



4000 COLLINS AVENUE MIAMI BEACH, FL. 33140

HPB22-0551  
HPB FINAL SUBMITTAL 02-10-23

4000 COLLINS AVENUE  
4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

BEILINSON  
GOMEZ

ARCHITECTURE

AAC001062

8101 BISCAYNE BLVD. S. 309.310

MIAMI, FL. 33138 - 4494

T 305.559.1250 F 305.551.1740

JOSE L. GOMEZ

ARCHITECT

02-10-23

		DWG. TITLE	COVER
		SCALE	N.T.S.
		PROJECT NO.	2022-22
		DATE	02-10-22
		SHEET NUMBER	A-000
DATE	REVISION		

A	ACOUS.	ACOUSTICAL	C	GA.	GAUGE	R	R.	RISER
	A.C.	AIR CONDITIONING		GALV.	GALVANIZED		RAD.	RADIUS
	A.D.	AREA DRAIN		G.B.	GRAB BAR		R.D.	ROOF DRAIN
	ADJ.	ADJUSTABLE		G.C.	GENERAL CONTRACTOR		REF.	REFERENCE
	AGGR.	AGGREGATE		GL.	GLASS		REFL.	REFLECTED
	AL.	ALUMINUM		GND.	GROUND		REFR.	REFRIGERATOR
	APPROX.	APPROXIMATE		GR.	GRADE		RF.	ROOF
	ARCH.	ARCHITECTURAL		GYP.	GYPSUM		RGTR.	REGISTER
	ASB.	ASBESTOS		G.W.B.	GYPSUM WALLBOARD		REINF.	REINFORCED
	ASPH.	ASPHALT					REQ.	REQUIRED
B	BD.	BOARD	H	H.B.	HOSE BIB	S	S.	SOUTH
	BITUM.	BITUMINOUS		H.C.	HOLLOW CORE		SABF	SOUND ATTENUATION FIRE
	BLDG.	BUILDING		HDWD.	HARD WOOD		S.C.	BLANKETS
	BLK.	BLOCK		HDWE.	HARDWARE		S.C.D.	SOLID CORE
	BLKG.	BLOCKING		H.M.	HOLLOW METAL		S.D.	SEAT COVER DISPENSER
	BLKHD.	BULKHEAD		HORIZ.	HORIZONTAL		S.D.	SCHEDULE
	BM.	BEAM		HGT.	HEIGHT		S.D.	SOAP DISPENSER
	BOT.	BOTTOM					SECT.	SECTION
							SH.	SHOWER
							SHR.	SHEET
C	CAB.	CABINET	J	J.D.	INSIDE DIAMETER (DIM.)	S	SIM.	SIMILAR
	CARP.	CARPET		IN.	INCH		S.N.D.	SANITARY NAPKIN
	C.B.	CATCH BASIN		INSUL.	INSULATION		S.N.R.	DISPENSER
	C.E.M.	CEMENT		INT.	INTERIOR		SPEC.	SANITARY NAPKIN
	CER.	CERAMIC		INV.	INVERT		SQ.	RECEPTACLE
	C.I.	CAST IRON					S.S.T.	SPECIFICATION
	C.G.	CORNER GUARD					S.S.K.	SQUARE
	CLG.	CEILING					STA.	STAINLESS STEEL
	CLKG.	CAULKING					STD.	SERVICE SINK
	CLO.	CLOSET					STL.	STATION
D	CLR.	CLEAR	K	KIT.	KITCHEN	L	STOR.	STANDARD
	C.M.U.	CONCRETE MASONRY UNIT					STR.	STEEL
	C.O.	CASED OPENING					SUSP.	STORAGE
	COL.	COLUMN					SYM.	STRUCTURAL
	CONC.	CONCRETE						SUSPEND
	CONN.	CONNECTION						SYMMETRICAL
	CONSTR.	CONSTRUCTION						
	CONT.	CONTINUOUS						
	CORR.	CORRIDOR						
	CTSK.	COUNTERSUNK						
E	CNTR.	COUNTER	LAB.	LAV.	LABORATORY	M	TRD.	TREAD
	C.T.	CERAMIC TILE		L.F.	LAVATORY		T.B.	TOWEL BAR
	CTR.	CENTER		L.KR.	LOCKER		T.C.	TOP OF CURB
				LT.	LIGHT		TEL.	TELEPHONE
				LTG.	LIGHTING		TEMP.	TEMPERED
				LTWT.	LIGHT WEIGHT		T. & G.	TONGUE AND GROOVE
							THK.	TOILET
							TOIL.	TOILET
							T.P.	TOP OF PAVEMENT
							T.P.D.	TYPICAL
F	DBL.	DOUBLE	MAX.	MACH.	MAXIMUM	T	T.V.	TOILET PAPER DISPENSER
	DEPT.	DEPARTMENT		MEMB.	MEDICINE CABINET		T.W.	TOP OF WALL
	D.F.	DRINKING FOUNTAIN		MET.	MACHINE		TYP.	TELEVISION
	DET.	DETAIL		MFR.	MECHANICAL		T.O.B.	TOP OF BEAM
	DIA.	DIAMETER		MH.	MEMBRANE		T.O.C.	TOP OF CONCRETE
	DIM.	DIMENSION		MIN.	METAL		T.O.S.	TOP OF SLAB
	DISP.	DISPENSER		MIR.	MANUFACTURER			
	DN.	DOWN		MISC.	MANHOLE			
	D.O.	DOOR OPENING		M.L.	MINIMUM			
	DR.	DOOR		M.O.	MIRROR			
G	DWR.	DRAWER	MUL.	MTD.	MISCELLANEOUS	N	UNF.	UNFINISHED
	DS.	DOWN SPOUT			MATCH LINE		U.O.N.	UNLESS OTHERWISE NOTED
	D.S.P.	DRY STANDPIPE			MASONRY OPENING		UR.	URINAL
	DWG.	DRAWING			MOUNTED			UNDERWRITERS LAB
					MULLION			
H	E.	EAST	N	N.I.C.	NORTH	O	V.I.F.	VERIFY IN FIELD
	EA.	EACH		NO. OR #	NOT IN CONTRACT		VERT.	VERTICAL
	E.J.	EXPANSION JOINT		NOM.	NOMINAL		V.T.	VINYL TILE
	EL.	ELEVATION		N.T.S.	NOT TO SCALE		VEST.	VESTIBULE
	ELEC.	ELECTRICAL					V.B.	VAPOR BARRIER
	ELEV.	ELEVATOR						
	EMER.	EMERGENCY						
	ENCL.	ENCLOSURE						
	E.P.	ELECTRICAL PANEL BOARD						
	EQ.	EQUAL						
I	EQPT.	EQUIPMENT	O	OVERALL	OVERALL	P	PRE-CAST	PRE-CAST
	E.S.	EMERGENCY OVERFLOW		OBSCURE	ON CENTER		PROPERTY LINE	PROPERTY LINE
	E.W.C.	SCUPPER		O.C.	OUTSIDE DIMENSION		PRESSURE TREATED	PRESSURE TREATED
	EXST.	ELECTRIC WATER COOLER		O.D.	OFFICE		PLATE	PLATE
	EXP.	EXISTING		OPNG.	OPENING		PLASTER	PLASTER
	EXT.	EXPANSION		OP. HD.	OPPOSITE HAND		PLYWOOD	PLYWOOD
		EXTERIOR		OPP.	OPPOSITE		POLISHED	POLISHED
							PAIR	PAIR
							POINT	POINT
							PAPER TOWEL	PAPER TOWEL
J	F.A.	FIRE ALARM	P	PRCST.	PRE-CAST	Q	QUARRY TILE	QUARRY TILE
	F.B.	FLAT BAR		P.L.	PROPERTY LINE			
	F.D.	FLOOR DRAIN		P.T.	PLASTER			
	FDN.	FOUNDATION		P.LAM.	PLASTIC LAMINATE			
	F.E.	FIRE EXTINGUISHER		P.LAS.	PLASTER			
	F.E.C.	FIRE EXTINGUISHER CAB.		P.LYWD.	PLYWOOD			
	F.H.C.	FIRE HOSE CABINET		POL.	POLISHED			
	FIN.	FINISH		PR.	PAIR			
	FL.	FLOOR		PT.	POINT			
	FLASH.	FLASHING		P.T.D.	PAPER TOWEL			
K	FLUOR.	FLUORESCENT	PTN.	PTR.	PARTITION	Q	QUARRY TILE	QUARRY TILE
	F.O.C.	FACE OF CONCRETE			PAPER TOWEL			
	F.O.F.	FACE OF FINISH			RECEPTACLE			
	F.O.S.	FACE OF STUDS						
	FPRF.	FIREPROOF						
	F.S.	FULL SIZE						
	FT.	FOOT OR FEET						
	FTG.	FOOTING						
	FURR.	FURRING						
	FUT.	FUTURE						

insulation blanket	concrete pre cast	gravel or crushed stone	cement mortar plaster	concrete
glass large scale	insulation rigid	earth	tile	solid conc. mas. unit
marble	steel small scale	steel large scale	plywood	sheet metal
wood blocking continuous	wood blocking intermittent	brick large scale	wood finished	concrete mas. unit

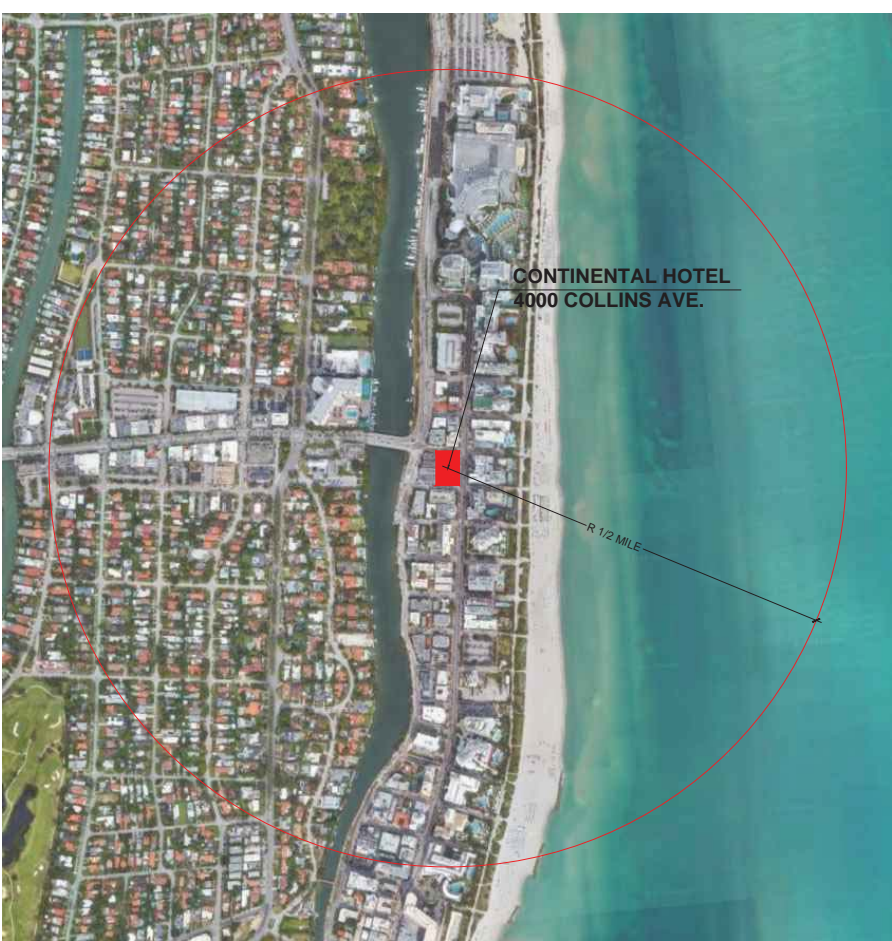
OWNER:	SPOT ON VENTURES, LLC 250 SMOKE VALLEY ROAD OSTERVILLE, MA 02655
DESIGN/PROJECT ARCHITECT:	BEILINSON GOMEZ ARCHITECTS P.A. JOSE L. GOMEZ AR0015416 8101 BISCAYNE BLVD., SUITE 309-310 MIAMI, FL 33138-4664 TEL. (305) 559-1250 FAX. (305) 551-1740

ARCHITECTURAL	
A-000	COVER
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R-003	RENDERINGS
R-004	RENDERINGS
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DOOR SYMBOL	wall construction	wall type
room name / finish schedule	room number bathroom	exterior & interior elevation symbol
bldg. / partial & detail section symbol	detail number a-3	detail number a-3 sheet number
notes	legend letter/ number	COLUMN REFERENCE
notes	legend letter/ number	ELEVATION
DRAWING REVISION	REVISION NUMBER	REVISION NUMBER

GOVERNING ZONING CODE:	MIAMI BEACH, FLORIDA CODE OF ORDINANCE
BUILDING CODE:	FLORIDA BUILDING CODE 2020.7TH EDITION
EXISTING BUILDING:	FLORIDA BUILDING CODE: EXISTING BUILDING CODE 2020
STRUCTURAL:	FLORIDA BUILDING CODE 2020.7TH EDITION
PLUMBING:	FLORIDA BUILDING CODE 2020.7TH EDITION - PLUMBING
MECHANICAL:	FLORIDA BUILDING CODE 2020.7TH EDITION - MECHANICAL
ELECTRICAL:	FLORIDA BUILDING CODE - 2020.7TH EDITION - ELECTRICAL
ACCESSIBILITY:	FLORIDA BUILDING CODE 2020 - CHAPTER 11 FACBC
FIRE PROTECTION:	FLORIDA FIRE PREVENTION CODE - 2020.7TH EDITION

PROJECT INFORMATION	
SCOPE OF WORK	
THE PROJECT CONSISTS OF A PROPOSED ROOF TERRACE (ASSEMBLY USE) WITH AN ENCLOSED BAR. THIS WORK WILL ALSO INCLUDE THE EXTENSION OF AN EXISTING ELEVATOR FROM THE LAST HOTEL LEVEL TO THE PROPOSED ELEVATION OF ROOF TERRACE.	
LEGAL DESCRIPTION	
"HOTEL UNIT" OF 4000 COLLINS CONDOMINIUM. A CONDOMINIUM TOGETHER WITH AN UNDIVIDED INTEREST IN THE COMMON ELEMENTS APPURTENANT THERETO, ACCORDING TO THE DECLARATION OF CONDOMINIUM RECORDED IN OFFICIAL RECORDS BOOK 33153, PAGE 4459, AS AMENDED FROM TIME TO TIME, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, SAID PARCEL OF LAND WHOLLY WITHIN, LOTS 10 THRU 15 INCLUSIVE, BLOCK 34, LESS A PART OF LOT 13 AT THE NORTHEASTERLY CORNER THEREOF, BOUNDED BY THE TANGENTS TO AN ARC OF A CIRCULAR CURVE HAVING A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 20.00 FEET, SAID EXCEPTED PART OF LOT 13 RECORDED IN DEED BOOK 2723, AT PAGE 294, DADE COUNTY, FLORIDA, ALL SHOWN ON THE AMENDED MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT CO., PLAT BOOK 5, AT PAGE 7 AND 8 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.	
TOGETHER WITH: ANY AND ALL REAL PROPERTY INTERESTS PURSUANT TO THAT CERTAIN PARKING LICENSE AGREEMENT, AS EVIDENCED BY THAT CERTAIN MEMORANDUM OF PARKING LICENSE AGREEMENT DATED ____ 2022, AND RECORDED IN BOOK ____, PAGE ____, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.	







