**SCOPE OF WORK:**

1. GARAGE ENCLOSURE AT THE FACTORY
2. NEW TANKLESS WATER HEATER
3. NEW WOOD FLOORING

**WINDOW SCHEDULE**

SYM.	TYPE	ROUGH OPENING (W X H)	MATERIAL	REMARKS
A	SINGLE HUNG	37" X 36"	ALUM/GLASS	NOA. 11-0426.03
E	EXISTING	VARIES	VARIES	

**DOOR SCHEDULE**

SYM.	TYPE	DOOR SIZE (W X H)	MATERIAL	REMARKS
1	SWING	36" X 80"	WOOD/GLASS	
2	DOUBLE	28" X 80"	WOOD/GLASS	
3	SWING	32" X 80"	METAL EXT.	NOA. 12-1115.09
E	EXISTING	VARIES	VARIES	

**THIS SHEET HAS BEEN REVISED/REPLACED ORIGINAL SIGNATURE STAMP REMAINS VALID**

NOTICE: In addition to the requirements of this permit there may be other applicable laws, rules, and regulations of the County and City of Miami Beach. The City of Miami Beach assumes no responsibility for accuracy of or results from any permits or approvals subject to compliance with all Federal, State, and Local Laws, Rules, and Regulations.

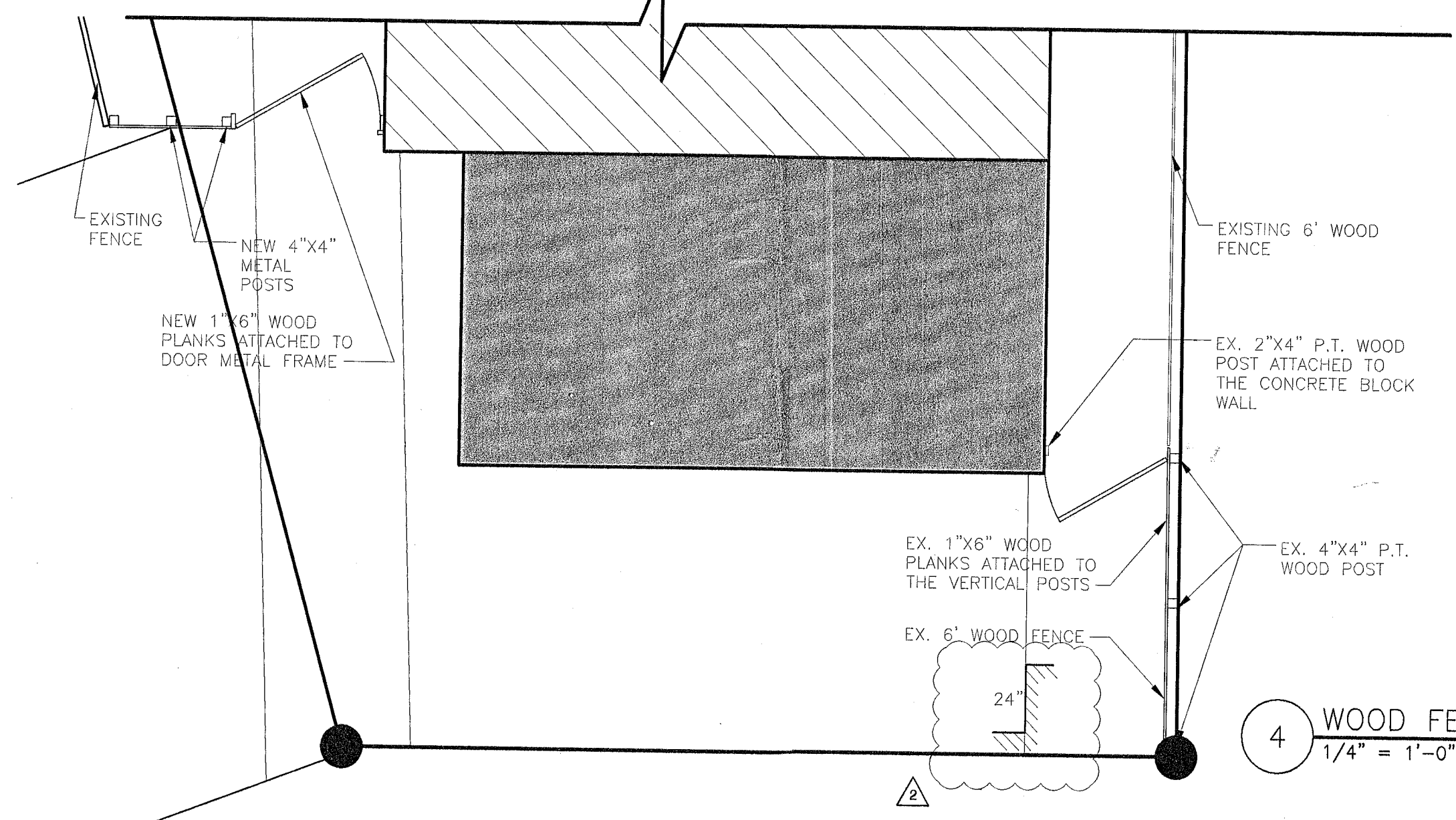
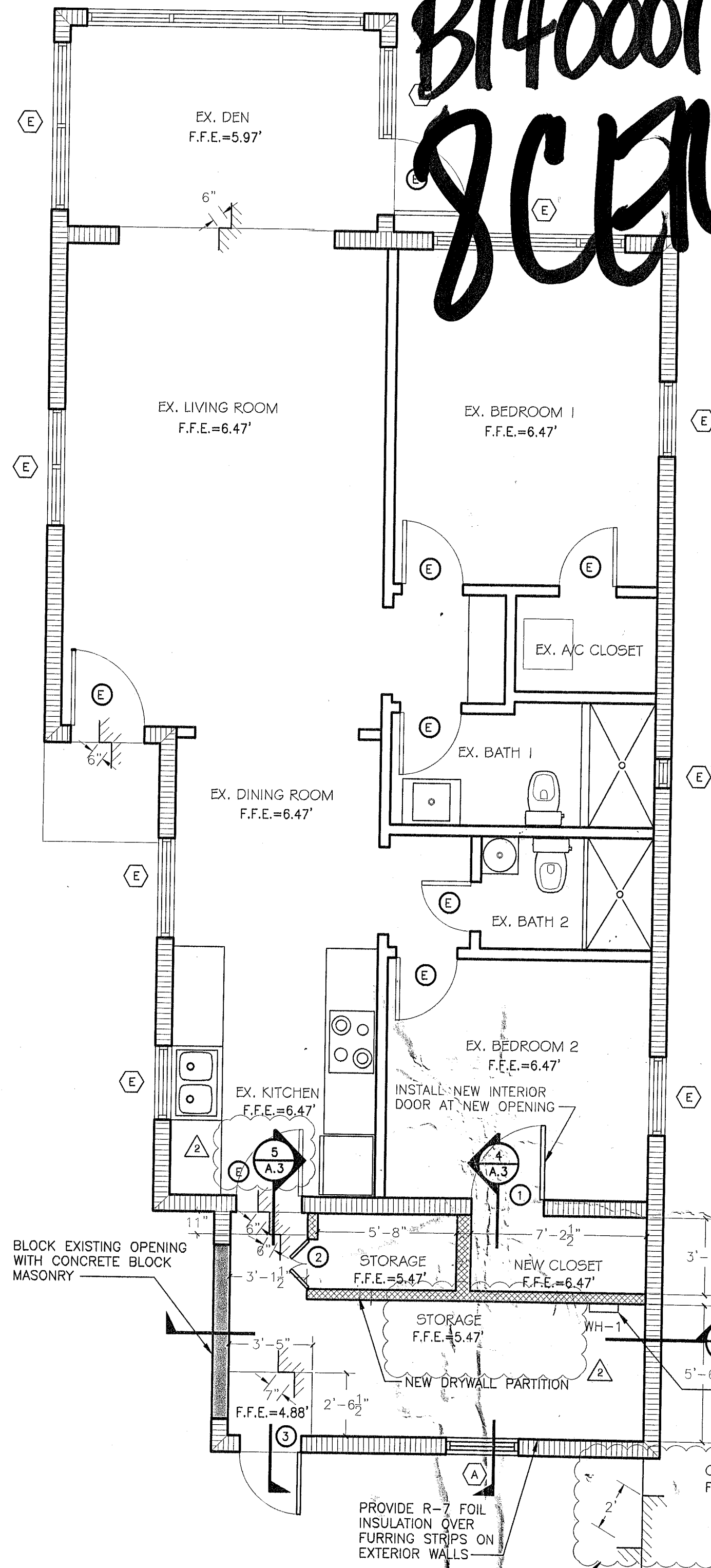
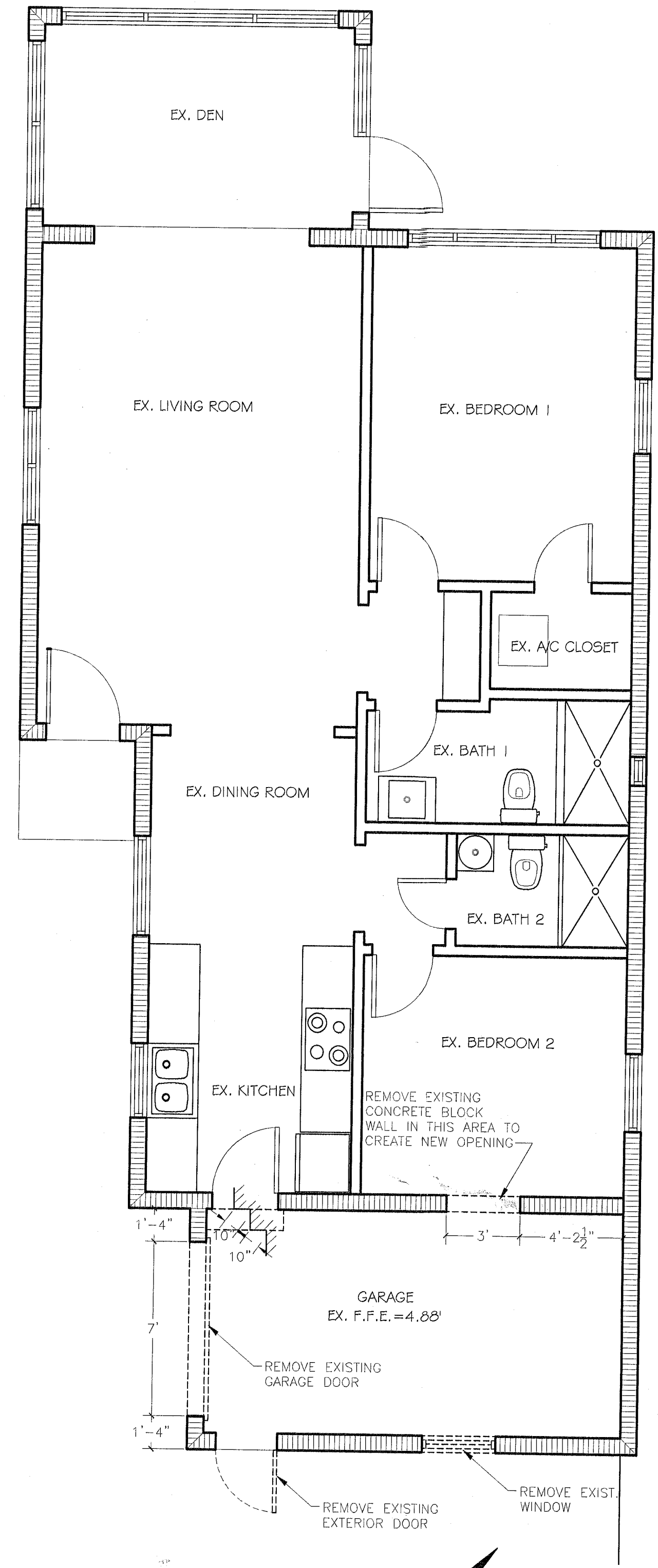
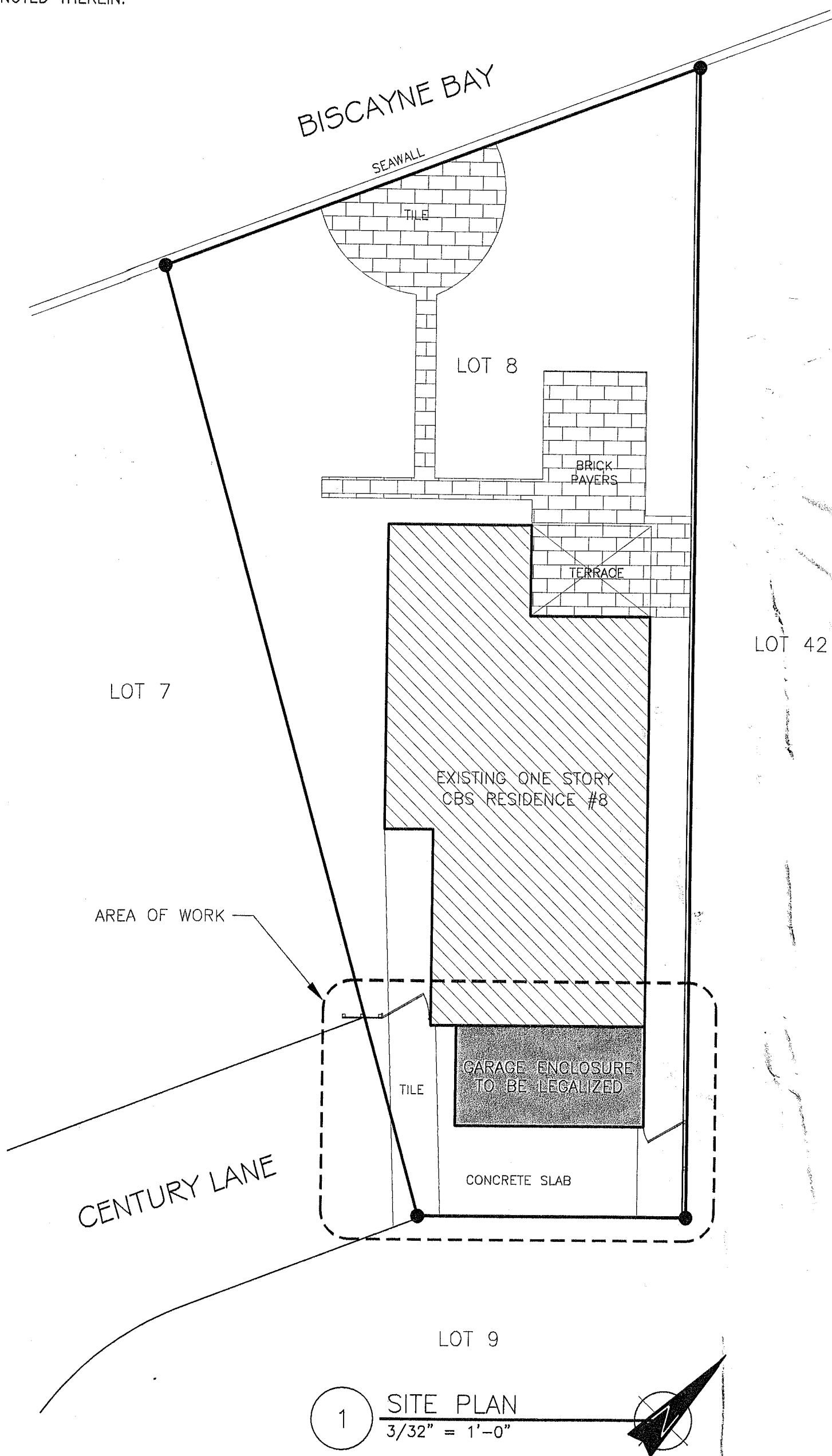
ENGINEER:  
EDGAR MUNOZ  
FL LIC. NO. 50051  
6623 NW 173 LANE  
MIAMI, FL 33015  
Phone: (305) 219-9791

PROJECT NAME AND ADDRESS  
BRIAN CLARK  
8 CENTURY LANE  
MIAMI BEACH, FL 33139

NO.	REVISION / ISSUE	DATE
1	BLDG COMMENTS	08.22.2013
2	BLDG COMMENTS	12.12.2013

**FLOOR PLAN & GENERAL NOTES**

DATE: 01-08-2013  
SCALE: AS SHOWN



- NOTES:**
1. ALL UTILITIES AND EQUIPMENT AND ACCESSORIES (ELECTRICAL, MECHANICAL, AND PLUMBING) SERVING THE BUILDING IS RECOMMENDED TO BE INSTALLED ABOVE F.F.E. OF THE ADJACENT HABITABLE SPACE OF THE EXISTING STRUCTURE.
  2. EQUIPMENT AND ACCESSORIES INSIDE NEW STORAGE ROOM MUST BE ELEVATED TO THE F.F.E. OF THE EXISTING HOUSE.
  3. ALL NEW CONSTRUCTION MATERIAL BELOW BASE FLOOD ELEVATION SHALL BE FLOOD-DAMAGE-RESISTANCE.

AREAS	sq.ft.
LOT AREA	4,599
HOUSE AREA	1,214
AREA OF WORK	177

**OCCUPANCY GROUP:**

1. OCCUPANCY GROUP CLASSIFICATION IS RESIDENTIAL R-2 AS PER FBC 310.1 WHERE IT CONTAINS SLEEPING UNITS AND THE OCCUPANTS ARE PRIMARILY PERMANENT.

