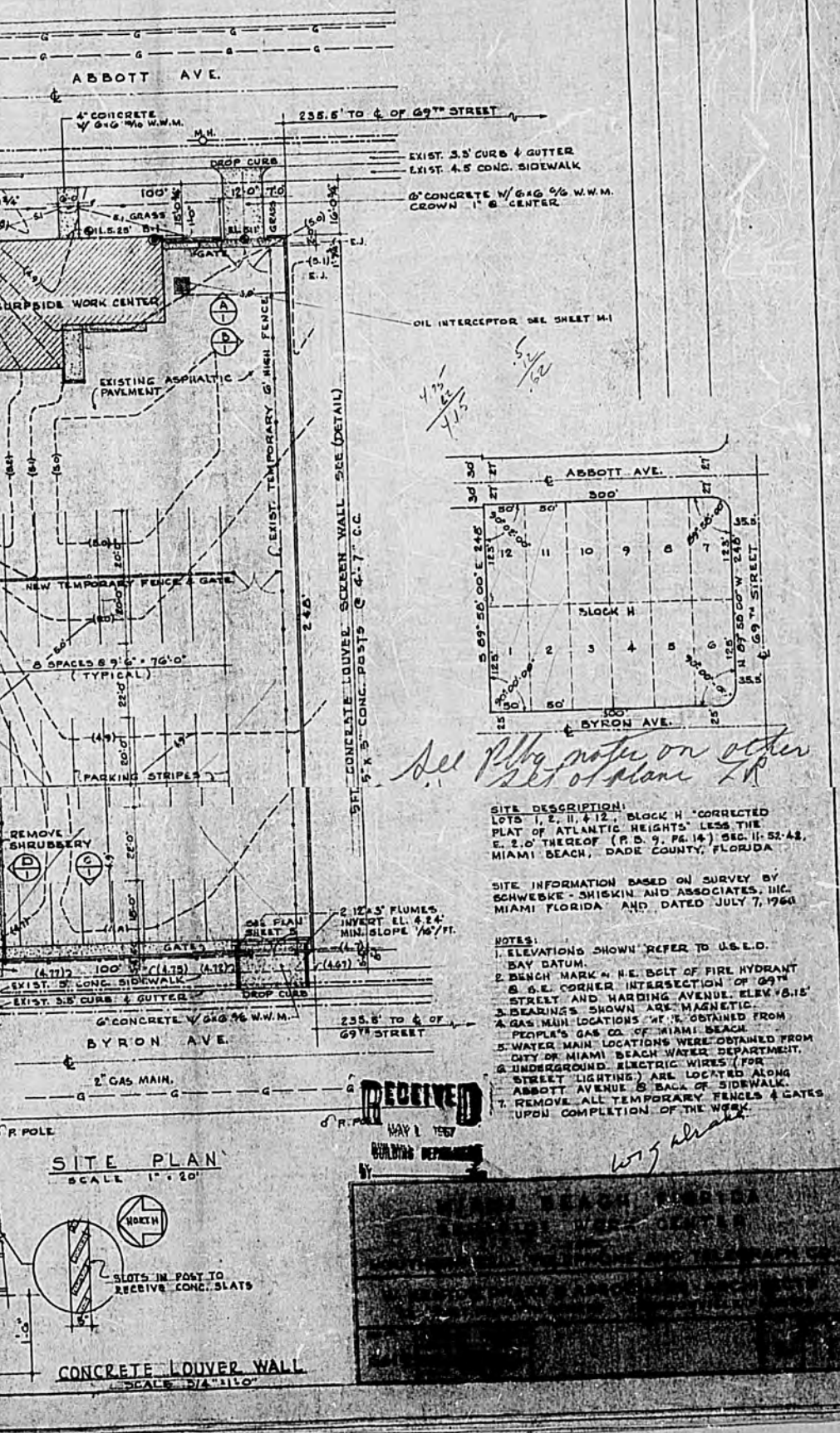
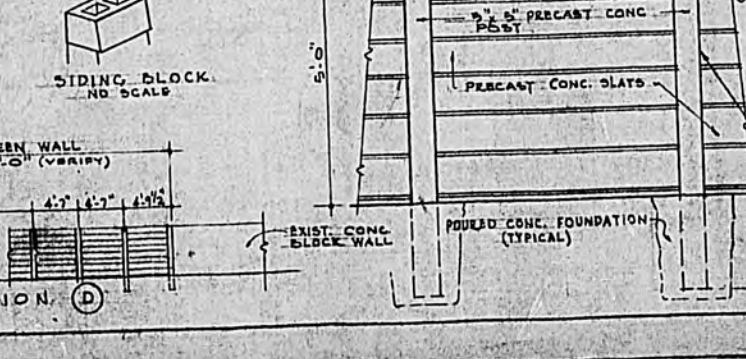
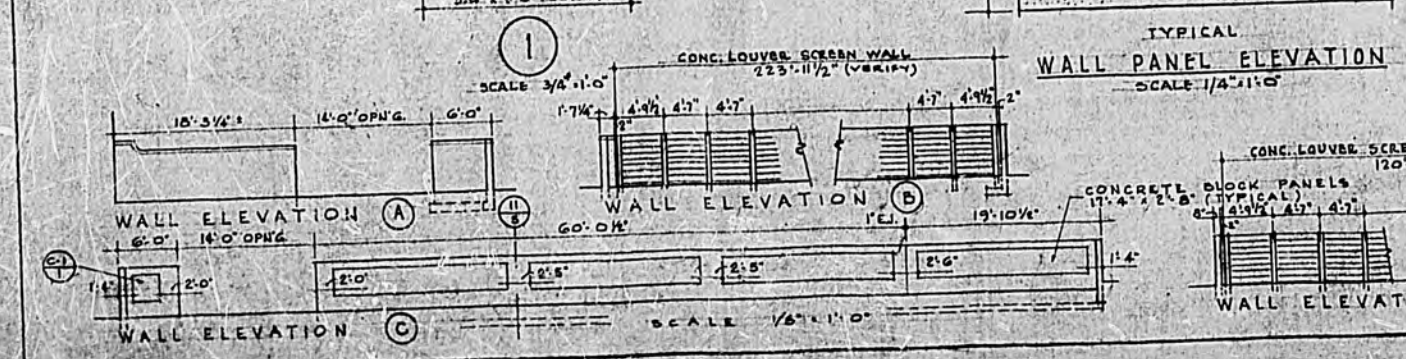
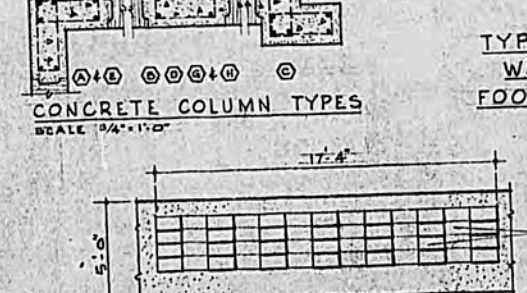
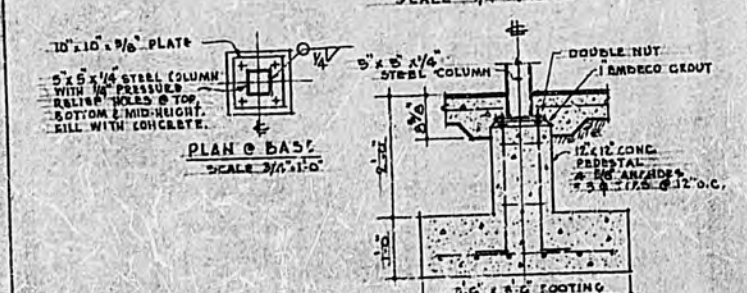


- LEGEND OF MATERIALS & SYMBOLS**
- ARCHITECTURAL SHEETS
 - CONCRETE
 - CONCRETE BLOCK
 - CONCRETE BLOCK W/ FILLED CELLS
 - BRICK
 - STUCCO (OR PLASTER)
 - WOOD DECK
 - WOOD, ROUGH
 - WOOD, FINISH
 - INSULATION
 - ACoustICAL TILE
 - GYPSON BOARD
 - WOOD STUD PARTITION
 - TERRAZZO
 - EXIST. CONTOUR
 - NEW CONTOUR
 - EXIST. SPOT ELEV.
 - NEW ELEVATION
 - EXIST. WIRE FENCE
 - NEW WIRE FENCE
 - TEST BORING HOLE
 - MANHOLE, EXIST.
 - COLUMN TYPE
 - FOOTING TYPE
 - SPACE NUMBER
 - DOOR & HARDWARE
 - DIRECTION
 - SHEET WHERE DETAILED
 - DETAIL NO.

- DRAWING INDEX**
1. SITE PLAN & FOUNDATION PLAN
 2. FLOOR PLAN, FINISH & DOOR SCHEDULES
 3. ELEVATIONS & TRANSVERSE SECTION
 4. WALL SECTIONS
 5. SUPPLY & GATE DETAILS
 6. ROOF FRAMING PLAN & DETAILS
 7. MECHANICAL & PLUMBING PLAN
 8. ELECTRICAL PLAN

- LEGEND OF TEST BORINGS**
- A. DARK GRAY ASPHALTIC MATERIAL
 - B. TAN LIMEWOOD FRAGMENTS (BASE COURSE)
 - C. TAN SHELL FRAGMENTS & SILICA SAND AND SOME LIMEWOOD FRAGMENTS
 - D. TAN FINE SHELL FRAGMENTS AND TRACE OF LIMEWOOD FRAGMENTS
 - E. TAN FINE SHELL FRAGMENTS & SOME FINE SILICA SAND WITH TRACE OF ORGANIC MATERIAL
 - F. TAN FINE SHELL FRAGMENTS & FINE SILICA SAND WITH TRACE OF ORGANIC MATERIAL
 - G. GRAY FINE SHELL FRAGMENTS WITH SOME FINE SILICA SAND
 - H. GRAYISH TAN FINE TONED SHELL FRAGMENTS AND SOME SILICA SAND

COLUMN SCHEDULE				FOOTING SCHEDULE			
TYPE	COLUMN SIZE	REINP.	TIES	TYPE	SIZE	REINFORCING	
A	14" x 14" x 10"	7#5	#2@12" O.C.	I	2'-0" x 2'-0" x 1'-0"	4#4 @ 8" O.C. EACH WAY	
B	14" x 14"	4#5	#2@12" O.C.	II	3'-0" x 3'-0" x 1'-0"	5#4 @ 7 1/2" O.C. EACH WAY	
C	14" x 10" x 10"	7#5	#2@12" O.C.	III	3'-0" x 3'-0" x 1'-0"	6#4 @ 7" O.C. EACH WAY	
F	8" x 8" x 10"	STEEL COLUMN					
G	14" x 14"	4#5	#2@12" O.C.				
H	14" x 14"	4#5	#2@12" O.C.				



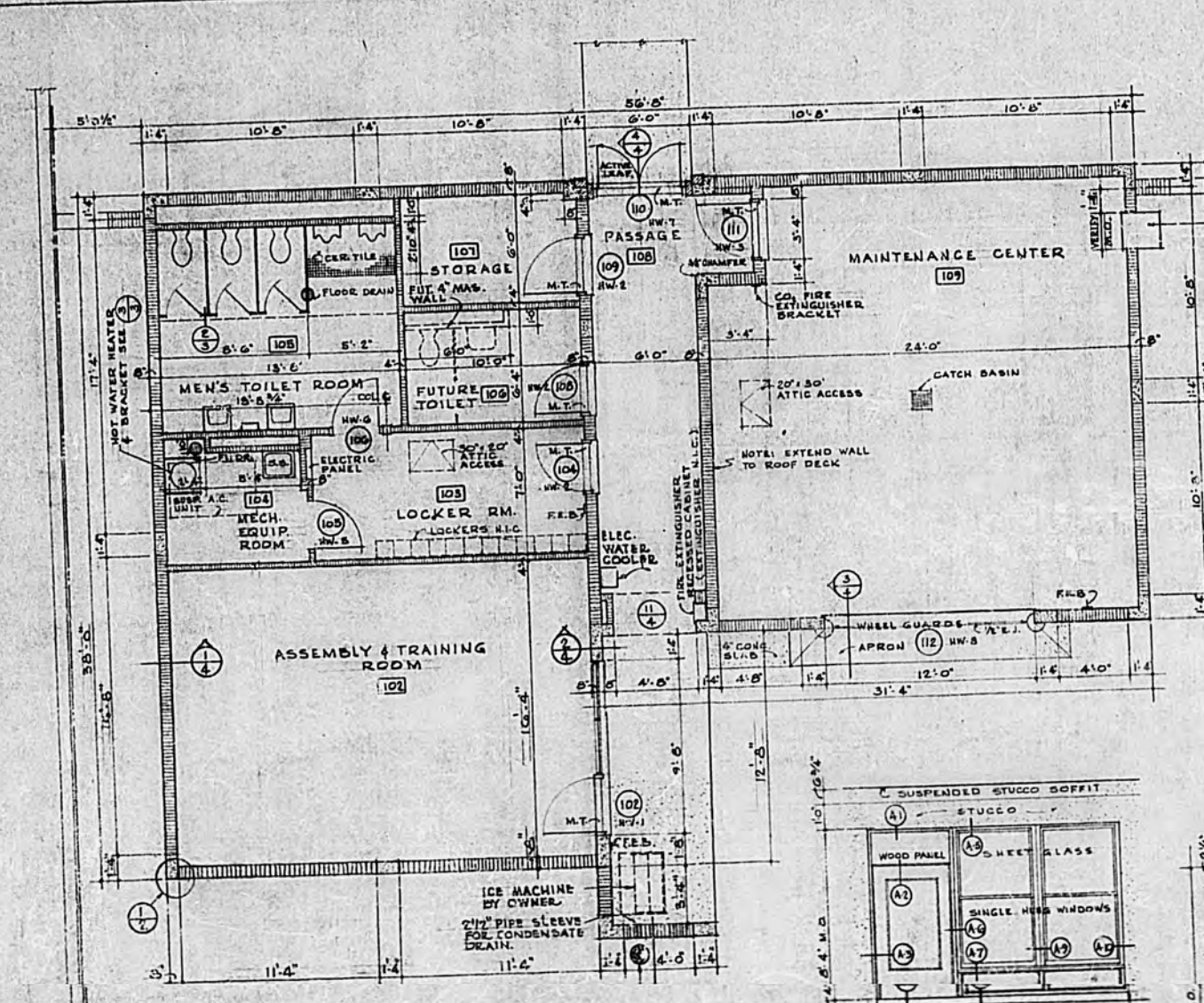
REVISIONS

NO.	DATE	DESCRIPTION
1	10/1/50	REVISED AND REBID NO.

NOTES

1. ELEVATIONS SHOWN REFER TO U.S.C. & G.S. DATUM.
2. DESIGN MARK "H" IS LOCATED AT INTERSECTION OF 69TH STREET AND WARDING AVENUE. ELEV. 151' 5 1/2".
3. READINGS SHOWN ARE MAGNETIC.
4. GAS MAIN LOCATIONS ARE OBTAINED FROM CITY OF MIAMI BEACH.
5. WATER MAIN LOCATIONS WERE OBTAINED FROM CITY OF MIAMI BEACH WATER DEPARTMENT.
6. UNDERGROUND ELECTRIC WIRES (FOR STREET LIGHTING) ARE LOCATED ALONG ABBOTT AVENUE & BALL OF SIDEWALK.
7. REMOVE ALL TEMPORARY FENCES & GATES UPON COMPLETION OF THE WORK.

78191

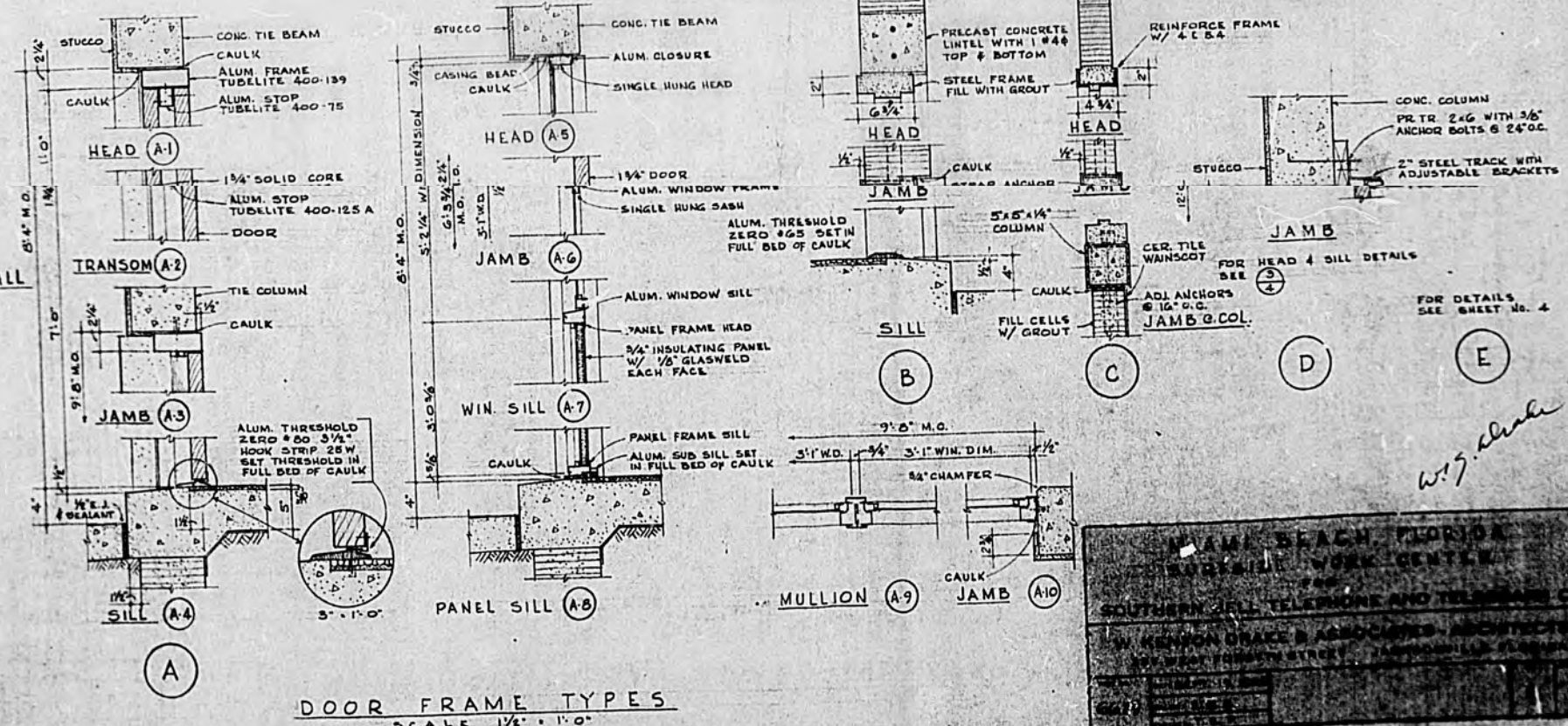


ROOM FINISH SCHEDULE						
NO.	ROOM USE	FLOOR	BASE	WALLS MATERIAL & FINISH	CEILING MATERIAL & HEIGHT	REMARKS
101	DELETED					
102	ASSEMBLY & TRAINING ROOM	TERRAZZO	RUBBER	CONCRETE BLOCK SYSPUM BOARD	SUSP. PLASTER & ACoustical TILE	9'-0"
103	LOCKER ROOM	TERRAZZO	RUBBER	CONCRETE BLOCK	SUSP. PLASTER	9'-4"
104	MECHANICAL EQUIP.	TERRAZZO	RUBBER	CONCRETE BLOCK	SUSP. PLASTER	9'-4"
105	MEN'S TOILET ROOM	TERRAZZO	CERAMIC TILE	CONCRETE BLOCK	SUSP. PLASTER	9'-4"
106	FUTURE TOILET	TERRAZZO	CERAMIC TILE	CONCRETE BLOCK	SUSP. PLASTER	9'-4"
107	STORAGE	TERRAZZO	RUBBER	CONCRETE BLOCK	SUSP. PLASTER	9'-4"
108	PASSAGE	CONCRETE	NONE	CONCRETE BLOCK	SUSP. PLASTER	10'-2"
109	MAINTENANCE CENTER	CONCRETE	NONE	CONCRETE BLOCK	SUSP. PLASTER	11'-0"

DOOR SCHEDULE							REMARKS
NO.	SIZE	TYPE	FRAME	LINTEL	LIGHT	LOUVER	
101	DELETED						
102	5'-0" x 7'-0" x 1 3/4"	D-1	A	NONE	24" x 40"	NONE	FLUSH WOOD SOLID CORE
103	DELETED						HW-4 DELETED
104	5'-0" x 7'-0" x 1 3/4"	D-3	B	PRECAST CONC.	NONE	NONE	FLUSH WOOD SOLID CORE
105	5'-0" x 7'-0" x 1 3/4"	D-3	C	NONE	NONE	NONE	FLUSH WOOD HOLLOW CORE
106	5'-0" x 7'-0" x 1 3/4"	D-3	C	NONE	10" x 10"	20" x 10"	FLUSH WOOD HOLLOW CORE
107	DELETED						HW-4 DELETED
108	5'-0" x 7'-0" x 1 3/4"	D-3	B	PRECAST CONC.	NONE	NONE	FLUSH WOOD SOLID CORE
109	5'-0" x 7'-0" x 1 3/4"	D-3	B	PRECAST CONC.	NONE	20" x 14"	FLUSH WOOD SOLID CORE
110	5'-0" x 7'-0" x 1 3/4"	D-4	E	NONE	NONE	NONE	CUSTOM 'Y' JOINT SOLID CORE
111	5'-0" x 7'-0" x 1 3/4"	D-5	B	PRECAST CONC.	NONE	NONE	HOLLOW METAL 'C' LABEL
112	11'-0" x 9'-3 1/4" x 1 3/4"	D-6	D	NONE	NONE	NONE	WOOD OVERDOOR

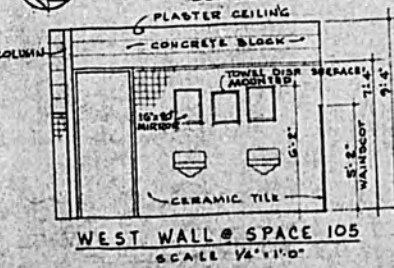
REVISIONS		
NO.	DATE	DESCRIPTION
1	3/24/61	REVISED AND REISSUED FOR BIDDING.

ELEVATION
DOOR FRAME 'A' & CURTAIN WALL
SCALE 1/8" = 1'-0"

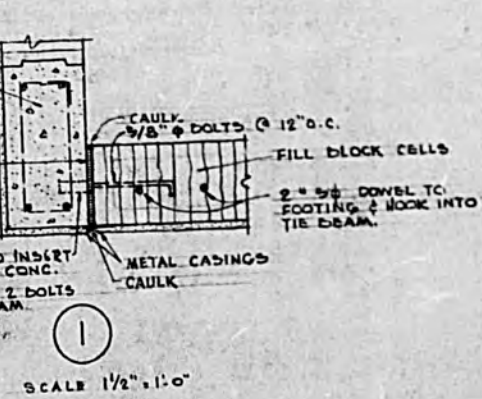


DOOR FRAME TYPES
SCALE 1/4" = 1'-0"

FLOOR PLAN
SCALE 1/4" = 1'-0"

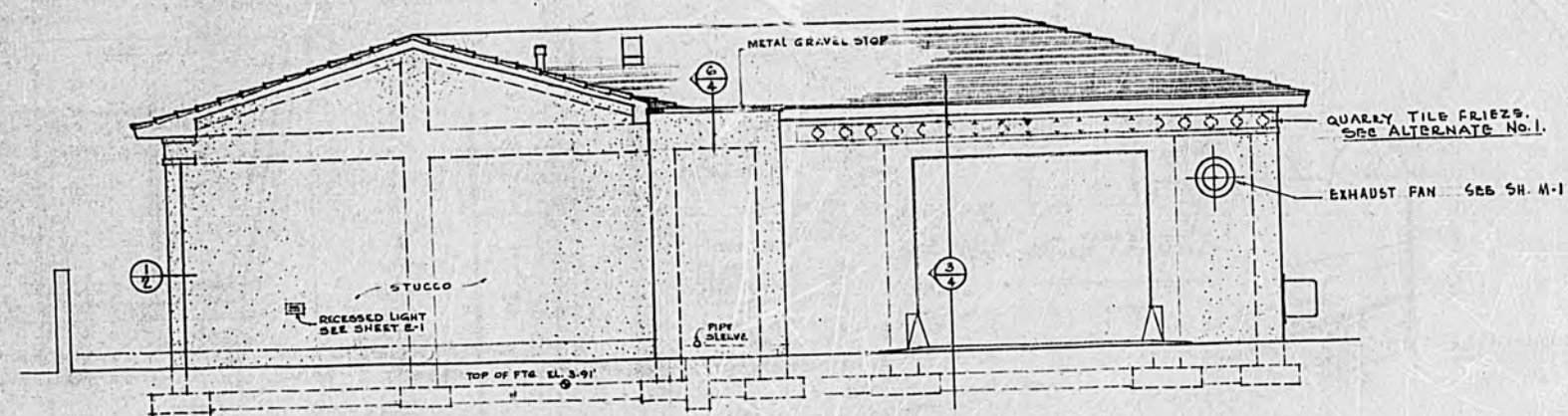


WEST WALL OF SPACE 105
SCALE 1/4" = 1'-0"

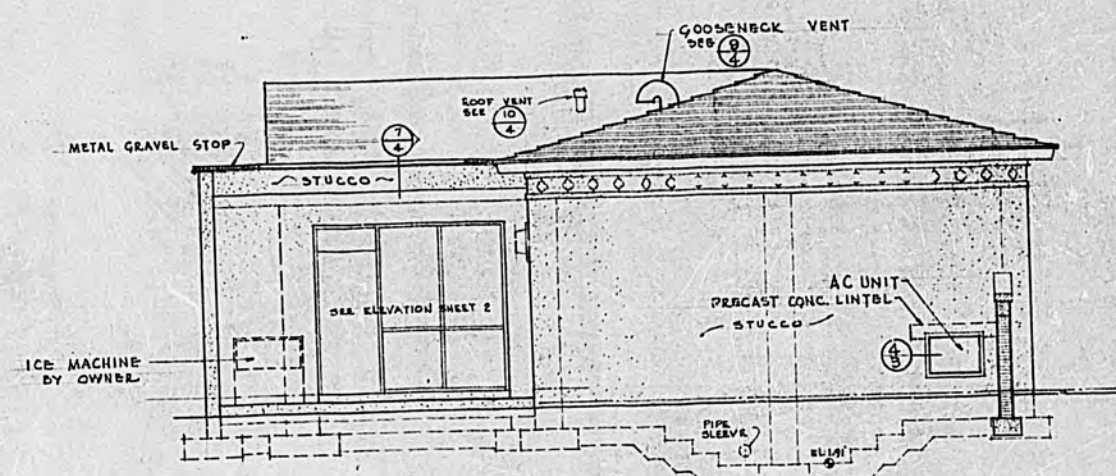


SCALE 1/2" = 1'-0"

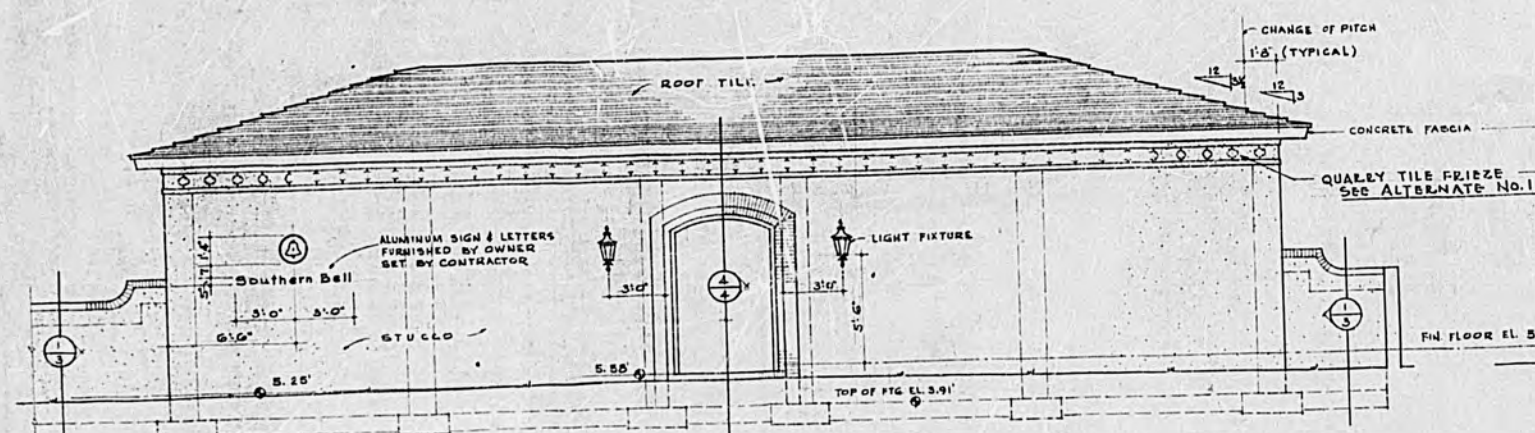
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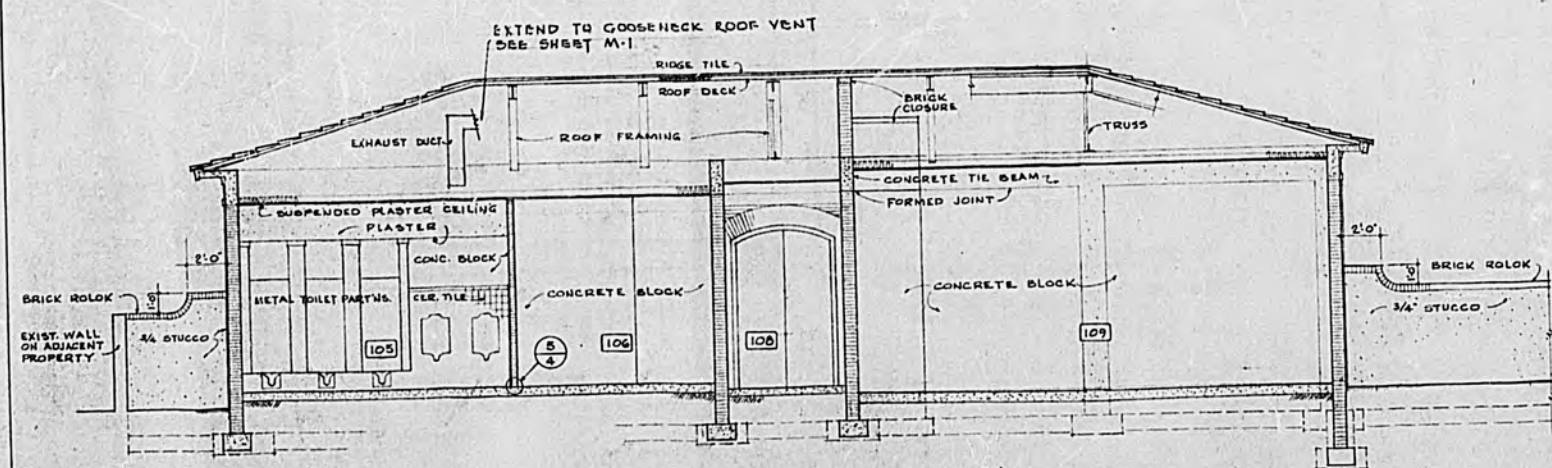
WEST ELEVATION
SCALE 1/4" = 1'-0"



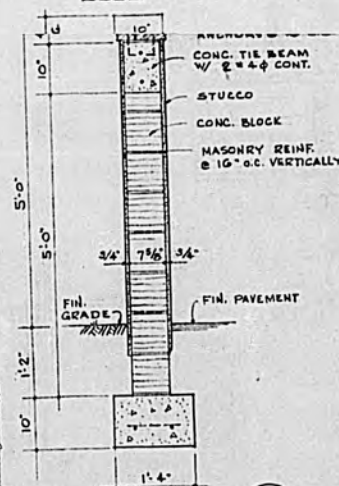
SOUTH ELEVATION
SCALE 1/4" = 1'-0"



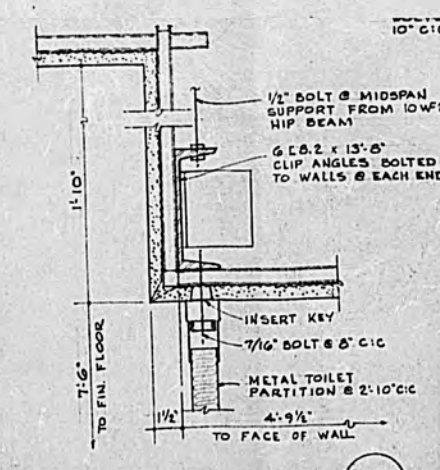
EAST ELEVATION
SCALE 1/4" = 1'-0"



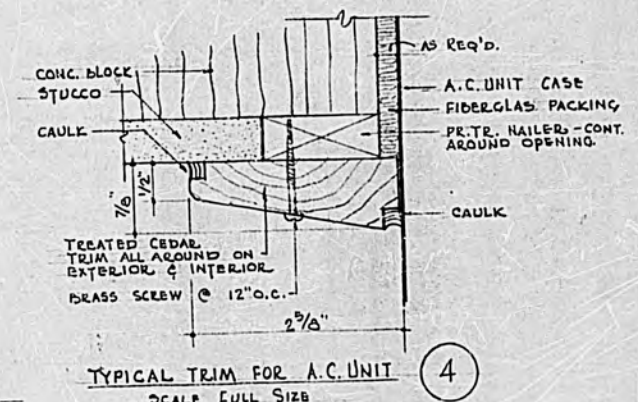
TRANSVERSE SECTION
SCALE 1/4" = 1'-0"



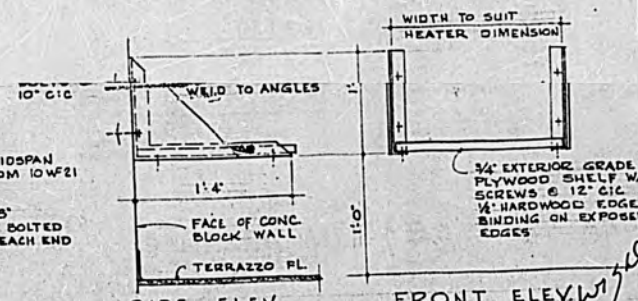
EAST WALL
SCALE 3/4" = 1'-0"



TOILET PARTITION
SCALE 3/4" = 1'-0"



TYPICAL TRIM FOR A.C. UNIT
SCALE FULL SIZE

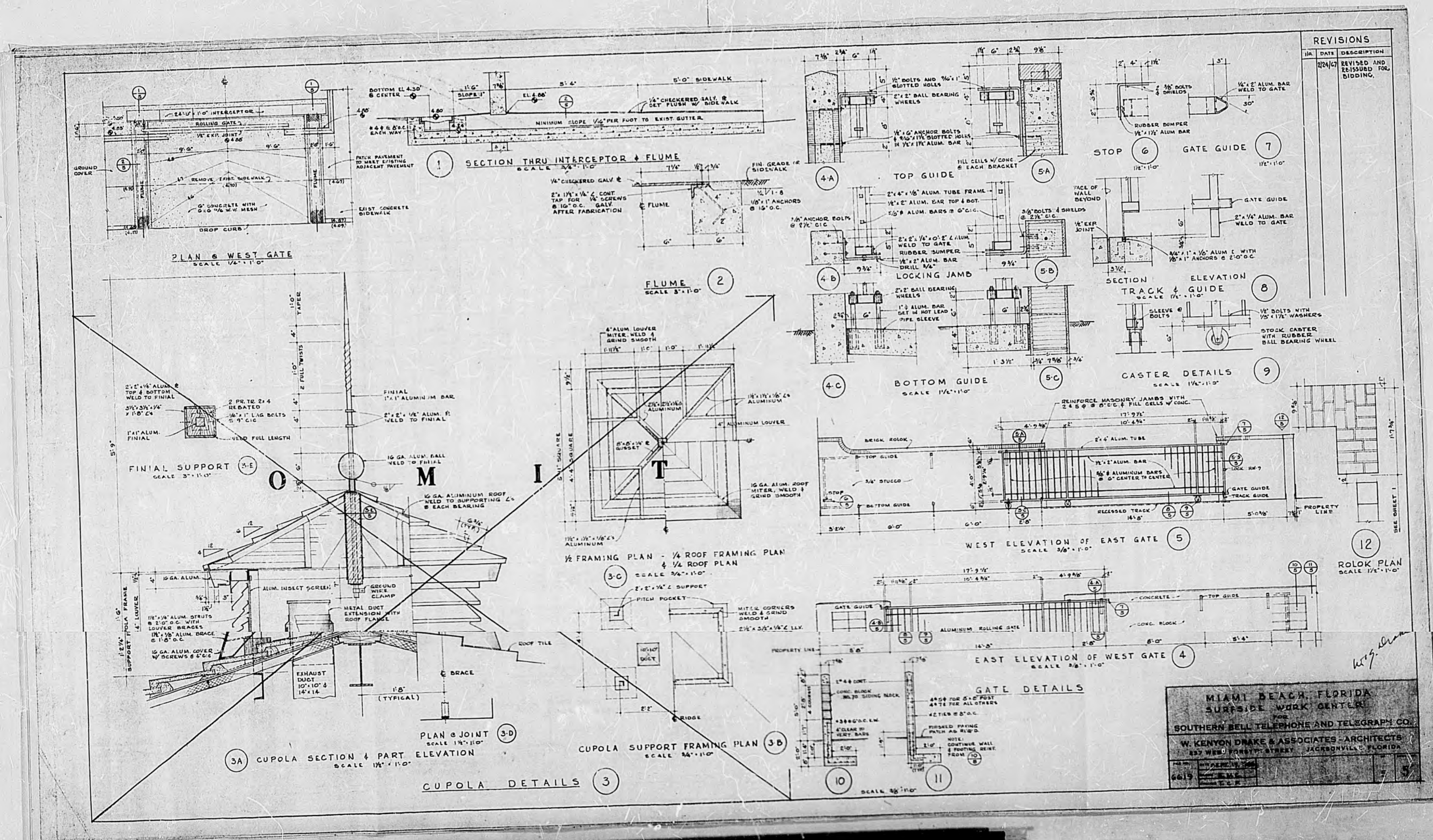


WATER HEATER BRACKET
SCALE 1/2" = 1'-0"

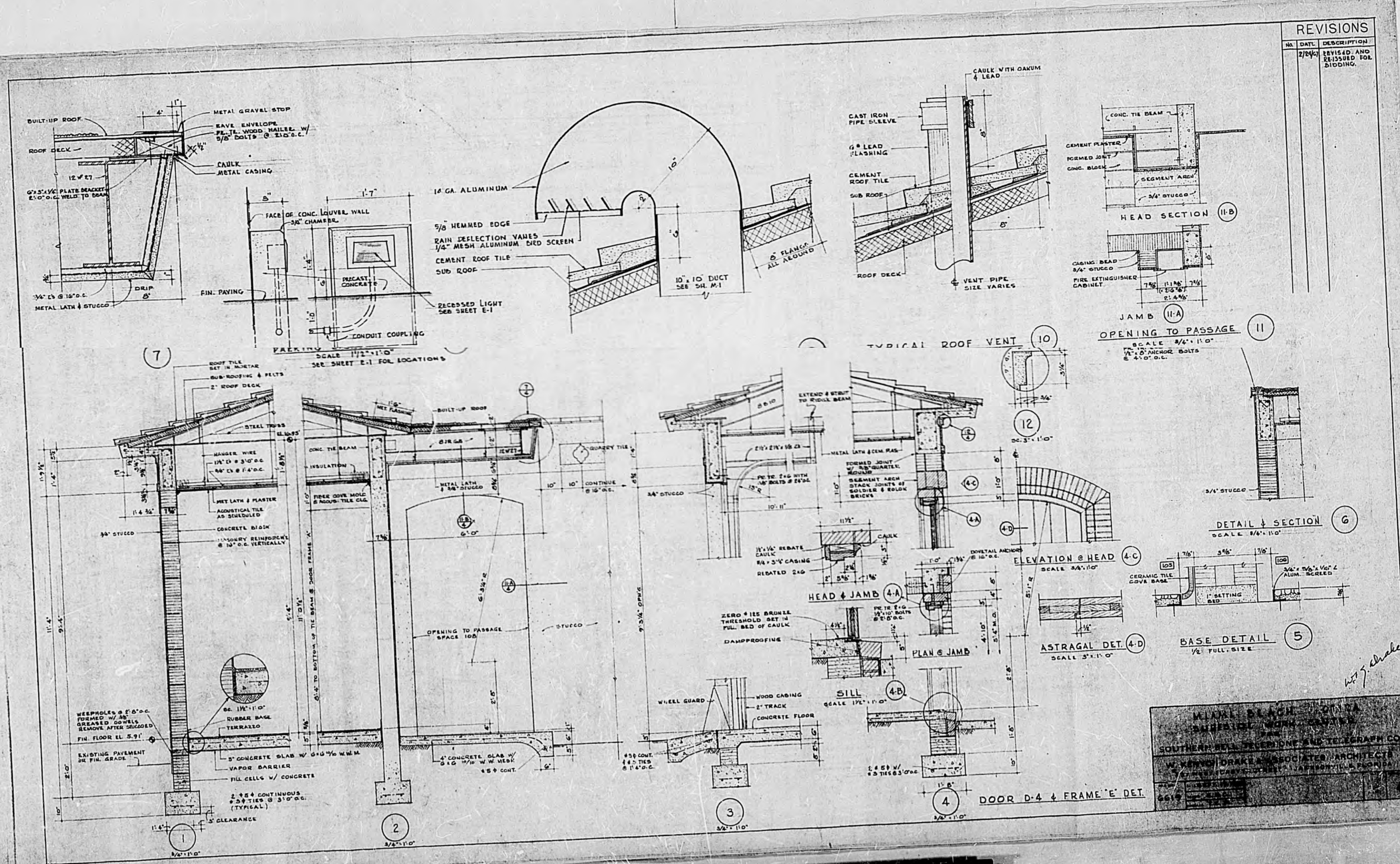
MIAMI BEACH, FLORIDA	
SURFSIDE WORK CENTER	
SOUTHERN BELL TELEPHONE AND TELEGRAPH CO.	
W. KENYON DRAKE & ASSOCIATES - ARCHITECTS	
237 WEST FORBETH STREET JACKSONVILLE, FLORIDA	
DATE: MAY 1966	53
6619	
MARK: E.M.C.	
INDEX: T.E.P.	

REVISIONS		
NO.	DATE	DESCRIPTION
1	2/24/66	REVISED AND RE-ISSUED FOR BIDDING.

78191

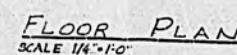


78191



NO.	DATE	DESCRIPTION
1	2/24/40	REVISED AND REISSUED FOR BIDDING.

HALL, BLANCH, & CO.
 ARCHITECTS
 1111 BAY STREET
 NEW ORLEANS, LA.
 SOUTHERN BELL TELEPHONE & TELEGRAPH CO.
 W. KENNEDY & ASSOCIATES, ARCHITECTS
 1111 BAY STREET, NEW ORLEANS, LA.



NOTES
ALL FLUORESCENT
FIXTURES TO BE
DESIGNED FOR RAPID
START OR TRIGGER START
LAMPS W/EOV. BALLAST

EXIT LIGHT (FIXT "6") TO
REMAIN ON AT ALL TIMES

PANEL - "PA" - SCHEDULE			
120/240V 3Ø-4W 225 AMP MAIN BREAKER			
CKT. NO.	POLES	AMPS	SERVES
1	2	180	PANEL - "LA"
2	Ø	100	COND. UNIT #1
3	2	40	HEAT PUMP #8
1-8	1	20	SPARES

EXT. NO.	POLES	WIRE	SERVICES
1-4, 7-10	1	20	LIGHTING & TELEPHONE
14-20, 25	1	20	LIGHTING & TELEPHONE
20	1	20	AIR UNIT NO. 1
23	2	20	E. MAIN
5, 6, 15, 21	1	20	SPARE
24, 26, 29	1	20	SPARE

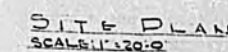
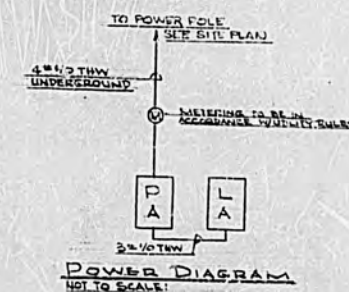
NOTE:
FLUSH MOUNT TIME SW. FOR CIR. 25
ABOVE PANEL - 3-A"

ELECTRICAL LEGAL

- ① BRACKET FICTURE - INCANDESCENT TYPE
- CHILING FICTURE - INCANDESCENT TYPE
- CHILING FICTURE - FLUORESCENT TYPE
- SINGLE POLE SWITCH
- LIGHTING PANEL
- ⊕ DUPLEX CONVENIENCE OUTLET
- WV WATERPROOF
- ⊕ FLOODLIGHT
- ⊕ CLOCK OUTLET - B.G.A.B.
- ⊕ JUNCTION BOX
- DISCONNECT SWITCH
- ⊕ MOTOR
- ① THERMOSTAT (BY A.C. CONTRACTOR)
- TELEPHONE UNDERFLOOR DUCT - SUPER DUCT
- TELEPHONE UNDERFLOOR DUCT - JUNCTION BOX
- WIRING IN CONDUIT - CONCEALED IN CHILING OR WALL
- WIRING IN CONDUIT - CONCEALED IN FLOOR OR UNDERGROUND
- WIRING IN CONDUIT - EXPOSED
- DISCRETELY LOCATE NO. OF CONDUCTORS IN RUN
- ABOVE DUCTS NO. OF HOLES, RUNS
- AL₁ ABOVE FLOOR
- S₁ TWO POLE SWITCH
- S₂ TWO-SPEED SWITCH
- WV TELEPHONE OUTLET

GENERAL NOTES

- 1. DO NOT SCALE TRIMMED OR ROUGH LOGS OR LIMBS OF TREES. INSTEAD, USE EQUIPMENT AND WORK WITH NATCH ARCHITECTURAL FEATURES.
- 2. IN ALL "CUT" WORKS SHALL BE THRU MOUNTED, TO MATCH ARCHITECTURAL FEATURES. IF AT FOLLOWING APPROX. HEIGHTS:
 - WALL SWITCHES - 40" AND 70" FIN. L. RECEPTACLES - 15" AND 30"
- BRACKET FIXTURES:
 - EXTERIOR _____ SEE ARCHITECTURAL DRAWINGS
- 3. IN MASONRY WALLS, TOPS OF WORKS, SHALL MATCH MORTAR JOINT
- 4. ON CONTINUOUS ROYS - ALL FIXTURES SAME TYPE
- 5. WALL OR SWITCHES - INTERCHANGEABLE WITH WALL MASONRY BRACKET. BUT NOT FIT-TOGETHER MOUNTED TO WALL.
- 6. IN CEMENT MORTAR, TO BE RUN BY ELECTRICAL CONTRACTOR
- 7. PROVIDE 1/2" x 2" x 8" TO CHANGE FOR CLADDING FIXTURES. E. P. - 2. SOME MAY NOT BE AVAILABLE. LOCATION 1/2" WEST.
- 8. ALL TRIM SHALL BE MOUNTED AT SIGNED TOPS OF TWO OR FOUR

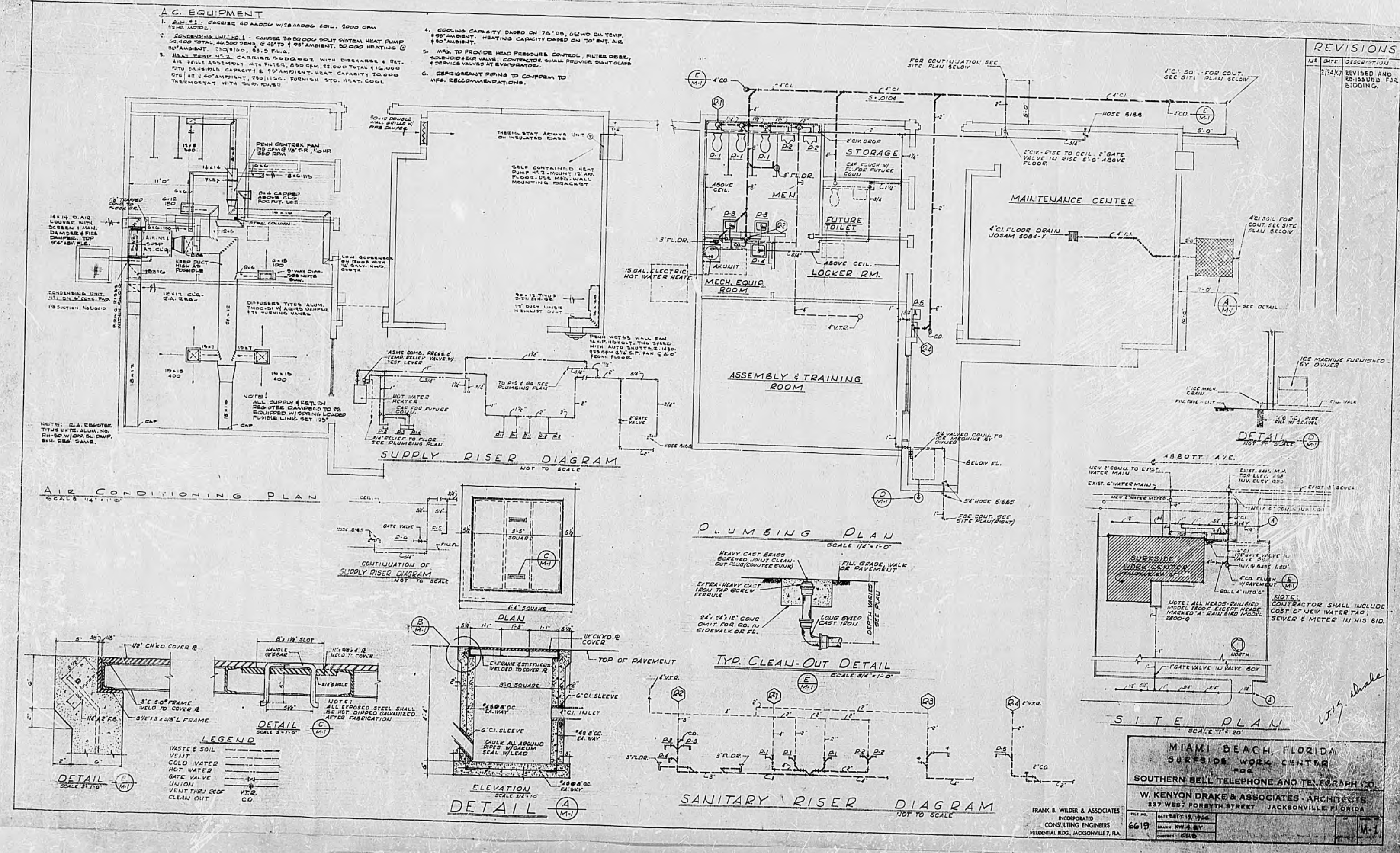


MIAMI BEACH, FLORIDA
SUNSHINE WORK CENTER
FOR
SOUTHERN BELL TELEPHONE AND TELEGRAPH CO.
W. KENYON DRAKE & ASSOCIATES - ARCHITECTS
237 WEST FORSYTH STREET JACKSONVILLE, FLORIDA

FRANK B. WILDER & ASSOCIATES
INCORPORATED
CONSULTING ENGINEERS
PRUDENTIAL BLDG., JACKSONVILLE 7, FLA.

FILE NO.	DATE <u>SEPT. 19, 1964</u>
	DRAWN <u>D.B.</u>

REVISIONS		
NO.	DATE	DESCRIPTION
	2/24/97	REVISED AND RE-ISSUED FOR BIDDING.

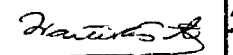
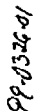


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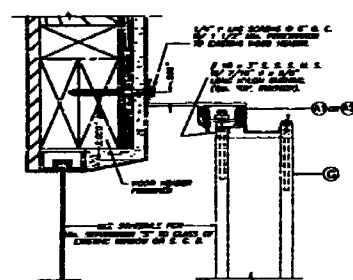
LASON
The Information Management Company

PERMIT #

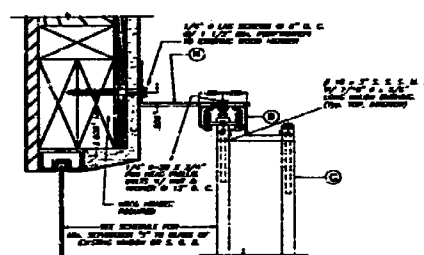
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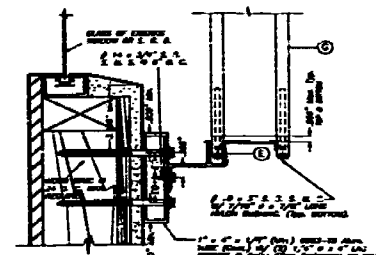
1. INSTALLATIONS ARE ONLY VALID FOR INSTALLATIONS WITH DESIGN WIND LOADS LESS OR EQUAL TO 9000 PSF AND 8'-0" MAX. SPURTER SPAN.
2. FOR NEW WOOD FRAME CONSTRUCTION: WOOD MEMBERS TO BE SOUTHERN PINE No. 2, W/ SPECIFIC GRAVITY OF 0.55 OR EQUAL.



ALTERNATIVE 1



ALTERNATIVE 2



ALTERNATIVE 3

WALL MOUNTING INSTALLATION - SECTIONS A
 DIM: 1 1/4" = 1"

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE APR 11 26 1999
BY Richard D. [Signature]
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 49-0326-01

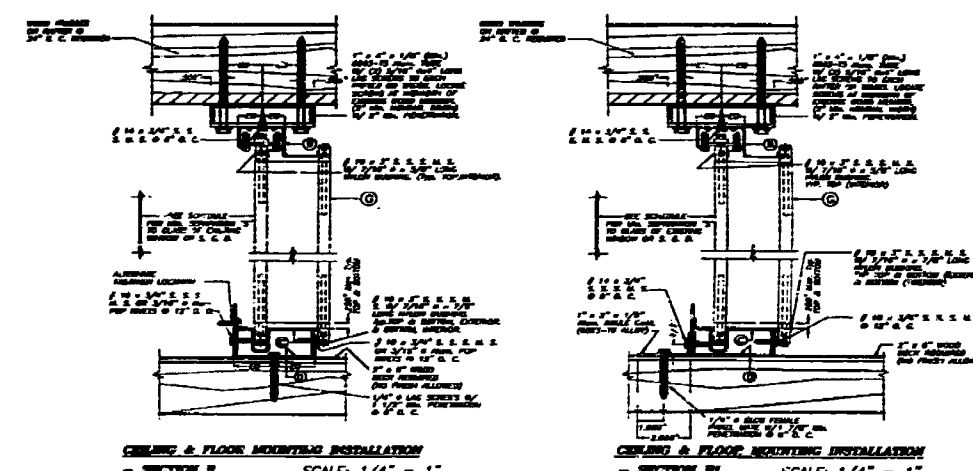
DADE COUNTY



DUPLOYED ACCORDION SHUTTER AND / ACCORDION SCREW ACCORDION SHUTTER						AT SHOWN SCALE	
SHUTTERS PLUS, INC. (AREA # 122) 8535 NW 56 STREET MIAMI, FLORIDA 33148						1/25/88 DATE	
						99 - 66 DRAWING NO.	
REV NO.	DESCRIPTION	DATE	BY	APPROVED	DATE		
1	2	3	4	5	6		
2	2	3	4	5	6		
						SHEET 8 OF 10	

ALTERNATIVE 4

WALL MOUNTING INSTALLATION - SECTION A
SCALE: 1/4" = 1'



CILING & FLOOR MOUNTING INSTALLATION
- SECTION B SCALE: 1/4" = 1'

CILING & FLOOR MOUNTING INSTALLATION
- SECTION B1 SCALE: 1/4" = 1"

NOTE :
WALL/FLOOR/CEILING MOUNTING SECTIONS CAN BE
COMBINED IN ANY WAY TO SUIT ANY INSTALLATION.

NOTES:

1. INSULATIONS ARE ONLY VALID FOR INSULATIONS WITH DESIGN WIND LOADS LESS OR EQUAL THAN 75 psf. AND 6'-0" MIN. SPACER SPAN.
2. FOR 4"X 8" DOG FRAME CONSTRUCTION: ROOF MEMBERS TO BE SOUTHWEST PINE No. 2, 8/ SPECIFIC GRAVITY OF 0.55 OR EQUAL.

APPROVED AS COMPLIING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE APR 1 1996
BY Heather H. H. H.
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 99-037

PAGE COUNT



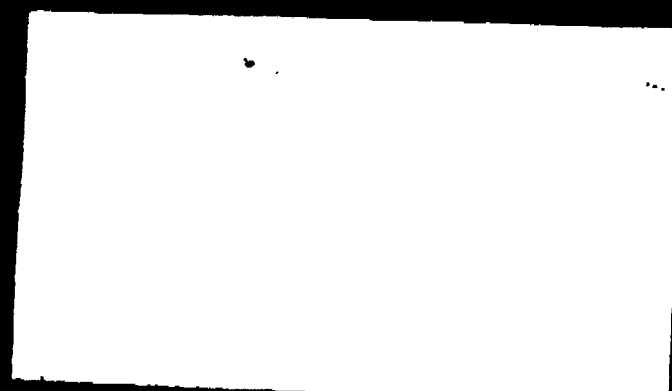
ULTRAGLASS ACCORDION SHUTTER ACCU / RETARDING BEHIND ACCORDION SHUTTER		AS SHOWN SCALE
SHUTTERS PLUS, INC. (DSSA # 1232) 2535 W 54 STREET ALBANY, FLORIDA 31708		2/7/99 DATE
		99 - 66
		SHOOTING NO.

944 4400 0400

6940 Abbott Ave.

30000611

6940



SHUTTERS PLUS, INC.		SHUTTERS PLUS, INC.	
10000 SW 10TH AVE		10000 SW 10TH AVE	
MIAMI, FL 33155		MIAMI, FL 33155	
TEL: 305-555-1234		TEL: 305-555-1234	
FAX: 305-555-1234		FAX: 305-555-1234	
WWW.SHUTTERSPLUS.COM		WWW.SHUTTERSPLUS.COM	
<p>SHUTTERS PLUS, INC.</p> <p>10000 SW 10TH AVE</p> <p>MIAMI, FL 33155</p> <p>TEL: 305-555-1234</p> <p>FAX: 305-555-1234</p> <p>WWW.SHUTTERSPLUS.COM</p>			

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
BUILDING CODE COMPLIANCE OFFICE
140 WEST FLAGLER STREET, SUITE 600
MIAMI, FLORIDA 33135-1203
(305) 375-2901 FAX (305) 375-2906

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Shutters Plus, Inc.
8535 NW 56 Street
Miami FL 33176

CONTRACTOR LICENSING SECTION
(305) 375-2327 FAX (305) 375-2328

CONTRACT ENFORCEMENT SECTION
(305) 375-2964 FAX (305) 375-2968

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 375-4339

Your application for Product Approval of:
Ultraguard Accordion Shutter
under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This approval shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material as anytime from a jobsite or manufacturer's plant for quality control testing. If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

Acceptance No.: **99-0326.01**
Expires: **04/06/2002**

Raul Rodriguez
Raul Rodriguez
Chief, Product Control Division

THIS IS THE COVERSHEET. SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County, Florida under the conditions set forth above.

Francisco J. Quintana, R.A.
Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

Approved: **04/06/1999** 1 of 3

Internet email address: permits@buildingcode.com Home page: <http://www.buildingcode.com>

Shutters Plus, Inc.

ACCEPTANCE No.: **99-0326.01**

APPROVED: **APR 06 1999**

EXPIRES: **APR 06 2002**

NOTICE OF ACCEPTANCE - SPECIFIC CONDITIONS

- SCOPE**
This approves an Aluminum Extruded Residential Bertha Accordion Shutter, as described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code, 1994 Edition for Miami-Dade County, for the locations where the pressure requirements, as determined by SFBC Chapter 23, do not exceed the Design Pressure Rating values indicated in the approved drawings.
- PRODUCT DESCRIPTION**
This Aluminum Extruded Residential Bertha Accordion Shutter and its components shall be constructed in strict compliance with the following documents: Drawing No. 99-66, titled "Ultraguard Accordion Shutter - ASSA Residential Bertha Accordion Shutter", prepared by Tuleco Inc., dated February 25, 1999, sheet 1 through 10 of 10, bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division. These documents shall hereinafter be referred to as the approved drawings.
- LIMITATIONS**
All permanent set components, included but not limited to embedded anchor, bolts, threaded cones, metal shields, headers and sills, must be protected against corrosion, contamination and damage at all times.
- INSTALLATION**
This Aluminum Extruded Residential Bertha Accordion Shutter and its components shall be installed in strict compliance with the approved drawings.
- LABELING**
Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved".
- BUILDING PERMIT REQUIREMENTS**
 - Application for building permit shall be accompanied by copies of the following:
 - This Notice of Acceptance.
 - Duplicate copies of the approved drawings, as identified in Section 2 of this Notice of Acceptance, clearly marked to show the components selected for the proposed installation.
 - Any other documents required by the Building Official or the South Florida Building Code (SFBC) in order to properly evaluate the installation of this system.

Henry A. Malar
Henry A. Malar, P.E. - Product Control Examiner
Product Control Division

2 of 3

Shutters Plus, Inc.

ACCEPTANCE No. : 99-0726-01
APPROVED : APR 06 1999
EXPIRES : APR 06 2002

NOTICE OF ACCEPTANCE - STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documents, including test supporting data, engineering documents, are no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
 - a. There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes.
 - b. The product is no longer the same product (identical) as the one originally approved.
 - c. If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product.
 - d. The engineer, who originally prepared, signed and sealed the required documentation initially submitted, is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
 - a. Unsatisfactory performance of this product or process.
 - b. Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purposes.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer needs not retain the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 1, 2 and this last page 3.

END OF THIS ACCEPTANCE

Henry A. Makar
Henry A. Makar, P.E., Product Control Examiner
Product Control Division

		AMIA 7-00	10
B000514			17
B000516			26
B000517			31
B000518			53
B000522			57
B000527	BMS002024		63
B000527	BMS0100802		70
B000530			70
B000537	BMS000999		

LASON The Information Management Company				
Master/Permit	Revision	Address	Frame	Box
B000541				44
B000546				102
B000549				140
B000554				172
B000557				154
B000558				157
B000561				161
B000574				332
B000586				402
B000587				245
	BMS0003404			311
	BMS000511			312
	BMS0005464			337
B000589				347
B000594				413
B000596				424
B000597				445

LASON The Information Management Company				
Master/Permit	Revision	Address	Frame	Box
B000602				453
B000603				456
B000611				458

CITY OF MIAMI BEACH

[illegible]

1. 1990年12月25日，俄罗斯宣布独立，成为苏联解体后第一个宣布独立的国家。

[illegible]

SCHEDULE OF DOORS AND FRAMES

FOR

AT&T SURESIDE INTERIOR ALTERATIONS

PUBLIC WORKS 6940 ABBOTT AVE.

PLAN REVIEW NOTICE SURFSIDE, FL 33141

Phone 305-673-7080

Fax 305-673-7028

GENERAL CONTRACTOR

THIS PLAN REVIEW CONSTITUTES APPROVAL FOR OBTAINING BUILDING PERMITS ONLY.

All construction and/or use of equipment in the right-of-way and/or easements, requires a separate Public Works Department permit prior to start of construction.

SCHEDULE BY:

Permit Requirements: Proof of existing sidewalk/swale area conditions (pictures) and/or posting of sidewalk/roadway bonds (Public Works Inspection of the right-of-way will be required prior to final sign-off on the C.C. / C.O., or the release of bonds.)

Approved/Reviewed By: *[Signature]* PROJECT MANAGER

Date: 9/30/08

DUFFY CONSTRUCTION COMPANY INC.

1395 NW 21ST ST.

MIAMI, FL 33142-7788

PHONE - 305-325-0001

FAX - 305-325-0006

LOTSPEICH COMPANY OF FLORIDA INC.

