



SEAL

TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THE SECTION 4833 FLORIDA STATUTE.

STEPHANE L'ECUYER  
ARCHITECT

**ISSUE FOR: SITE PLAN APPROVAL**

**BISCAYNE POINT**

700-710 82 STREET,  
MIAMI BEACH,  
FLORIDA 33141

TITLE  
**3D RENDERING VIEW**

SCALE

DRAWN BY  
**JWU**

DATE  
**12/20/2022**



ISSUE FOR: SITE PLAN APPROVAL

**BISCAYNE POINT**

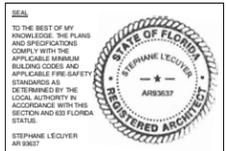
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21-866



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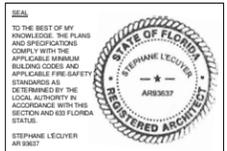
TITLE  
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A-017



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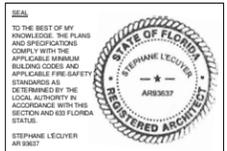
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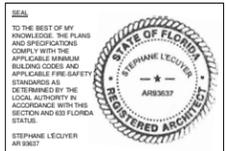
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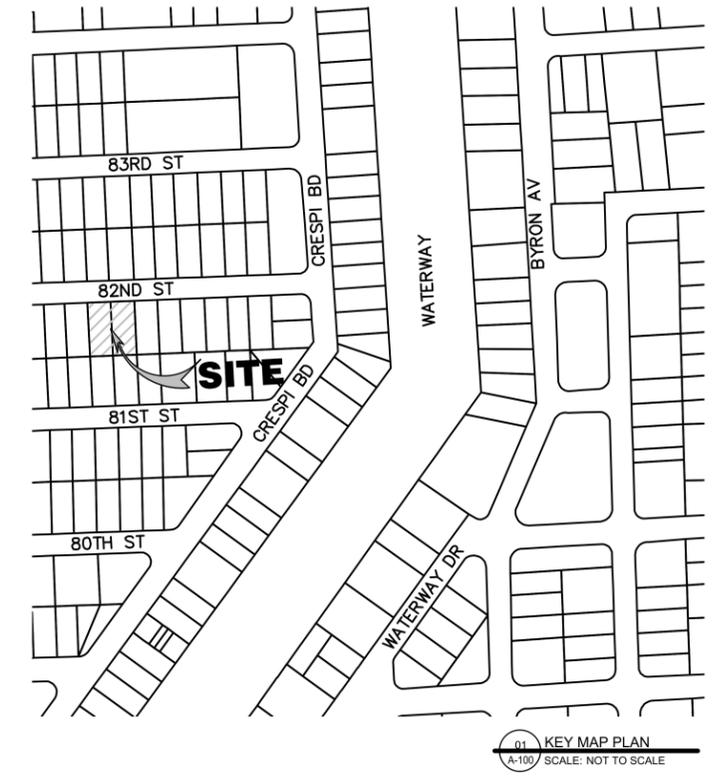
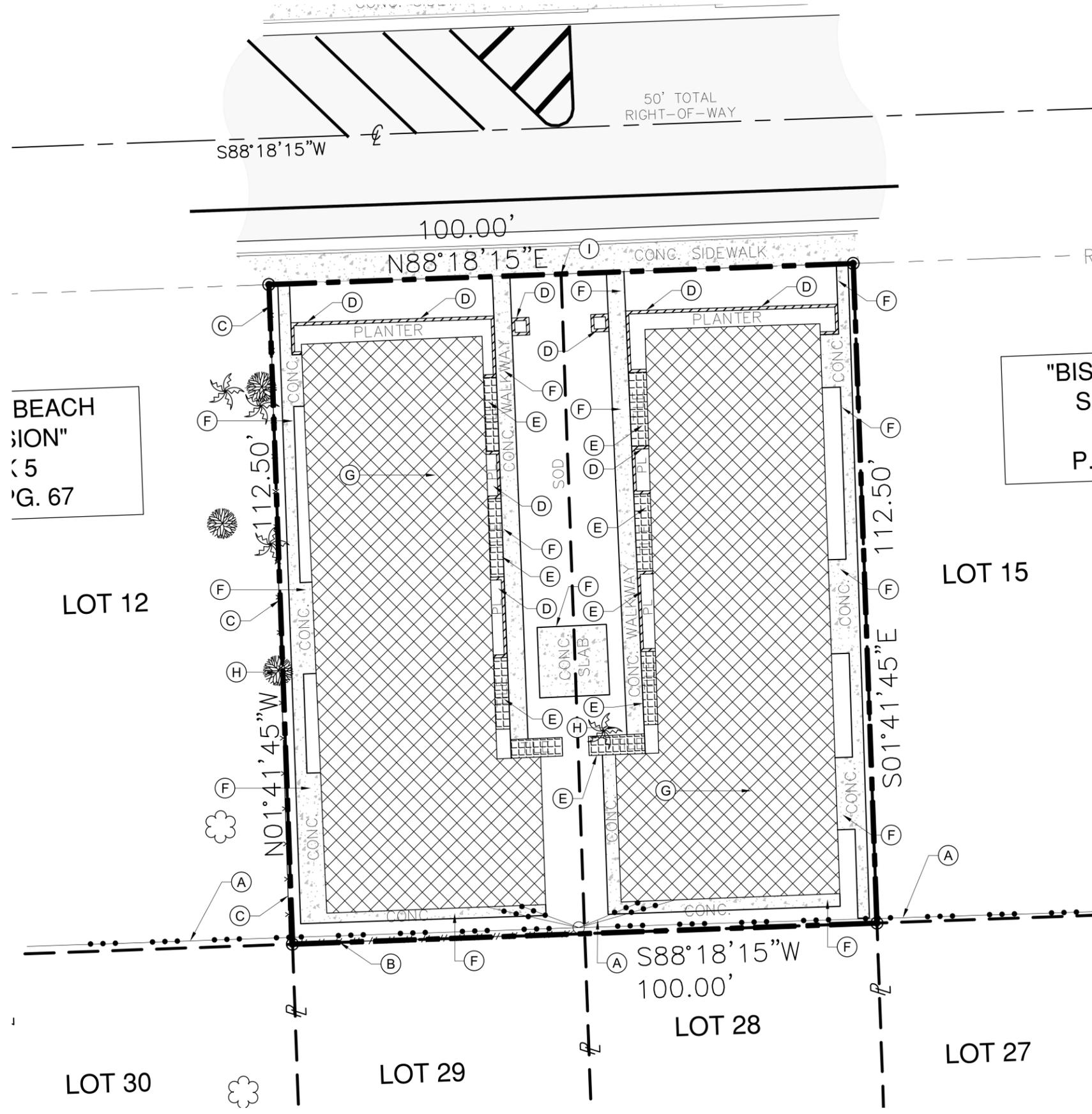
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**DEMOLITION KEY NOTES:**