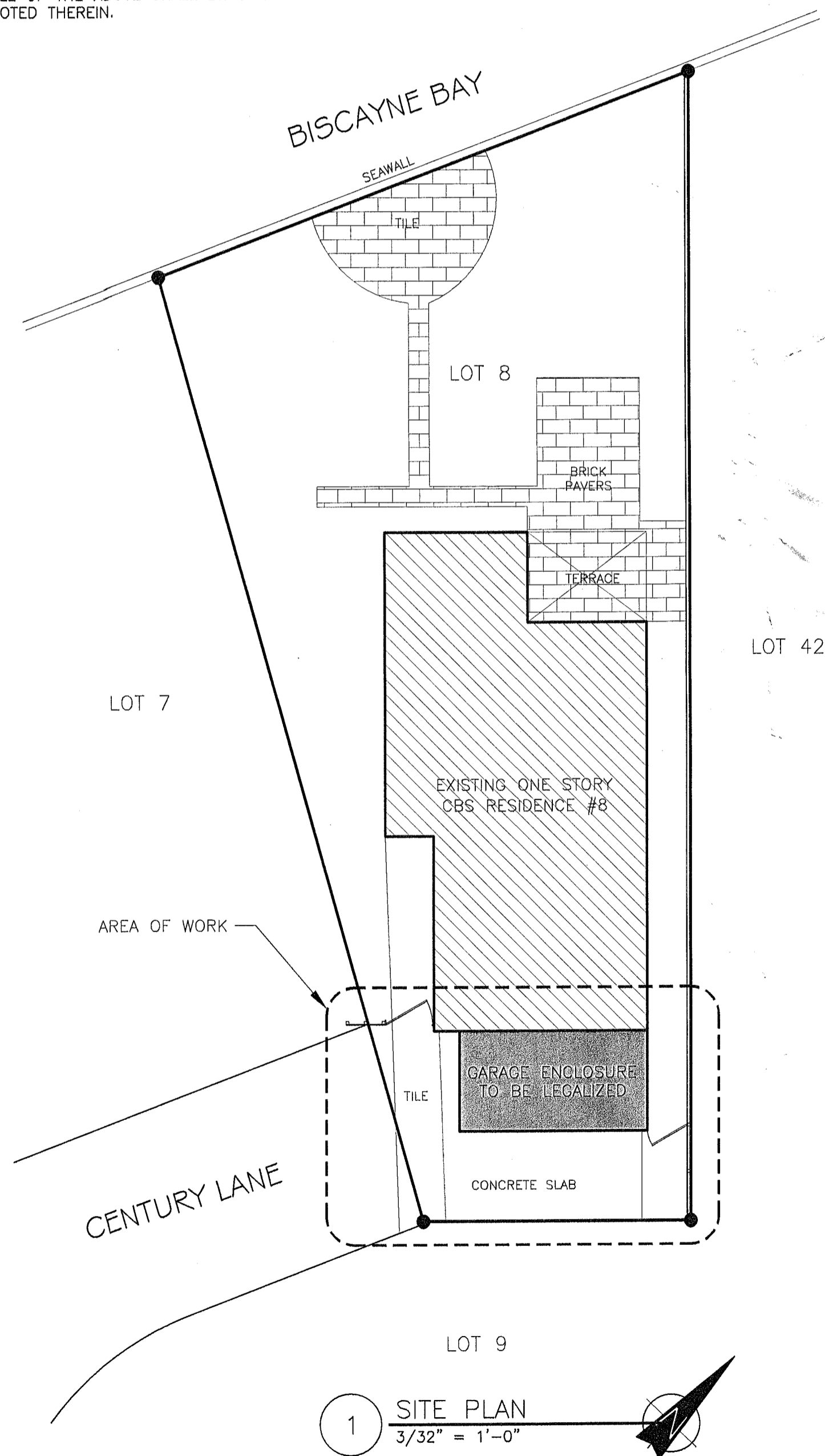
FRONT

**GENERAL NOTES**

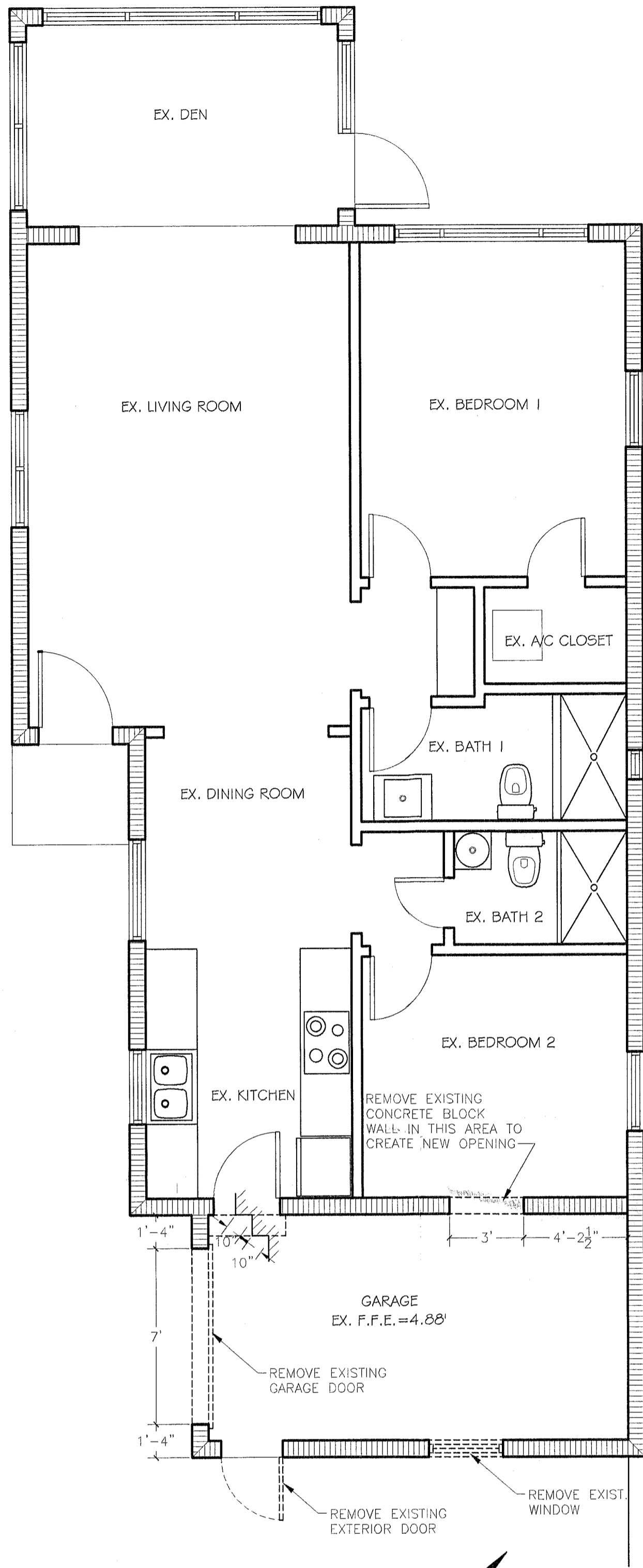
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE BEFORE STARTING WORK. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK. CORRECTIONS OF THESE CONFLICTS ARE TO BE INCLUDED IN THE WORK AND IN THE PROPOSAL.
- CONTRACTOR SHALL OBTAIN LATEST SET OF DRAWINGS, INCLUDING ANY REVISIONS, BEFORE STARTING CONSTRUCTION.
- NO CHANGES OR SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
- DRAWINGS ARE TO BE ISSUED TO THE SUBCONTRACTORS IN COMPLETE SETS SO THAT ALL ARCHITECTURAL DETAILS AFFECTING THEIR WORK ARE INCLUDED.
- ALL DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR IN THE FIELD. ANY MAJOR DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS UNLESS AUTHORIZED BY THE ARCHITECT.
- THE ARCHITECT RESERVES THE RIGHT TO REJECT ALL WORK THAT IS DEFECTIVE AND/OR OF POOR WORKMANSHIP OR WORK THAT DEVIATES FROM THE SPECIFICATIONS OF THESE DOCUMENTS.
- THIS OFFICE DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE INTERPRETATION OF THESE PLANS BY OTHERS, UNLESS REQUESTED IN WRITING, AND IT IS GIVEN THE AUTHORITY TO CHECK AND APPROVE SHOP DRAWINGS.
- ALL SECTIONS AND DETAILS SHALL BE CONSIDERED TYPICAL AND APPLY FOR SIMILAR SITUATIONS THROUGHOUT THE PROJECT, UNLESS OTHERWISE SPECIFICALLY NOTED.
- REFER TO FINISH SCHEDULE, AT THE TIME OF BIDDING, FOR SPECIFICATIONS OF FINISHES, MATERIALS, COLOR, TREATMENTS, ETC. ALL OF THE ABOVE SHALL BE SPECIFIED BY THE ARCHITECT IF NOT NOTED THEREIN.

**FINAL CLEANING**

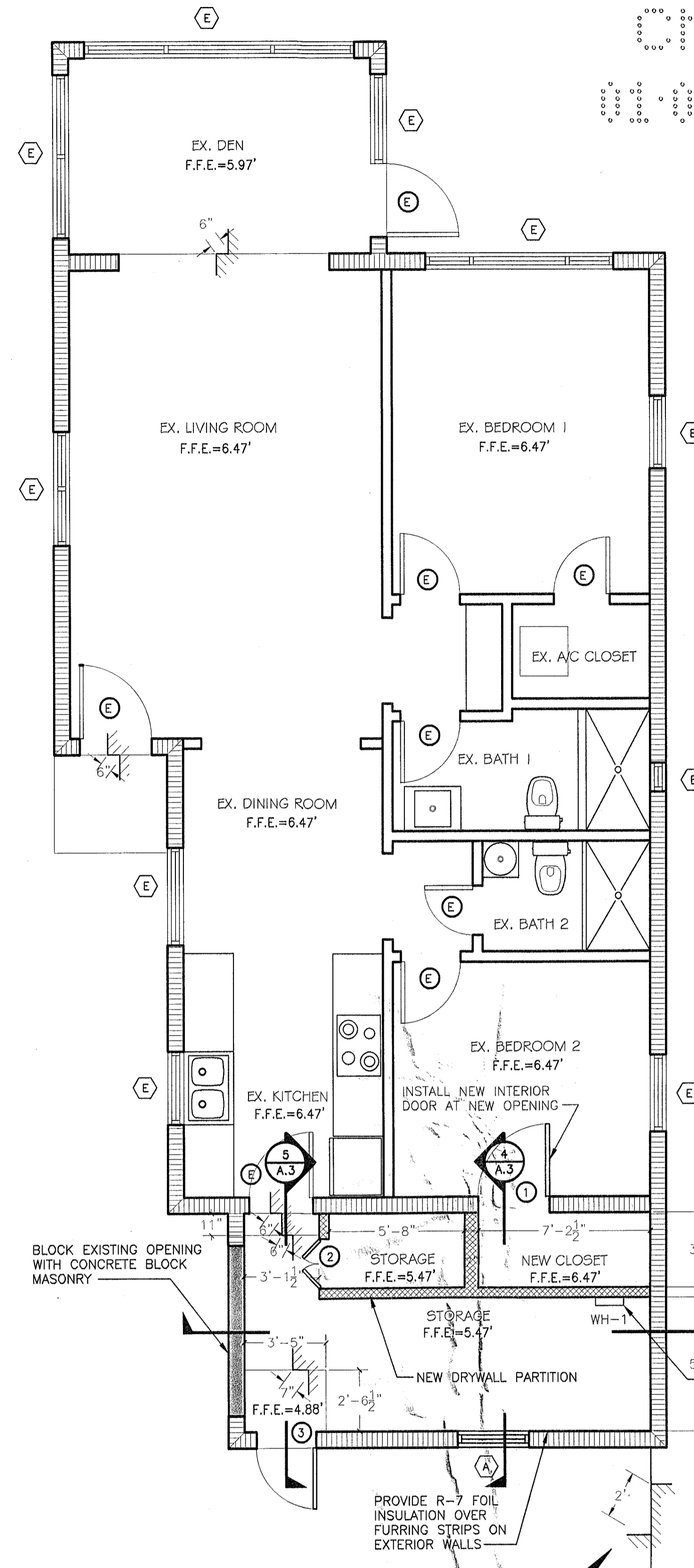
- FLOORING:
- CLEAN SUBSTRATE, FILL CRACKS, HOLES, AND DEPRESSIONS, AND LEVEL FLOOR WITHIN 1/8" IN 10 FEET BEFORE THE LAYING OF THE WOOD FLOORING
  - IN AREAS WHERE THE FLOORS WILL BE FINISHED BY OTHERS, THE CONTRACTOR IS TO BROOM CLEAN THE FLOOR ONE DAY BEFORE THE INSTALLATION OF FINISH FLOORING.
  - GENERAL CONTRACTOR SHALL REMOVE FROM SITE ALL DEBRIS LEFT BY SUBCONTRACTORS PRIOR TO TENANT'S OCCUPANCY.
- OTHER:
- REMOVE GREASE, MASTIC, ADHESIVE, DUST, DIRT, STAINS, FINGERPRINTS, LABELS, AND OTHER FOREIGN MATERIALS FROM THE SITE, AND FROM ANY OTHER EXPOSED FINISHED INTERIOR OR EXTERIOR SURFACES.
  - WASH GLASS, AND MIRRORS AS PER MANUFACTURER'S SPECIFIC INSTRUCTIONS.
  - POLISH GLOSSY SURFACES.
  - CLEAN PERMANENT FILTERS, AND REPLACE FILTERS IN VENTILATING SYSTEMS, IF UNITS ARE OPERATED DURING CONSTRUCTION.
  - CLEAN DUCTS, BLOWERS, AND COILS, IF UNITS OPERATED WITHOUT FILTERS DURING CONSTRUCTION.
  - PRIOR TO OWNER OCCUPANCY, CONTRACTOR SHALL INSPECT THE SITE, AND EXPOSED INTERIOR AND EXTERIOR SURFACES, TO VERIFY THAT THE ENTIRE WORK IS CLEAN AND SATISFACTORY TO THE ARCHITECT.



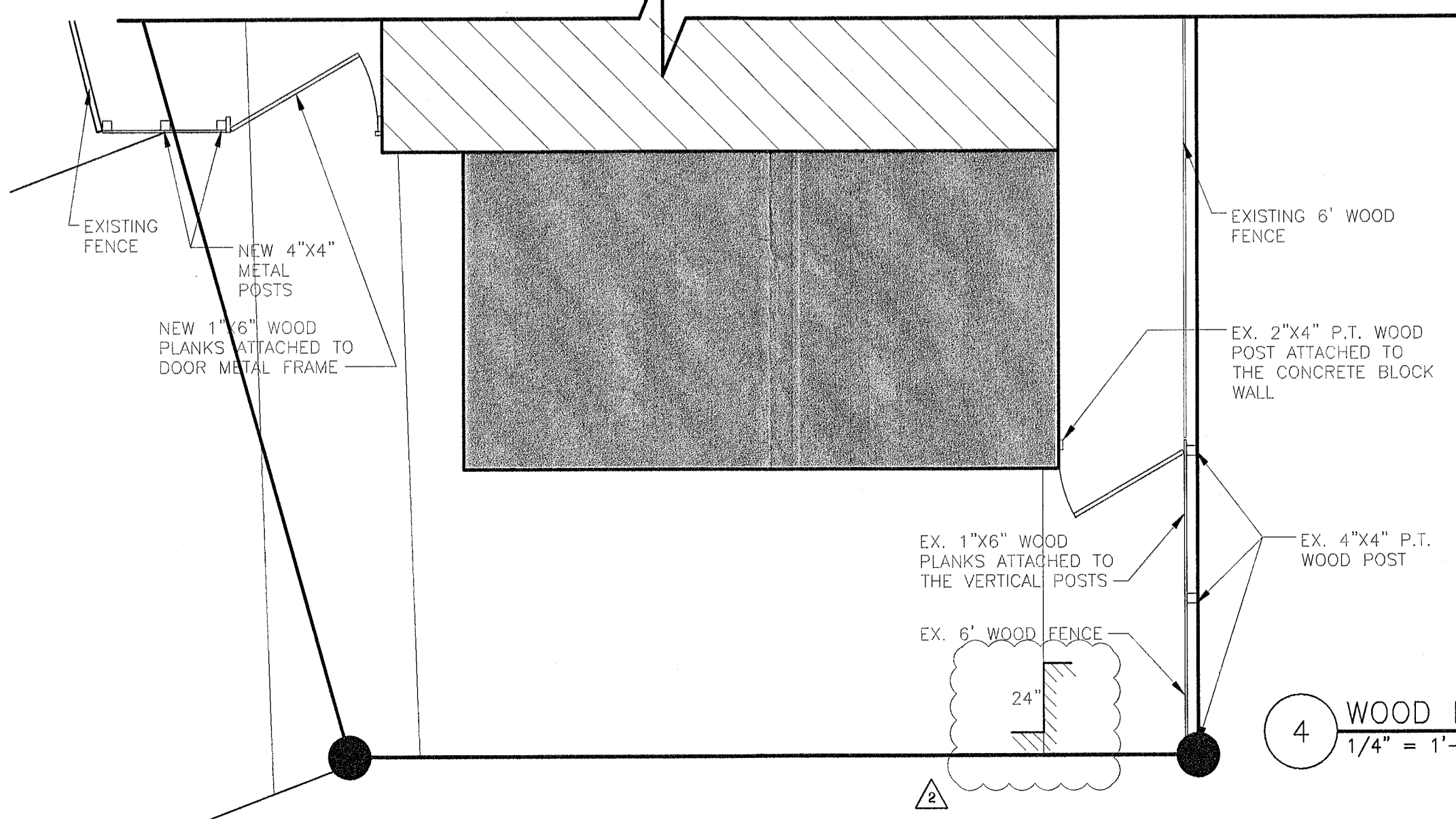
1 SITE PLAN  
3/32" = 1'-0"



2 DEMOLITION PLAN  
1/4" = 1'-0"



3 PROPOSED FLOOR PLAN  
1/4" = 1'-0"



4 WOOD FENCE  
1/4" = 1'-0"

**PERMIT AND APPLICABLE RESOLUTIONS**

APPLICANT WILL COMPLY WITH ALL ORDINANCES OF THE DADE COUNTY AND CITY BUILDING CODE PRIOR TO STARTING CONSTRUCTION.

IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAYBE FOUND IN THE PUBLIC RECORDS OF DADE COUNTY.

**WALL TYPES LEGEND**

- EXISTING CONCRETE BLOCK WALL
- EXISTING INTERIOR AND EXTERIOR WALLS TO BE DEMOLISHED
- NEW DRYWALL PARTITION
- NEW CONCRETE BLOCK WALL

**NOTES**

2010 FLORIDA BUILDING CODE EXISTING IN EFFECT  
ALTERATION LEVEL II

**SCOPE OF WORK:**

- GARAGE ENCLOSURE "AFTER THE FACT"
- NEW TANKLESS WATER HEATER
- NEW WOOD FENCE UNDER SEPARATE PERMIT
- EXTERIOR DOOR AND WINDOW REPLACEMENT
- CONVERSION OF GARAGE TO STORAGE SPACE AND W.I.C.

**WINDOW SCHEDULE**

SYM.	TYPE	ROUGH OPENING (W X H)	MATERIAL	REMARKS
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E	EXISTING	VARIABLES	VARIABLES	

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E	EXISTING	VARIABLES	VARIABLES	

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**OCCUPANCY GROUP:**

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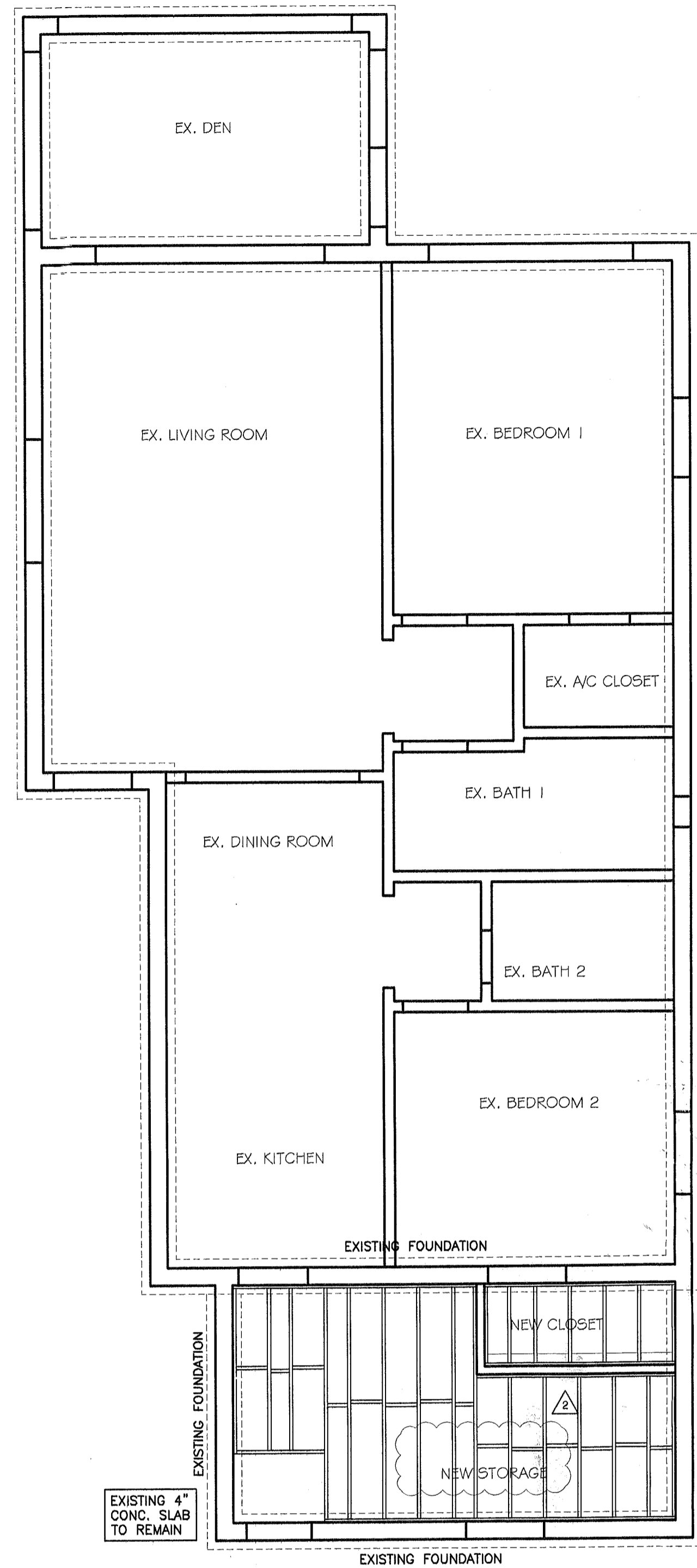
PROJECT NAME AND ADDRESS  
BRIAN CLARK  
8 CENTURY LANE  
MIAMI BEACH, FL 33139

NO.	REVISION / ISSUE	DATE
1	BLOG COMMENTS	08.22.2013
2	BLOG COMMENTS	12.12.2013
3	BLOG COMMENTS	01/06/2013

TITLE  
**FLOOR PLAN & GENERAL NOTES**

DATE: 01-08-2013  
DWC NO.  
**A.1**

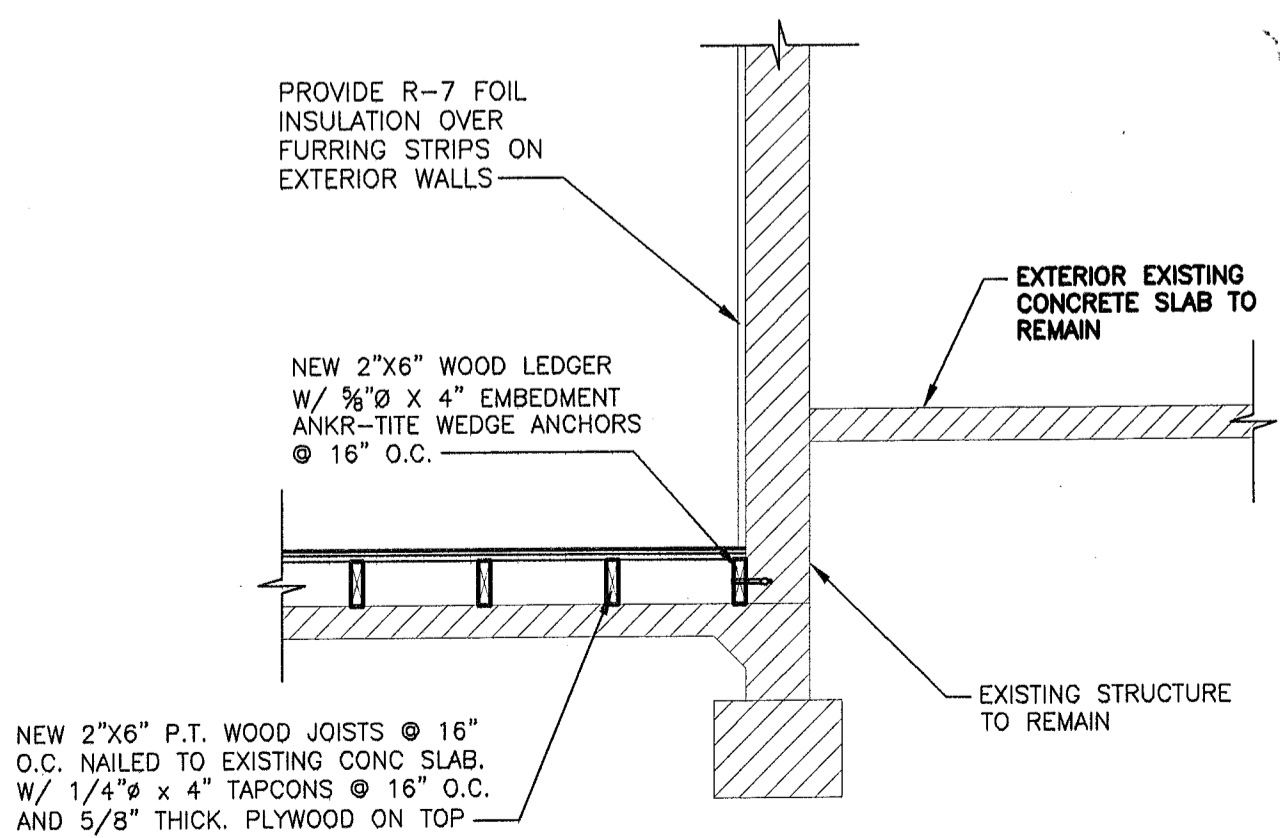
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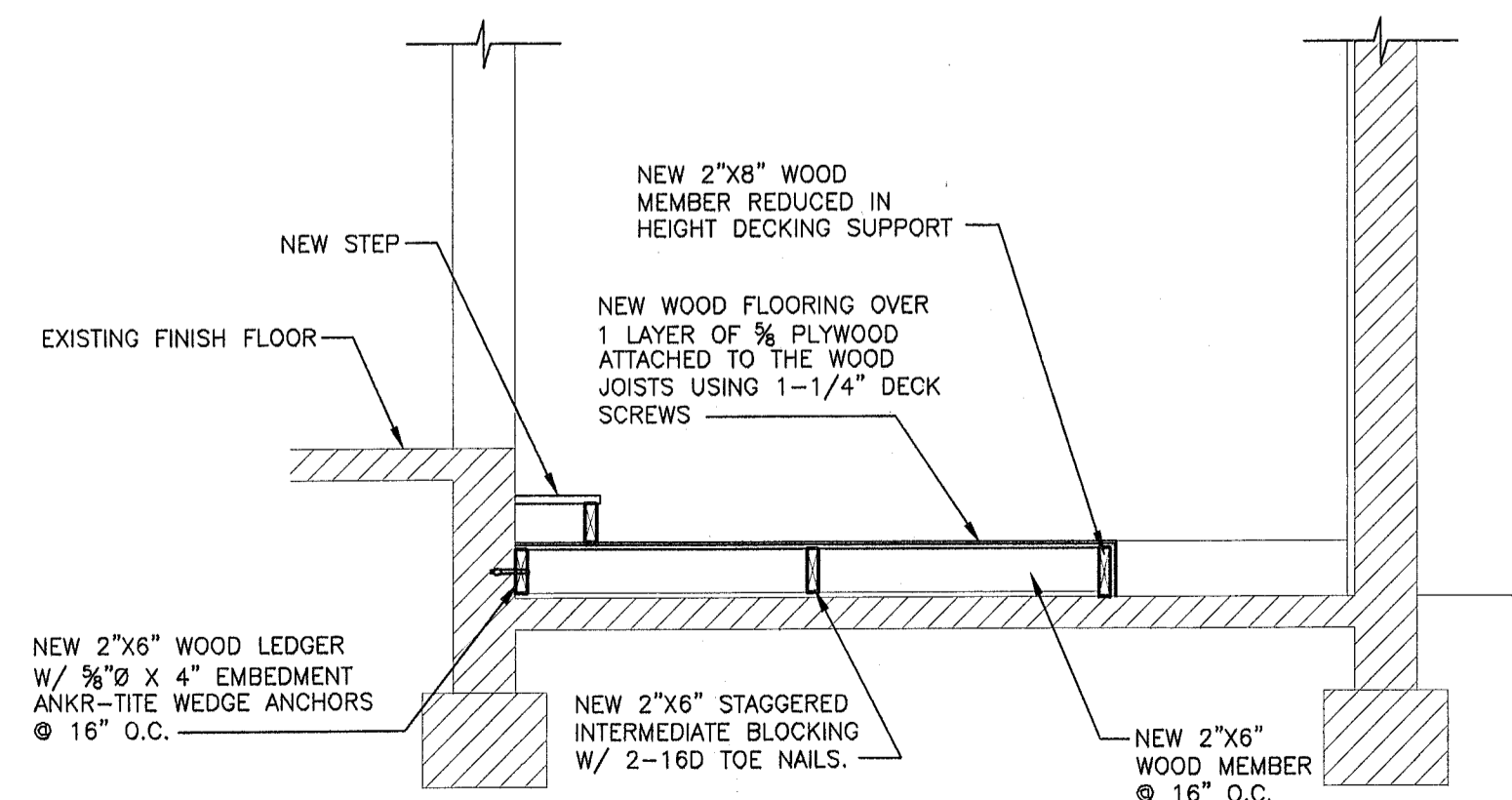
1 NEW STORAGE FRAMING PLAN  
1/4" = 1'-0"

NOTE:  
ALL WOOD IN CONTACT WITH CONCRETE  
MUST BE PRESSURE TREATED

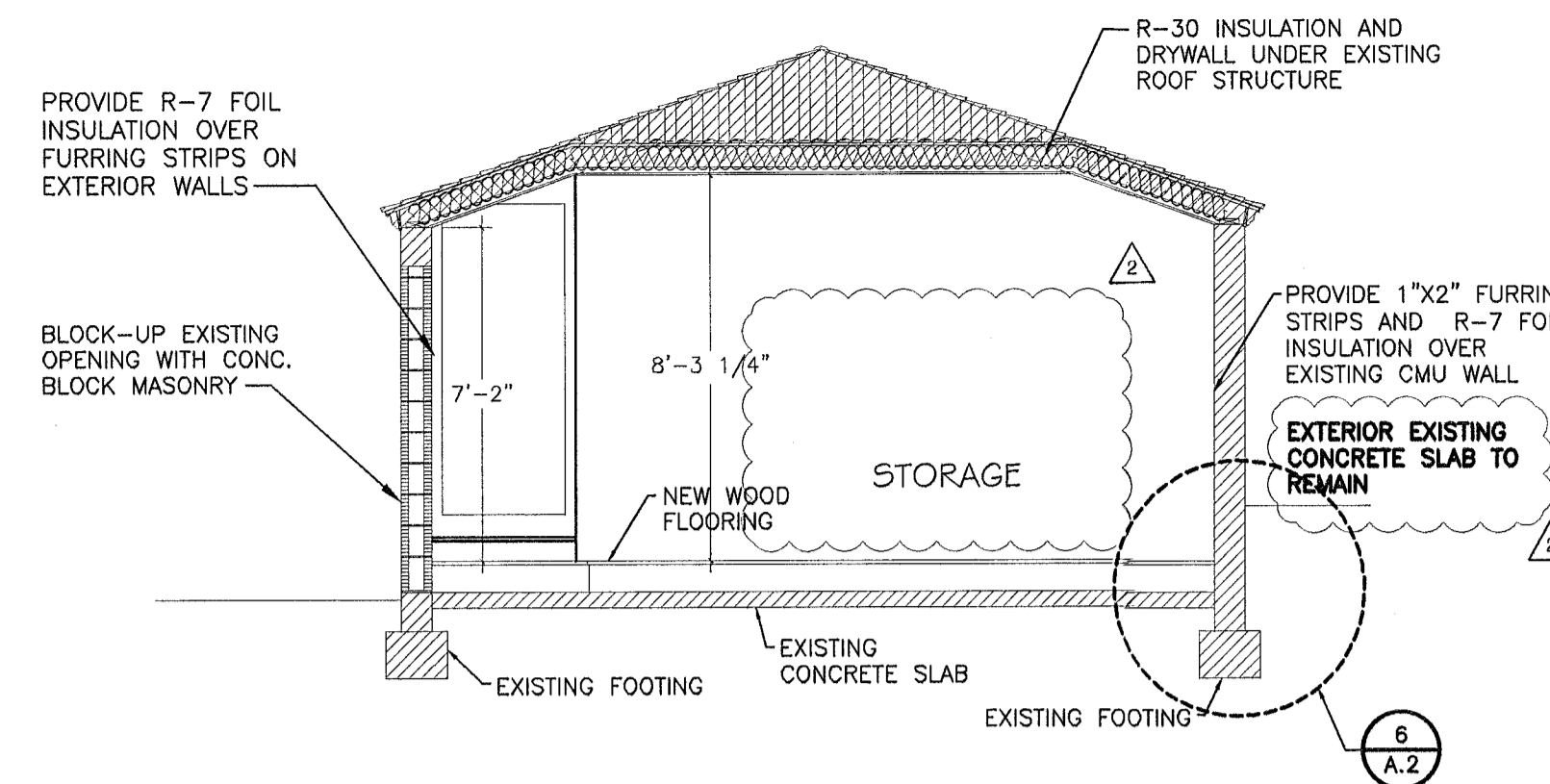
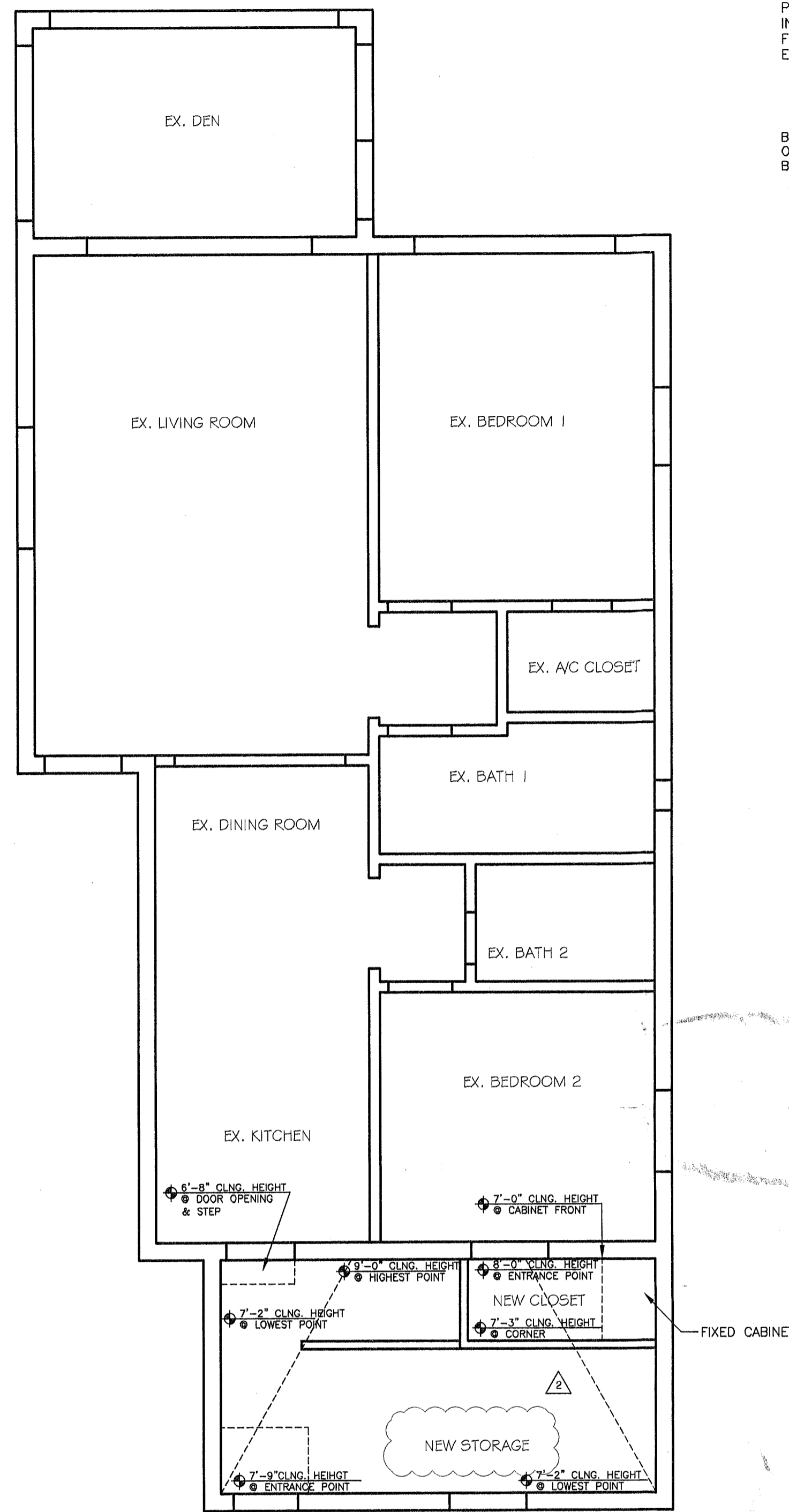
2 STORAGE REFLECTED CEILING PLAN  
1/4" = 1'-0"