6351 N. W. 28TH WAY, SUITE 100

FORT LAUDERDALE, FL 33309

PHONE - 954-978-2388

FAX - 954-978-4647

PHILLIP MIX II

PROJECT COORDINATOR:

SUBMITTED FOR APPROVAL:

48 HOURS PRIOR TO EXCAVATING

CONTRACTOR SHALL CALL FOR LOCATION

OF UNDERGROUND UTILITIES

SUNSHINE ONE CALL 1-800-432-4770

CITY OF MIAMI BEACH 305-673-7080

RESPONSE REQUIRED OF CONTRACTOR

REVIEW

No exceptions taken ☒

Note Markings ☐

Rejected ☐

Comments Attached ☐

Resubmit ☐

Review is to general conformity with the design concept and contract documents. Markings and comments shall not be construed as relieving the Contractor of compliance with the project plans and specification, nor following instructions therefrom. The Contractor remains responsible for details and accuracy in confirming and correlating all quantities and dimensions, to select the fabrication processes, for techniques of assembly, and for performing the work in a safe manner.

CHECDURE ROUX ARCHITECT

DATE

SEP 24 2008

04

RECEIVED
DUFFEY CONST. CO. INC.
BY: *[Signature]* DATE: 9/22/08
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING:

ZONING:

DRB/HPB:

CONCURRENCY:

RESTROOM:

ELECTRICAL:

MECHANICAL:

FILE PRESENTATION:

ENGINEERING:

PUBLIC WORKS:

STRUCTURAL:

ELEVATOR:

[Signature] 7/27/08

[Signature] 09/30/08

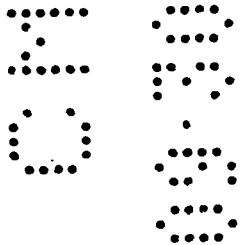
LOTSPEICH CO. of FLORIDA, INC.
6351 NW 28th WAY SUITE "A"
FT. LAUDERDALE, FL. 33309

TEL (954) 978-2388 FAX (954) 978-4647

DATE: 23 SEP 08 PAGE NO:

OPENING SCHEDULE FOR: AT&T SURFSIDE INTERIOR ALTERATIONS (ATT)

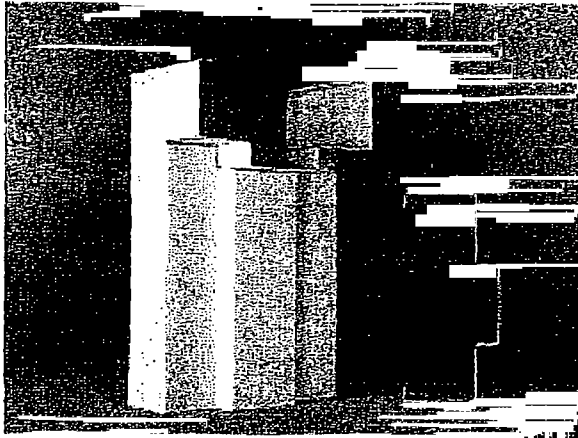
DOOR #	LOCATION	QTY	OPENING SIZE	HAND	JAMB	FR	FR	DR	DR	DR	DR	FINISH	LABEL	MFR	ARCH	ARCH	ANCHORS	HEADING	REMARKS
101	BREEZEWAY From INTERIOR	1	6'0"7'0"	LHR	534	16	A60	16	A60	H				F	A		EMA	1	NQA #08-0115.01 Z-ASTRAGAL INACTIVE LEAF, <i>unequal pr</i> <i>40 Active</i>
102	BREEZEWAY To CORRIDOR 102	1	3'0"7'0"	RH	534	16	A60	16	A60	H				F	A		EMA	2	NQA #04-0927.01
104	CORRIDOR 102 From MENS 104	1	3'0"7'0"	LHR	434	16	CRS		RPG8	PC				F	A		EMA	3	Paint Grade Wood
105	BREEZEWAY To WOMENS 105	1	3'0"7'0"	LH	534	16	A60	16	A60	H				F	A		EMA	2	NQA #04-0927.01
106	BREEZEWAY To STORAGE	1	3'0"7'0"	LH	534	16	A60	16	A60	H				F	A		EMA	2	NQA #04-0927.01



30
30
30
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STEELCRAFT.

F16 AND F14-SERIES FLUSH FRAMES



FLUSH FRAMES

FEATURES AND BENEFITS:

Steelcraft F-Series Flush Frames offer the following unique features, which enhance long term functionality and durability:

1. **Die-mitered corner connections** (head/jamb) Standard corners insure attractive, tight and closed miters.
2. **Patented universal hinge preparations** allow for easy field conversion from standard weight (.134) hinges to heavy weight (.180) hinges.
3. **Adjustable base anchors** allow for installation adjustment when the floor is not level.
4. **Rubber silencers** are factory installed.
5. **Factory applied baked on rust inhibiting primer** in accordance with ANSI A250.10.

ABOUT THE PRODUCT:

The F16 and F14-Series 3-Sided Flush Frames are designed for heavy and extra-heavy duty applications in both commercial and institutional buildings. They can be installed in both interior and exterior locations, and in virtually all types of buildings and wall constructions. These frames are to be installed as part of the wall framing sequence. They can be specified and/or supplied as either KD (knock-down) for field assembly prior to installation, or SUA (set-up and welded) for installation as a pre-welded unit.

APPLICATIONS:

The F-Series Frames are typically used in the following types of wall constructions:

Wall Construction	Application	Typical Wall Anchors
Masonry	wrap or butted	Wire masonry
Existing masonry	butted	Bolted through soffit
Wood stud	wrap	Lock-in wood stud anchor
Steel stud	wrap	Lock-in steel stud anchor

SPECIFICATION COMPLIANCE:

1. Overall frame construction for the Steelcraft F16 and F14-Series Flush Frames meet the requirements of ANSI A250 8-1998 (commonly referred to as SDI-100).
2. Hardware preparations and reinforcements are in accordance with ANSI A250.6-1997. Locations are in accordance with ANSI/DHI A115.

FIRE RATINGS:

The F-Series Frames meet the broadest fire rating requirements. They are listed for installations requiring compliance to both negative pressure testing (ASTM E152 and UL-10B) and positive pressure standards (UBC 7-2 and UL-10C). Refer to the "Fire Rated" section of the Steelcraft Spec Manual for particular listings

Steel Thickness	Opening	Usage Frequency ¹	Applications
14 gage (1.7mm)	Interior & Exterior	Extra-heavy to Maximum duty	• 16 & 14 gage steel doors
16 gage (1.3mm)	Interior & Exterior	Heavy to Extra-heavy duty	• 20, 18 & 16 gage steel doors
			• Commercial grade wood doors
Steel Type	Opening		Applications
Non Galvanneal ²	Mainly Interior		• Typical building conditions
Galvanneal ²	Mainly Exterior		• Used in locations with high humidity and/or weather exposure

MATERIAL:

F-Series Frames are supplied from either 14 gage (1.7mm) or 16 gage (1.3mm) steel. Depending on environmental and usage conditions, the steel can be either non galvanneal or galvannealed. All frames are supplied with a factory applied baked on primer for ultimate field paint adhesion.

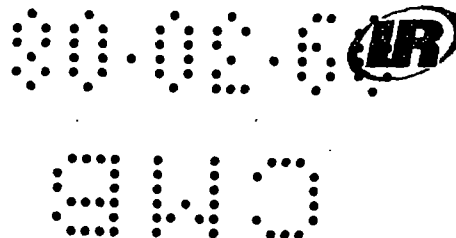
¹ Usage frequency is based on ANSI A250 8-1998

² Reinforcements for galvannealed frames are also galvannealed

³ Commercial quality carbon steel

Details are subject to change without prior notice.

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Printed in USA



Security & Safety
Proven Source. Proven Solutions.™

Spec Manual
Rev 5/2002

F1-1

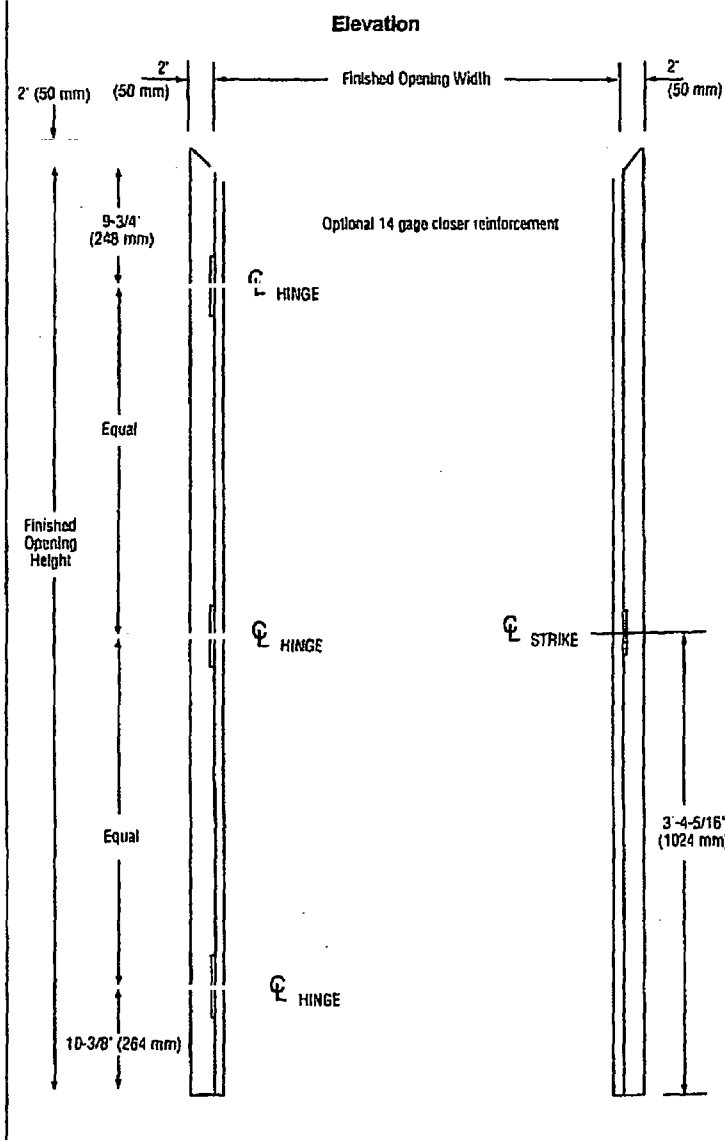
03-30-03

CWB

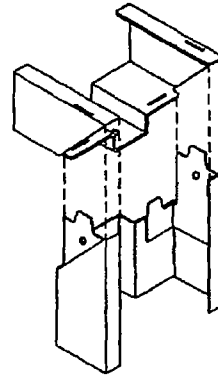
STEELCRAFT

F16 AND F14-SERIES

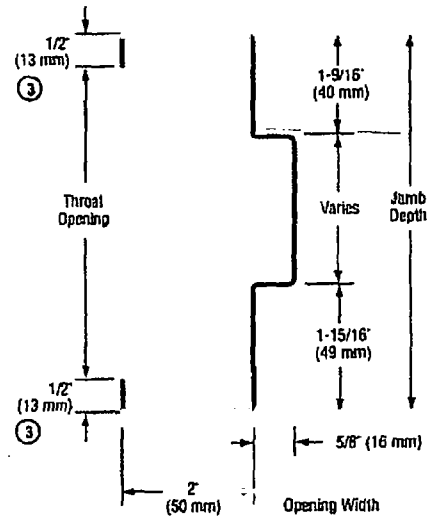
FLUSH FRAMES



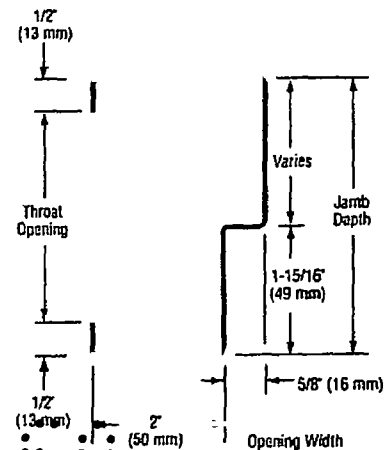
KD Corner Detail



Standard Double Rabbet Frame

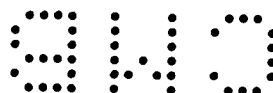
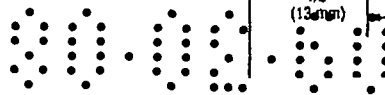


Single Rabbet Frame



CONSTRUCTION NOTES:

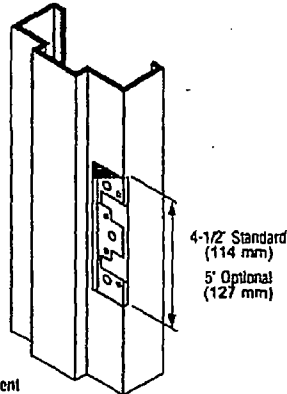
- Door opening size maximum:**
Single door opening size 5'0" x 11'0"
(1524mm x 3353mm)
Double door opening size 10'0" x 11'0"
(3048mm x 3353mm)
- Jamb depths (profile) availability:**
Single rabbet:
minimum = 3" (76mm)
maximum = 20" (508mm)
Double rabbet:
minimum = 4 3/4" (121mm)
maximum = 20" (508mm)
- Standard profile dimensions (variations available):**
Face = 2" (50mm)
Stop = 5/8" (16mm)
Returns = 1/2" (13mm) all frames
except 5 3/4" (146mm) which
is 7/16" (11mm)
- Standard die-mitered corners:**
Four (4) concealed tabs interlocking
head and jambs



03.20.00

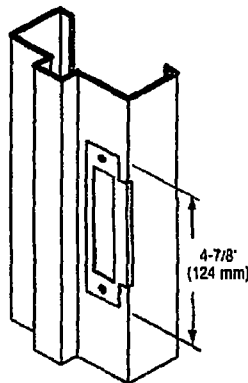
C4B

Universal Mortise Hinge Prep

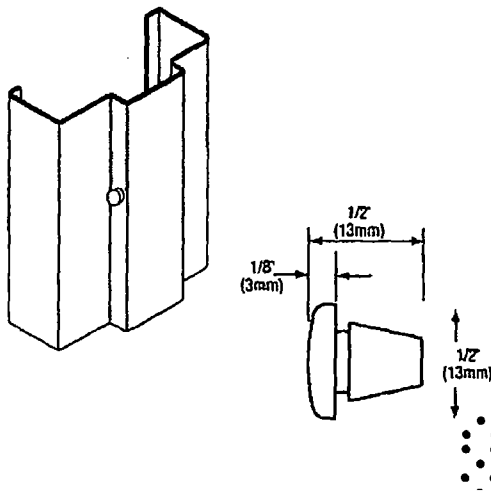


7 Gage Hinge Reinforcement

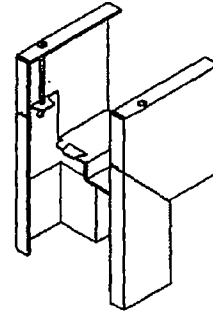
4 7/8\" Strike Prep (ASA)



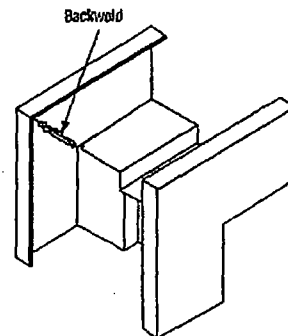
Rubber Silencer



Optional 4\" (102mm) Head Detail

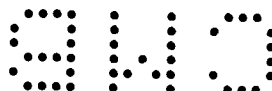


Welded Corner



GENERAL NOTES:

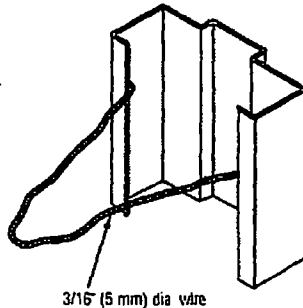
1. Frame profile – variations in jamb depths available in 1/8\" (3mm) increments:
 Single rabbet – typically for walls less than 3 3/4\" (95mm) thick (2\" min. (50mm))
 Double rabbet – typically for walls 3 3/4\" (95mm) thick and over
2. Corner connections:
 • KD (knock-down) – Factory die-mitered
 Double rabbet frames – 4 tabs per miter
 Single rabbet frames – 3 tabs per miter
 • Corner Connections – SUA (set-up and welded)
 Available when specified, and in accordance with ANSI A250.8-1998
3. 4\" (102mm) heads – die mitered for use with 2\" (50mm) face double rabbet jambs Available when specified for KD or SUA applications.
4. Standard hardware preparations:
 Standard mortised and reinforced with mortar guards for:
 • Universal hinge preps – 4 1/2\" (114mm) patented preparation which allows easy and quick conversion from standard to heavy weight hinges.
 • Strikes – 4 7/8\" (124mm) conforming to ANSI A115.1 and ANSI A115.2.
5. Rubber silencers: All frames are supplied with factory installed silencers to cushion the closing of the door and to eliminate the field problems related to installing the silencers after the frames are installed and grouted. Three (3) silencers per strike jamb and two (2) per double door head.



03.30.00

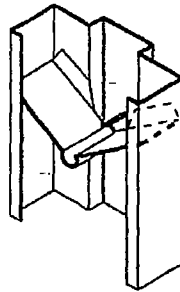
CWB

Wire Masonry Anchor



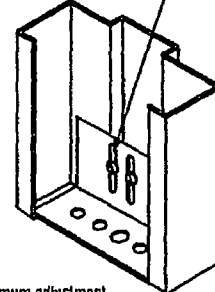
3/16" (5 mm) dia wire

Existing Wall Anchor



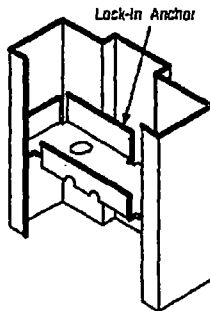
Adjustable Base Anchor

Attached with S M screws furnished



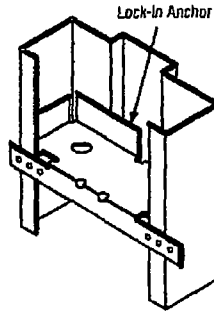
Maximum adjustment
1-3/8" (35 mm) below frame

Anchor for Stud Partitions



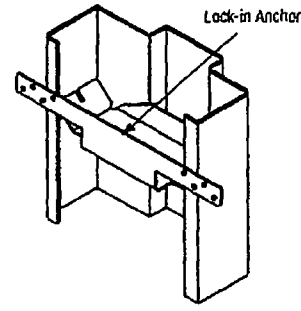
Lock-In Anchor

Anchor for Wood Stud Partition



Lock-In Anchor

Universal Stud Anchor



Lock-In Anchor

ANCHORING AND INSTALLATION NOTES:

1. F16 and F14-Series Commercial and Institutional Frames are supplied standard with masonry wire or lock-in jamb anchors and adjustable base anchors. Anchors are designed for maximum wall/frame engagement and installation flexibility.

2. Anchoring applications:

- **Masonry wall** – Masonry wire anchors (3/16" [5mm] dia.) provide maximum engagements in mortar joints, and allow for full internal grouting during installation. Adjustable base anchors are attached directly to the floor and adjusted. The wall is built around the anchored frame. (Refer to installation sheet #INS-2004.)
- **Existing masonry walls (EMA)** – Specifically designed (18 Ga. steel) jamb anchors are used to add support for bolting the frame into the rough opening of an existing wall. An existing wall anchor is used as the base anchor in this application (Refer to installation sheet #INS-2014.)
- **Wood stud walls** – Lock-in (18 Ga. steel) jamb anchors are designed to be attached to the wood stud rough opening. After the frame is anchored, the wallboard is installed and finished. (Refer to installation sheet #INS-2005.)
- **Steel stud walls** – Lock-in (18 Ga. steel) jamb anchors are designed to be attached to the webbing of the closed steel

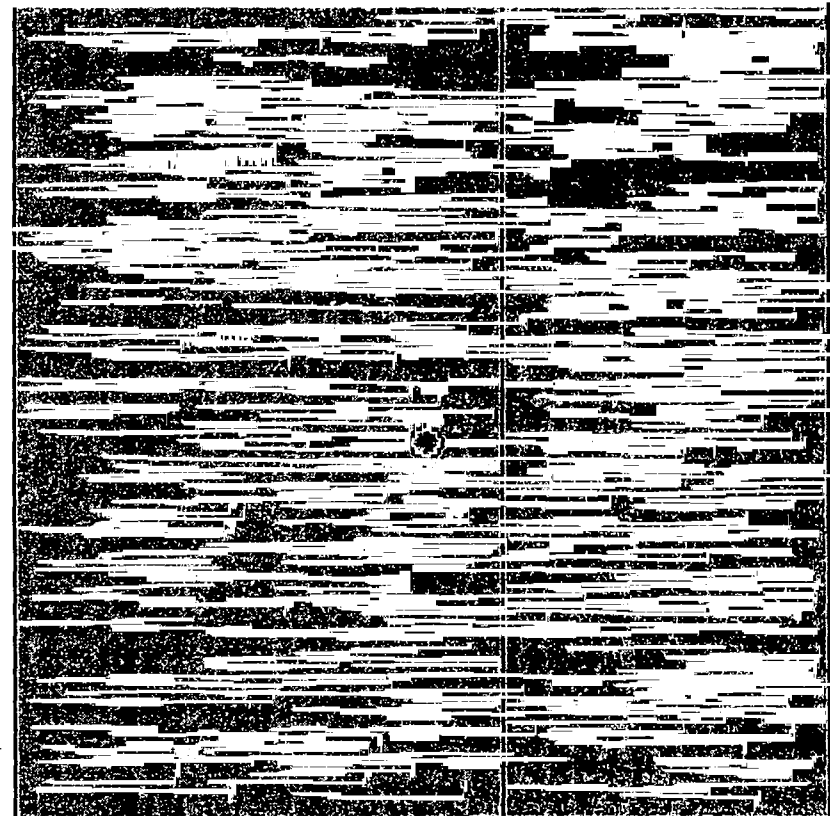
studs which are built around the frame. Adjustable base anchors are attached directly to the floor and adjusted. After frame is anchored, the wallboard is installed and finished. (Refer to installation sheets #INS-2006 and 2007.)

3. **Special frame anchorage:** Frame anchorage details shown on this sheet are applicable to double rabbet frames with 2" (50mm) faces. Anchorage details and availability of lock-in anchors will vary with the following frame profile changes:
 - **Single rabbet** – all details will vary.
 - **Double rabbet** – over 8 3/4" (222mm) jamb depth
4. **Installation caution notice:** When temperature conditions necessitate an additive to be used in the plaster or mortar to prevent freezing, the contractor installing the frames shall coat the inside of the frames in the field with a corrosion resistant coating per SDI 105
5. Installation shall conform to the published Steelcraft installations instructions, SDI 105 *Recommended Installation Instructions for Steel Frames*, and ANSI/DHI A115-IG *Installation Guide for Doors and Hardware*.
6. All fire rated frames must be installed in accordance with NFPA Pamphlet 80 and the Authority Having Jurisdiction.

2024

03-30-00

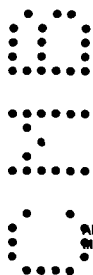
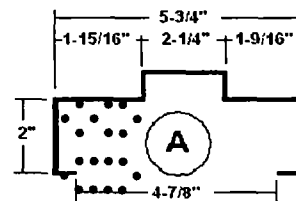
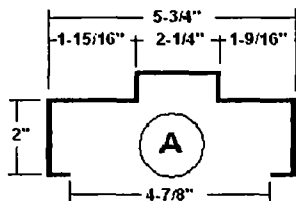
C4B



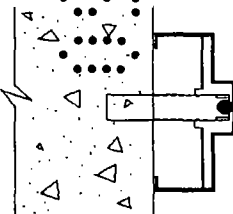
FRAME: F16 GALVANIZED HM FRAME WELDED
 DOOR: H-SERIES HOLLOW METAL GALVANIZED

10

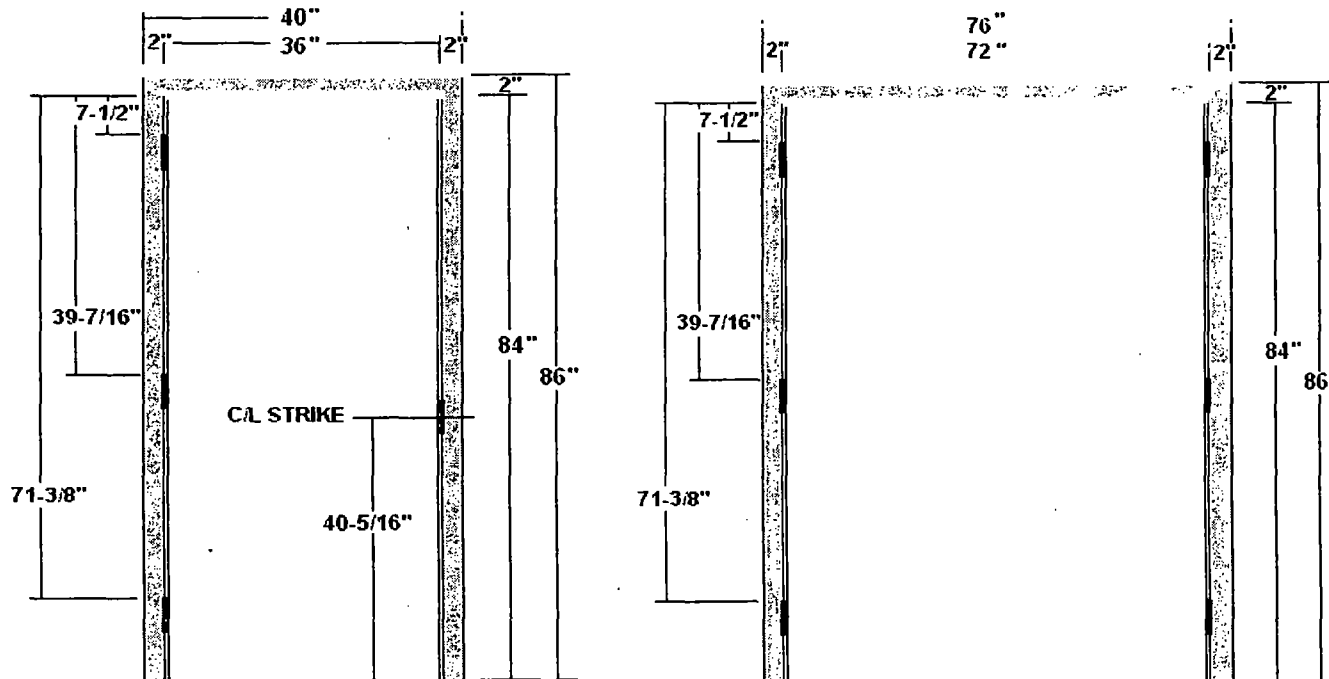
DOOR AND FRAME DIMENSIONS ARE NOMINAL



ANCHOR FOR EXISTING MASONRY WALL FOR USE WITH F.H. MACH. SCREWS & EXPANSION SHIELDS (3/8" - 16 X 4")



Existing Masonry Anchor



FRAME: F16 Welded - Steelcraft Hollow Metal
 DOOR: H-SERIES Steelcraft Hollow Metal

5

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3
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NOTICE OF ACCEPTANCE (NOA)

Ingersoll-Rand
6810 Hillsdale Court
Indianapolis, IN 46250

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami-Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

DESCRIPTION: IR "H16-4" Series Double Outswing Commercial Steel Doors w/ IR Lock Hardware-Impact

APPROVAL DOCUMENT: Drawing No "776W-1A", titled "H-16-4 8080 Double (Outswing)", IR Commercial lock, sheets 1 through 8 of 8, dated 01-04-02 and last revised on 02-03-08, prepared by the manufacturer, signed & sealed by Gordon Thomas, P.E., bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large Missile Impact Resistant

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

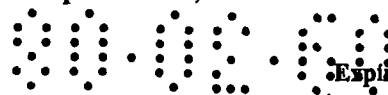
TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

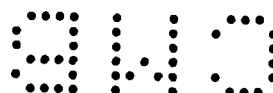
INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA **renews** NOA # 03-09808.03 (# 02-0712.02) and consists of this page 1 and evidence page, as well as approval document mentioned above.

The submitted documentation was reviewed by Ishaq I. Chanda, P.E.



NOA No 08-0115.01
Expiration Date: March 13, 2013
Approval Date: February 29, 2008
Page 1

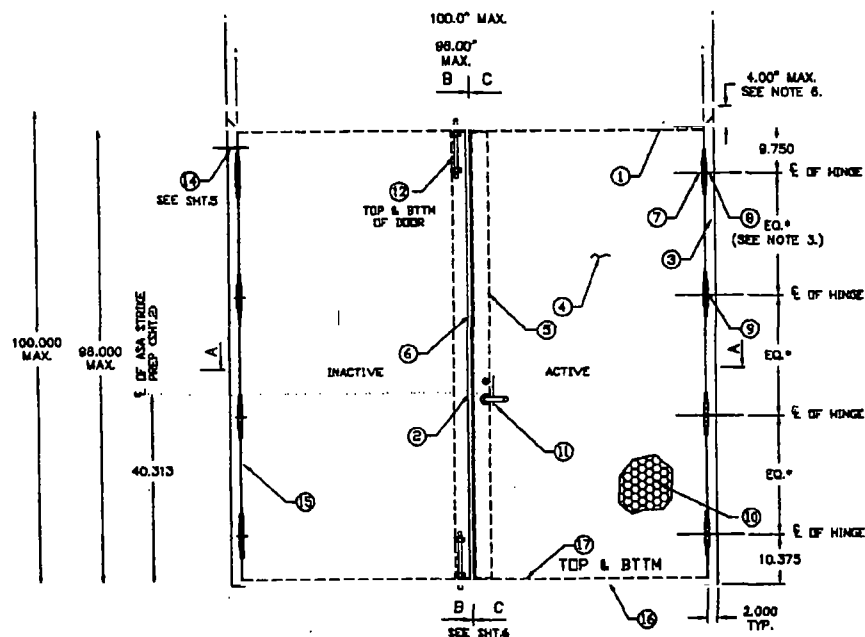


2/15/08

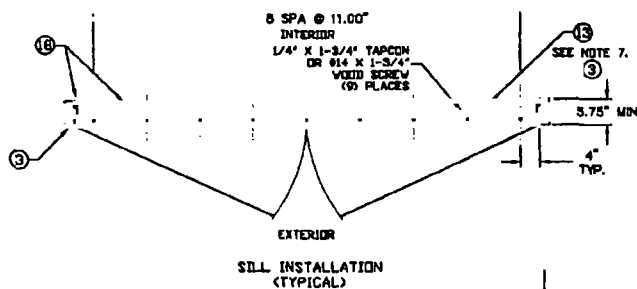
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00.30.00

CMB



OUTSWING DOORS (INTERIOR VIEW)



SILL INSTALLATION (TYPICAL)

DESIGN PRESSURE RATING		
	WHERE WATER INFILTRATION REQUIREMENT IS NEEDED	WHERE WATER INFILTRATION REQUIREMENT IS NOT NEEDED
POSITIVE	NOT APPROVED	+ 75 PSF
NEGATIVE	NOT APPROVED	- 75 PSF

PRODUCT RENEWED
as complying with the Florida
Building Code
Acceptance No 08-0115-01
Expiration Date March 13, 2013

By Iskay I. Chauda
Miami Dade Product Control
Division

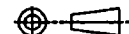
REVISIONS			
LTR	DESCRIPTION	DATE	APPROVED
A	APPROVAL DWG	01/04/02	
B	REVISED PER DC BCCD	YMF 12.09.02	
C	REVISED PER DC BCCD	YMF 02.03.03	
D	REVISED PER DC BCCD	YMF 02.19.03	
E	ADDED ND-SERIES	YMF 08.12.03	

NOTES:

- TWO ROWS OF PS074 WEATHERSTRIPPING PER JAMB AND HEAD. INSTALL PER SH7.7
- ANCHOR REQUIREMENTS: SEE SHEET 6 FOR APPROVED ANCHORS AND INSTALLATION.
- HINGE REQUIREMENTS:
FOR DOOR OPENING UP TO 7'6\"/>

ITEM	QUANTITY	DESCRIPTION	MATERIAL	SIZE
1	1	HEAD SECTION SEE SH7 7 ASTM A368	.083" MIN. STL	MAX. 100"
2	1	ASA STRIKE	SEE SH7 7	MAX. 100"
3	2	HINGE JAMB SFF SH7 4 ASTM A368	.083" MIN. STL	MAX. 100"
4	1	DOOR SLAB (18 GA)	.089 MIN. STL	3.6" X 93.44" MAX.
5	2	LOCK SIDE REINFORCEMENT CHANNEL	.087" MIN. STL	MAX. 91.5"
6	1	7-18 GA	.171" MIN. STL	7.69" X 91.6"
7	NOTE 3.	HINGE REINFORCEMENT DOOR ASTM A621	.171" MIN. STL	1.8" X 91.67" MAX.
8	NOTE 3.	HINGE REINFORCEMENT FRAME ASTM A621	.134 MIN.	4.5" X 4.5" (12-24 MS)
9	NOTE 3.	STANLEY F178/1900 OR HAGER 1279 HINGES		4 SCREWS PER HINGE
		CORE MATERIAL		
10	2	A) HONEYCOMB B) STEEL STIFFENER C) POLYSTYRENE D) POLYURETHANE E) MINERAL BOARD TEMPERATURE RISE CORF LOCKING HARDWARE - 175KPSY	SEE SHEET 9	47.68" X 93.5" MAX.
11	1	A) SCHLAGE L8400 SERIES MORTISE LOCK B) FALCON L1-1-SERIES MORTISE LOCK C) LOCKNETICS CM5500 SERIES MORTISE LOCK D) SCHLAGE D-1-1-SERIES CYLINDRICAL LOCK E) FALCON T-1-SERIES CYLINDRICAL LOCK F) LOCKNETICS CM5100 SERIES CYLINDRICAL LOCK		
12	2	DOES 360 12" SURFACE BOLT THRESHOLD SIL W/SLIPPER CASSET		
13	1	1) NAT'L GUARD WDOA 2) ZERO DDBA 2) PMCO 2002AS	.100" ALUM. 8063 TS	5.50" X 0.6" X 96" MAX.
14	NOTE 2.	JAMB ANCHOR ASTM A924 SEE SH7.3	3/16" DIA. BASIC WIRE	5.19" X 9.98"
15	6	PSD74 WEATHER STRIPPING	TPE	MAX. 24"
16	2	FAS-SEAL DOOR GASKET	TPE	MAX. 47.68"
17	4	FMD CHANNEL ASTM A924 (INVERTED) (1A GA)	.087" MIN. STL	69" X 1.66" X 47.68" MAX.
18	(AS NEEDED)	BUTYL RUBBER OR 100% SILICONE (OPTIONAL)		

BEAD RADIUS



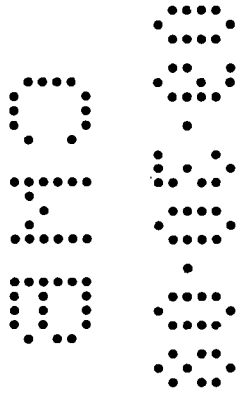
THIRD ANGLE PROJECTION
DRAWN
CHECKED
APPROVED
DATE
01/04/02

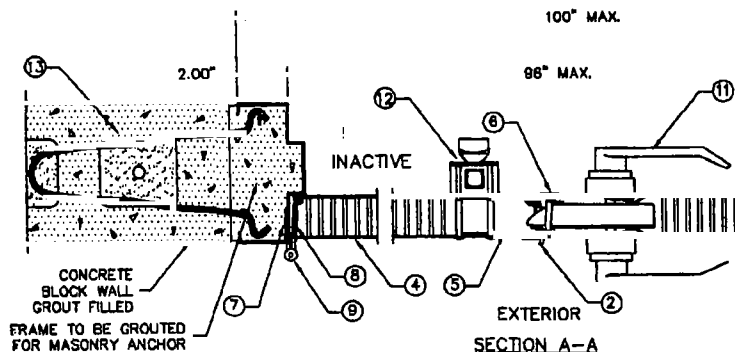
INGERSOLL-RAND COMPANY
STEELCRAFT MFG.
907 BlueAsh Rd. Cincinnati Ohio 45242

TITLE: DADE COUNTY
H16 - 4 8080 DOUBLE DOORS (OUTSWING)
IN COMMERCIAL LOCK
HARDWARE

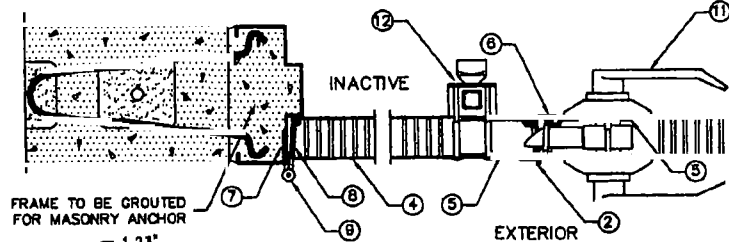
SCALE: NTS | AUTOCAD |

DWG NO. 776W-1A SHEET 1 OF 8
REV E

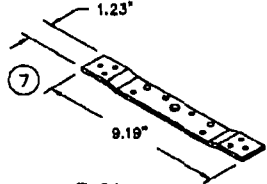




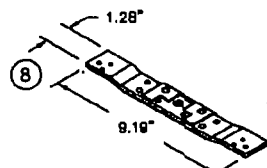
SECTION A-A
MORTISE LOCKSET
SCHLAGE L9400 SERIES
FALCON LM-SERIES
LOCKNETICS CM5500 SERIES



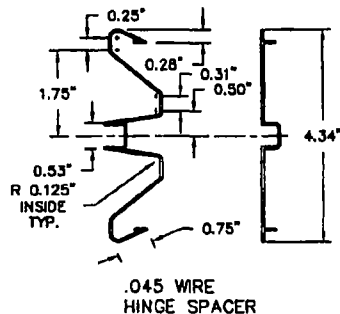
SECTION A-A
CYLINDRICAL LOCKSET
SCHLAGE D/ND - SERIES
FALCON T - SERIES
LOCKNETICS CM5100 SERIES



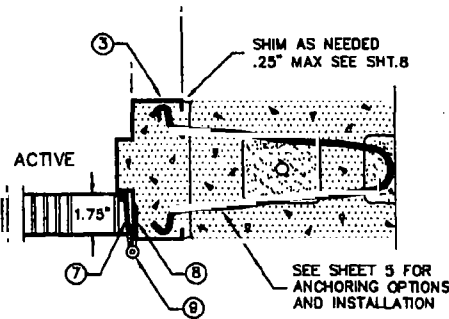
7 GA.
DOOR HINGE
REINFORCEMENT



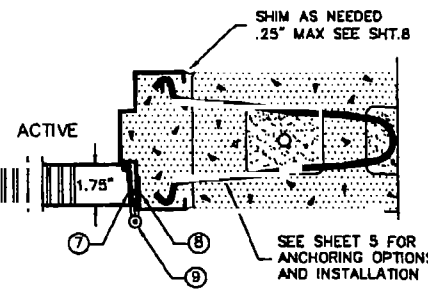
7 GA.
FRAME HINGE
REINFORCEMENT



.045 WIRE
HINGE SPACER



SEE SHEET 5 FOR
ANCHORING OPTIONS
AND INSTALLATION



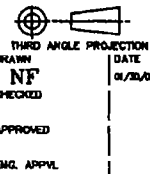
SEE SHEET 5 FOR
ANCHORING OPTIONS
AND INSTALLATION

PRODUCT RENEWED
as complying with the Florida
Building Code
Acceptance No. 08-0115-01
Expiration Date MAR 13, 2013
By Shane I. Chaudhry
Miami Dade Product Control
Division

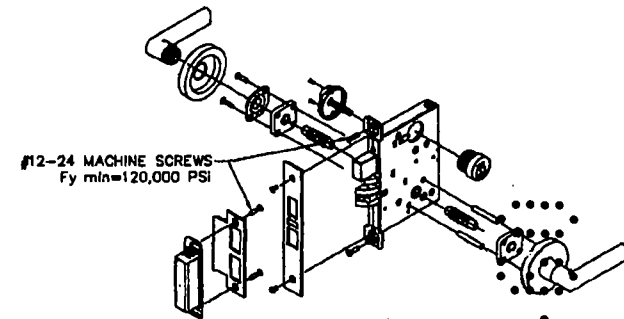
NOTES:

1. SEE SHT.1 FOR ELEVATION, MATERIAL AND SIZE
2. SEE SHT.1 NOTE 2. AND SHT.3 FOR ANCHOR REQUIREMENTS
3. SEE SHT. 5 FOR WALL CONSTRUCTION AND ANCHORING SYSTEM OPTIONS AND INSTALLATION
4. SEE SHT.6 FOR AVAILABLE OPENING SIZES, JAMB DEPTHS AND SPECIFICATIONS
5. APPROVED HARDWARE INSTALLATION IS PER MANUFACTURER'S INSTRUCTIONS

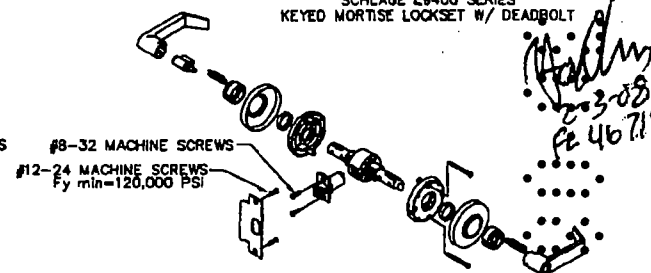
BEND RADIUS



REVISIONS			
LTR	DESCRIPTION	DATE	APPROVED
A	APPROVAL DWGS.	01.30.02	
B	REVISED PER DC BCCO	YMF 12.09.02	
C	REVISED PER DC BCCO	YMF 02.03.03	
D	ADDED ND-SERIES	YMF 08.12.03	



SCHLAGE L9400 SERIES
KEYED MORTISE LOCKSET W/ DEADBOLT



SCHLAGE D SERIES
CYLINDRICAL LEVER LOCKSET

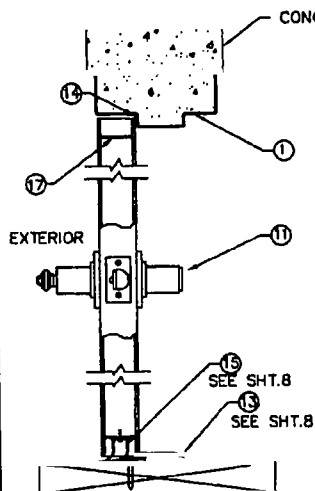
INGERSOLL-RAND COMPANY
STEELCRAFT MFG.
8017 BlueAsh Rd., Cincinnati, Ohio 45242

TITLE: DARE COUNTY
CROSS SECTION OF DOOR AND FRAME
IN COMMERCIAL LOCK HARDWARE
8080 DOUBLE DOORS

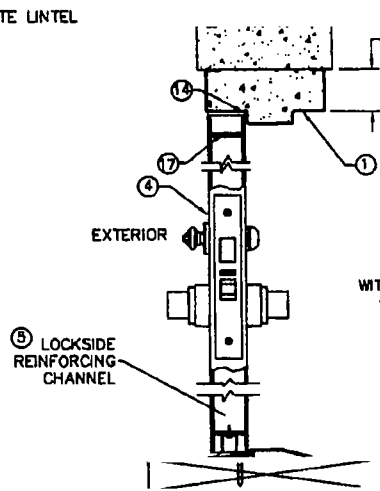
SIZE: FLAT
SCALE: NTS | AUTOCAD |
DWG. NO.: 776W-1A SHEET 2 OF 8
SHEET OF

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2
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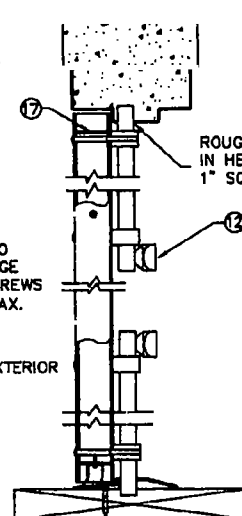
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9
8



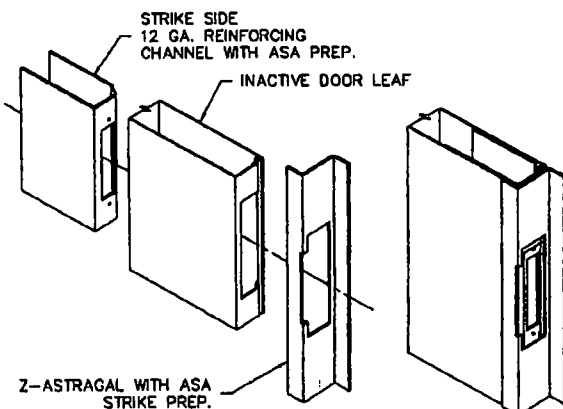
SECTION B-B
CYLINDRICAL LOCKSET
SCHLAGE D/ND-SERIES
FALCON T-SERIES
LOCKNETICS CM5100 SERIES



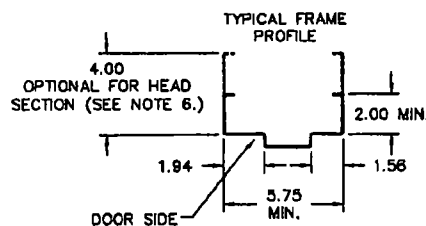
SECTION B-B
MORTISE LOCKSET
SCHLAGE L9400 SERIES
FALCON LM-SERIES
LOCKNETICS CM5500 SERIES



SECTION C-C
INACTIVE LEAF WITH IVES 361
SURFACE BOLTS
IN TOP AND BOTTOM



INACTIVE LEAF
ASA STRIKE PREP
AND ASSEMBLY DETAIL

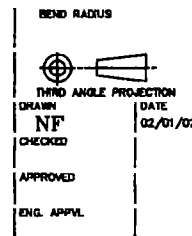


PRODUCT RENEWED
as complying with the Florida
Building Code
Acceptance No 08-0115-01
Expiration Date 12/13/2013

By *Isaac I. Chanda*
Miami Dade Product Division

- NOTES:
1. SEE SHT.1 FOR ELEVATION, MATERIAL AND SIZE
 2. SEE SHT.1 NOTE 2. FOR ANCHOR REQUIREMENTS
 3. SEE SHT. 5 FOR WALL CONSTRUCTION AND ANCHORING SYSTEM
 4. SEE SHT. 6 FOR AVAILABLE OPENING SIZES, JAMB DEPTHS AND SPECIFICATIONS
 5. APPROVED HARDWARE INSTALLATION IS PER MANUFACTURER'S INSTRUCTIONS
 6. HEAD SECTION CAN HAVE 4" FACE DIMENSION WHEN IT'S GROUTED WITH CONCRETE
 7. WALL CONSTRUCTION STRUCTURAL MEMBERS MUST BE DESIGNED TO COMPLY WITH APPROVED DESIGN PRESSURE RATING

INGERSOLL-RAND COMPANY
STEELCRAFT MFG.
9017 BlueAsh Rd. Cincinnati Ohio 45242



TITLE: CROSS SECTION OF DOOR AND FRAME
IN COMMERCIAL LOCK HARDWARE
8080 DOUBLE DOORS

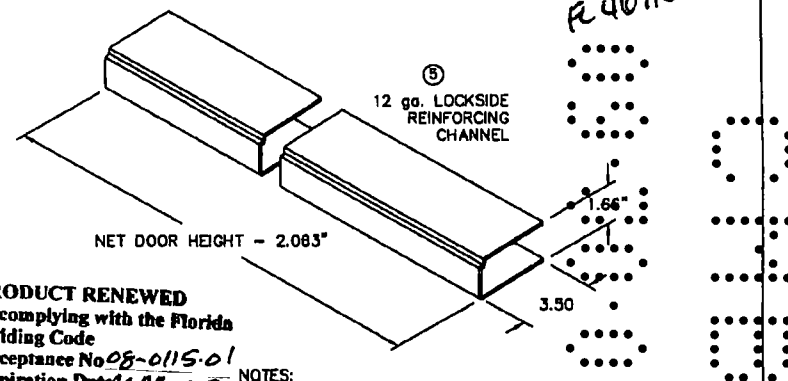
DATE: 02/01/02

SIZE: 776W-1A SHEET 3 OF 8

SCALE: NTS | AUTOCAD |

REVISIONS			
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B	REVISED PER DC BCCO	YMF 12.12.02	
C	REVISED PER DC BCCO	YMF 02.03.03	
D	ADDED ND-SERIES	YMF 08.12.03	

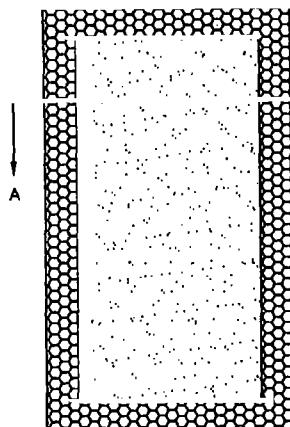
Am...
2-3-08
R 46718



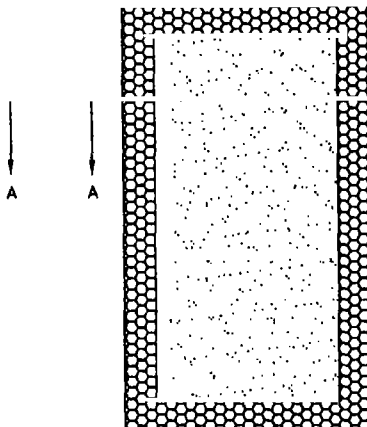
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SECTION A-A SECTION A-A

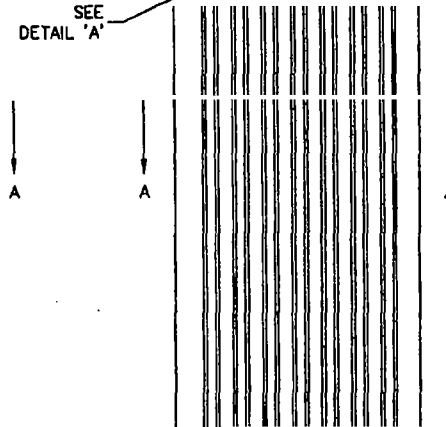


(A) POLYSTYRENE
EXPANDED POLYSTYRENE FOAM
GRADES 54 AND 86
DENSITY: 1.0 LB/CUFT



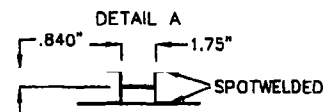
(B) POLYURETHANE
ELFOAM H200
DENSITY: 2.0 LBS/CUFT

SECTION A-A SEE
DETAIL 'A'



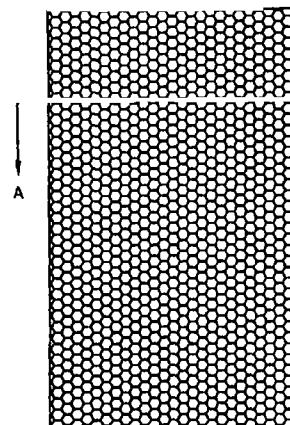
(C) STEEL STIFFENED
HAT SHAPED SECTIONS 20 GA.
MIN. WELDED 6" O.C. TO INSIDE
OF FACE SHEETS. HAT SHAPED
STIFFENERS TO BE WELDED TOGETHER
AT TOP AND BOTTOM

REVISIONS			
LTR	DESCRIPTION	DATE	APPROVED
A	RELEASE TO SHOP		
B	REVISED PER DC BCCO	YMF 12.09.02	
C	REVISED PER DC BCCO	YMF 02.03.03	

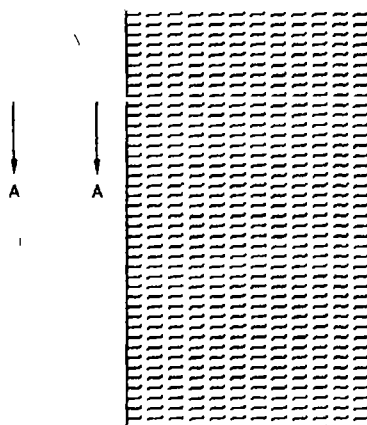


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2-3-08
FL 4218

SECTION A-A SECTION A-A



(D) HONEYCOMB
KRAFT PAPER. 1.2" CELL SIZE



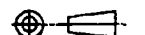
(E) TEMPERATURE RISE CORE
MINERAL AND FIBER BOARD
DENSITY: 17 ± 1.5 LBS/CUFT

PRODUCT RENEWED
as complying with the Florida
Building Code
Acceptance No 08-0115-01
Expiration Date MAR 13, 2013
By Shay L. Lunde
Miami-Dade Product Control
Division

NOTE:
CORE MATERIAL SHOWN
WITHOUT HARDWARE REINFORCEMENTS

DOOR WIDTH	STIFFENERS
22", 20"	3
24", 26"	4
2'10", 30"	5
32", 34"	6
38", 3'10", 40"	7

BEND RADIUS



THIRD ANGLE PROJECTION
DRAWN
NF
CHECKED

APPROVED

ENG. APPR.



INGERSOLL-RAND COMPANY
STEELCRAFT MFG.
8017 BlueAsh Rd. Cincinnati Ohio 45242

TITLE
DADE COUNTY
DADE COUNTY TEST UNIT
CORE MATERIALS
OPTIONS

SIZE: FLAT
DWG NO. 776W-1A SHEET 4 OF 8
SCALE: NTS | AUTOCAD |
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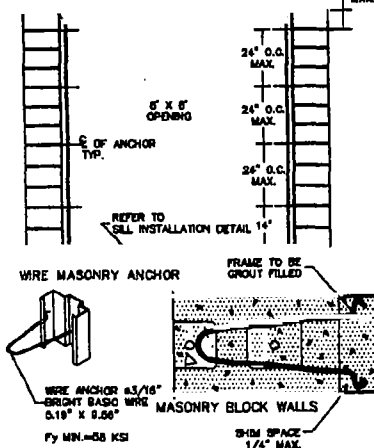
REVISIONS

LTR	DESCRIPTION	DATE	APPROVED
B	revised per DC BCCO ymf	12.12.02	
C	REVISED PER DC BCCO YMF	01.29.03	
D	REVISED PER DC BCCO YMF	02.19.03	

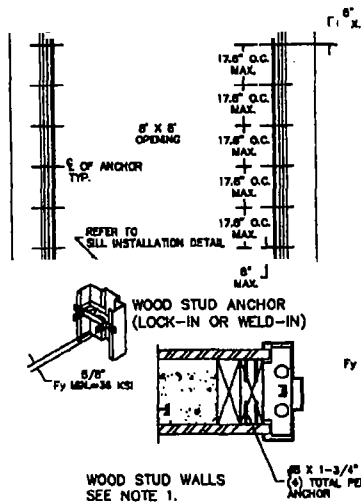
PRODUCT RENEWED
 as complying with the Florida
 Building Code
 Acceptance No. **08-0115.01**
 Expiration Date **MAR 12, 2013**
 By **Isaac I. Chaudhry**
 Miami-Dade Product Council
 Section

2-3-08
 R 496718

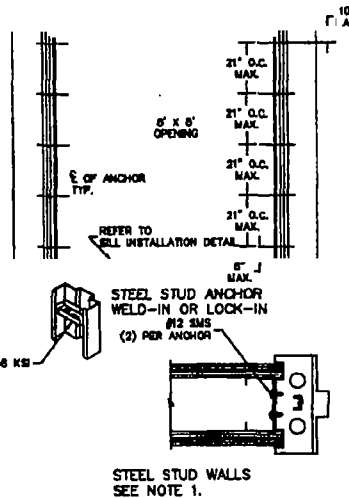
A WIRE MASONRY ANCHOR
 INTO GROUT FILLED FRAME
 AND BLOCK WALL



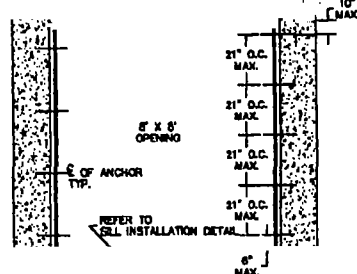
B WOOD STUD ANCHOR



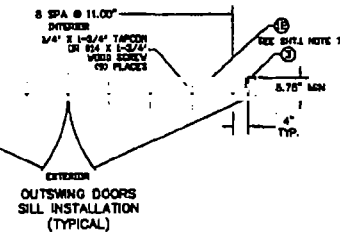
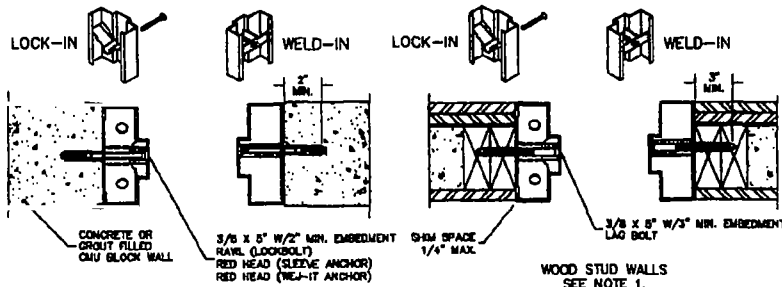
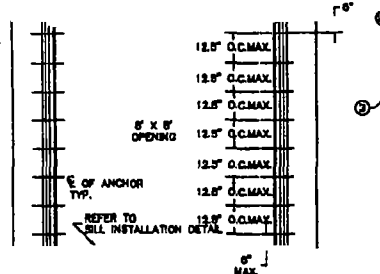
C STEEL STUD ANCHOR



D EXISTING MASONRY ANCHOR (E.A.)
 INTO CONCRETE WALL OR CMU



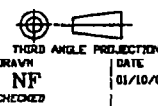
E EXISTING MASONRY ANCHOR (E.A.)
 WITH LAG BOLT INTO WOOD STUD WALL



NOTES:

1. WOOD OR STEEL STRUCTURAL MEMBERS OF WOOD AND STEEL-STUD WALLS MUST BE DESIGNED TO CARRY AT LEAST 320 #/ft. LOAD, AND SHOULD BE VERIFIED BY THE APPROPRIATE OFFICIAL.
2. NUMBER OF ANCHORS FOR VARIOUS OPENING HEIGHTS IS LIMITED BY MAXIMUM DISTANCE BETWEEN ANCHORS, SHOWN ON THIS SHEET.

BEND RADIUS



APPROVED
 ENCL. APPVL

INGERSOLL-RAND COMPANY
 STEELCRAFT MFG.

9017 BlueAsh Rd. Cincinnati Ohio 45248

TITLE: ANCHOR DETAILS / MOUNTING CONDITIONS

SIZE: FLAT
 SCALE: NTS | AUTOCAD |
 776W-1A SHEET 5 OF 8
 REV: D

0
2
0

3
2
1

AVAILABLE DOOR CONFIGURATIONS
(SEE NOTE 1.)

DOOR SERIES	CORE MATERIAL PER SHT.7	MAXIMUM DOOR OPENING SIZE		SKIN MATERIAL DESCR.	GA./MIN. THK
		WIDTH	HEIGHT		
L	HONEYCOMB POLYSTYRENE POLYURETHANE	8'0"	8'0"	CRS GALV	16/.053" 14/.067"
B	STEEL STIFFENED	8'0"	8'0"	CRS GALV	16/.053" 14/.067"
SL	HONEYCOMB POLYSTYRENE POLYURETHANE	8'0"	8'0"	STAINLESS STEEL	16/.053"
T	MINERAL FIBER	8'0"	8'0"	CRS GALV	16/.053" 14/.067"
CE	POLYSTYRENE/ HONEYCOMB	7'4" 6'0"	7'0" 8'0"	GALV	16/.053"

AVAILABLE FRAME CONFIGURATIONS
(SEE NOTE 2.)

FRAME SERIES	JAMB DEPTH	MAXIMUM DOOR OPENING SIZE		MATERIAL DESCR.	GA./MIN. THK
		WIDTH	HEIGHT		
F	5.75" MIN.	8'0"	8'0"	CRS/HRS GALV	16/.053" 14/.067" 12/.099"
				STAINLESS STEEL	16/.053"
MU	5.75" MIN.	8'0"	8'0"	CRS/HRS GALV	16/.053" 14/.067"

MINIMUM YIELD STRENGTH = 26,500 PSI

TABLE 3.

CRS ASTM A1008
HRS ASTM A1011
GALV: A80 ASTM A924
STL: 304,308 ASTM A240

REVISIONS

LTR	DESCRIPTION	DATE	APPROVED
A	APPROVAL DWG		
B	REVISED PER DC BCCD YMF	12.12.02	

PRODUCT RENEWED
as complying with the Florida
Building Code
Acceptance No. 06-0115-01
Expiration Date MAR 13, 2013
By Shag 1. (hand)
Miami Dade Product Control
Division

Handwritten signature and date: 12-2-08

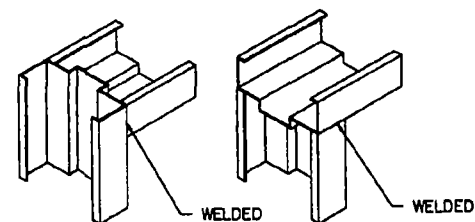
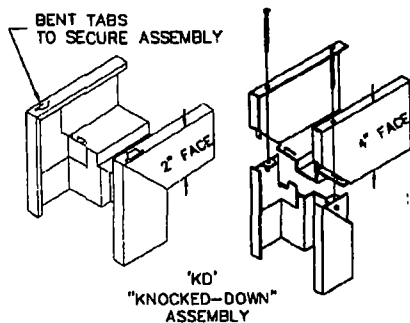
NOTES:

- DOOR CONSTRUCTION
 - 1.1. MINIMUM DOOR THICKNESS - 1 3/4"
 - 1.2. DOORS AVAILABLE IN FLAT AND EMBOSSED SURFACE MODELS (SEE TABLE.1)
 - 1.3. ALL DOORS ARE FLUSH - NO LITES OR LOUVERS ALLOWED PER THIS APPROVAL
- FRAME CONSTRUCTION
 - 1.1. MINIMUM JAMB DEPTH - 5 3/4", STOP HEIGHT - 5/8"
 - 1.2. FRAMES AVAILABLE AS FLUSH (F-SERIES) AND MULT-USE (MU-SERIES) (SEE TABLE.2)
- FOR MATERIAL SPECIFICATIONS REFERENCE SEE TABLE 3.