1. THIS DRAWING IS ONLY TO ASSIST IN SHOWING THE SCOPE OF DEMOLITION WORK. CONTRACTOR SHALL REMOVE ALL EXISTING ITEMS AND DEBRIS FROM SITE AS REQUIRED TO COMPLETE THE JOB.
2. STRUCTURES TO BE DEMOLISHED AND ITEMS TO BE REMOVED FROM THE SITE ARE SHOWN ON THE DEMOLITION PLAN.
3. DURING THE PROCESS OF DEMOLITION, THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO ASSURE THE SAFETY OF CREW AND PUBLIC THROUGHOUT.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING A WALK-THRU OF THE SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO COMMENCING ANY DEMOLITION WORK.
5. CONTRACTOR SHALL IDENTIFY ANY POSSIBLE CRITICAL ITEMS, NOT ADDRESSED OR INCORRECTLY ADDRESSED ON THE DEMOLITION PLANS AND ON SITE, WHICH REQUIRE REMOVAL AND OR RELOCATION.
6. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL EXISTING WATER, SANITARY, AND ELECTRICAL SERVICE LINES WHICH ARE TO REMAIN AND NEED TO BE PROTECTED FROM DAMAGE DURING DEMOLITION.
7. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AN IN A MANNER SUITABLE TO THE WORK SEQUENCES.
8. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD EXISTING STRUCTURE OR ANY STRUCTURE NOT INCLUDED ON THE DEMOLITION PLAN.
9. EXECUTION OF DEMOLITION SHALL PROGRESS IN SUCH A MANNER AS NOT TO INTERFERE WITH THE SAFETY AND CONVENIENCE OF THE PUBLIC AND THOSE AROUND THE SITE.
10. WASTE MATERIAL AND RUBBISH FROM DEMOLITION OPERATION SHALL BE REMOVED FROM SITE AS RAPIDLY AND SAFELY AS POSSIBLE.
11. WASTE MATERIAL AND RUBBISH FROM DEMOLITION OPERATION SHALL NOT BE ALLOWED TO ACCUMULATE ON PREMISES; DISPOSAL OF MATERIALS WILL BE AT DISCRETION OF THE CONTRACTOR.
12. CONTRACTOR IS RESPONSIBLE FOR KEEPING THE PREMISES CLEAN AND CLEAR OF UNNECESSARY DEBRIS AT ALL TIMES ENSURING THAT THERE IS NO LOOSE MATERIALS OR ITEMS WHICH MAY CAUSE INJURY.
13. ONLY DEMOLISH & REMOVE EXISTING CONDITIONS AS SHOWN ON DEMOLITION PLANS UNLESS OTHERWISE NOTED.
14. IF HAZARDOUS MATERIAL OR ANY TYPE OF POTENTIALLY HAZARDOUS / DANGEROUS CONDITIONS OR SITE CONTAMINATION IS PRESENT ON SITE, DO NOT DISTURB AND IMMEDIATELY NOTIFY ARCHITECT AND THE OWNER.