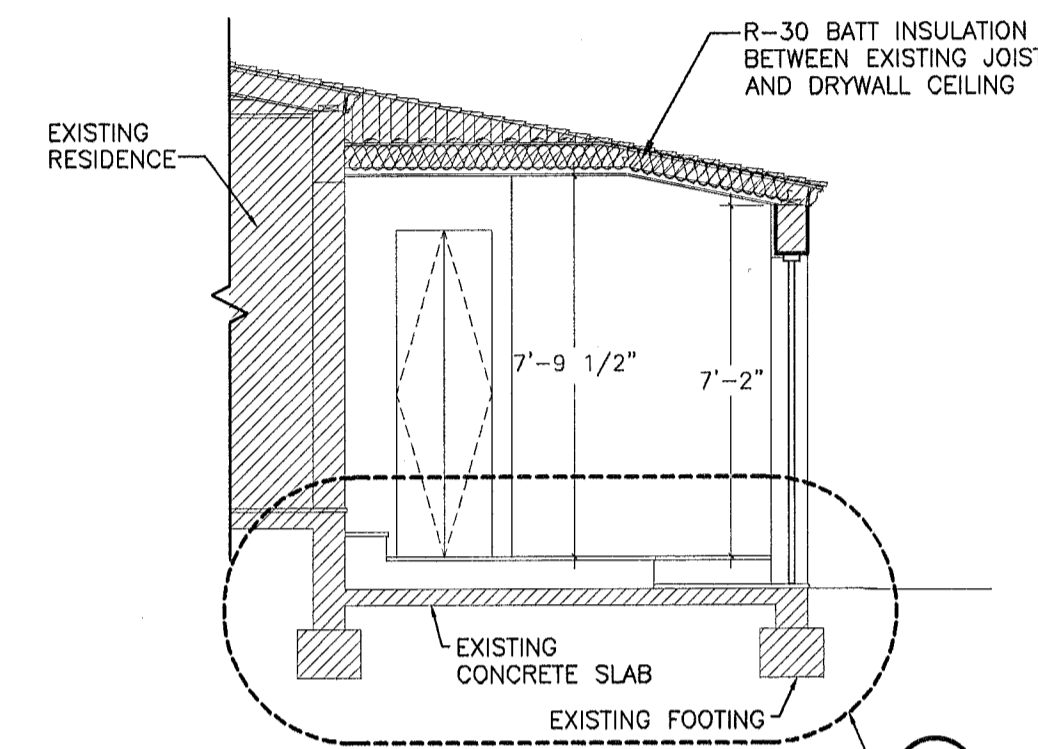
6 FRAMING DETAIL  
1/2" = 1'-0"



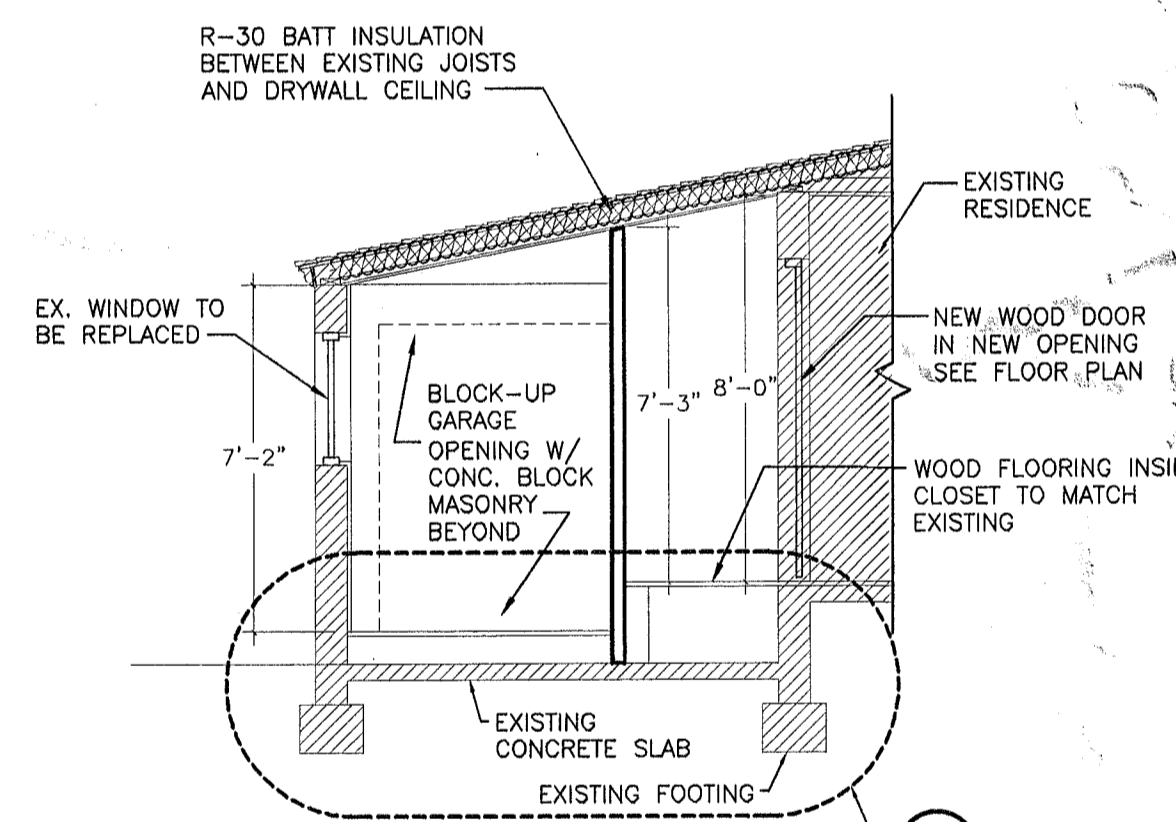
7 FRAMING DETAIL  
1/2" = 1'-0"



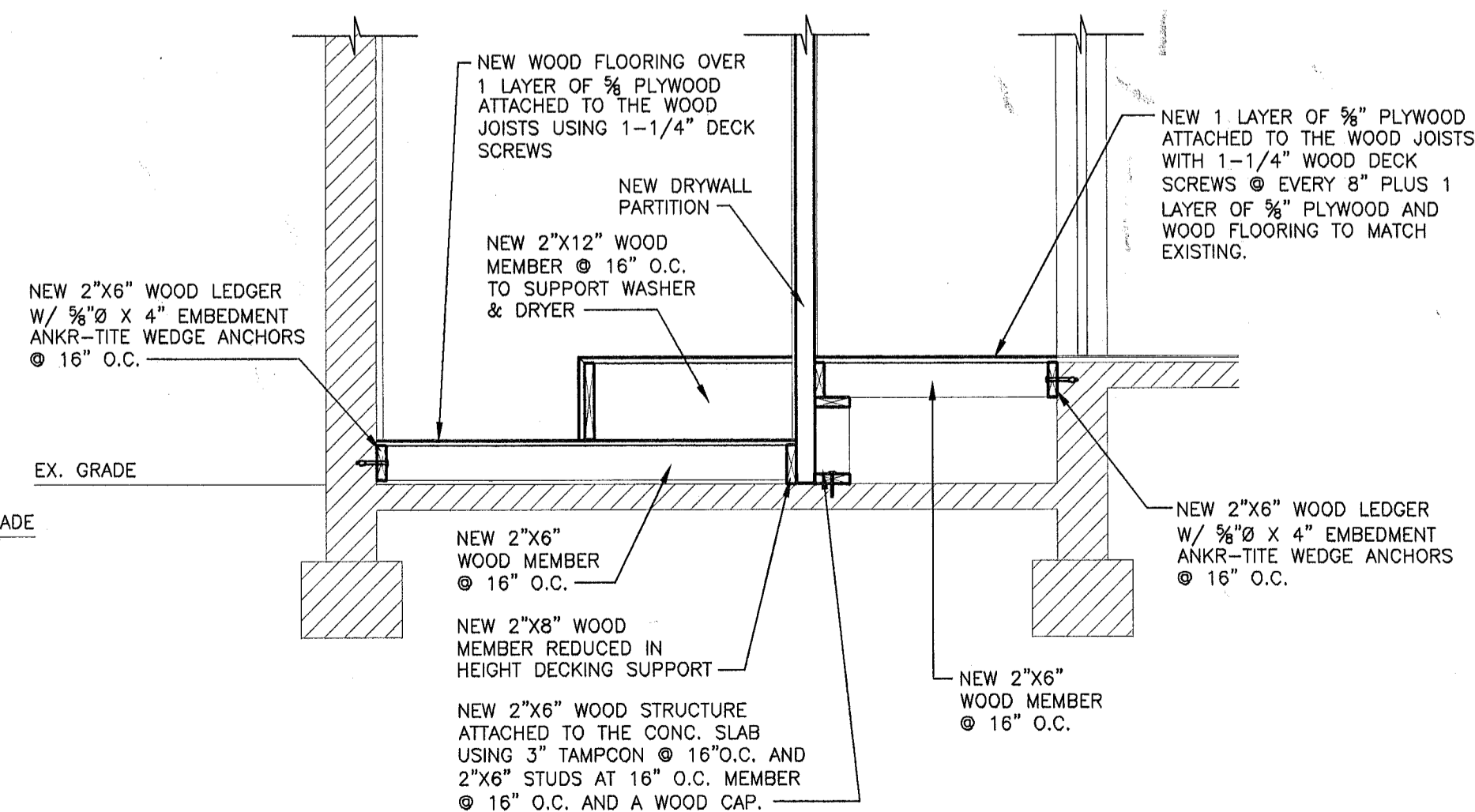
3 SECTION  
1/4" = 1'-0"



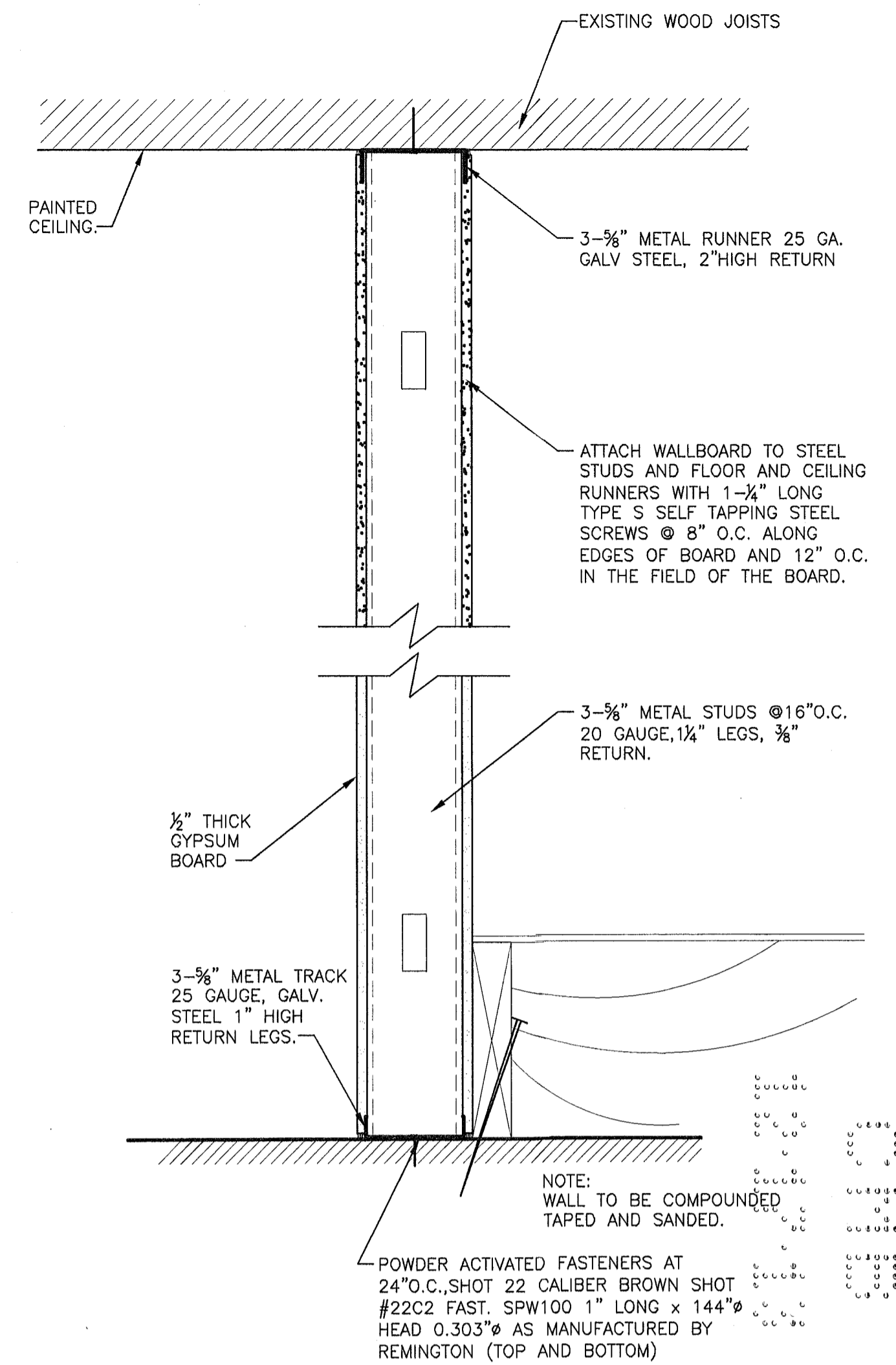
4 SECTION  
1/4" = 1'-0"