BEND RADIUS				INGERSOLL-RAND COMPANY STEELCRAFT MFG. 9017 BlueAsh Rd. Cincinnati Ohio 45242	
THIRD ANGLE PROJECTION	TITLE	DATE	COUNTY	DOOR AND FRAME CONFIGURATIONS AND MATERIAL SPECS.	
DRAWN NF	DATE 02/05/02				
CHECKED					
APPROVED	SIZE	FLAT	DWG NO.	776W-1A SHEET 6 OF 8	
ENG. APPVL	SCALE	NTS	AUTOCAD	REV B	

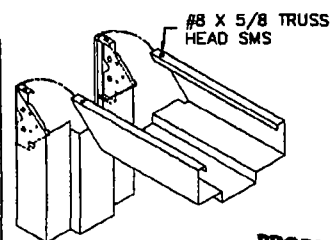
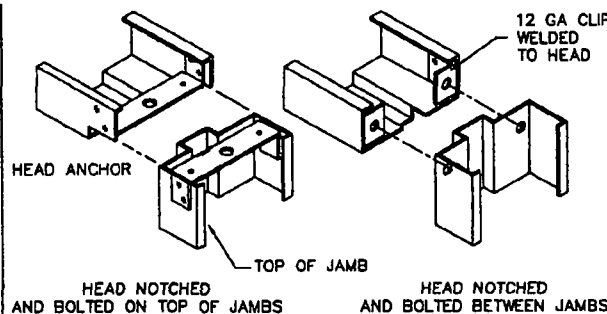
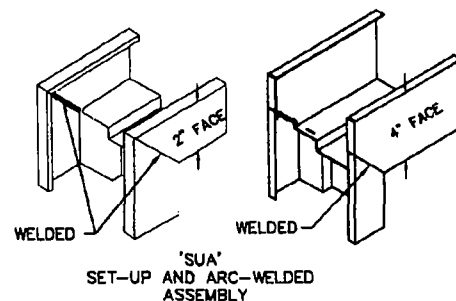
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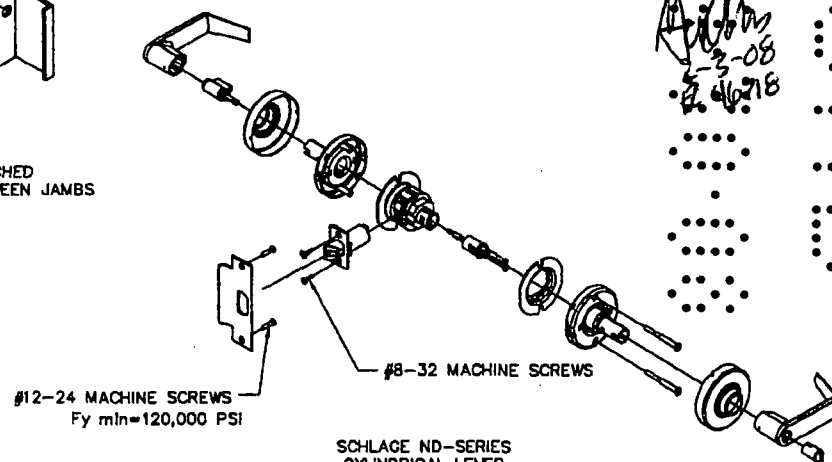
HEAD NOTCHED
AND BUTTED BETWEEN JAMBS

HEAD SITS ON TOP
OF NOTCHED JAMBS

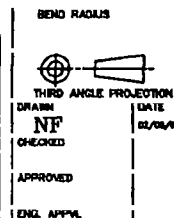
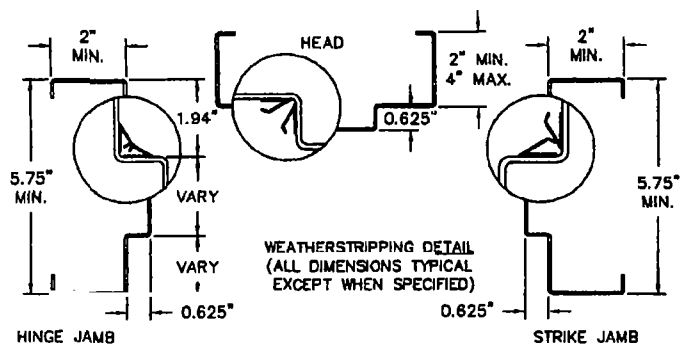


REVISIONS			
LTR	DESCRIPTION	DATE	APPROVED
A	RELEASE TO SHOP		
B	REVISED PER DC BCCO	YMF 12.09.02	
C	REVISED PER DC BCCO	YMF 02.03.03	
D	ADDED ND-SERIES	YMF 08.12.03	

PRODUCT RENEWED
as complying with the Florida
Building Code
Acceptance No. 08-0115-01
Expiration Date 12/13/2013
By Isaac J. Chandra
Miami Dade Product Control
Division



SCHLAGE ND-SERIES
CYLINDRICAL LEVER
LOCKSET



INGERSOLL-RAND COMPANY

STEELCRAFT MFG.
0017 BlueAsh Rd. Cincinnati Ohio 45242

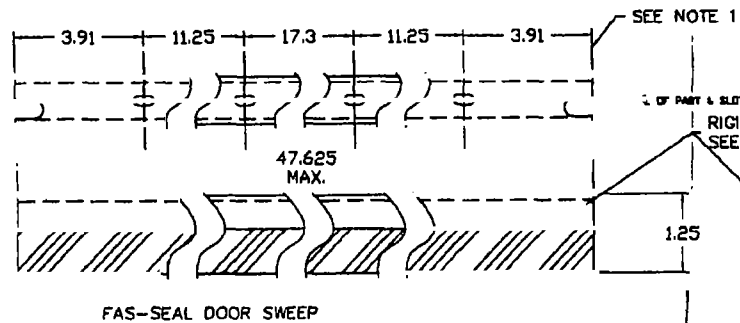
TITLE: DADE COUNTY
CORNER DETAILS
AND WEATHERSTRIPPING ATTACHMENT
FOR FLUSH FRAME AND MU FRAMES

SIZE: FLAT DWG NO. 776W-1A SHEET 7 OF 8
SCALE: NTS | AUTOCAD |

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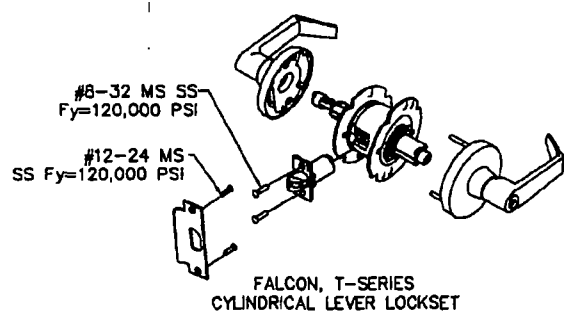
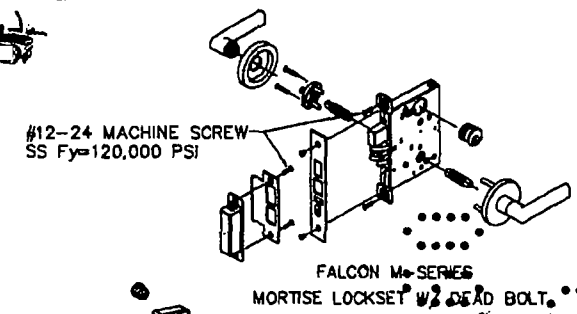
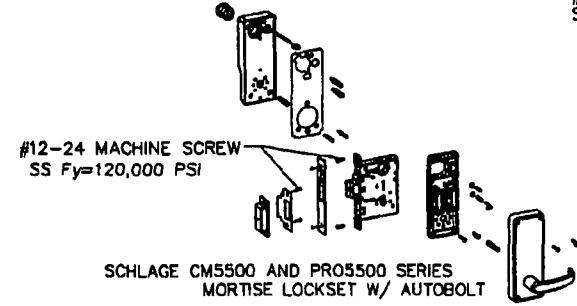
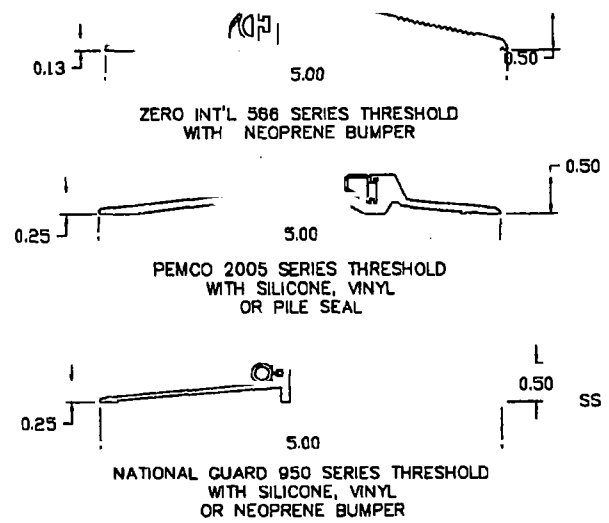
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PRODUCT RENEWED
 as complying with the Florida
 Building Code
 Acceptance No. 08-0115-01
 Expiration Date MAR 15, 2013

By Ishag L. L...
 Miami-Dade
 Division

R E V I S I O N S			
LTR	DESCRIPTION	DATE	APPROVED
A	RELEASE TO SHOP		
B	REVISED PER DC BCCD YNF	12.09.02	
C	REVISED PER DC BCCD YNF	02.03.03	



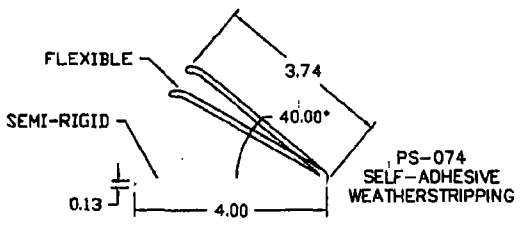
- NOTES:
1. SWEEP MOUNTING SLOT LOCATIONS MAY VARY WITH DIFFERENT DOOR WIDTH.
 2. DOOR SWEEP RIGID SECTION IS MADE OF PRO-FAX #PD-199 POLYPROPYLENE HOMOPOLYMER
 3. DOOR SWEEP FLEXIBLE SECTION IS MADE OF SANTOPRENE #101-73 73 DUROMETER - SHORE A SCALE

INGERSOLL-RAND COMPANY
 STEELCRAFT MFG.
 9017 BlueAsh Rd. Cincinnati, Ohio 45242

DOUBLE DOORS ACCESSORIES
 BOTTOM SWEEP
 THRESHOLDS, SPLIT ASTRAGALS
 AND WEATHERSTRIPPING

DATE COUNTY
 776W-1A SHEET 8 OF 8

SCALE: NTS | AUTOCAD |



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BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Ingersoll-Rand
6810 Hillsdale Court
Indianapolis, IN 46250

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Series H16-4 3'0 x 7'0 Single Commercial Flush Entry Steel Inswing Door with Mortise Lockset

APPROVAL DOCUMENT: Drawing No. 776W-3, titled "Series H16-4 3070 Single Inswing LR Mortise Lock", sheets 1 through 8 of 8, prepared by manufacturer, dated 05/01/02 with revision "B" on 08/31/04, signed and sealed by Gordon Thomas, P. E., bearing the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: Large and Small Missile Impact

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

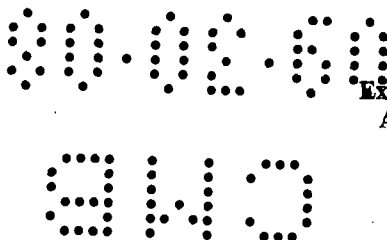
ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of this page, evidence sheet E-1 and E-2, as well as, approval document mentioned above. The submitted documentation was reviewed by **Herminio F. Gonzalez, P.E., Director, BCCO**



Wiley
10/22/04



NOA No 04-0927.01
Expiration Date: November 11, 2009
Approval Date: November 11, 2004
Page 1

00.20.00

C4B

Ingersoll-Rand

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

A. DRAWINGS

1. Manufacturer's die drawings and sections.
2. Drawing No. 776W-3, titled "Series H16-4 3070 Single Inswing IR Mortise Lock", sheets 1 through 8 of 8, prepared by manufacturer, dated 05/01/02 with revision "B" on 08/31/04, signed and sealed by Gordon Thomas, P. E.

B. TESTS

1. Test reports on 1) Air Infiltration Test, per FBC TAS 202-94
2) Uniform Static Air Pressure Test, Loading per FBC TAS 202.
3) Large Missile Impact Test per FBC, TAS 201-94
4) Forced Entry Test, per FBC 2411 3.2.1 and TAS 202-94
5) Cyclic Wind Pressure Loading per FBC, TAS 203-94
along with marked-up drawings and installation diagram of inswing commercial steel door, prepared by Certified Testing Laboratories Inc., Test Report No. CTLA -776W-2, dated 04/20/02, signed and sealed by Ramesh Patel, P. E
2. Test reports on 1) Air Infiltration Test, per FBC TAS 202-94
2) Uniform Static Air Pressure Test, Loading per FBC TAS 202.
3) Large Missile Impact Test per FBC, TAS 201-94
4) Forced Entry Test, per FBC 2411 3.2.1 and TAS 202-94
5) Cyclic Wind Pressure Loading per FBC, TAS 203-94
along with marked-up drawings and installation diagram of inswing commercial steel door, prepared by Certified Testing Laboratories Inc., Test Report No. CTLA -776W-3, dated 04/20/02, signed and sealed by Ramesh Patel, P. E
3. Test reports on 1) Air Infiltration Test, per FBC TAS 202-94
2) Uniform Static Air Pressure Test, Loading per FBC TAS 202.
3) Forced Entry Test, per FBC 2411 3.2.1 and TAS 202-94
along with marked-up drawings and installation diagram of inswing commercial steel door, prepared by Certified Testing Laboratories Inc., Test Report No. CTLA -1035W-2, dated 02/11/03, signed and sealed by Ramesh Patel, P. E

C. CALCULATIONS

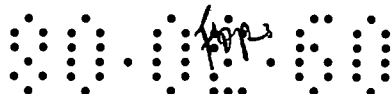
1. Anchor Calculations, ASTM-E 1300, and structural analysis, dated 01/07/04, prepared, signed and sealed by Gordon Thomas, P.E.

D. QUALITY ASSURANCE BY:

1. Miami Dade Building Code Compliance Office (BCCO).

E. MATERIAL CERTIFICATIONS

1. See Item 4 and 9 of Bill of Materials page 1 of 8.



Herminio F. Gonzalez

Herminio F. Gonzalez, P.E.

Director, Building Code Compliance Office

NOA No 04-0927.01

Expiration Date: November 11, 2009

Approval Date: November 11, 2004

00-30-00

CWB

Ingersoll-Rand

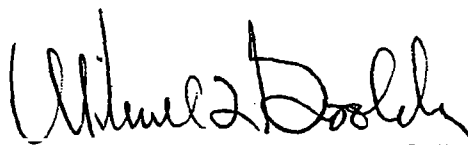
NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

F. STATEMENTS

1. Statement letter of conformance and no financial interest, dated 06/02/04, signed by Roger Vitt.
2. Statement letter of conformance and no financial interest, dated 03/10/03, signed by Rene J. Quiroga, P.E.

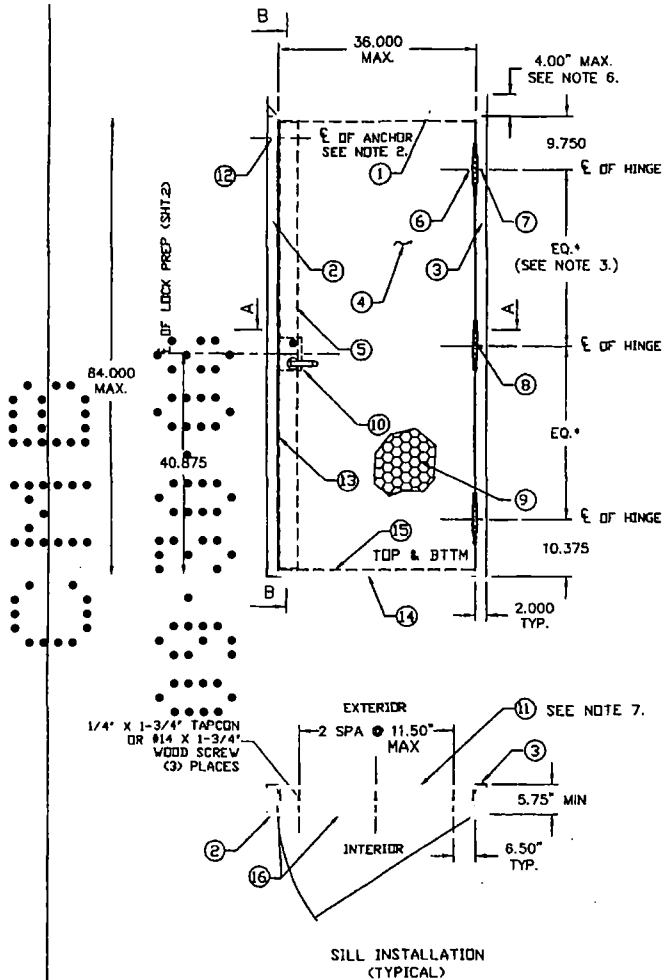
G. OTHER

1. Letter from consultant stating that the product is in compliance with the Florida Building Code (FBC).


Herminio F. Gonzalez, P.E.
Director, Building Code Compliance Office
NOA No 04-0927.01
Expiration Date: November 11, 2009
Approval Date: November 11, 2004

00-30-40

CWB



NOTE 3.

Handwritten:
 11/11/04
 PL 46718
 9/2/04

Approved as complying with the
 Florida Building Code
 Date 11/11/04
 NOAH 03-7972.01
 Subject: Door Product Control
 By: [Signature]

DESIGN PRESSURE RATING		
STRIKE PLATE OPTION	WHERE WATER INFILTRATION REQUIREMENT IS NEEDED	WHERE WATER INFILTRATION REQUIREMENT IS NOT NEEDED*
STANDARD	NOT APPROVED	+120 PSF / -120 PSF
STAINLESS STEEL	NOT APPROVED	+170 PSF / -170 PSF

*Water Infiltration resistance is not required when Door assemblies installed in non-habitable areas where the door assembly end area are designed to accept water infiltration, or if protected by overhang with ratio Length/Height equal or greater than 1.

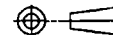
REVISIONS			
LTR	DESCRIPTION	DATE	APPROVED
A	APPROVAL DWG	02/25/03	
B	REVISED PER DCBCCO	08/31/04	

NOTES:

- ONE ROW OF PS074 WEATHERSTRIPPING PER JAMB AND HEAD. INSTALL PER SHT 7
- ANCHOR REQUIREMENTS:
SEE SHT 5 FOR APPROVED ANCHOR AND INSTALLATION REQUIREMENTS.
- HINGE REQUIREMENTS:
MIN (3) HINGES
LOCATIONS: 9.75" FROM RABBIT IN HEAD TO CL OF TOP HINGE
10.38" FROM FLOOR TO CL OF BOTTOM HINGE,
EQUALLY SPACED IN BETWEEN.
- SEE SHEET 6 FOR AVAILABLE STANDARD OPENING SIZES AND SPECIFICATIONS.
- HARDWARE INSTALLATION AS PER MANUFACTURER'S INSTRUCTIONS.
- 4" FACE HEAD IS AVAILABLE WHEN FRAME IS GROUTED WITH CONCRETE.
- APPLY CAULK AS NEEDED.
- PRODUCT IS NOT APPROVED WHERE WATER INFILTRATION REQUIREMENT IS NEEDED

ITEM	QUANTITY	DESCRIPTION	MATERIAL	SIZE
1	1	HEAD SEE SHT 3 & 7. ASTM A366	.053" MIN. STL	MAX. 40"
2	1	STRIKE JAMB. SEE SHT 3 & 7	.053" MIN. STL	MAX. 88"
3	1	HINGE JAMB SEE SHT 3 & 7. ASTM A366	.053" MIN. STL	MAX. 88"
4	1	DOOR SLAB	SEE SHT 8	3'0" X 7'0" MAX.
5	1	LOCK SIDE REINFORCEMENT CHANNEL	.099" MIN. STL	3.5" X 81.44" MAX.
6	NOTE 3.	HINGE REINFORCEMENT DOOR ASTM A621	.171" MIN. STL	1.28" X 9.19"
7	NOTE 3.	HINGE REINFORCEMENT FRAME ASTM A621	.171" MIN. STL	1.28" X 9.19"
8	NOTE 3.	4.5" X 4.5" BUTT HINGES (SEE SHT.2)	.134 MIN.	(4) #12-24 MS PER HINGE
		OPTIONAL CONTINUOUS HINGE (SEE SHT.3)	.067" MIN. STL / .12 ALUM	MAX. 95"
9	1	CORE MATERIAL: A) HONEYCOMB B) STEEL STIFFENED C) POLYSTYRENE D) POLYURETHANE E) MINFRAL BOARD TEMPERATURE RISE CORE	SEE SHEET 4	35.66" X 81.5" MAX.
10	1	LOCKING HARDWARE - 1 LOCKSET 1) SCHLAGE L8400 SERIES MORTISE LOCK 2) FALCON M-SERIES MORTISE LOCK		
11	1	THRESHOLD SILL W/BUMPER GASKET. SHT.8 1) NAT'L GUARD 950A 3) ZERO 566A 2) PEMCO 2005AS	.100" ALUM. 6063 T5	5.5" X 0.5" X 36" MAX
12	NOTE 2.	JAMB ANCHOR	SEE SHT. 5	
13	6	PS074 WEATHER STRIPPING. SHEET 8	TPE	MAX. 21"
14	1	FAS-SEAL DOOR SWEEP. SHEET 8	TPE	MAX. 35.66"
15	2	END CHANNEL ASTM A924	.070" MIN. STL	.69" X 1.66" X 35.66" MA
16	AS NEEDED	BUTYL RUBBER OR 100% SILICONE		

BEND RADIUS



THIRD ANGLE PROJECTION
 DRAWN YMF
 DATE 5/01/02
 CHECKED
 APPROVED
 ENG. APPL

INGERSOLL-RAND COMPANY
 STEELCRAFT MFG.

9017 BlueAsh Rd. Cincinnati Ohio 45242

TITLE
 DADE COUNTY
 DADE COUNTY
 H16 - 4 3070 SINGLE (INSWING)
 IR MORTISE LOCK
 HIGH PRESSURE APPLICATIONS

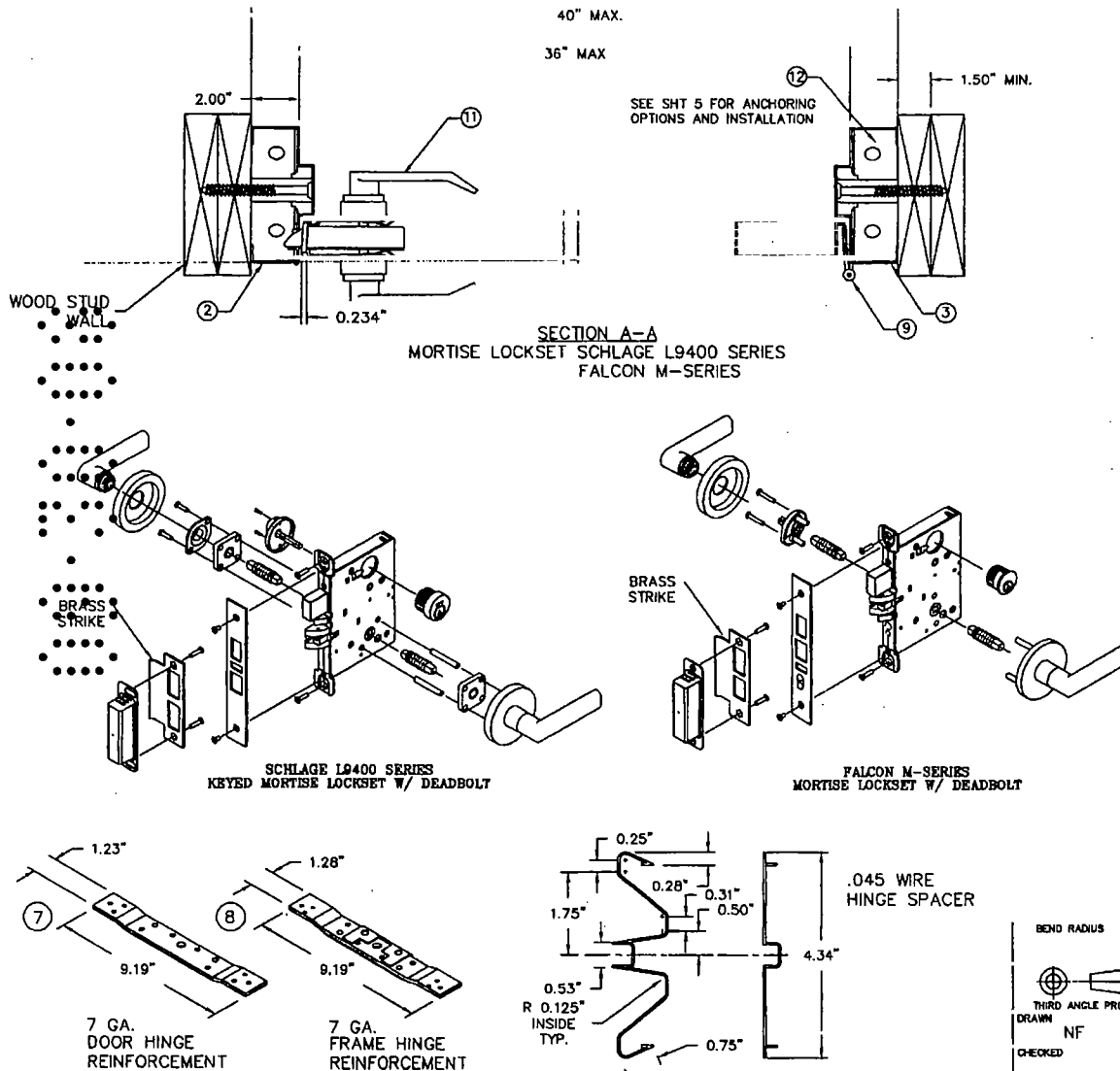
SIZE FLAT
 DVG NO. 776W-3

SCALE: NTS | AUTOCAD |

REV B
 SHEET 1 OF 8

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2020



REVISIONS			
LTR	DESCRIPTION	DATE	APPROVED
A	APPROVAL DWGS.	02/25/03	

Handwritten signature and date:
 9/21/04

NOTES:

1. SEE SHT.1 FOR ELEVATION, MATERIAL AND SIZE
2. SEE SHT.1 NOTE 2. FOR ANCHOR REQUIREMENTS
3. SEE SHT. 5 FOR WALL CONSTRUCTION, ANCHORING SYSTEM OPTIONS AND INSTALLATION.
4. SEE SHT. 6 FOR AVAILABLE OPENING SIZES, JAMB DEPTHS AND SPECIFICATIONS
5. APPROVED HARDWARE INSTALLATION IS PER MANUFACTURER'S INSTRUCTIONS

Approved as complying with the
 Florida Building Code
 Date 11/11/04
 NOAH/10-10-22-01
 Miami Dade Product Control
 Division
 By: *Handwritten signature*

INGERSOLL-RAND COMPANY
 STEELCRAFT MFG.

9017 BlueAsh Rd. Cincinnati Ohio 45242

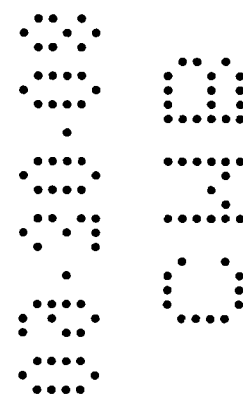
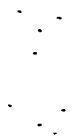
TITLE: CROSS SECTION OF DOOR AND FRAME
 IR COMMERCIAL LOCK HARDWARE
 3070 SINGLE DOORS
 HIGH PRESSURE APPLICATIONS (120 PSF)

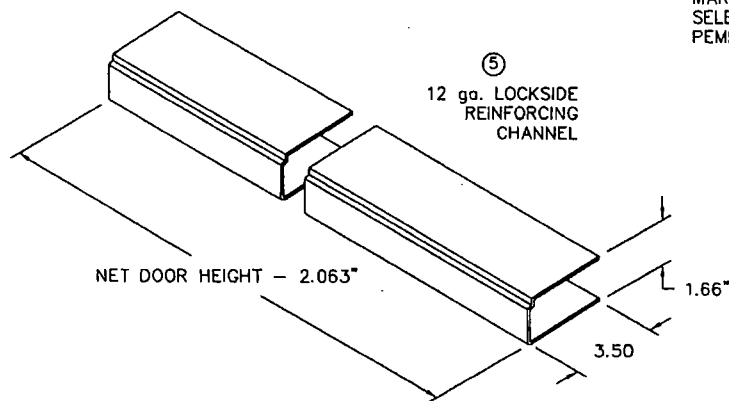
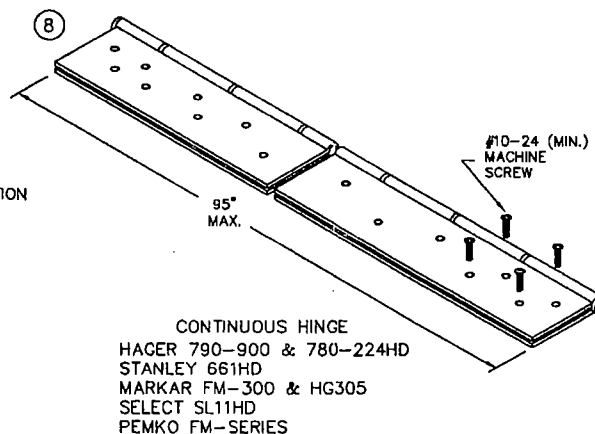
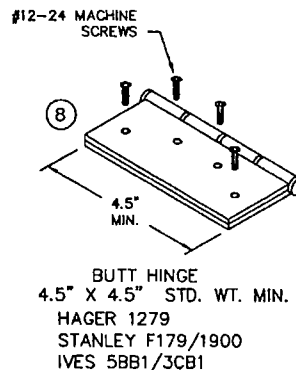
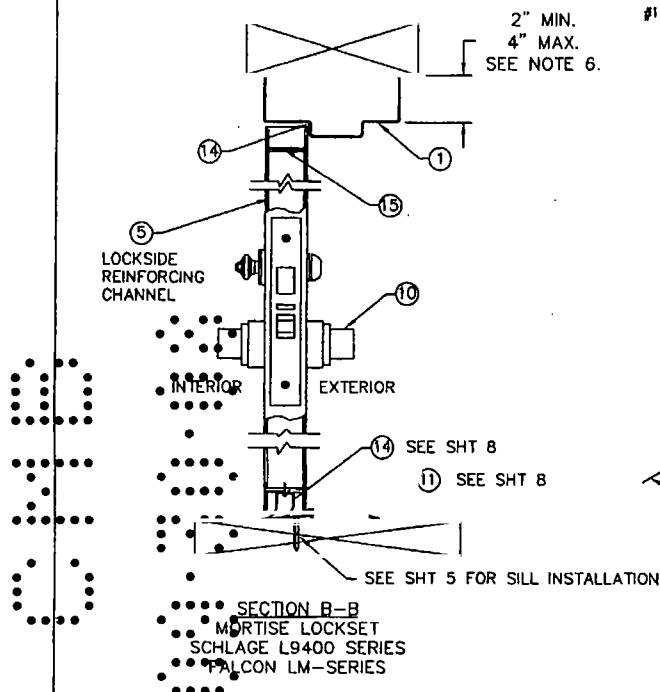
DATE COUNTY: 8/21/02
 SIZE: FLAT DWG NO.: 776W-3

SCALE: NTS | AUTOCAD |

SHEET 2 OF 8

REV
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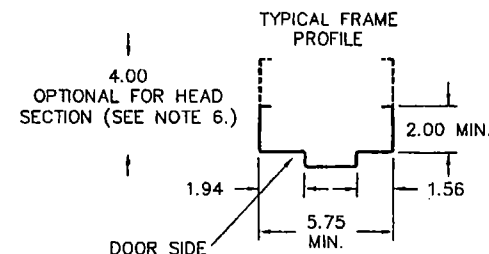




Approved as complying with the
Florida Building Code
Date 11/11/04
NOAH DE WAZZ, CI
Building Code Product Control
By [Signature]

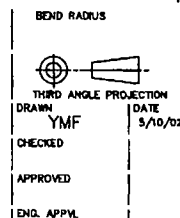
REVISIONS			
LTR	DESCRIPTION	DATE	APPROVED
A	APPROVAL DWGS.	02/26/03	
B	REVISED PER DCBCCO	08/31/04	

[Signature]
PC 46718
9/21/04



NOTES:

1. SEE SHT.1 FOR ELEVATION, MATERIAL AND SIZE
2. SEE SHT.1 NOTE 2. FOR ANCHOR REQUIREMENTS
3. SEE SHT. 5 FOR WALL CONSTRUCTION ANCHORING SYSTEM OPTIONS AND INSTALLATION.
4. SEE SHT. 6 FOR AVAILABLE OPENING SIZES, JAMB DEPTHS AND SPECIFICATIONS
5. APPROVED HARDWARE INSTALLATION IS PER MANUFACTURER'S INSTRUCTIONS
6. HEAD SECTION CAN HAVE 4" FACE DIMENSION WHEN IT'S GROUTED WITH CONCRETE
7. WALL CONSTRUCTION STRUCTURAL MEMBERS MUST BE DESIGNED TO COMPLY WITH APPROVED DESIGN PRESSURE RATING.



INGERSOLL-RAND COMPANY
STEELCRAFT MFG.
8017 BlueAsh Rd. Cincinnati, Ohio 45242

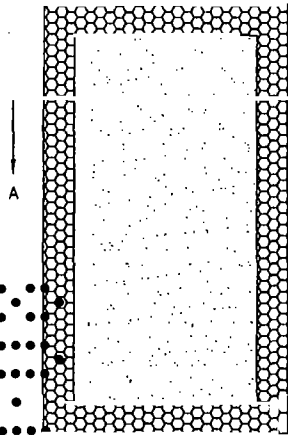
TITLE: CROSS SECTION OF DOOR AND FRAME
IR COMMERCIAL LOCK HARDWARE
H-SERIES SINGLE DOORS
HIGH PRESSURE APPLICATIONS

DATE: 3/10/02
SIZE: 776W-3
SCALE: NTS | AUTOCAD |

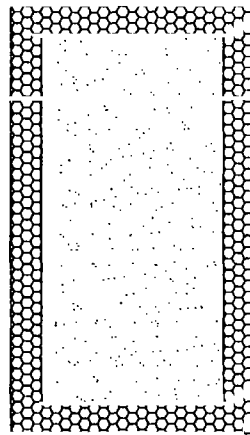
REV B
SHT 3 OF 8

3030

SECTION A-A

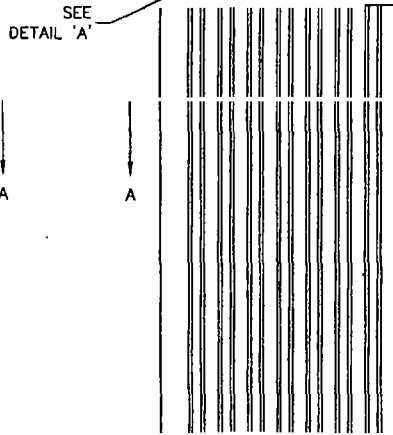


(A) POLYSTYRENE
EXPANDED POLYSTYRENE FOAM
GRADES 54 AND 86
DENSITY: 1.0 LB/CUFT

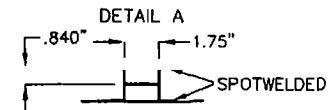


(B) POLYURETHANE
ELFOAM H200
DENSITY: 2.0 LBS/CUFT

SECTION A-A



(C) STEEL STIFFENED
HAT SHAPED SECTIONS 20 GA.
MIN. WELDED 6" O.C. TO INSIDE
OF FACE SHEETS. HAT SHAPED
STIFFENERS TO BE WELDED TOGETHER
AT TOP AND BOTTOM

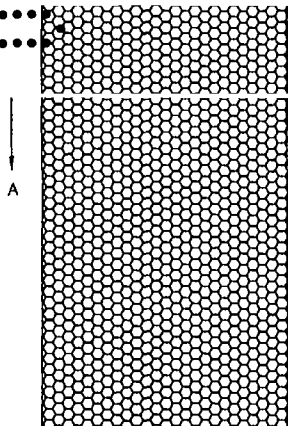


REVISIONS

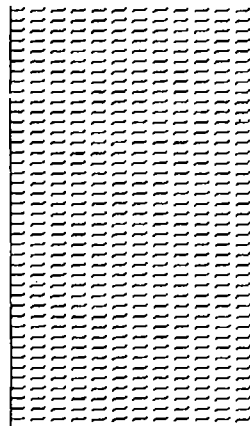
LTR	DESCRIPTION	DATE	APPROVED
A	APPROVAL DWGS	02/26/03	

Handwritten signature and date: 9/26/03

SECTION A-A



(D) HONEYCOMB
KRAFT PAPER. 1.2" CELL SIZE



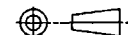
(E) TEMPERATURE RISE CORE
MINERAL AND FIBER BOARD
DENSITY: 17 ± 1.5 LBS/CUFT

NOTE:
CORE MATERIAL SHOWN
WITHOUT HARDWARE REINFORCEMENTS

DOOR WIDTH	STIFFENERS
22", 20"	3
24", 26"	4
2'10", 30"	5

Approved as complying with the
Florida Building Code
Date: 11/11/02
NOM. 011-0573-01
By: *Handwritten signature*

BEND RADIUS



THIRD ANGLE PROJECTION
DRAWN NF
DATE 6/01/02
CHECKED
APPROVED
ENG. APPVL

TITLE



INGERSOLL-RAND COMPANY
STEELCRAFT MFG.
9017 BlueAsh Rd. Cincinnati Ohio 45242

DADE COUNTY
DADE COUNTY TEST UNIT
CORE MATERIALS
OPTIONS (120 PSF)

SIZE FLAT DWG NO.

SCALE: NTS AUTOCAD

776W-3

REV A

SHT 4 OF 8

2

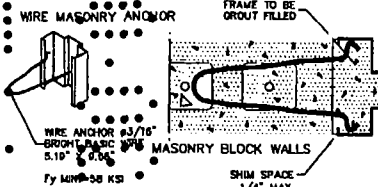
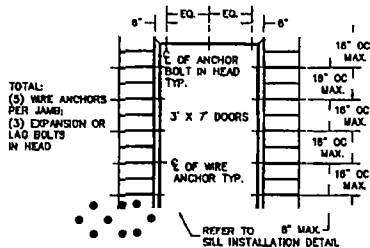
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REVISIONS

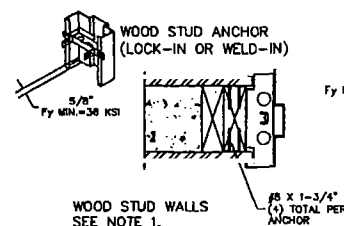
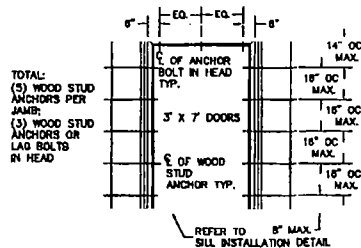
LTR	DESCRIPTION	DATE	APPROVED
A	APPROVAL DWGS.	02/26/03	
B	REVISED PER DC BCCD	03/30/04	

Handwritten:
M. J. [Signature]
FC 46218
9/21/04

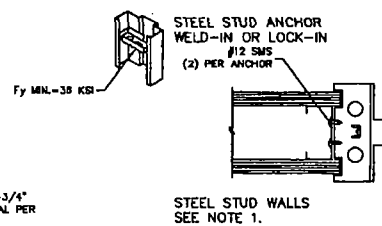
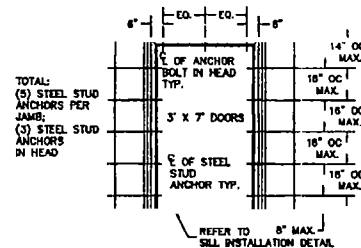
A WIRE MASONRY ANCHOR INTO GROUT FILLED FRAME AND BLOCK WALL



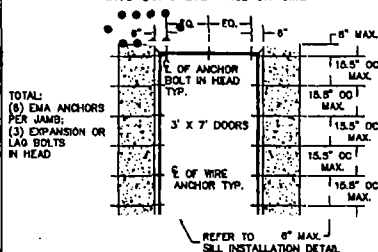
B WOOD STUD ANCHOR



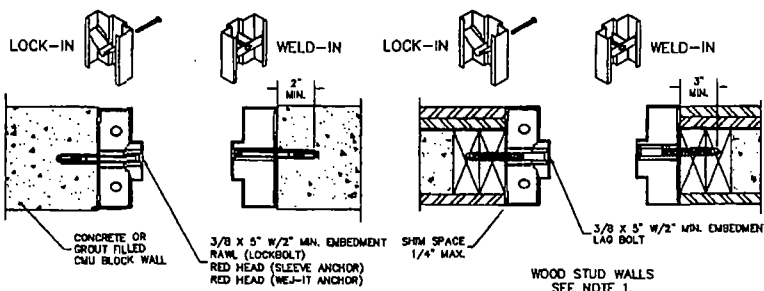
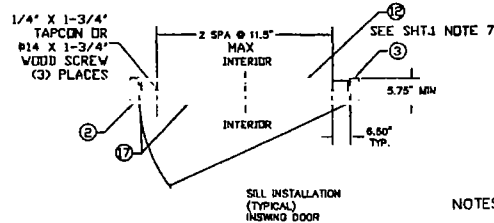
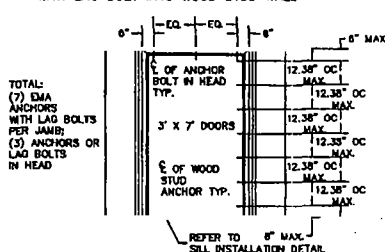
C STEEL STUD ANCHOR



D EXISTING MASONRY ANCHOR (EMA) INTO CONCRETE WALL OR CMU



E EXISTING MASONRY ANCHOR (EMA) WITH LAG BOLT INTO WOOD STUD WALL

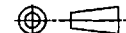


NOTES:

1. WOOD OR STEEL STRUCTURAL MEMBERS OF WOOD AND STEEL-STUD WALLS MUST BE DESIGNED TO CARRY AT LEAST 320 #/ft. LOAD, AND SHOULD BE VERIFIED BY THE APPROPRIATE OFFICIAL.
2. NUMBER OF ANCHORS FOR VARIOUS OPENING HEIGHTS IS LIMITED BY MAXIMUM DISTANCE BETWEEN ANCHORS, SHOWN ON THIS SHEET.

Handwritten:
Approved as complying with the
Florida Building Code
Date 11/11/04
NOAH [Signature]
BCCD [Signature]
By [Signature]

BEND RADIUS



THIRD ANGLE PROJECTION
DRAWN YMF
CHECKED
APPROVED
ENG. APPL.

INGERSOLL-RAND COMPANY
STEELCRAFT MFG.

9017 BlueAsh Rd. Cincinnati, Ohio 45242

TITLE DADE COUNTY
ANCHOR DETAILS / MOUNTING CONDITIONS

SIZE FLAT DWG NO. 776W-2

SCALE NTS | AUTOCAD | SHT 5 OF 8

REV B

2

8
9
0
1
2
3
4
5
6
7

AVAILABLE DOOR CONFIGURATIONS
(SEE NOTE 1.)

TABLE 1.

DOOR SERIES	CORE MATERIAL PER SHT.7	MAXIMUM OPENING SIZE		SKIN MATERIAL	
		WIDTH	HEIGHT	DESCR.	G.A./MIN. THK
L	HONEYCOMB POLYSTYRENE POLYURETHANE	3'0"	7'0"	CRS GALV	16/.053" 14/.067"
B	STEEL STIFFENED	3'0"	7'0"	CRS GALV	16/.053" 14/.067"
SL	HONEYCOMB POLYSTYRENE POLYURETHANE	3'0"	7'0"	STAINLESS STEEL	16/.053"
T	MINERAL FIBER	3'0"	7'0"	CRS GALV	16/.053" 14/.067"
CE	POLYSTYRENE/ HONEYCOMB	3'0"	7'0"	GALV	16/.053"

AVAILABLE FRAME CONFIGURATIONS
(SEE NOTE 2.)

TABLE 2.

FRAME SERIES	JAMB DEPTH	MAXIMUM OPENING SIZE		MATERIAL	
		WIDTH	HEIGHT	DESCR.	G.A./MIN. THK
F	5.75" MIN.	3'0"	7'0"	CRS/HRS GALV	16/.053" 14/.067" 12/.099"
				STAINLESS STEEL	16/.053"
MU	5.75" MIN.	3'0"	7'0"	CRS/HRS GALV	16/.053" 14/.067"

MINIMUM YIELD STRENGTH = 26.5000 PSI

TABLE 3.

CRS
ASTM A1008
HRS
ASTM A1011
GALV: A60
ASTM A924
STL: 304,306
ASTM A240

Approved as complying with the
Florida Building Code
Date 11/11/02
NOAA 08-09-23-01
Miami Dade Product Control
Division
By [Signature]

REVISIONS

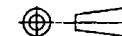
LTR	DESCRIPTION	DATE	APPROVED
A	APPROVAL DWG	02/26/03	

[Handwritten signature]
9/21/04

NOTES:

- DOOR CONSTRUCTION
 - MINIMUM DOOR THICKNESS - 1 3/4"
 - DOORS AVAILABLE IN FLAT AND EMBOSSED SURFACE MODELS (SEE TABLE.1)
 - ALL DOORS ARE FLUSH - NO LITES OR LOUVERS AVAILABLE
- FRAME CONSTRUCTION
 - MINIMUM JAMB DEPTH - 5 3/4", STOP HEIGHT - 5/8"
 - FRAMES AVAILABLE AS FLUSH (F-SERIES) AND MULT-USE (MU-SERIES) (SEE TABLE.2)
- FOR MATERIAL SPECIFICATIONS REFERENCE SEE TABLE 3.

BEND RADIUS



THIRD ANGLE PROJECTION
DRAWN NF
CHECKED
APPROVED
ENG. APPVL

DATE
5/01/02

TITLE

INGERSOLL-RAND COMPANY
STEELCRAFT MFG.

9017 BlueAsh Rd. Cincinnati Ohio 45242

DATE COUNTY
DOOR AND FRAME
CONFIGURATIONS
AND MATERIAL SPECS.
HIGH PRESSURE APPLICATIONS (120 PSF)

SIZE FLAT DVG NO. 776W-3

SCALE: NTS | AUTOCAD |

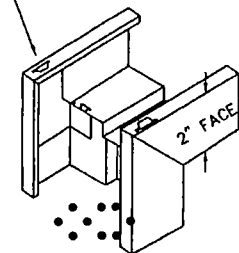
SHT 6 OF 8

REV
A

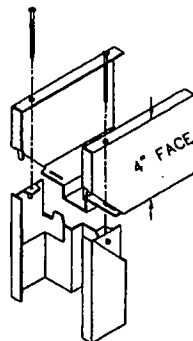
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20
30
40

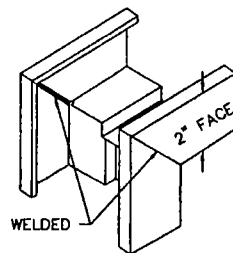
BENT TABS
TO SECURE ASSEMBLY



'KD'
'KNOCKED-DOWN'
ASSEMBLY

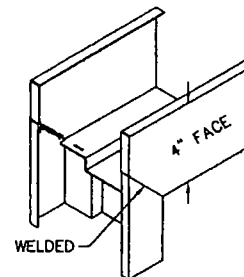


4" FACE

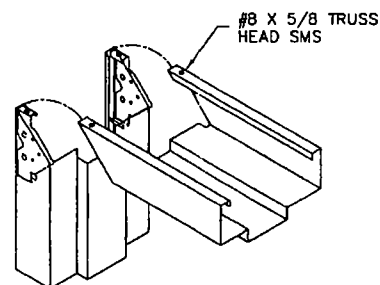


WELDED

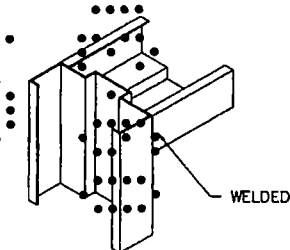
'SUA'
SET-UP AND ARC-WELDED
ASSEMBLY



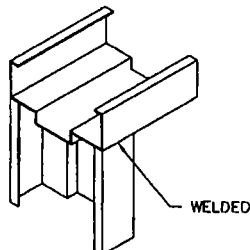
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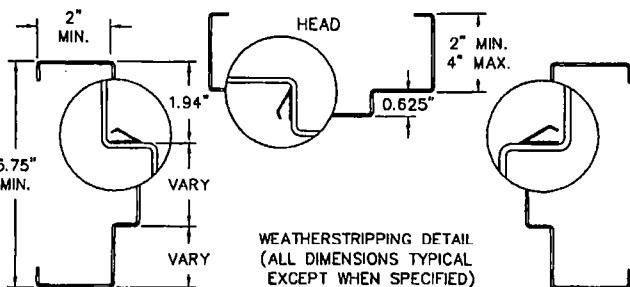
'MU'
'MULTI-USE' SERIES
ASSEMBLY



HEAD NOTCHED
AND BUTTED BETWEEN JAMBS



HEAD SITS ON TOP
OF NOTCHED JAMBS



HINGE JAMB

STRIKE JAMB

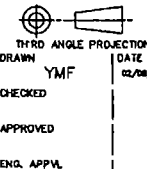
REVISIONS

LTR	DESCRIPTION	DATE	APPROVED
A	APPROVAL DWG	02/28/03	
B	REVISED PER DCBCCO	08/31/04	

Handwritten signature and date: 9/2/04

Approved as complying with the
Florida Building Code
Date 11/11/04
RCSA/AL-0472.01
Inland Data Products Control
By: [Signature]

BEND RADIUS



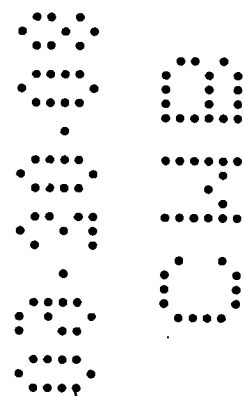
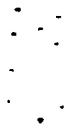
THIRD ANGLE PROJECTION
DRAWN YMF
CHECKED
APPROVED
ENG. APPV.

TITLE
DADE COUNTY
CORNER DETAILS
AND WEATHERSTRIPPING ATTACHMENT
FOR FLUSH FRAME AND MU FRAMES

SIZE FLAT
DWG NO. 776W-2
SCALE: NTS | AUTOCAD |

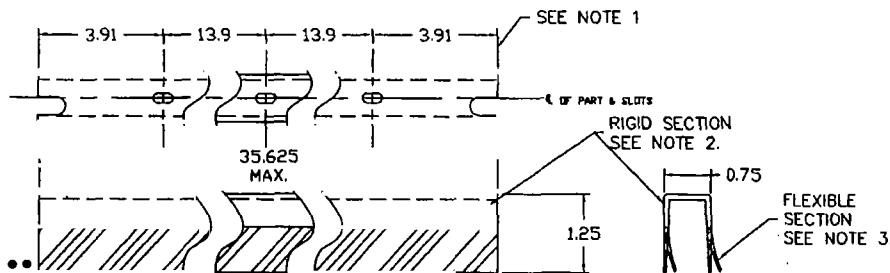
REV C
SHT 7 OF 8

INGERSOLL-RAND COMPANY
STEELCRAFT MFG.
9017 BlueAsh Rd. Cincinnati Ohio 45242

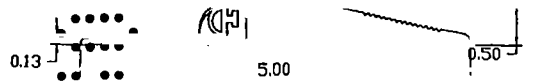


REVISIONS

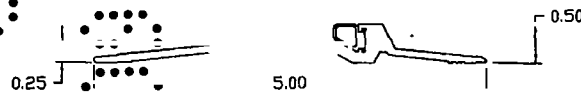
LTR	DESCRIPTION	DATE	APPROVED
A	APPROVAL DWG	02/26/03	



FAS-SEAL DOOR SWEEP



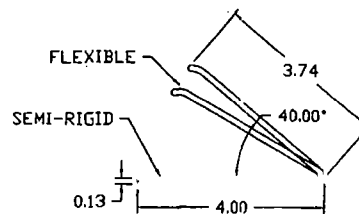
ZERO INT'L 566 SERIES THRESHOLD
WITH NEOPRENE BUMPER



PEMKO 2005 SERIES THRESHOLD
WITH SILICONE, VINYL
OR PILE SEAL



NATIONAL GUARD 950 SERIES THRESHOLD
WITH SILICONE, VINYL
OR NEOPRENE BUMPER



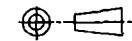
PS-074
SELF-ADHESIVE
WEATHERSTRIPPING

NOTES:

1. SLOT LOCATIONS MAY VARY WITH DIFFERENT DOOR WIDTH.
2. DOOR SWEEP RIGID SECTION IS MADE OF PRO-FAX #PD-199 POLYPROPYLENE HOMOPOLYMER
3. DOOR SWEEP FLEXIBLE SECTION IS MADE OF SANTOPRENE #101-73 73 DUROMETER - SHORE A SCALE

Approved as complying with the
Florida Building Code
Date: 1/11/16
NOAS 02-042401
Miami Dade Product Control
Division
By: [Signature]

BEND RADIUS



THIRD ANGLE PROJECTION
DRAWN NF
CHECKED
APPROVED
ENG. APPVL

TITLE
DADE COUNTY
DOOR ACCESSORIES,
BOTTOM SWEEP
THRESHOLDS
AND WEATHERSTRIPPING (120 PSF)

SIZE FLAT DWG NO.

SCALE NTS | AUTOCAD |



INGERSOLL-RAND COMPANY
STEELCRAFT MFG.

9017 BlueAsh Rd. Cincinnati Ohio 45242

776W-3

SHT 8 OF 8

FL 46718
9/2/04

10-10-08
10-10-08
10-10-08
10-10-08

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:

- BUILDING:
- ZONING:
- DRB/HPB:
- CONCURRENCY:
- PLUMBING:
- ELECTRICAL:
- MECHANICAL:
- FIRE PREVENTION:
- ENGINEERING:
- PUBLIC WORKS:
- STRUCTURAL:
- ELEVATOR:

Ed 9/30/08

ABC 09/30/08

00.00.00
0.00

CITY OF MIAMI BEACH, FLORIDA

Permit Application Checklist



Type: REQUEST FOR SEWER CAPACITY CERTIFICATION ALLOCATION LETTER

When requesting a Sewer Capacity Certification Allocation Letter the applicant must provide the Following:

- ☒ Project Name and name and phone number of contact person submitting application.
- ☒ Provide stamped/signed approved plans by the Building Department for Public Works Review.
- ☐ Provide copy of the property building history card including vacant lots serviced by City water/sewer connections. If no property records exist provide signed document by the Building Department Record Manager. *6940 ABBOTT AVE 32-11-001-0590*
- ☒ Complete Sections 1a: 1b: 1c of the Sewer Capacity Certification Letter application.
- ☐ Public Works Department will certify the pump station information at Section 2 of the Application

Applicant will provide DERM with the Certified Sewer Application for further processing by their Wastewater section.

Application processing to be completed within ¹⁰ working days.

In accordance with the provision of Miami-Dade Ordinance 89-95 as currently in effect and as may be amended or revised in the future, the City of Miami Beach Shall require all new retail users, as defined in the Ordinance, to pay the Miami-Dade-County water and Sewer connection charges. The City of Miami Beach shall not render water service, sewer service or both to any new retail user until a written receipt from the Miami-Dade Department of Water and Sewer is provided showing that the Miami-Dade County connection charges have been paid.
"New retail user" is defined as any user who applies to a volume customer of the Department for water service, sewer service or both, or an existing user who applies for increased water service, sewer service or both.

- (Ord.89-95) County fee must be paid prior to City of Miami Beach service connection
- (Water and sewer Impact Fees are due prior to building permit issuance)

SEWER SERVICE CONNECTION AFFIDAVIT

I/we, the undersigned, being first duly sworn, depose and say that I/we have applied for a sewer service connection for (project description) _____ in accordance with the provisions of paragraph 16C of the First Partial Consent Decree (CASE No. 93-1109 CIV-MORENO) between the United States of America and Metropolitan Dade County. I/we understand and attest that we are ready, willing and able to initiate construction as required below:

1. Apply for a building permit with the appropriate building official(s) within ninety (90) days from the date of issuance of written approval of the newly authorized sewer service connection. If I/we fail to apply for a building permit as specified above, pursuant to the provisions of paragraph 16c and Appendix B of the First Partial Consent Decree (CASE No. 93-1109 CIV-MORENO) between the United States of America and Metropolitan Dade County the newly authorized sewer service connection shall automatically be null and void of no further force and effect;
2. Obtain the approved building permit within one hundred eighty (180) days of having filed the application of a building permit pursuant to Section 105.3.2 of the 2004 Florida Building Code or as it may be amended from time to time. If I/we fail to obtain the approved building permit as specified above, and fail to obtain an extension of time from the appropriate building official(s) the newly authorized sewer system connection and building permit approval shall automatically be null and void and of no further force and effect; and
3. Commence construction of the project within 180 days of issuance of the building permit pursuant to Section 105.4.1 of the 2004 Florida Building Code or as it may be amended from time to time. If I/we fail to commence such construction as specified above, the building permit and the newly authorized sewer system connection shall automatically be null and void and be of no further force and effect.

Once work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress, the newly authorized sewer service connection shall automatically be null and void and be of no further force and effect.

Similarly, I/we understand and attest the we are ready, willing, and able to obtain a Certificate of Use or Municipal Occupational License for any changes in a facility's use that results in an increase of wastewater flows within ninety (90) days from the date of issuance of written approval of the newly authorized sewer service connection. If I/we fail to obtain a Certificate of Use or Municipal Occupational License as specified above, the newly authorized sewer service connection automatically shall be null and void of no further force and effect.

Furthermore, I/we hereby acknowledge and recognize that the newly authorized sewer service connection does not constitute the approval of a building permit application, Certificate of Use, or Municipal Occupational License by the Department, but rather only a certification that adequate capacity exist in the sanitary sewer collection, transmission, and treatment system for the proposed project in accordance with the provisions of paragraph 16C of the First Partial Consent Decree and Paragraph 23 of the Second and Final Partial Consent Decree (CASE No. 93-1109 CIV-MORENO) between the United States of America and Metropolitan Dade County. I/we are hereby duly informed that the building permit application, building construction plans, Certificate of Use application, Municipal Occupational License applicant, and/or any supporting or required documentation may require the review and approval of the Department of Environmental Resources Management in accordance with the requirements of Chapter 24 of the Miami Dade County Code, as may be amended from time to time.

Applicant

Name in Print/ Title _____

Company Name _____

Signature _____

State of Florida, County of Miami-Dade

Sworn to and subscribed before me this _____ day of _____, 20____ by _____

Personally known _____

Or Produced Identification _____

Notary Public _____ (SEAL)

Property Owner

Name in Print (Owner or Authorized Representative)/ Title _____

Signature (Owner or Authorized Representative with Notarized Authorization Letter) _____

State of Florida, County of Miami-Dade

Sworn to and subscribed before me this _____ day of _____, 20____ by _____

Personally known _____

Or Produced Identification _____

Notary Public _____ (SEAL)

**CITY OF MIAMI BEACH
BUILDING DEPARTMENT**

PLANS PROCESSING APPROVALS

06-24-2008

ACTIVITY NUMBER: B0803383

SITE ADDRESS: 6940 ABBOTT AV MBCH

LIST OF APPROVALS:

Item: 00001 Zoning Section

06/02/2008 SM Action: INFO 3rd set of building permit plans picked-up from Bldg. Dept. 6/2/08 and distributed to Tui 6/2/08 for review during afternoon counter walk-through hours while applicant flow is minimal.
06/03/2008 TUI Action: AP Interior and exterior renovation-exterior work done at the back of building not facing the public right of way
06/03/2008 SM Action: AP 3rd set of building permit plans returned to Bldg. Dept. 6/3/08 at 2:29pm. The Job & Office sets of building permit plans still need to be signed by the Planning & Zoning Department as they are not available at this time.

Item: 00002 Building Section

06/04/2008 mra Action: CO 1.-Classify scope and type of work according to Chapter 3. (FBC(E) 301.1)
2.-Define level of alteration. (FBC(E) 301.5)
3.-Show dimensions on existing doors
4.-Show urinal flush control height
5.-Provide a hi-lo drinking fountain
6.-Show existing ramp dimensions and slope to see if handrails are required

Item: 00070 Structural

06/20/2008 RLV Action: AP

Item: 00003 Electrical Section

06/02/2008 RM Action: CO B0803383

1- PROVIDE EXISTING/NEW RISER DIAG.WITH ALL ELECTRICAL INFORMATION IN PLANS.

Item: 00005 Mechanical Section

06/13/2008 JEG Action: CO B0803383

1- EACH ITEM IN HVAC DESING NEED BE FILL OUT COMPLETELY WITH A " YES" OR "NO" ANSWER

Item: 00004 Plumbing Section

05/30/2008 RAJ Action: AP

Item: 00007 Engineering Section

06/09/2008 cef Action: CO Interior Renovation of existing space.
The Engineering section requires:
- DERM Final stamp approved.
- Water and Sewer allocation letter
- Copy of Ordinance 89-95 from WASA.

Item: 00009 Public Works Department

05/29/2008 DW Action: AP Plans approved - as per Public Works/signature

NOTE:

work/materials/equipment to be inside private party.

****All construction and/or use of equipment in the r/w and/or easement require a separate Public Works Department permit PRIOR TO START OF CONSTRUCTION.**

Item: 00006 Fire Section

06/19/2008 ta Action: CO sheet a1000:

[BAPPRV1]

**CITY OF MIAMI BEACH
BUILDING DEPARTMENT**

PLANS PROCESSING APPROVALS

06-24-2008

ACTIVITY NUMBER: B0803383

SITE ADDRESS: 6940 ABBOTT AV MBCH

-
1. show life safety for the parking area. it show 2 remote sliding gates, this cannot be used as an exit it needs
 - to be a swing door opening in the direction of egress travel (a man door may be needed to be added to both sides)
 2. the exit doors to open shall not require a key or special knowledge to open

sheet a2001:

1. need to provide info on the ramp its ratio along with handrails etc per nfpa 101 chap 7
2. door conflict between the storage room and breeze way gate door
3. provide occupancy load per nfpa 101 chap 7
4. need to state on plans all codes used for this project
5. all doors need to swing in the direction of egress travel (i.e. breeze way gate door)
6. provide floor elevation for all exit doors, needs to be level on both sides with 1/2" across the threshold
7. door #109 when open needs to maintain 22" clearance along the corridor for exiting

sheet a9000:

1. all interior finishes shall comply with nfpa 101 chap 10 (i.e. new carpet)

sheet e1010d:

1. provide additional exit signs in green dotted areas
2. show emergency lighting
3. show all systems (fire alarm sprinklers etc) if applicable

Item: 00080 M. D. W. A. S. D

Item: 00023 Accessibility Section

Item: 00010 D.E.R.M. (Env Res Man)

Item: 00021 Dade County Impact fees?

Item: 00065 Elevator

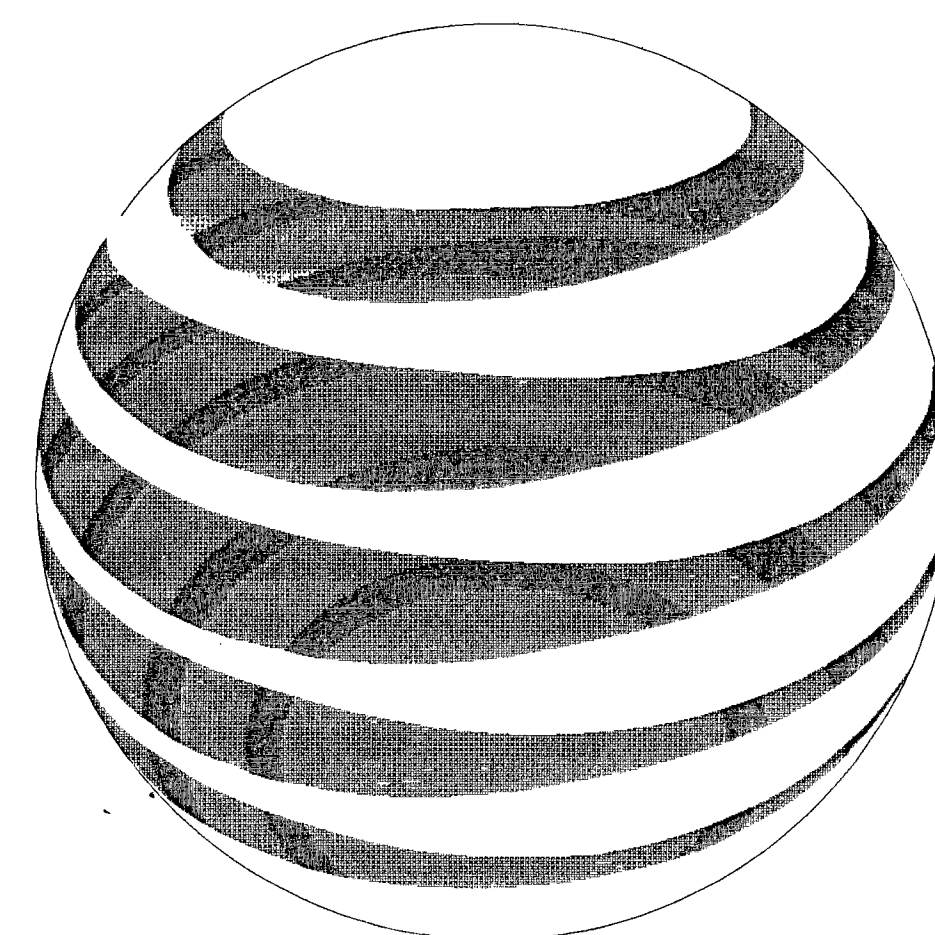
Item: 00075 Valuation Verification

06/04/2008 mra Action: AP

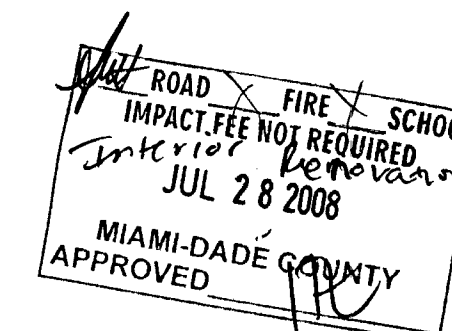
Item: 00016 Check Additional Approvals

**6940 ABBOTT AVENUE
MIAMI BEACH, FLORIDA 33141**

GLC NO: M6213
PROJECT NO: 0834



at&t



BU803383

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY

THE FOLLOWING:

BUILDING: 07-210000 r/m 8/11/08

ZONING: 801. 8/11/08

DRS/HPS: _____

CURRENCY: _____

PLUMBING: _____

ELECTRICAL: 07-210000 1/2 07/29/08 1/2-07/10/08

MECHANICAL: 07-210000 1/2 07/29/08 1/2-07/10/08

FIRE PREVENTION: 07-210000 1/2 07/29/08 1/2-07/10/08

ENGINEERING: 07-210000 1/2 07/29/08 1/2-07/10/08

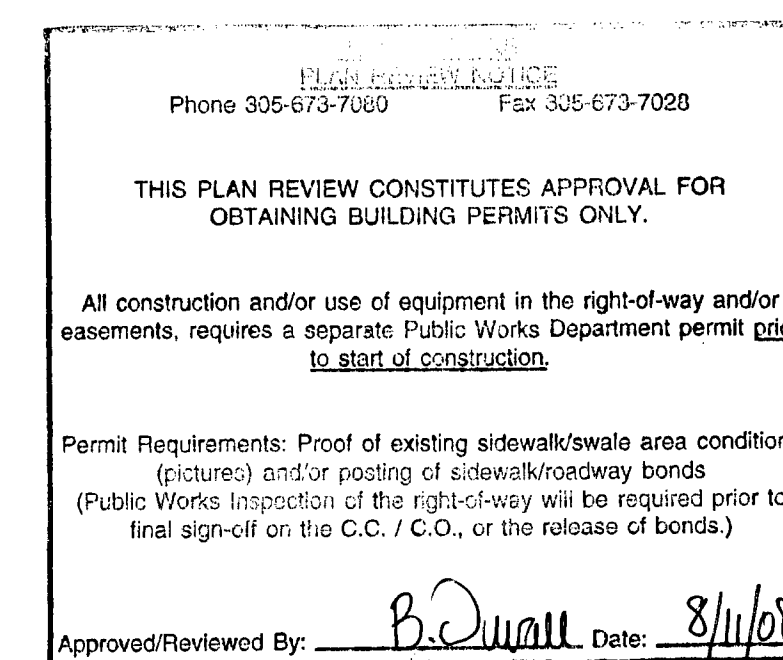
PUBLIC WORKS: 07-210000 1/2 07/29/08 1/2-07/10/08

SEWERAGE: 07-210000 1/2 07/29/08 1/2-07/10/08

WATER: 07-210000 1/2 07/29/08 1/2-07/10/08

MAINTENANCE: 07-210000 1/2 07/29/08 1/2-07/10/08


OTHER: 07-210000 1/2 07/29/08 1/2-07/10/08



ROUX ARCHITECT
116 Giralda Avenue Coral Gables, Florida
MECHANICAL AND ELECTRICAL
PROFESSIONAL CONSULTING
ENGINEERING INC.