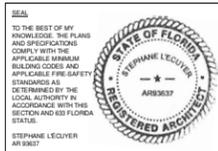
**KEY SYMBOLS:**

- PROPERTY LINE
- CHAIN LINK FENCE
- WOOD FENCE
- OVERHEAD UTILITY LINE
- PLANTERS WALL
- TILES PAVEMENT
- CONCRETE
- EXISTING BUILDING TO BE DEMOLISHED

**DEMOLITION NOTES**

- (A) OVERHEAD WIRE LINE TO BE DEMOLISHED
- (B) WOOD FENCE TO BE DEMOLISHED
- (C) CHAIN LINK FENCE TO BE DEMOLISHED
- (D) PLANTERS TO BE DEMOLISHED
- (E) TILE SURFACE TO BE DEMOLISHED
- (F) CONCRETE TO BE DEMOLISHED
- (G) EXISTING HOUSE TO BE DEMOLISHED
- (H) EXISTING TREE TO BE REMOVED
- (I) PROPOSED LOCATION FOR DEMOLITION NOTICE SIGNAGE

02 DEMOLITION PLAN  
A-100 SCALE: 1" = 20'-0"



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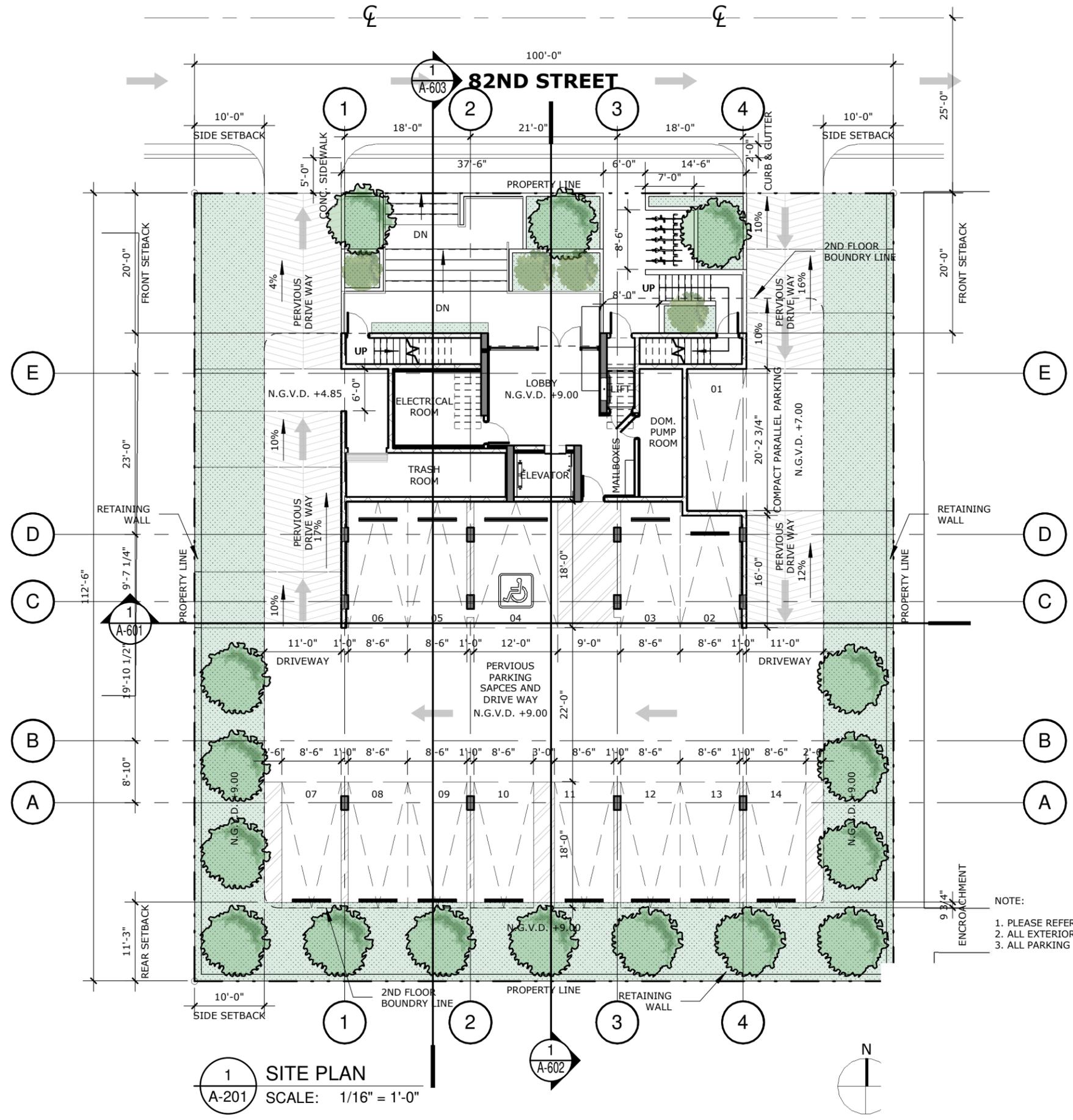
TITLE  
**DEMOLITION PLAN**