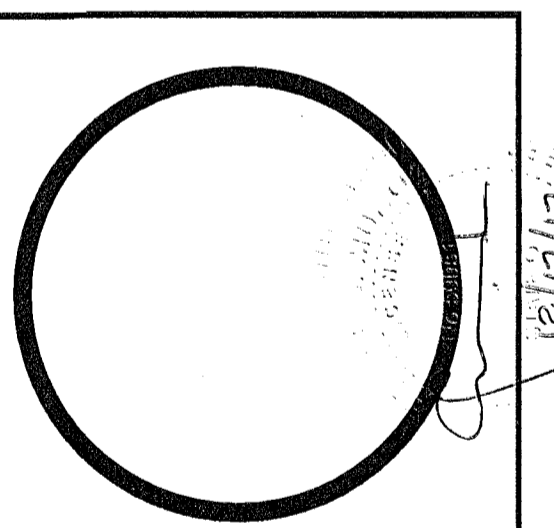
5 SECTION  
1/4" = 1'-0"



8 FRAMING DETAIL  
1/2" = 1'-0"



9 PARTITION DETAIL  
1/4" = 1'-0"



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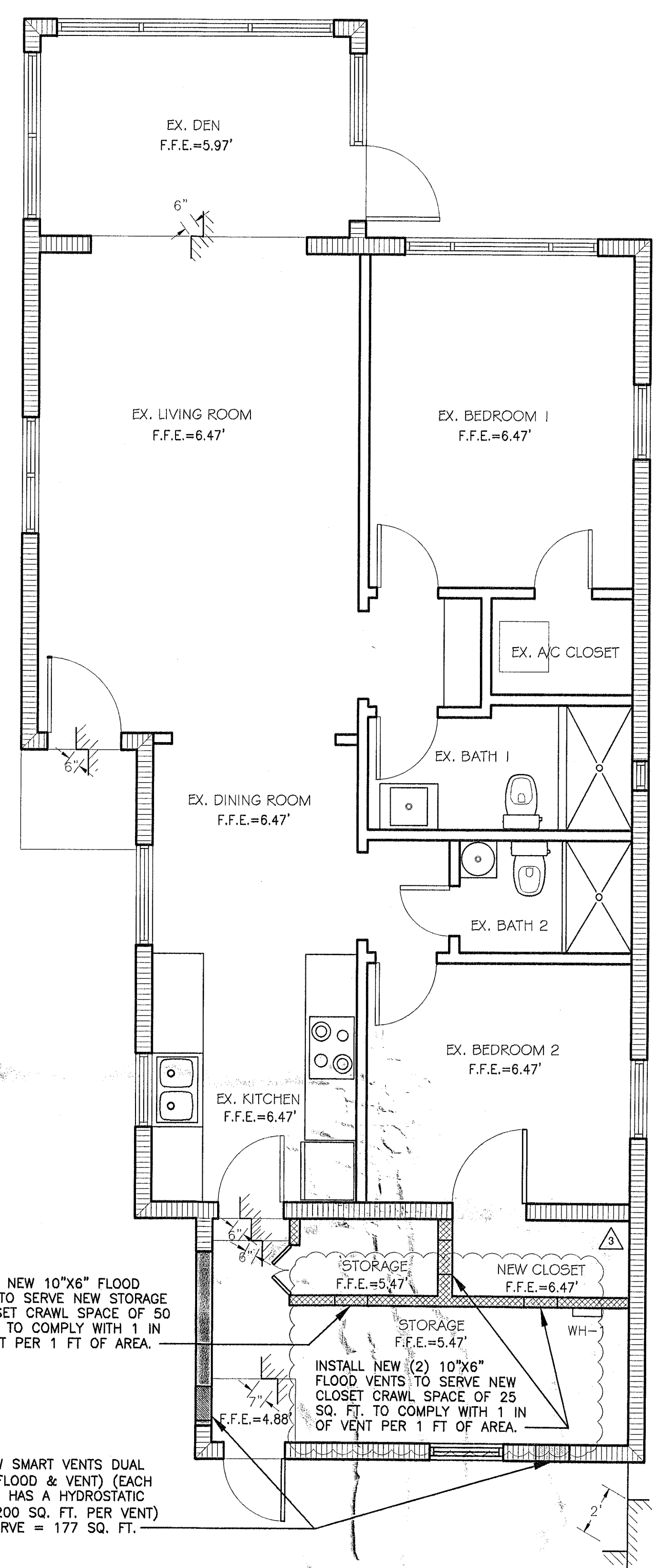
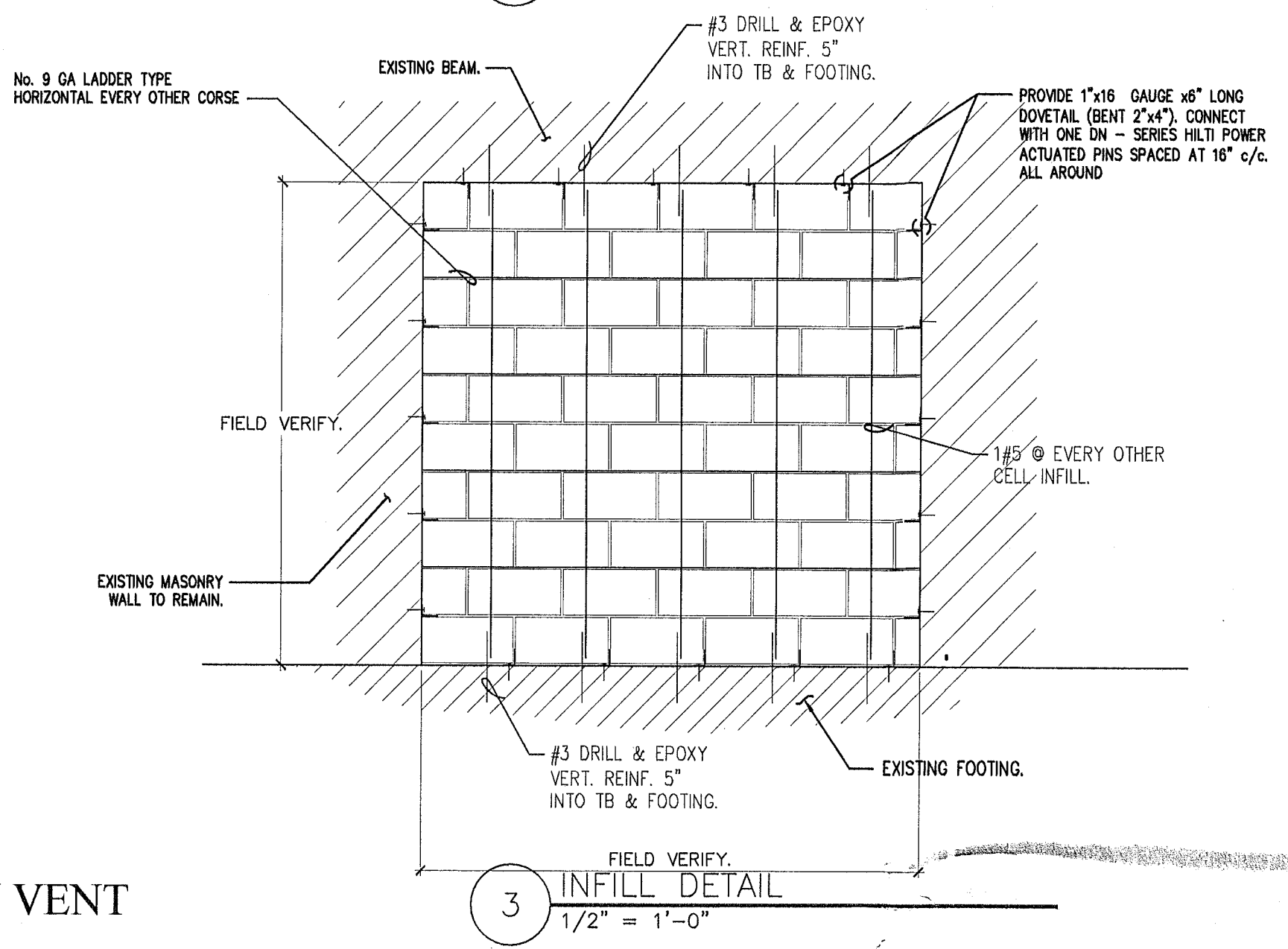
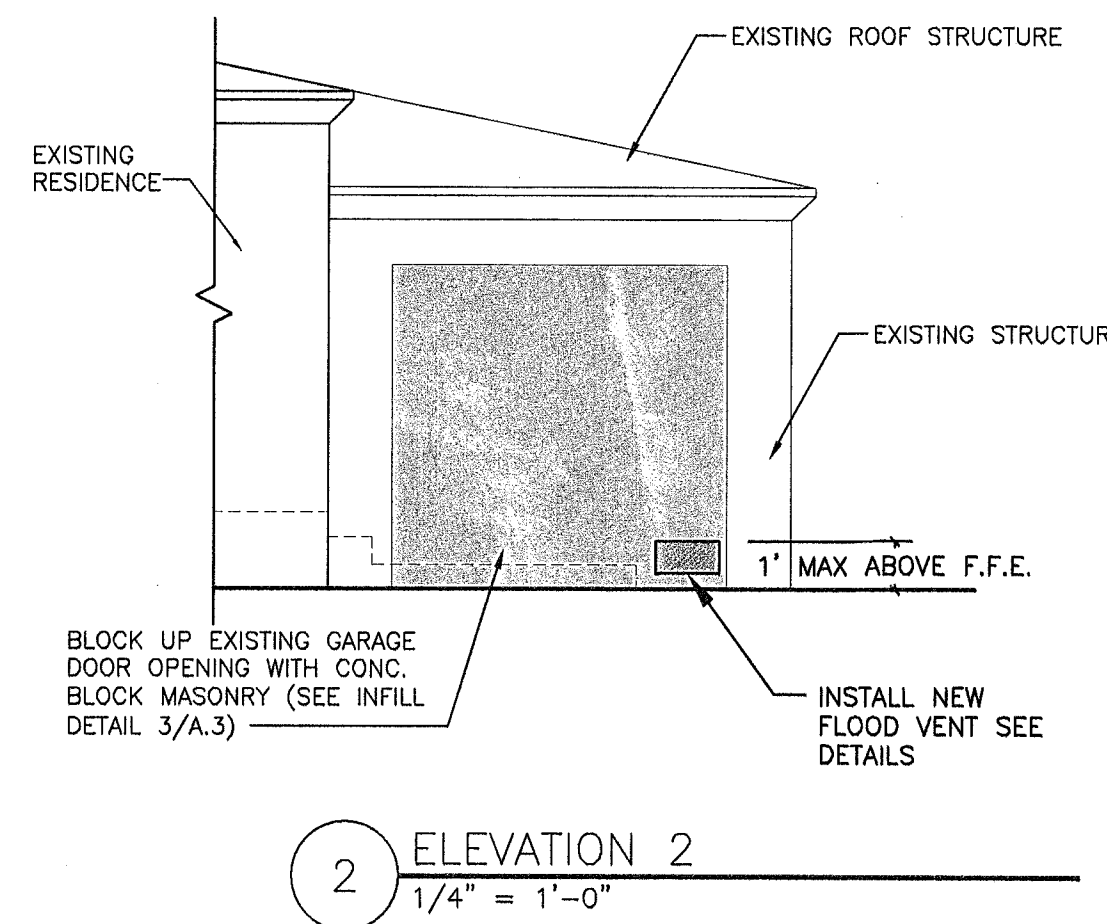
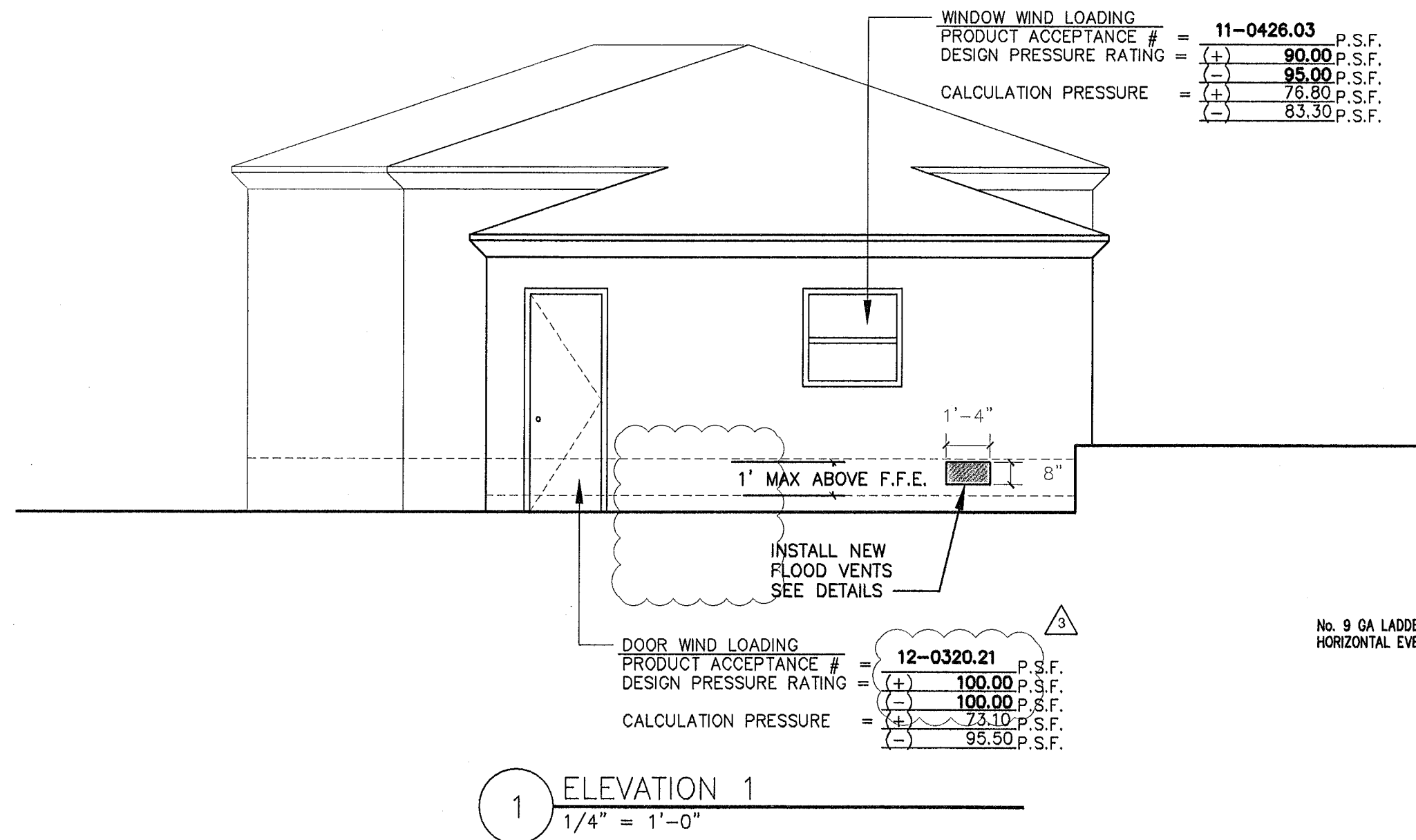
NO.	REVISION / ISSUE	DATE
1	BLDG COMMENTS	07.24.2013
2	BLDG COMMENTS	12.12.2013

TITLE  
**FRAMING, ROOF, SECTIONS,  
& DETAILS**

DATE  
01-08-2013

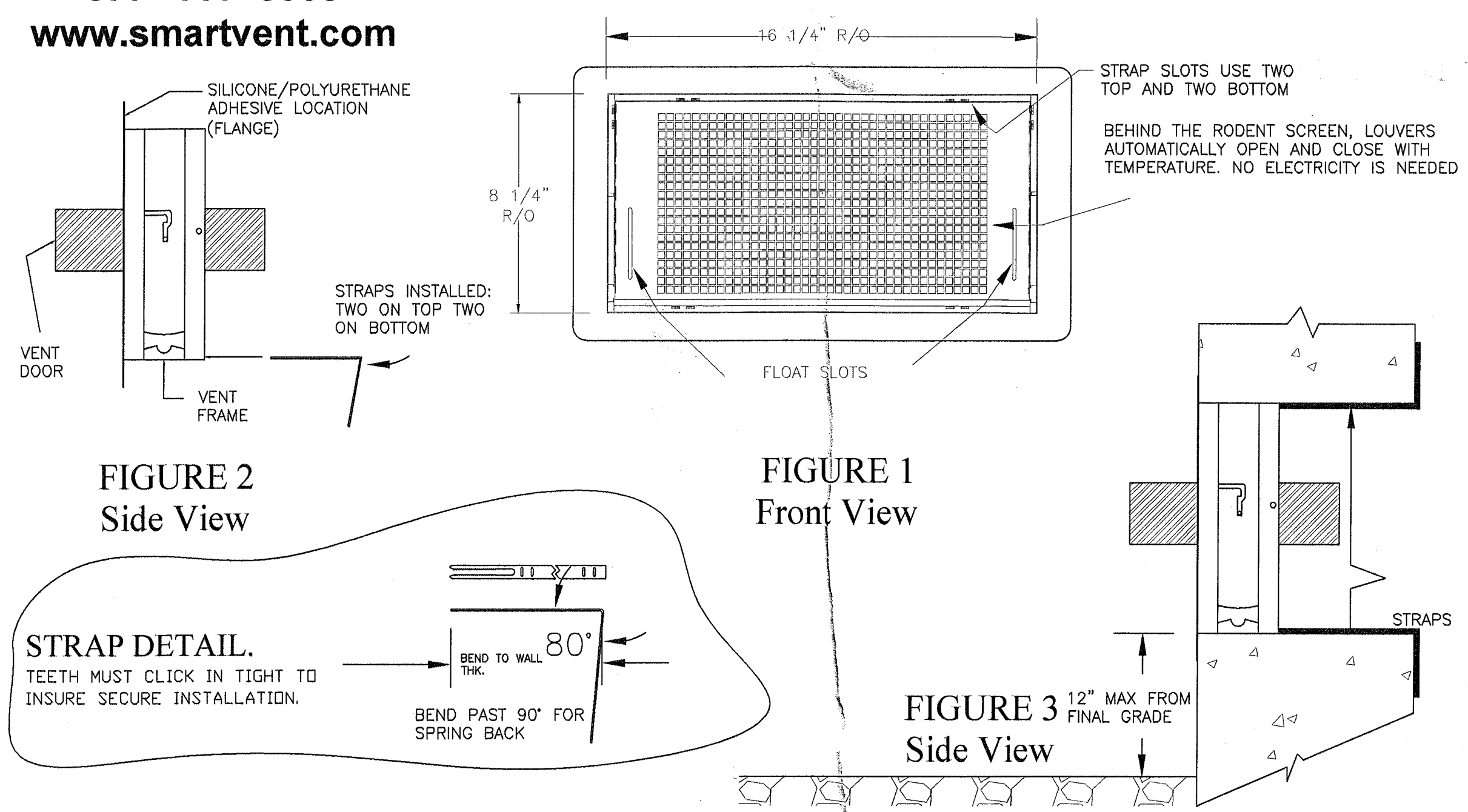
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AS SHOWN