EXISTING  
BLDG SIGN

EXISTING  
BLDG SIGN

## 4000 COLLINS AVENUE

4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

BEILINSON  
GOMEZ



BEILINSON GOMEZ ARCHITECTURE  
8101 BISCAYNE BLVD. S. 309.310  
MIAMI BEACH, FL 33138-4434  
T 305.559.1250 F 305.551.1740

DWG. TITLE		RENDERINGS
SCALE		N.T.S.
PROJECT NO.		2022-22
DATE		02-10-23
SHEET NUMBER		R-001
DATE	REVISION	





4000 COLLINS AVENUE  
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MIAMI BEACH, FL 33140

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BEILINSON GOMEZ ARCHITECTS P.A. 8101 BISCAYNE BLVD. S. 309, 310  
MIAMI BEACH, FL 33138-4494 T 305.559.1250 F 305.551.1740

DWG. TITLE		RENDERINGS
SCALE		VARIES
PROJECT NO.		2022-22
DATE		02-10-23
SHEET NUMBER		R-002
DATE	REVISION	





4000 COLLINS AVENUE

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MIAMI BEACH, FL 33140

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DWG. TITLE	
	RENDERINGS
SCALE	
	N.T.S.
PROJECT NO.	
	2022-22
DATE	
	02-10-23
SHEET NUMBER	
	R-003
DATE	REVISION





4000 COLLINS AVENUE

4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

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GOMEZ

ARCHITECTURE



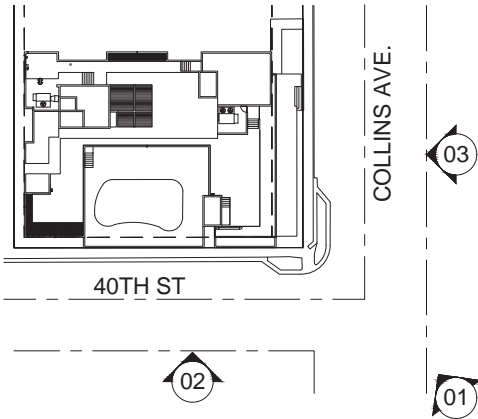
JOSE L. GOMEZ

		DWG. TITLE	RENDERINGS
		SCALE	N.T.S.
		PROJECT NO.	
		DATE	02-10-23
		SHEET NUMBER	R-004
DATE	REVISION		





RENDERING 01



KEY PLAN



RENDERING 02



RENDERING 03

4000 COLLINS AVENUE  
4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

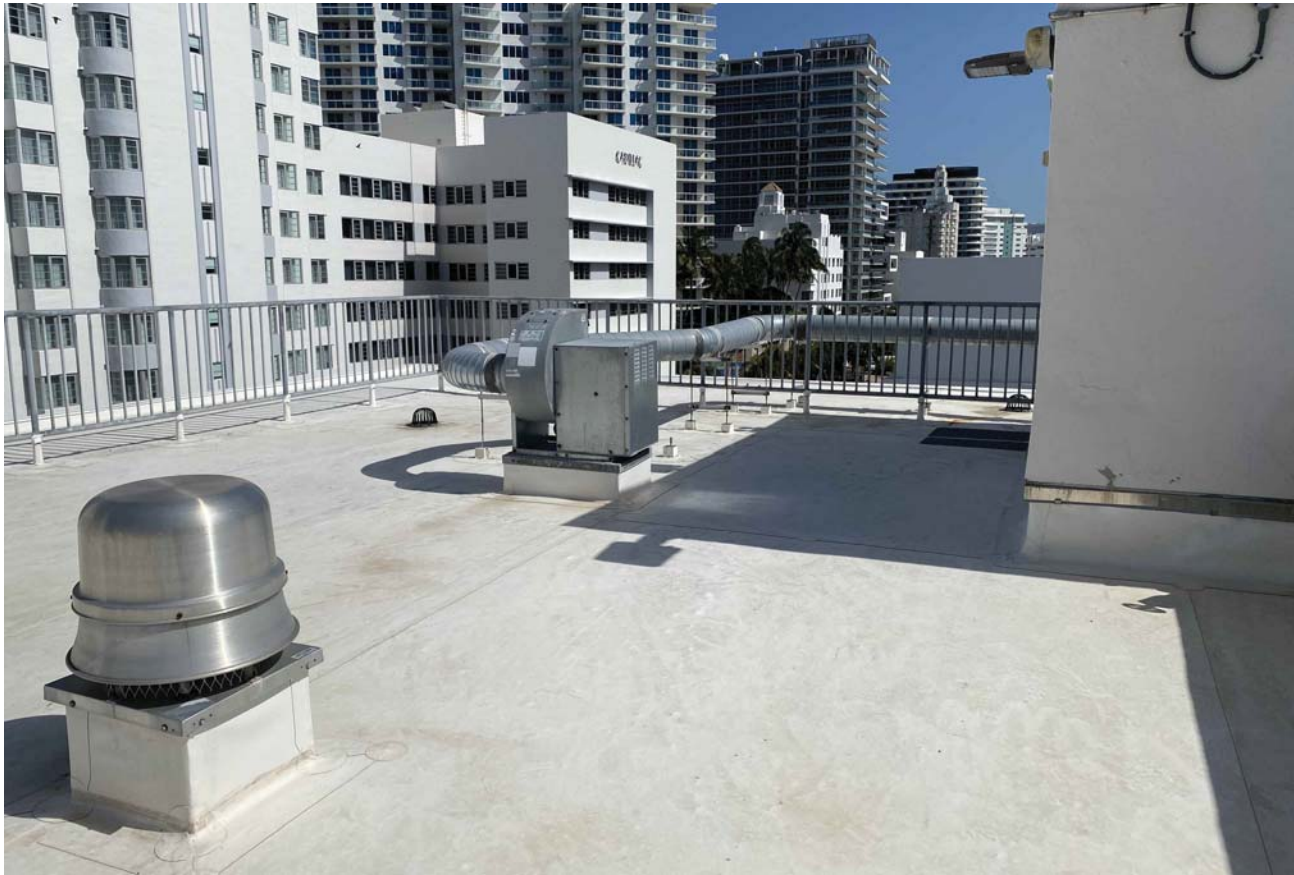
BEILINSON  
GOMEZ



ARCHITECTURE  
A A C 0 0 1 0 6 2  
J O S E L G O M E Z

DWG. TITLE	
	RENDERINGS
SCALE	
	N.T.S.
PROJECT NO.	
	2014-28
DATE	
	02-10-23
SHEET NUMBER	
	R-005
DATE	REVISION





01



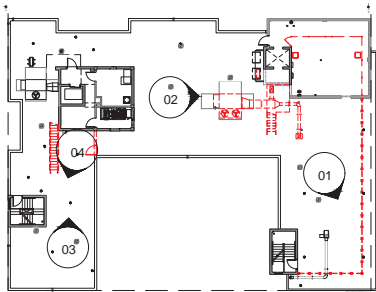
02



03



04



KEY PLAN





SOUTH-EAST VIEW



SOUTH-WEST VIEW



NORTH-WEST VIEW



NORTH-EAST VIEW



# 4000 COLLINS AVENUE

4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

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8101 BISCAYNE BLVD. S. 309.310  
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DWG. TITLE  
AERIAL PHOTOGRAPHS  
SCALE  
N.T.S.  
PROJECT NO.  
2022-22  
DATE  
02-10-23  
SHEET NUMBER

A-003





01



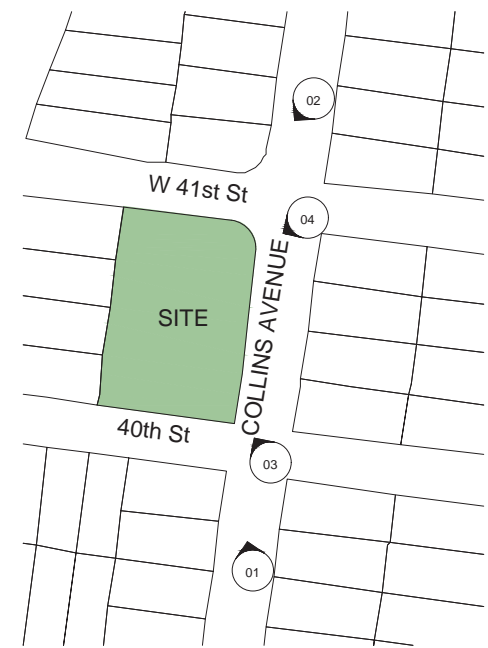
02



03



04



KEY PLAN

CONSULTANT

4000 COLLINS AVENUE

4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

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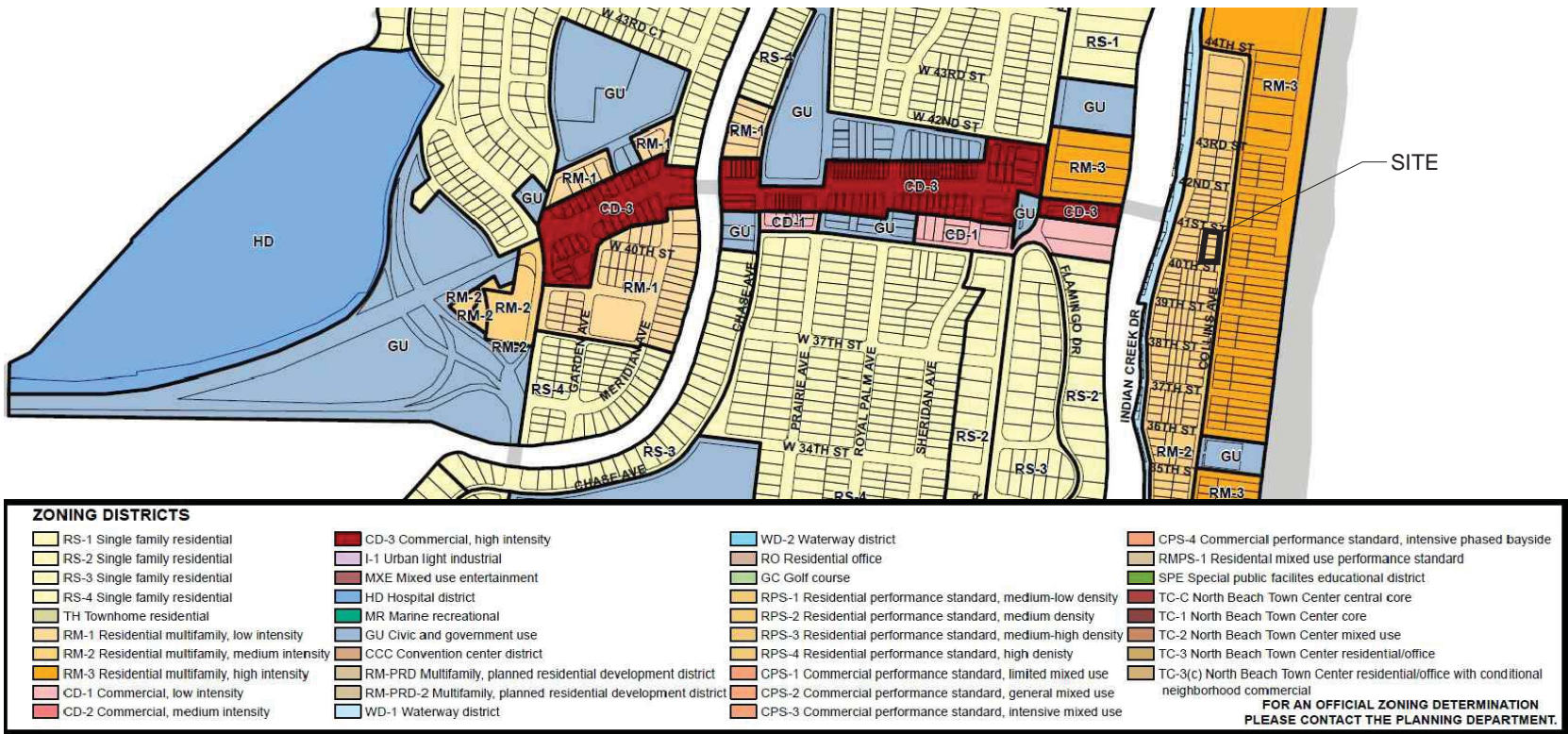
8101 BISCAYNE BLVD. S 309.310  
MIAMI BEACH, FL 33133  
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JOSE L. GOMEZ

DWG. TITLE	CONTEXT PHOTOGRAPHS
SCALE	N.T.S.
PROJECT NO.	2022-22
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DATE	REVISION





#### LOCAL HISTORIC DISTRICTS

- |  |   |
|--|---|
| Espanola Way Historic District               | Palm View Historic District                       |
| Altos del Mar Historic District              | Collins Waterfront Historic District              |
| Flamingo Park Historic District              | North Beach Resort Historic District              |
| Ocean Drive/Collins Avenue Historic District | Flamingo Waterway Historic District               |
| Museum Historic District                     | Morris Lapidus/Mid 20th Century Historic District |
| Ocean Beach Historic District                | North Shore Historic District                     |
| Harding Townsite Historic District           | Normandy Isles Historic District                  |

#### NATIONAL REGISTER HISTORIC DISTRICTS

- |   |
|---|
| Miami Beach Architectural District        |
| Normandy Isles Historic District          |
| North Shore Historic District             |
| Collins Waterfront Architectural District |