SCALE

DRAWN BY  
Author

DATE  
01/09/23

A-100

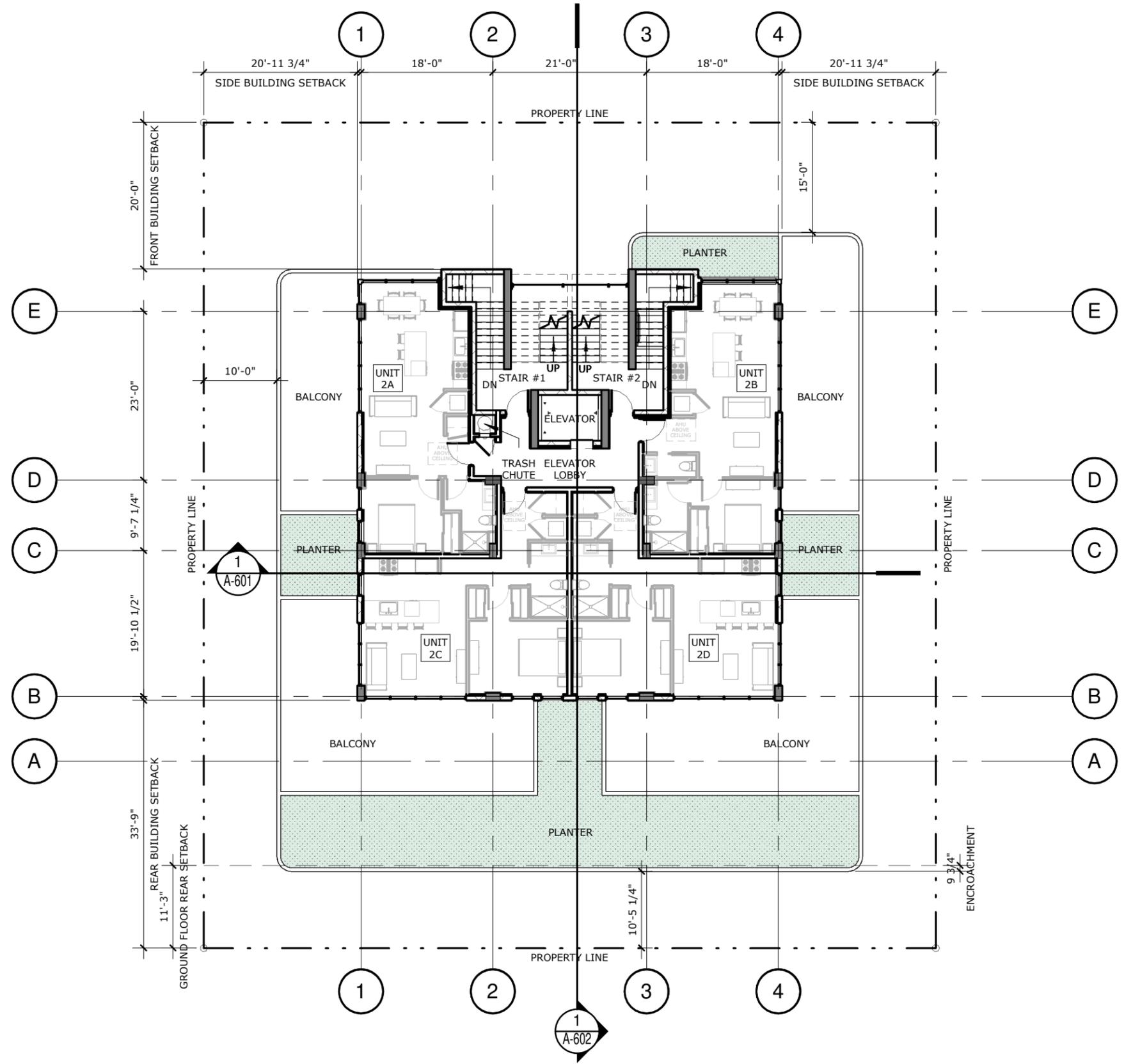


1 SITE PLAN  
A-201 SCALE: 1/16" = 1'-0"

- NOTE:
- PLEASE REFER TO SHEET C-01 FOR DETAILED YARD ELEVATIONS.
  - ALL EXTERIOR PARKING SPACES AND DRIVEWAYS ARE PERVIOUS PAVERS