7232 S.W. 39th Terrace Miami, Florida

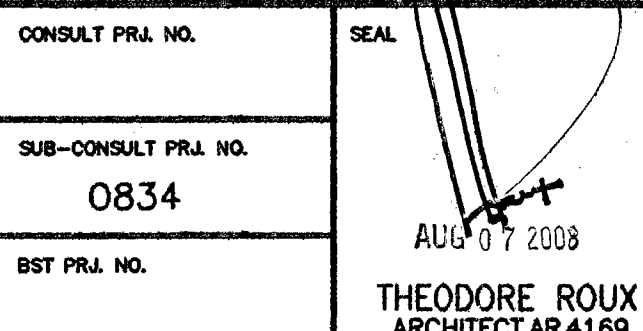
NOTE: In addition to the requirements of this point, there may be additional restrictions applicable to this property that may be found in the public records of this County, and there may be additional persons required to provide records to this County, such as water management districts, public records of other governmental entities such as water management districts, other governmental agencies, or state agencies, or federal agencies. The City of Miami Beach assumes no responsibility for accuracy of or results from these plans and any laws, rules, and regulations of the State and Local Laws, Rules, and Regulations.



SURFSIDE SOC
6940 ABBOTT AVENUE
MIAMI, FLORIDA 33141

NO.	DATE	DESCRIPTION	CHKD/APPD
A 0	04-07-08 05-13-08	ISSUED FOR SITE PLAN REVIEW ISSUED FOR PERMIT/CONSTRUCTION	


THEODORE ROUX
ARCHITECT AR 4169
MAY 13 2008



CONSULTANT

SUB-CONSULTANT

ROUX ARCHITECT

116 GIRALDA AVENUE
CORAL GABLES, FL.
305-443-8116

NO.	DATE	DESCRIPTION	CHNG/REV
A	04-07-08	ISSUED FOR REVIEW	
0	05-13-08	ISSUED FOR PERMIT/CONSTRUCTION	
3	08-07-08	PERMIT REVISION - MAIN GATES ADDED AS PER FINE COMMENTS	

PROJECT TITLE

SURFSIDE SOC

6940 ABBOTT AVENUE
MIAMI BEACH, FLORIDA 33141

KEY PLAN

DATE	04-07-08
DRAWN BY	GWC/NYR
CHECKED BY	TLR
APPROVED BY	TLR

NOT FOR CONSTRUCTION	<input type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input checked="" type="checkbox"/>
AS-BUILT DRAWING	<input type="checkbox"/>

DATABASE M6213A1000

DRAWING TITLE

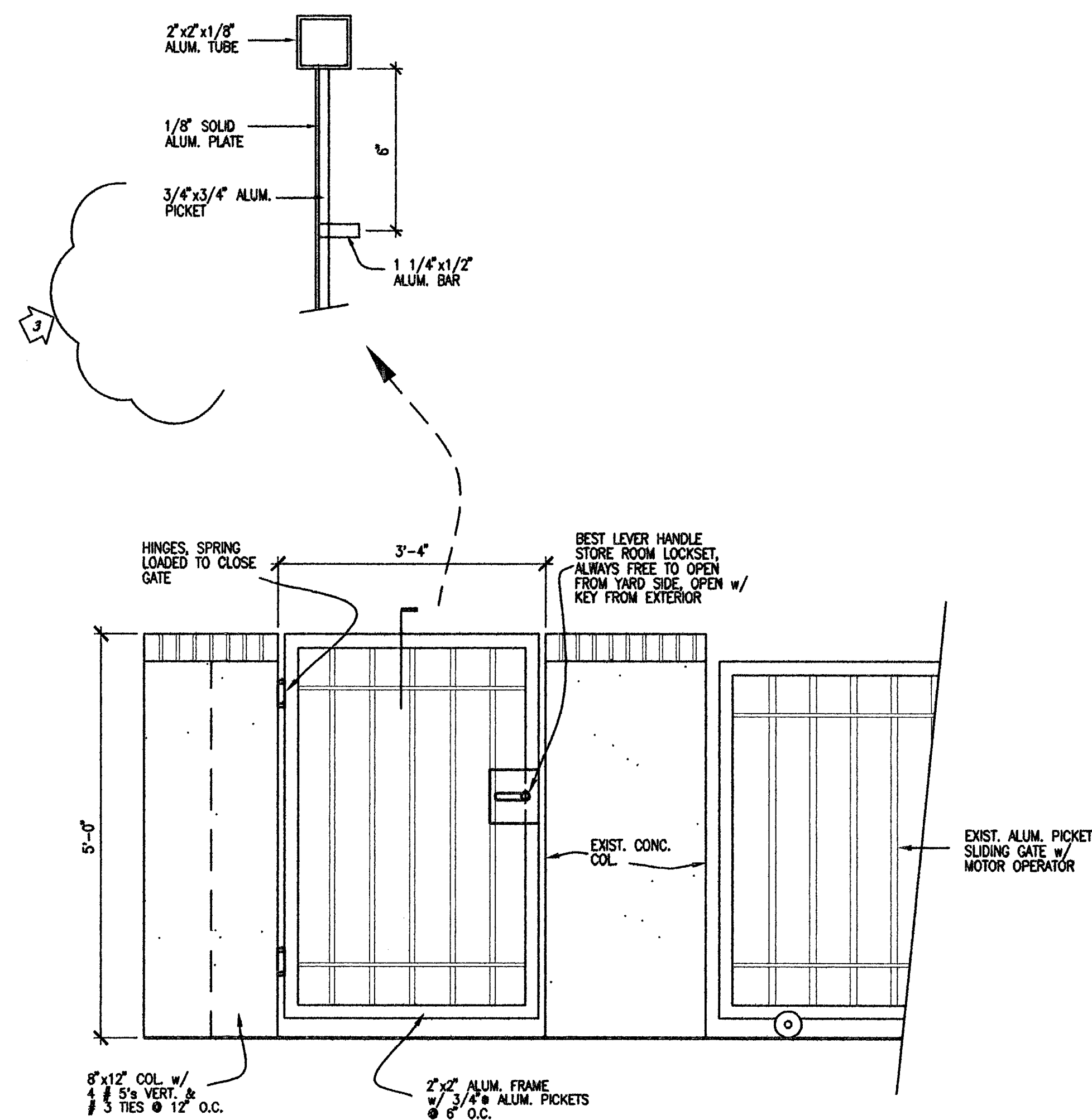
SITE PLAN

GLC NO.

M6213

DRAWING NO.

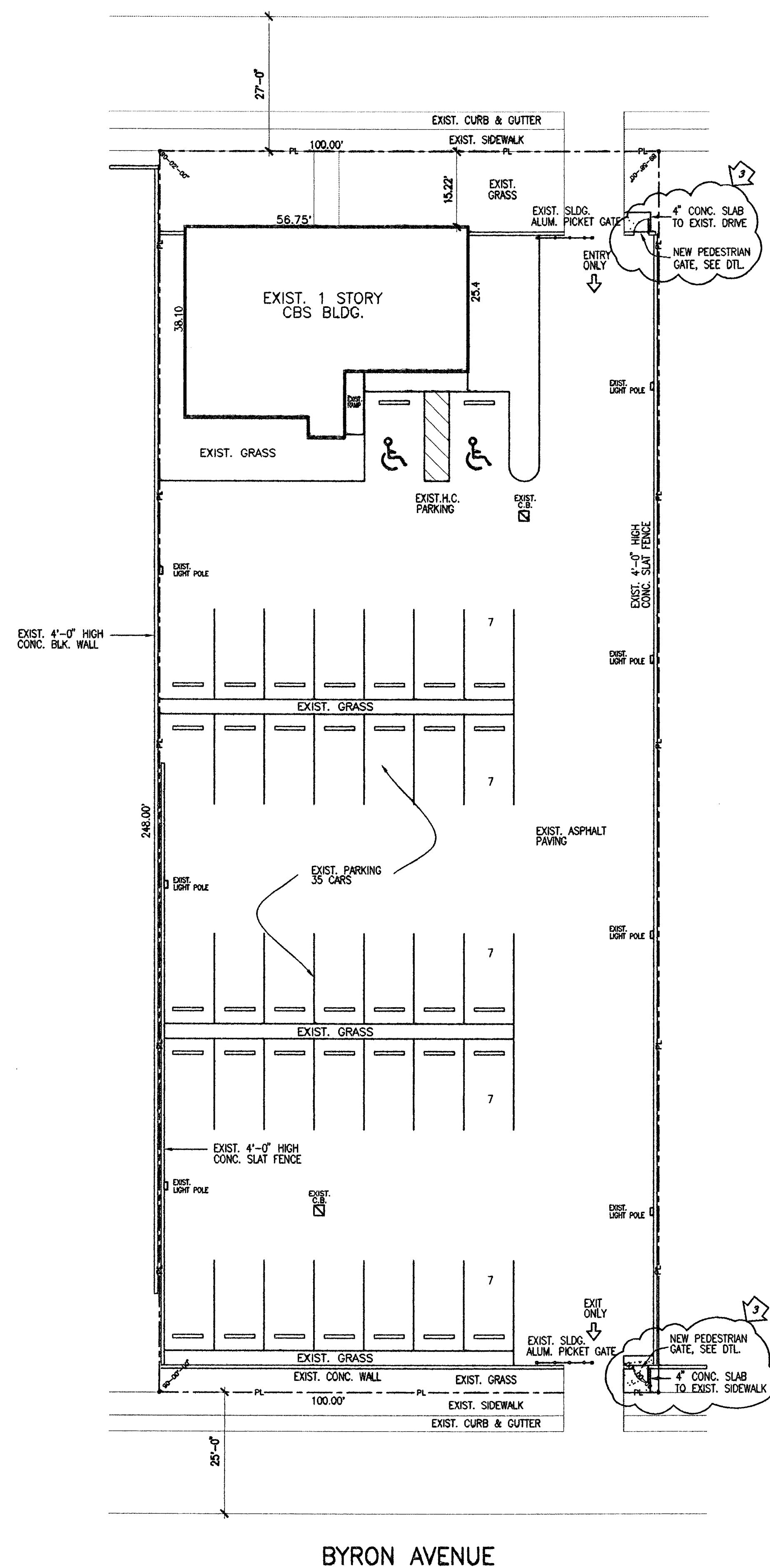
A1000



TYP. GATE ELEVATION

SCALE : $3/4" = 1'-0"$

NOTE:
SUBMIT SHOP DRAWING OF GATE
FOR APPROVAL

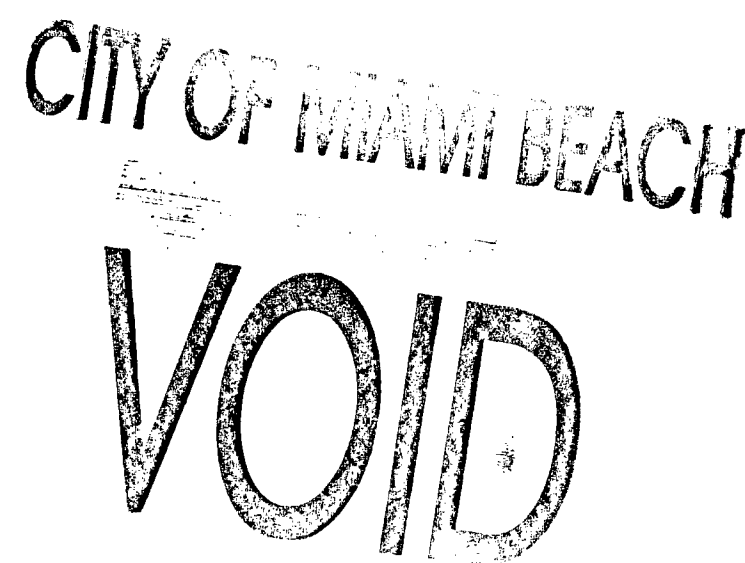


NOTE :
INTERIOR REMODELING ONLY,
NO SITE WORK, EXCEPT FOR NEW
MAN GATES AS REQUIRED BY FIRE DEPT.

SITE PLAN
SCALE : 1/16" = 1'-0"

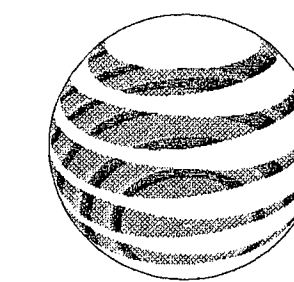


Ed.
8/10/08



NOTE :
INTERIOR REMODELING ONLY,
NO SITE WORK

SITE PLAN
SCALE : 1/16" = 1'-0"



at&t

SEA

THEODORE ROUX
ARCHITECT AR 4169

MAY 13 2008

THEODORE ROUX
ARCHITECT AR 4169

CONSULTANT

SUB-CONSULTANT

ROUX ARCHITECT

116 GIRALDA AVENUE
CORAL GABLES, FL.
305-443-8116

NO.	DATE	DESCRIPTION	CHRG/APPRO
A	04-07-08	ISSUED FOR REVIEW	
O	05-13-08	ISSUED FOR PERMIT/CONSTRUCTION	

PROJECT TITLE

SURFSIDE SOC

6940 ABBOTT AVENUE
MIAMI BEACH, FLORIDA 33141

KEY PLAN

DATE	04-07-08
DRAWN BY	GWC/NYR
CHECKED BY	TLR
APPROVED BY	TLR

NOT FOR CONSTRUCTION ☐
RELEASED FOR CONSTRUCTION ☒
AS-BUILT DRAWING ☐

DATABASE M6213A1000

DRAWING TITLE

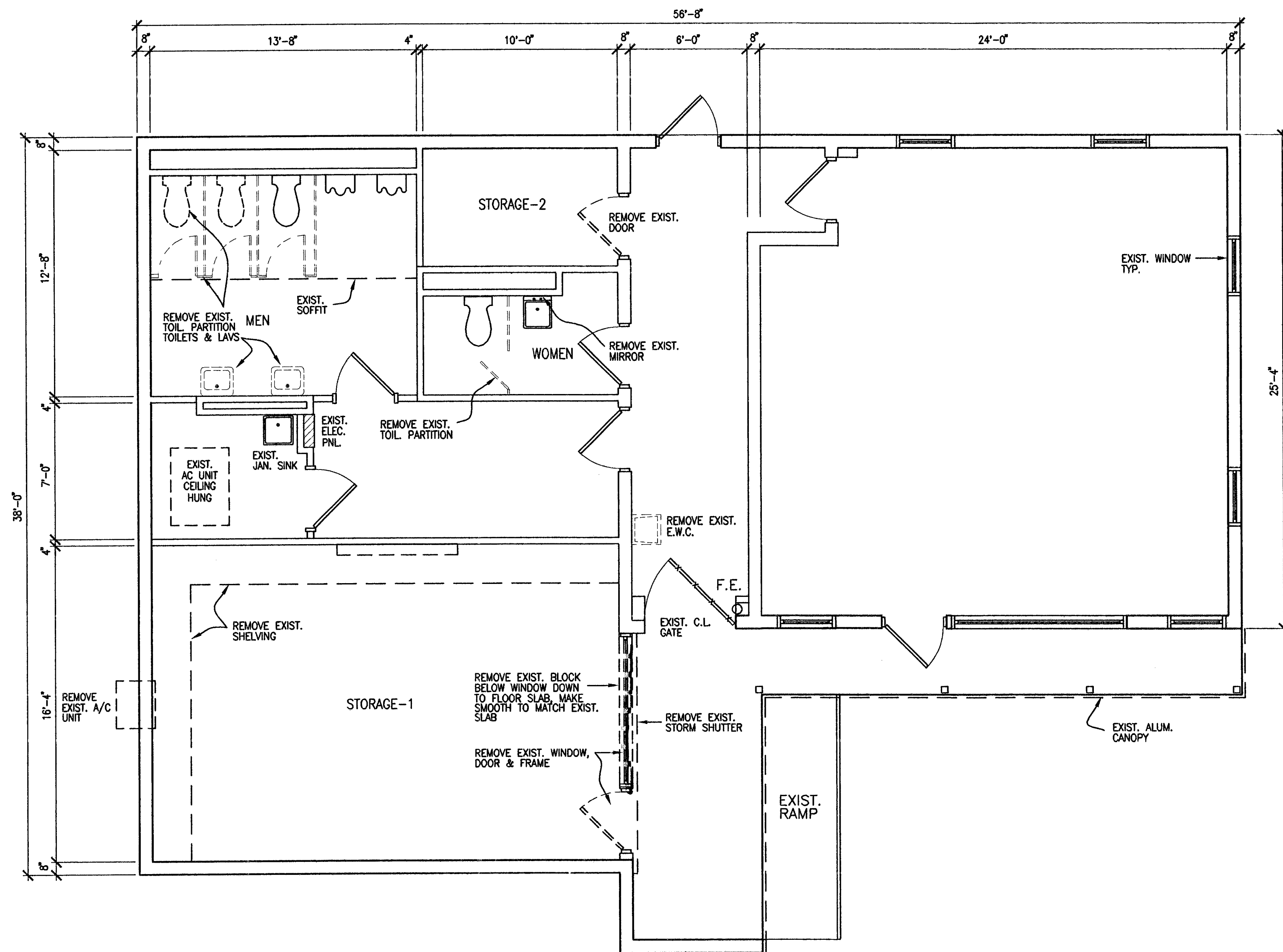
SITE PLAN

GLC NO.

M6213

DRAWING NO.

A1000



DEMOLITION PLAN
SCALE : 1/4" = 1'-0"



Ed. Dupont



CONSULT PRL NO.	SEAL
SUB-CONSULT PRL NO. 0834	THEODORE ROUX ARCHITECT AR 4169 MAY 13 2008
BST PRL NO.	THEODORE ROUX ARCHITECT AR 4169

CONSULTANT

SUB-CONSULTANT
ROUX ARCHITECT
116 GIRALDA AVENUE
CORAL GABLES, FL.
305-443-8116

NO.	DATE	DESCRIPTION	CHKD/APPD
A	04-07-08	ISSUED FOR REVIEW	
O	05-13-08	ISSUED FOR PERMIT/CONSTRUCTION	

PROJECT TITLE
SURFSIDE SOC
6940 ABBOTT AVENUE
MIAMI BEACH, FLORIDA 33141

KEY PLAN

DATE	04-07-08
DRAWN BY	GWC/NYR
CHECKED BY	TLR
APPROVED BY	TLR
NOT FOR CONSTRUCTION	<input type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input checked="" type="checkbox"/>
AS-BUILT DRAWING	<input type="checkbox"/>

DATABASE
M6213D2001

DRAWING TITLE
DEMOLITION FLOOR PLAN

GLC NO. M6213	DRAWING NO. D2001
-------------------------	-----------------------------



CONSULT. PROJ. NO.
SUB-CONSULT. PROJ. NO.
0834
JUN 30 2008
THEODORE ROUX
ARCHITECT AR 4169

CONSULTANT

SUB-CONSULTANT

ROUX ARCHITECT

116 GIRALDA AVENUE
CORAL GABLES, FL.
305-443-8116

NO.	DATE	DESCRIPTION	CHKD./APPD.
A	04-07-08	ISSUED FOR REVIEW	
0	05-13-08	ISSUED FOR PERMIT/CONSTRUCTION	
1	08-12-08	PERMIT COMMENTS-CLG OMITTED	
2	08-25-08	PERMIT COMMENTS-CLG OMITTED	

PROJECT TITLE

SURFSIDE SOC

6940 ABBOTT AVENUE
MIAMI BEACH, FLORIDA 33141

KEY PLAN

DATE 04-07-08
DRAWN BY GWC/MYR
CHECKED BY TLR
APPROVED BY TLR

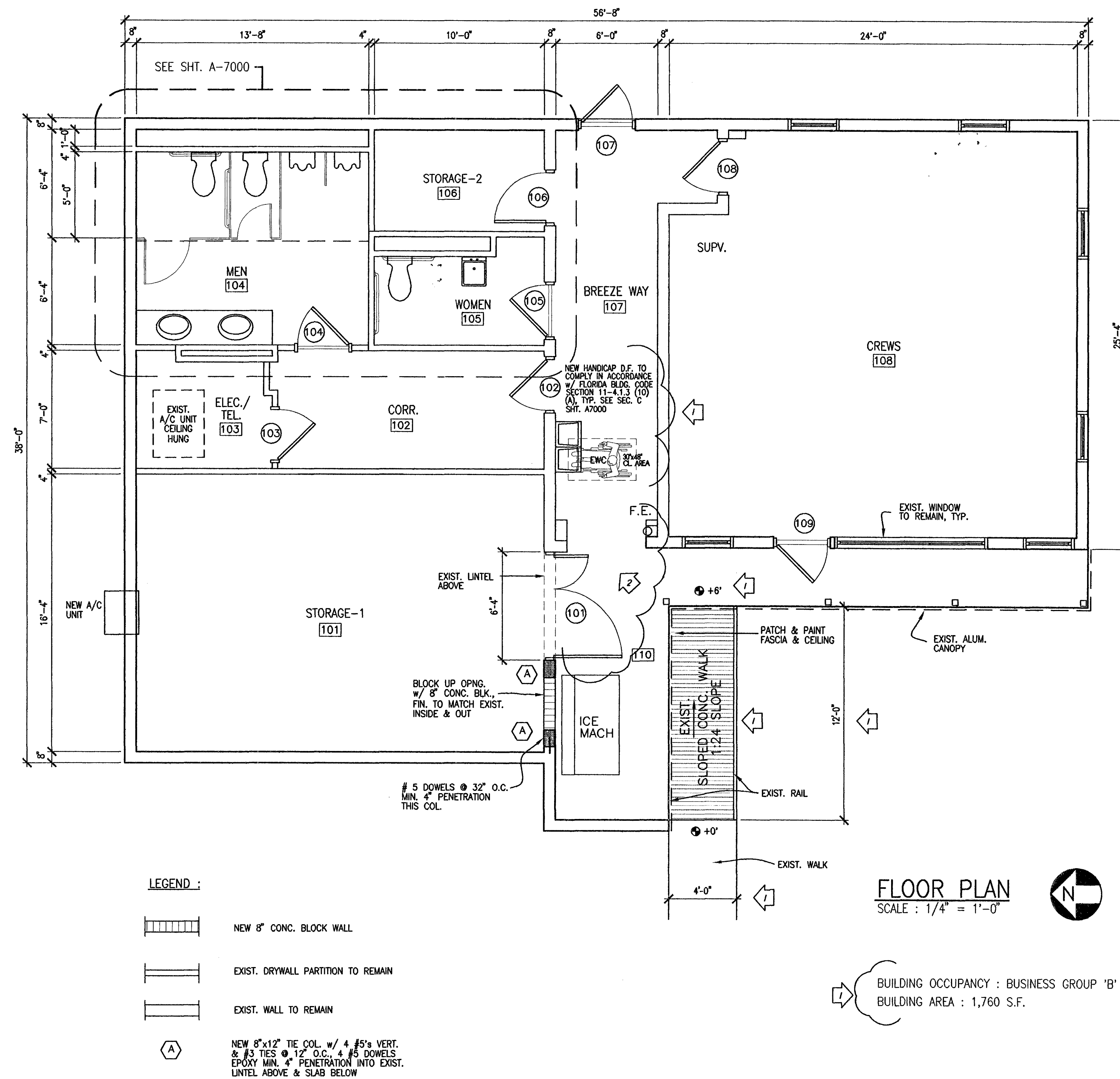
NOT FOR CONSTRUCTION
RELEASED FOR CONSTRUCTION ☒
AS-BUILT DRAWING ☐

DATABASE M6213A2001

DRAWING TITLE

FLOOR PLAN

OLC NO. M6213
DRAWING NO. A2001





CONSULT PRJ. NO.	SEAL
SUB-CONSULT PRJ. NO.	THEODORE ROUX ARCHITECT AR 4169
0834	MAY 13 2008
BST PRJ. NO.	THEODORE ROUX ARCHITECT AR 4169

CONSULTANT

SUB-CONSULTANT

ROUX ARCHITECT

116 GIRALDA AVENUE
CORAL GABLES, FL.
305-443-8116

NO.	DATE	DESCRIPTION	CHG/APPD
A	04-07-08	ISSUED FOR REVIEW	
0	05-13-08	ISSUED FOR PERMIT/CONSTRUCTION	

PROJECT TITLE

SURFSIDE SOC

6940 ABBOTT AVENUE
MIAMI BEACH, FLORIDA 33141

KEY PLAN

DATE	04-07-08
DRAWN BY	GWG/NYR
CHECKED BY	TLR
APPROVED BY	TLR

NOT FOR CONSTRUCTION	<input type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input checked="" type="checkbox"/>
AS-BUILT DRAWING	<input type="checkbox"/>

DATABASE
M6213A2001

DRAWING TITLE

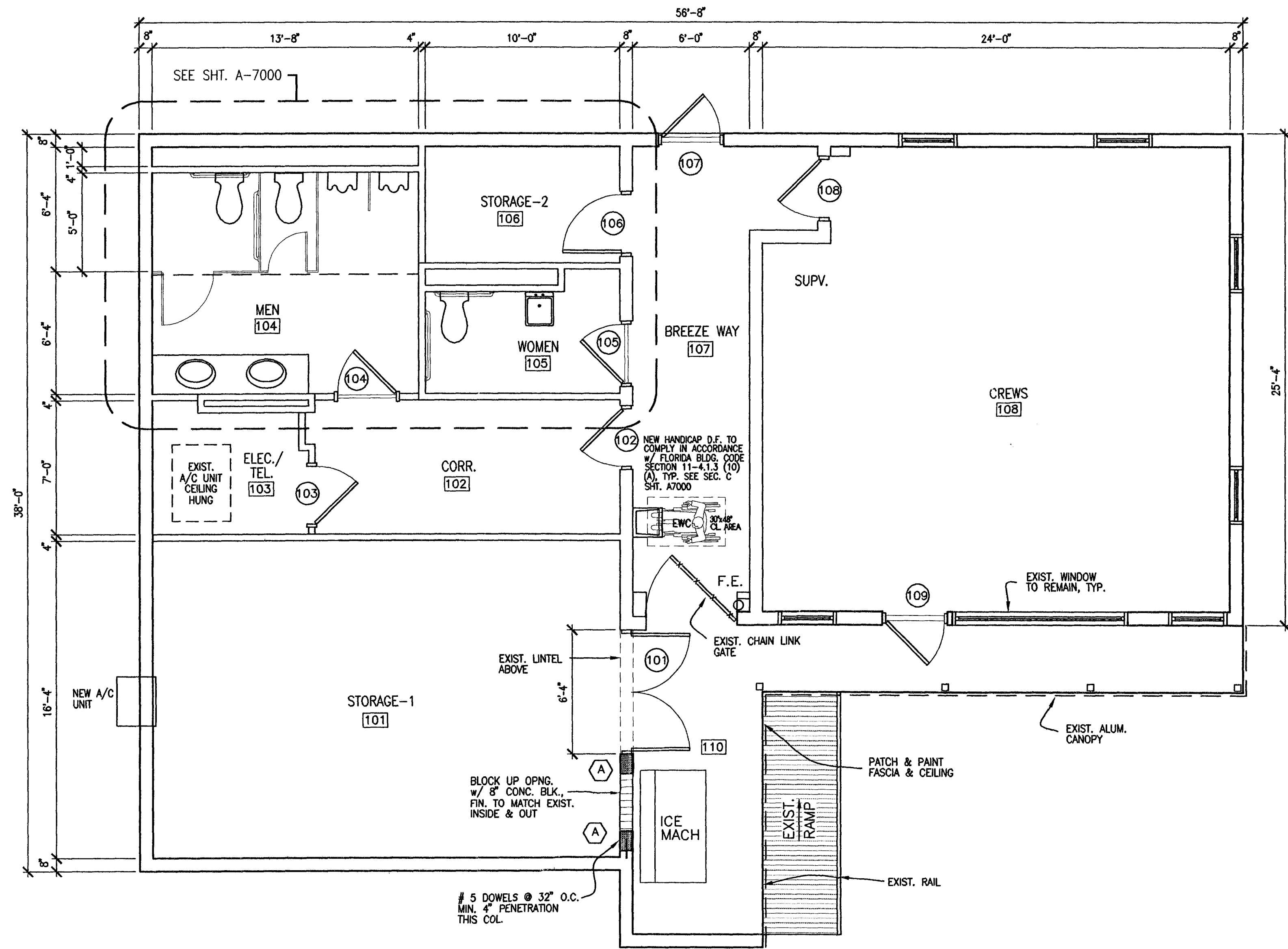
FLOOR PLAN

QLC NO.

M6213

DRAWING NO.

A2001



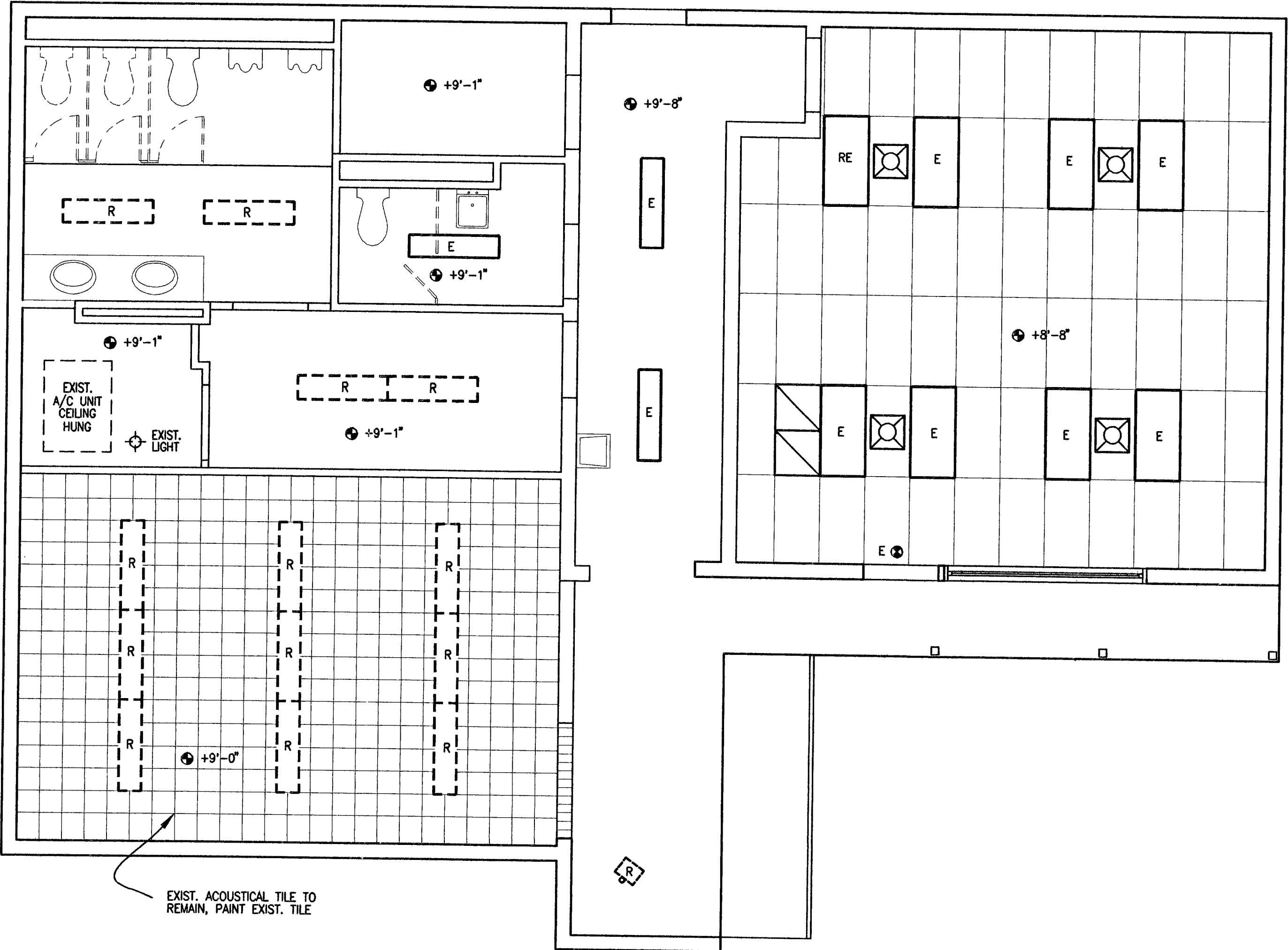
LEGEND :

- NEW 8\"/>
- EXIST. DRYWALL PARTITION TO REMAIN
- EXIST. WALL TO REMAIN
- NEW 8\"/>

FLOOR PLAN
SCALE : 1/4\"/>



P:\BelSouth Telecommunications\Surfside SUR\Working Dwg\M6213A-2002.DWG Wed May 14 10:55:01 2008



LEGEND :

- EXIST. 2'x4' ACOUSTICAL TILE CEILING AND GRID
- RE EXIST. 2'x4' FLUORESCENT LIGHT FIXTURE TO BE RELOCATED
- E EXIST. 2'x4' FLUORESCENT LIGHT FIXTURE TO REMAIN
- E EXIST. 1'x4' FLUORESCENT LIGHT FIXTURE TO REMAIN
- RE EXIST. 1'x4' FLUORESCENT LIGHT FIXTURE TO BE REPLACED
- EXIST. A/C DIFFUSER TO REMAIN
- EXIST. RETURN AIR GRILL TO REMAIN
- E EXIST. EMERGENCY EXIT LIGHT TO REMAIN
- EXIST. FLOOD LIGHT TO BE REMOVED

EXIST. REFLECTED CEILING PLAN
SCALE : 1/4" = 1'-0"



CONSULT P.R.J. NO.	SEAL
SUB-CONSULT P.R.J. NO. 0834	THEODORE ROUX ARCHITECT AR 4169 MAY 13 2008
BST P.R.J. NO.	THEODORE ROUX ARCHITECT AR 4169
CONSULTANT	

SUB-CONSULTANT
ROUX ARCHITECT
116 GIRALDA AVENUE
CORAL GABLES, FL.
305-443-8116

NO.	DATE	DESCRIPTION	CHKD/APPD
A O	04-07-08 05-13-08	ISSUED FOR REVIEW ISSUED FOR PERMIT/CONSTRUCTION	

PROJECT TITLE
SURFSIDE SOC
6940 ABBOTT AVENUE
MIAMI BEACH, FLORIDA 33141

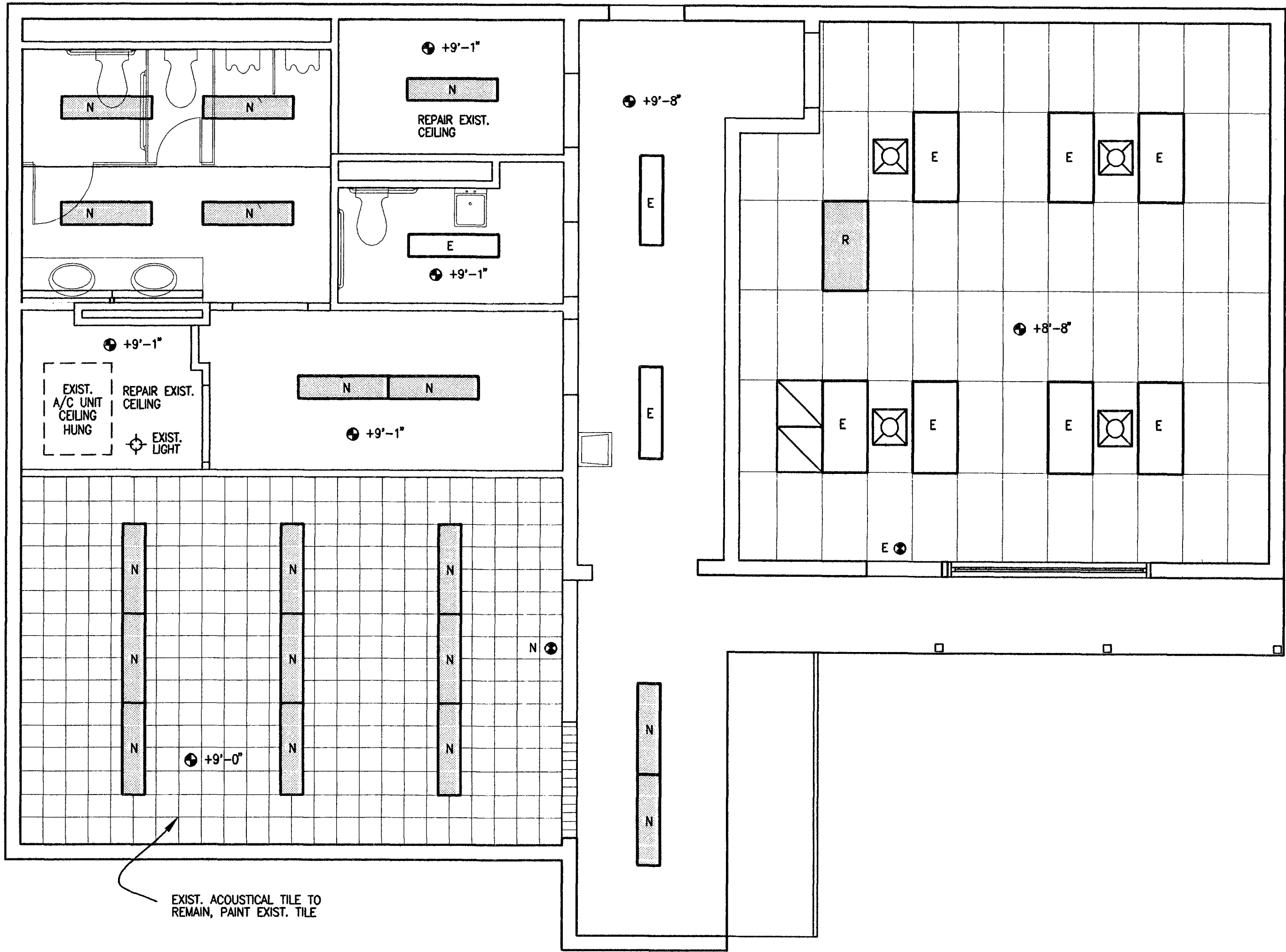
KEY PLAN

DATE	04-07-08
DRAWN BY	GWC/NYR
CHECKED BY	TLR
APPROVED BY	TLR
NOT FOR CONSTRUCTION	<input type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input checked="" type="checkbox"/>
AS-BUILT DRAWING	<input type="checkbox"/>

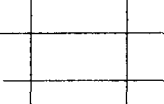








DATABASE
M6213A2002

DRAWING TITLE
**EXISTING
REFLECTED CEILING PLAN**

GLC NO. M6213	DRAWING NO. A2002
-------------------------	-----------------------------



LEGEND :

-  EXIST. 2'x4' ACOUSTICAL TILE CEILING AND GRID
-  EXIST. 2'x4' FLUORESCENT LIGHT FIXTURE
-  RELOCATED 2'x4' FLUORESCENT LIGHT FIXTURE
-  NEW 1'x4' FLUORESCENT LIGHT FIXTURE SURFACE MOUNTED
-  NEW LIGHT FIXTURE
-  EXIST. A/C DIFFUSER
-  EXIST. RETURN AIR GRILL
-  NEW EMERGENCY EXIT LIGHT
-  EXIST. EMERGENCY EXIT LIGHT

NEW REFLECTED CEILING PLAN
SCALE : 1/4" = 1'-0"



CONSULT PRL. NO.	SEAL
SUB-CONSULT PRL. NO. 0834	THEODORE ROUX ARCHITECT AR 4169 MAY 13 2008
BST PRL. NO.	THEODORE ROUX ARCHITECT AR 4169

CONSULTANT

SUB-CONSULTANT

ROUX ARCHITECT

116 GIRALDA AVENUE
CORAL GABLES, FL.
305-443-8116

NO.	DATE	DESCRIPTION	CHKD/APPD
A	04-07-08	ISSUED FOR REVIEW	
0	05-13-08	ISSUED FOR PERMIT/CONSTRUCTION	

PROJECT TITLE

SURFSIDE SOC

6940 ABBOTT AVENUE
MIAMI BEACH, FLORIDA 33141

KEY PLAN

DATE	04-07-08
DRAWN BY	GWC/NYR
CHECKED BY	TLR
APPROVED BY	TLR

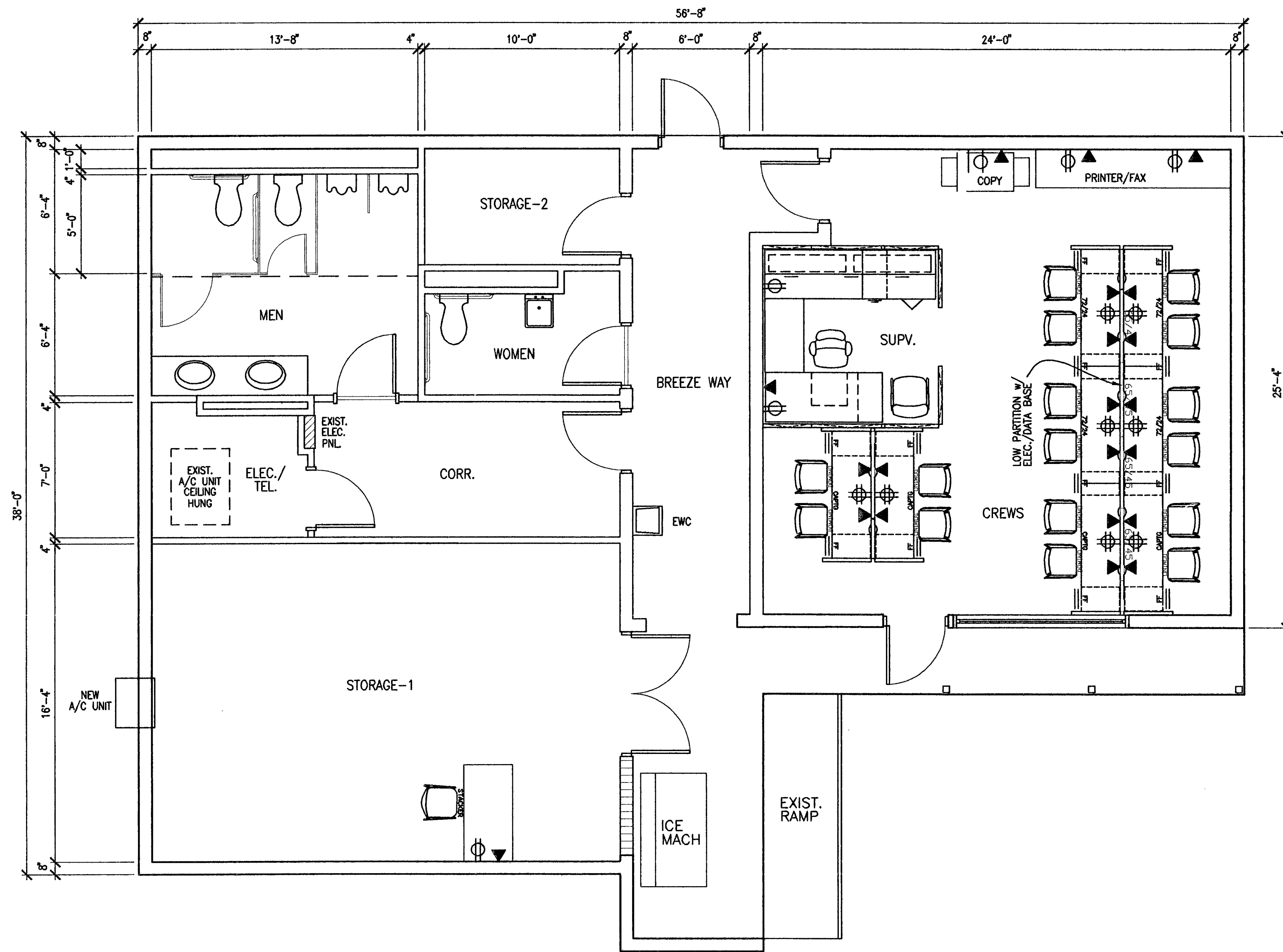
NOT FOR CONSTRUCTION	<input type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input checked="" type="checkbox"/>
AS-BUILT DRAWING	<input type="checkbox"/>

DATABASE
M6213A2003

DRAWING TITLE

REFLECTED CEILING PLAN

QLC NO. M6213	DRAWING NO. A2003
------------------	----------------------



FURNITURE PLAN
SCALE : 1/4" = 1'-0"



CONSULT PROJ. NO.	SEAL THEODORE ROUX ARCHITECT A2010 MAY 13 2008
SUB-CONSULT PROJ. NO.	0834
BST PROJ. NO.	THEODORE ROUX ARCHITECT A2010

CONSULTANT

SUB-CONSULTANT
ROUX ARCHITECT
116 GIRALDA AVENUE
CORAL GABLES, FL.
305-443-8116

NO.	DATE	DESCRIPTION	CHKD/APPD
A	04-07-08	ISSUED FOR REVIEW	
O	05-12-08	ISSUED FOR PERMIT/CONSTRUCTION	

PROJECT TITLE
SURFSIDE SOC
6940 ABBOTT AVENUE
MIAMI BEACH, FLORIDA 33141

KEY PLAN

DATE	04-07-08
DRAWN BY	GWC/WJR
CHECKED BY	TLR
APPROVED BY	TLR
NOT FOR CONSTRUCTION	<input type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input checked="" type="checkbox"/>
AS-BUILT DRAWING	<input type="checkbox"/>

DATABASE
M6213A2010

DRAWING TITLE
FURNITURE PLAN

GLC NO.	DRAWING NO.
M6213	A2010



CONSULT P.R.J. NO.

SUB-CONSULT P.R.J. NO.

0834

BST P.R.J. NO.

JUN 12 2008
THEODORE ROUX
ARCHITECT AR #169

CONSULTANT

SUB-CONSULTANT

ROUX ARCHITECT

116 GIRALDA AVENUE
CORAL GABLES, FL.
305-443-8116

NO.	DATE	DESCRIPTION	CHD/APPO
A	04-07-08	ISSUED FOR REVIEW	
0	05-13-08	ISSUED FOR PERMIT/CONSTRUCTION	
1	06-12-08	PERMIT COMMENTS	

PROJECT TITLE

SURFSIDE SOC

6940 ABBOTT AVENUE
MIAMI BEACH, FLORIDA 33141

KEY PLAN

DATE

04-07-08

DRAWN BY

GWC/NYR

CHECKED BY

TLR

APPROVED BY

TLR

NOT FOR CONSTRUCTION

☐

RELEASED FOR CONSTRUCTION

☒

AS-BUILT DRAWING

☐

DATABASE

M6213A7000

DRAWING TITLE

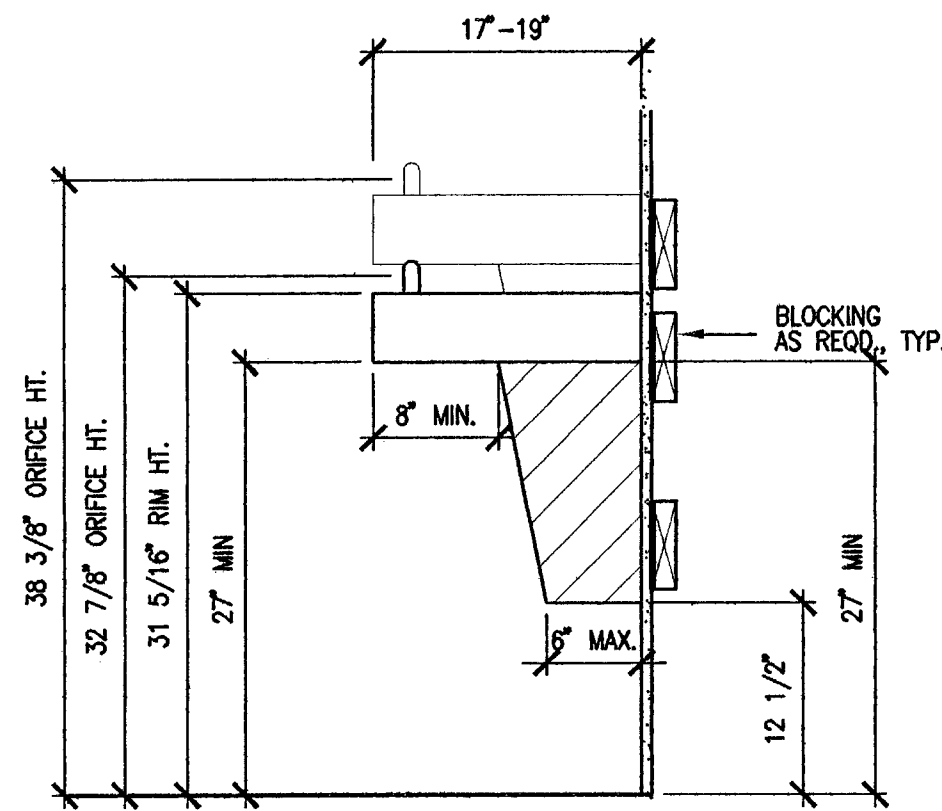
TOILET PLANS
ELEVATIONS & DETAILS

GLC NO.

M6213

DRAWING NO.

A7000

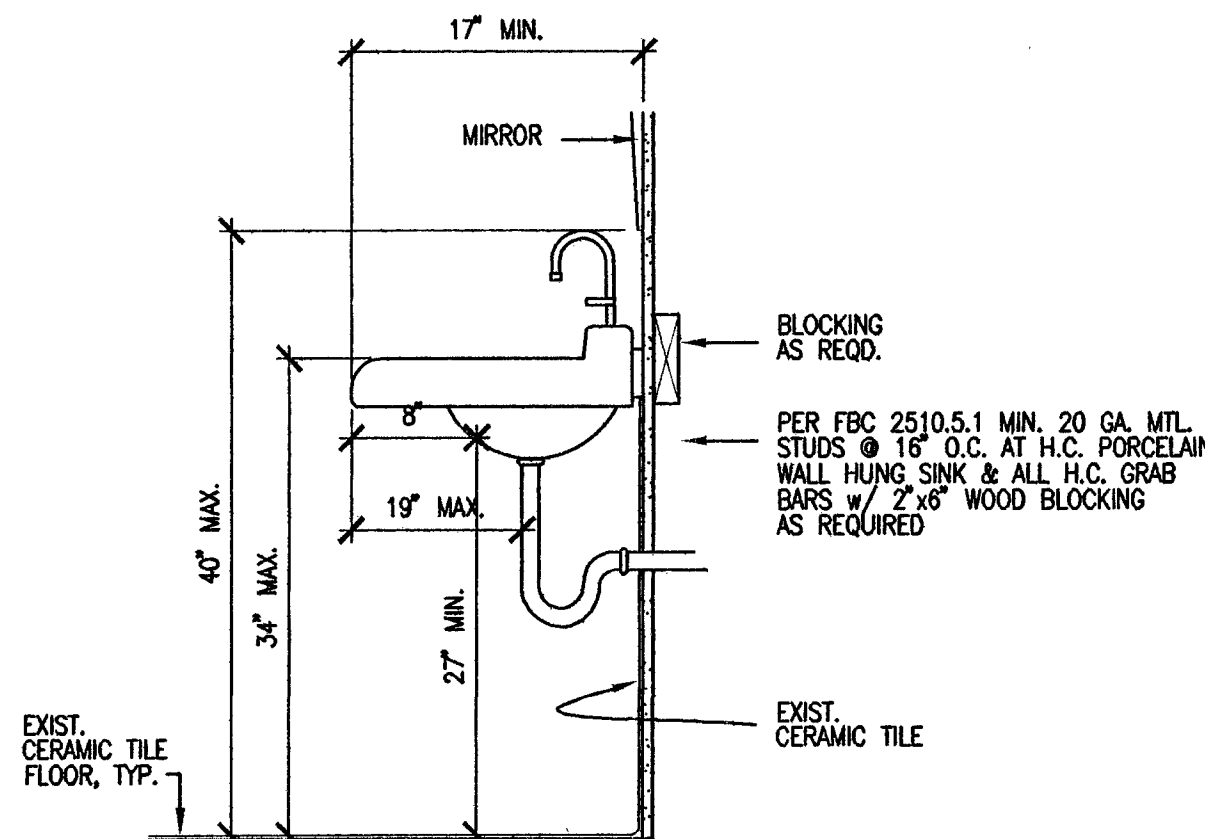


- NOTES :
- EQUIP. PERMITTED IN SHADED AREA
 - DRINKING FOUNTAIN TO COMPLY W/ F.B.C. SECTION 11-4.15.1 THRU 5

SECTION

SCALE : 1" = 1'-0"

C
A7000

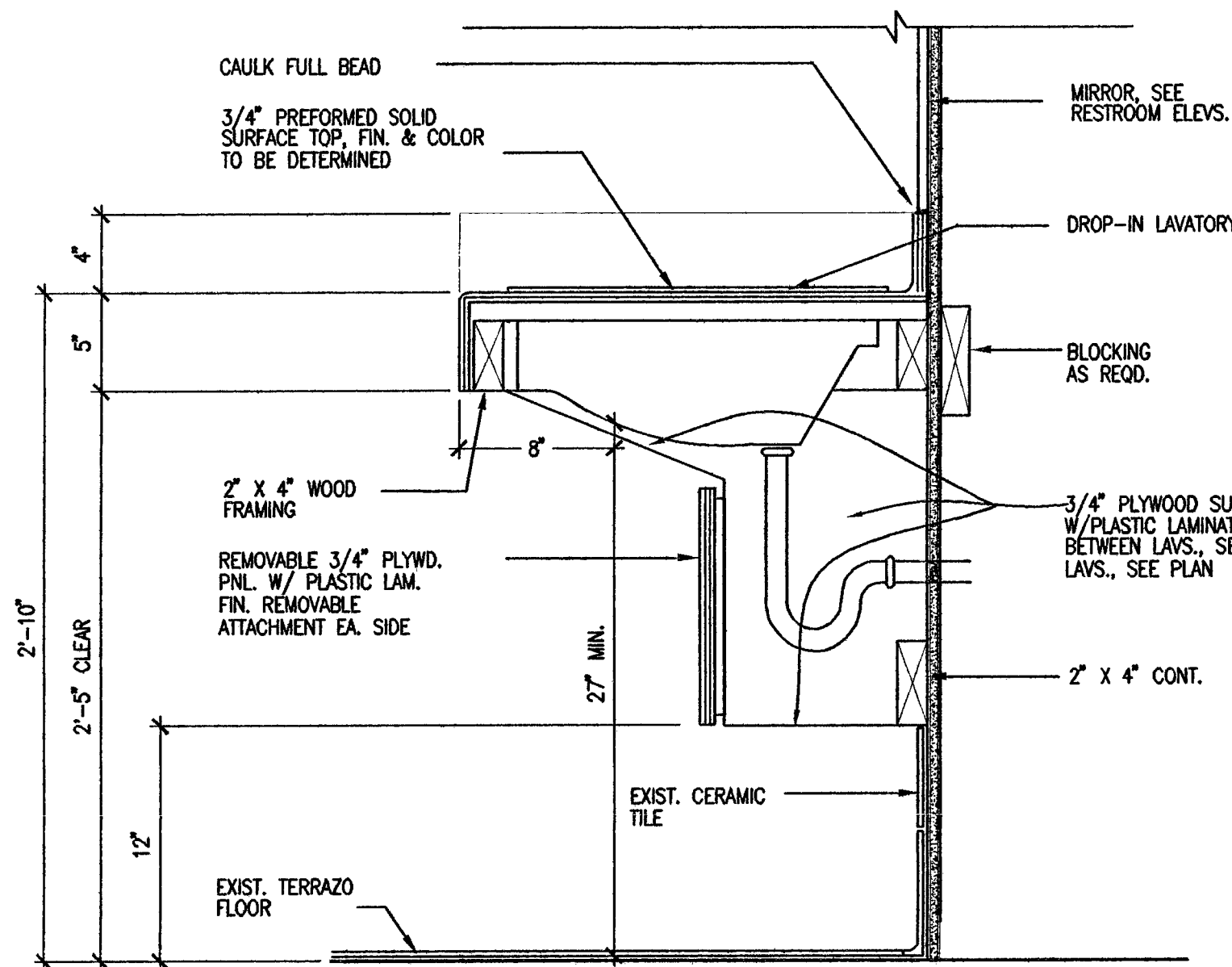


NOTE : H.C. LAVATORY SHALL COMPLY W/ F.B.C. SECTION 11-4.19.1 THRU .6

SECTION

SCALE : 1" = 1'-0"

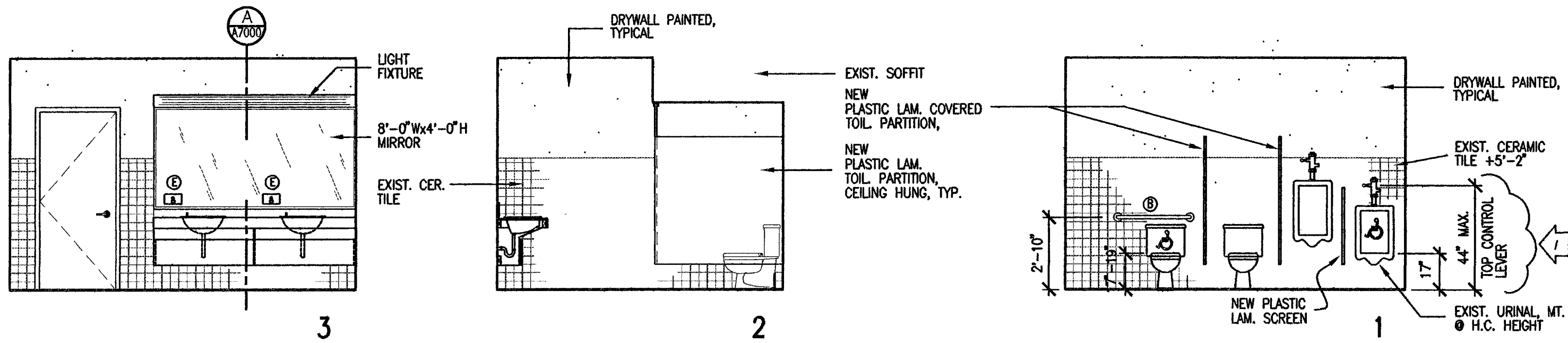
B
A7000



SECTION

SCALE : 1 1/2" = 1'-0"

A
A7000



WOMENS TOILET

MENS TOILET

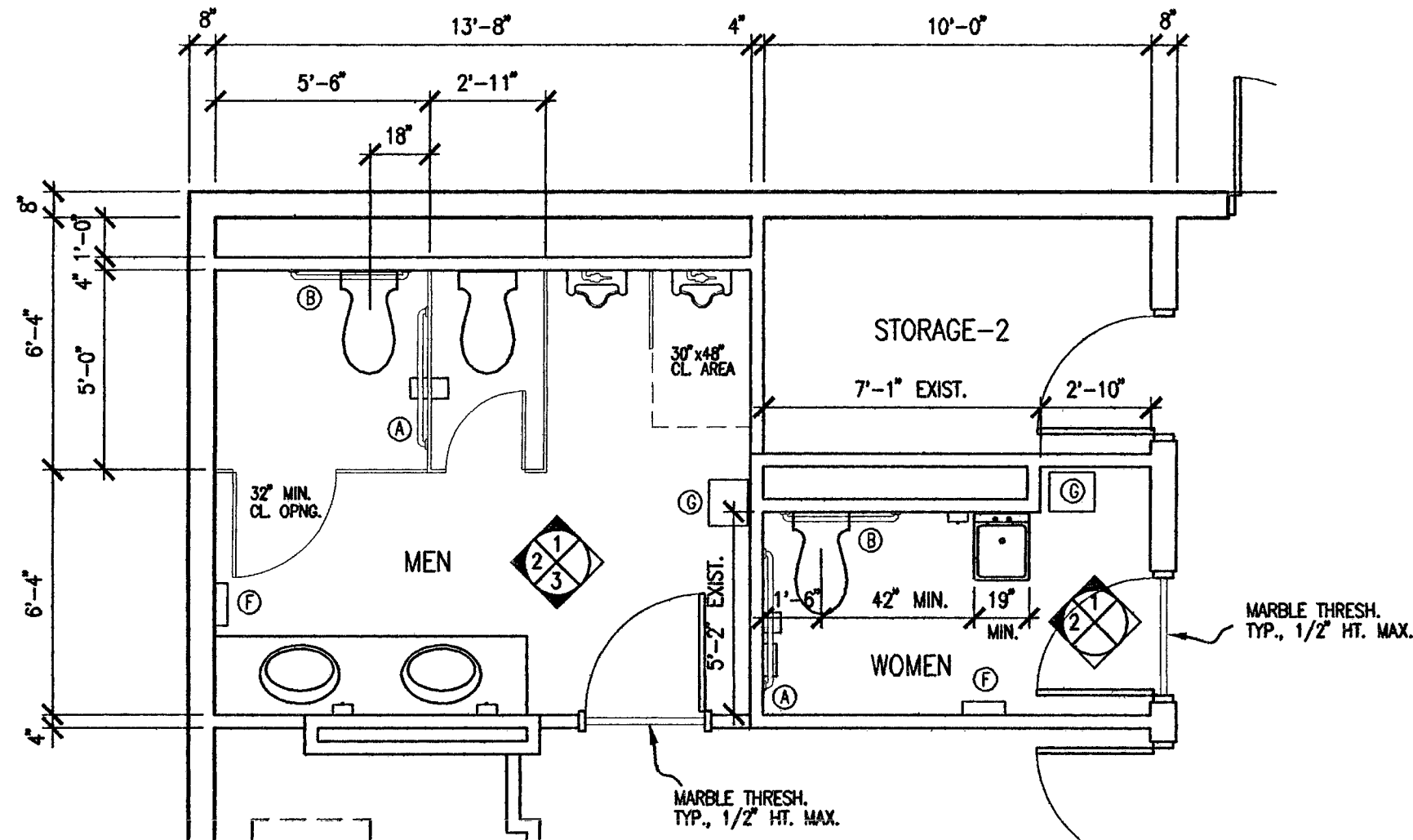
TOILET ELEVATIONS

SCALE : 1/4" = 1'-0"