#### LOCAL HISTORIC SITES

- |   |   |
|---|---|
| 1 Old City Hall Historic Site               | 8 Dade Blvd Fire Station Historic Site                    |
| 2 21st St Recreation Center Historic Site   | 9 PineTree Dr Historic Roadway                            |
| 3 Congregation Beth Jacob Historic Site     | 10 Flagler Memorial and Monument Island Historic Site     |
| 4 Venetian Causeway Historic Site           | 11 69th St Fire Station Historic Site                     |
| 5 Miami Beach Woman's Club Historic Site    | 12 28th St Obelisk and Pumping Station Historic Structure |
| 6 Sunset Island Bridges Historic Structures | 13 1600 Lenox Ave Historic Site                           |
| 7 The Bath Club Historic Site               | 14 36 Ocean Dr Historic Site                              |
|   | 15 1700 Alton Rd Historic Site                            |

### 4000 COLLINS AVENUE

4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

BEILINSON  
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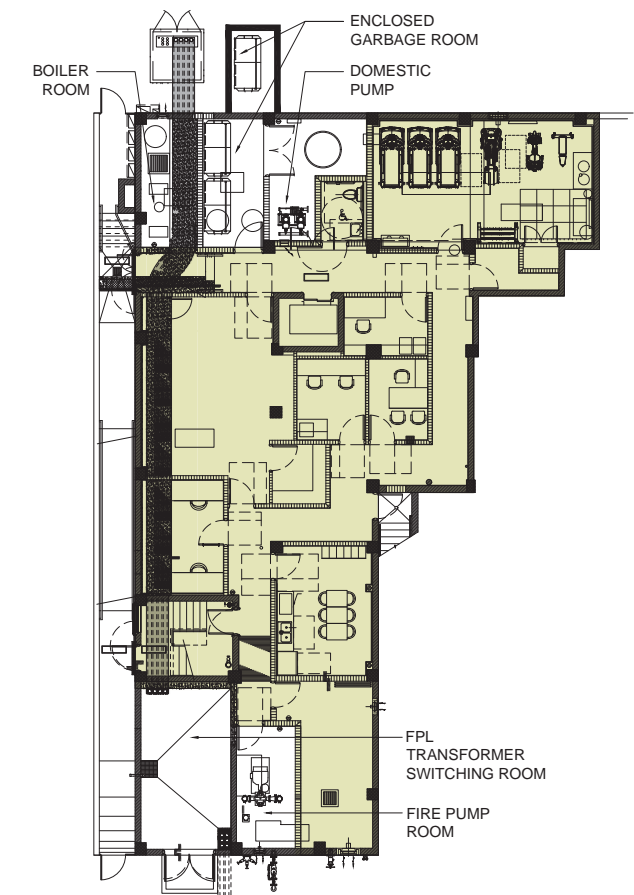


DWG. TITLE	ZONING MAPS
SCALE	N.T.S.
PROJECT NO.	
DATE	02-10-23
SHEET NUMBER	A-005

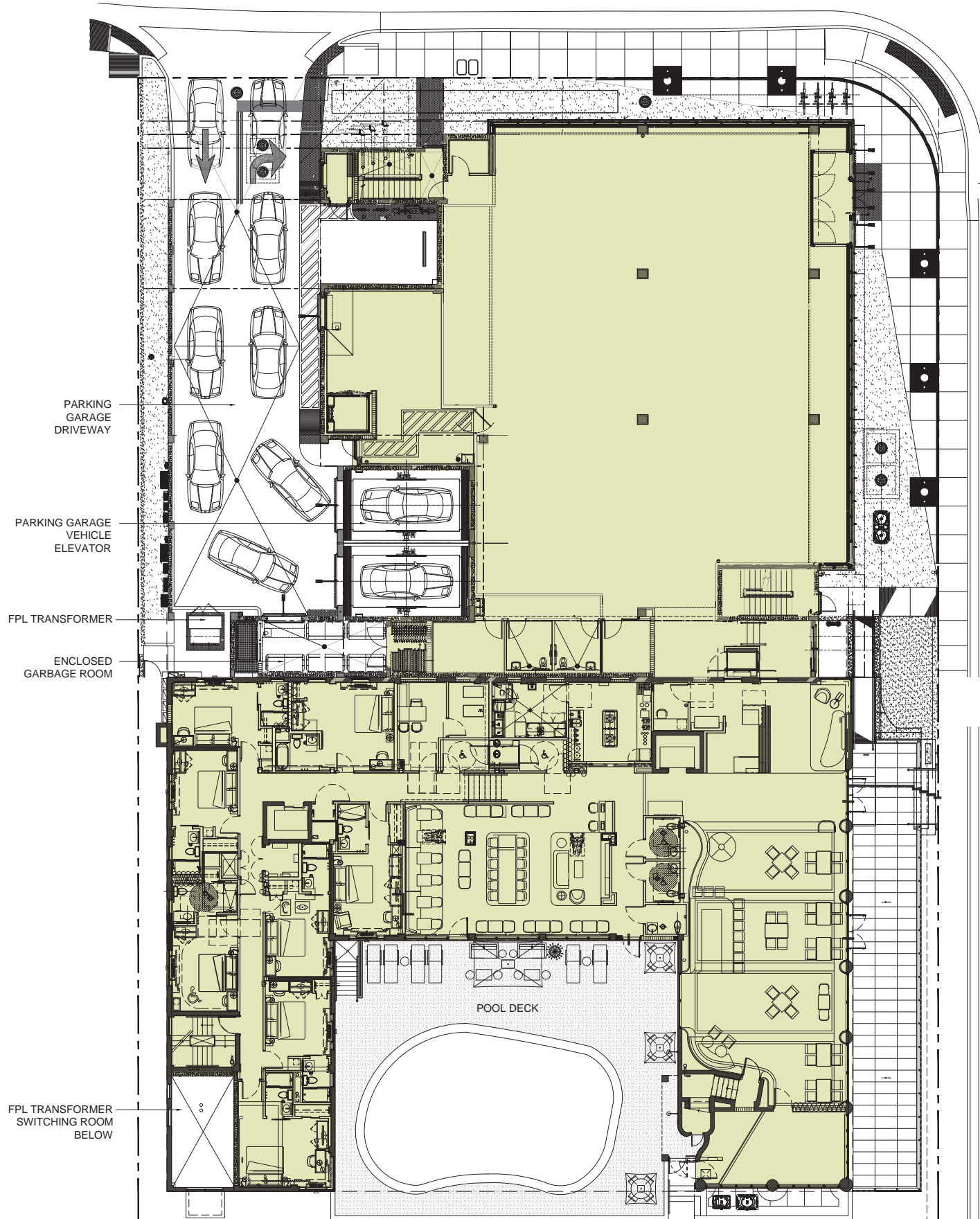


LOT SIZE 27,926 S.F.			
MAX ALLOWED			
FAR 2.0 = 55,852 S.F.			
EXISTING FLOOR AREA			
EXISTING HOTEL		EXISTING PARKING GARAGE BLDG	
BASEMENT (HALF) 1,374 S.F.			
GROUND	7,820 S.F.	GROUND	7,750 S.F.
SECOND	8,185 S.F.	SECOND	2,462 S.F.
THIRD	8,185 S.F.	THIRD	443 S.F.
FOURTH	7,962 S.F.	FOURTH	443 S.F.
FIFTH	7,962 S.F.	ROOF	N/A
ROOF	860 S.F.		
<hr/>		<hr/>	
42,348 S.F.		11,098 S.F.	
TOTAL EXISTING FLOOR AREA 42,348+11,098 = 53,446 S.F.			

NOTE: SEE A-006.3 FOR PROPOSED FLOOR AREA CALCULATIONS.



BASEMENT 1,374 S.F.



GROUND LEVEL 15,570 S.F.

## 4000 COLLINS AVENUE

4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

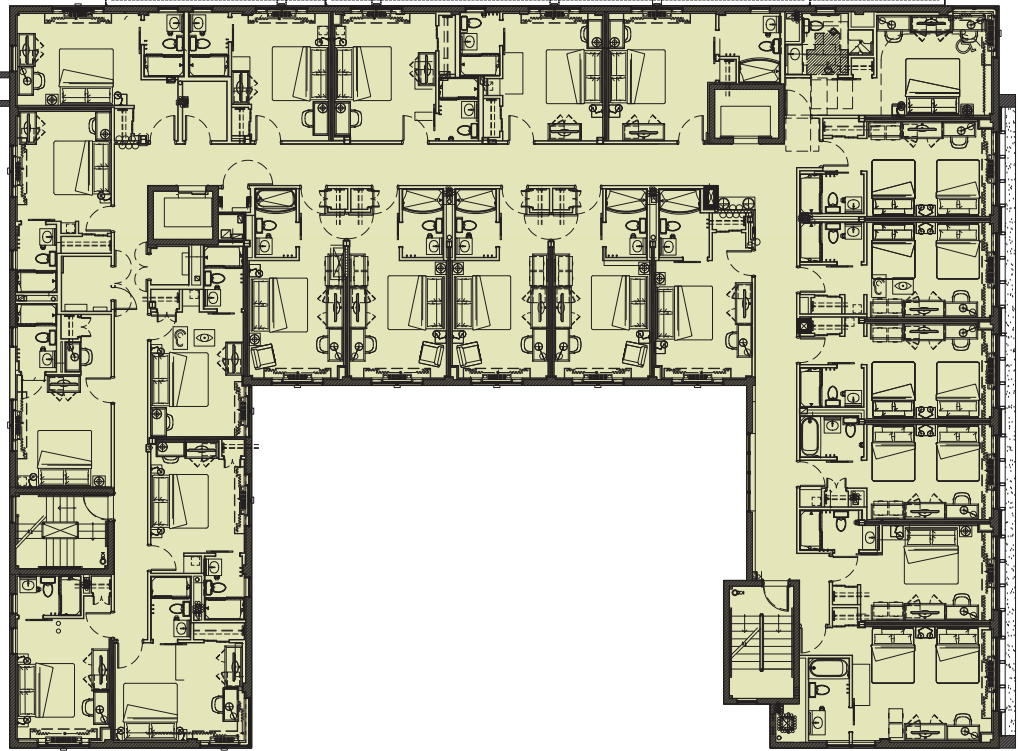
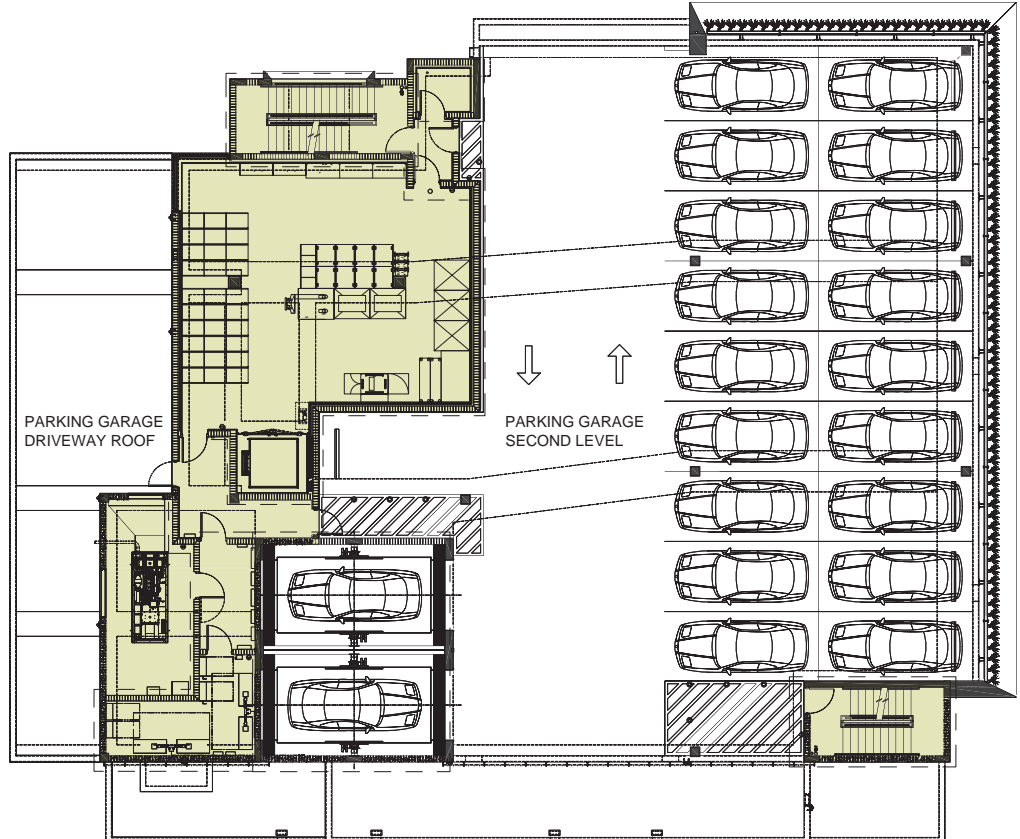
BEILINSON  
GOMEZ