**A.2**

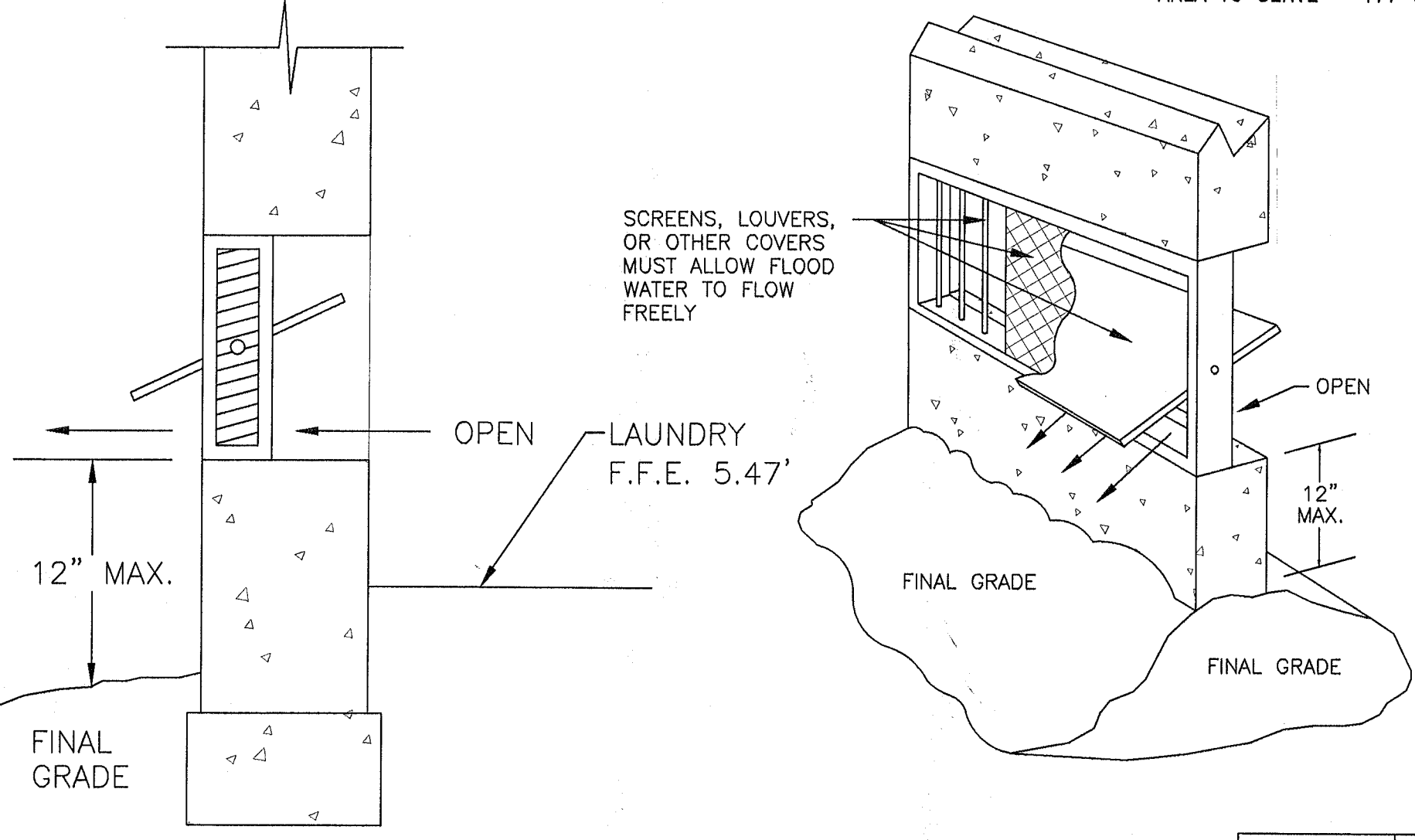


**Smart VENT**  
 877- 441- 8368  
 www.smartvent.com

**DETAIL DIAGRAM**  
**MODEL 1540-510**  
**DUAL FUNCTION FLOOD AND VENTILATION VENT**



**DETAILED SPECIFICATIONS:**  
 MATERIAL: STAINLESS STEEL  
 OPERATION FLOOD: AUTOMATIC NON-POWERED ACTIVATION AND OPERATION VENT REMAINS CLOSED AND LOCKED UNTIL ACTIVATED  
 OPERATION AIR: AUTOMATIC LOUVERS FULLY OPEN AT 75 DEG. FULLY CLOSED AT 35 DEG. NO POWER REQUIRED  
 INSTALLATION: SECURED W/ 4 STAINLESS STEEL STRAPS SUPPLIED  
**HYDROSTATIC RELIEF: 200 Sq. Ft per Vent**  
 VENTILATION: 51 Sq. In. per Vent NOTE: VAPOR BARRIER ALLOWS FOR REDUCED VENTILATION REQUIREMENTS FLOOD: MINIMUM OF 2 VENTS PER ENCLOSED AREA MOUNTED ON AT LEAST TWO DIFFERENT WALLS  
 COLORS: STAINLESS (STANDARD)  
 EXTERIOR POWDER COATED WHITE, WHEAT, GRAY, AND BLACK (AVAILABLE)



**INSTALLATION INSTRUCTIONS**

1. Remove vent door from vent frame. (Turn upside down, rotate bottom of door outward and slide out)
2. Prepare a CLEAN 16.25" wide by 8.25" high rough opening (approx. 1 block wide X 1 block high) for each vent. Ensure the bottom of the rough opening is no more than 12" above the finished grade.
3. Apply a bead of silicone or polyurethane adhesive around the back of the flange on the vent frame. (FIG. 2)
4. Bend the 4 steel straps to the thickness of the wall measuring from the end with the teeth (see STRAP DETAIL)
5. Insert the top straps into the top two strap slots about two clicks.
6. Insert the vent frame in the cut opening. The bent strap ends go in then up behind the inside of the wall. Push the frame tight against the face of the wall. Ensure the frame is flush and square in the opening. (FIG. 3)
7. Reach through the vent opening and click the two straps in while holding the front of the vent against the wall face. The sharp point of the straps should not extend past the front of the vent face. Install the two remaining bottom straps.
8. Re-check that frame is square and slots are clear of debris, and caulk.
9. Install the door into frame by grasping the bottom of door (with float pins down) and front (small screen in front). Slide door into frame and rotate until it is latched.
10. To open the door insert two credit cards into the float slots as shown in the diagram. This will unlatch the door for removal and cleaning.

MEETS THE REQUIREMENTS FOR ENGINEERED OPENINGS AS SET FORTH BY:  
 FEMA, NFIP, ICC, & ASCE  
 SUPPORTIVE DOCUMENTS, TB 1-08, 44CFR 60.3(C)(5), ASCE 24-05  
 ICC EVALUATION # ESR-2074

		SMART VENT Foundation Flood Vents 450 Andro Dr. Suite 2B Pitman NJ 08071	
877-441-8368 WWW.SMARTVENT.COM		DUAL FUNCTION FLOOD AND VENTILATION VENT MODEL 1540-510	
SIZE A DATE: 5-15-09	DWG NO. 1540-510	REV B	THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SMART VENT, INC. IF USED IN PROJECT, CHANGES TO DRAWING ARE PROHIBITED WITHOUT THE WRITTEN PERMISSION OF SMART VENT, INC.

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NO.	REVISION / ISSUE	DATE
△	BLDG COMMENTS	07.24.2013
△	BLDG COMMENTS	12.12.2013
△	BLDG COMMENTS	01/08/2013

**TITLE**  
**ELEVATIONS, DETAILS, & FLOOD VENT SPECS**

DATE: 01-08-2013  
 DWG NO.: **A.3**  
 SCALE: AS SHOWN

**ELECTRICAL NOTES**

- WORK SHALL BE PERFORMED TO MEET THE REQUIREMENTS OF THE GOVERNING EDITION OF THE NATIONAL ELECTRICAL CODE (N.E.C.), LOCAL AND STATE CODES AND STANDARDS.
- ALL NEW WIRING SHALL BE COPPER (CU) THWN INSULATION. IF ALUMINUM WIRES ARE USED:
  - TO PREVENT OVERHEATING AT CONNECTION POINTS USE OXIDE INHIBITING COMPOUND FOR STRIPPED PORTION OF CONDUCTORS INSIDE CONNECTORS.
  - A PREVENTIVE MAINTENANCE PLAN IS NECESSARY TO ENSURE A RELIABLE SERVICE INCLUDING VISUAL INSPECTIONS AND TESTS FOR SPLICES AND CONNECTION POINTS. (CORROSION AND TIGHTNESS PRINCIPALLY). INSPECTION INTERVALS OF 2 YEARS MAXIMUM ARE STRONGLY RECOMMENDED.
- ALL NEW CIRCUIT BREAKERS SHALL BE RATED AT MINIMUM OF 10,000 AIC.
- PRIOR TO INSTALLATION OF ROUGH ELECTRICAL WIRING, CHECK NAMEPLATE DATA OF ALL EQUIPMENT FOR REQUIRED VOLTAGES, MINIMUM CIRCUIT AMPACITY, AND OVERCURRENT PROTECTION.
- ALL BRANCH CIRCUITS SHALL BE PROPERLY PHASE BALANCED.
- ALL NEW CONDUCTORS SHALL BE RUN IN CONDUIT (METALLIC TYPE) UNLESS THAT NONMETALLIC SHEATHED CABLE CAN BE USED IN DRY LOCATIONS AS PER NEC 336-6.
- IF PVC CONDUITS ARE USED FOR UNDERGROUND FEEDERS, A GROUNDING CONDUCTOR SIZED IN ACCORDANCE WITH N.E.C. 250-122 MUST BE INSTALLED AND CONDUIT SIZE INCREASED AS REQUIRED.
- TYPEWRITTEN PANEL TALLY SHALL BE FURNISHED AFTER JOB IS COMPLETED REFLECTING ALL CHANGES AND ADDITIONS FOR NEW CIRCUITS.
- RISERS ARE DIAGRAMMATIC ONLY. THEY DO NOT SHOW EVERY EXISTING BEND.
- THIS DRAWING IS REFLECTING THE EXISTING SERVICE CONDITIONS AND A GUIDE FOR THE INSTALLATION OF NEW ELECTRICAL EQUIPMENT. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE A FUNCTIONING SYSTEM.
- ALL NEW OUTLETS TO BE PROTECTED BY AFCI BREAKERS.
- ELECTRICAL CONTRACTOR SHALL COORDINATE WITH ARCHITECT/OWNER TO FIELD VERIFY INSTALLATION FOR NEW OUTLETS AND NEW LIGHTING FIXTURES.

**NOTES**

- ALL NEW OUTLETS MUST BE TAMPER RESISTANCE DEVICES AS PER NEC 2008 406.11.
- ALL SMOKE DETECTORS SHALL BE 120V WITH BATTERY BACKUP, HARDWIRED AND INTERCONNECTED AND LOCATED 36" MIN. FROM ANY A/C SUPPLY.
- ALL ELECTRICAL FIXTURES ARE EXISTING UNLESS OTHERWISE NOTED.
- SHALL COMPLY WITH FLORIDA FIRE PREVENTION CODE 2010.
- ALL NEW ELECTRICAL EQUIPMENT SHALL BE ABOVE FLOOD LEVELS.

**ARC FAULT PROTECTION NOTES**

- ALL NEW 15 AMP 1 POLE AND 20 AMP 1 POLE BRANCH CIRCUITS SHALL HAVE AFCI (ARC FAULT CIRCUIT INTERRUPTER) PROTECTION IN ACCORDANCE WITH 2008 EDITION OF THE N.E.C. 210.12
- REFER TO ELECTRICAL PANEL SCHEDULE FOR AFCI CIRCUITS(+).

**SCOPE OF WORK**

- INSTALL NEW TANKLESS WATER HEATER
- NEW LIGHTFIXTURE AND SWITCH FOR NEW CLOSET, NEW PANTRY AND FOR NEW STORAGE AREA
- NEW WALL OUTLETS IN NEW STORAGE
- NEW INTERCONNECTED SMOKE DETECTORS

**ELECTRICAL CALCULATIONS**

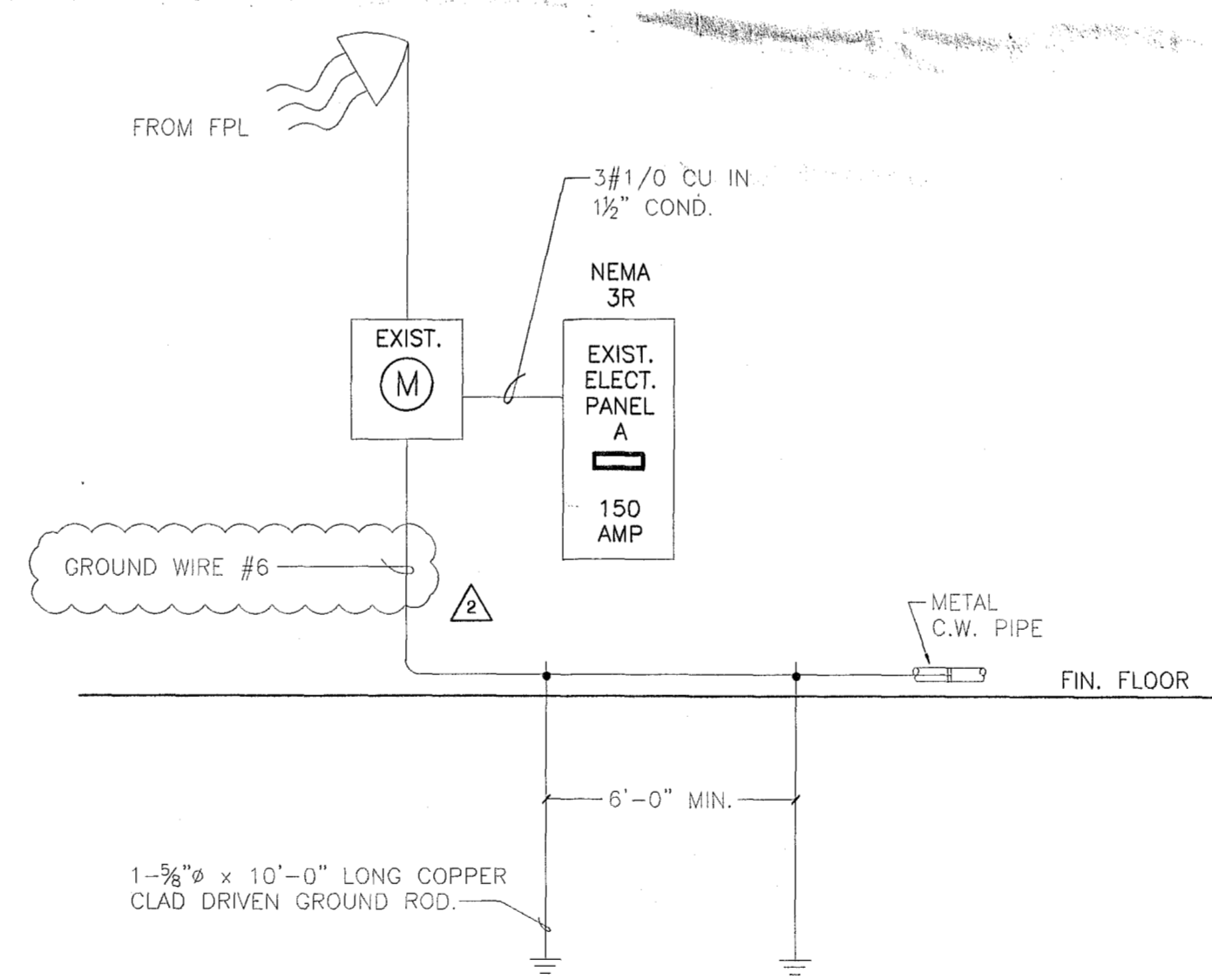
- I. LOADCENTER A
- RESIDENCE @ 3WATTS/ SF (1,214 S.F. X 3W) = 3.60 KVA
  - 2 SMALL APPLIANCE CKT @ 1.5 KVA EA. = 3.00 KVA
  - APPLIANCES = 12.84 KVA
  - SUBTOTAL = 19.44 KVA
  - FIRST 10 KW @ 100% = 10.00 KVA
  - REMAINDER @ 40% : 9.44 x .40 = 3.78 KVA
  - WATER HEATER = 11.80 KVA
  - AHU-1 9.25 KW (0.65)= 6.01 > 3.34 = 6.01 KVA
  - TOTAL = 31.59 KVA