  - ALL PARKING SPACES ARE LONG-TERM PARKING



PERVIOUS PAVERS

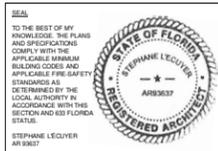


1 2ND FLOOR PLAN  
 A-202 SCALE: 1/16" = 1'-0"



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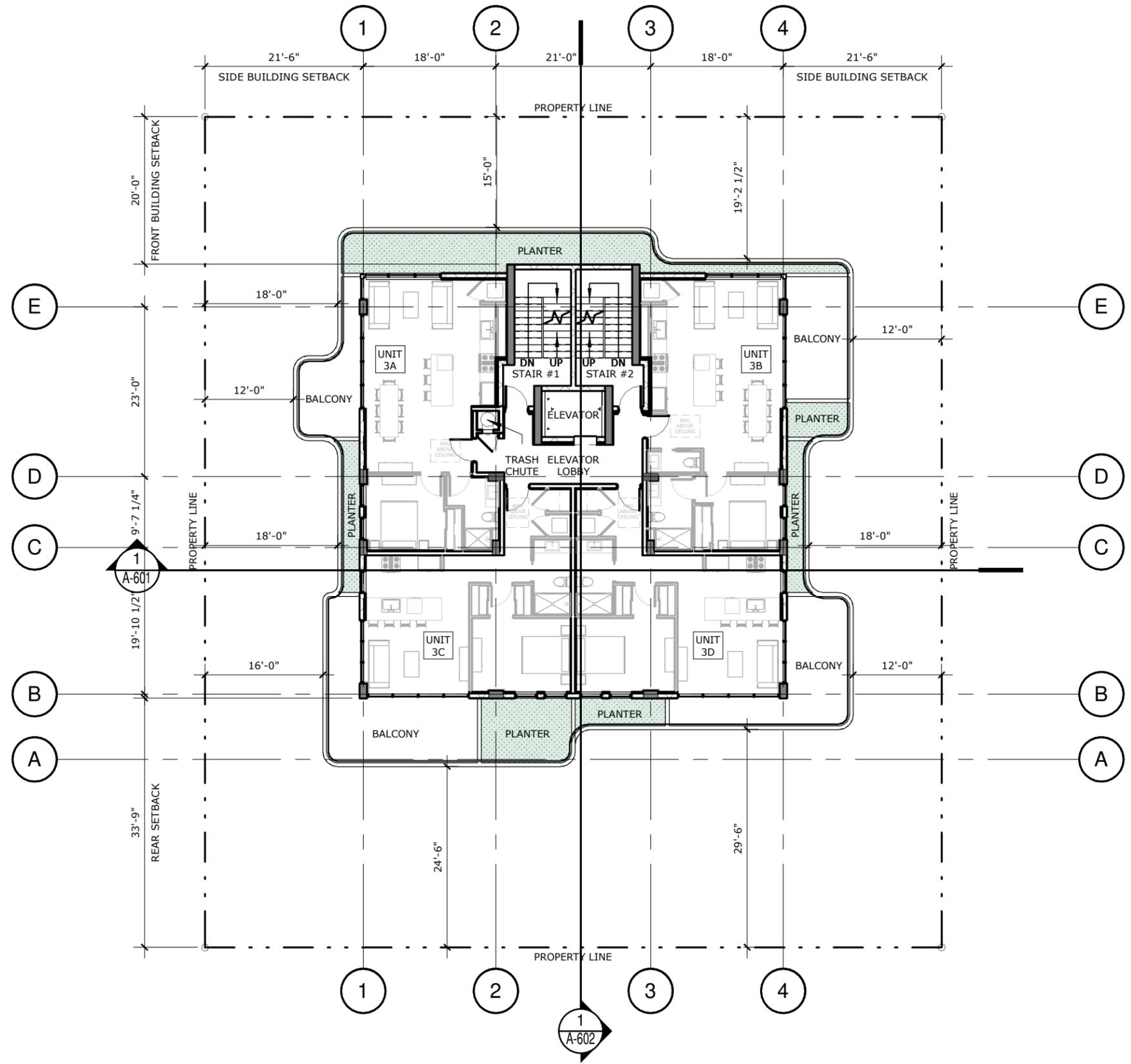