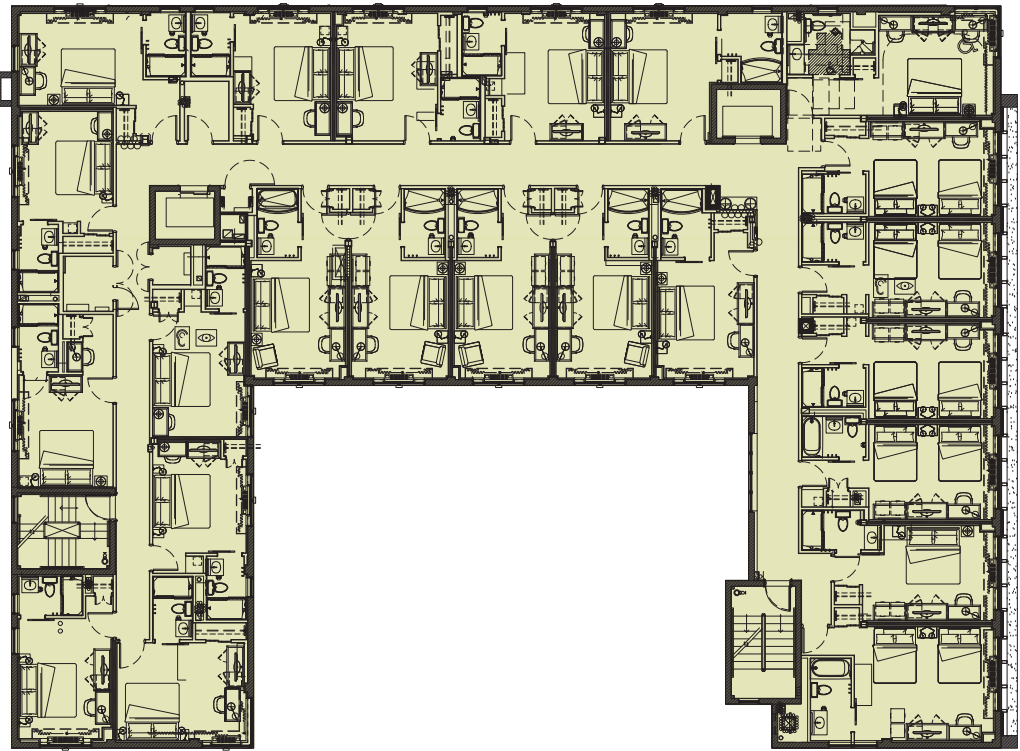
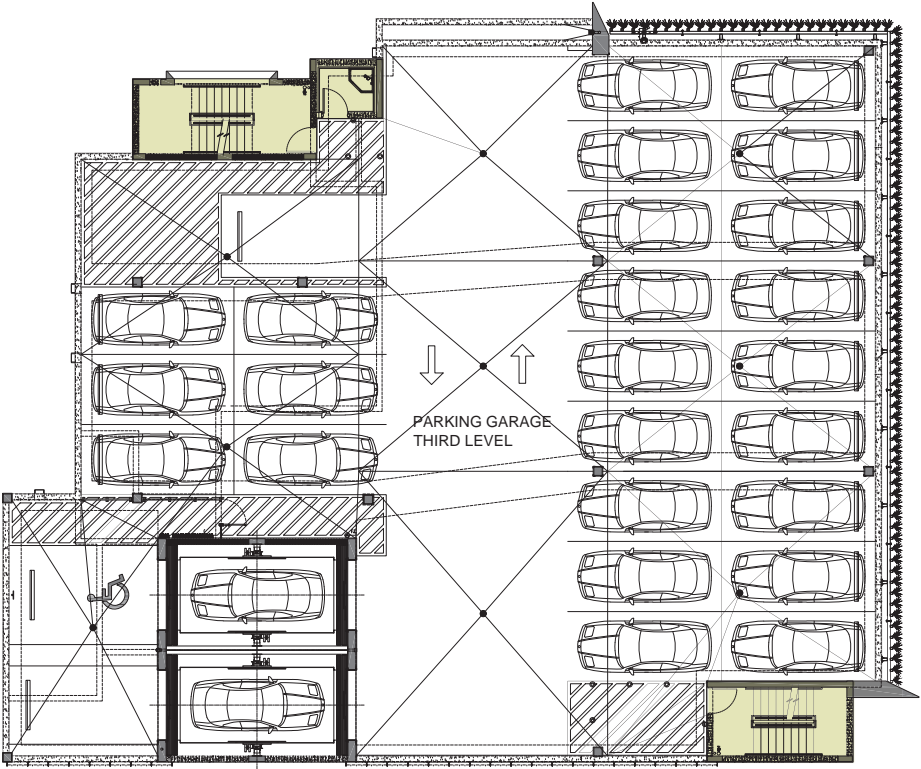
BEILINSON GOMEZ ARCHITECTURE  
8101 BISCAYNE BLVD. S. 309.310  
A/C 001062 T 305.559.1250 F 305.551.1740

DWG. TITLE		FLOOR AREA DIAGRAMS
SCALE		N.T.S.
PROJECT NO.		2022-22
DATE		02-10-23
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DATE	REVISION	





2TH LEVEL 10,647 S.F.



3TH LEVEL 8,628 S.F.

4000 COLLINS AVENUE

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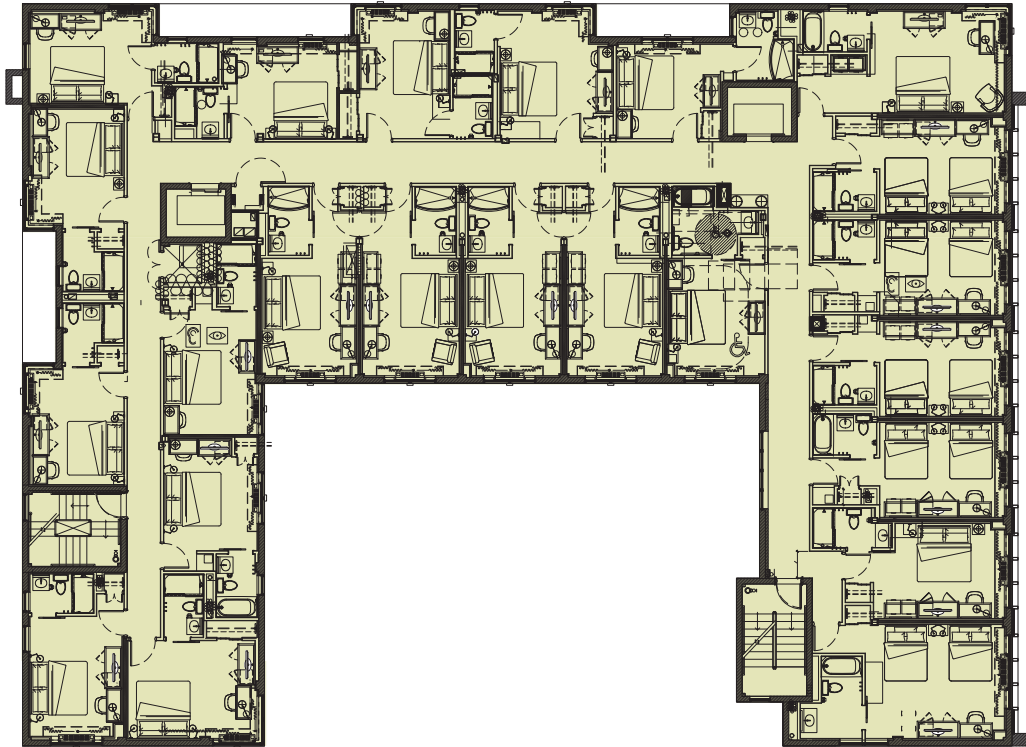
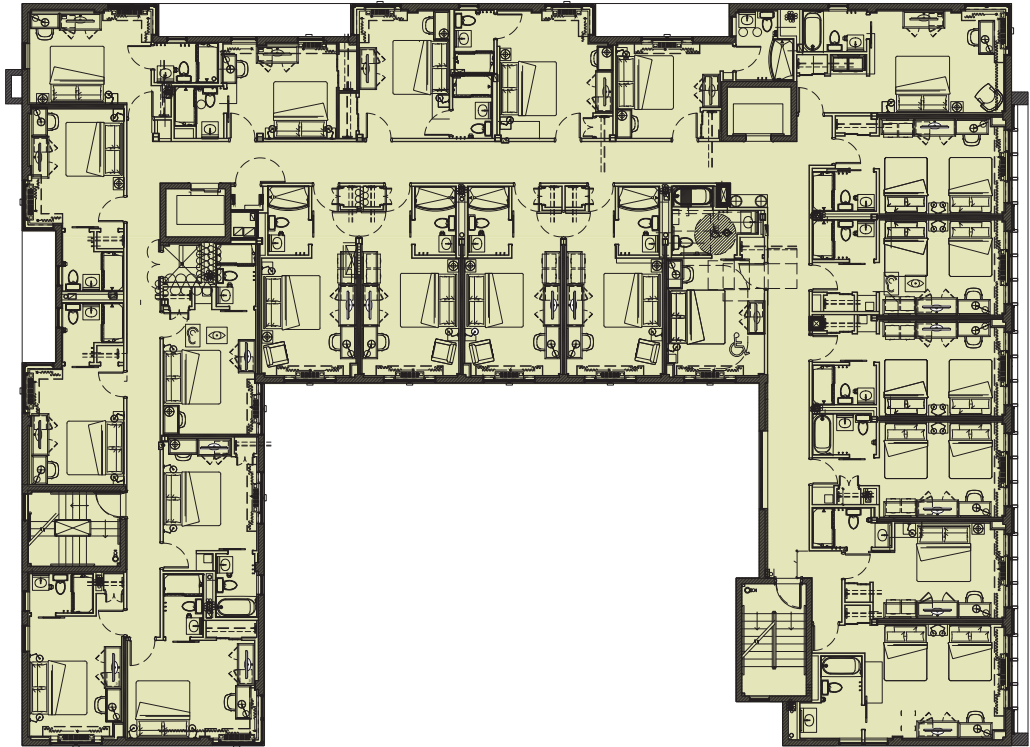
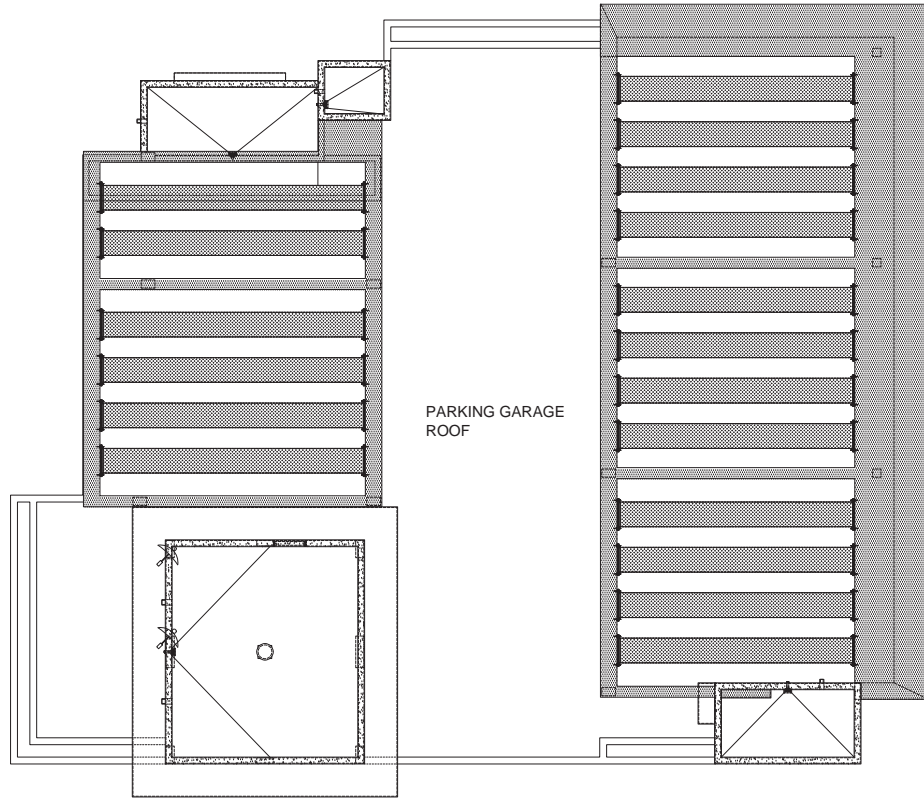
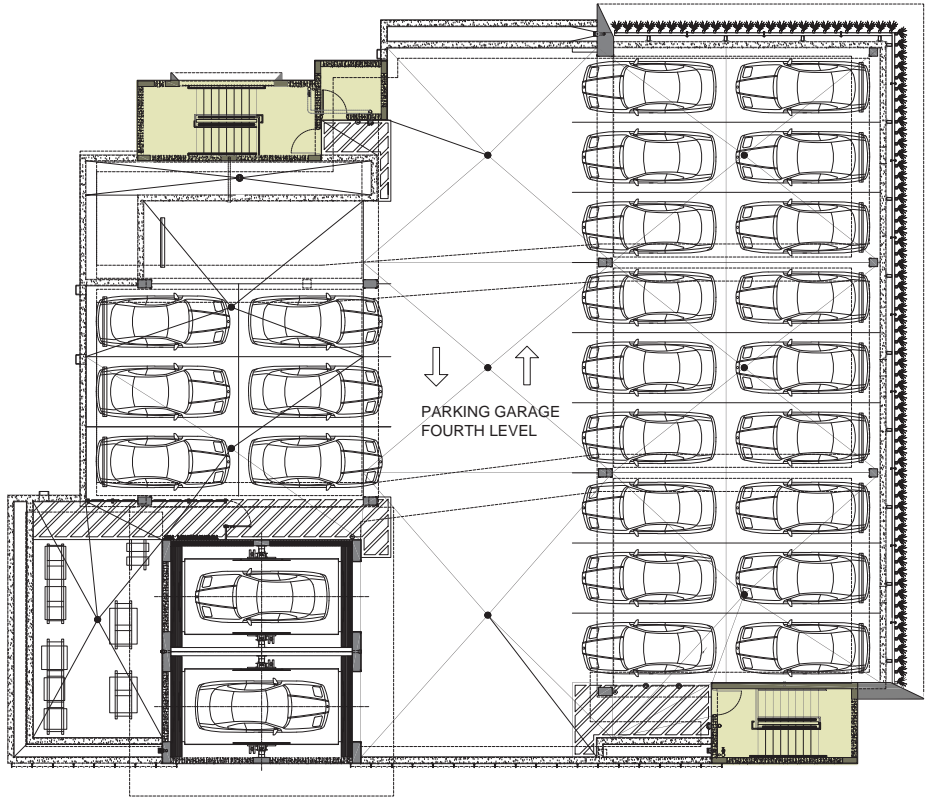
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A A C 0 0 1 0 6 2 T 305.559.1250 F 305.551.1740 JOSE L. GOMEZ

DWG. TITLE	
FLOOR AREA DIAGRAMS	
SCALE	
N.T.S.	
PROJECT NO.	
2022-22	
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A-006.1	
DATE	REVISION





4TH LEVEL 8,405 S.F.

5TH LEVEL 7,962 S.F.