$$\frac{31.59 \text{ KVA (1000)}}{240V} = 131.62 \text{ AMPS}$$

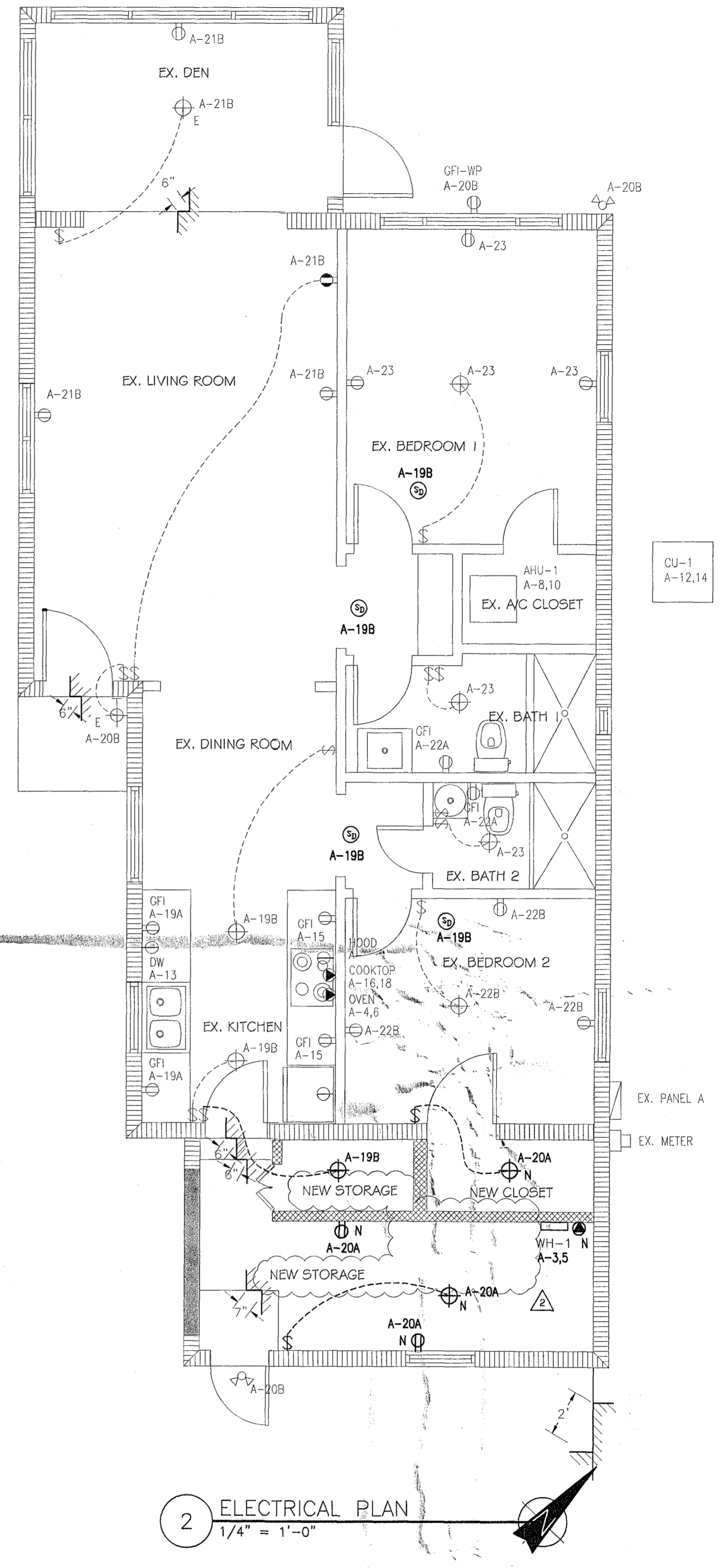
EXISTING PANEL A				120/240/1/60		NEMA 3R					
				150 AMP		3W					
				10,000 AIC							
KVA	TRIP POLE	CON DUIT	WIRE	DESCRIPTION	CKT	CKT	DESCRIPTION	WIRE	CON DUIT	TRIP POLE	KVA
-	20/1	1/2	12	SPARE	1	X	2	PROVISION			
11.8	60/2	3/4	6	TANKLESS WATER HEATER	3	X	4	OVEN	8	3/4	3.40
-	30/2	3/4	8	SPARE	5	X	6	AHU-1	8	3/4	9.25
				PROVISIONS	7	X	8	CU-1	10	1/2	3.34
1.20	20/1	1/2	12	DISHWASHER	13	X	14				
1.50	20/1	1/2	12	SMALL APPLIANCES CKT.	15	X	16	COOKTOP	8	3/4	8.24
-	20/1	1/2	12	SPARE	17	X	18				
1.20	20/1	1/2	12	SMALL APPLIANCES CKT.	19A	X	20A	NEW STORAGE LGT. & RECEP.	12	1/2	15/1
-	20/1	1/2	12	BATHROOM LIGHTING	19B	X	20B	OUTDOOR LIGHTING	12	1/2	15/1
-	20/1	1/2	12	SPARE	21A	X	22A	BATHROOM GFI'S	12	1/2	15/1
-	20/1	1/2	12	LYNG RM & DEN LGT. & RECP	21B	X	22B	BEDROOM 2 LGT. & RECEP.	12	1/2	15/1
-	20/1	1/2	12	BATHROOMS LIGHTING	23	X	24	PROVISION			

E = EXISTING (LIGHT FONT)  
N = NEW (BOLD FONT)

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
⊕	DUPLEX RECEPTACLE
⊕GFI	GFI RECEPTACLE
⊕	APPLIANCE RECEPTACLE
⊕	ELECTRICAL PANEL
⊕	SMOKE DETECTOR
⊕	SWITCH
N	(BOLD) DENOTES NEW
E	(LIGHT) DENOTES EXISTING
R	DENOTES RELOCATED



1 ELECTRICAL RISER DIAGRAM  
N.T.S.



2 ELECTRICAL PLAN  
1/4" = 1'-0"

**LUMINAIRES IN CLOSETS**

1. LUMINAIRES IN CLOSETS SHALL COMPLY WITH N.E.C. 410.8

ENGINEER:  
EDGAR MUNOZ  
FL LIC. NO. 50051  
6623 NW 173 LANE  
MIAMI, FL 33015  
Phone: (305) 219-9791

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PROJECT NAME AND ADDRESS  
BRIAN CLARK  
8 CENTURY LANE  
MIAMI BEACH, FL 33139

---

NO.	REVISION / ISSUE	DATE
△	BLDG COMMENTS	07.24.2013
△	BLDG COMMENTS	12.12.2013

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**ELECTRICAL FLOOR PLAN**

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DATE 01-08-2013	DWG NO. <b>E.1</b>
SCALE AS SHOWN	

Checked DEC 2 2013  
Electrical Plans Examiner



**PLUMBING GENERAL NOTES:**

1. THE ABBREVIATION "P.C." USED HENCEFORTH IN THIS GENERAL PLUMBING SPECIFICATION SHALL BE CONSTRUED TO MEAN PLUMBING CONTRACTOR ON THE MECHANICAL, ELECTRICAL AND FIRE PROTECTION DRAWINGS.
2. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE FLORIDA BUILDING CODE 2007, OSHA, AND ALL STATE AND LOCAL CODES THAT APPLY.
3. THE P.C. SHALL PAY PARTICULAR ATTENTION TO THE STATE OF FLORIDA "ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION". ALL WORK SHALL BE IN ACCORDANCE WITH THIS CODE, CHAPTER 5, SECTIONS 504.1, 504.2, 504.3, 504.4 AND 504.5.
4. THE P.C. SHALL TAKE OUT ALL PERMITS, PROCURE CERTIFICATES, AND PAY ALL FEES ASSOCIATED WITH HIS WORK.
5. THE DRAWINGS ARE DIAGRAMMATIC AND INTENDED TO SHOW APPROXIMATE LOCATIONS. THE P.C. SHALL NOT SCALE THE DRAWINGS.
6. THE BIDDERS SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL CONDITIONS ASSOCIATED WITH THE WORK.
7. IT SHALL BE THE RESPONSIBILITY OF THE P.C. FOR THE ADVANCE ORDERING OF LONG LEAD ITEMS SO AS NOT TO DELAY OTHER TRADES RESULTING IN ANY DOWN OR LAG TIME.
8. THE P.C. SHALL FURNISH ALL EQUIPMENT, LABOR, MATERIALS, AND SUPERVISION TO INSTALL A COMPLETE AND PROPERLY OPERATING PLUMBING SYSTEM AS DESCRIBED HEREIN AND AS SHOWN AND/OR NOTED ON THE DRAWINGS.
9. THE P.C. SHALL FURNISH AND INSTALL ALL MINOR ITEMS WHICH ARE OBVIOUSLY AND REASONABLY NECESSARY TO COMPLETE THE INSTALLATION WHETHER OR NOT SPECIFIED OR SHOWN ON THE PLANS.
10. THE P.C. SHALL BE A LICENSED MASTER PLUMBER.
11. WORKMANSHIP SHALL BE FIRST CLASS AS NORMALLY PERFORMED BY JOURNEYMAN PLUMBERS.
12. THE P.C. IS REFERRED TO THE ARCHITECTURAL, ELECTRICAL, AND MECHANICAL PLANS AND SPECIFICATIONS. SUCH PLANS AND SPECIFICATIONS ARE CONTRACT DOCUMENTS. VERIFY ALL REQUIREMENTS PRIOR TO INSTALLATION. ANY DISCREPANCIES IN THE DRAWINGS OR FIELD COORDINATION PROBLEMS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO COMMENCEMENT OF WORK.
13. THE P.C. SHALL EXAMINE THE SPECIFICATIONS AND THE WHOLE CONTRACT BY SECURING A COMPLETE SET OF DRAWINGS AND SPECIFICATIONS, OF THE WHOLE CONTRACT.
14. THE P.C. SHALL BE RESPONSIBLE FOR THE FULL COORDINATION OF HIS WORK WITH THAT OF THE GENERAL CONTRACTOR AND OTHER SUBCONTRACTORS TO MUTUALLY AVOID CONFLICT.
15. ALL PLUMBING WORK SHALL NOT INTERFERE WITH CLEARANCES REQUIRED FOR GENERAL AND MECHANICAL CONSTRUCTION. SHOULD PLUMBING WORK BE INSTALLED WHICH INTERFERES WITH THE WORK OF THE OTHER CONTRACTORS, SUCH WORK SHALL BE CHANGED AT NO ADDITIONAL COST TO THE OWNER.
16. THE P.C. SHALL VERIFY ALL NOTES AND DIMENSIONS PRIOR TO PROCEEDING WITH BID. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
17. THE P.C. SHALL PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO PURCHASE OR INSTALLATION OF ALL EQUIPMENT CALLED FOR IN THE PLANS OR SPECIFICATIONS.
18. THE P.C. SHALL SUBMIT REQUESTS FOR SUBSTITUTIONS IN WRITING.
19. THE P.C. SHALL PROVIDE AS-BUILT DRAWINGS.
20. THE PLUMBING INSTALLATION SHALL MEET THE APPROVAL OF THE ARCHITECT BEFORE ACCEPTANCE BY THE OWNER.
21. ALL WORK SHALL BE GUARANTEED FREE FROM DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF CERTIFICATE OF OCCUPANCY.
22. THE P.C. SHALL TOUCH UP OR REFINISH THE FACTORY FINISH TO ORIGINAL CONDITION OF EQUIPMENT MARRED DURING SHIPMENT OR INSTALLATION. HE IS RESPONSIBLE TO REPAIR TO ORIGINAL CONDITION FURNISHINGS CAUSED DURING PERFORMANCE OF WORK.
23. THE P.C. SHALL KEEP ALL AREAS IN WHICH WORK IS BEING PERFORMED FREE FROM DEBRIS AT ALL TIMES, AND SAID AREA SHALL BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY.
24. AT THE COMPLETION OF THE WORK, THE P.C. SHALL REMOVE ALL RUBBISH CAUSED BY HIS WORK, AND SHALL THOROUGHLY CLEAN ALL PLUMBING EQUIPMENT.
25. THE P.C. SHALL VERIFY ALL EXISTING CONDITIONS ASSOCIATED WITH WORK AND REPORT ANY DISCREPANCIES TO ARCHITECT/ENGINEER PRIOR TO BID.
26. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SPACES AND CONDITIONS PRIOR TO FABRICATION AND INSTALLATION OF EQUIPMENT AND MATERIAL.
27. A MINIMUM OF 20" IS REQUIRED BETWEEN ANY TWO ITEMS PENETRATING THE ROOF DECK.
28. DIELECTRIC UNIONS SHALL BE PROVIDED WHEREVER DISSIMILAR METALS ARE JOINED.
29. AT ALL INSPECTIONS MADE EITHER BY A REPRESENTATIVE OF THE BUILDING DEPARTMENT OR BY THE ARCHITECT OR ENGINEER, THE P.C. SHALL PROVIDE A LADDER OF SUFFICIENT SIZE IN ORDER THAT THE INSPECTOR CAN PROPERLY LOOK AT ALL ITEMS TO BE INSPECTED. THE LADDER SHALL BE IN GOOD REPAIR AND BE POSITIONED IN PLACE BY THE P.C. TO MEET ALL OSHA REQUIREMENTS. THE P.C. SHALL ALSO PROVIDE A COMPLETE SET OF CONTRACT DOCUMENTS, AVAILABLE AT THE JOB SITE, AT THE TIME OF INSPECTION. THE CONTRACT DOCUMENTS SHALL INCLUDE:
  - A. WORKING DRAWINGS
  - B. SPECIFICATIONS
  - C. ALL APPROVED SHOP DRAWINGS
  - D. ALL ADDENDA, CHANGE ORDERS AND CORRESPONDENCE. IF A LADDER AND CONTRACT DOCUMENTS ARE NOT AVAILABLE AT THE TIME OF INSPECTION, THE P.C. SHALL PAY THE ARCHITECT OR ENGINEER FOR THE VISIT TO THE SITE AND A NEW INSPECTION TIME SHALL BE AGREED UPON.

TABLE 604.4  
MAXIMUM FLOW CONSUMPTION  
FOR PLUMBING FIXTURES

PLUMBING FIXTURE OR FITTING	MAXIMUM FLOW RATE OR QUANTITY
Lavatory (hand wash)	1.5 gpm at 60 psi
Water closet	1.28 gallons per flushing cycle
Shower head	1.5 gpm at 80 psi
Kitchen sink	1.5 gpm at 60 psi