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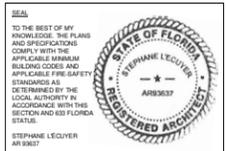
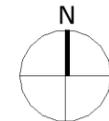
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 FLORIDA 33141

TITLE  
 2ND FLOOR PLAN  
 SCALE  
 1/16" = 1'-0"  
 DRAWN BY  
 JWU  
 DATE  
 12/20/2022

A-202



1 3RD FLOOR PLAN  
 A-203 SCALE: 1/16" = 1'-0"



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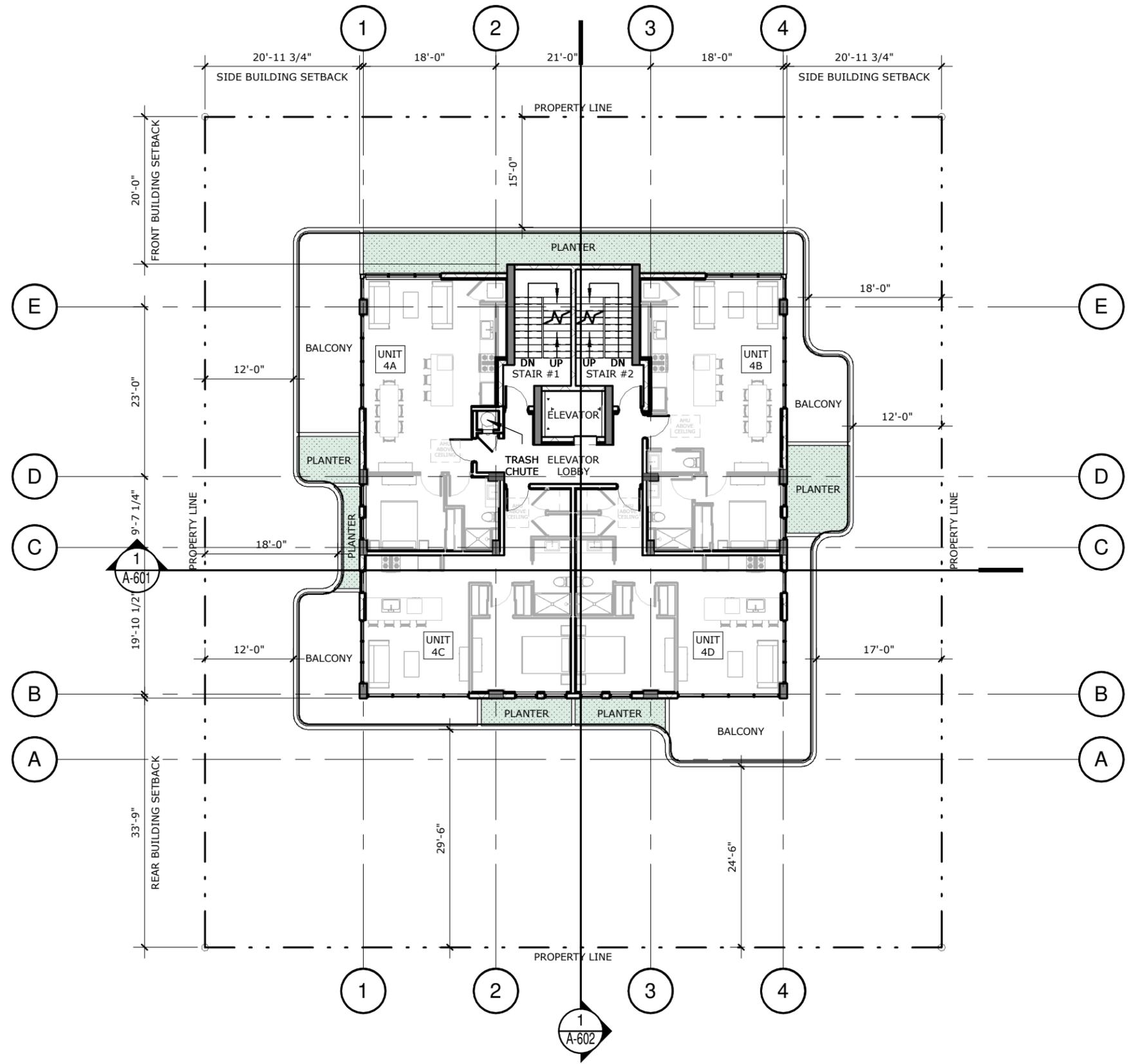
TITLE  
**3RD FLOOR PLAN**