## 4000 COLLINS AVENUE

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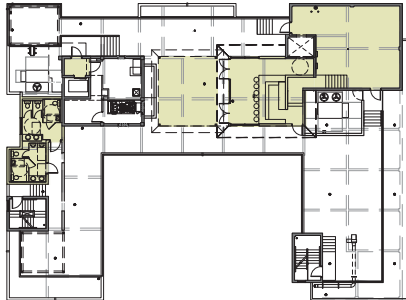


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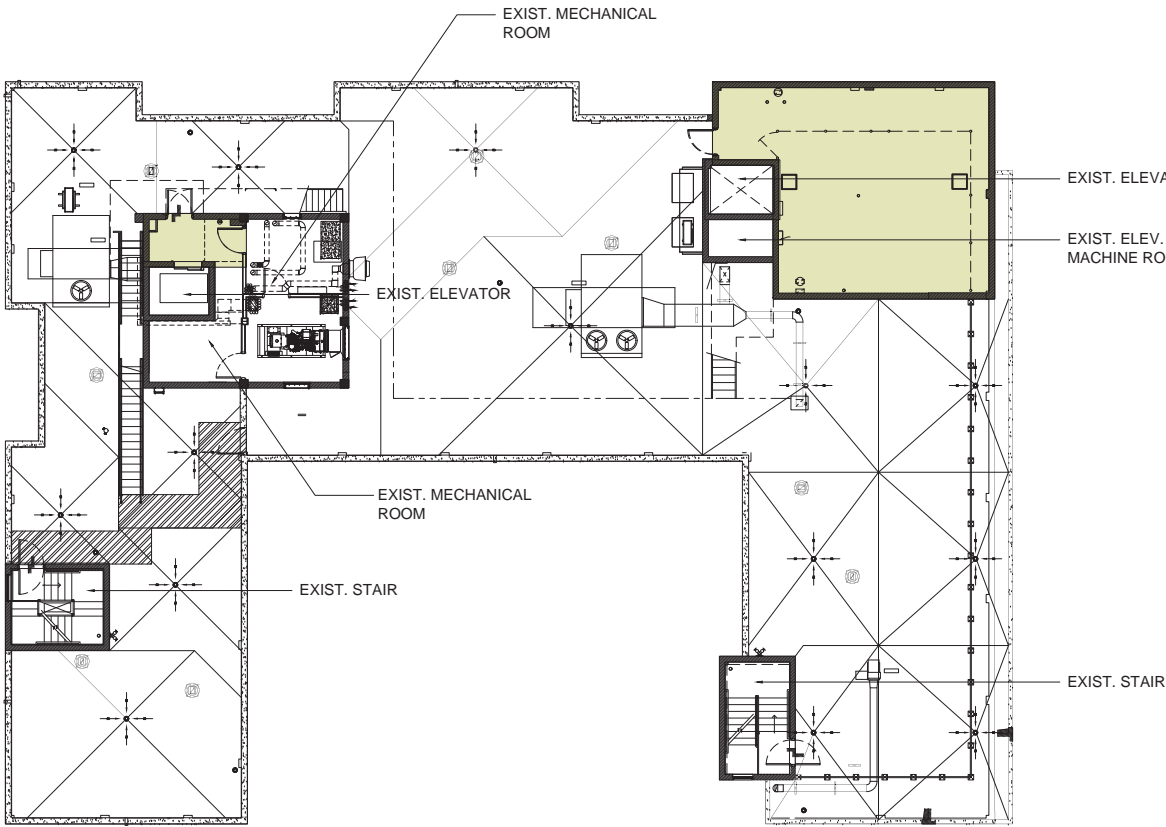
DWG. TITLE		FLOOR AREA DIAGRAMS
SCALE		N.T.S.
PROJECT NO.		2022-22
DATE		02-10-23
SHEET NUMBER		A-006.2
DATE	REVISION	



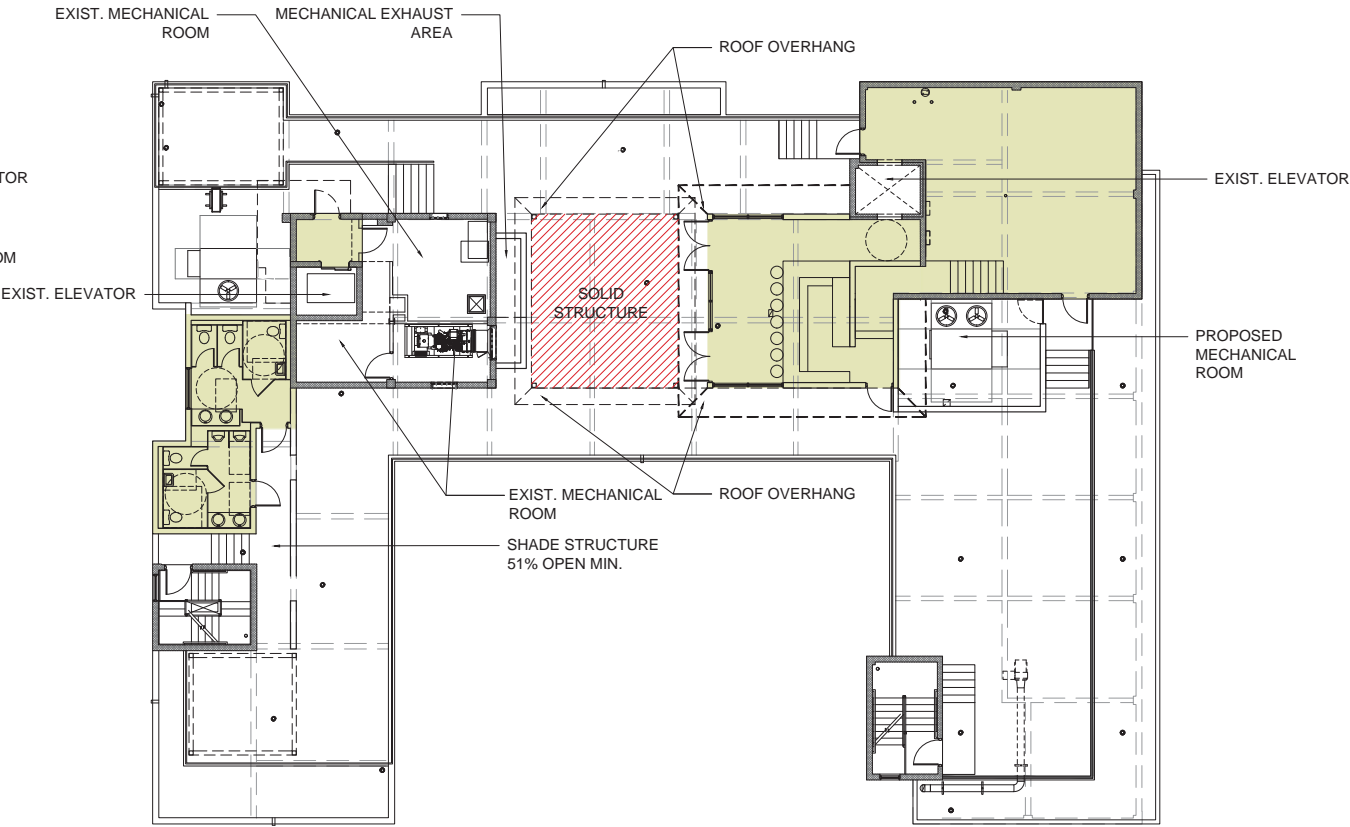
PROPOSED FLOOR AREA		EXISTING	FAR PROPOSED 1.96
EXISTING HOTEL			
BASEMENT (HALF)	1,374 S.F.		
GROUND	7,820 S.F.		
SECOND	8,185 S.F.		
THIRD	8,185 S.F.		
FOURTH	7,962 S.F.		
FIFTH	7,962 S.F.		
PROPOSED ROOF	2,119 S.F.		
TOTAL	43,607 S.F.		
TOTAL PROPOSED FLOOR AREA 43,607 + 11,098 = 54,705 S.F.			




PROPOSED ROOF LEVEL 2,119 S.F.



EXISTING ROOF LEVEL 860 S.F.



 SOLID CANOPY 375 S.F. + ENCLOSED SPACES 1,744 S.F. = TOTAL 2,119 S.F.  
PROPOSED ROOF LEVEL 2,119 S.F.

4000 COLLINS AVENUE  
4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

BEILINSON  
GOMEZ



BEILINSON GOMEZ ARCHITECTURE  
8101 BISCAYNE BLVD. S. 309, 310  
MIAMI, FL 33138 • 469.4  
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DWG. TITLE		FLOOR AREA DIAGRAMS
SCALE		N.T.S.
PROJECT NO.		2022-22
DATE		02-10-23
SHEET NUMBER		A-006.3
△ DATE	REVISION	



ITEM #	Zoning Information			
1	Address:	4000 COLLINS AVENUE		
2	Board and file numbers :	HPB22-0551		
3	Folio number(s):	02-3226-001-1930		
4	Year constructed:	1948	Zoning District:	RM-2
5	Based Flood Elevation:	7.0 NGVD	Grade value in NGVD:	3.5' NGVD
6	Adjusted grade (Flood+Grade/2):	5.25' NGVD	Lot Area:	27,926 S.F.
7	Lot width:	200'-0"	Lot Depth:	140'-0"
8	Minimum Unit Size	N/A	Average Unit Size	N/A
9	Existing use:	HOTEL	Proposed use:	HOTEL

		Maximum	Existing	Proposed	Deficiencies
10	Height	75'-0"	EXISTING	EXISTING	
11	Number of Stories	8	5	6	
12	FAR	2.00	1.91	1.96	
13	Gross square footage	55,852 S.F.	53,446 S.F.	54,705 S.F.	
14	Square Footage by use	N/A	N/A	N/A	
15	Number of units Residential	N/A	N/A	N/A	
16	Number of units Hotel	N/A	N/A	N/A	
17	Number of seats	N/A	N/A	N/A	
18	Occupancy load	N/A	N/A	N/A	

	Setbacks	Required	Existing	Proposed	Deficiencies
	Subterranean:				
19	Front Setback:	20'-0"	N/A	N/A	
20	Side Setback:	16'-0" (8%)	EXISTING	EXISTING TO REMAIN	
21	Side Setback:	N/A	N/A	N/A	
22	Side Setback facing street:	40TH ST 16'-0" (8%)	5'-0" PER HPB 21-0480	EXISTING TO REMAIN	
23	Rear Setback:	14'-0"	5'-0" PER HPB 21-0481	EXISTING TO REMAIN	
	At Grade Parking:				
24	Front Setback:	N/A	N/A	N/A	
25	Side Setback:	N/A	N/A	N/A	
26	Side Setback:	N/A	N/A	N/A	
27	Side Setback facing street:	N/A	N/A	N/A	
28	Rear Setback:	N/A	N/A	N/A	
	Pedestal:				
29	Front Setback:	20'-0"	15'-0" PER HPB 21-0480	EXISTING TO REMAIN	
30	Side Setback:	16'-0" (8%)	EXISTING	EXISTING TO REMAIN	
31	Side Setback:	N/A	N/A	N/A	
32	Side Setback facing street:	40TH ST 16'-0" (8%)	5'-0" PER HPB 21-0480	EXISTING TO REMAIN	
33	Rear Setback:	14'-0"	5'-0" PER HPB 21-0480	EXISTING TO REMAIN	
	Tower:				
34	Front Setback:	N/A	N/A	N/A	
35	Side Setback:	N/A	N/A	N/A	
36	Side Setback:	N/A	N/A	N/A	
37	Side Setback facing street:	N/A	N/A	N/A	
38	Rear Setback:	N/A	N/A	N/A	

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district	PARKING DISTRICT 1			
40	Total # of parking spaces	N/A	N/A	N/A	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	
43	Parking Space Dimensions	N/A	N/A	N/A	
44	Parking Space configuration (45o,60o,90o,Parallel)	N/A	N/A	N/A	
45	ADA Spaces	N/A	N/A	N/A	
46	Tandem Spaces	N/A	N/A	N/A	
47	Drive aisle width	N/A	N/A	N/A	
48	Valet drop off and pick up	N/A	N/A	N/A	
49	Loading zones and Trash collection	N/A	N/A	N/A	
50	racks	N/A	N/A	N/A	

	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	ROOF LEVEL	NONE	RESTAURANT/ ROOF TERRACE	
52	Number of seats located outside on private property		NONE	NONE	
53	Number of seats inside		NONE	7	
54	Total number of seats		NONE		
55	Total number of seats per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	
56	Total occupant content	ROOF LEVEL	NONE	265 OCCUPANTS AS PER FBC B. TABLE 1004.5	
57	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	

58	Proposed hours of operation	
59	Is this an NIE? (Neighborhood Impact establishment, see CMB 141-1361)	NO
60	Is dancing and/or entertainment proposed	NO
61	Is this a contributing building?	Yes or No
62	Located within a Local Historic District?	Yes or No

## 4000 COLLINS AVENUE

4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

BEILINSON  
GOMEZ



BEILINSON  
GOMEZ  
ARCHITECTURE  
A/C001062

8101 BISCAYNE BLVD. S. 309.310  
MIAMI BEACH, FL 33138-4494  
T 305.559.1250 F 305.551.1740

JOSE L. GOMEZ

DWG. TITLE  
ZONING CHART

SCALE  
N.T.S.

PROJECT NO.