NOTE : DIMENSIONS SHOWN ARE TYPICAL MOUNTING HEIGHTS FOR HANDICAPPED TOILET ROOMS. WATER CLOSETS SHALL COMPLY W/ F.B.C. SECTION 11-4.16.1 THRU .6

TOILET ROOM ACCESSORIES

- GRAB BAR: BOBRICK G.B. B-8208 x 42" w/ CONCEALED MOUNTING & SNAP FLANGE, REINF. & FASTENERS TO COMPLY W/ FBC CHAP 11.4.26
- GRAB BAR: BOBRICK G.B. B-8206 x 36" w/ CONCEALED MOUNTING & SNAP FLANGE, REINF. & FASTENERS TO COMPLY W/ FBC CHAP 11.4.26
- BOBRICK HANDICAP MIRROR B-293, 18" x 30"
- TOILET PAPER DISPENSER BY OTHERS, INSTALLED BY CONTRACTOR
- SOAP DISPENSER BY OTHERS, INSTALLED BY CONTRACTOR
- PAPER TOWEL DISPENSER BY OTHERS, INSTALLED BY CONTRACTOR
- TRASH RECEPTACLE BY OTHERS, INSTALLED BY CONTRACTOR

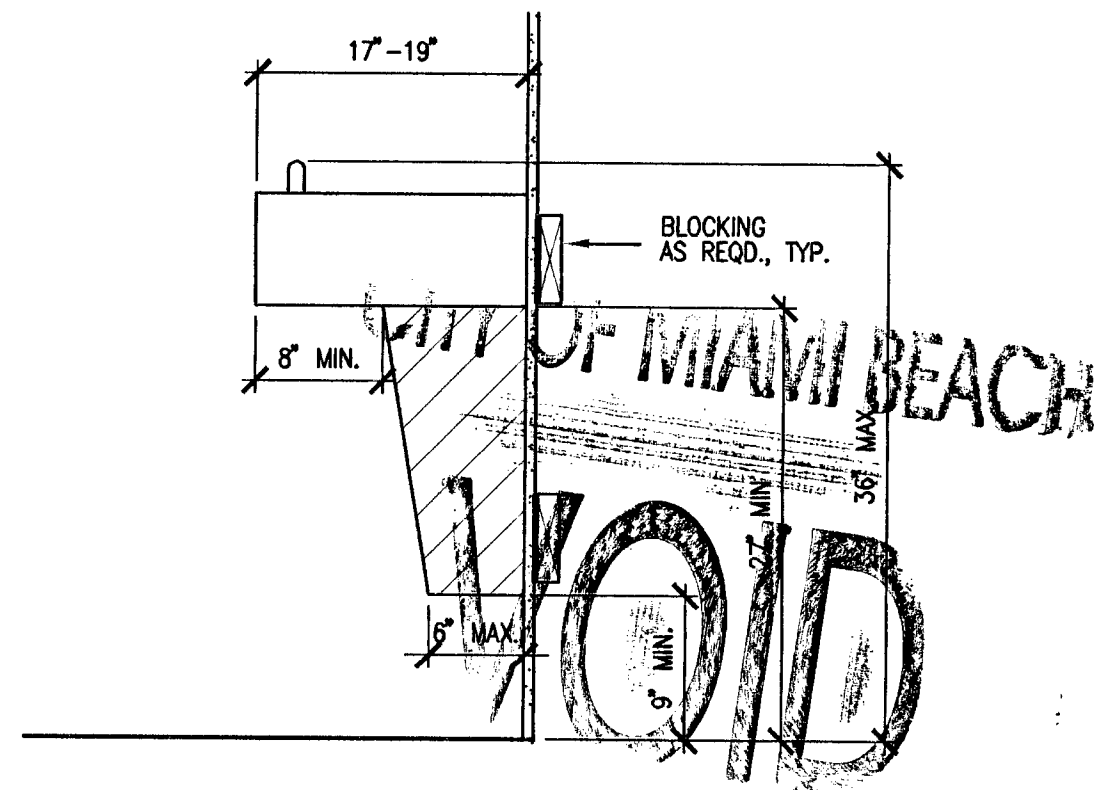


TOILET PLAN

SCALE : 1/4" = 1'-0"

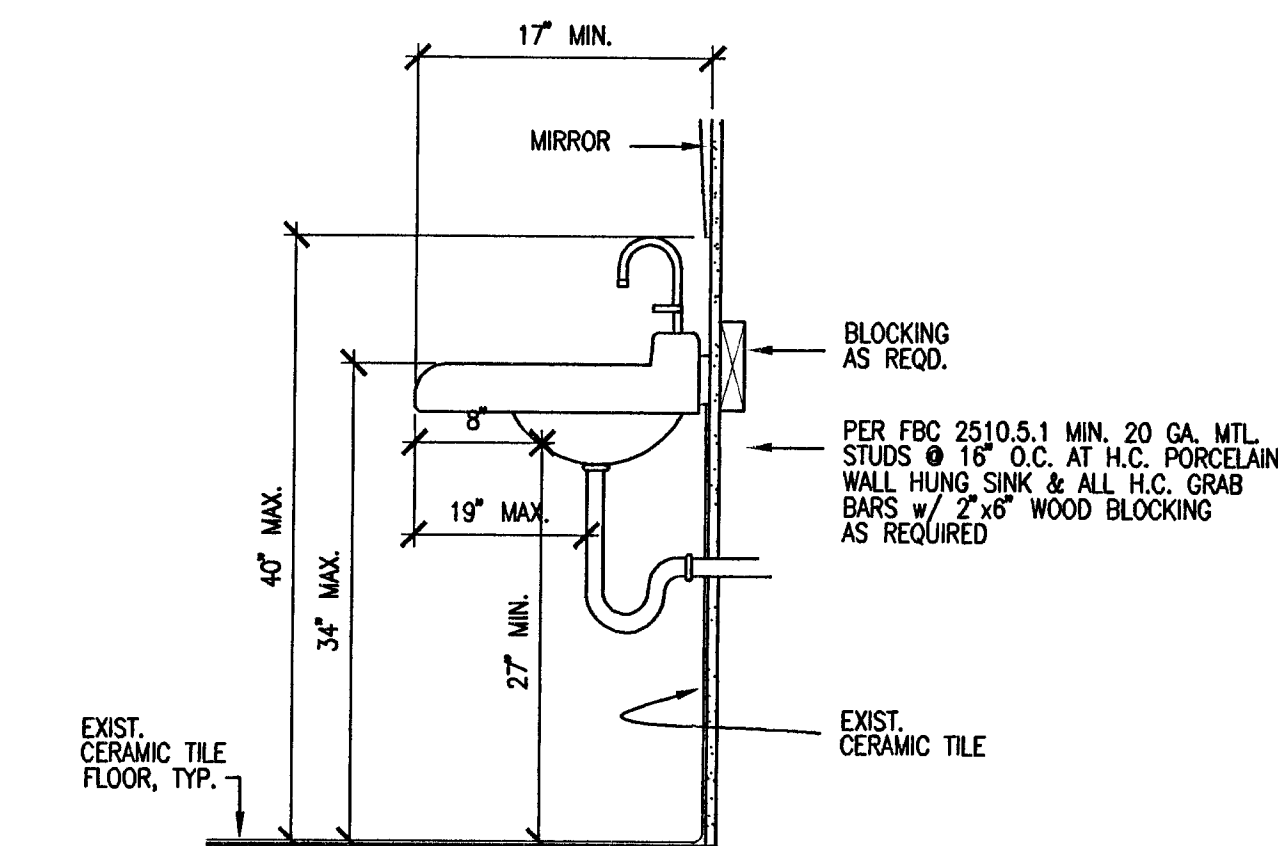


slp/s



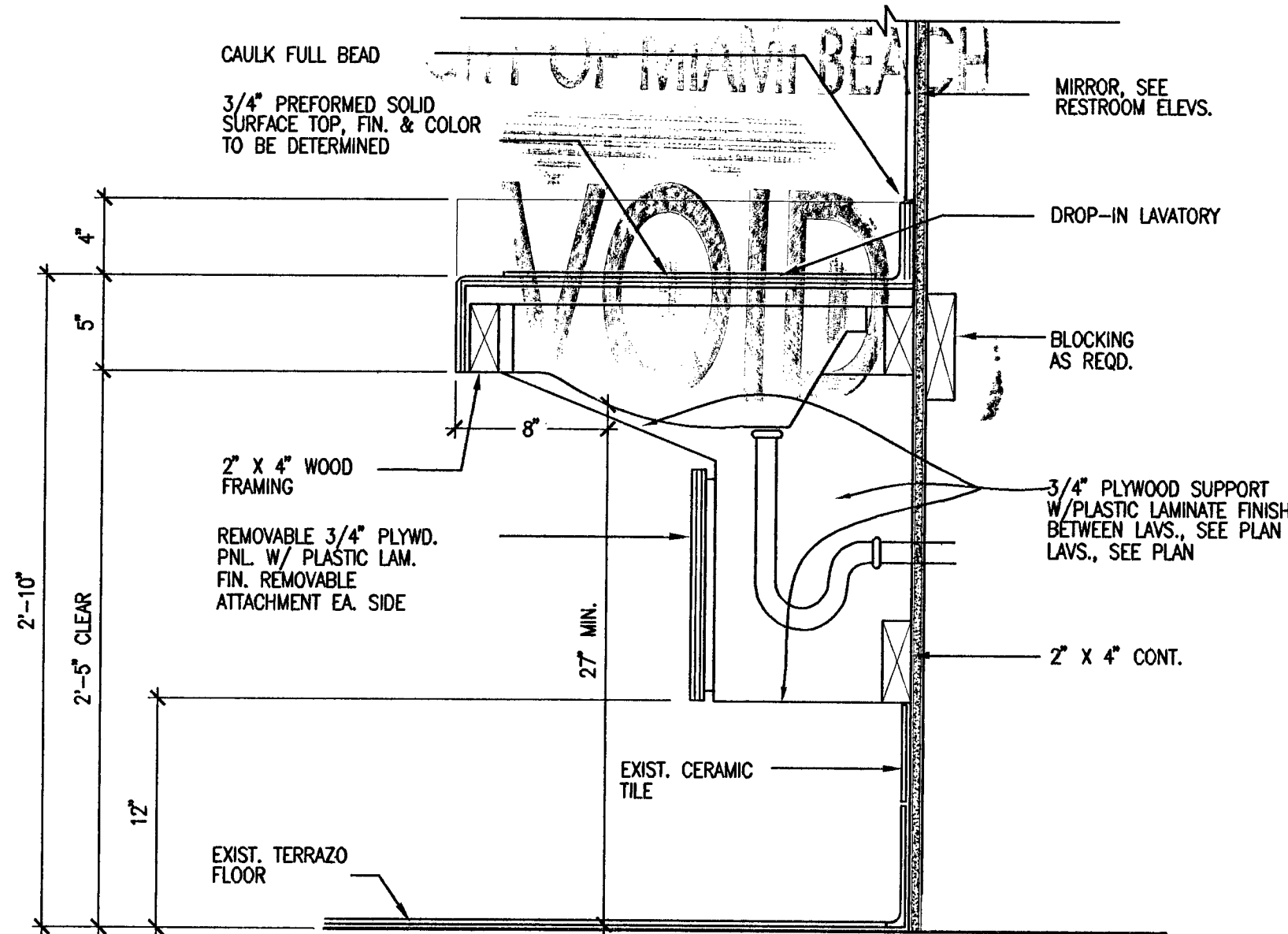
- NOTES :
1. EQUIP. PERMITTED IN SHADED AREA
 2. DRINKING FOUNTAIN TO COMPLY w/ F.B.C. SECTION 11-4.15.1 THRU 5

SECTION C
SCALE : 1" = 1'-0"

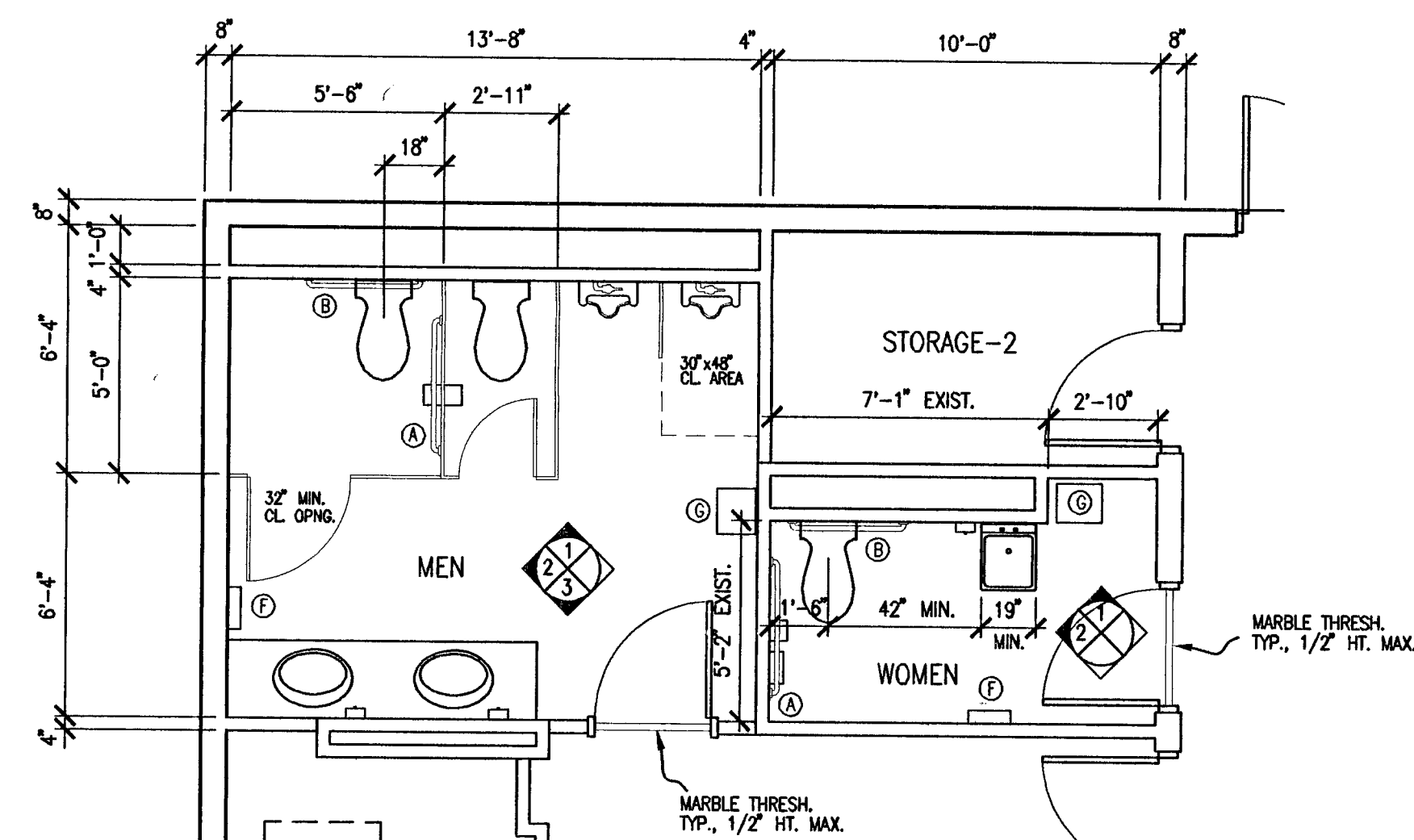
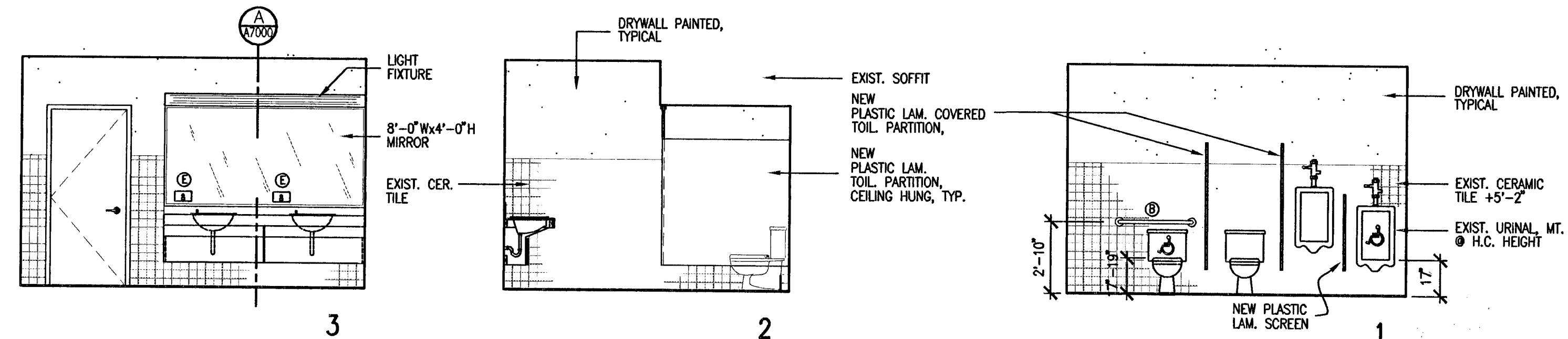


NOTE : H.C. LAVATORY SHALL COMPLY w/ F.B.C. SECTION 11-4.19.1 THRU .6

SECTION B
SCALE : 1" = 1'-0"



SECTION A
SCALE : 1 1/2" = 1'-0"



TOILET PLAN
SCALE : 1/4" = 1'-0"



CONSULT PRL. NO.	SEA
SUB-CONSULT PRL. NO.	THEODORE ROUX ARCHITECT AR 4169
BST PRL. NO.	MAY 13 2008
CONSULTANT	THEODORE ROUX ARCHITECT AR 4169

SUB-CONSULTANT
ROUX ARCHITECT
116 GIRALDA AVENUE
CORAL GABLES, FL.
305-443-8116

NO.	DATE	DESCRIPTION	CHKD/APPD
A	04-07-08	ISSUED FOR REVIEW	
O	05-13-08	ISSUED FOR PERMIT/CONSTRUCTION	

PROJECT TITLE
SURFSIDE SOC
6940 ABBOTT AVENUE
MIAMI BEACH, FLORIDA 33141

KEY PLAN

DATE	04-07-08
DRAWN BY	GWG/MYR
CHECKED BY	TLR
APPROVED BY	TLR
NOT FOR CONSTRUCTION	<input type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input checked="" type="checkbox"/>
AS-BUILT DRAWING	<input type="checkbox"/>

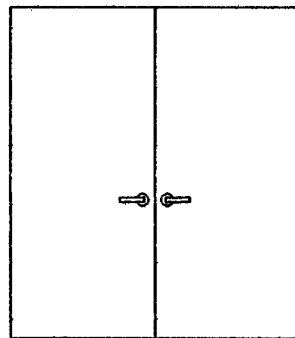
DATABASE
M6213A7000

DRAWING TITLE
**TOILET PLANS
ELEVATIONS & DETAILS**

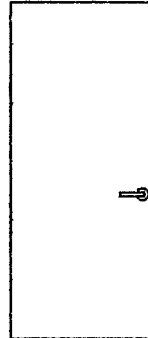
GLC NO.	DRAWING NO.
M6213	A7000

DOOR TYPES

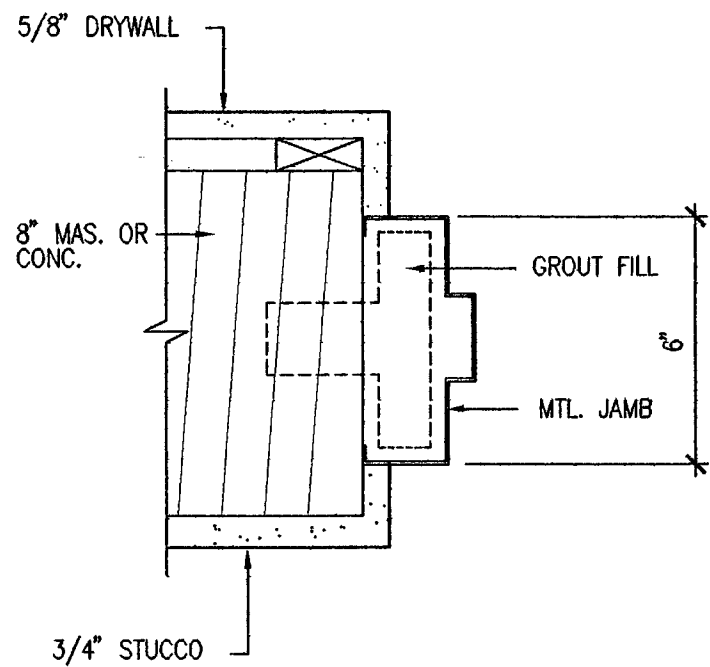
SCALE : 1/4"=1'-0"



A



B



1

JAMB TYPES

SCALE : 3/8"=1'-0"

DOOR SCHEDULE											
DOOR NO.	SIZE			MATERIAL	TYPE	LABEL	HWR GROUP	JAMB	THRES.	LOUVERED	REMARKS
	WIDTH	HEIGHT	THICK								
FIRST FLOOR											
101	1'-2'-0" 1'-4'-0"	7'-0"	1 3/4"	H.C. MTL	A	-	1	1	ALUM.	-	GALV. DOOR & JAMB
102	3'-0"	7'-0"									EXISTING
103	3'-0"	7'-0"									EXISTING
104	3'-0"	7'-0"									EXISTING
105	3'-0"	7'-0"									EXISTING
106	3'-0"	7'-0"	1 3/4"	H.C. MTL	B	-	2	1	ALUM.	-	GALV. DOOR & JAMB
107	3'-0"	7'-0"									EXISTING
108	3'-0"	7'-0"									EXISTING
109	3'-0"	7'-0"									EXISTING

HARDWARE

GROUP 1

3 PAIR HINGES FBB179 4 1/2 x 4 1/2 LA STANLEY
2 FLUSH BOLTS 555 x 12" US 26D ROCKWOOD
(MOUNT ON INACTIVE LEAF)
1 LOCKSET 93K7AB 15D S3 626 BEST
(MOUNT ON ACTIVE LEAF)
1 CLOSER (ACTIVE LEAF) 4011 LCN
1 ASTRALGAL 293 CV AL PEMCO
1 THRESHOLD 2005 AV AL PEMCO
2 DOOR SILENCERS

GROUP 2

1 1/2 PAIR HINGES FBB179 4 1/2 x 4 1/2 LA STANLEY
1 LOCKSET 93K7AB 15D S3 626 BEST
1 CLOSER 4011 LCN
1 DOOR SILENCER 2005 AV AL PEMCO
1 THRESHOLD

FINISH SCHEDULE						
NO.	AREA	FLOOR	BASE	WALLS	CEILING	HT.
FIRST FLOOR						
110	STORAGE-1	EXIST. CERAMIC TILE	EXIST. TILE	DRYWALL PAINTED	EXIST. 12"x12" ACOUST. TILE PAINTED	EXIST. +9'-0"
102	BREEZE WAY	EXIST. CONC.	EXIST. STUCCO	EXIST. STUCCO PAINTED	STUCCO PAINTED	EXIST. +9'-8"
103	CORRIDOR	NEW VINYL TILE ⑤	NEW VINYL	EXIST. PAINTED	EXIST. PAINTED	EXIST. +9'-1"
104	ELECTRIC/TELEPHONE	EXIST. CONC.	EXIST.	EXIST.	REPAIR EXIST.	EXIST. +9'-1"
105	MEN'S TOILET	① EXIST. TERRAZO	EXIST. CER. TILE	EXIST. CER. TILE +5'-2" EXIST. DRYWALL PAINTED ②	DRYWALL PAINTED	EXIST. +9'-2"
106	STORAGE-2	NEW VINYL TILE	NEW VINYL	EXIST. PAINTED ③	EXIST. PAINTED	EXIST. +9'-1"
107	WOMEN'S TOILET	② EXIST. CERAMIC TILE	EXIST. CERAMIC TILE	EXIST. CER. TILE +7'-4" EXIST. DRYWALL PAINTED ②	EXIST. PAINTED	EXIST. +9'-1"
108	CREWS/SUPERVISOR	NEW CARPET ④	NEW VINYL	EXIST. PAINTED	EXIST. ACOUST. CEIL.	EXIST. +8'-8"
110	ICE MACHINE	CONCRETE	-	STUCCO PAINTED	STUCCO PAINTED	EXIST. +9'-8"

- ① EXIST. TERRAZO REPOLISH & SEAL.
② CLEAN EXIST. CERAMIC TILE & GROUT.
③ PATCH EXIST. WALL AS REQUIRED.
④ NEW CARPET, SHAW CARPET TILES, 24"x24" STYLE # 59358; COLOR : BLACK TO BUSINESS # 58505 CONTACT BRIAN DILLON 904-537-9822
⑤ VINYL COMPOSITION 12"x12"x1/8" ARMSTRONG STANDARD EXCELON IMPERIAL TEXTURE.



CONSULT PROJ. NO.	SEAL
SUB-CONSULT PROJ. NO.	
0834	
BST PROJ. NO.	
	JUN 30 2008 THEODORE ROUX ARCHITECT AR 4169

CONSULTANT

SUB-CONSULTANT
ROUX ARCHITECT
116 GIRALDA AVENUE CORAL GABLES, FL. 305-443-8116

NO.	DATE	DESCRIPTION	CHKD/APPD
A	04-07-08	ISSUED FOR REVIEW	
0	05-13-08	ISSUED FOR PERMIT/CONSTRUCTION	
2	06-25-08	PERMIT COMMENTS-DOOR 101 REVISED	

PROJECT TITLE
SURFSIDE SOC
6940 ABBOTT AVENUE MIAMI BEACH, FLORIDA 33141

KEY PLAN

DATE	04-07-08
DRAWN BY	GWC/NYR
CHECKED BY	TLR
APPROVED BY	TLR

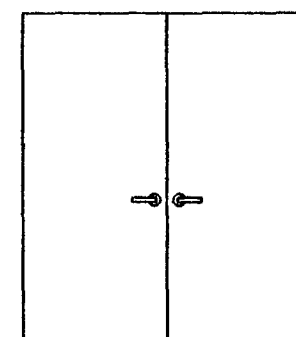
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RELEASED FOR CONSTRUCTION	<input checked="" type="checkbox"/>
AS-BUILT DRAWING	<input type="checkbox"/>

DATABASE
M6213A9000

DRAWING TITLE
DOOR & FINISH SCHEDULES

GLC NO.	DRAWING NO.
M6213	A9000

SCALE : $1/4'' = 1' - 0''$



A



B

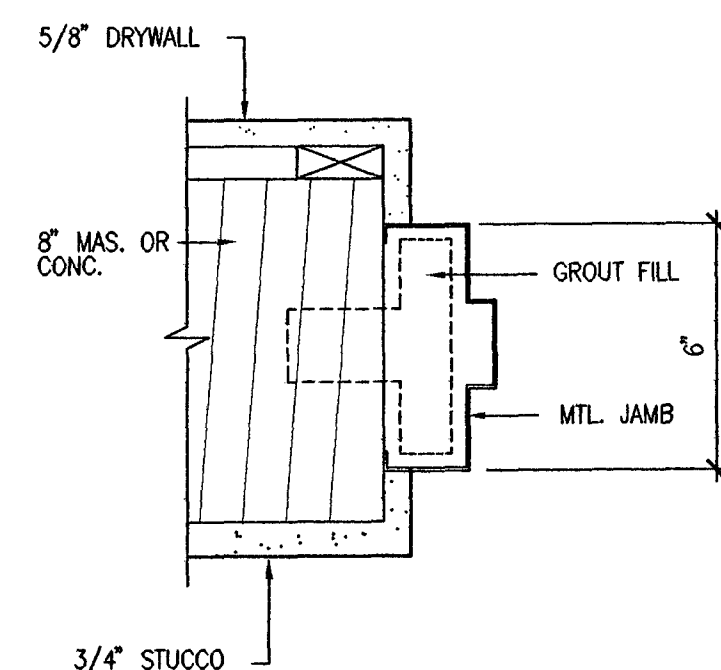
FIRST FLOOR

[illegible]

GROUP 1

- | GROUP 1 | | | |
|--------------------------|----------------------|--------|----------|
| 3 PAIR HINGES | F8B179 4 1/2 x 4 1/2 | LA | STANLEY |
| 2 FLUSH BOLTS | 555 x 12" | US 26D | ROCKWOOD |
| (MOUNT ON INACTIVE LEAF) | | | |
| 1 LOCKSET | 93K7AB 15D S3 | 626 | BEST |
| (MOUNT ON ACTIVE LEAF) | | | |
| 1 CLOSER (ACTIVE LEAF) | 4011 | AL | LCN |
| 1 ASTRAGAL | 293 CV | AL | PEMCO |
| 1 THRESHOLD | 2005 AV | AL | PEMCO |
| 2 DOOR SILENCERS | | | |

- | | | | |
|-------------------|----------------------|-----|---------|
| GROUP 2 | | | |
| 1 1/2 PAIR HINGES | FBB179 4 1/2 x 4 1/2 | LA | STANLEY |
| 1 LOCKSET | 93K7AB 15D S3 | 626 | BEST |
| 1 CLOSER | 4011 | AL | LCN |
| 1 DOOR SILENCER | | | |
| 1 THRESHOLD | 2005 AV | AL | PEMCO |



1

SCALE : 3"=1'-0"

FIRST FLOOR

NO.	AREA	FLOOR	BASE	WALLS	CEILING	HT.	REMARKS
FIRST FLOOR							
110	STORAGE-1	EXIST. CERAMIC TILE	EXIST. TILE	DRYWALL PAINTED	EXIST. 12"x12" ACOUST. TILE PAINTED	EXIST. +9'-0"	
102	BREEZE WAY	EXIST. CONC.	EXIST. STUCCO	EXIST. STUCCO PAINTED	STUCCO PAINTED	EXIST. +9'-8"	
103	CORRIDOR	NEW VINYL TILE ⑤	NEW VINYL	EXIST. PAINTED	EXIST. PAINTED	EXIST. +9'-1"	
104	ELECTRIC/TELEPHONE	EXIST. CONC.	EXIST.	EXIST.	REPAIR EXIST.	EXIST. +9'-1"	
105	MEN'S TOILET	① EXIST. TERRAZO	EXIST. CER. TILE	EXIST. CER. TILE +5'-2" EXIST. DRYWALL PAINTED ②	DRYWALL PAINTED	EXIST. +9'-2"	
106	STORAGE-2	NEW VINYL TILE	NEW VINYL	EXIST. PAINTED ③	EXIST. PAINTED	EXIST. +9'-1"	
107	WOMEN'S TOILET	② EXIST. CERAMIC TILE	EXIST. CERAMIC TILE	EXIST. CER. TILE +7'-4" EXIST. DRYWALL PAINTED ②	EXIST. PAINTED	EXIST. +9'-1"	
108	CREWS/SUPERVISOR	NEW CARPET ④	NEW VINYL	EXIST. PAINTED	EXIST. ACOUST. CEIL.	EXIST. +8'-8"	
110	ICE MACHINE	CONCRETE	-	STUCCO PAINTED	STUCCO PAINTED	EXIST. +9'-8"	

- ① EXIST. TERRAZO REPOLISH & SEAL.
- ② CLEAN EXIST. CERAMIC TILE & GROUT.
- ③ PATCH EXIST. WALL AS REQUIRED.
- ④ NEW CARPET, SHAW CARPET TILES, 24"x24" STYLE # 59358; COLOR : BLACK TO BUSINESS # 58505
CONTACT BRIAN DILLON 904-537-9822
- ⑤ VINYL COMPOSITION 12"x12"x1/8" ARMSTRONG STANDARD EXCELOX IMPERIAL TEXTURE.



CONSULT PRJ. NO.

SUB-CONSULT PRJ. NO.

BST PROJ. NO.

CONSULTANT

SUB-CONSULTANT

116 GIRALDA AVENUE
CORAL GABLES, FL.
305-443-8116

NO.	DATE	DESCRIPTION	CIND/APPD
A O	04-07-08 05-13-08	ISSUED FOR REVIEW ISSUED FOR PERMIT/CONSTRUCTION	

PROJECT TITLE

SURFSIDE SOC

6940 ABBOTT AVENUE
MIAMI BEACH, FLORIDA 33141

KEY PLAN

DATE	04-07-08
DRAWN BY	GWC/NYR
CHECKED BY	TLR
APPROVED BY	TLR

NOT FOR CONSTRUCTION	<input type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input checked="" type="checkbox"/>
AS-BUILT DRAWING	<input type="checkbox"/>

DATABASE M6213A9000

DRAWING TITLE

DOOR & FINISH SCHEDULES

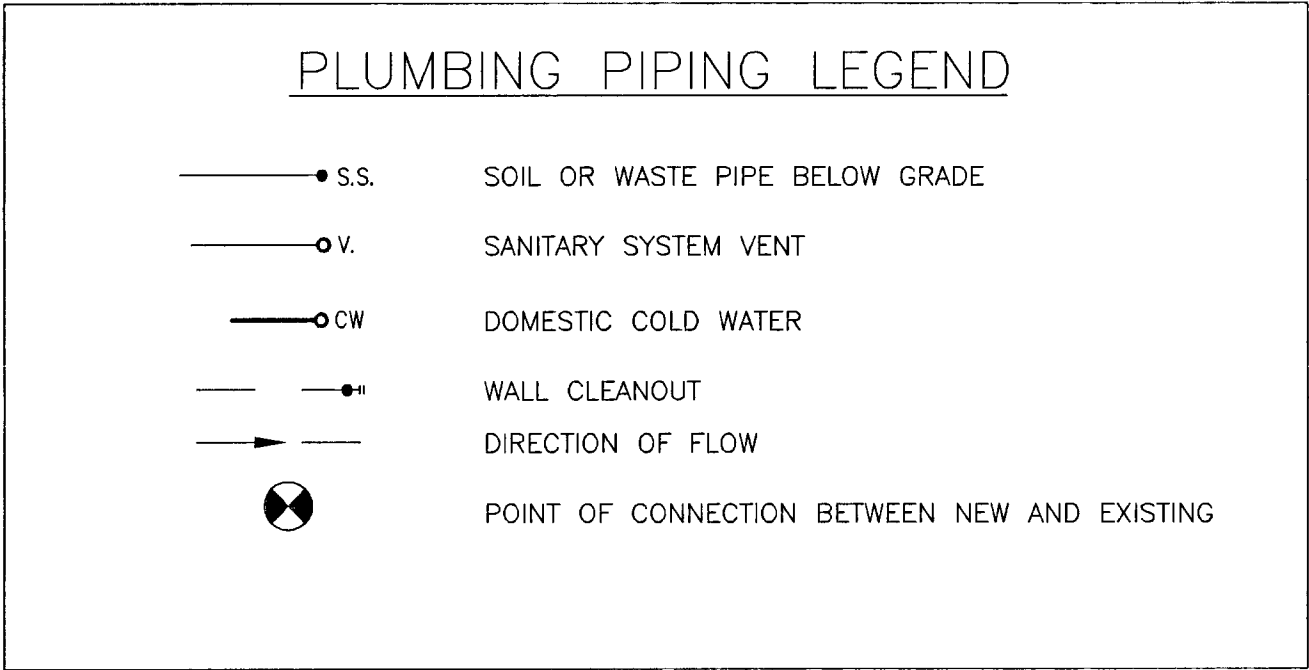
GLC NO.	
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M6213

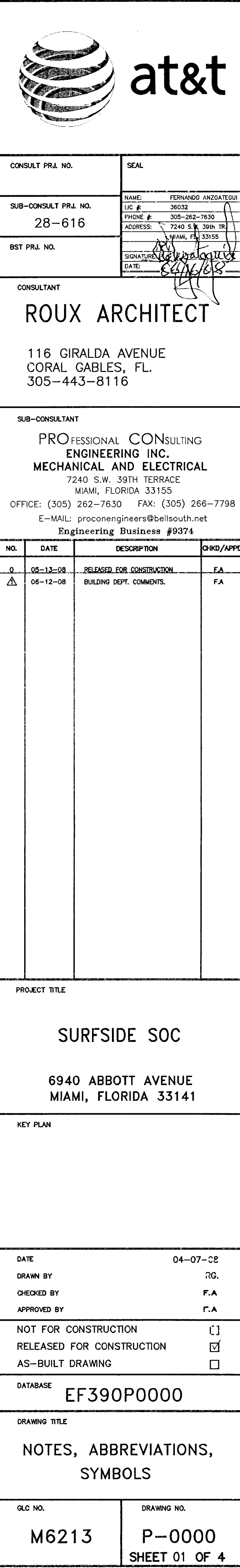
DRAFTING NO.

A9000

PLUMBING FIXTURE SCHEDULE						
FIXTURE	APPLICATION	DESCRIPTION	PIPE SIZE			REMARKS
			WASTE	CW	HW	
WATER CLOSET WC-1A	HANDICAPPED	FLUSH VALVE ASSEMBLY: 24" HIGH ABOVE RIM, EXPOSED DIAPHRAGM VALVE (1.6 GALLON FLUSH), CHROME FINISH, ADA COMPLIANT NON-HOLD-OPEN HANDLE, 1 INCH INLET, 1 1/2 INCH OUTLET, INTEGRAL SCREWDRIVER ADJUSTABLE ANGLE STOP AND CHECK VALVE WITH COVER, VACUUM BREAKER, WALL AND SPUD FLANGES, SWEAT SOLDER ADAPTER KIT, SOLID RING PIPE SUPPORT. ROUGH-IN DIMENSION MUST ALLOW FOR FLUSH VALVE CLEARANCE OF HANDICAPPED GRAB BAR WHERE APPLICABLE, OR OFFSET FITTING MAY BE REQUIRED. SLOAN ROYAL 111 ZURN AQUAVANTAGE	4"	1 1/2"	-	
URINAL (P-1A)	HANDICAPPED	FLUSH VALVE ASSEMBLY: 11-1/2 INCH HIGH EXPOSED CHROME PLATED, CHEMICAL AND CLOG RESISTANT DIAPHRAGM WITH ADA METAL OSCILLATING HANDLE, CAST ESCUTCHEON WITH SET SCREW, SEAT BUMPER, INTEGRAL SCREWDRIVER STOP, VANDAL RESISTANT CAP, VACUUM BREAKER, 1.6 GALLON PER FLUSH. 1. SLOAN #111-1.6 2. ZURN AQUAVANTAGE #Z-6000AV-WS1-YO NOTE: STANDAR URINAL FIXTURE (P-1) INSTALLED AT ADA HEIGHT.		1-1/2"		
EW (P-25) ELKAY VRCITL BI-LEVEL WATER COOLER	ADA-COMPLIANT	SELF CONTAINED, DOUBLE WAL HUNG ELECTRIC WATER COOLER, VANDAL RESISTANT (PROVIDED WITH CARTRIDGE CARBON FILTER EVERPURE "MC" SUBMIGRON FILTRATION). ADA COMPLIANT. MANUFACTURER ELKAY	2"	1/2"	-	
TRAP PRIMER TAILPIECE		TRAP PRIMER TAILPIECE GRAVITY FEED, NO MECHANICAL PARTS REPLENISHES WATER IN FLOOR DRAIN TRAPS TO PREVENT THE ESCAPE OF SEWER GASES 1/4" NOMINAL BRANCH CONNECTION	-	1/2"	-	
HOSE BIBB HB-1	EXTERIOR WALLS	HOSE BIBB: FLANGED 1/2" FEMALE INLET, 3/4" HOSE THREAD OUTLET LOOSE TEE KEY, ROUGH BRASS FINISH. ADD VACUUM BREAKER WOODFORD MANUFACTURING CO NO. 26P 1/2 CHICAGO FAUCET JONESPEC PLUMBING PRODUCTS JAY R. SMITH MANUFACTURING CO WATTS REGULATOR CO.	-	1/2"	-	SHALL BE INSTALLED AT A HEIGHT OF +24" AFF.
LAVATORY L-1	COUNTERTOP LAVATORY	<u>BASIN</u> 19 INCH X 16 INCH OVAL COUNTERTOP, SELF-RIMMING, ENAMEL CAST IRON LAVATORY WITH 4 INCH CENTERS. 1. KOHLER #K-2916 "FARMINGTON" 2. ZURN #Z-5810 3. CECO #596 <u>FAUCET</u> ADJUSTABLE, SLOW CLOSING PUSH BUTTON MIXING FAUCET FOR HW AND CW, 4 INCH CENTER, DECKPLATE, 0.5 GPM VANDAL RESISTANT FLOW CONTROL AND INTERNAL STREAM REGULATOR. 1. ZURN #Z86300-MYCS-2M 2. T&S #B-807 <u>SUPPLY RISER</u> 3/8 INCH CHROME PLATED ANGLE SUPPLY WITH LOOSE KEY STOP, RIGID RISER, ESCUTCHEON PLATE AND BRASS CHROME PLATED NIPPLES. 1. ZURN #Z-8810-LR-LK 2. MCGUIRE #158LK <u>GRID DRAIN</u> LAVATORY DRAIN ASSEMBLY WITH A 1-1/4 INCH TAILPIECE. 1. ZURN #Z-8743 2. MCGUIRE #155-I <u>P-TRAP:</u> 1-1/2 INCH X 1-1/2 INCH CHROME PLATED WITH SWWEL JOINT AND CLEANOUT. 1. ZURN #Z-8701-9 2. MCGUIRE #8912	1 1/4"	1/2"	-	
IWH	TANKLESS WATER HEATER	TITAN: MODEL N-10 3.2 KW 110 VOLT, 29 AMP @110V	-	3/4"	3/4"	



PLUMBING GENERAL NOTES	
1. SITE INVESTIGATION: EXAMINATION OF CONTRACT DOCUMENTS AND SITE OF WORK; THE BIDDER IS REQUIRED, BEFORE SUBMITTING HIS PROPOSAL, TO VISIT THE SITE OF THE PROPOSED WORK AND FAMILIARIZE HIMSELF/HERSELF WITH THE NATURE AND EXTENT OF THE WORK AND ANY LOCAL CONDITIONS THAT MAY IN ANY MANNER AFFECT THE WORK TO BE DONE AND EQUIPMENT, MATERIALS AND LABOR REQUIRED THEREFORE. SINCE THE WORK INVOLVES EXISTING BUILDINGS, SYSTEM AND FACILITIES, SPECIAL CONSIDERATION SHALL BE GIVEN TO EXAMINATION OF WORKING CONDITIONS, EXISTING FACILITIES AND ALL BUILDING STRUCTURES TO FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS. VARIATIONS IN ROUTING AND/OR CONSTRUCTION SHOULD BE ANTICIPATED BY THIS CONTRACTOR AND ARE TO BE EXPRESSLY INCLUDED AS PART OF THE WORK WHENEVER REQUIRED AT NO ADDITIONAL COST TO THE OWNER. IGNORANCE ON THE PART OF THE CONTRACTOR WILL IN NO WAY RELIEVE HIM OF THE OBLIGATION AND RESPONSIBILITIES ASSUMED UNDER THIS CONTRACT.	9. COORDINATE ALL WORK WITH OTHER TRADES.
2. THE NATURE OF THE REMODEL TYPE CONSTRUCTION POSES SPECIAL PROBLEMS FOR THE DESIGN ENGINEERS AS WELL AS THE PLUMBING CONTRACTOR. EVERY EFFORT HAS BEEN MADE BY THE ENGINEERS TO SHOW AND IDENTIFY THE LOCATIONS AND TYPES OF EXISTING PLUMBING SYSTEMS. THE MAJOR PORTION OF THE PLUMBING SYSTEMS ARE AS SHOWN ON THE DRAWINGS HOWEVER DEVIATIONS MAY BECOME EVIDENT AS THE JOB PROGRESSES. PLUMBING CONTRACTOR SHALL PERFORM A DETAILED FIELD VERIFICATION BEFORE BIDDING THIS PROJECT.	10. PLUMBING CONTRACTOR SHALL GUARANTEE ALL WORK FREE OF DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE.
3. CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING HIS DEMOLITION WORK WITH OTHER TRADES, AND TO PROTECT FROM DAMAGE EXISTING SYSTEMS TO REMAIN.	11. PROVIDE SHOCK ABSORBERS. SIZE, QUANTITY AND LOCATION AS PER P.D.I. STANDARDS.
4. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING PIPES BEFORE COMMENCING TO WORK AND MAKE MODIFICATIONS AS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.	12. PROVIDE SHUT-OFF VALVE FOR EACH GROUP OF FIXTURE AND EACH FIXTURE SUPPLY.
5. ALL PIPING SHALL BE INSTALLED RECESSED IN BLOCK WALLS, CHASES OR PARTITIONS. INSTALLATION OF PIPING IN THE CORE OF THE CMU IS PROHIBITED.	13. WHEREVER DISSIMILAR METALS ARE TO BE JOINED, A DIELECTRIC FITTING SHALL BE PROVIDED TO CONNECT BOTH TYPES OF PIPES.
6. EXISTING PIPES SERVING AREAS NOT COVERED BY THIS CONTRACT BUT IN SERVICE AT THIS TIME SHALL NOT BE INTERRUPTED EXCEPT AS A TEMPORARY INTERRUPTION COORDINATED WITH THE OWNER AND LANDLORD.	14. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL ROUGH-INS WITH THE MANUFACTURER BEFORE MAKING ANY INSTALLATION.
7. PLUMBING CONTRACTOR SHALL PAY ALL FEES, INSPECTION AND CONNECTION CHARGES REQUIRED.	15. POTABLE COLD WATER SYSTEMS SHALL BE "LEAD FREE" WITH LEAD CONTENT NOT EXCEEDING 0.2 PERCENT FOR SOLDER AND FLUXES AND 8 PERCENT FOR PIPE FITTINGS, FIXTURES AND TRIM. CONTRACTOR SHALL VERIFY MANUFACTURER'S COMPLIANCE.
8. PLUMBING CONTRACTOR SHALL VERIFY ALL SPACE CONDITIONS AND DIMENSIONS AT JOB SITE PRIOR TO FABRICATION AND INSTALLATION OF MATERIALS AND EQUIPMENT.	16. ALL POTABLE COLD WATER SYSTEMS SHALL BE FLUSHED CLEAR, STERILIZED WITH AN APPROVED SOLUTION AND THOROUGHLY FLUSHED OF ALL RESIDUAL SOLUTION AFTER FINAL PRESSURE TESTS AND WITH ALL TRIM AND CONNECTIONS INSTALLED.
	17. PROVIDE SHUT-OFF AND VACUUM BREAKER TO ALL HOSE BIBBS AND FAUCETS WITH HOSE-END CONNECTIONS.
	18. ALL FLOOR DRAINS SHALL HAVE TRAP PRIMERS TO PROTECT THE SEAL OF THE TRAP.
	19. PVC PIPING IS NOT ALLOWED IN RETURN AIR PLENUMS. IF RETURN AIR PLENUMS ARE USED, CONTRACTOR SHALL REPLACE ALL EXISTING PVC PIPING WITH CAST IRON OR COPPER PIPING. THE USE OF PVC PIPING IS PROHIBITED FOR ANY ABOVE FINISHED FLOOR INTERIOR BUILDING SPACE EXCEPT FOR WATERLESS URINAL THAT USES CPVC PIPING FOR WASTE ARM.
	20. DRAINAGE SYSTEM DESIGN IS BASED ON 1/8" PER FT. MINIMUM FALL, FOR LINES 3" OR LARGER AND 1/4" PER FT. MINIMUM FALL FOR LINES 2" OR SMALLER. DEVIATIONS SHALL BE APPROVED BY ARCHITECT/ENGINEER.
	21. ALL VENT THROUGH ROOF OPENINGS SHALL BE OFFSETTED TO A MINIMUM DISTANCE OF 3'-0" FROM PARAPET WALL OR ROOF EDGE. SEE ARCHITECTURAL DRAWINGS FOR ROOF FLASHING. LEAD FLASHING WILL NOT BE ACCEPTED.
	22. FOR OCCUPANCY LOAD REFER TO ARCHITECTURAL PLANS



CONSULT PRL NO.	SEAL
SUB-CONSULT PRL NO. 28-616	NAME: FERNANDO ANZOATEGUI LIC # 38632 PHONE # 305-262-7630 ADDRESS: 7240 S.W. 39th TR. MIAMI, FL 33155
BST PRL NO.	SIGNATURE: <i>[Signature]</i> DATE: 07/24/08

CONSULTANT

ROUX ARCHITECT

116 GIRALDA AVENUE
CORAL GABLES, FL.
305-443-8116

SUB-CONSULTANT

**PROFESSIONAL CONSULTING
ENGINEERING INC.
MECHANICAL AND ELECTRICAL**

7240 S.W. 39TH TERRACE
MIAMI, FLORIDA 33155
OFFICE: (305) 262-7630 FAX: (305) 266-7798
E-MAIL: proconengineers@bellsouth.net
Engineering Business #9374

NO.	DATE	DESCRIPTION	CHKD/APPD
0	06-12-08	RELEASED FOR CONSTRUCTION	FA
Δ	06-12-08	BUILDING DEPT. COMMENTS.	FA

PROJECT TITLE

SURFSIDE SOC

6940 ABBOTT AVENUE
MIAMI, FLORIDA 33141

KEY PLAN

DATE	04-07-08
DRAWN BY	RG.
CHECKED BY	F.A.
APPROVED BY	F.A.

NOT FOR CONSTRUCTION	<input type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input checked="" type="checkbox"/>
AS-BUILT DRAWING	<input type="checkbox"/>

DATABASE

EF390P0000

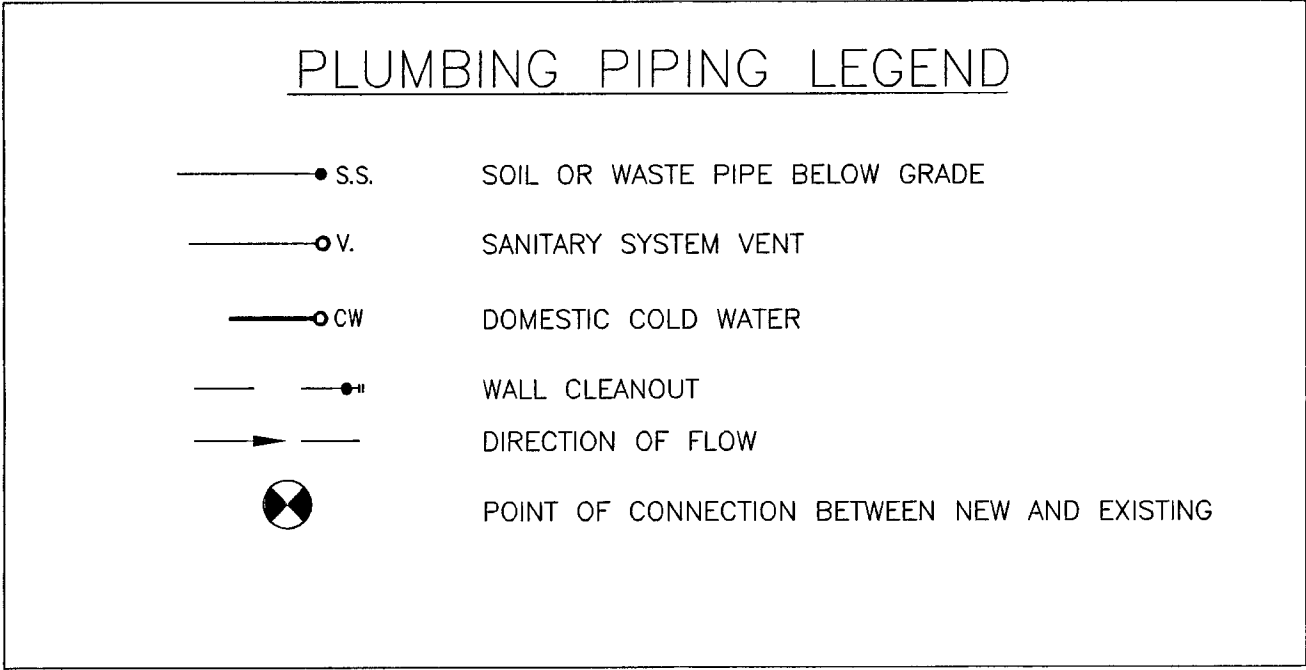
DRAWING TITLE

**NOTES, ABBREVIATIONS,
SYMBOLS**


GLC NO. M6213	DRAWING NO. P-0000 SHEET 01 OF 4
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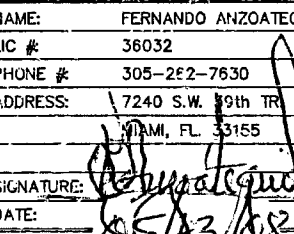
17 07/24/08

PLUMBING FIXTURE SCHEDULE						
FIXTURE	APPLICATION	DESCRIPTION	PIPE SIZE			REMARKS
			WASTE	CW	HW	
WATER CLOSET WC-1A	HANDICAPPED	<p><u>FLUSH VALVE ASSEMBLY:</u></p> <p>24" HIGH ABOVE RIM, EXPOSED DIAPHRAGM VALVE (1.6 GALLON FLUSH), CHROME FINISH, ADA COMPLIANT NON-HOLD-OPEN HANDLE, 1 INCH INLET, 1 1/2 INCH OUTLET, INTEGRAL SCREWDRIVER ADJUSTABLE ANGLE STOP AND CHECK VALVE WITH COVER, VACUUM BREAKER, WALL AND SPUD FLANGES, SWEAT SOLDER ADAPTER KIT, SOLID RING PIPE SUPPORT. ROUGH-IN DIMENSION MUST ALLOW FOR FLUSH VALVE CLEARANCE OF HANDICAPPED GRAB BAR WHERE APPLICABLE, OR OFFSET FITTING MAY BE REQUIRED.</p> <p>SLOAN ROYAL 111 ZURN AQUAVANTAGE</p>	4"	1 1/2"	-	
URINAL (P-1A)	HANDICAPPED	<p><u>FLUSH VALVE ASSEMBLY:</u></p> <p>11-1/2 INCH HIGH EXPOSED CHROME PLATED, CHEMICAL AND CLOG RESISTANT DIAPHRAGM WITH ADA METAL OSCILLATING HANDLE, CAST ESCUTCHEON WITH SET SCREW, SEAT BUMPER, INTEGRAL SCREWDRIVER STOP, VANDAL RESISTANT CAP, VACUUM BREAKER, 1.6 GALLON PER FLUSH.</p> <p>1. SLOAN #111-1.6 2. ZURN AQUAVANTAGE #Z-6000AV-WS1-YO</p> <p>NOTE: STANDARD URINAL FIXTURE (P-1) INSTALLED AT ADA HEIGHT</p>	-	1-1/2"	-	
EW (P-2) ELKAY EZS4 WATER COOLER	ADA-COMPLIANT	<p>SELF-CONTAINED, WALL HUNG ELECTRIC WATER COOLER, VANDAL RESISTANT (PROVIDED WITH CARTRIDGE CARBON FILTER EVERPURE PCT SUBMIGRON FILTRATION). ADA COMPLIANT.</p> <p>MANUFACTURER ELKAY</p>	2"	1/2"	-	
TRAP PRIMER TAILPIECE		<p>TRAP PRIMER TAILPIECE</p> <p>GRAVITY FEED, NO MECHANICAL PARTS</p> <p>REFRESHES WATER IN FLOOR DRAIN TRAPS TO PREVENT THE ESCAPE OF SEWER GASES</p> <p>3/4" NOMINAL BRANCH CONNECTION</p>	-	1/2"	-	
HOSE BIBB HB-1	EXTERIOR WALLS	<p><u>HOSE BIBB:</u></p> <p>FLANGED 1/2" FEMALE INLET, 3/4" HOSE THREAD OUTLET</p> <p>LOOSE TEE KEY, ROUGH BRASS FINISH.</p> <p>ADD VACUUM BREAKER</p> <p>WOODFORD MANUFACTURING CO NO. 28P 1/2 CHICAGO FAUCET JONESPEC PLUMBING PRODUCTS JAY R. SMITH MANUFACTURING CO WATTS REGULATOR CO.</p>	-	1/2"	-	SHALL BE INSTALLED AT A HEIGHT OF +24" AFF.
LAVATORY L-1	COUNTERTOP LAVATORY	<p><u>BASIN</u></p> <p>19 INCH X 16 INCH OVAL COUNTERTOP, SELF-RIMMING, ENAMEL CAST IRON LAVATORY WITH 4 INCH CENTERS.</p> <p>1. KOHLER #K-2916 "FARMINGTON" 2. ZURN #Z-5810 3. CECO #596</p> <p><u>FAUCET</u></p> <p>ADJUSTABLE, SLOW CLOSING PUSH BUTTON MIXING FAUCET FOR HW AND CW, 4 INCH CENTER, DECKPLATE, 0.5 GPM VANDAL RESISTANT FLOW CONTROL AND INTERNAL STREAM REGULATOR.</p> <p>1. ZURN #Z86300-MYCS-2M 2. T&S #B-807</p> <p><u>SUPPLY RISER</u></p> <p>3/8 INCH CHROME PLATED ANGLE SUPPLY WITH LOOSE KEY STOP, RIGID RISER, ESCUTCHEON PLATE AND BRASS CHROME PLATED NIPPLES.</p> <p>1. ZURN #Z-8810-LR-LK 2. MCGUIRE #158LK</p> <p><u>GRID DRAIN</u></p> <p>LAVATORY DRAIN ASSEMBLY WITH A 1-1/4 INCH TAILPIECE.</p> <p>1. ZURN #Z-8743 2. MCGUIRE #155-I</p> <p><u>P-TRAP:</u> 1-1/2 INCH X 1-1/2 INCH CHROME PLATED WITH SWIVEL JOINT AND CLEANOUT.</p> <p>1. ZURN #Z-8701-9 2. MCGUIRE #8912</p>	1 1/4"	1/2"	-	
IWH	TANKLESS WATER HEATER	<p>TITAN:</p> <p>MODEL N-10 3.2 KW 110 VOLT, 29 AMP @110V</p>	-	3/4"	3/4"	



PLUMBING GENERAL NOTES	
1. SITE INVESTIGATION: EXAMINATION OF CONTRACT DOCUMENTS AND SITE OF WORK; THE BIDDER IS REQUIRED, BEFORE SUBMITTING HIS PROPOSAL, TO VISIT THE SITE OF THE PROPOSED WORK AND FAMILIARIZE HIMSELF/HERSELF WITH THE NATURE AND EXTENT OF THE WORK AND ANY LOCAL CONDITIONS THAT MAY IN ANY MANNER AFFECT THE WORK TO BE DONE AND EQUIPMENT, MATERIALS AND LABOR REQUIRED THEREFORE. SINCE THE WORK INVOLVES EXISTING BUILDINGS, SYSTEMS AND FACILITIES, SPECIAL CONSIDERATION SHALL BE GIVEN TO EXAMINATION OF WORKING CONDITIONS, EXISTING FACILITIES AND ALL BUILDING STRUCTURES TO FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS, VARIATIONS IN ROUTING AND/OR CONSTRUCTION SHOULD BE ANTICIPATED BY THIS CONTRACTOR AND ARE TO BE EXPRESSLY INCLUDED AS PART OF THE WORK WHENEVER REQUIRED AT NO ADDITIONAL COST TO THE OWNER. IGNORANCE ON THE PART OF THE CONTRACTOR WILL IN NO WAY RELIEVE HIM OF THE OBLIGATION AND RESPONSIBILITIES ASSUMED UNDER THIS CONTRACT.	9. COORDINATE ALL WORK WITH OTHER TRADES.
2. THE NATURE OF THE REMODEL TYPE CONSTRUCTION POSES SPECIAL PROBLEMS FOR THE DESIGN ENGINEERS AS WELL AS THE PLUMBING CONTRACTOR. EVERY EFFORT HAS BEEN MADE BY THE ENGINEERS TO SHOW AND IDENTIFY THE LOCATIONS AND TYPES OF EXISTING PLUMBING SYSTEMS. THE MAJOR PORTION OF THE PLUMBING SYSTEMS ARE AS SHOWN ON THE DRAWINGS. HOWEVER DEVIATIONS MAY BECOME EVIDENT AS THE JOB PROGRESSES. PLUMBING CONTRACTOR SHALL PERFORM A DETAILED FIELD VERIFICATION BEFORE BIDDING THIS PROJECT.	10. PLUMBING CONTRACTOR SHALL GUARANTEE ALL WORK FREE OF DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE.
3. CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING HIS DEMOLITION WORK WITH OTHER TRADES, AND TO PROTECT FROM DAMAGE EXISTING SYSTEMS TO REMAIN.	11. PROVIDE SHOCK ABSORBERS, SIZE, QUANTITY AND LOCATION AS PER P.D.I. STANDARDS.
4. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING PIPES BEFORE COMMENCING TO WORK AND MAKE MODIFICATIONS AS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.	12. PROVIDE SHUT-OFF VALVE FOR EACH GROUP OF FIXTURE AND EACH FIXTURE SUPPLY.
5. ALL PIPING SHALL BE INSTALLED RECESSED IN BLOCK WALLS, CHASES OR PARTITIONS. INSTALLATION OF PIPING IN THE CORE OF THE CMU IS PROHIBITED.	13. WHEREVER DISSIMILAR METALS ARE TO BE JOINED, A DIELECTRIC FITTING SHALL BE PROVIDED TO CONNECT BOTH TYPES OF PIPES.
6. EXISTING PIPES SERVING AREAS NOT COVERED BY THIS CONTRACT BUT IN SERVICE AT THIS TIME SHALL NOT BE INTERRUPTED EXCEPT AS A TEMPORARY INTERRUPTION COORDINATED WITH THE OWNER AND LANDLORD.	14. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL ROUGH-INS WITH THE MANUFACTURER BEFORE MAKING ANY INSTALLATION.
7. PLUMBING CONTRACTOR SHALL PAY ALL FEES, INSPECTION AND CONNECTION CHARGES REQUIRED.	15. POTABLE COLD WATER SYSTEMS SHALL BE "LEAD FREE" WITH LEAD CONTENT NOT EXCEEDING 0.2 PERCENT FOR SOLDER AND FLUXES AND 8 PERCENT FOR PIPE FITTINGS, FIXTURES AND TRIM. CONTRACTOR SHALL VERIFY MANUFACTURER'S COMPLIANCE.
8. PLUMBING CONTRACTOR SHALL VERIFY ALL SPACE CONDITIONS AND DIMENSIONS AT JOB SITE PRIOR TO FABRICATION AND INSTALLATION OF MATERIALS AND EQUIPMENT.	16. ALL POTABLE COLD WATER SYSTEMS SHALL BE FLUSHED CLEAR, STERILIZED WITH AN APPROVED SOLUTION AND THOROUGHLY FLUSHED OF ALL RESIDUAL SOLUTION AFTER FINAL PRESSURE TESTS AND WITH ALL TRIM AND CONNECTIONS INSTALLED.
	17. PROVIDE SHUT-OFF AND VACUUM BREAKER TO ALL HOSE BIBBS AND FAUCETS WITH HOSE-END CONNECTIONS.
	18. ALL FLOOR DRAINS SHALL HAVE TRAP PRIMERS TO PROTECT THE SEAL OF THE TRAP.
	19. PVC PIPING IS NOT ALLOWED IN RETURN AIR PLENUMS. IF RETURN AIR PLENUMS ARE USED, CONTRACTOR SHALL REPLACE ALL EXISTING PVC PIPING WITH CAST IRON OR COPPER PIPING. THE USE OF PVC PIPING IS PROHIBITED FOR ANY ABOVE FINISHED FLOOR INTERIOR BUILDING SPACE EXCEPT FOR WATERLESS URINAL THAT USES GPVC PIPING FOR WASTE ARM.
	20. DRAINAGE SYSTEM DESIGN IS BASED ON 1/8" PER FT. MINIMUM FALL, FOR LINES 3" OR LARGER AND 1/4" PER FT. MINIMUM FALL FOR LINES 2" OR SMALLER. DEVIATIONS SHALL BE APPROVED BY ARCHITECT/ENGINEER.
	21. ALL VENT THROUGH ROOF OPENINGS SHALL BE OFFSETTED TO A MINIMUM DISTANCE OF 3'-0" FROM PARAPET WALL OR ROOF EDGE. SEE ARCHITECTURAL DRAWINGS FOR ROOF FLASHING. LEAD FLASHING WILL NOT BE ACCEPTED.
	22. FOR OCCUPANCY LOAD REFER TO ARCHITECTURAL PLANS



CONSULT PRJ. NO.	SEAL
SUB-CONSULT PRJ. NO. 28-613	NAME: FERNANDO ANDOATEGUI LIC. #: 36032 PHONE #: 305-242-7630 ADDRESS: 17240 S.W. 8TH TR. MIAMI, FL 33155 SIGNATURE:  DATE: 6/23/18
BST PRJ. NO.	