SCALE  
 1/16" = 1'-0"

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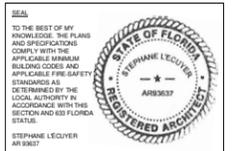


1 4TH FLOOR PLAN  
A-204 SCALE: 1/16" = 1'-0"



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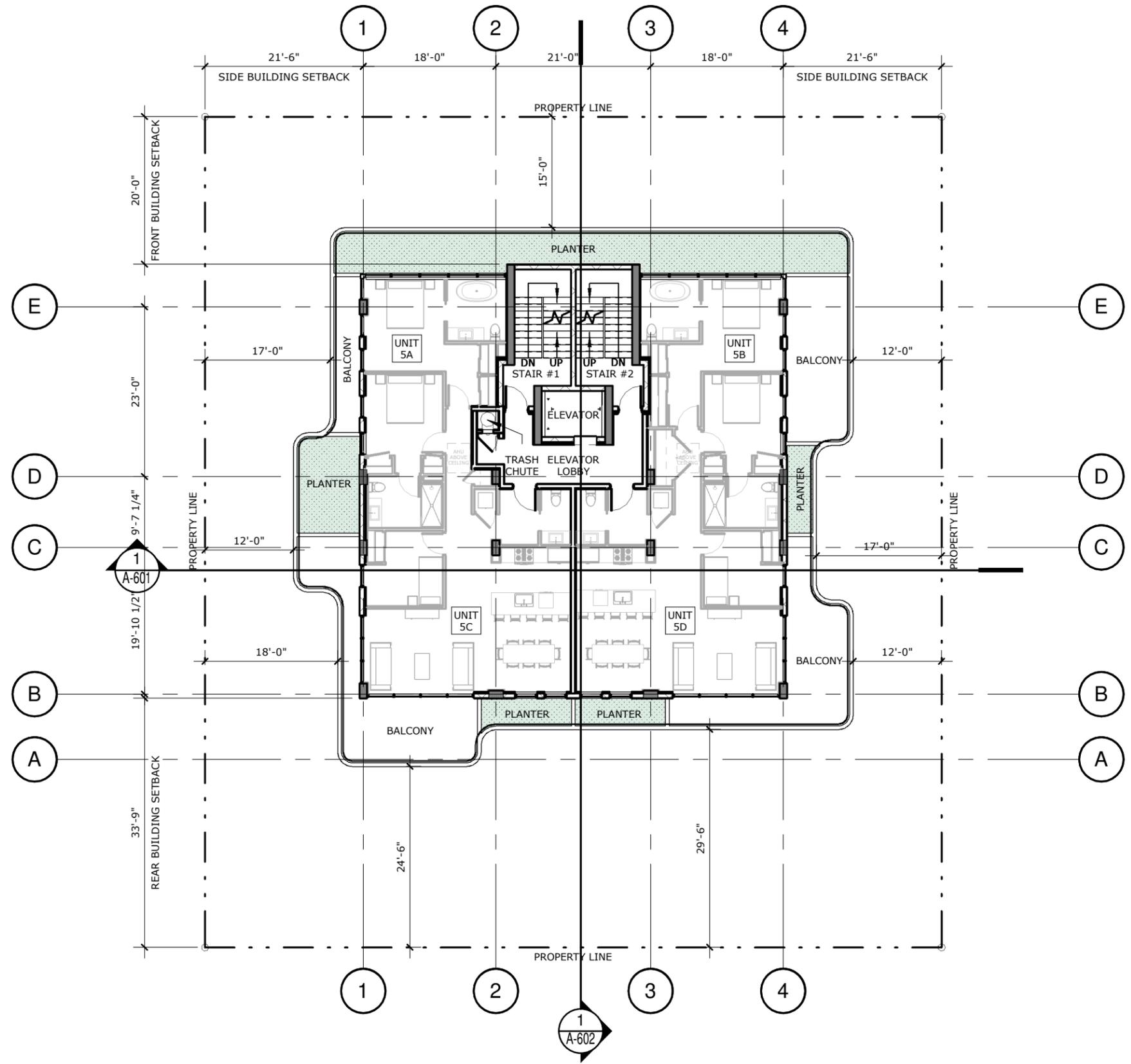