DATE  
2022-22

SHEET NUMBER  
02-10-23

A-007

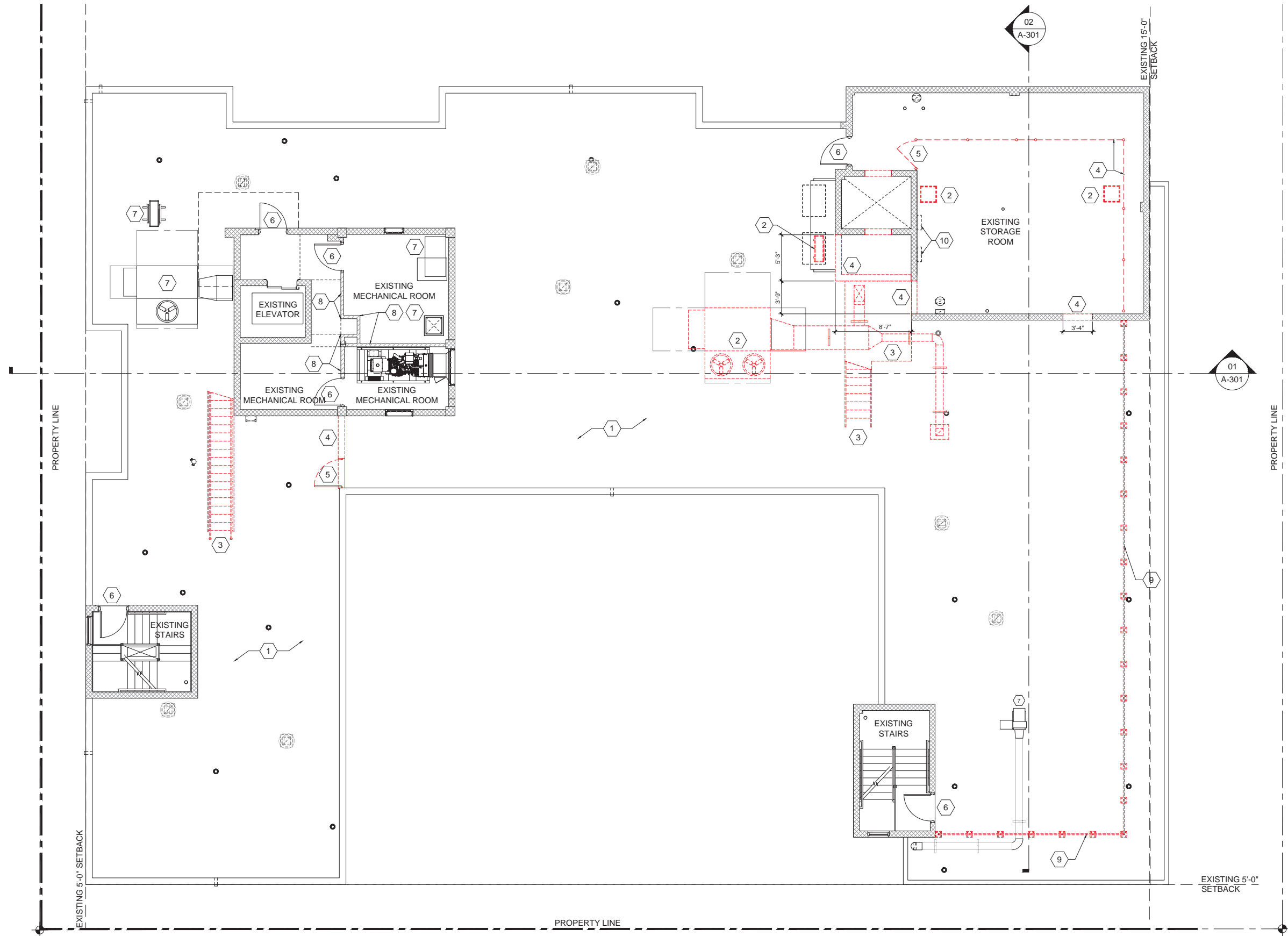
CONSULTANT

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DATE

REVISION





- LEGENDS:**
- EXISTING WALL / PARTITION TO BE DEMOLISHED
  - EXISTING INTERIOR PARTITION TO REMAIN
  - EXISTING CMU / CONCRETE WALL TO REMAIN
  - EXISTING DOOR AND FRAME TO REMAIN
  - EXISTING STRUCTURAL COLUMNS TO REMAIN
  - EXISTING DOOR AND FRAME TO BE REMOVED
- DEMOLITION KEY NOTES:**
- EXISTING ROOF TO BE PATCH & REPAIR AS REQUIRED
  - EXISTING MECHANICAL EQUIPMENT TO BE RELOCATED
  - EXISTING SERVICE STAIR/METAL PLATFORM TO BE REMOVED
  - EXISTING CMU/CONCRETE WALL TO BE DEMOLISHED
  - EXISTING DOOR TO BE REMOVED
  - EXISTING DOOR TO REMAIN
  - EXISTING MECHANICAL EQUIPMENT TO REMAIN
  - EXISTING INTERIOR PARTITION TO REMAIN
  - EXISTING RAILING TO BE REMOVED
  - EXISTING ELECTRICAL PANELS TO REMAIN

DEMOLITION ROOF PLAN

4000 COLLINS AVENUE  
4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

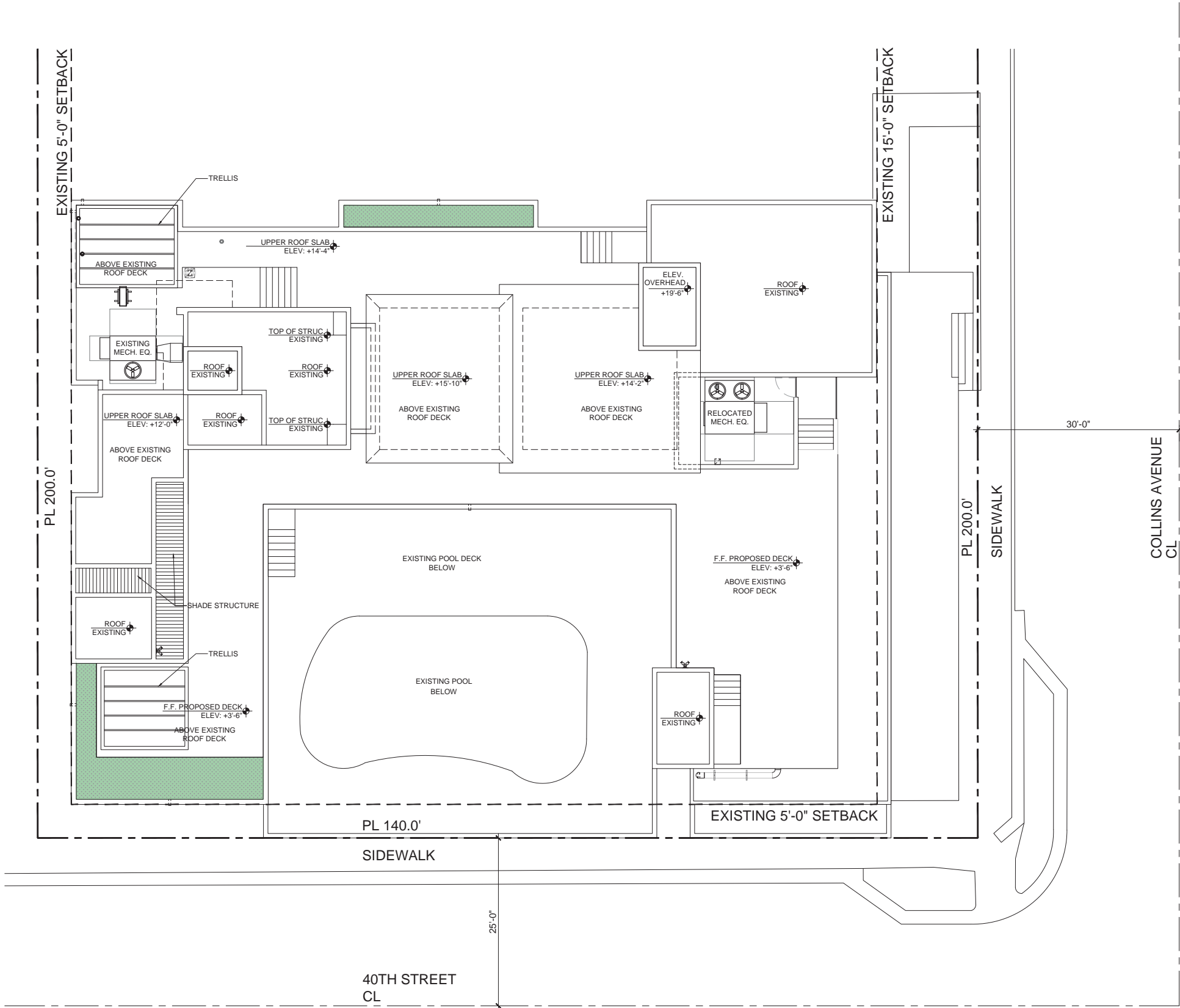
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A A C 0 0 1 0 6 2 T 305.559.1250 F 305.551.1740 JOSE L. GOMEZ

DWG. TITLE	EXISTING DEMO ROOF PLAN
SCALE	3/16"=1'-0"
PROJECT NO.	2022-22
DATE	02-10-23
SHEET NUMBER	ED-104
DATE	REVISION





LEGAL DESCRIPTION

"HOTEL UNIT" OF 4000 COLLINS CONDOMINIUM , A CONDOMINIUM TOGETHER WITH AN UNDIVIDED INTEREST IN THE COMMON ELEMENTS APPURTENAN T THERETO, ACCORDING TO THE DECLARATION OF CONDOMINIUM RECORDED IN OFFICIAL RECORDS BOOK 33153, PAGE 4459, AS AMENDED FROM TIME TO TIME, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA,

SAID PARCEL OF LAND WHOLLY WITHIN,

LOTS 10 THRU 15 INCLUSIVE ,BLOCK 34, LESS A PART OF LOT 13 AT THE NORTHEASTERLY CORNER THEREOF, BOUNDED BY THE TANGENTS TO AN ARC OF A CIRCULAR CURVE HAVING A CENTRAL ANGLE OF 90°00'00" ,A RADIUS OF 20.00 FEET, SAID EXCEPTED PART OF LOT 13 RECORDED IN DEED BOOK 2723, AT PAGE 294, DADE COUNTY, FLORIDA, ALL SHOWN ON THE AMENDED MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT CO., PLAT BOOK 5, AT PAGE 7 AND 8 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.

TOGETHER WITH:

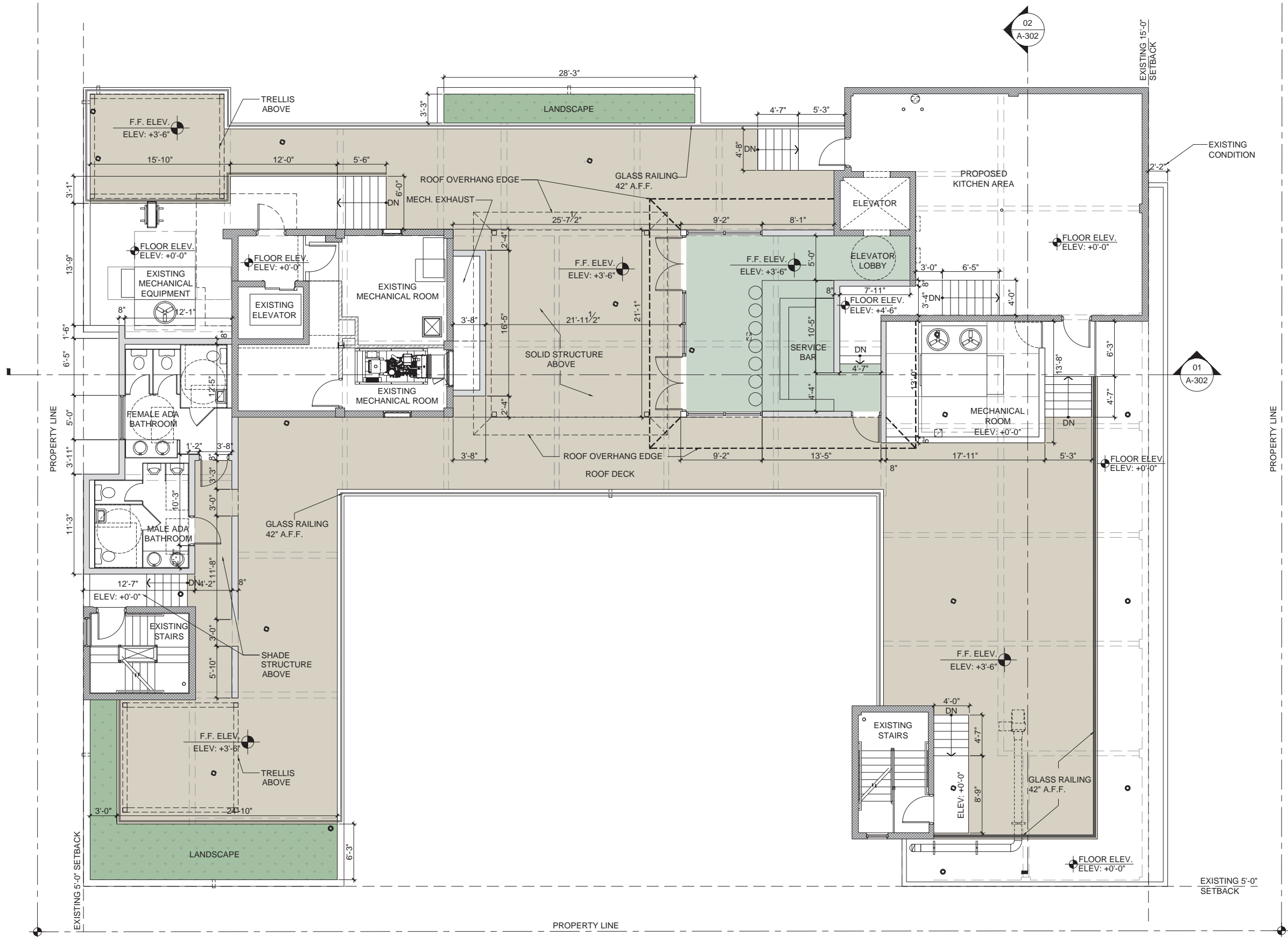
ANY AND ALL REAL PROPERTY INTERESTS PURSUANT TO THAT CERTAIN PARKING LICENSE AGREEMENT , AS EVIDENCED BY THAT CERTAIN MEMORANDUM OF PARKING LICENSE AGREEMENT DATED\_\_\_\_,2022, AND RECORDED IN BOOK \_\_, PAGE \_\_\_\_, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

NOTE:  
ALL ELEVATIONS ARE SHOWN ABOVE EXISTING ROOF (EXISTING ROOF 0'-0")

SITE PLAN WITH PROPOSED ROOF DECK

SCALE 1/8"=1'-0"