CONSULTANT

ROUX ARCHITECT

116 GIRALDA AVENUE
CORAL GABLES, FL.
305-443-8116

SUB-CONSULTANT

**PROFESSIONAL CONSULTING
ENGINEERING INC.
MECHANICAL AND ELECTRICAL**

7240 S.W. 39TH TERRACE
MIAMI, FLORIDA 33155
OFFICE: (305) 262-7630 FAX: (305) 266-7798
E-MAIL: proconengineers@bellsouth.net
Engineering Business #9374

NO.	DATE	DESCRIPTION	CHKD/APPD
0	05-13-08	RELEASED FOR CONSTRUCTION	FA

PROJECT TITLE

SURFSIDE SOC

6940 ABBOTT AVENUE
MIAMI, FLORIDA 33141

KEY PLAN

DATE: 04-07-08
DRAWN BY: RG.
CHECKED BY: F.A.
APPROVED BY: F.A.

NOT FOR CONSTRUCTION ☐
RELEASED FOR CONSTRUCTION ☒
AS-BUILT DRAWING ☐

DATABASE: EF390P0000

DRAWING TITLE

**NOTES, ABBREVIATIONS,
SYMBOLS**

QLC NO. M6213	DRAWING NO. P-0000 SHEET 01 OF 4
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CONSULT PROJ. NO.	SEAL
SUB-CONSULT PROJ. NO.	NAME: FERNANDO AZOATEGUI
28-613	LIC # 36032
	PHONE # 305-262-7630
	ADDRESS 7240 S.W. 39TH TER.
	MIAMI, FL 33155
EST PROJ. NO.	SIGNATURE: [Signature]
	DATE: 05/13/08

CONSULTANT
ROUX ARCHITECT

116 GIRALDA AVENUE
CORAL GABLES, FL.
305-443-8116

SUB-CONSULTANT
**PROFESSIONAL CONSULTING
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Engineering Business #9374

NO.	DATE	DESCRIPTION	CHKD/APPD
0	05-13-08	RELEASED FOR CONSTRUCTION	F.A

PROJECT TITLE
SURFSIDE SOC

6940 ABBOTT AVENUE
MIAMI, FLORIDA 33141

KEY PLAN

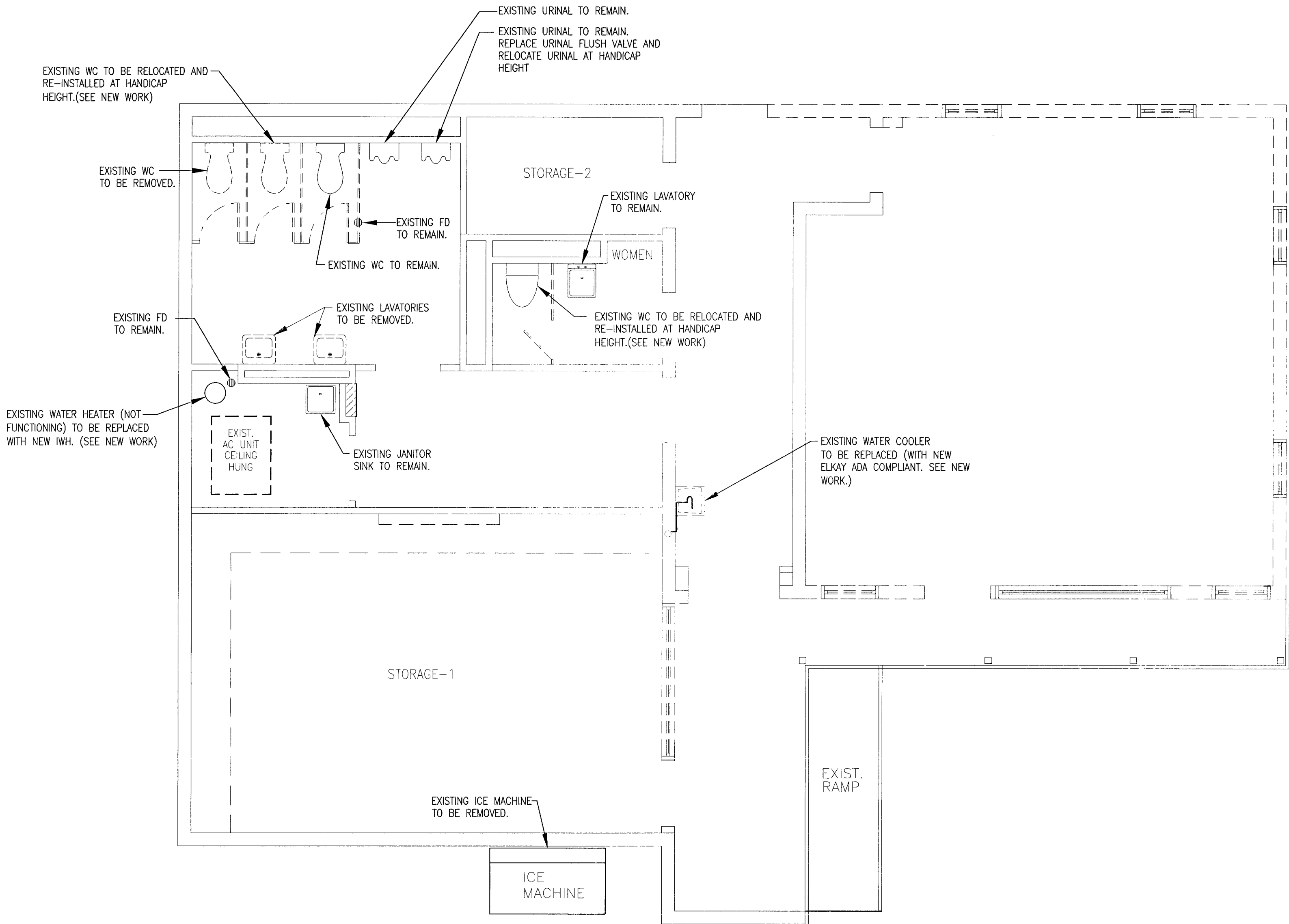
DATE 04-07-08
DRAWN BY RG.
CHECKED BY F.A.
APPROVED BY F.A.

NOT FOR CONSTRUCTION ☐
RELEASED FOR CONSTRUCTION ☒
AS-BUILT DRAWING ☐

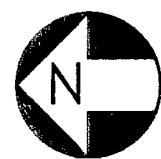
DATABASE
M6213p1010D

DRAWING TITLE
**PLUMBING DEMOLITION
FLOOR PLAN**

GLC NO.	DRAWING NO.
M6213	P-1010D
	SHEET 02 OF 4



PLUMBING DEMOLITION WORK
SCALE : 1/4" = 1'-0"



05/13/08



CONSULT PRA. NO.	SEAL
SUB-CONSULT PRA. NO.	NAME: FERNANDO ANZOATEGUI LIC. # 36032 PHONE # 305-262-7630 ADDRESS 7240 S.W. 39TH TR. MIAMI, FL 33155
BST PRA. NO.	SIGNATURE: <i>[Signature]</i> DATE: 04/07/08

CONSULTANT
ROUX ARCHITECT
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CORAL GABLES, FL.
305-443-8116

SUB-CONSULTANT
**PROFESSIONAL CONSULTING
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Engineering Business #9374

NO.	DATE	DESCRIPTION	CHKD/APPD
0	05-13-08	RELEASED FOR CONSTRUCTION	F.A.
1	06-12-08	BUILDING DEPT. COMMENTS.	F.A.

PROJECT TITLE
SURFSIDE SOC
6940 ABBOTT AVENUE
MIAMI, FLORIDA 33141

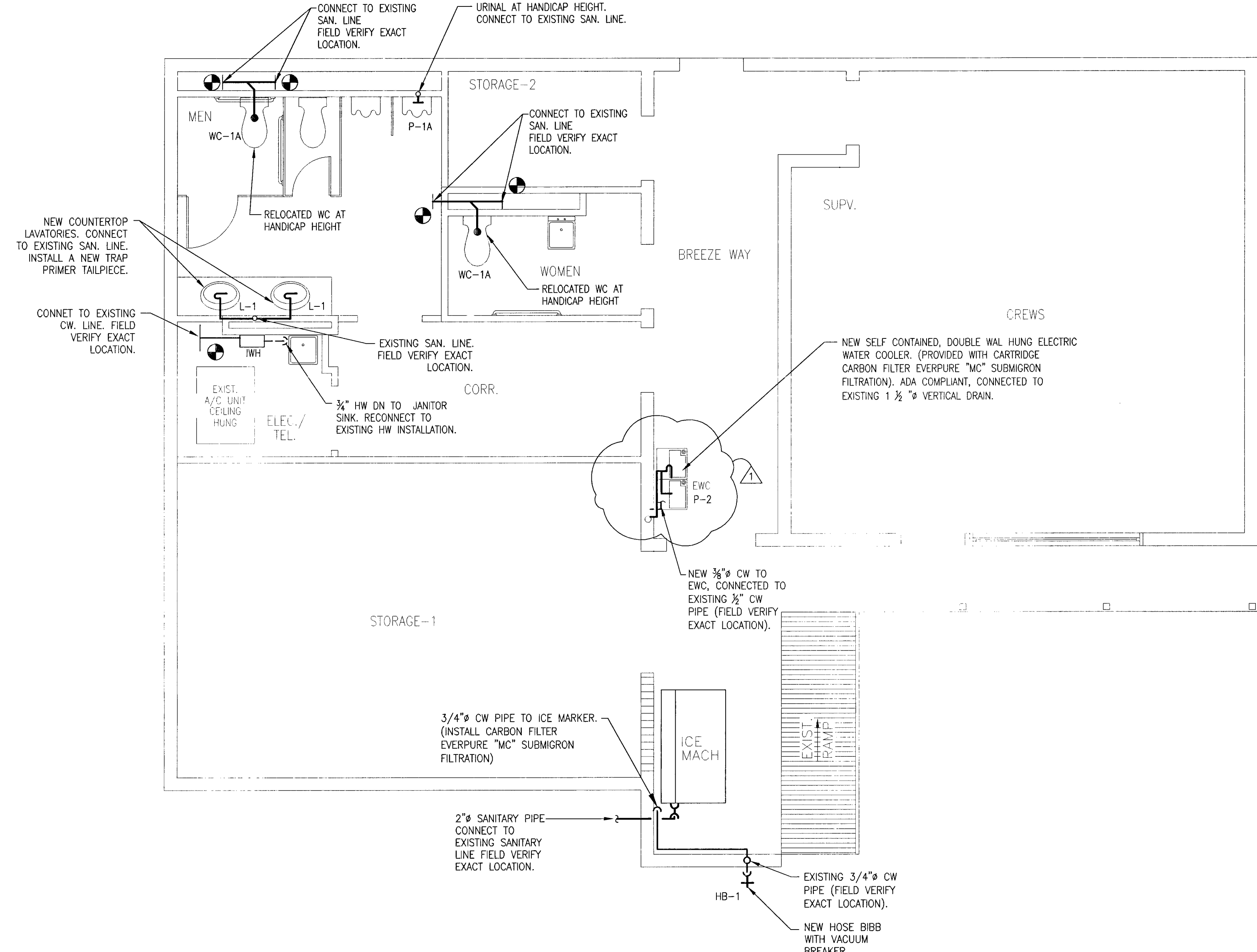
KEY PLAN

DATE	04-07-08
DRAWN BY	RG.
CHECKED BY	F.A.
APPROVED BY	F.A.
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RELEASED FOR CONSTRUCTION	<input checked="" type="checkbox"/>
AS-BUILT DRAWING	<input type="checkbox"/>

DATABASE
M6213p1011

DRAWING TITLE
FLOOR PLAN

OLC NO.	DRAWING NO.
M6213	P-1011
	SHEET 03 OF 4



REMOVE EXISTING PLUMBING FIXTURES. SAW-CUT SLAB AND OR CEILINGS AS NECESSARY TO INSTALL NEW PLUMBING FIXTURES, PROVIDE NEW PIPING FROM FIXTURE CONNECTIONS TO EXISTING PLUMBING SYSTEM. PATCH & REPAIR CEILING AND SLABS AS NECESSARY TO MATCH SURROUNDING AREA.

PLUMBING NEW WORK
SCALE : 1/4" = 1'-0"



04/07/08



CONSULT PROJ. NO.	SEAL
SUB-CONSULT PROJ. NO.	NAME: FERNANDO ANZATEGUI
28-613	LIC. # 36032
BST PROJ. NO.	PHONE # 305-262-7630
	ADDRESS 7240 S.W. 39TH TR.
	MIAMI, FL 33155
	SIGNATURE: [Signature]
	DATE: 6/27/08

CONSULTANT
ROUX ARCHITECT

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**PROFESSIONAL CONSULTING
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OFFICE: (305) 262-7630 FAX: (305) 266-7798
E-MAIL: proconengineers@bellsouth.net
Engineering Business #9374

NO.	DATE	DESCRIPTION	CHKD/APPD
0	05-13-08	RELEASED FOR CONSTRUCTION	FA

PROJECT TITLE
SURFSIDE SOC
6940 ABBOTT AVENUE
MIAMI, FLORIDA 33141

KEY PLAN

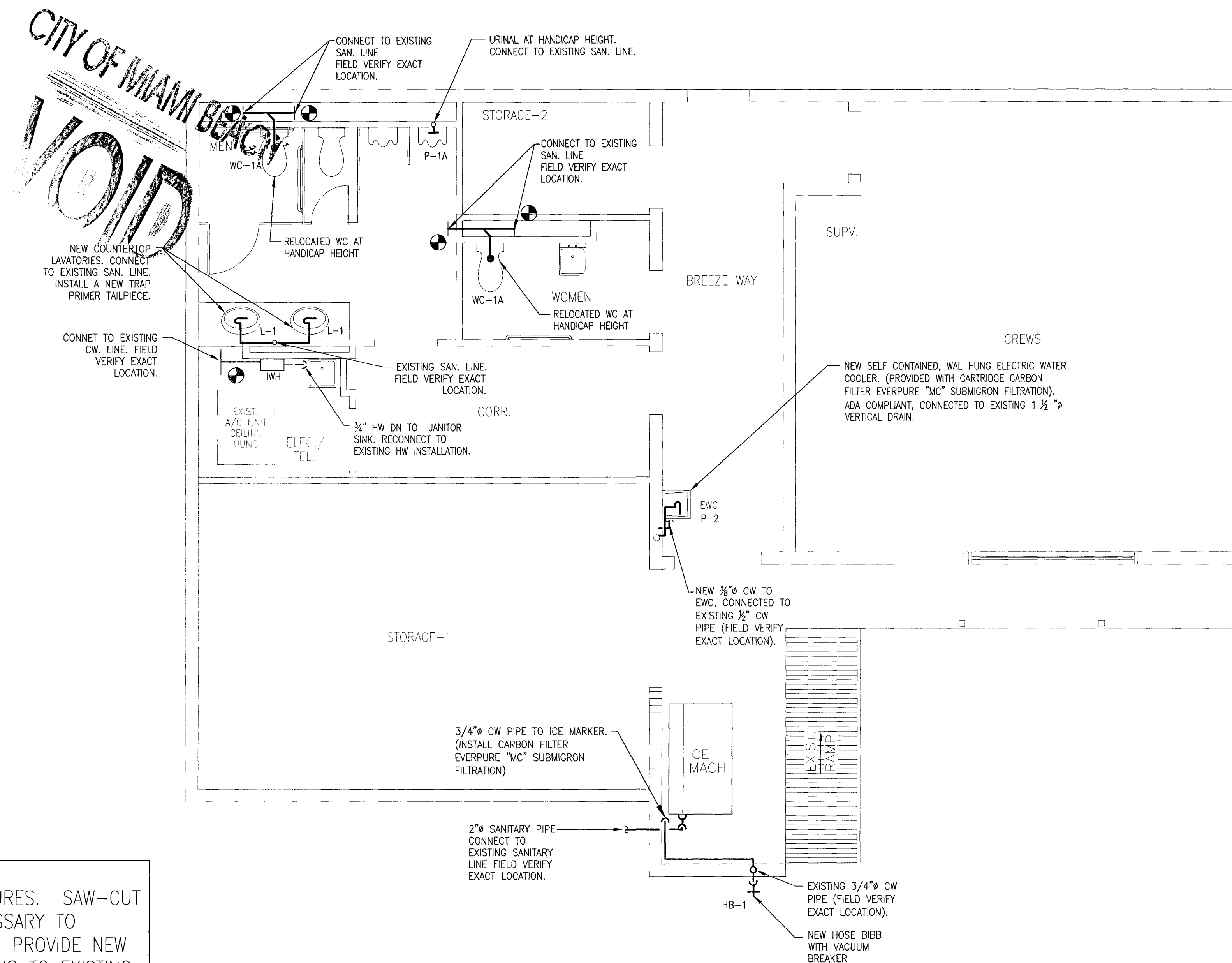
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DRAWN BY	RG.
CHECKED BY	F.A.
APPROVED BY	F.A.

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RELEASED FOR CONSTRUCTION	<input checked="" type="checkbox"/>
AS-BUILT DRAWING	<input type="checkbox"/>

DATABASE
M6213p1011

DRAWING TITLE
FLOOR PLAN

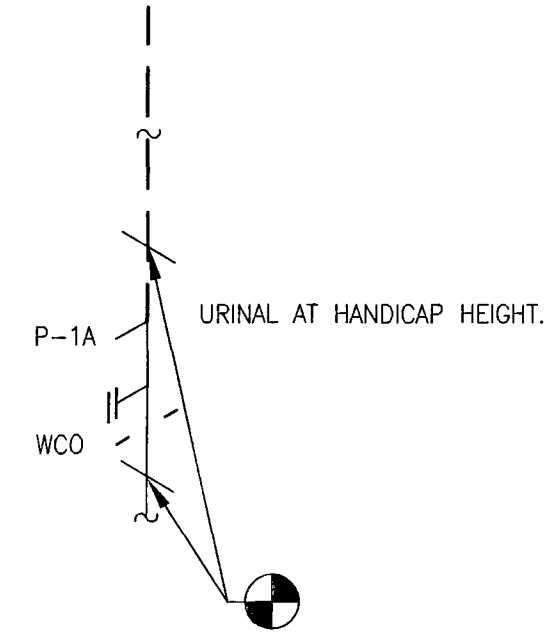
GLC NO.	DRAWING NO.
M6213	P-1011
	SHEET 03 OF 4



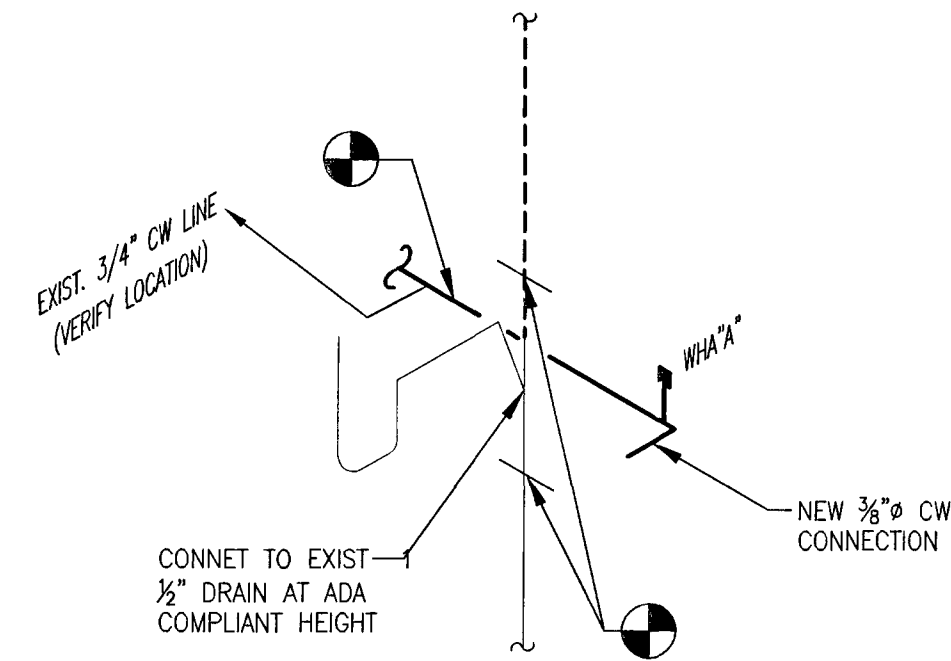
REMOVE EXISTING PLUMBING FIXTURES. SAW-CUT SLAB AND OR CEILINGS AS NECESSARY TO INSTALL NEW PLUMBING FIXTURES, PROVIDE NEW PIPING FROM FIXTURE CONNECTIONS TO EXISTING PLUMBING SYSTEM. PATCH & REPAIR CEILING AND SLABS AS NECESSARY TO MATCH SURROUNDING AREA.

PLUMBING NEW WORK
SCALE : 1/4" = 1'-0"

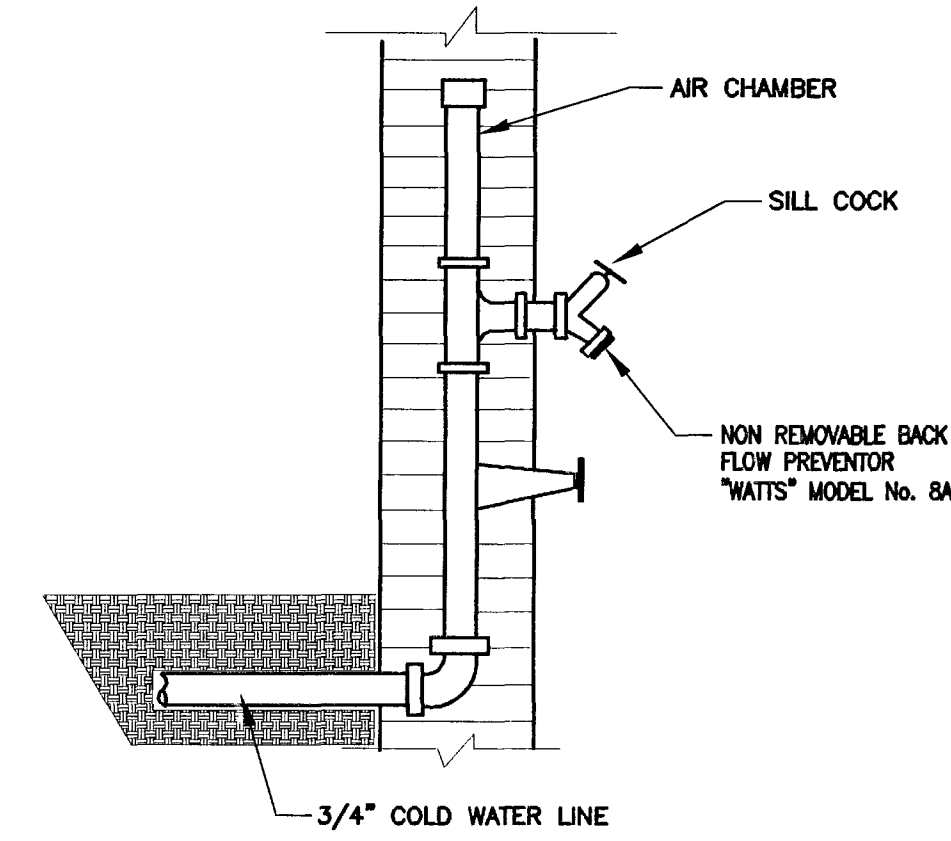




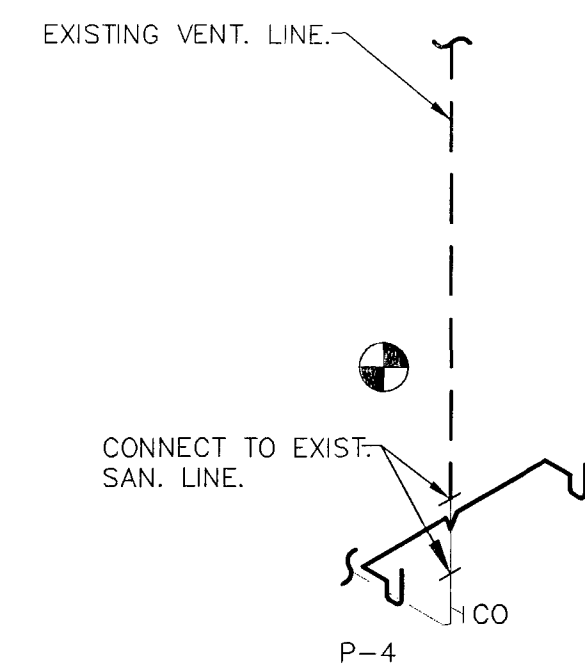
URINAL DETAIL
N.T.S



ELECTRIC WATER COOLER DETAIL
N.T.S



HOSE BIBB DETAIL
N.T.S.



LAVATORY DETAIL
N.T.S

WATER HAMMER ARRESTOR SCHEDULE			
TAG	PDI SIZE	FIXTURE UNITS	CONN. SIZE
WHA-A	A	1-11	1/2"

PLUMBING NOTES:

- A. INSTALL WATER HAMMER ARRESTORS PER STANDARD PDI-WH 201 REQUIREMENTS IN PIPING SYSTEMS TO PREVENT NOISE AND DAMAGE DUE TO WATER HAMMER.
- B. FOR DIMENSIONAL LOCATION OF PLUMBING FIXTURES, SEE ARCHITECTURAL DRAWINGS.



CONSULT PRJ. NO.	SEAL
SUB-CONSULT PRJ. NO. 28-613	NAME: FERNANDO ANZOATEGUI LIC #: 36032 PHONE #: 305-282-7630 ADDRESS: 7240 S.W. 39th TR MIAMI, FL 33155 SIGNATURE: [Signature] DATE: 8/23/08
BST PRJ. NO.	

CONSULTANT

ROUX ARCHITECT

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CORAL GABLES, FL.
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SUB-CONSULTANT

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E-MAIL: proconengineers@bellsouth.net

Engineering Business #9374

NO.	DATE	DESCRIPTION	CRKD/APPD
0	05-13-08	RELEASED FOR CONSTRUCTION	FA

PROJECT TITLE

SURFSIDE SOC

6940 ABBOTT AVENUE
MIAMI, FLORIDA 33141

KEY PLAN

DATE	04-07-08
DRAWN BY	RG.
CHECKED BY	F.A
APPROVED BY	F.A

NOT FOR CONSTRUCTION	<input type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input checked="" type="checkbox"/>
AS-BUILT DRAWING	<input type="checkbox"/>

DATABASE M6213p5000

DRAWING TITLE

DETAILS

GLC NO.	DRAWING
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M6213	P-
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SHEET 0

ABBREVIATIONS

AC	AIR CONDITIONING
AD	ACCESS DOOR
AHU	AIR HANDLING UNIT
ARCH.	ARCHITECTURAL
ASSOC.	ASSOCIATED
B.T.U.H.	BRITISH THERMAL UNITS/HOUR
CFM	CUBIC FEET PER MINUTE
CHWP	CHILLED WATER PUMP
CHWS	CHILLED WATER SUPPLY
CLG.	CEILING
CONC.	CONCRETE
CONCN.	CONNECTION
CU	CONDENSING UNIT
DN.	DOWN
DWG.	DRAWING
E/A	EXHAUST AIR
E.M.S.	ENERGY MANAGEMENT SYSTEM
ENT.	ENTERING
EQUIP.	EQUIPMENT
EXIST.	EXISTING
EXT.	EXTERIOR
F	FAHRENHEIT
FD.	FIRE DAMPER
FD/SD	FIRE DAMPER/SMOKE DAMPER
FT.	FEET
G.P.M.	GALLONS PER MINUTE
HP	HORSEPOWER
H.V.A.C.	HEATING, VENT. & AIR COND.
H2O	WATER
HZ.	HERTZ
K.W.	KILOWATT
LBS.	POUNDS
LVS.	LEAVING
MAX.	MAXIMUM
MFR.	MANUFACTURER
MIN.	MINIMUM
MTD.	MITRED, VOLUME DAMPER (O.B.D.)
N.O.	NORMALLY OPENED
NOM.	NOMINAL
O/A	OUTSIDE AIR
O/C	ON CENTER
OPENING	OPENING
OPER.	OPERATING
P.D.	PRESSURE DROP
R/A	RETURN AIR
R.P.M.	REVOLUTIONS PER MINUTE
S/A	SUPPLY AIR
SD	SMOKE DETECTOR
SPAC.	SPACING
T	THERMOSTAT
TD	TRANSFER DUCT
TYP.	TYPICAL
V	VOLT
VAV	VARIABLE AIR VOLUME
VO	VOLUME DAMPER
WFLWD	WATER FLOW MEASURING DEVICE
W/G	WATER GAUGE
W/O	WITHOUT
ø	PHASE

PURPOSE OF WORK:

AT&T SURFSIDE S.O.C.;
BUILDING IS ONE STORY (RESEMBLING A HOUSE). AIR CONDITIONING PORTION OF THE WORK WILL CONSIST OF REPLACEMENT OF A THROUGH THE WALL ROOM AIR CONDITIONER IN EXISTING STORAGE ROOM 1.
NEW THROUGH THE WALL ROOM AIR CONDITIONER WILL BE INSTALLED IN THE SAME LOCATION WHERE THE EXIST. THROUGH THE WALL ROOM AIR CONDITIONER IS PRESENTLY LOCATED AND WILL RE-USE EXIST. ELECTRICAL TRIM AND WALL RECEPTACLE.

WORK SEQUENCE:

ALL WORK IN THIS PROJECT SHALL BE ALL DONE AT ONCE WITHOUT ANY PHASES OR INTERRUPTIONS. ALL WORK IN THIS PROJECT SHALL BE COORDINATED WITH BUILDING MANAGER AND PROJECT MANAGER. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING OWNER (IN WRITING) 72 HOURS IN ADVANCE THAT HE (OR SHE) WOULD LIKE TO START WORK INSIDE BUILDING SO THAT OWNER CAN BEGIN TAKING ANY ADDITIONAL STEPS WHICH ARE DEEMED NECESSARY (RELOCATION OF PERSONNEL FROM WORK AREA AND ETC.). "TEMPORARY" AIR CONDITIONING EQUIP. IF REQUIRED TO KEEP WORK AREA AIR CONDITIONED SHALL BE PROVIDED/INSTALLED BY THE CONTRACTOR. NO WORK SHALL COMMENCE UNTIL A "GO AHEAD" IS GIVEN BY BOTH, THE BUILDING MANAGER AND THE PROJECT MANAGER.

CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING DUST PARTITIONS TO ASSURE THAT DUST DOES NOT SPREAD BEYOND THE WORK AREAS ALONG WITH FILTERS ON ALL DUCTWORK ENTERING OR LEAVING THE WORK AREAS.

WORK MENTIONED ABOVE IN THIS PROJECT SHALL BE DONE DURING WEEKDAYS. CONTRACTOR SHALL COORDINATE ACTUAL DATES WITH OWNER (OWNER SHALL ESTABLISH DATES).

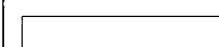

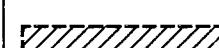
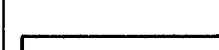
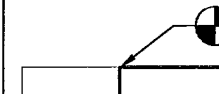
HVAC DESIGN REQUIRES:

	YES	NO
DUCT SMOKE DETECTOR	---	---
FIRE DAMPER(S)	---	---
SMOKE DAMPER(S)	---	---
FIRE RATED ENCLOSURE	---	---
FIRE RATED ROOF/FLOOR CEILING ASSEMBLY	---	---
FIRE STOPPING	✓	---
SMOKE CONTROL	✓	---
COMBINATION FIRE/SMOKE DAMPER(S)	---	---

OUTSIDE AIR CALCULATIONS

AHU No.	AREA SERVED	No. OF PEOPLE	REQUIRED O/A PER PERSON (CFM)	TOTAL O/A REQUIRED (CFM)	TOTAL O/A PROVIDED (CFM)
PU-1	STORAGE ROOM 1	1	20	20	20

DEMOLITION LEGEND

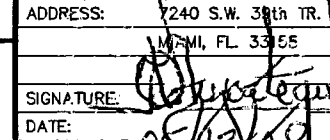
	EXISTING DUCTWORK/PIPING/EQUIPMENT TO REMAIN
	EXISTING DUCTWORK/PIPING/EQUIPMENT TO BE REMOVED
	EXISTING DUCTWORK/PIPING/EQUIPMENT TO BE RELOCATED
	NEW DUCTWORK/PIPING/EQUIPMENT
	POINT OF CONNECTION BETWEEN NEW AND EXISTING WORK

NOTE: REFER TO DRAWINGS FOR APPLICABLE SYMBOLS

GENERAL NOTES

- All work shall be done in accordance with the latest Florida Building Code, Building/Parsons Standards and other applicable codes, statutes and regulations.
- Contractor shall coordinate all work between sub-contractors directly under his or her supervision and between work which is not under his supervision but affects his work.
- Contractor shall visit the site and determine the extent of revisions to existing piping/equipment to accommodate the proposed mechanical, electrical and architectural changes and additions. All the necessary re-routing and/or removal of existing ductwork/piping/equipment shall be included in the scope of work.
- Provide minimum of 6" clearance between edges of pipes and any wall wherever possible.
- All new equipment installed in this project shall be installed in accordance with manufacturer's recommended installation instructions.
- Sizes of existing, ductwork/piping/equipment shown on drawings are nominal and are to be used for the purpose of estimating, actual sizes shall be obtained by the contractor as well as correctness of amounts and shall be shown on "as-builts" prior to completion of project.
- Contractor to assure that proper clearance (as per manufacturer recommendations) is provided around all new equipment for servicing and replacement purposes.
- Contractor shall coordinate planned shutdown of any equipment with owner so that equipment downtime will be minimal and at non-critical hours.
- Under no circumstances shall any part of the new chilled water piping system be left exposed to ambient inside.
- Equipment voltages shall be verified prior to ordering and installing equipment.
- All new material inside new Air Handling Unit and chiller rooms shall have a maximum flame spread rating of 25 and a maximum smoke developed rating of 50. All materials used in this project shall be subject to fire.
- Piping insulation jacket and lap seal adhesives shall have a maximum flame spread rating of 25 and a maximum smoke developed rating of 50.
- All new valves shall be full lap type.
- All new piping shall be mounted as high as possible. Minimum height shall be 0'-0". Contractor shall assure that there will not be any conflicts between piping, light fixtures and ductwork.
- All new chilled water piping shall be black steel piping (ASTM A53) externally insulated with 1.5" thick foams glass insulation and finished with oil service jacketing and mastic (all installed in accordance with manufacturer's recommendations). Also, each pipe shall be identified with flow direction.
- All interior exposed pipe insulation will have minimum jacketing from the floor up to 6' AFF.
- Where ducts are shown capped, provide/install galvanized sheetmetal plates (same thickness as duct) with galv. sheetmetal screws and caulked airtight with 25/50 rated mastic.
- All ductwork on which work is performed shall be deaired airtight (with 25/50 rated mastic) at all joints.
- Wherever possible, all new supply air ductwork shall be installed tight to slab.
- Any changes from design documents and specifications shall require prior written approval from engineer and project manager (Owner representative).
- All new Air Handling Units shall be disassembled to their smallest component as necessary to be brought into their respective Air Handling Unit room and re-assembled (All by contractor) to manufacturer specifications.
- All new duct access doors shall be hinged type internally insulated (if duct is required) fully gasketed and shall have two handles (both type). Doors shall be manufactured by Ventfabrics.
- Upon activation of fire alarm, all Air Handling Units in their respective floor shall be stopped and all smoke detectors shall allow.
- New duct mounted smoke detectors (SD) air flow requirements shall be matched to air velocity in ducts, certified by manufacturer and installed as per manufacturer's installation instructions.
- Contractor shall perform air pressure differential measurements on new duct mounted smoke detectors. Resulting differential shall be between min. and max. range allowed by detector manufacturer and test results shall be submitted to Architect, Engineer and Project Manager in the form of a report which shall be sent to the Engineer prior to Engineer visit (if possible).
- All new controls shall be provided/installed by Siemens. No substitutions will be allowed.
- All new variable frequency drives shall be Yokogawa and shall be provided by Siemens, installed by electrical contractor, power wired by Electrical Contractor & Controls wired by Siemens.
- All new motorized dampers used for air volume control or shut off shall be as manufactured by Ruston Model #FD 50 (Class II) or Siemens pneumatic or Electric actuator (L3). No substitutions will be allowed.
- During system testing and balancing, contractor shall be responsible for providing/installing Air Handling Units with shrouds as required to obtain CFM quantities shown on Air Handling Unit schedule.
- Contractor shall be responsible for providing/installing a new set of filters (30% and 85-9) after construction is complete. Also contractor shall be responsible for providing an additional set of balls for "cool" Air Handling Unit.
- All new ductwork FOR NEW PRU-1 shall be galv. steel and connection and joints shall comply with S.M.A.C.N.A. guidelines.
- All new ductwork inside Air Handling Unit rooms shall be externally insulated with 1.5" thick (S.P.C.F.) rigid fiberglass board and externally finished with aluminum vapor barrier.
- All new condensate piping shall be copper with Armaflex insulation and shall be attached to floor thru vertical assembly (maximum span shall be 5'-0") and hilt balls drilled not shot. Slope shall be 1/8"/foot. After installation, all Armaflex shall be painted white (also manufactured by Armaflex Corporation).
- All work shall be free of defect in workmanship and materials for a period of one (1) year from date of final acceptance. All defects which develop or are discovered within this period shall be repaired by the contractor to the satisfaction of the owner at no additional cost to the Owner.
- Any sod damaged by crane, trucks or any other work under this project shall be replaced new (same type as existing) by contractor.
- Test and balance shall be provided by a company specializing in the testing and balancing of HVAC systems and shall be hired by the contractor.
- Contractor shall perform two test and balance reports. One shall be done for existing conditions before demolition begins and second report shall be done when all new work is complete.
- Final air balance on each air distribution device connected to new AHU shall be performed before the hour of 2:00 and 3:00 PM (weekdays). Temperatures shall be kept to plus or minus one degree off 78°F dry bulb.
- Contractor shall provide engineer and Owner with copies of the final test and balance report at completion of project 48 hrs prior to final walk-thru.
- Contractor shall maintain at the jobsite a set of contract documents showing in redlines, all field conditions deviations. Said set shall be turned over to the engineer during final walk-thru prior to completion of project. Said redlines shall be added to original drawings which shall then become final "as built" drawings.
- Contractor shall provide to engineer during final walk-thru, three (3) bound sets of operation and maintenance manuals (part of project closeout documents).
- Contractor shall provide field measured field verified 1/4" scale shop drawings for all ductwork and piping. Sections, elevations shall be provided at 1/2" scale provided at 1/2" scale.
- Contractor shall be responsible for turning over to Engineer, all associated project closeout documents during final walk-thru prior to completion of project.
- Each new combination fire/smoke damper (Push-In SD-60) shall be provided with a hinged dust access door. Door shall be large enough to allow replacement of fusible link. Actuator shall be Electric (420-1-80) or Pneumatic.
- Where required, new combination fire/smoke dampers in concrete block walls shall be provided with a flange in the form of a "C" channel (CRX11-5X11). This channel shall be secured to underside of slab with four 3/8" Hilt bolts. New combination fire/smoke dampers shall be installed in accordance with manufacturer's recommended installation procedures and S.M.A.C.N.A. guidelines (typical).
- Each Air Handling Unit room shall be provided with a new floor mounted moisture detector (provided/installed by Siemens) which shall be connected to the existing Siemens building GSM and shall alarm to controls monitoring station at which time a crew shall be sent out to correct the problem. Air Handling Unit shall not shut down.
- All new solar/digital thermometers shall be as manufactured by Wila.
- All Air Handling Unit rooms having new AHU shall each be provided with a new wall mounted storage cabinet (with lock) which shall be used to house operation/maintenance manuals, controls manuals and detectors. Cabinet location and dimensions shall be coordinated with Owner's Project Manager.
- All new motors shall be "Premium efficiency" with Class "F" insulation for use with Variable Frequency Drives.
- Contractor shall protect the structural integrity of the existing building during construction.
- Demolition schedule shall be coordinated with Owner's representative to "minimize" disruption of normal building operation.
- Contract shall assign coordination person set-up with Owner's representative.
- Contractor shall repair damaged sections of existing mechanical insulation, both previously damaged or damaged during construction of this project. For chilled water system, contractor shall use foams glass insulation (1 1/2" thicker than existing insulation) with oil service jacketing to extending over existing insulation. For any other system, Contractor shall match existing insulation type and thickness.
- In addition to drains and vents on lines indicated, contractor shall provide/install manual air vents at all high points of new piping. Also, contractor shall provide/install drain valves with 1/4" hose bib connections at all low points of new piping.
- Contractor shall assure that there will not be any conflicts between new ductwork/piping/equipment and existing items (light fixtures and etc.).
- Any changes from design/specs. shall require the contractor to prepare a written request for said changes which will be sent to the project manager and engineer for review (approve/disapprove).
- New combination fire/smoke dampers shall be installed in accordance with manufacturer's recommended installation procedures and S.M.A.C.N.A. guidelines.
- It shall be the responsibility of the contractor to prepare a list of all existing equipment which is scheduled to be removed under this project and shall present said list to the project manager. He/she will then select the items that he/she will keep and the remaining items shall be removed from the jobsite by the contractor (for proper and legal disposal).
- All new ductwork (and connections) shall be provided/installed in accordance with manufacturer's recommended installation procedures and with the latest S.M.A.C.N.A. manuals.
- All new combination fire/smoke dampers shall be provided with hinged dust access doors which shall be large enough to allow replacement of fusible link.
- Contractor shall perform ductwork joints consistent with the design pressure class applicable sealing requirements (for non-joints only) duct support intervals and other provisions for proper assembly of ductwork according to S.M.A.C.N.A.
- Welds shall be full penetration, both ends beveled to a minimum of three passes. Square butt welds are not acceptable and if used will be required to be ground out and re-welded. Backing rings are not required.
- Chilled water pipe insulation shall be cellular glass (ASTM C-552) Pittsburgh-Corning with copper wire the ducts, organic fiber cloth (Owens-Corning) oil service jacket. Insulation jacket shall be glass cloth with Mastic type indoors in accordance with Section 45260 of the specification. All insulation from the floor to 0'-0" AFF shall have aluminum vapor barrier.
- Contractor shall clean all building chilled water pump and AHU skimmers as a final step to remove construction debris. A letter certifying completion of cleaning shall be provided to the Project Coordinator.
- Contractor shall provide letter certifying compliance with duct gages specified on drawings and that sheetmetal was made in the USA.
- Provide continuous strip of magnetite tape 3" wide located directly above all new buried piping with the appropriate description warning of a buried utility below. Tape shall be buried approximately 2" below grade.
- Contractor shall field verify before ordering Motorized Dampers, Motorized valves and/or Smoke Dampers if they need to be electric or pneumatic Dampers. If they need to be electric then Contractor shall provide 120 volt power to them.
- Mechanical Contractor shall PROVIDE/INSTALL obtain bar code labels from Siemens for every new equipment and Contractor shall attach them in visible areas of the equipment. No phoning labels shall be used.
- All outdoor chilled water piping insulation will have aluminum jacketing.
- Two test and balance reports will be performed. First a CFM TAB will be performed to show that the HVAC system can deliver the design CFMs and gpm's. Second, and at a later date, ideally after people and/or equipment are in the space, a temperature TAB will be performed so that the project areas will be maintained at owner required temperatures. TAB testing shall be performed by Technical Solutions, contact Robert Paszek at 954-263-4517.
- Every motorized damper shall have an access door. Door shall be located downstream of damper.
- Contractor shall make sure (whether shown on drawings or not) that no new ducts or pipes which carry water pass over any electrical panels. Similarly, Contractor shall not install any new electrical device underneath a duct or pipe which carries water.
- First figure of duct size indicates dimension of face shown or indicated.
- Ceiling diffuser sizes shown on floor plans are nominal sizes.
- All ducts in finished rooms or spaces shall be concealed in furred spaces or suspended ceiling.
- New ductwork insulation, fittings, covers and finishes shall have a maximum flame spread rating of 25 and a maximum smoke developed rating of 50.
- Refer to Architectural reflected ceiling plan for exact location of air distribution devices.
- All existing (pressurized) ductwork upstream of any new or existing VAV boxes shall be sealed airtight.
- All new manual volume dampers shall be Ruston MD-35.
- X-Ray floor scans before curing for new ductwork or piping to avoid steel and electrical lines.
- The drawings are diagrammatic and do not show all fittings, offsets and accessories. The Contractor shall include in his bid an allowance to provide a complete operational system within the intent of the drawings.
- Remove enough ductwork and/or piping to remove existing Air Handling Unit and reconnect to existing supply and return ductwork and/or piping.
- Add pressure relief doors (typ 2) whenever motorized modulating dampers are added to existing duct system. Pressure relief shall be Ruston.



CONSULT PRJ. NO.	SEAL
SUB-CONSULT PRJ. NO.	NAME: FERNANDO ANZATEGUI LIC # 36032 PHONE # 305-282-7830 ADDRESS: 1240 S.W. 33RD TR MIAMI, FL 33155
28-616	SIGNATURE: 
BST PRJ. NO.	DATE:

ROUX ARCHITECT

116 GIRALDA AVENUE
CORAL GABLES, FL.
305-443-8116

SUB-CONSULTANT
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ENGINEERING INC.
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OFFICE: (305) 262-7630. FAX: (305) 266-7798
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Engineering Business #9374

NO.	DATE	DESCRIPTION	CHKD/APPR
0	05-13-08	RELEASED FOR CONSTRUCTION	FA

PROJECT TITLE
SURFSIDE SOC
6940 ABBOTT AVENUE
MIAMI, FLORIDA 33141

KEY PLAN	
DATE	05-13-08
DRAWN BY	E.F
CHECKED BY	L.L
APPROVED BY	F.A
NOT FOR CONSTRUCTION	<input type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input checked="" type="checkbox"/>
AS-BUILT DRAWING	<input type="checkbox"/>

DATABASE	M6213m0000
DRAWING TITLE	LEGENDS, ABBREVIATIONS, SYMBOLS & GENERAL NOTES
QLC NO.	DRAWING NO.
M6213	M0000
	SHEET 1 OF 2



CONSULT PROJ. NO.	SEAL
SUB-CONSULT PROJ. NO. 28-616	NAME: FERNANDO ANZATEGUI LIC. # 36032 PHONE # 305-262-7630 ADDRESS 17240 S.W. 39th TR. MIAMI, FL. 33155
BST PROJ. NO.	SIGNATURE: <i>[Signature]</i> DATE: 05/13/08

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NO.	DATE	DESCRIPTION	CHKD/APPR
0	05-13-08	RELEASED FOR CONSTRUCTION	F.A.

PROJECT TITLE
SURFSIDE SOC
6940 ABBOTT AVENUE
MIAMI, FLORIDA 33141

KEY PLAN

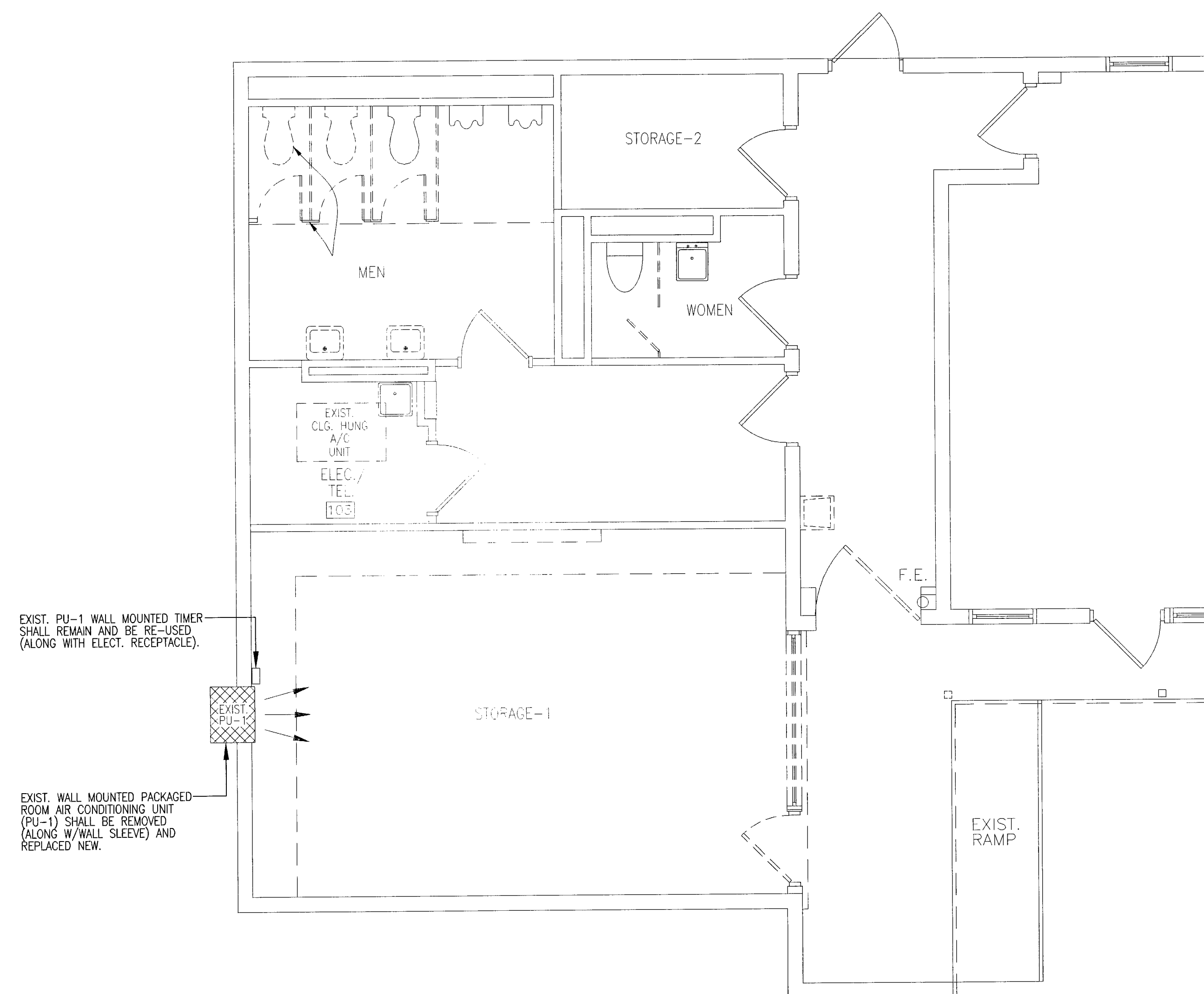
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DRAWN BY	E.F.
CHECKED BY	L.L.
APPROVED BY	F.A.

NOT FOR CONSTRUCTION ☐
RELEASED FOR CONSTRUCTION ☒
AS-BUILT DRAWING ☐

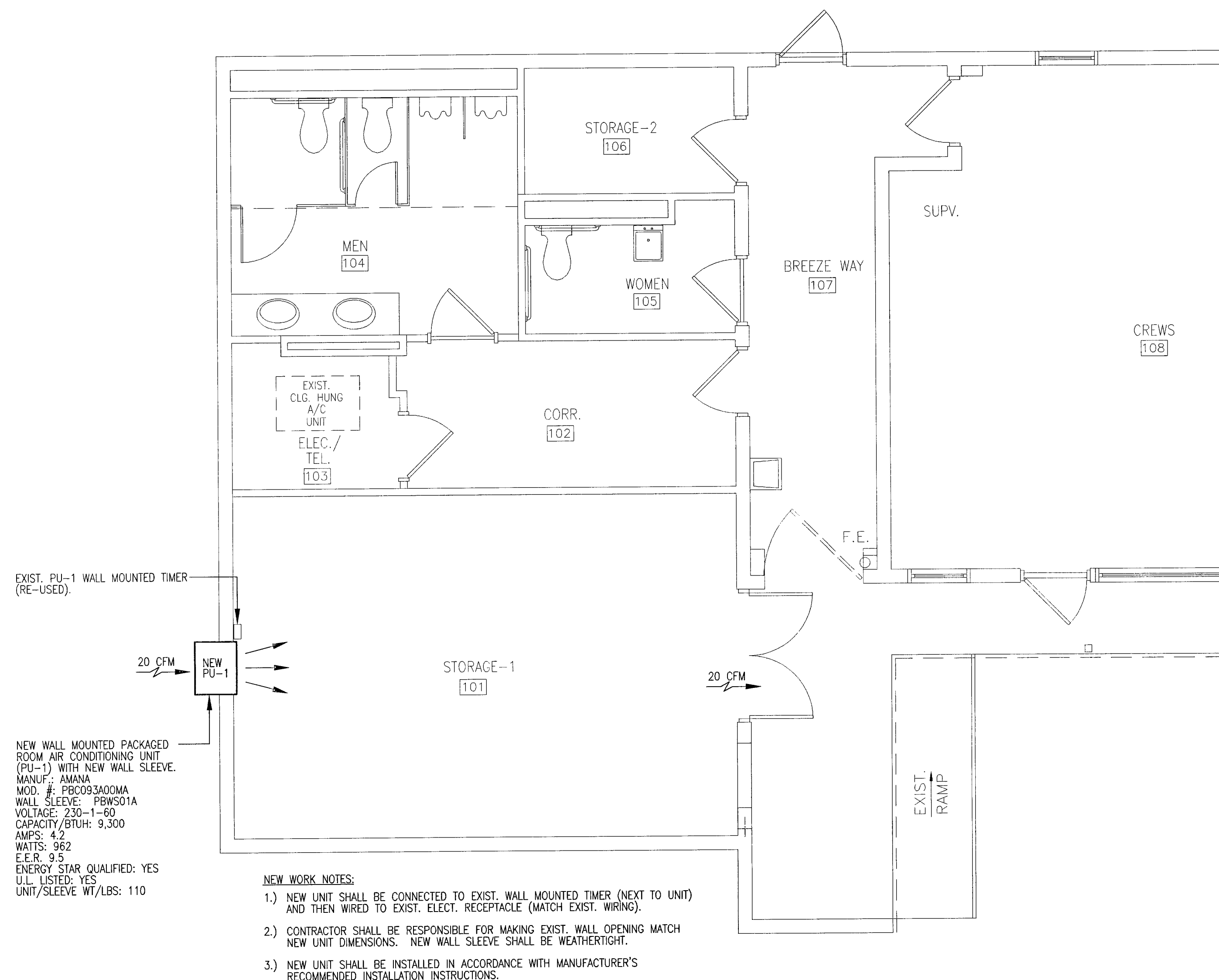
DATABASE
M6213m1010

DRAWING TITLE
**PARTIAL GROUND FLOOR
DEMOLITION & NEW WORK**

GLC NO. M6213	DRAWING NO. M1010 SHEET OF 2
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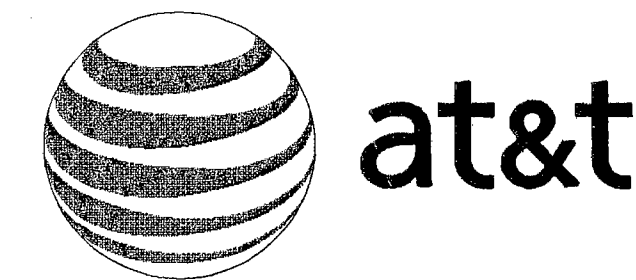


PARTIAL GROUND FLOOR-DEMOLITION WORK
SCALE : 1/4" = 1'-0"



PARTIAL GROUND FLOOR-NEW WORK
SCALE : 1/4" = 1'-0"





CONSULT PRJ. NO.	SEAL
SUB-CONSULT PRJ. NO.	0834
BST PRJ. NO.	JUN 30 2008 THEODORE ROUX ARCHITECT AR 4169

CONSULTANT

SUB-CONSULTANT

ROUX ARCHITECT

116 GIRALDA AVENUE
CORAL GABLES, FL.
305-443-8116

NO.	DATE	DESCRIPTION	CHD/APPD
2	06-25-08	PERMIT COMMENTS-NEW SHEET	

PROJECT TITLE

SURFSIDE SOC

6940 ABBOTT AVENUE
MIAMI BEACH, FLORIDA 33141

KEY PLAN

DATE	06-25-08
DRAWN BY	GWC/NYR
CHECKED BY	TLR
APPROVED BY	TLR

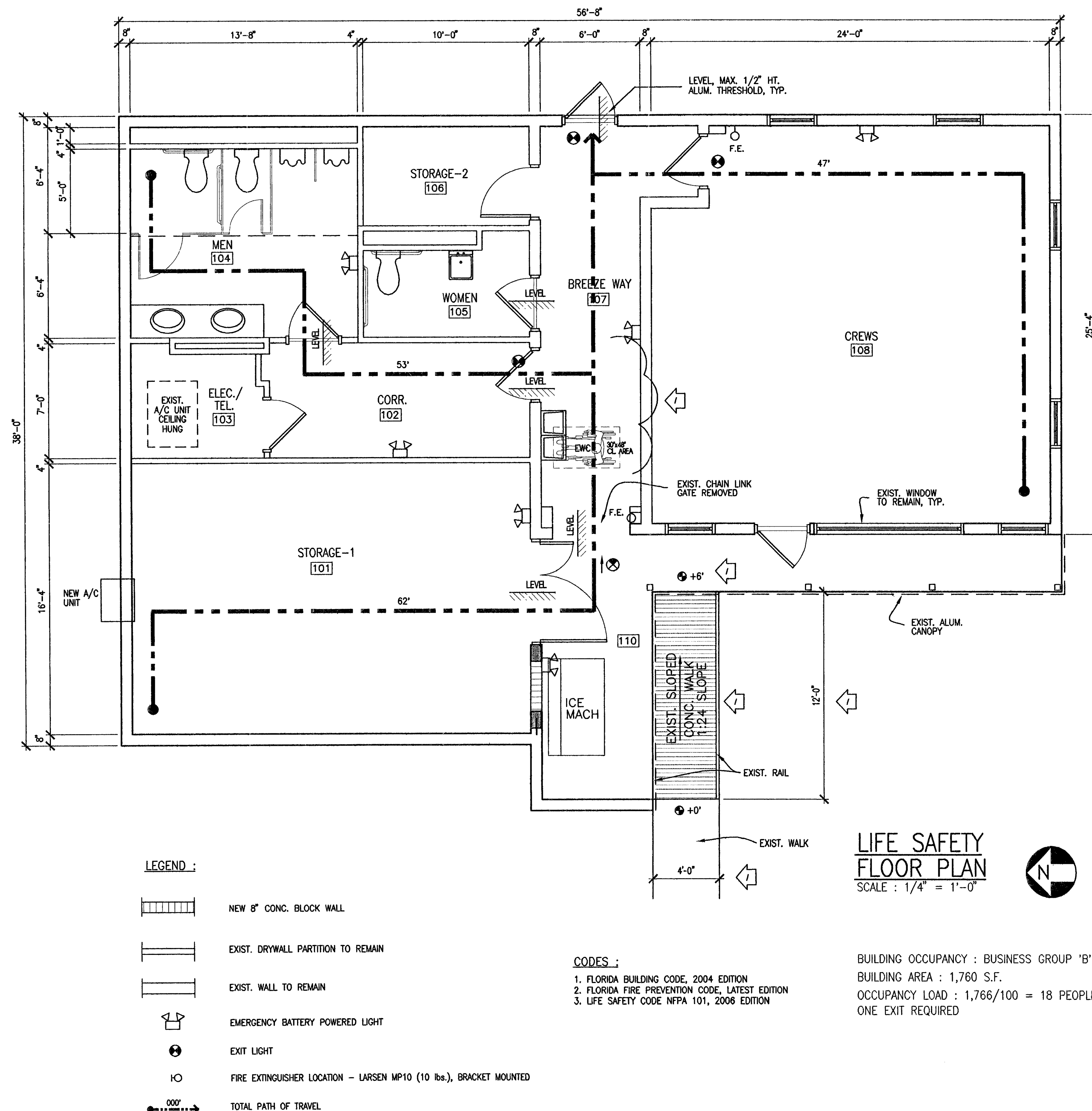
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RELEASED FOR CONSTRUCTION	<input checked="" type="checkbox"/>
AS-BUILT DRAWING	<input type="checkbox"/>

DATABASE
M6213LS2001

DRAWING TITLE

LIFE SAFETY PLAN

GLD NO.	DRAWING NO.
M6213	LS2001



ELECTRICAL GENERAL NOTES

1. The work shall comply with the latest applicable requirements of Bellsouth Standards, the National Electrical Code, O.S.H.A. requirements and all other local codes and ordinances governing this installation, as a minimum standard, unless specifications listed herein or shown on plans require a higher standard.
2. All materials shall be new and bear underwriters' labels where applicable.
3. The work included consists of all supervision, labor, materials, equipment facilities, and installation required for the complete satisfactory and approved electrical and communication systems as indicated on the drawings and called for in this specification, or as may be reasonably implied by either.
4. Conductors shall consist of 98% conductivity copper, type THNN/THWN. sizes are AWG.
5. Conductors sizes #8 and larger shall be stranded copper. Conductors size #10 and smaller shall be solid copper, unless noted otherwise.
6. Contractor shall verify all equipment nameplate data for wiring and overcurrent protection requirements before performing rough-in work.
7. All equipment shall be mounted on galvanized steel unistrut.
8. All EMT fittings shall be compression type.
9. All lugs shall be for copper conductors.
10. Label all equipment (disconnect switches, circuit breakers, controls, etc.) with engraved laminated plastic name plates-screw attached to equipment.
11. Label all electrical outlets and light switches using adhesive labels.
12. Contractor shall pay for all permits, fees, inspections and testing. Contractor to obtain permit and approved submittals prior to beginning work or ordering equipment.
13. Electrical Contractor shall visit job site and familiarize himself with all conditions affecting electrical and communications installation and make provisions as to the cost thereof. Existing conditions of electrical equipment, light fixtures, etc., that are part of the final system shall be verified by the Contractor prior to submitting his bid.
14. Outlet boxes shall be pressed steel in dry locations. Cast alloy with threaded hubs in wet or damp locations and special enclosures for other classified areas.
15. Electrical system shall be complete and effectively grounded as required by the latest edition of the N.E.C. or local codes.
16. All required insurance shall be provided for protection against public liability and property damage for the duration of the work.
17. Contractor shall submit shop drawings or cut sheets of lighting fixtures, switches and other electrical items for approval by Engineer/Architect.
18. Contractor shall be responsible for all cutting and patching required of his work.
19. Label all panels w/typewritten directories.
20. Panelboards: Update panel directory showing any modification done in the panel for all existing electrical panels.
21. The term "Provide" used in the construction documents and specifications indicates the Contractor shall furnish and install.
22. The minimum bend radius for grounding installation, shall be 8 inches for #6 wire and smaller, 12 inches for wire larger than #6.
23. Refer to Architectural floor plans for metal framing studs information.
24. Panelboards: All current carrying buss shall be copper. All ground bus bars shall be copper. A.I.C. ratings shall be as indicated on panelboard schedules.
25. Once construction is completed, as-built drawings shall be provided to the Architect duly signed by the Electrical Contractor.
- ~~26- Provide, post and update a hand marked copy of the single line diagram depicting current condition of the Electrical system at the facility during construction.~~
- ~~27- Install the final as-built single line diagram; framed under plexi-glass and mount adjacent to the House Service Panel equipment. This drawing will be provided by Engineer.~~

28. Contractor shall coordinate any power interruption of the building with Owner.
29. Prior to any power interruption, Contractor shall submit MOP for Owner approval.
30. The temperature rating associated with the ampacity of a conductor shall be so selected and coordinated as to not exceed the lowest temperature rating of connected termination, conductor or device.
31. It shall not be the intent of these plans and/or specifications to show every minor detail of construction. The Electrical Contractor shall be expected to furnish and install items for a complete electrical system and provide all requirements necessary for equipment to be placed in proper working order.
32. The electrical Contractor shall keep all areas in which work is being performed free from debris at all items and areas shall be left broom clean at the end of each working day.
33. The Electrical Contractor shall be responsible to repair to original conditions any and all damages to building surfaces, equipment and furnishings caused during performance of work.
34. Where core drilling of floor/walls is required, Contractor shall seal openings watertight after utilities have been installed. Location of core holes shall be coordinated with location of equipment in a manner to be clean and functional. The Contractor shall install only one conduit per hole and seal the opening around the conduit as specified. Coordinate this with Owner representative.
35. Provide fire retardant U.L. approved sealant on all penetrations of fire rated partitions, walls and structural slabs. It shall be the responsibility of the Electrical Contractor to verify, prior to submitting bid, locations of all such fire rated partitions, wall and structural slabs.
36. Phase arrangement shall be properly determined in accordance with Art. 430.97 (B) of N.E.C. use of phase sequence indicator is highly recommended to determine phase sequence (A-B-C OR C-B-A) of three phase voltages. (A-B-C is clockwise rotation). It is important that phase sequence be known prior to energizing electrical motors and other equipment, as incorrect connection could cause damage to the equipment.
37. Electrical Contractor shall demolish all remaining conduit, outlets, lighting fixtures, any electrical device and their associated wiring that will not be re-used in this project and that is in the project area. Remove wiring back to power source. If conduit part cannot be removed, abandon it in place duly capped at both ends.
38. Commission the electrical system free from grounds, tested for insulation integrity, voltage drop, and circuit balanced as indicated on plan prior to final acceptance.
39. It shall be understood that all work performed shall be done by a licensed Electrical Contractor and in a first class workmanlike manner. Said Contractor shall meet all requirements set forth by any local ordinance and/or governing authorities.
40. Unless noted as existing, all equipment, wiring, devices, etc. shall be new and as specified. Equipment is to be listed.
41. Contractor shall guarantee all materials and workmanship free from defects for a period of not less than (1) year from date of acceptance, unless indicated or specified otherwise.
42. It shall be the responsibility of the Electrical Contractor for the advanced ordering of long lead items so as not to interfere with the production of other trades resulting in any down or lag time.
43. All electrical equipment, devices, wire, etc., shall be listed for the intended use, with Underwriter's Laboratories, Inc. (UL) where standards have been established by UL. As a minimum, all equipment shall meet applicable standards for the type of equipment and intended use of the following:
- A. American National Standards Institute (ANSI).
- B. Illuminating Engineers Society (IES).
- C. America Society Testing and Materials (ASTM).
- D. National Electrical Manufacturer's Association (NEMA).
- NOTE: These standards are subordinate to code and standards set by UL.