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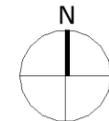
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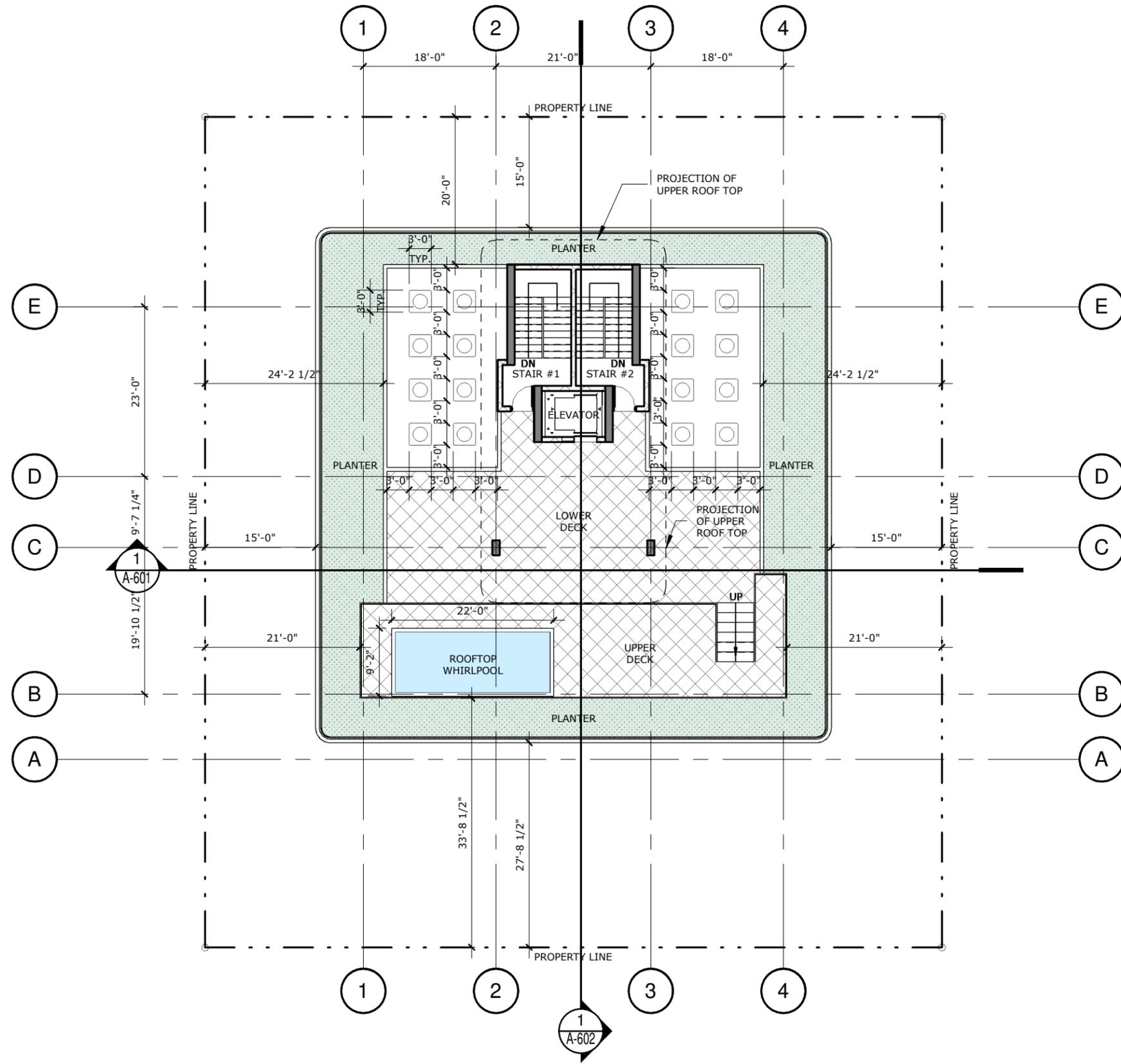
TITLE  
 4TH FLOOR PLAN  
 SCALE  
 1/16" = 1'-0"  
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A-204

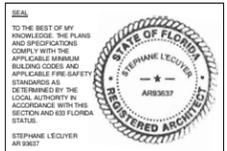
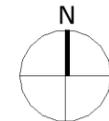


1 5TH FLOOR PLAN  
A-205 SCALE: 1/16" = 1'-0"





1 ROOF PLAN  
 A-206 SCALE: 1/16" = 1'-0"



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TITLE  
**ROOF PLAN**  
 SCALE  
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