- LEGENDS:**
- NEW INTERIOR PARTITION
  - EXISTING PARTITION/STRUCTURE TO REMAIN
  - NEW 8" CMU WALL
  - STAIR DIRECTION

**NOTE:**  
ALL ELEVATIONS ARE SHOWN ABOVE EXISTING ROOF (EXISTING ROOF 0'-0")

PROPOSED ROOF PLAN

4000 COLLINS AVENUE

4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

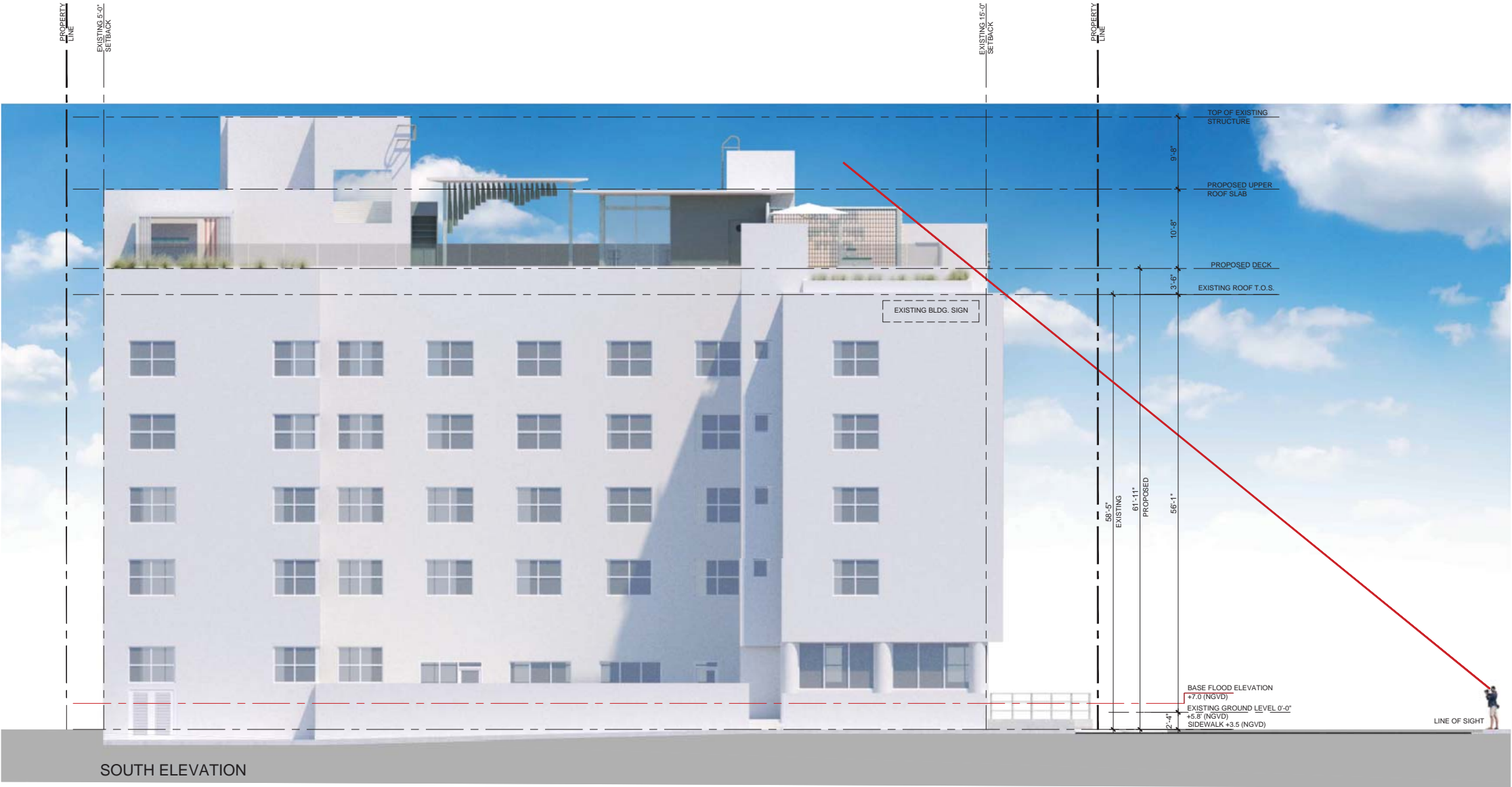
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GOMEZ



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A A C 0 0 1 0 6 2 M I A M I, F L 3 1 1 3 8 - 4 4 3 4  
T 3 0 5.559.1250 F 3 0 5.551.1740

DWG. TITLE	PROPOSED ROOF PLAN
SCALE	3/16"=1'-0"
PROJECT NO.	2022-22
DATE	02-10-23
SHEET NUMBER	A-101
DATE	REVISION





4000 COLLINS AVENUE  
4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

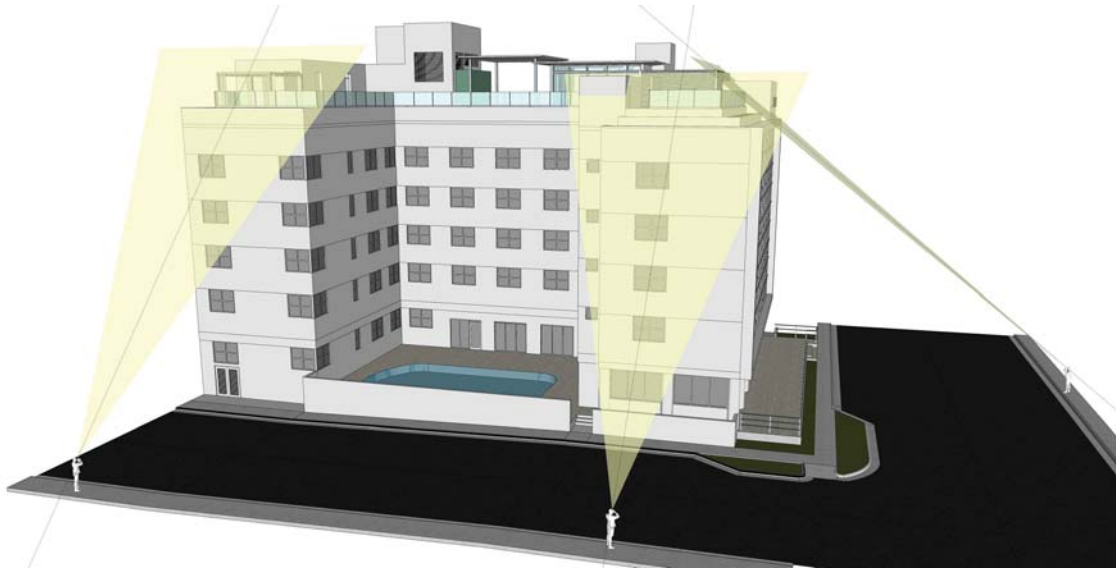
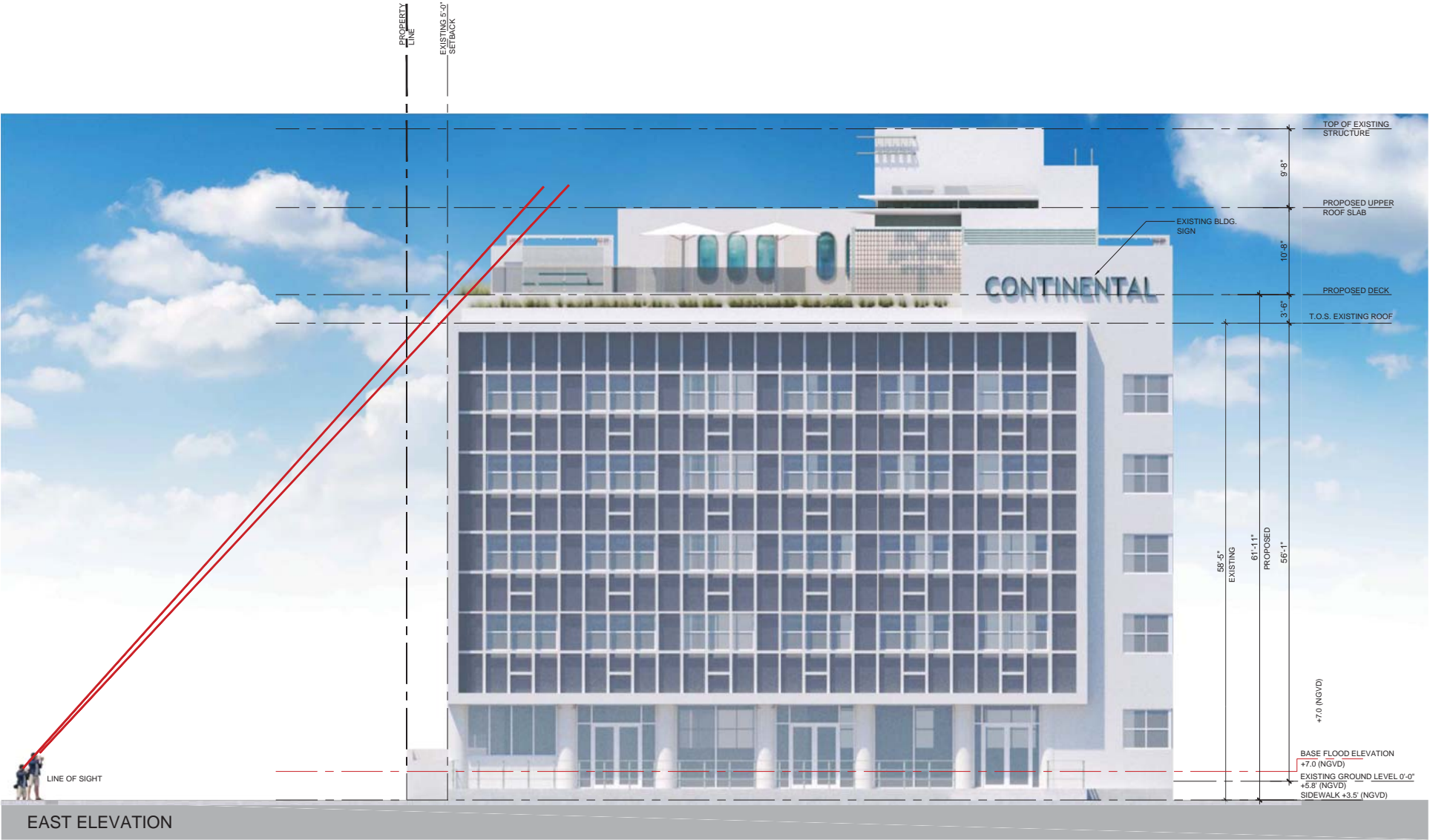
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MIAMI, FL 33133-4694  
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DWG. TITLE	
SOUTH ELEVATION	
SCALE	
1/8" = 1'-0"	
PROJECT NO.	
2022-22	
DATE	
02-10-23	
SHEET NUMBER	
A-201	
DATE	REVISION





4000 COLLINS AVENUE

4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

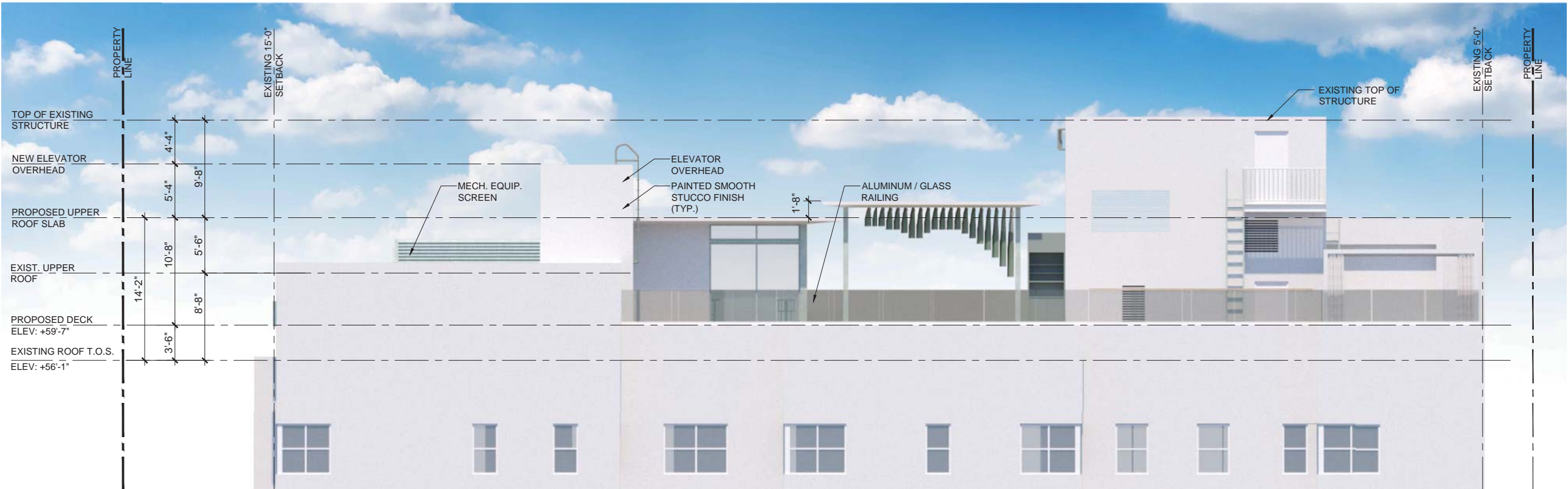
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GOMEZ



ARCHITECTURE 8101 BISCAYNE BLVD. S 309, 310  
MIAMI, FL 33133 P 305.559.1250 F 305.551.1740

DWG. TITLE	
EAST ELEVATION	
SCALE	
1/8"=1'-0"	
PROJECT NO.	
2022-22	
DATE	
02-10-23	
SHEET NUMBER	
A-202	
DATE	REVISION





01 ENLARGED NORTH ELEVATION  
SCALE: 3/16" = 1'-0"



02 ENLARGED SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"

## 4000 COLLINS AVENUE

4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

BEILINSON  
GOMEZ



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DWG. TITLE  
ENLARGED ELEVATIONS  
SCALE  
AS SHOWN  
PROJECT NO.  
2022-22  
DATE  
02-10-23  
SHEET NUMBER