44. The Electrical Contractor shall furnish a complete set of as-built drawings, showing all changes and deviations to the Architect/Engineer prior to completion of the project.
45. Prepare and affix a type written directory to the inside cover of each new and or existing (revised) panelboard indicating loads controlled by each circuit.
46. Provide temporary electrical service for use by all trades during construction and remove same at completion of project. Temporary power is to be done per code.
47. All fuses shall be current limiting, per U.L., rated 600 volts, unless otherwise noted.
48. Electrical contractor shall verify circuit protective devices rating for equipment prior to construction.
49. Contractor shall coordinate all work under his or her supervision and between work which is not under his supervision but affects his work.
50. Provide continuous strip of magnetic tape 3" wide located directly above all new buried electric piping with the appropriate description warning of a buried utility below. Tape shall be buried approximately 2" below grade.
- ~~51- Contractor shall provide 120volt power to every single Motorized Control Damper, Motorized valve and Smoke damper. Coordinate with Mechanical Contractor the quantity and location of these items.~~
52. Provide one year guarantee for all material and workmanship.
53. Contractor shall use 3M Fire Barrier CP-25WB+ Caulk, for any metal conduit penetration through a fire wall.
54. Junction boxes painted blue are for BFMS, green are for card access, and red are for fire alarm. No contractor other than siemens should work with any of this wiring.
55. Fire Alarm work to be done by Siemens. Provide all wiring and conduit supports for new fire alarm devices tied into the existing Fire Alarm System.
56. The new or retrofitted breakers larger than 100A shall be tested and coordinated by the Company Industrial Electric Testing.
57. Only metallic conduit shall be used for all above ground applications (exposed or concealed) in this project.
58. Contractor shall investigate and trace carefully any existing conduit before removing or disconnecting it in order to make sure no existing equipment or system will be left without power. Contractor shall notify owner and engineer if the removal of any existing conduit will leave any existing equipment without power.
59. Contractor shall prepare and submit to engineer 1/4" or 1/2" scale shop drawings of any electrical equipment room (closet), UPS room, Engine/Generator Room, House Service Panel Room, etc. showing in detail actual room layout, equipment actual dimensions and actual conduit runs and sizes.
60. All conductors which are not terminated and have the potential to become energized during this project shall have their ends insulated. Conductors up to #6 shall be protected by screwing on a wire-nut, sized for that conductor, on the ends of the conductors. Conductors #4 and larger shall require a heat shrink rubber boot type fitting. Electrical tape will not be an acceptable form of insulating the ends of conductors.
61. Contractor shall run 3/4" conduit with pullwire from telephone outlet to ceiling space (if there is ceiling) or to 10' A.F.F. if there is no ceiling. Telephone/data wiring by Telephone Contractor. Coordinate this work with Telephone Contractor before submitting bid.
62. Drawings are diagrammatic and shall not be scaled. Refer to architectural plans and elevations for exact location of all equipment. Electrical Contractor shall furnish and install all items required for a complete and acceptable wiring installation.
63. The electrical system shall be completely and effectively grounded as required in Article 250 of the National Electrical Code.
64. The electrical, telephone and cable television installations shall meet all requirements by the local utility companies.
65. Location of electrical equipment shown is approx. contractor shall field verify exact dimensions and field conditions before installing equipment to make sure installation comply with NEC.



CONSULT PROJ. NO.	SEAL
SUB-CONSULT PROJ. NO. 28-616	NAME: FERNANDO ANZOATEGUI LIC # 34032 PHONE # 305-262-7630 ADDRESS: 7240 S.W. 39TH TR MIAMI, FL 33155
BST PROJ. NO.	SIGNATURE: DATE: 05/13/08

CONSULTANT

ROUX ARCHITECT

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SUB-CONSULTANT

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Engineering Business #9374

NO.	DATE	DESCRIPTION	CHG/APPD
0	05-13-08	RELEASED FOR CONSTRUCTION	FA

PROJECT TITLE

SURFSIDE SOC

6940 ABBOTT AVENUE
MIAMI, FLORIDA 33141

KEY PLAN

DATE 05-13-08
DRAWN BY A.V.
CHECKED BY F.A.
APPROVED BY F.A.

NOT FOR CONSTRUCTION ☐
RELEASED FOR CONSTRUCTION ☒
AS-BUILT DRAWING ☐

DATABASE

m6213e0000.dwg

DRAWING TITLE

ELECTRICAL SYMBOL
LEGEND, ABBREVIATIONS
& GENERAL NOTES

GLC NO.

M6213

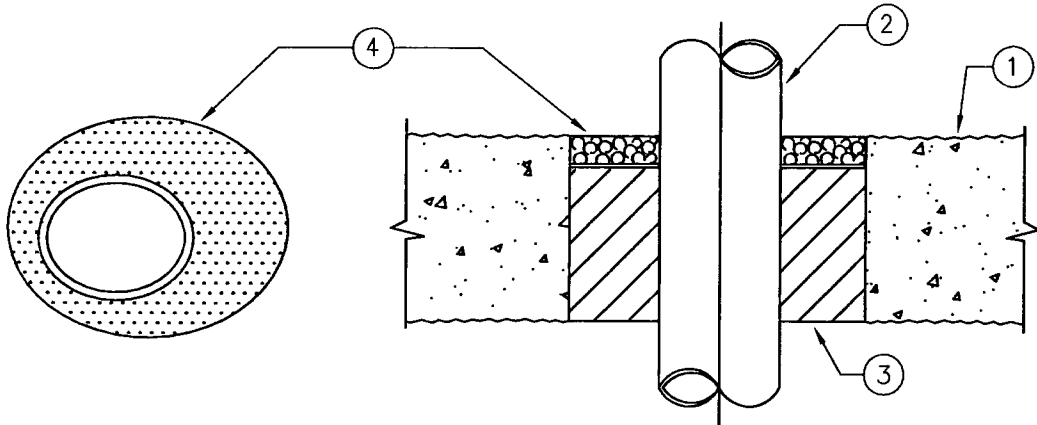
DRAWING NO.

E0000

SHEET 01 OF 6

ABBREVIATIONS

A.F.	AMP FRAME	H-O-A	HAND-OFF-AUTOMATIC
A.T.	AMP TRIM	HP	HORSE POWER
A.F.F.	ABOVE FINISHED FLOOR	HSP	HOUSE SERVICE PANEL SWITCHBOARD
AL	ALUMINUM	JB	JUNCTION BOX
ATS	AUTOMATIC TRANSFER SWITCH	LMS	LIGHT MOTION SWITCH
B'BD	BACKBOARD	L&S	LANDS AND STRAFA
BKR	BREAKER	MH	MOUNTING HEIGHT
BLDG	BUILDING	MCC	MOTOR CONTROL CENTER
BSC	BUILDING SERVICE CENTER	MTD	MOUNTED
BST	BELLSOUTH TELECOMMUNICATIONS	MP	METHOD OF PROCEDURE
C	CONDUIT	NEBS	NETWORK EQUIPMENT BUILDING SYSTEM
CB	CIRCUIT BREAKER	NF	NOT FUSIBLE
CCM	CIRCUIT CAPACITY MANAGER	NEC	NATIONAL ELECTRICAL CODE
CH	CHILLER	NIC	NOT IN CONTRACT
CKT	CIRCUIT	NL	NEW LOCATION
CLG	CEILING	OL	OVERLOAD
CO	CENTRAL OFFICE	PB	PULL BOX
COB	COLLOCATOR GROUND BUS	PNL	PANEL
COGB	CENTRAL OFFICE GROUND BUS	PVC	POLYVINYL CHLORIDE CONDUIT
CT	COOLING TOWER	RACCC	REMOTE ALARM CROSS CONNECT CABINET
COMM. CTR.	COMMUNICATION CENTER	RCPT	RECEPTACLE
DWG	DRAWING	RE	EXISTING TO BE REMOVED
EC	EMPTY CONDUIT	RF	FREQUENCY
EF	EXHAUST FAN	RL	EXISTING TO BE RELOCATED
ELECT	ELECTRICAL	RGS	RIGID GALVANIZED STEEL CONDUIT
EMT	ELECTRIC METALLIC TUBING	RM	ROOM
EMS	ENERGY MANAGEMENT SYSTEM	SDD	SMOKE DUCT DETECTOR
EX/EXIST.	EXISTING	SW	SWITCH
FACP	FIRE ALARM CONTROL PANEL	T	TRACK
FE	FIRE EXTINGUISHER	TEL	TELEPHONE
FLUOR/F	FIRE HOSE CABINET	UIO	UNLESS OTHERWISE INDICATED
FLUOR	FLUORESCENT	VFD	VARIABLE FREQUENCY DRIVE
FVNR	FULL VOLTAGE NON-REVERSING	WP	WEATHER PROOF
GFI	GROUND FAULT CIRCUIT INTERRUPTER	WT	WATER TIGHT
GRD	GROUND	XFMR	TRANSFORMER
GRS	GALVANIZED RIGID STEEL		



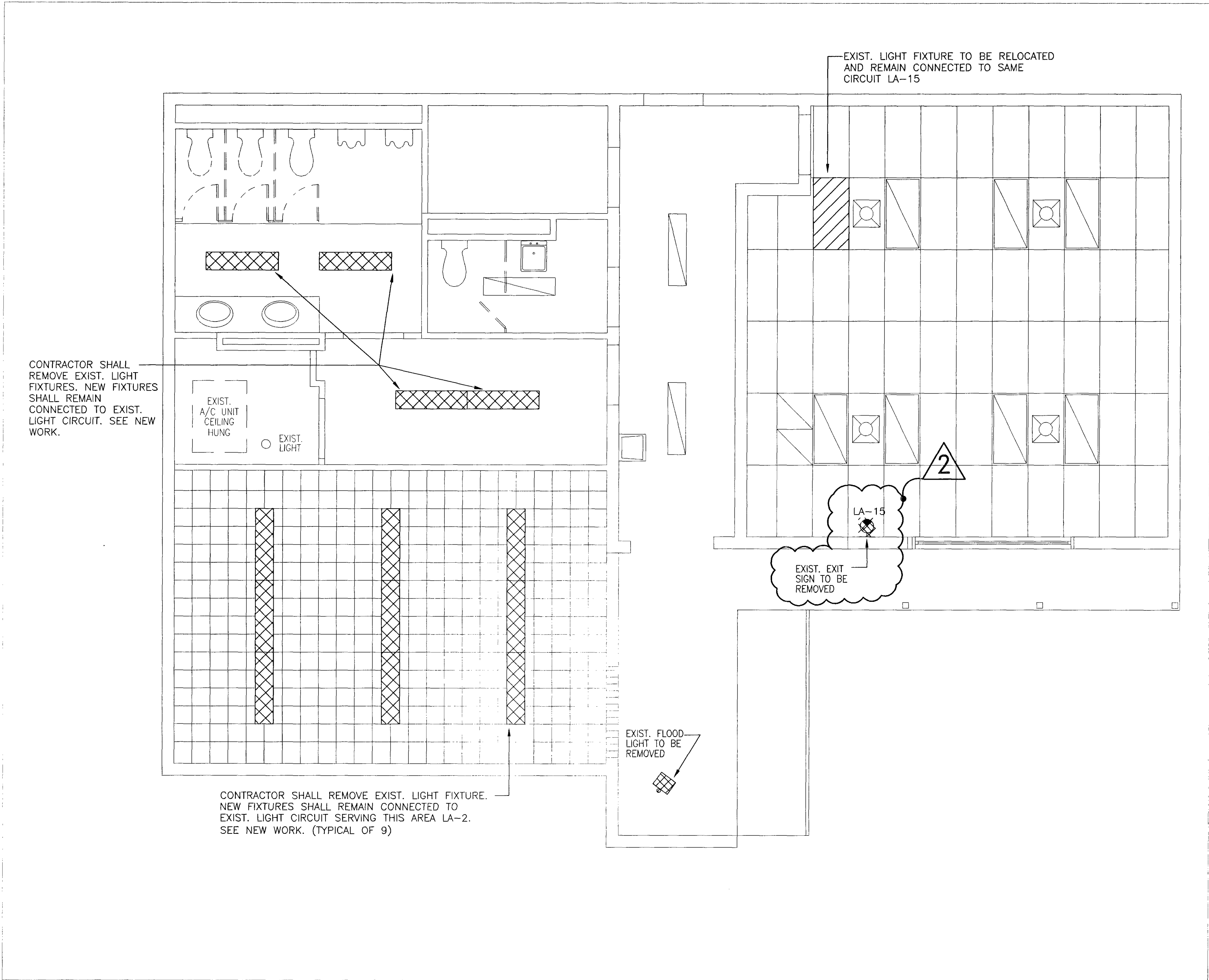
- ① PRE-RATED CONCRETE FLOORS OR BLOCK WALLS= MIN 3" THICK CONCRETE FLOOR ASSEMBLY MIN 3-1/2" THICK CONCRETE WALL ASSEMBLIES.
- ② METALLIC PIPE. A) STEEL PIPE- 8"DIAH (OR SMALLER) SCH. 40(OR HEAVIER) STEEL PIPE
B) IRON PIPE - 8"DIAH (OR SMALLER) CAST OR DUCTILE IRON PIPE.
C) CONDUIT- 4"DIAH (OR SMALLER) STEEL EMT OR CONDUIT
D) COPPER TUBING - 4"DIAH (OR SMALLER) TYPE L (OR HEAVIER) COPPER TUBING
E) COPPER PIPE- DIAH (OR SMALLER) REGULAR (OR HEAVIER) COPPER PIPE
THE ANNULAR SPACE SHALL BE MIN 1/2" TO MAX 7/8"
- ③ PACKING MATERIAL- MIN 2-1/2" THICKNESS OF MINERAL WOOL (MIN. 4.0 PCF) INSULATION, FIRMLY PACKED INTO THE OPENING AS PERMANENT FORM.
- ④ FYRE-SHIELD - MIN 1/2" THICKNESS OF SEALANT APPLIED WITHIN ANNULUS, FLUSH WITH TOP SURFACE OF FLOOR OR BOTH SURFACES OF WALL ASSEMBLY.
THROUGH PENETRATION FIRESTOPPING UL-1479

2 HOUR FIRE RATED PENETRATION FIRESTOP
FOR SINGLE METAL PIPE DETAIL #1

NOT TO SCALE.

ELECTRICAL SYMBOL LEGEND

SYMBOL	DESCRIPTION	MOUNTING
	DISCONNECT SWITCH, 3-POLÉS,30A, NON FUSIBLE	M.H. 60" TO CENTER LINE
	DUPLEX RECEPTACLE.	M.H. 18" TO CENTERLINE
	PANELBOARD VOLTAGE AS NOTED.	M.H. 6"-6" MIN. TO TOP
	JUNCTION BOX OR OUTLET BOX, 4" SQUARE BOX UNLESS OTHERWISE NOTED.	SEE SPECIFICATIONS
	RACEWAY RISER, UP OR DOWN AS NOTED.	
	NEW RACEWAY	SEE SPECIFICATIONS
	EXISTING RACEWAY	SEE SPECIFICATIONS
	HOMERUN TO PANEL,LETTERS INDICATE PANEL, NUMBERS INDICATE CIRCUIT. (3 WIRES), (4 WIRES), ETC. GROUNDWIRE NEUTRAL PHASE	SEE SPECIFICATIONS
	PULL BOX	M.H. 60" TO CENTER
	MOLDED CASE CIRCUIT BREAKER	
	EXIT LIGHT	CEILING/WALL
	FLUORESCENT LTG. FIXTURE. HEXAGON BESIDE FIXTURE INDICATES FIXTURE TYPE. LOWER CASE LETTER INDICATES WHICH MOTION SENSOR IS OR SWITCH CONTROLLING FIXTURE.	CEILING/WALL
	INCANDESCENT WALL MOUNTED FIXTURE. HEXAGON BESIDE FIXTURE INDICATES FIXTURE TYPE. LOWER CASE LETTER INDICATES WHICH MOTION SENSOR IS OR SWITCH CONTROLLING FIXTURE.	
	EXIST 4'-0" INDUSTRIAL FLUORESCENT FIXTURE WITH ASYMETRIC REFLECTOR TWO LAMPS .	
	DUAL HEAD SELF CONTAINED EMERGENCY BATTERY PACK AND LIGHTS.	
	FLUORESCENT STRIP	WALL MTD
	MOTION SENSOR WALL SWITCH. CAT. #WS-120/277 THE WATT STOPPER.	WALL MTD 48"-0" AFF
	LIGHT MOTION SENSOR - THE WATT STOPPER CAT.#C1200 PIR	STEM MTD.
	REFRIGERANT SENSOR. FURNISHED UNDER DIV. 15. CONNECTED UNDER DIV. 16	
	UNSWITCHED FLUORESCENT LTS.	STEM MTD.
	CIRCUIT BREAKER AND FUSE COMBINATION	
	SWITCH, 3WAY	
ALL SYMBOLS SHOWN ARE NOT NECESSARILY USED IN THIS PROJECT		



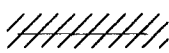
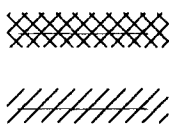
LIGHTING PLAN DEMOLITION WORK

SCALE: 1/4" = 1'-0"



DEMOLITION NOTES

1. LIGHT LINES INDICATE EXISTING TO REMAIN.
2. HATCH LINES INDICATE TO BE DEMOLISHED.
3. HATCH LINES INDICATE TO BE RELOCATED.



CONSULT P.R.J. NO.	SEAL
SUB-CONSULT P.R.J. NO.	NAME: FERNANDO ANTONIO
28-616	LIC. # 305-582-7630
	PHONE # 7240 S.W. 39TH TR
	ADDRESS MIAMI, FL 33155
BST P.R.J. NO.	SIGNATURE: [Signature]
	DATE: 05/13/08

CONSULTANT
ROUX ARCHITECT

116 GIRALDA AVENUE
CORAL GABLES, FL.
305-443-8116

SUB-CONSULTANT
**PROFESSIONAL CONSULTING
ENGINEERING INC.
MECHANICAL AND ELECTRICAL**
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OFFICE: (305) 262-7630 FAX: (305) 266-7798
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Engineering Business #9374

NO.	DATE	DESCRIPTION	CHKD/APPD
0	05-13-08	RELEASED FOR CONSTRUCTION	F.A.
1	06-30-08	BUILDING DEPT. COMMENTS	F.A.

PROJECT TITLE
SURFSIDE SOC

6940 ABBOTT AVENUE
MIAMI, FLORIDA 33141

KEY PLAN

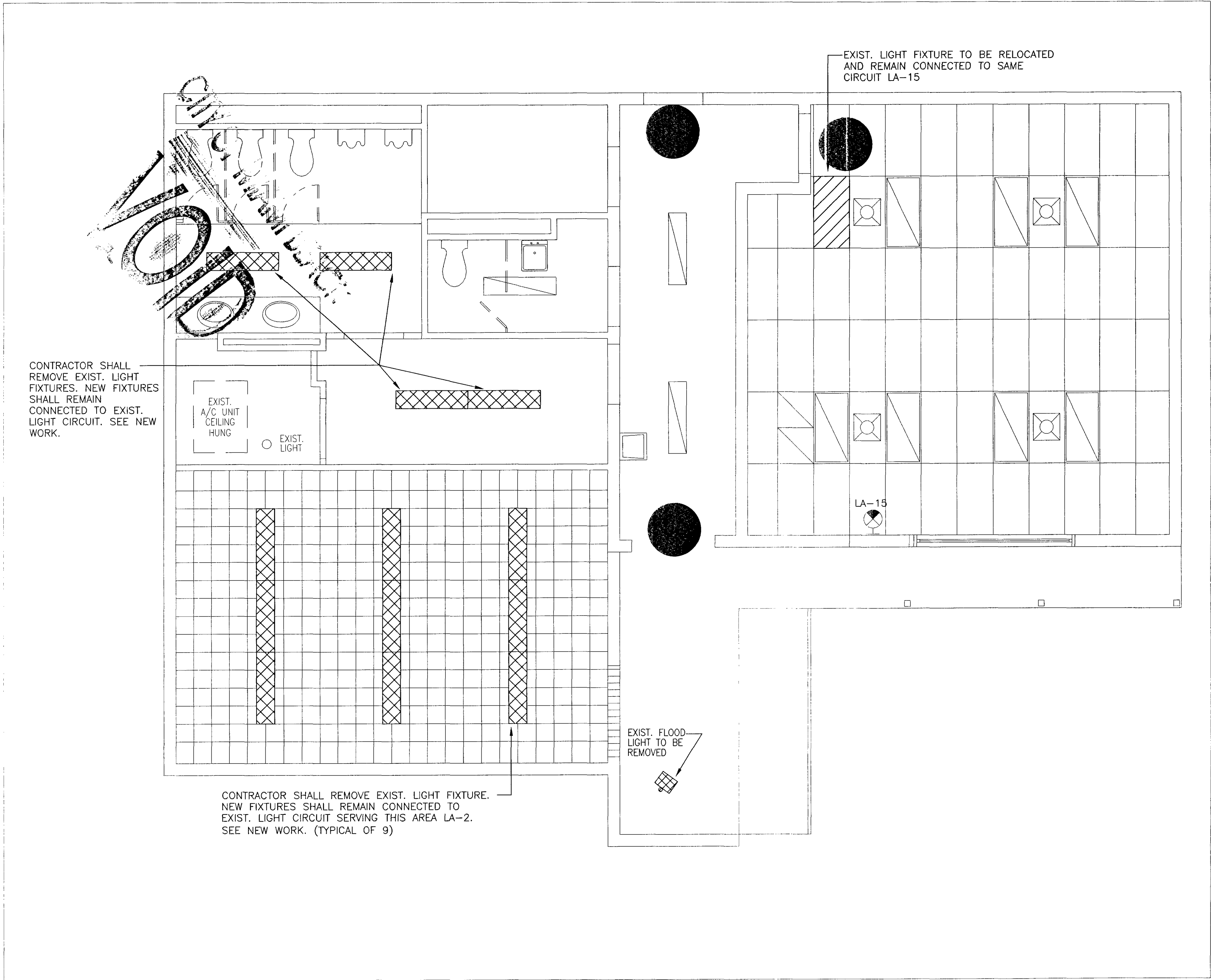
DATE 05-13-08
DRAWN BY A.V.
CHECKED BY F.A.
APPROVED BY F.A.

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RELEASED FOR CONSTRUCTION ☒
AS-BUILT DRAWING ☐

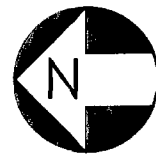
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M6213e1010D.dwg

DRAWING TITLE
**LIGHTING PLAN
DEMOLITION WORK**

GLC NO. M6213
DRAWING NO. E1010D
SHEET 02 OF 6

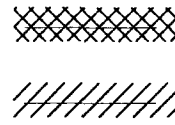


LIGHTING PLAN DEMOLITION WORK
SCALE: 1/4" = 1'-0"



DEMOLITION NOTES

1. LIGHT LINES INDICATE EXISTING TO REMAIN.
2. HATCH LINES INDICATE TO BE DEMOLISHED.
3. HATCH LINES INDICATE TO BE RELOCATED.



CONSULT PRJ. NO.	SEAL
SUB-CONSULT PRJ. NO.	NAME: FERNANDO LOPATELARI
28-616	LIC # 38032
	PHONE # 305-262-7630
	ADDRESS 17240 S.W. 39TH TRAIL
	MIAMI, FL 33155
BST PRJ. NO.	SIGNATURE: [Signature]
	DATE: 05/13/08

CONSULTANT
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SUB-CONSULTANT
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Engineering Business #9374

NO.	DATE	DESCRIPTION	CHG/APPD
0	05-13-08	RELEASED FOR CONSTRUCTION	FA

PROJECT TITLE
SURFSIDE SOC

6940 ABBOTT AVENUE
MIAMI, FLORIDA 33141

KEY PLAN

DATE 05-13-08
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APPROVED BY F.A.

NOT FOR CONSTRUCTION ☐
RELEASED FOR CONSTRUCTION ☒
AS-BUILT DRAWING ☐

DATABASE
M6213e1010D.dwg

DRAWING TITLE
**LIGHTING PLAN
DEMOLITION WORK**

GLC NO.	DRAWING NO.
M6213	E1010D
	SHEET 02 OF 6



CONSULT PRJ. NO.	SEAL
SUB-CONSULT PRJ. NO.	NAME: FORMWOD ANDERSON
28-616	LIC # 30033
	PHONE # 305-262-7630
	ADDRESS 7240 S.W. 39TH TR.
	MIAMI, FL 33155
BST PRJ. NO.	SIGNATURE: [Signature]
	DATE: 8/28/08

CONSULTANT
ROUX ARCHITECT

116 GIRALDA AVENUE
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Engineering Business #9374

NO.	DATE	DESCRIPTION	CHKD/APPD
0	05-13-08	RELEASED FOR CONSTRUCTION	F.A.
1	06-30-08	BUILDING DEPT. COMMENTS	F.A.

PROJECT TITLE
SURFSIDE SOC

6940 ABBOTT AVENUE
MIAMI, FLORIDA 33141

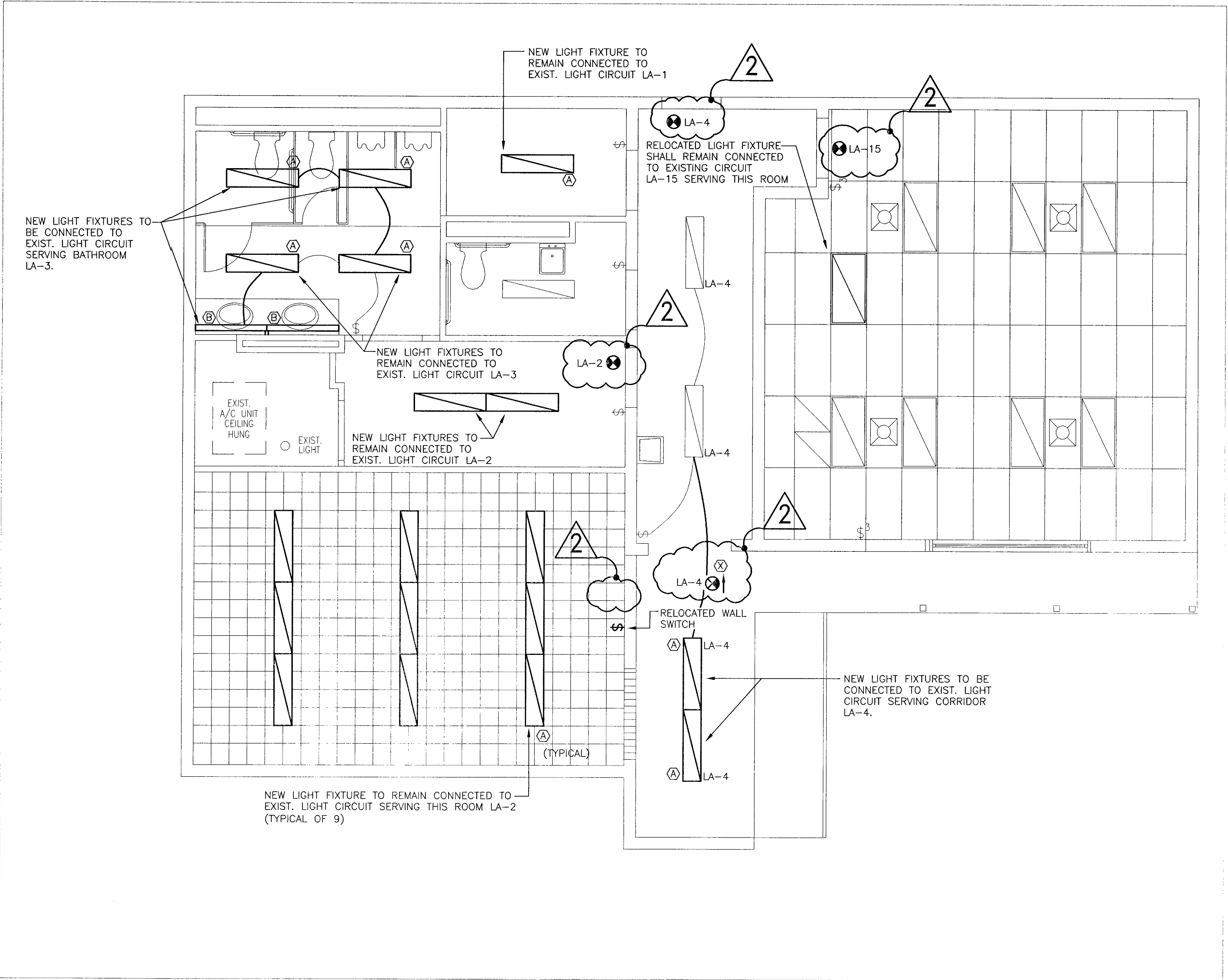
KEY PLAN

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DRAWN BY	A.V.
CHECKED BY	F.A.
APPROVED BY	F.A.
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AS-BUILT DRAWING	<input type="checkbox"/>

DATABASE
M6213e1011.dwg

DRAWING TITLE
**LIGHTING PLAN
NEW WORK**

GLC NO.	DRAWING NO.
M6213	E1011
	SHEET 03 OF 6



LIGHTING PLAN NEW WORK
SCALE: 1/4" = 1'-0"



NEW WORK NOTES

1. LIGHT LINES INDICATE EXISTING TO REMAIN.
2. DARK LINES INDICATE NEW WORK.
3. SEE SHEET E9000 FOR LIGHTING FIXTURE SCHEDULE.
4. ALL NEW POWERED EXIT SIGN SHALL BE WIRED AHEAD OF LIGHT SWITCH.

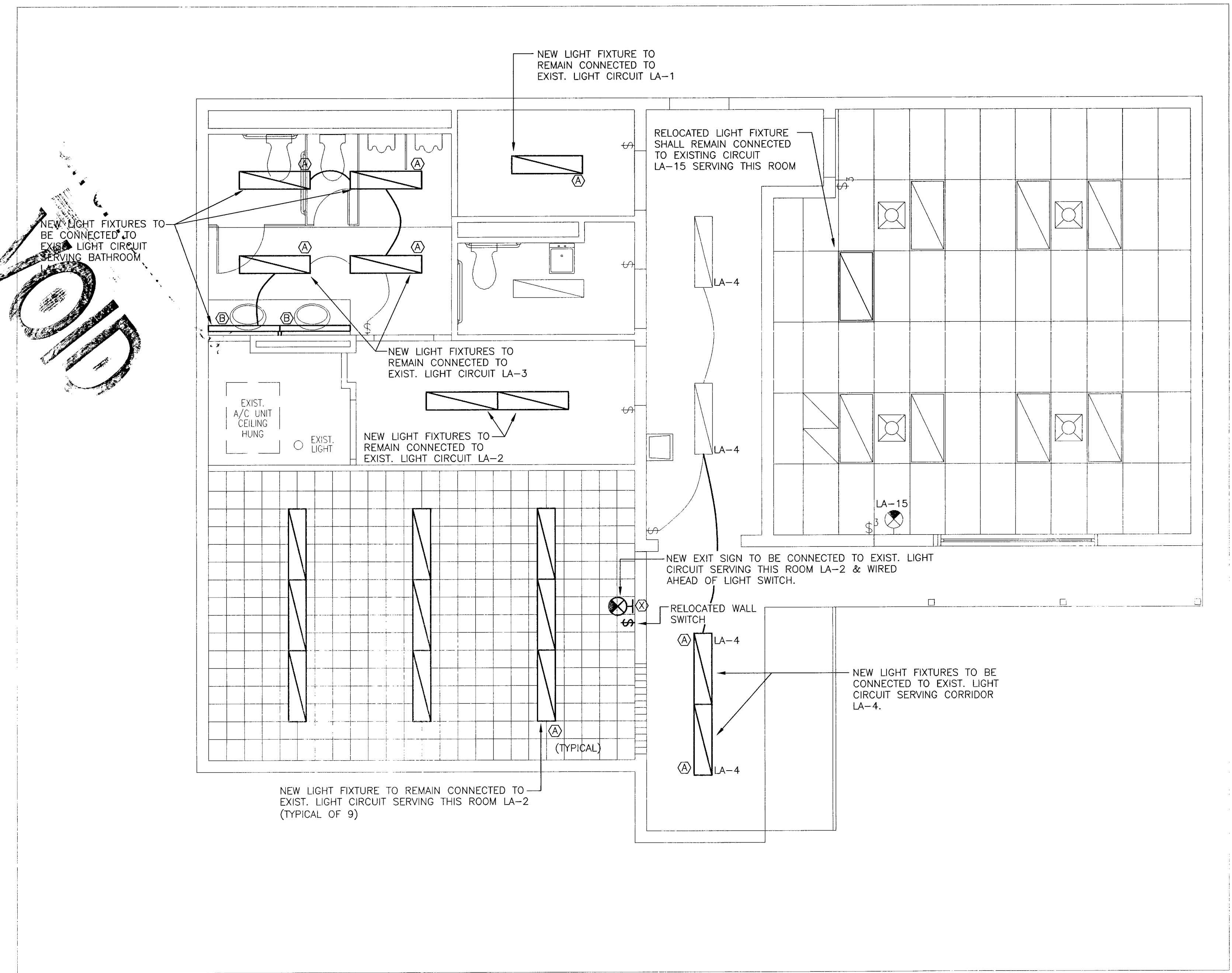
SUB-CONSULTANT

**PROFESSIONAL CONSULTING
ENGINEERING INC.
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7240 S.W. 39TH TERRACE
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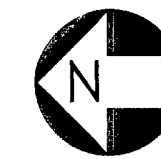
FFICE: (305) 262-7630 FAX: (305) 266-7798

E-MAIL: proconengineers@bellsouth.net
Engineering Business #9374



LIGHTING PLAN NEW WORK

SCALE: $1/4" = 1'-0"$



NEW WORK NOTES

1. LIGHT LINES INDICATE EXISTING TO REMAIN.
2. DARK LINES INDICATE NEW WORK.
3. SEE SHEET E9000 FOR LIGHTING FIXTURE SCHEDULE.

DATE	DESCRIPTION	CHKD./APPD.
05-13-08	RELEASED FOR CONSTRUCTION	F.A

PROJECT TITLE

SURFSIDE SOC

6940 ABBOTT AVENUE
MIAMI, FLORIDA 33141

KEY PLAN

DATE	05-13-08
DRAWN BY	A.V.
CHECKED BY	F.A
APPROVED BY	F.A

NOT FOR CONSTRUCTION	<input type="checkbox"/>
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AS-BUILT DRAWING	<input type="checkbox"/>

DATABASE
M6213e1011.dwg

DRAWING TITLE

LIGHTING PLAN NEW WORK

GLC NO.	DRAWING NO.
M6213	E1011
	SHEET 03 OF 6



CONSULT PRJ. NO.	SEAL
SUB-CONSULT PRJ. NO.	NAME: FERNANDO ANZATEGUI
28-616	LIC # 26002
	PHONE # 305-262-7630
	ADDRESS 7240 S.W. 39TH TR
	MIAMI, FL 33155
BST PRJ. NO.	SIGNATURE: [Signature]
	DATE: 05/13/08

CONSULTANT
ROUX ARCHITECT
116 GIRALDA AVENUE
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SUB-CONSULTANT
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Engineering Business #9374

NO.	DATE	DESCRIPTION	CHKD/APPD
0	05-13-08	RELEASED FOR CONSTRUCTION	FA

PROJECT TITLE
SURFSIDE SOC
6940 ABBOTT AVENUE
MIAMI, FLORIDA 33141

KEY PLAN

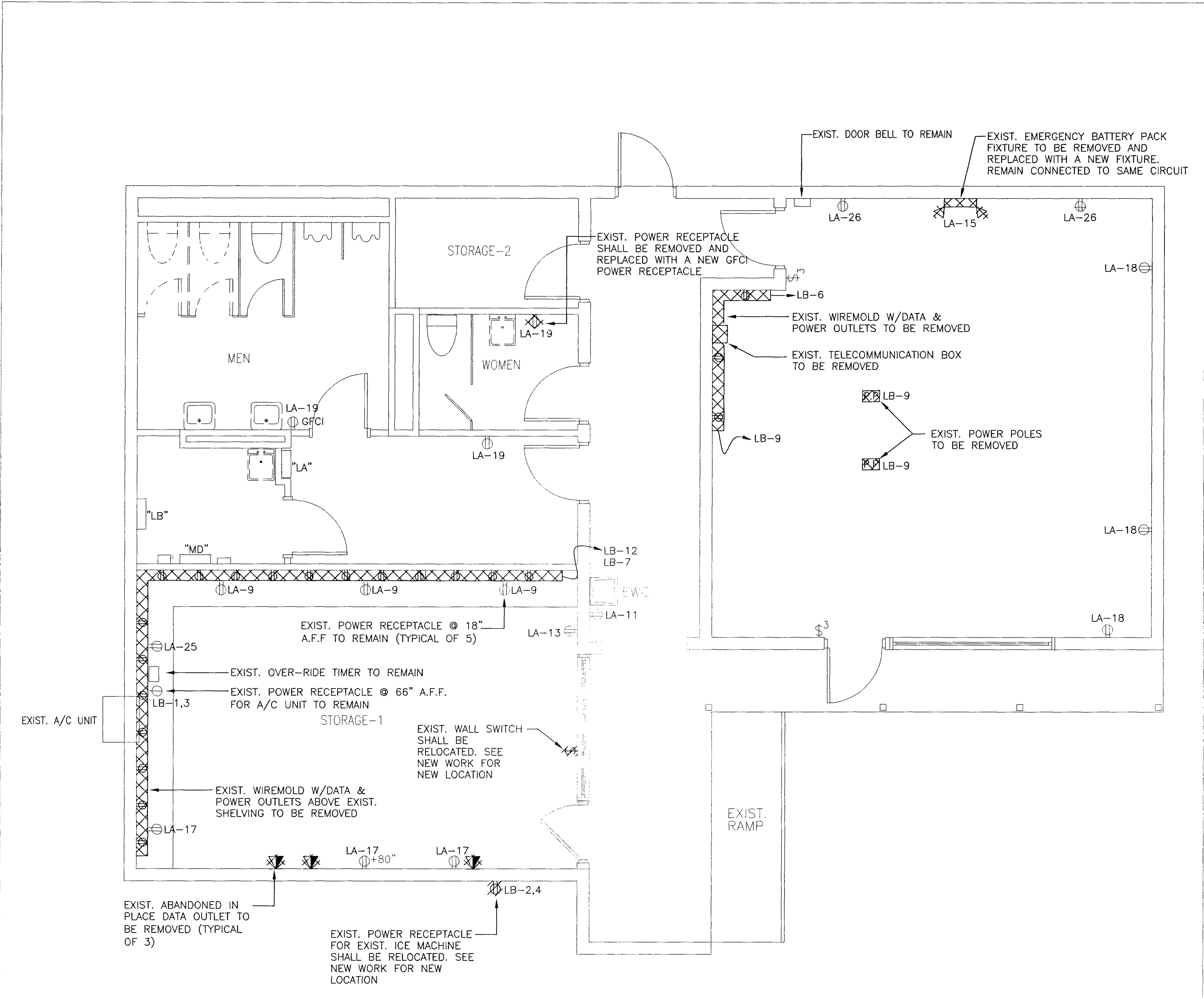
DATE 05-13-08
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CHECKED BY F.A.
APPROVED BY F.A.

NOT FOR CONSTRUCTION ☐
RELEASED FOR CONSTRUCTION ☒
AS-BUILT DRAWING ☐

DATABASE
M6213e2010D.dwg

DRAWING TITLE
**POWER PLAN
DEMOLITION WORK**

GLC NO. M6213
DRAWING NO. E2010D
SHEET 04 OF 6



POWER PLAN DEMOLITION WORK
SCALE: 1/4" = 1'-0"



DEMOLITION NOTES

1. LIGHT LINES INDICATE EXISTING TO REMAIN.
2. HATCH LINES INDICATE TO BE DEMOLISHED.
3. HATCH LINES INDICATE TO BE RELOCATED.
4. EXISTING CIRCUITS FEEDING EXISTING TO BE REMOVED POWER RECEPTACLES IN CREWS ROOM SHALL BE RE-USED FOR NEW RECEPTACLES.



CONSULT PRJ. NO.	SEAL
SUB-CONSULT PRJ. NO.	NAME: FERNANDO ANZATEGUI
28-616	LIC # 36032
	PHONE # 305-262-7630
	ADDRESS: 7240 S.W. 39TH TR
	MIAMI, FL 33155
BST PRJ. NO.	SIGNATURE: [Signature]
	DATE: 04/30/08

ROUX ARCHITECT

116 GIRALDA AVENUE
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Engineering Business #9374

NO.	DATE	DESCRIPTION	CHKD/APPD
0	05-13-08	RELEASED FOR CONSTRUCTION	FA
1	08-30-08	BUILDING DEPT. COMMENTS	FA

SURFSIDE SOC

6940 ABBOTT AVENUE
MIAMI, FLORIDA 33141

KEY PLAN

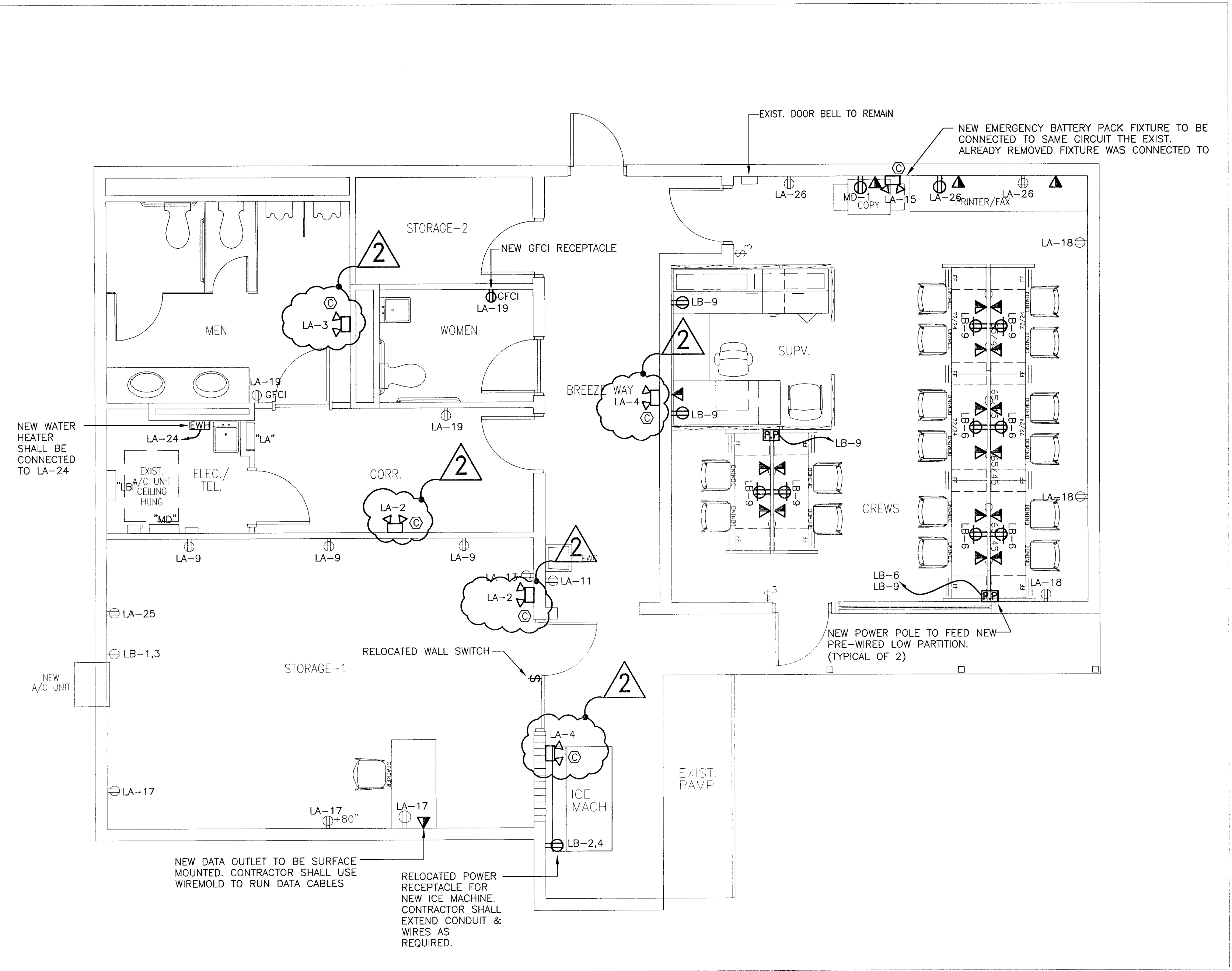
DATE 05-13-08
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CHECKED BY F.A.
APPROVED BY F.A.

NOT FOR CONSTRUCTION ☐
RELEASED FOR CONSTRUCTION ☒
AS-BUILT DRAWING ☐

DATABASE
M6213e2011.dwg

DRAWING TITLE
POWER PLAN
NEW WORK

GLC NO. M6213
DRAWING NO. E2011
SHEET 05 OF 6



POWER PLAN NEW WORK

SCALE: 1/4" = 1'-0"



NEW WORK NOTES

1. LIGHT LINES INDICATE EXISTING TO REMAIN.
2. DARK LINES INDICATE NEW WORK.
3. CONDUITS FOR NEW WALL MOUNTED POWER RECEPTACLES AND DATA OUTLETS IN CREWS ROOM SHALL BE CONCEALED BEHIND GYPSUM WALLBOARD.
4. ALL EMERGENCY BATTERY PACK UNITS SHALL BE CONNECTED TO THE SAME BRANCH CIRCUIT SERVING THE NORMAL LIGHTING IN THE AREA AND CONNECTED AHEAD OF LOCAL SWITCHES.



CONSULT PRJ. NO.	SEAL
SUB-CONSULT PRJ. NO.	NAME: FERNANDO AZUATEGUI
28-616	LIC # 35032
	PHONE # 305-262-7630
	ADDRESS 7240 S.W. 39TH TR
	MIAMI, FL 33155
BST PRJ. NO.	SIGNATURE: [Signature]
	DATE: 5/14/08

CONSULTANT
ROUX ARCHITECT
116 GIRALDA AVENUE
CORAL GABLES, FL.
305-443-8116

SUB-CONSULTANT
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Engineering Business #9374

NO.	DATE	DESCRIPTION	CHKD/APPR
0	05-13-08	RELEASED FOR CONSTRUCTION	FA

PROJECT TITLE
SURFSIDE SOC
6940 ABBOTT AVENUE
MIAMI, FLORIDA 33141

KEY PLAN

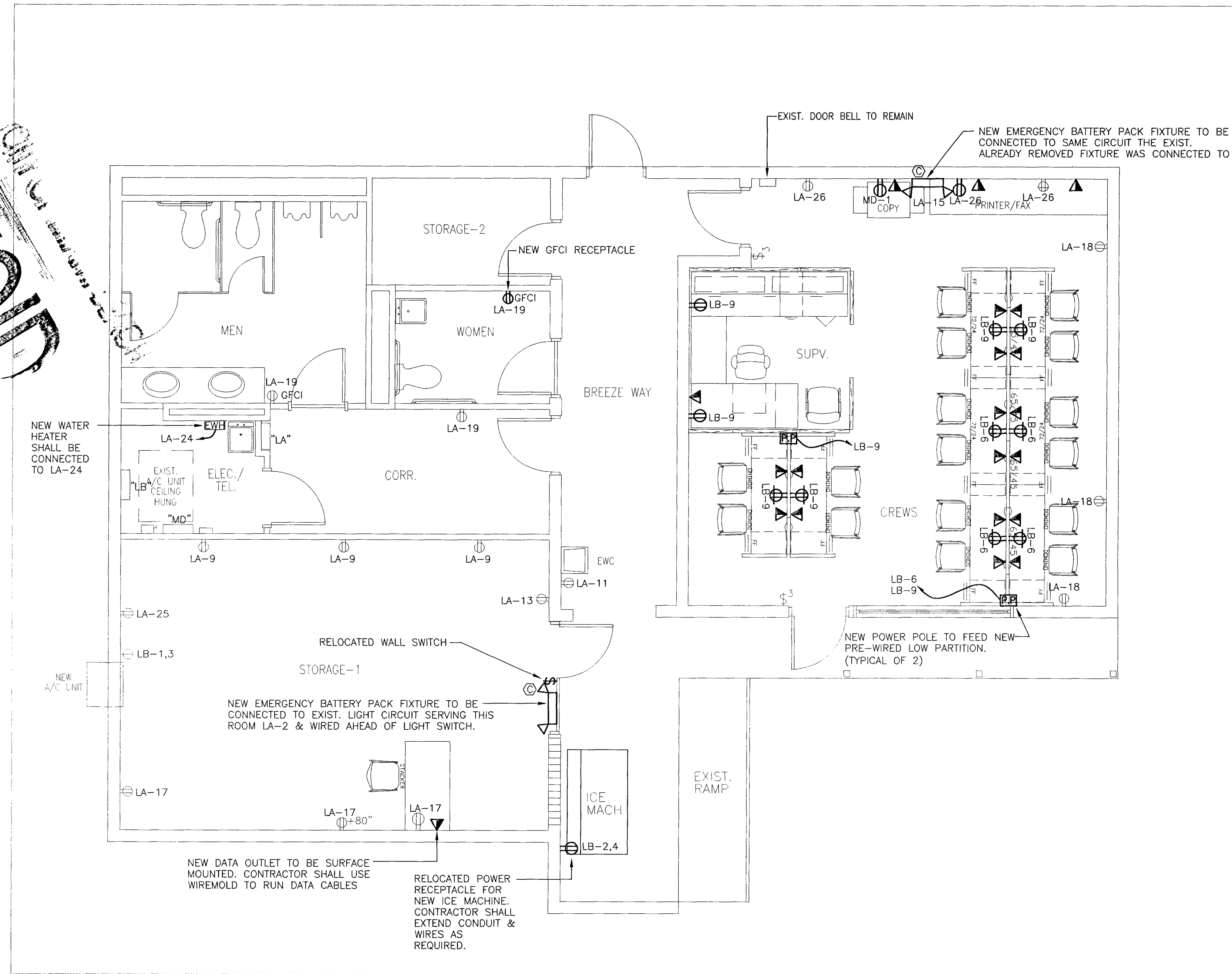
DATE 05-13-08
DRAWN BY A.V.
CHECKED BY F.A.
APPROVED BY F.A.

NOT FOR CONSTRUCTION ☐
RELEASED FOR CONSTRUCTION ☒
AS-BUILT DRAWING ☐

DATABASE
M6213e2011.dwg

DRAWING TITLE
**POWER PLAN
NEW WORK**

QLC NO. M6213
DRAWING NO. E2011
SHEET 05 OF 6



POWER PLAN NEW WORK

SCALE: 1/4" = 1'-0"



NEW WORK NOTES

1. LIGHT LINES INDICATE EXISTING TO REMAIN.
2. DARK LINES INDICATE NEW WORK.
3. CONDUITS FOR NEW WALL MOUNTED POWER RECEPTACLES AND DATA OUTLETS IN CREWS ROOM SHALL BE CONCEALED BEHIND GYPSUM WALLBOARD.



CONSULT P.R.J. NO.	SEAL
SUB-CONSULT P.R.J. NO.	NAME: FERNANDO ANZOTEGUI LIC. # 38032 PHONE # 305-262-7630 ADDRESS 7240 S.W. 39TH TR. MIAMI, FL. 33155
BST P.R.J. NO.	SIGNATURE: [Signature] DATE: 05/13/08

CONSULTANT
ROUX ARCHITECT
116 GIRALDA AVENUE
CORAL GABLES, FL.
305-443-8116

SUB-CONSULTANT
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MIAMI, FLORIDA 33155
OFFICE: (305) 262-7630 FAX: (305) 266-7798
E-MAIL: proconengineers@bellsouth.net
Engineering Business #9374

NO.	DATE	DESCRIPTION	CHKD/APPD
0	05-13-08	RELEASED FOR CONSTRUCTION	F.A.
1	06-12-08	BUILDING DEPT. COMMENTS	F.A.
2	06-30-08	BUILDING DEPT. COMMENTS	F.A.

PROJECT TITLE
SURFSIDE SOC
6940 ABBOTT AVENUE
MIAMI, FLORIDA 33141

KEY PLAN

DATE 05-13-08
DRAWN BY A.V.
CHECKED BY F.A.
APPROVED BY F.A.

NOT FOR CONSTRUCTION ☐
RELEASED FOR CONSTRUCTION ☒
AS-BUILT DRAWING ☐

DATABASE
M6213e9000

DRAWING TITLE
**PANEL SCHEDULES &
LIGHTING FIXTURE SCHEDULE**

GLC NO. **M6213**
DRAWING NO. **E9000**
SHEET 06 OF 6

TYPE	SQUARE-D NQD		(EXIST.)	MAIN BUS	150A M.C.B.										
SERVICE	NORMAL			AIC	10 KAIC										
VOLTAGE	120/240V, 3PH, 4W			LOCATION	ELEC. ROOM										
MOUNTING	SURFACE		FED FROM: FPL												
PANEL "MD"															
VOLT AMP	POLE	TRIP	CON DUIT	WIRE	REMARKS	CKT. NO.		CKT. NO.	REMARKS	WIRE	CON DUIT	TRIP	POLE	VOLT AMP	
1,800	1	20	1/2"	3#12	COPY MACHINE	1		2	EXISTING LOAD			20	1		
	1	20			SPARE	3		4	EXISTING LOAD				20	1	
	1	20			SPARE	5		6							
	1	20			SPARE	7		8	PANEL "LB"				100	2	
	1	20			SPARE	9		10	EXISTING LOAD				20	1	
	2	150			PANEL "LA"	11		12							
						13		14	A/C UNIT OUTSIDE				40	2	
	1	20			SPACE	15		16	SPACE						
	1	20			SPACE	17		18	SPACE						
	1	20			SPACE	19		20	SPACE						
	1	20			SPACE	21		22	SPACE						
	1	20			SPACE	23		24	SPACE						
TOTAL DEMAND LOAD: 9,400VA (READING)*125% + 1,800VA (BEING ADDED) = 13,550VA															
I = 32.5AMPS @ 240 V															
NOTE:															
(1) ELECTRICAL CONTRACTOR SHALL RE-USE EXISTING 1x20A AND RUN NEW CONDUIT AND WIRES AS PER PANEL SCHEDULE.															

TYPE _____ SQUARE-D NQD _____ (EXIST.) _____ MAIN BUS _____ 225A M.L.O. _____
SERVICE _____ NORMAL _____ AIC _____ 10 KAIC _____
VOLTAGE _____ 120/240V, 1PH, 3W _____ LOCATION _____ ELEC. ROOM _____
MOUNTING _____ SURFACE _____ FED FROM: "MD" _____

PANEL "LB"

VOLT AMP	POLE	TRIP	CON DUIT	WIRE	REMARKS	CKT. NO.	CKT. NO.	REMARKS	WIRE	CON DUIT	TRIP	POLE	VOLT AMP																		
② ① 962	2	15	1/2"	3#12	A/C STORAGE-1 ROOM	1	2	ICE MACHINE	3#12	1/2"	20	2																			
					WEST GATE	3	4	6						RECEP. CREWS ROOM	5	6	8	EXISTING LOAD	7	8	10	EXISTING LOAD	11	12	SPACE	13	14	SPACE	15	16	SPACE
					SPARE	9	10	11						12	13	14	15	16													
					RECEP. CREWS ROOM	11	12	13						14	15	16															
					EXISTING LOAD	13	14	15						16																	
					SPACE	15	16																								
					SPACE	16																									
					SPACE	16																									
					SPACE	16																									
					SPACE	16																									

TOTAL DEMAND LOAD: 5,000VA (READING)*125% - 4,320VA (BEING REMOVED) = 1,930VA

I = 8AMPS @ 240 V

NOTES:

① ELECTRICAL CONTRACTOR SHALL PROVIDE/INSTALL NEW LABEL TO READ "SPARE".

② ELECTRICAL CONTRACTOR SHALL REMOVE EXIST. 2x20A CIRCUIT BREAKER & SHALL PROVIDE/INSTALL NEW 2x15A CIRCUIT BREAKER AND RE-USE EXIST. CONDUIT & WIRES FEEDING EXISTING A/C UNIT. NO NEW LOAD IS BEING ADDED TO THIS CIRCUIT.

TYPE SQUARE-D NQD
SERVICE NORMAL
VOLTAGE 120/240V, 1PH, 3W
MOUNTING SURFACE

(EXIST.)
PANEL "LA"

FED FROM: "MD"

MAIN BUS 225A M.L.O.
AIC 10 KAIC
LOCATION CORRIDOR

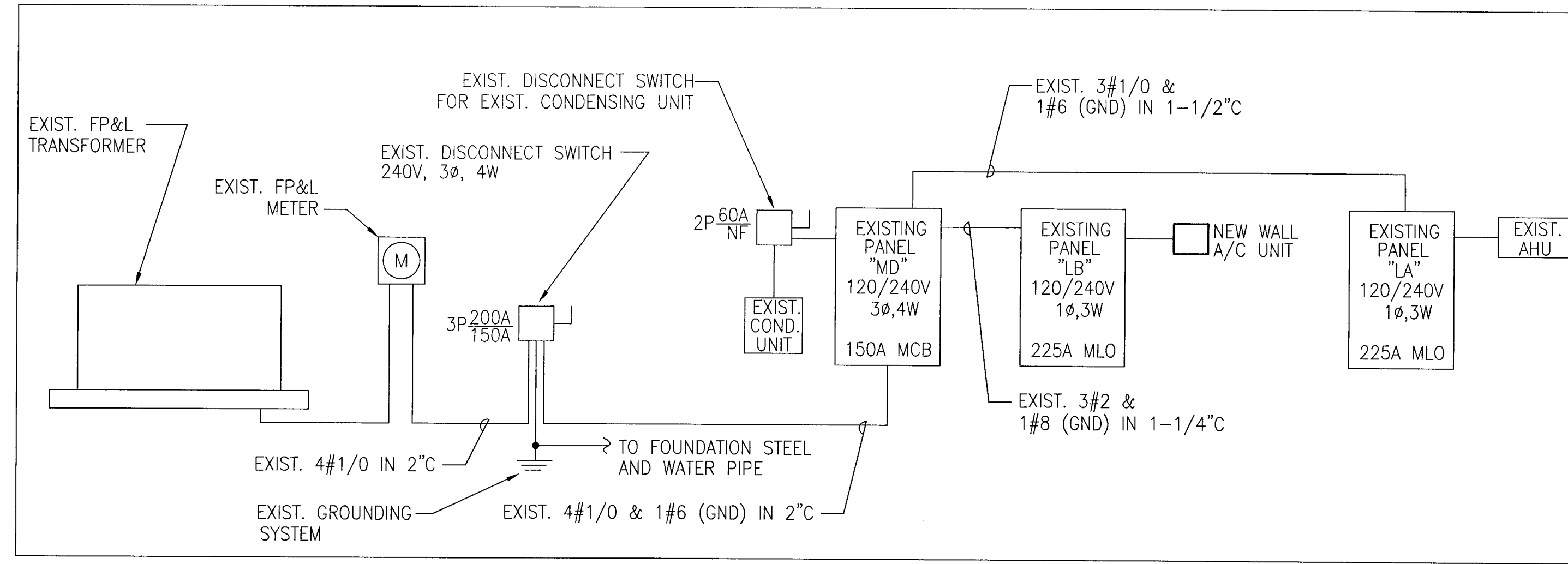
VOLT AMP	POLE	TRIP	CON DUIT	WIRE	REMARKS	CKT. NO.	CKT. NO.	REMARKS	WIRE	CON DUIT	TRIP	POLE	VOLT AMP
400	1	20			CLNG. LIGHTS STRG.	1	2	STORAGE-1/CORR. LIGHTS	#12	1/2"	20	1	902
	1	20	1/2"	#12	LIGHTS MENS TOIL/MEC.RM	3	4	LIGHTS PASS. & LOCKER	#12	1/2"	20	1	323
	1	20			RECEP. STRG/MEN/FUT.TOIL.	5	6	RECEP. LOCKER/STRG.			20	1	
	1	20			EXISTING LOAD	7	8	RECEP. MEC/MAINT. EAST			20	1	
	1	20			ASS. RM EAST WALL RECEP.	9	10	EAST GATE			20	1	
	1	20			WATER COOLER	11	12	ASS. W & N WALL RECEP.			20	1	
	1	20			ASS. RM SOUTH WALL RECEP.	13	14	MAINT. S WALL RECEP.			20	1	
	1	20			LIGHTS CREWS ROOM	15	16	MAINT. N WALL RECEP.			20	1	
	1	20			MAINT. NORTH WALL RECEP.	17	18	EXISTING LOAD			20	1	
	1	20			MAINT. SOUTH WALL RECEP.	19	20	PARKING LOT LIGHTS			20	1	
	2	20			AIR CONDITIONING	21	22	PARKING LOT LIGHTS			20	1	
	1	20			ASS. RM NORTH WALL RECEP.	23	24	WATER HEATER	3#8	3/4"	40	1	3,200
	1	20			MEN TOILET RECEP.	25	26	RECEP. CREWS ROOM	#12	1/2"	20	1	1,080
	1	20			EXISTING LOAD	27	28	EXISTING LOAD			20	1	
1	20			EXISTING LOAD	29	30	EXISTING LOAD			20	1		

TOTAL DEMAND LOAD: 4,320VA (READING)*125% + 3,805VA (BEING ADDED) = 9,205VA

I = 38.4AMPS @ 240 V

NOTES:

- EXISTING LOAD IN THIS CIRCUIT IS 160VA & 160VA ARE BEING ADDED FOR A TOTAL OF 320VA.
- EXISTING LOAD IN THIS CIRCUIT IS 160VA & 240VA ARE BEING ADDED FOR A TOTAL OF 400VA.
- EXISTING LOAD IN THIS CIRCUIT IS 880VA & 20VA ARE BEING ADDED FOR A TOTAL OF 900VA.
- EXISTING LOAD IN THIS CIRCUIT IS 900VA & 180VA ARE BEING ADDED FOR A TOTAL OF 1,080VA.
- CONTRACTOR SHALL PROVIDE/INSTALL NEW 1x40A CIRCUIT BREAKER AND RUN NEW CONDUIT & WIRES AS PER SCHEDULE.