ANTI SCALD VALVE REQUIRED FOR TUB/SHOWER

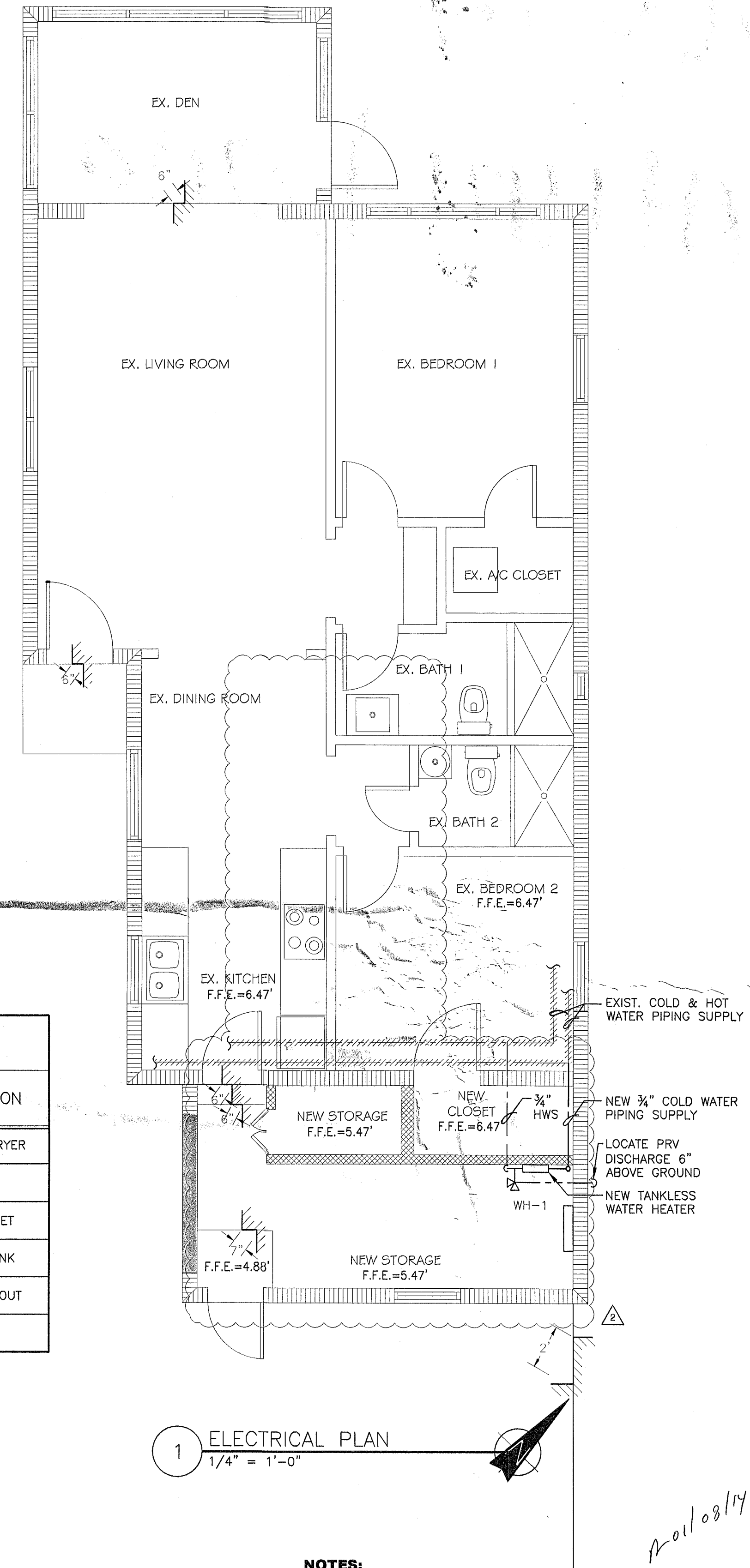
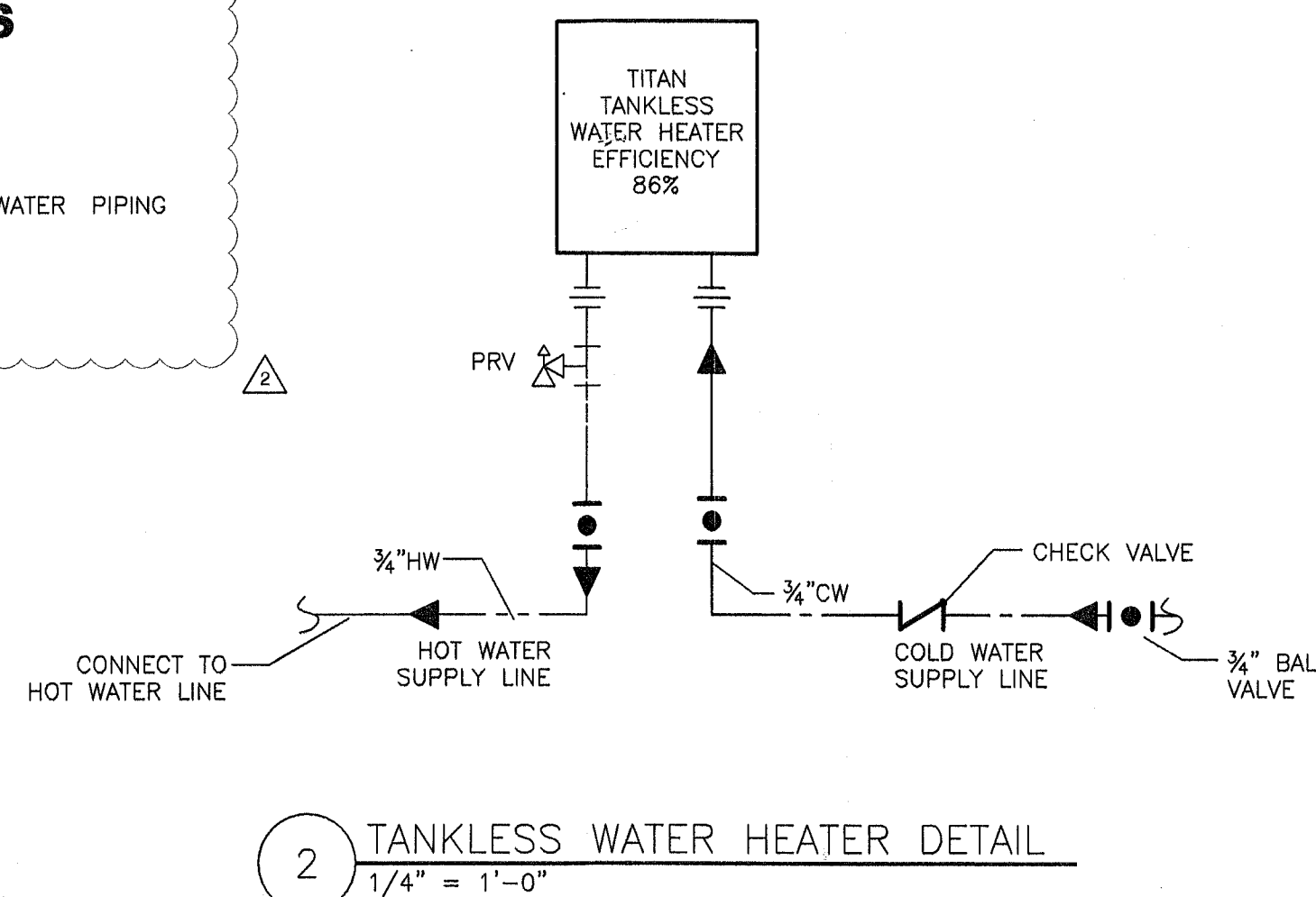
PLUMBING FIXTURES SHALL COMPLY WITH THE NEW WATER CONSUMPTION RATES IN ORDINANCE 08-14 (TABLE 604.4) & FBC, PLUMBING CHAPTER 4 REFERENCE STANDARDS.

**PLUMBING PRODUCTS**

1. SANITARY SEWER: PVC SCH.40
2. FIXTURE DRAINAGE ARMS: DWV COPPER.
3. WATER PIPE: PVC & CPVC SCHEDULE 40.
4. ALL BALL VALVES ASSOCIATED WITH WATER PIPING SHALL BE FULL PORT.
5. VENT LINES SHALL BE PVC.

**PLUMBING LEGEND**

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
---	NEW COLD WATER LINE	W/H	WASHER & DRYER
---	NEW HOT WATER LINE	SHO	SHOWER
---	SANITARY LINE	WC	WATER CLOSET
---	SANITARY VENT	LAV	LAVATORY SINK
GCO ●	FLOOR CLEAN OUT	CO	WALL CLEAN OUT
	BALL VALVE		



- NOTES:**
1. ALL UTILITIES AND EQUIPMENT AND ACCESSORIES (ELECTRICAL, MECHANICAL, AND PLUMBING) SERVICING THE BUILDING IS RECOMMENDED TO BE INSTALLED ABOVE F.F.E. OF THE ADJACENT HABITABLE SPACE OF THE EXISTING STRUCTURE.
  2. EQUIPMENT AND ACCESSORIES INSIDE LAUNDRY ROOM MUST BE ELEVATED TO THE F.F.E. OF THE EXISTING HOUSE

- NOTES:**
- EXISTING RESIDENCE WAS NOT PROVIDED IT WITH AUTOMATIC CLOTHES WASHER CONNECTION.
  - TOTAL IMPROVEMENTS IN THE LAST 5 YEARS INCLUDING THIS PROJECT IS UNDER 50% OF TOTAL VALUE OF THE BUILDING.
  - UNDER GRANDFATHER CLAUSE LAW, CLOTHES WASHER IS NOT REQUIRED.

**ENGINEER:**  
EDGAR MUNOZ  
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6623 NW 173 LANE  
MIAMI, FL 33015  
Phone: (305) 219-9791

**PROJECT NAME AND ADDRESS**  
BRIAN CLARK  
8 CENTURY LANE  
MIAMI BEACH, FL 33139

NO.	REVISION / ISSUE	DATE
△	BLDG COMMENTS	07.24.2013
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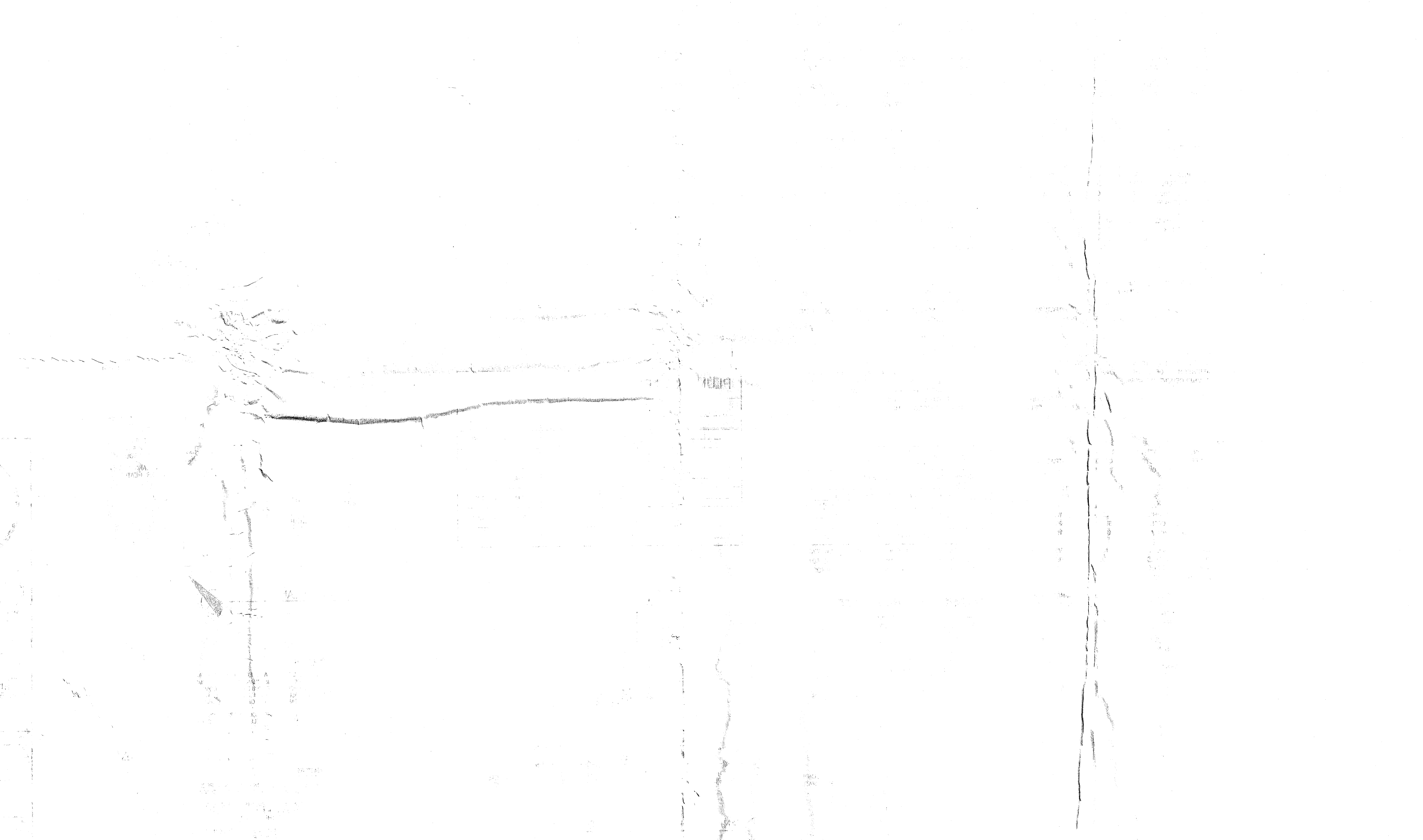
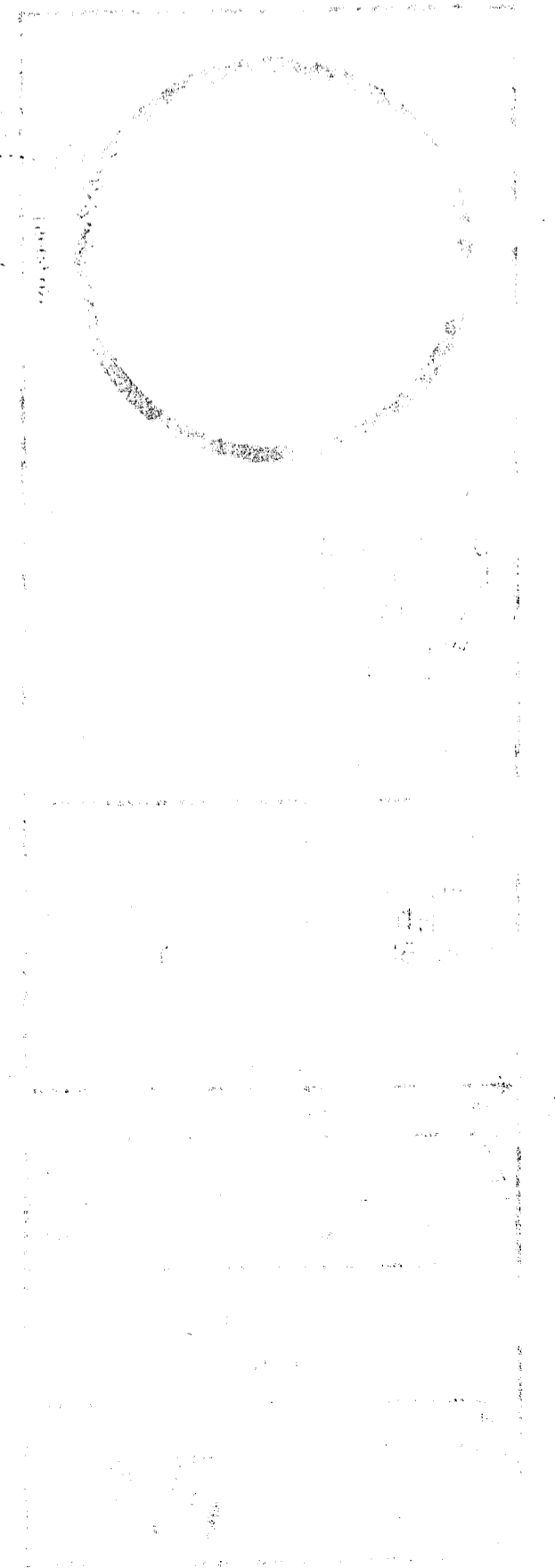
**TITLE**  
**PLUMBING PLAN**

DATE: 01-08-2013      DWG NO. **P.1**  
SCALE: AS SHOWN

B1400014

8 Century Lane

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CITY OF MIAMI BEACH  
Building Department  
1700 Convention Ctr Drive, 2nd Floor  
Miami Beach, Florida 33139  
Inspections: (305) 673-7370  
Office: (305) 673-7610

B1503842 BCO15302 CO

**Certificate of Occupancy**  
Certificate Number: BCO15302

Status: APPROVED

Issued By: BUILDOOB

Site Address: 8 CENTURY LA MBCH  
Parcel #: 32330020080

Applied: 07/02/2015  
Issued: 07/07/2015  
Extended:  
To Expire:

Tenant:

Property Owner: JOAN S BAKER & H LAWRENCE S &  
BRIAN CLARK JTRS  
2550 LA CONDESA DV 90049

Class Code: R3  
Issued For: Renewal of B1400014/Bv12000414//Legalization garage  
enclosure turned into a storage, new water heater and fence.

Temporary Expiration Date:

Current Use: Storage  
Previous Use: Garage

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**OCCUPANCY INFORMATION**

Building Permit #: B1503842	Zoning Use District:
Occupancy Group: R3	Construction Type:
Maximum Occupant Content	Minimum Number of Exits:
Zoning Ordinance Number: 89-2665	SS # or Taxpayer ID#:

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This is to certify that the above tenant, whose address is noted above, has filed for permission to use the property located at the address noted above, and said proposed use or uses being in conformity with the provisions of the zoning ordinance 89-2665 and the Building Code of the City of Miami Beach, a Certificate of Occupancy is hereby granted to use said building for the purpose described below, subject to any special condition(s) detailed in this document.

**NOTE:** Any unauthorized additions, alterations or change in use of this property will void this Certificate of Occupancy.



7/7/15

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Building Official Signature and Date  
MARIANO V. FERNANDEZ, PE

*This Certificate of Occupancy is valid only if there is an APPROVED Status and a Building Official Signature.*  
[CERTOCCP14]

# MIAMI BEACH BUILDING DEPARTMENT

2015 JUN 30 PM 4:06

CITY OF MIAMI BEACH

**Building Department**  
 1700 Convention Center Drive, 2<sup>nd</sup> FL  
 Miami Beach, Florida 33139  
 Tel: 305.673.7610 ext. 6868  
 Fax: 786.394.4705

## Request for Certificate of Occupancy or Completion

Certificate of Occupancy       Certificate of Completion

4

Date 6-30-15	Permit Number B 150 3842 / BCO15302
Job Address 9 CENTURY LANE	Tax Folio #
Unit/Suite # N/A	Occupancy/Use STORAGE
Total square feet for this CO/CC request	Number of Residential Units for this CO/CC request
Contractor AMINGVAL ELECTRIC, INC	Mailing address
Telephone Number	E-Mail Address TON LM FEATHERSTON EJMAD.COM
Owner	Mailing address Featherston.
Telephone Number	E-Mail Address
Contact Name LAWOOD FEATHERSTON	Contact Telephone Number 305-606-4022

### Office Use Only

Approved:	Mariano Fernandez, P.E. Building Official/Director
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- Permits ready ✓
- Permits payment ✓
- Not under 7/7
- Not under 7/7