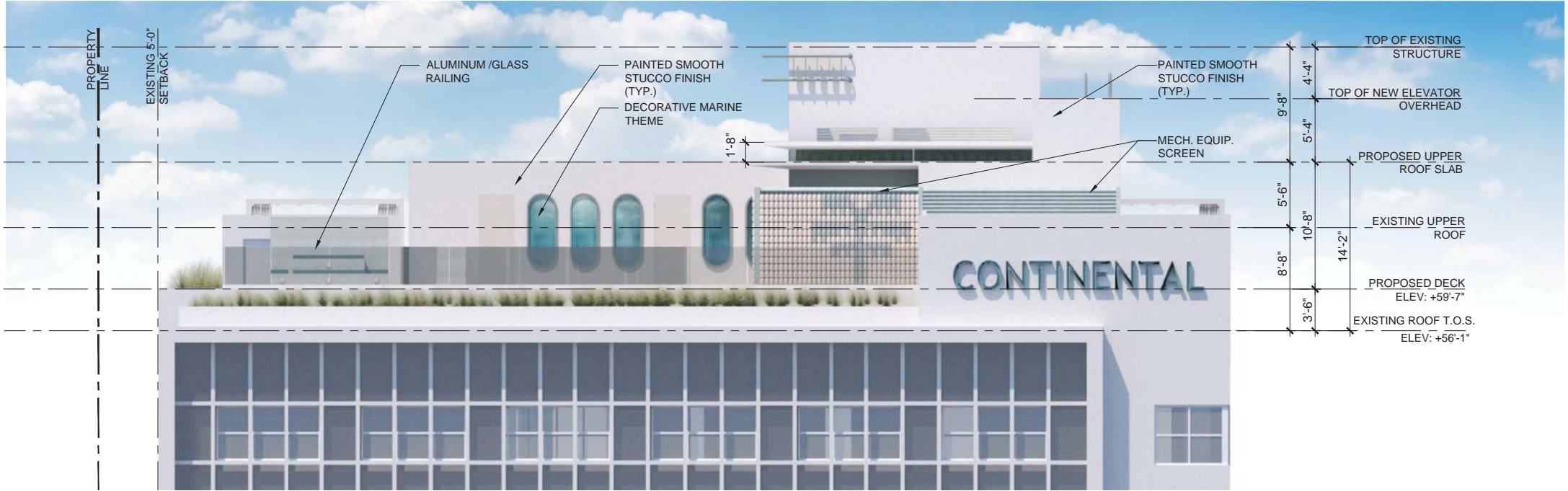
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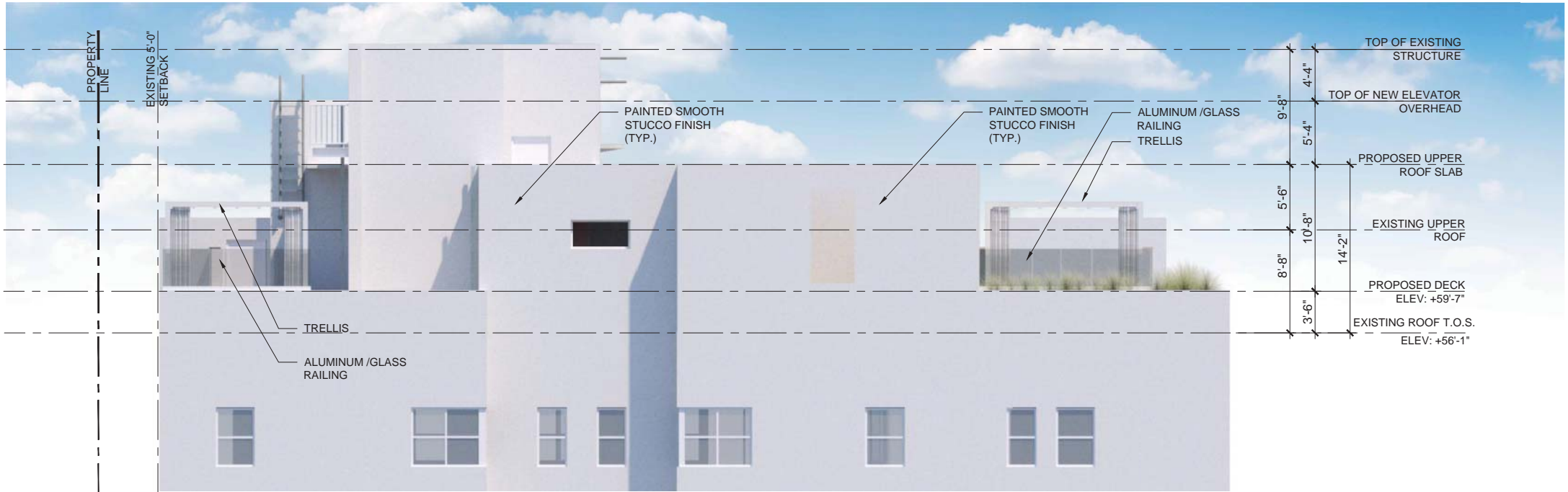
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DATE REVISION





01 ENLARGED EAST ELEVATION  
SCALE:3/16" =1'-0"



02 ENLARGED WEST ELEVATION  
SCALE:3/16" =1'-0"

4000 COLLINS AVENUE

4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

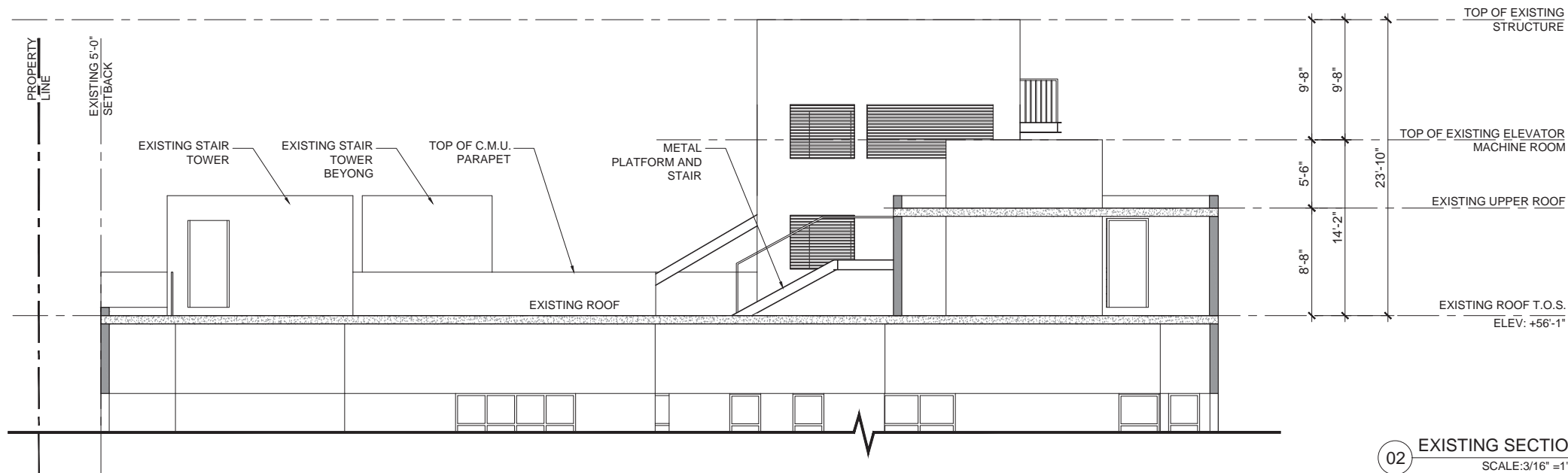
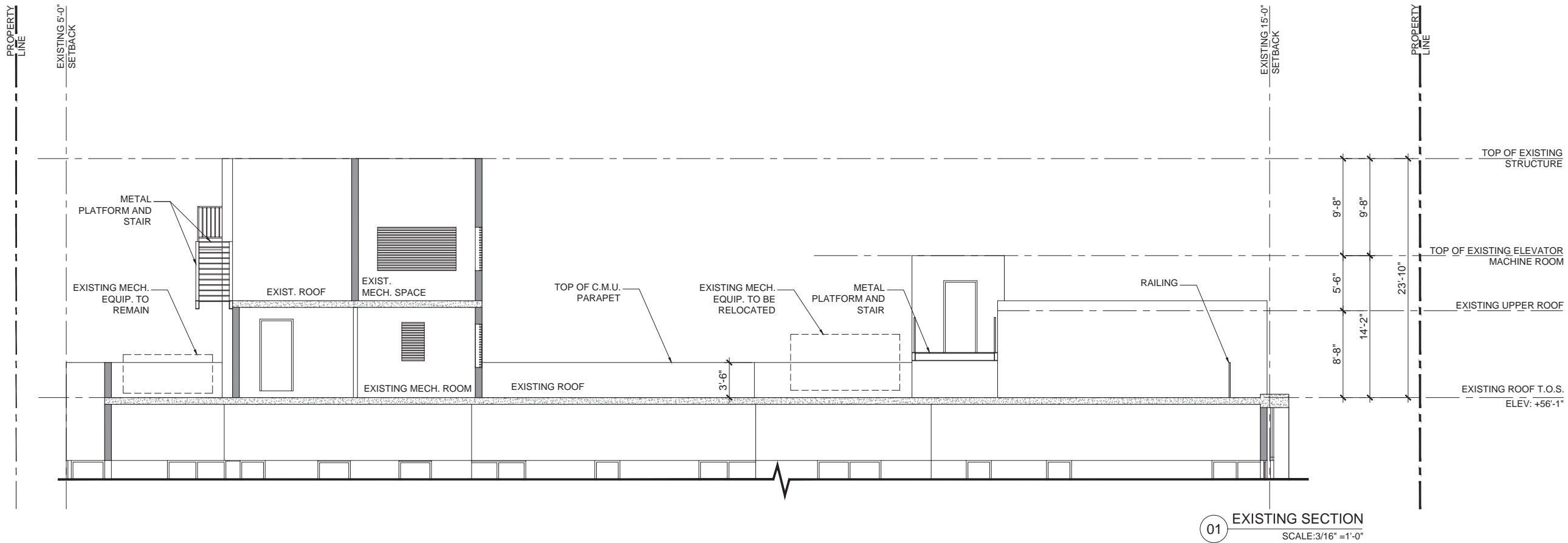
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8101 BISCAYNE BLVD. S. 309.310  
MIAMI, FL 33138 - 4634  
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DWG. TITLE	
	ENLARGED ELEVATIONS
SCALE	
	AS SHOWN
PROJECT NO.	
	2022-22
DATE	
	02-10-23
SHEET NUMBER	
	A-204
DATE	REVISION





NOTE: ALL DIMENSIONS SHALL BE V.I.F.

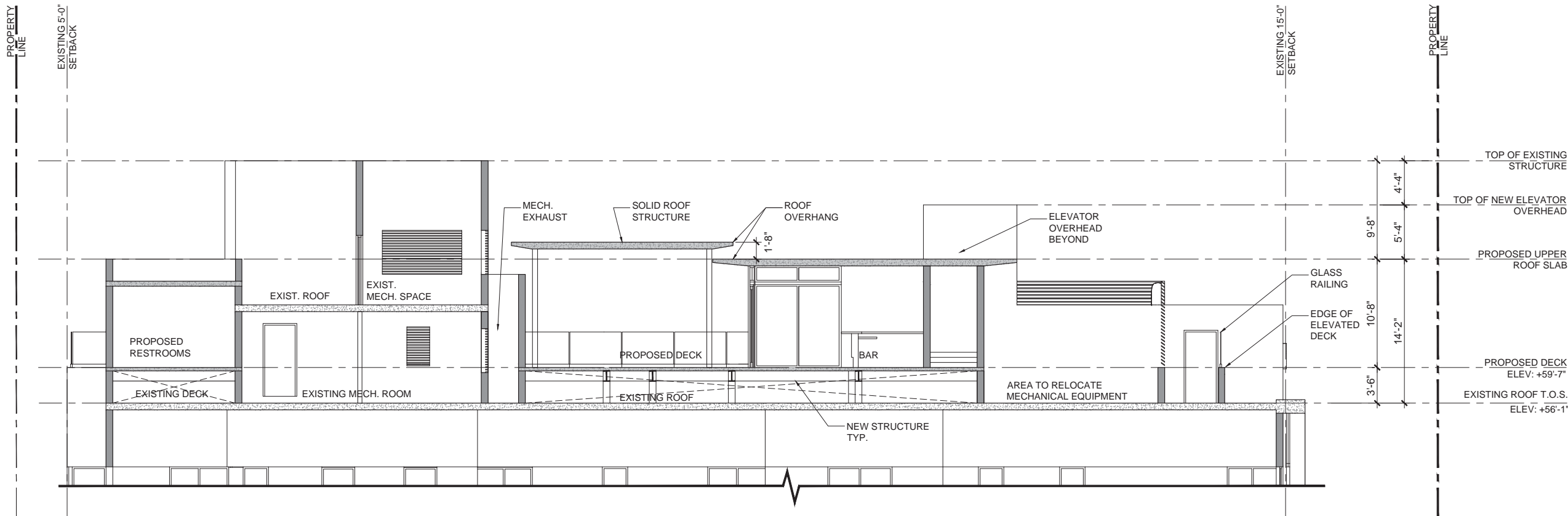
4000 COLLINS AVENUE  
4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

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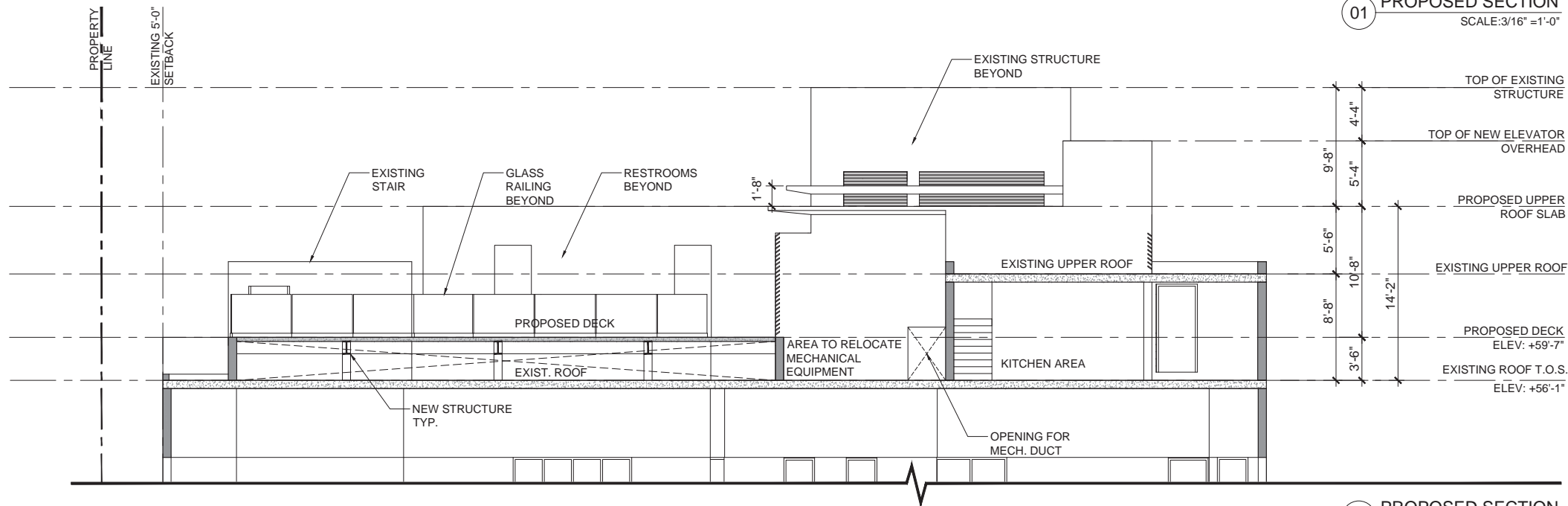


DWG. TITLE		EXISTING ENLARGED SECTIONS
SCALE		AS SHOWN
PROJECT NO.		2022-22
DATE		02-10-23
SHEET NUMBER		A-301
DATE	REVISION	





01 PROPOSED SECTION  
SCALE: 3/16" = 1'-0"



02 PROPOSED SECTION  
SCALE: 3/16" = 1'-0"

NOTE: ALL DIMENSIONS SHALL BE V.I.F.

4000 COLLINS AVENUE  
4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

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DWG. TITLE		ENLARGED SECTIONS
SCALE	AS SHOWN	
PROJECT NO.	2022-22	
DATE	02-10-23	
SHEET NUMBER	A-302	
DATE	REVISION	