LIGHTING FIXTURE SCHEDULE									
TYPE	DESCRIPTION	MOUNTING	MANUFACTURER	CATALOG NUMBER	LAMPS / FIXTURE				REMARKS
					No.	VOLTS	WATTS EA.	TYPE	
A	FLUORESCENT WRAPAROUND	STEM	DAYBRITE	OWN-232-UNV-1/2EB	2	120	32W.EA	T8	-CONTRACTOR TO VERIFY MOUNTING HEIGHT
B	WALL MOUNTED FLUORESCENT	SURFACE WALL	DAYBRITE	CLDW132-UNV-1/2EB	1	120	32W	T8	
C	EMERGENCY BATTERY LAMP	SURFACE WALL 7'-0" AFF	BEGHELLI	XLP-S2-BLK	2	120	5W.EA	XLP	
X	EXIT SIGN	CEILING SURFACE	BEGHELLI	OL2-SA-LR-1-W-CS-120SA	1	120	1.1W	LED	

ELECTRICAL PANEL SCHEDULES

N.T.S.

TYPE: SQUARE-D NQD (EXIST.)

SERVICE: NORMAL

VOLTAGE: 120/240V, 1PH, 3W

MOUNTING: SURFACE

MAIN BUS: 150A M.C.B.

AIC: 10 KAIC

LOCATION: ELEC. ROOM

PANEL "MD"

FED FROM: FPL

VOLT AMP	POLE	TRIP	CON DUIT	WIRE	REMARKS	CKT. NO.	CKT. NO.	REMARKS	WIRE	CON DUIT	TRIP	POLE	VOLT AMP
1,800	1	20	1/2"	3#12	COPY MACHINE	1	2	EXISTING LOAD			20	1	
	1	20			SPARE	3	4	PANEL "LB"					
	1	20			SPARE	5	6				100	3	
	1	20			SPARE	7	8						
	1	20			SPARE	9	10	A/C UNIT OUTSIDE			40	3	
	1	20			SPARE	11	12						
	1	20			SPARE	13	14						
	1	20			SPARE	15	16	SPACE					
	1	20			SPARE	17	18	SPACE					
	1	20			SPARE	19	20	SPACE					
	1	20			SPARE	21	22	SPACE					
	1	20			SPARE	23	24	SPACE					

TOTAL DEMAND LOAD: 4,464VA (READING)*125% + 1,800VA (BEING ADDED) = 7,380VA

I = 30.75AMPS @ 240 V

NOTE:

① ELECTRICAL CONTRACTOR SHALL RE-USE EXISTING 1x20A AND RUN NEW CONDUIT AND WIRES AS PER PANEL SCHEDULE.

TYPE: SQUARE-D NQD (EXIST.)

SERVICE: NORMAL

VOLTAGE: 120/240V, 1PH, 3W

MOUNTING: SURFACE

MAIN BUS: 225A M.L.O.

AIC: 10 KAIC

LOCATION: ELEC. ROOM

PANEL "LB"

FED FROM: "MD"

VOLT AMP	POLE	TRIP	CON DUIT	WIRE	REMARKS	CKT. NO.	CKT. NO.	REMARKS	WIRE	CON DUIT	TRIP	POLE	VOLT AMP
962	2	15	1/2"	3#12	A/C STORAGE-1 ROOM	1	2	ICE MACHINE	3#12	1/2"	20	2	
	1	20			WEST GATE	5	6	RECEP. CREWS ROOM			20	1	
	1	20			SPARE	7	8	EXISTING LOAD			20	1	
	1	20			RECEP. CREWS ROOM	9	10	EXISTING LOAD			20	1	
	1	20			EXISTING LOAD	11	12	SPARE			20	1	
					SPACE	13	14	SPACE			20	1	
					SPACE	15	16	SPACE					
					SPACE		18	SPACE					

TOTAL DEMAND LOAD: 5,000VA (READING)*125% - 4,320VA (BEING REMOVED) = 1,930VA

I = 8AMPS @ 240 V

NOTES:

① ELECTRICAL CONTRACTOR SHALL PROVIDE/INSTALL NEW LABEL TO READ "SPARE".

② ELECTRICAL CONTRACTOR SHALL REMOVE EXIST. 2x20A CIRCUIT BREAKER & SHALL PROVIDE/INSTALL NEW 2x15A CIRCUIT BREAKER AND RE-USE EXIST. CONDUIT & WIRES FEEDING EXISTING A/C UNIT. NO NEW LOAD IS BEING ADDED TO THIS CIRCUIT.

TYPE: SQUARE-D NQD (EXIST.)

SERVICE: NORMAL

VOLTAGE: 120/240V, 1PH, 3W

MOUNTING: SURFACE

MAIN BUS: 225A M.L.O.

AIC: 10 KAIC

LOCATION: CORRIDOR

PANEL "LA"

FED FROM: "MD"

VOLT AMP	POLE	TRIP	CON DUIT	WIRE	REMARKS	CKT. NO.	CKT. NO.	REMARKS	WIRE	CON DUIT	TRIP	POLE	VOLT AMP
400	1	20			CLNG LIGHTS STRG.	1	2	STORAGE-1/CORR. LIGHTS	#12	1/2"	20	1	900
	1	20	1/2"	#12	LIGHTS MENS TOIL/MEC.RM	3	4	LIGHTS PASS. & LOCKER	#12	1/2"	20	1	320
	1	20			RECEP. STRG/MEN/FUT.TOIL.	5	6	RECEP. LOCKER/STRG.			20	1	
	1	20			EXISTING LOAD	7	8	RECEP. MEC/MAINT. EAST			20	1	
	1	20			ASS. RM EAST WALL RECEP.	9	10	EAST GATE			20	1	
	1	20			WATER COOLER	11	12	ASS. W & N WALL RECEP.			20	1	
	1	20			ASS. RM SOUTH WALL RECEP.	13	14	MAINT. S WALL RECEP.			20	1	
	1	20			LIGHTS CREWS ROOM	15	16	MAINT. N WALL RECEP.			20	1	
	1	20			MAINT. NORTH WALL RECEP.	17	18	EXISTING LOAD			20	1	
	1	20			MAINT. SOUTH WALL RECEP.	19	20	PARKING LOT LIGHTS			20	1	
	2	20			AIR CONDITIONING	21	22	PARKING LOT LIGHTS			20	1	
	1	20			ASS. RM NORTH WALL RECEP.	25	26	WATER HEATER	3#8	3/4"	40	1	3,200
	1	20			MEN TOILET RECEP.	27	28	RECEP. CREWS ROOM	#12	1/2"	20	1	1,080
	1	20			EXISTING LOAD	29	30	EXISTING LOAD			20	1	

TOTAL DEMAND LOAD: 4,320VA (READING)*125% + 3,800VA (BEING ADDED) = 9,200VA

I = 38.3AMPS @ 240 V

NOTES:

① EXISTING LOAD IN THIS CIRCUIT IS 160VA & 160VA ARE BEING ADDED FOR A TOTAL OF 320VA.

② EXISTING LOAD IN THIS CIRCUIT IS 160VA & 240VA ARE BEING ADDED FOR A TOTAL OF 400VA.

③ EXISTING LOAD IN THIS CIRCUIT IS 880VA & 20VA ARE BEING ADDED FOR A TOTAL OF 900VA.

④ EXISTING LOAD IN THIS CIRCUIT IS 900VA & 180VA ARE BEING ADDED FOR A TOTAL OF 1,080VA.

⑤ CONTRACTOR SHALL PROVIDE/INSTALL NEW 1x40A CIRCUIT BREAKER AND RUN NEW CONDUIT & WIRES AS PER SCHEDULE.

TYPE	DESCRIPTION	MOUNTING	MANUFACTURER	CATALOG NUMBER	LAMPS / FIXTURE				REMARKS
					No.	VOLTS	WATTS EA.	TYPE	
A	FLUORESCENT WRAPAROUND	STEM	DAYBRITE	OWN-232-UNV-1/2EB	2	120	32W.EA	T8	
B	WALL MOUNTED FLUORESCENT	SURFACE WALL	DAYBRITE	CLDW132-UNV-1/2EB	1	120	32W	T8	-CONTRACTOR TO VERIFY MOUNTING HEIGHT
C	EMERGENCY BATTERY LAMP	SURFACE WALL 7"-0" AFF	BEGHELLI	XLP-S2-BLK	2	120	5W.EA	XLP	
X	EXIT SIGN	CEILING SURFACE	BEGHELLI	OL2-SA-LR-1-W-CS-120SA	1	120	1.1W	LED	

ELECTRICAL PANEL SCHEDULES

N.T.S.

CONSULT PROJ. NO.

SEAL

SUB-CONSULT PROJ. NO.

28-616

DATE

05/13/08

BST PROJ. NO.

CONSULTANT

ROUX ARCHITECT

116 GIRALDA AVENUE
CORAL GABLES, FL.
305-443-8116

SUB-CONSULTANT

PROFESSIONAL CONSULTING
ENGINEERING INC.
MECHANICAL AND ELECTRICAL
7240 S.W. 39TH TERRACE
MIAMI, FLORIDA 33155
OFFICE: (305) 262-7630 FAX: (305) 266-7798
E-MAIL: proconengineers@bellsouth.net
Engineering Business #9374

NO.	DATE	DESCRIPTION	CHKD/APPD
0	05-13-08	RELEASED FOR CONSTRUCTION	FA

PROJECT TITLE

SURFSIDE SOC

6940 ABBOTT AVENUE
MIAMI, FLORIDA 33141

KEY PLAN

DATE

05-13-08

DRAWN BY

A.V.

CHECKED BY

F.A.

APPROVED BY

F.A.

NOT FOR CONSTRUCTION

RELEASED FOR CONSTRUCTION

AS-BUILT DRAWING

☐

☒

☐

DATABASE

M6213e9000

DRAWING TITLE

PANEL SCHEDULES &
LIGHTING FIXTURE SCHEDULE

GLC NO.

M6213

DRAWING NO.

E9000

SHEET 06 OF 6

B0902457 UPLIFT TEST

CMB BUILDING DEPT

0

2.4

UPLIFT TEST

A. Tomassi Roof Testing, Inc.
5451 NW 24th Street, Suite # 3
Margate, Florida 33063

TAS – 106-95

Tel. 954 – 979 – 1180

Fax. 954 – 979 – 1182

Roof Tile Static Uplift Test Report

Test Date:	May 14, 2009
Project:	6940 Abbot Ave, Miami Beach, Fl.
Contractor:	RSI Of Florida
Permit #:	<u>B0902457</u>
Roof Pitch:	3:12
Tile Installation Date:	May 8, 2009
Attachment Method:	Polyfoam
Tile Type:	Hanson Slate Flat

All testing is in strict accordance with the 2004 Florida Building Code,
High Velocity Hurricane Zone Testing Application Standard (TAS) 106

Each Test location was pulled using a Imada Force Gauge to a minimum of 35 lbs.

TEST SUMMARY:

Roof Area	Total # of Tests	# of Tests Passed	% Passed
Field	11	11	100%
Corner	8	8	100%
Perimeter	12	12	100%
Hips	3	3	100%
Ridge	2	2	100%

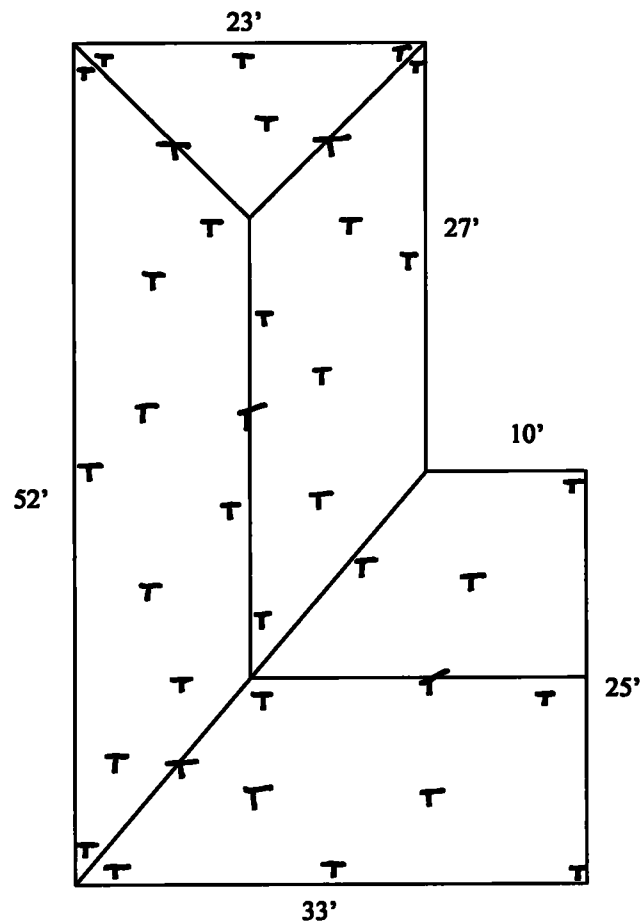
TEST RESULTS: PASSED

See Attached Sketch For Further Details:

Report Reviewed by:


Dominick Scarfo, AR0010248

Dade County Certified Testing Agency # 07-0720.04 Revises: #03-0317.03
Testing * Design Specifications * Management * Quality Assurance



T = Tested Tile & Passed

F = Tested Tile & Failed

B = Broken Tile

M = Missing Tiles



TAS 106- Test Locations
All Dimensions Are Approximate

Project:

A – T & T (Sloped Tile Roof)

6940 Abbot Avenue

Miami Beach, Fl.

Certificate of Calibration

KELC-71407


Kimball Electronic Laboratory, Inc.
Precision Measurement Equipment Specialists

Purchase Order #

KIMBALL ELECTRONIC LABORATORY, INC
8081 W 21 LANE
HIALEAH, FL. 33016

A. TOMASSI ROOF TESTING, INC.
5451 NW 24 STREET
#3

MARGATE FL 33063

Description: PULL TESTER

Manufacturer: IMADA
Model Number: DPSH-440
Part Number: DPSH-440
Range: 0-440 LBS

Serial Number: 199171
Customer I.D.: N/A
Cust. Barcode: N/A
Cust. Location: N/A
Specifications: +/- .2 LBS

Cal Date: 01-May-09
Cal. Due Date: 01-Aug-09
Cal. Interval: 3 MONTHS

Received: IN TOLERANCE
Calibration Result: PASS
Environmental Conditions: 76 DEG F / 55 % RH
Performed By: JULIO GARCIA
Procedure: SYN156

This is to certify that the above listed instrument meets or exceeds all specifications as stated in the referenced procedure at the points tested (unless otherwise noted). It has been calibrated using measurement standards traceable to the National Institute of Standards and Technology (NIST), or to NIST accepted intrinsic standards of measurement, or derived by the ratio type of self-calibration techniques. This calibration is in accordance with Kimball Electronic Laboratory, Inc. Quality Assurance Manual. KEL's Quality system is A2LA-Accredited to ISO/IEC-17025 and compliant with MIL-STD-4602A and ANSI/NCCL Z540. TURs when applicable are greater than or equal to 4:1; with expanded uncertainty used to calculate the Test Uncertainty Ratio, with a coverage factor of 2 at a confidence level of approximately 95%, unless otherwise noted. Any number of factors may cause the calibration item to drift out of calibration before the recommended interval has expired.

THIS UNIT WAS FOUND TO BE IN TOLERANCE AT THE TIME OF CALIBRATION.
PERFORMED ROUTINE CAL. NO ADJUSTMENTS REQUIRED

Company	I.D.	Description	Last Cal.	Cal. Due Date
KIM001		AKO TSD 2052-SB DEAD WEIGHT SYSTEM		31-Dec-09

Certified by:
JULIO GARCIA

01-May-09

2:18:58 PM

Approved By:
JAVIER BALCEIRO

04-May-09

2:19:14 PM

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Kimball Electronic Laboratory, Inc. - 8081 W. 21st Lane - Hialeah, FL 33016

Tel: 305-822-5792 - Toll Free: 800-398-1094 - Fax: 305-362-3125 - Web: www.kellabs.com

B0902457

IV. Scheduled Dates:

Asbestos Removal (mm/dd/yy): Start Date / / Finish Date / /

Demo/Renovation (mm/dd/yy): Start Date / / Finish Date / /

V. Procedures to be used (Check All That Apply):

☒ Strip & Removal ☐ Glove Bag ☐ Bulldozer ☐ Wrecking Ball ☐ Wet Method ☐ *Dry Method ☐ Explode ☐ Burn Down

Other * **MUST OBTAIN PRIOR DEP APPROVAL BEFORE USING A DRY METHOD**

VI. Procedures for Unexpected RACM:

VII. Asbestos Waste Transporter: Name Phone No.

City State Zip

VIII. Waste Disposal Site Name: Class

Address City State

IX. Amount of RACM or ACM

Square feet of surfacing material
 Linear feet of pipe
 Cubic feet of RACM off facility components
 Square feet of cementitious material
 Square feet of resilient flooring
 Square feet of roofing

X. Additional Comments

No asbestos containing materials detected - please see report

I certify that the above information is correct and that an individual trained in the provisions of this regulation (40CFR Part 61, Subpart M) will be on-site during the demolition or renovation and evidence that the required training has been accomplished by this person will be available for inspection during normal business hours.

Name of Owner / Operator / PRINT or TYPE

Date / /

Contact Ph. #

Signature of Owner / Operator

DERM USE ONLY: Postmark / Date Received / / ID#

DERM
PLAN REVIEW
FINAL
APPROVAL

DEPARTMENT OF ENVIRONMENTAL
 RESOURCES MANAGEMENT

MIAMI-DADE D.E.R.M.
 AIR QUALITY MANAGEMENT DIVISION

This is to certify that the required
 Notification(s) Regarding asbestos have been
 submitted in Compliance with
 Applicable regulations.

Signed

Date

4/3/09

CORE REVIEWER (PRINT):

CARLOS MENENDEZ

SIGNATURE

[Signature]
 ROOFING ONLY. NA

DATE

4/3/09

PLAN REVIEW

#6982



MIAMI BEACH

BUILDING DEPARTMENT1700 Convention Center Drive, 2nd Floor

Miami Beach, FL 33139

Phone: (305) 673-7610 Fax: (305) 673-7857

Owner/ Qualifier / Contractor Estimate Construction Cost Affidavit
(To be submitted for the main/master permits or the stand alone permits)

Permit Number: B1600768Date: 11/12/2015Job Address: 6940 Abbot AveFolio No.: 02-3211-001-0590

The construction cost should include the work under the main Permit and all associated permits.

Part I: FEMA 50% Related Construction Cost**Items to be excluded from Estimate Construction Cost for Part I (FEMA 50% Related Construction Cost):**

Plan and Specification, Survey Cost, Permit Fees, Swimming Pools, detached structures (garages, storages, cabanas), Landscaping, Fences, Yard light, Not Built-ins Appliances and Furniture.

Estimated Construction Cost	General Contractor Cost	Owner Cost
Demolition & Removal /existing louvre fence	\$2,000.00	\$2,000.00
Building & Structural Elements	0	0
Roofing	0	0
Doors & Windows	0	
concrete fence prep. perimeter Railing louvre fence materials	\$9,700.00	\$9,700.00
Exterior Interior Finish, Floor Covering, Painting precast fence	0	0
Cabinets and Furniture-Built-Ins	0	0
Appliances-Built-Ins	0	0
Other Building related Items	0	0
Electrical including Fixtures	0	0
Elevator	0	0
Mechanical-HVAC-equipments	0	0
Plumbing including Fixtures	0	0
Overhead and Profit	2,890.00	2,890.00
Sub Total Construction Cost	\$ 14,590.00	\$ 14,590.00
Sub Total Construction Cost Estimate for FEMA 50% Rule Purposes	\$	



MIAMI BEACH

BUILDING DEPARTMENT

1700 Convention Center Drive, 2nd Floor

Miami Beach, FL 33139

Phone: (305) 673-7610 Fax: (305) 673-7857

Part II: Non Related FEMA 50% Construction Cost

Estimated Construction Cost	General Contractor Cost	Owner Cost
Swimming Pools		
Fences, Pavers, Sidewalks, Site Improvements	\$14,590.00	\$14,590.00
Yard Light		
Other and detached: garages, storage and cabanas		
Sub Total Cost	\$ 14,590.00	\$ 14,590.00
Sub Total Construction Cost Estimate for non FEMA 50% Rule Purposes	\$ 14,590.00	14,590.00

Part III: Total Construction Cost (Note: The construction cost will be validated by Plan Examiners)

Estimated Construction Cost	
Sub Total Construction Cost Estimate for FEMA 50% Rule Purposes-Part I	\$
Sub Total Construction Cost Estimate for Non FEMA 50% Rule Purposes- Part II	\$
Total Construction Cost Estimate. (Add Part I and Part II of Construction Cost)	\$ 14,590.00

Part IV: Signature Required

If the improvements cost will increase at any point during the proposed construction, It is Owner and the Contractor of Record responsibility to submit the revised improvements cost to the Building Department for review and approval.

Luis Larrazabal

Signature of Owner Luis Larrazabal, Lead Operations Mgr. AT&T

STATE OF FLORIDA

COUNTY OF Miami Dade

Sworn to and Subscribed before me this 11 day of November 20 15, by:

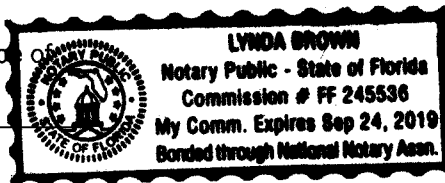
Luis Larrazabal

☒ Personally known ☐ Produced Identification - Type

Identification Known

Lynda Brown

Signature of Notary Public





MIAMI BEACH

BUILDING DEPARTMENT

1700 Convention Center Drive, 2nd Floor
Miami Beach, FL 33139
Phone: (305) 673-7610 Fax: (305) 673-7857

Robert B. Talley v.p.
Signature of Qualifier / Contractor

STATE OF FLORIDA

COUNTY OF Miami Dade

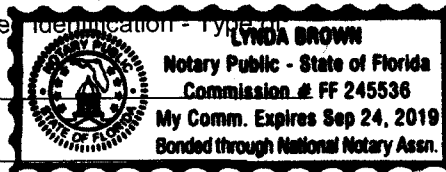
Sworn to and Subscribed before me this 11 day of November 2015, by:

Robert B. Talley

☒ Personally known ☐ Produce Identification - Type of

Identification Known

Linda Brown
Signature of Notary Public



Part V: Building Department Use Only

A	Sub Total Construction Cost Estimate for FEMA 50% Rule Purposes.	\$
B	Over Five Year Improvements	\$
C	Total Improvements	\$
D	Building Tax Assessed Value	\$
E	Building Appraised Market Value	\$
F	Improvements Cost Ratio (C/E or C/D)	%

If improvements cost exceed 40% of the Building Tax Value, a building appraised market Value is required for evaluation of Improvement Cost Ratio.

Check one box:

☐ New Construction and Substantial Improvement ☒ Existing Building and Non Substantial Improvement

Engineering Inspector Name

Engineering Inspector Signature and Date

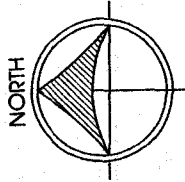
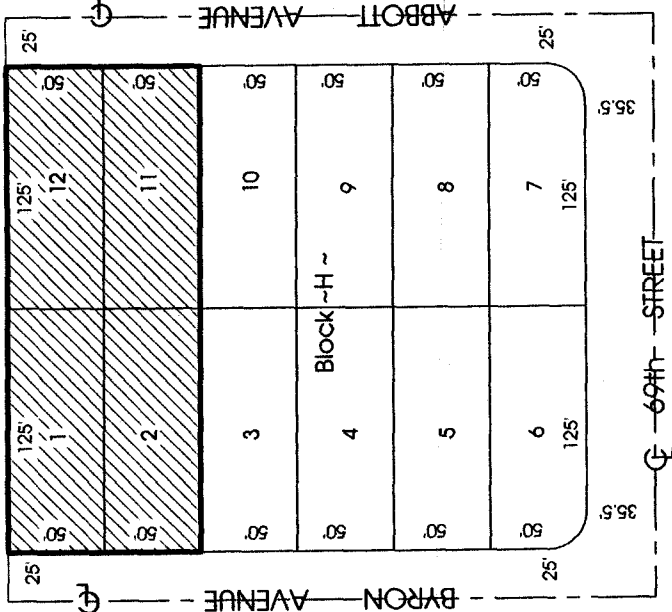
Note: Over \$1,000,000.00 Improvements Cost requires Chief Governmental Compliance Division Approval, over \$50,000,000.00 Improvements Cost requires Building Director Approval.

Name

Signature and Date

LOCATION MAP

Scale: 1" = 100'



LEGAL DESCRIPTION:

FOLIO: 02-3211-001-0580
LOTS 1, 2, 11 AND 12, BLOCK H, "CORRECTED PLAT OF ATLANTIC HEIGHTS",
ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, AT PAGE 14, OF
THE PUBLIC RECORDS, OF MIAMI-DADE COUNTY, FLORIDA.

PROPERTY ADDRESS:

6940 ABBOTT AVENUE, MIAMI BEACH, FLORIDA 33141

FLOOD ZONE INFORMATION:

FLOOD ZONE: "AE" COMMUNITY: 120651 PANEL: 0326
DATE OF FIRM: 09-11-2009 SUFFIX: L ELEVATION: 8.0 FEET

CERTIFIED TO:

SOUTHERNBELL TEL & TEL CO.
TAX ADM. OFFICE

GENERAL NOTES:

- LEGAL DESCRIPTION PROVIDED BY OTHERS.
- EXAMINATION OF THE ABSTRACT OF THE TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECT THIS PROPERTY.
- THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENT OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT.
- UNDERGROUND PORTION OF FOOTING, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- ONLY VISIBLE ON ABOVE GROUND ENCROACHMENTS LOCATED.
- WALL TIES ARE THE FACE OF THE WALL.
- FENCE OWNERSHIP NOT DETERMINED.
- BEARINGS REFERENCED TO LINE NOTED AS B.R.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE.
- NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.
- NOT VALID UNLESS SEALED WITH THE SIGNINGS SURVEYORS EMBOSSED SEAL.
- DIMENSIONS SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE SHOWN.
- ELEVATIONS IF SHOWN ARE BASED UPON N.A.V.D. 1988 UNLESS OTHERWISE NOTED.
- THIS IS A BOUNDARY SURVEY UNLESS OTHERWISE NOTED.
- THIS BOUNDARY SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAME HEREON. THE CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED PARTIES.
- BENCHMARK: CMB 69 11 ELEVATION: 2.72 FEET
LOCATION: 69th STREET & HARDING AVENUE

CERTIFICATION:

SURVEYOR'S CERTIFICATION: I HEREBY CERTIFY THAT THIS "BOUNDARY SURVEY" IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. THIS COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS, AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPER IN CHAPTER 5J-17.051, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

SIGNED
MIGUEL ESPINOSA
FOR THE FIRM
P.S.M. No. 5101-STATE OF FLORIDA
NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL AND/OR THIS MAP IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A LICENSE SURVEYOR AND MAPPER.

ABBREVIATIONS AND LEGEND:

RES	=DENOTES RESIDENCE
SWK	=DENOTES SIDEWALK
A/C	=DENOTES AIR CONDITIONING UNIT
CONC.	=DENOTES CONCRETE
(M)	=DENOTES MEASURE
(R)	=DENOTES RECORD
R/W	=DENOTES RIGHT-OF-WAY
Q	=DENOTES CENTERLINE
U.E.	=DENOTES UTILITY EASEMENT
P.B.	=DENOTES PLAT BOOK
PG.	=DENOTES PAGE
W	=DENOTES WATER METER
PO	=DENOTES WOOD POWER POLE
WF	=DENOTES WOOD FENCE
CLF	=DENOTES CHAIN LINK FENCE
IF	=DENOTES IRON FENCE
OH	=DENOTES OVERHEAD WIRES
IP	=DENOTES FOUND IRON PIPE (NO ID.)
AN	=DENOTES FOUND NAIL AND DISC

SHEET 1 OF 2

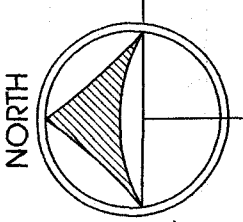
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MIGUEL ESPINOSA LAND SURVEYING INC.
PROFESSIONAL SURVEYOR AND MAPPER
7700 S.W. 88th STREET, SUITE 306, MIAMI, FLORIDA 33156
PHONE: (305) 262-2992

L.B. No. 6463

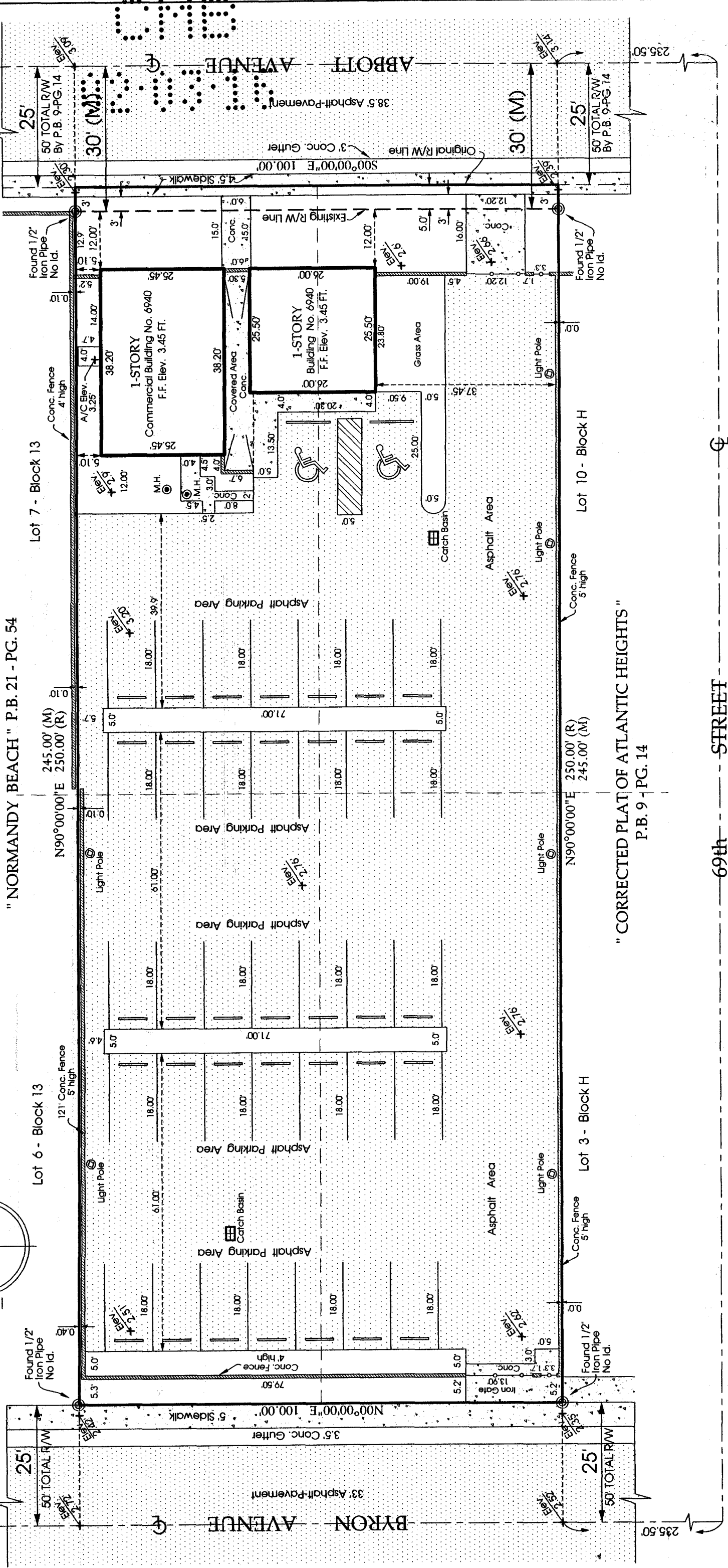
BOUNDARY SURVEY

Original Date:	Field Date:	Revision Date:	Drawn by:	Job No.
01/27/2016	01/26/2016	01/27/2016	R.U.	S-11941



MAP OF SURVEY

Scale: 1" = 20'



SHEET 2 OF 2

NOT VALID WITHOUT ALL PAGES

MIGUEL ESPINOSA LAND SURVEYING INC.
PROFESSIONAL SURVEYOR AND MAPPER
7700 S.W. 88th STREET, SUITE 306, MIAMI, FLORIDA 33156
PHONE: (305) 262-2992

L.B. No. 64633

BOUNDARY SURVEY			
Original Date:	Field date:	Revision Date:	Drawn by:
01/27/2016	01/26/2016	01/27/2016	R.U.
			Job No.
			S-11941

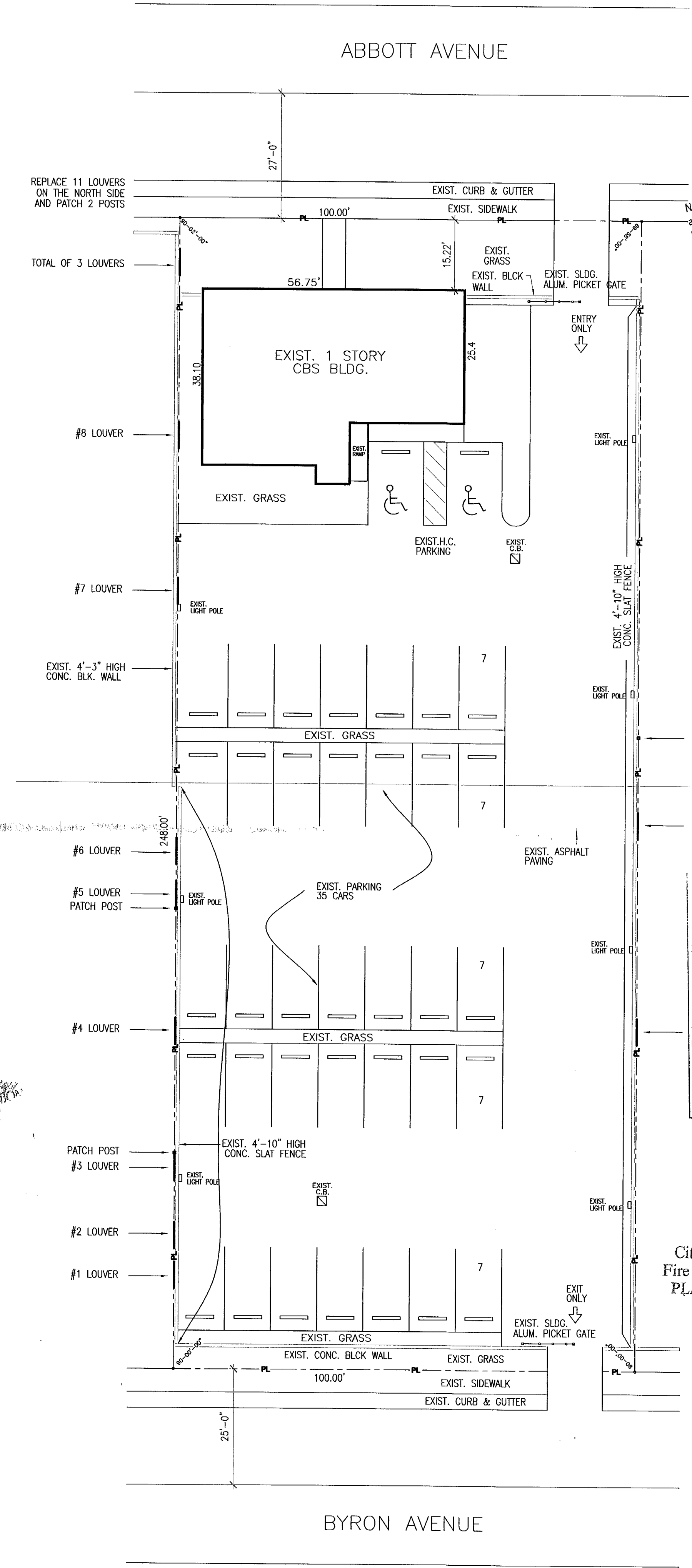
ALL BEARINGS AND DISTANCES SHOWN HEREON ARE
RECORD AND MEASURE UNLESS OTHERWISE NOTED.

" CORRECTED PLAT OF ATLANTIC HEIGHTS "
P.B. 9 - PG. 14

B1600768

WORK DESCRIPTION

REPAIR EXISTING CONCRETE SLAT FENCE WITH LIKE NEW CONCRETE SLATS AND LIKE CONCRETE POSTS
SCOPE: REPLACE A TOTAL OF 14 LOUVERS AND PATCH 3 POSTS



NOTICE: In addition to the requirement of this permit, there may be additional restrictions applicable to this property that may be found in the Public Records of this County and there may be additional permits required from other government entities such as water management districts, state agencies, or federal agencies.
The City of Miami Beach assumes no responsibility for accuracy of or results from these plans which are approved subject to compliance with all Federal, State, and Local Laws, Rules, and Regulations.

DESCRIPTION
LOTS 1, 2, 11 AND 12, BLOCK "H" CORRECTED PLAT OF ATLANTIC HEIGHTS "LESS" DUE EAST 2.0 FEET THEREOF, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 9 AT PAGE 114 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.

APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING:	
ZONING:	
PLUMBING:	
ELECTRICAL:	
MECHANICAL:	
FIRE PREVENTION:	
FLOOD:	
PUBLIC WORKS:	
STRUCTURAL:	
ELEVATOR:	
ROOFING:	

CONSULTANT STAMP

ROUX ARCHITECT
116 GIRALDA AVENUE
CORAL GABLES, FL.
Phone : 305-443-8116
Fax : 305-443-2050
Job No. 1582

STATE OF FLORIDA
THEODORE L. ROUX
REGISTERED ARCHITECT
AR0004169
FEB 05 2016

3355 LENOX ROAD, SUITE 1190, ATLANTA, GEORGIA 30326 404.266.9631

REVISIONS / AUTHORIZATIONS

NO.	REVISIONS / AUTHORIZATIONS	DATE	BY
A	ISSUE FOR CONSTRUCTION	11/10/15	SH

PROPRIETARY AT&T INFORMATION
NOT FOR GENERAL USE OR DISCLOSURE OUTSIDE OF AT&T
THIS INFORMATION MAY ONLY BE USED BY AUTHORIZED PERSONNEL OF THE LOCAL GOVERNMENT AGENCY IN CONNECTION WITH APPLICATION FOR PERMITS AND AUTHORIZATIONS FOR BUILDINGS, CONSTRUCTION, AND/OR ZONING CHANGES.

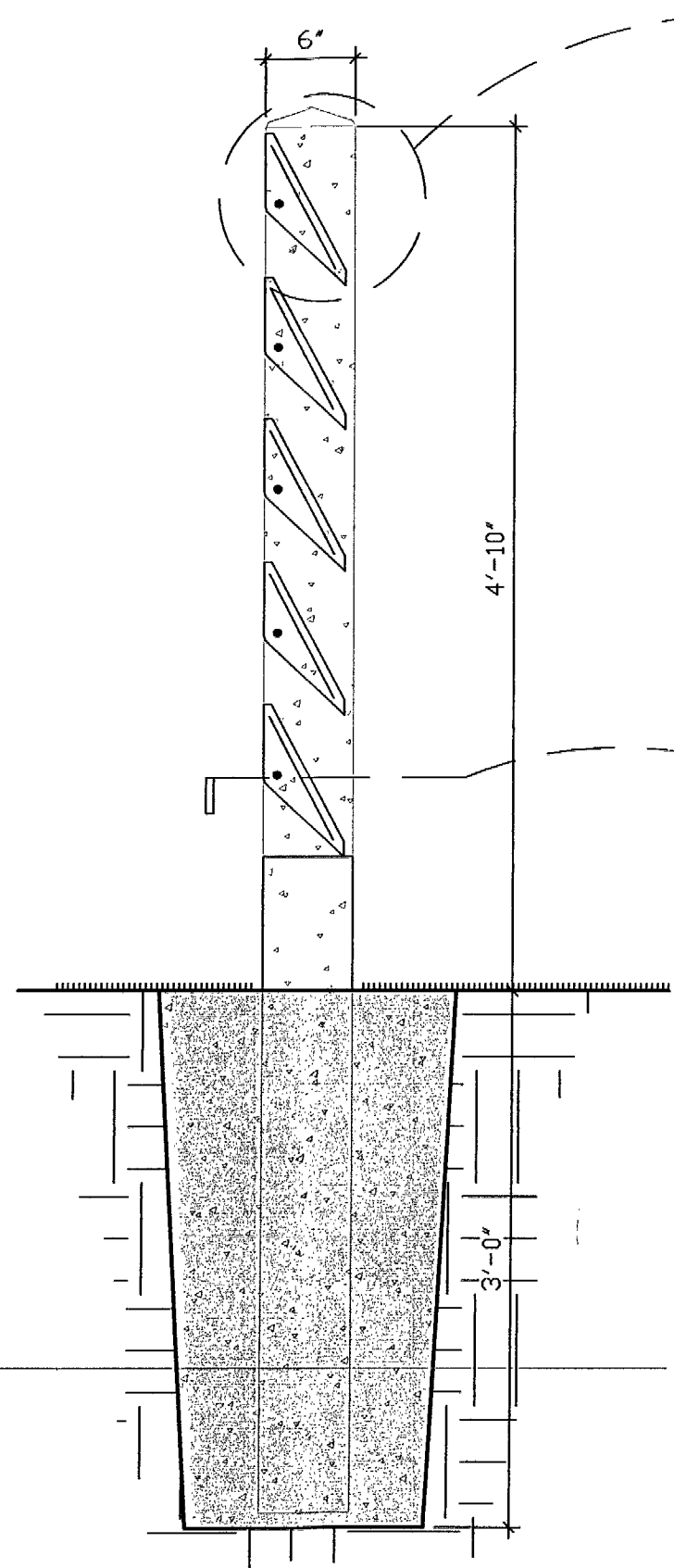
DRAWINGS PREPARED FOR
at&t CORPORATE REAL ESTATE

PROJECT DRAWING

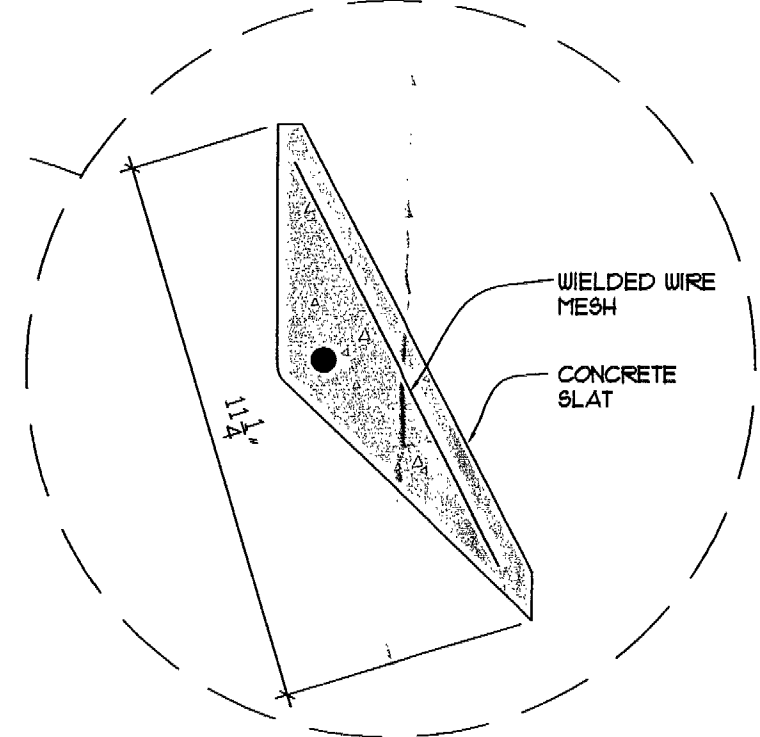
6940 ABBOTT AVENUE
MIAMI BEACH
FL US
M6213

SITE PLAN ARCHITECTURE

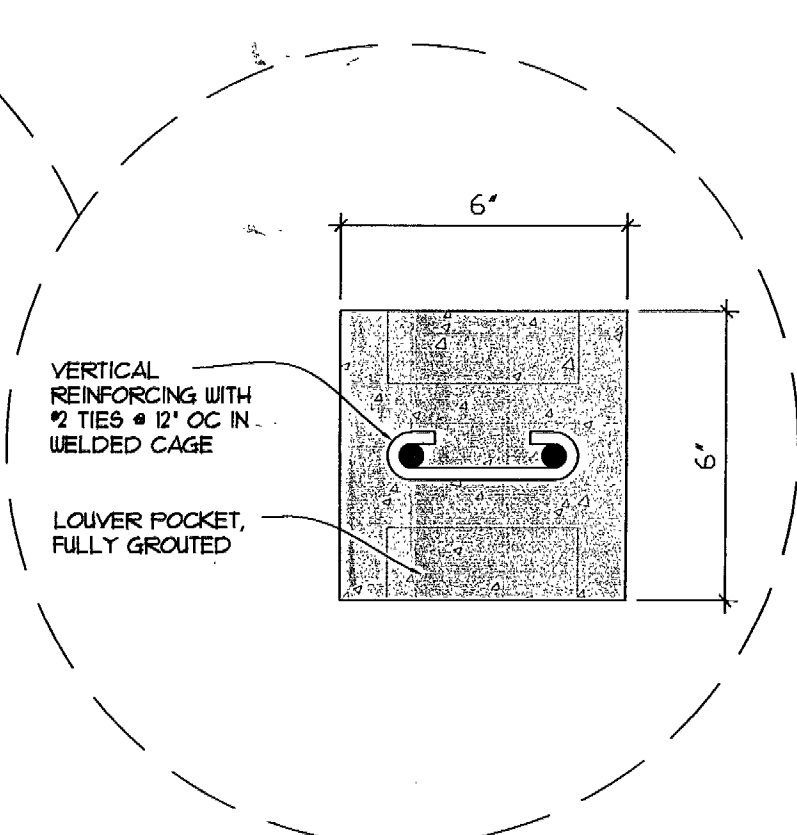
AT&T PROJECT NUMBER:	DATE: 11/10/15	SCALE: AS NOTED
AT&T AUTHORIZATION:	DRAWN BY: SH	CHECKED BY: TLR
	SHEET: 1 OF: 1	SHEETS: 1
	AT&T DRAWING NO: M6213A10100	SHEET NO: A100



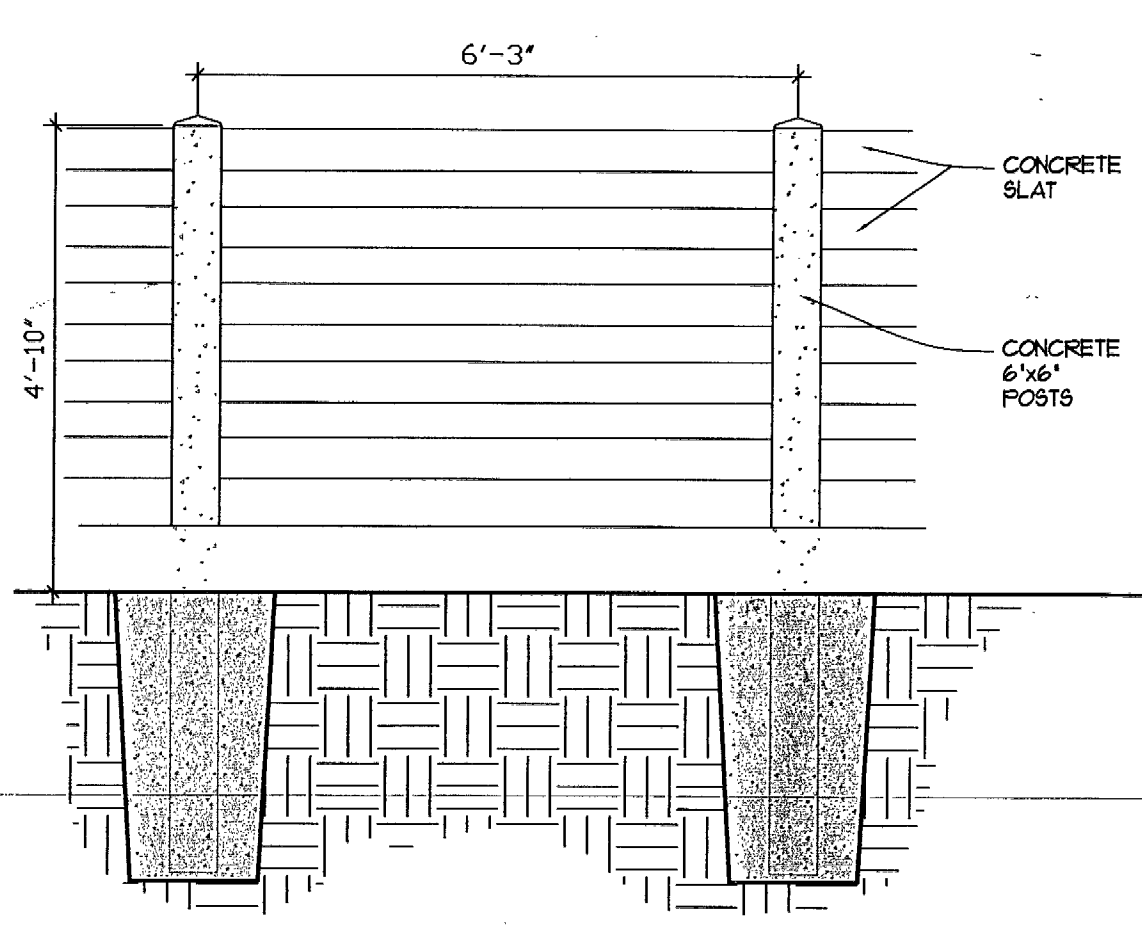
TYP. SECTION
SCALE : 1"=1'-0"



TYP. CONCRETE SLAT
SCALE : 3"=1'-0"



TYP. CONCRETE POST
SCALE : 3"=1'-0"



PARTIAL FENCE ELEVATION
SCALE : 1/2"=1'-0"

PUBLIC WORKS
PLAN REVIEW NOTICE
Phone 305-673-7090 Fax 305-673-7028

THIS PLAN REVIEW CONSTITUTES APPROVAL FOR OBTAINING BUILDING PERMITS ONLY.

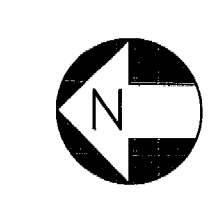
All construction and/or use of equipment in the right-of-way and/or easements, require a separate Public Works Department permit prior to start of construction.

Permit Requirements: Proof of existing sidewalk/swale area conditions (pictures) and/or posting of sidewalk/roadway bonds (Public Works Inspection of the right-of-way will be required prior to final sign-off on the C.C./C.O., or the release of bonds.)

Approved/Reviewed By: [Signature] Date: 12/9/16

48 HOURS PRIOR TO EXCAVATING CONTRACTOR SHALL CALL FOR LOCATION OF UNDERGROUND UTILITIES
SHOULD ONE CALL 1-800-482-4770
CITY OF MIAMI BEACH 305-673-7028

SITE PLAN
SCALE : 1/16" = 1'-0"

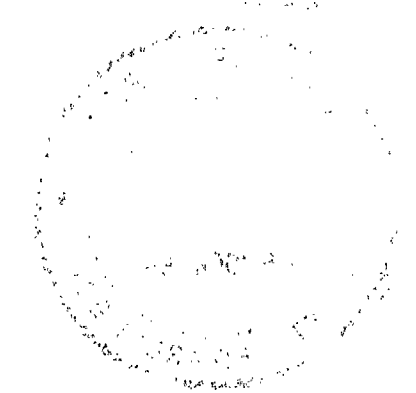


PROJECT TITLE
SURFSIDE SOC FENCE REPAIR

80100018

B1600 768
6940 ABBOTT AV

B1600 768
6940
Abbott
Ave
Office
copy

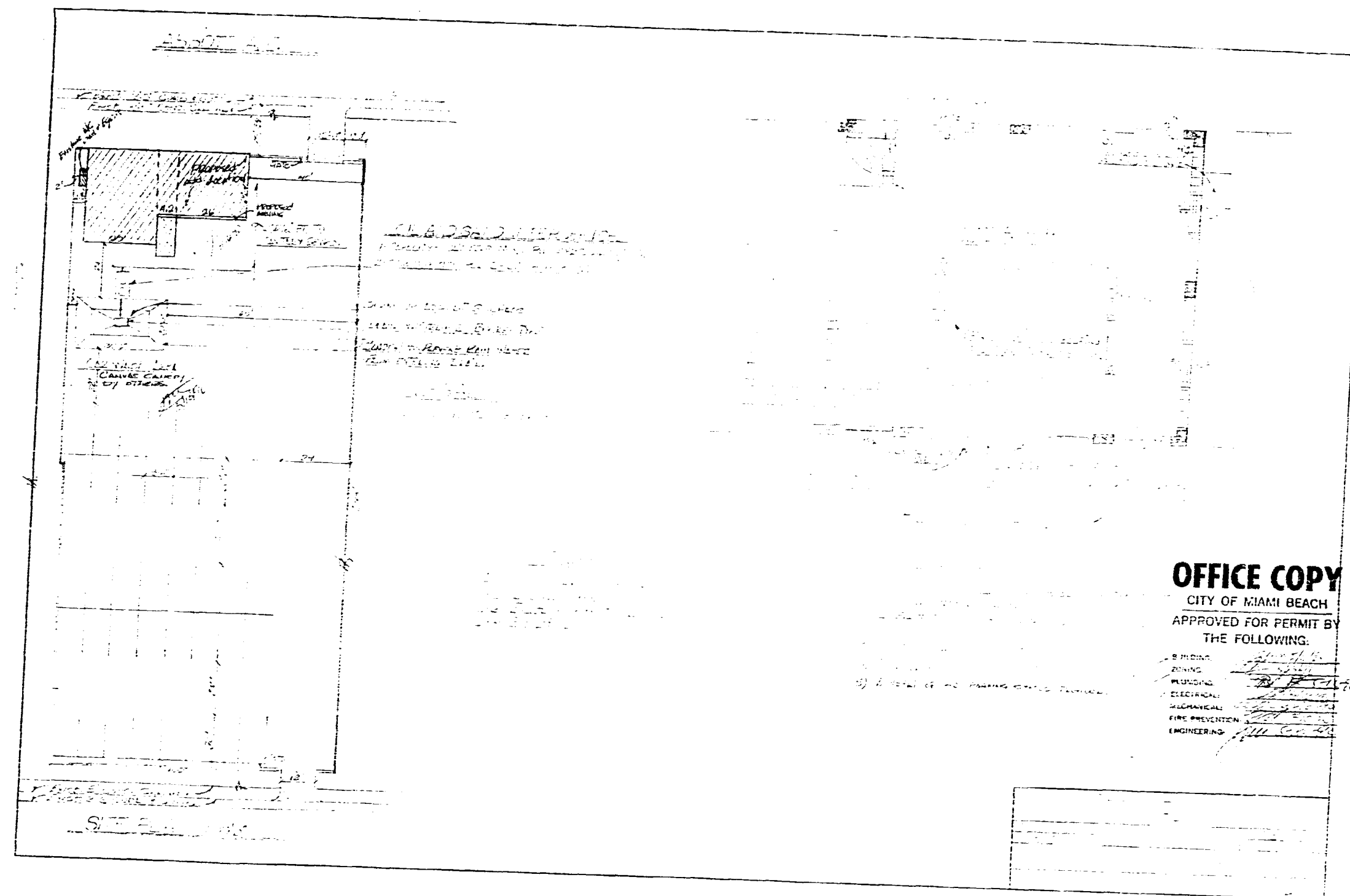


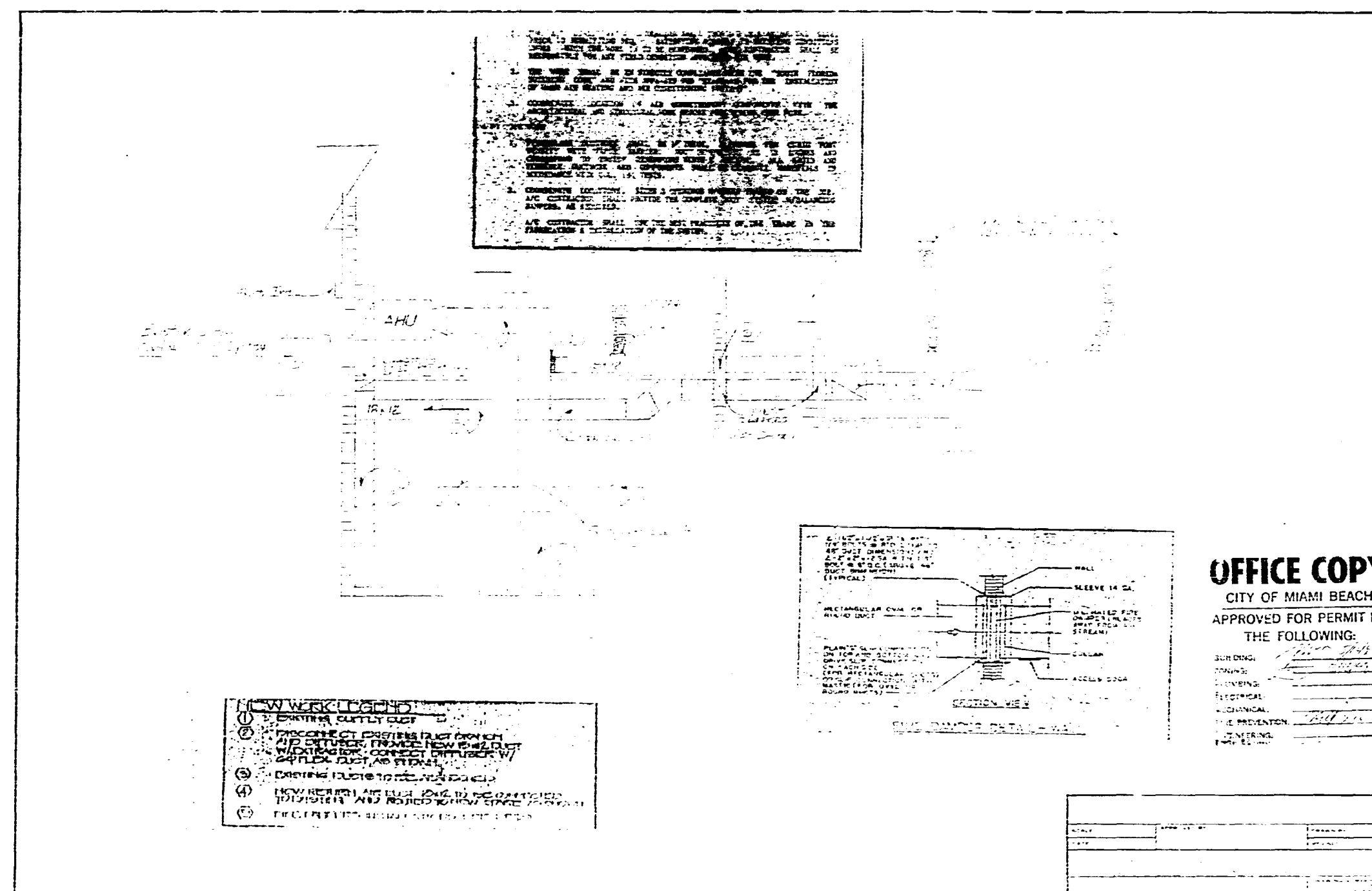
ENCLOSURE
NOTES

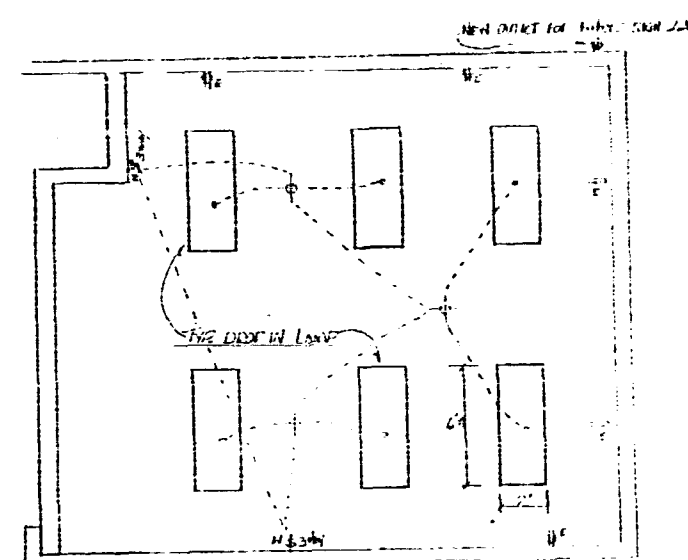
PERMIT #

0000000000

ADDRESS:

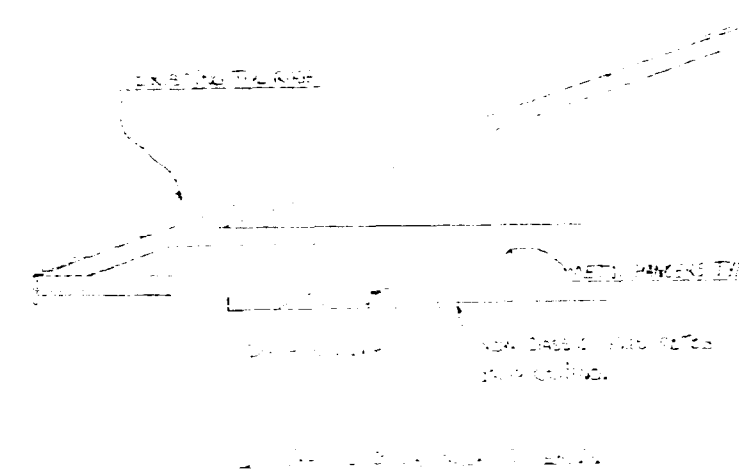






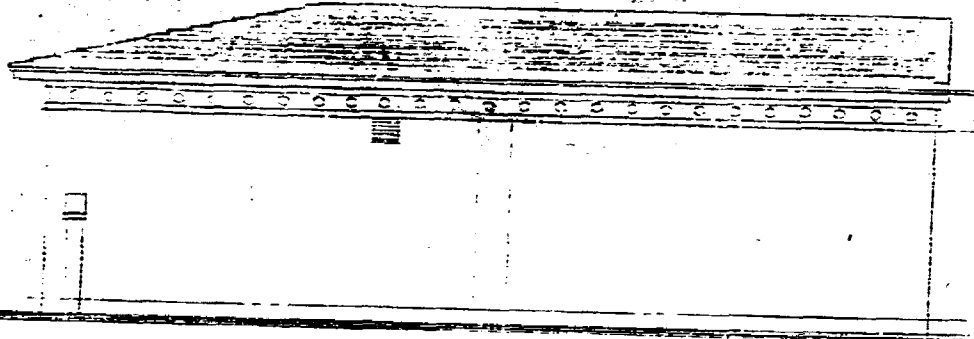
— ELECTRICAL PLAN 1/4" = 1'

LEGEND
 ———— EXISTING
 ———— NEW

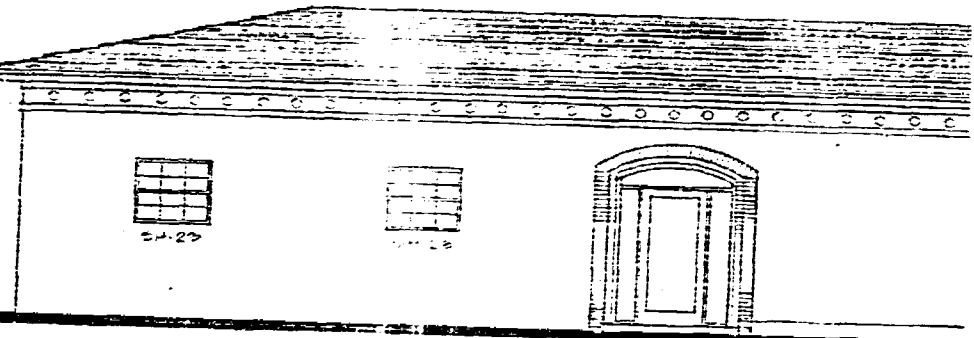


WIRING DIAGRAM

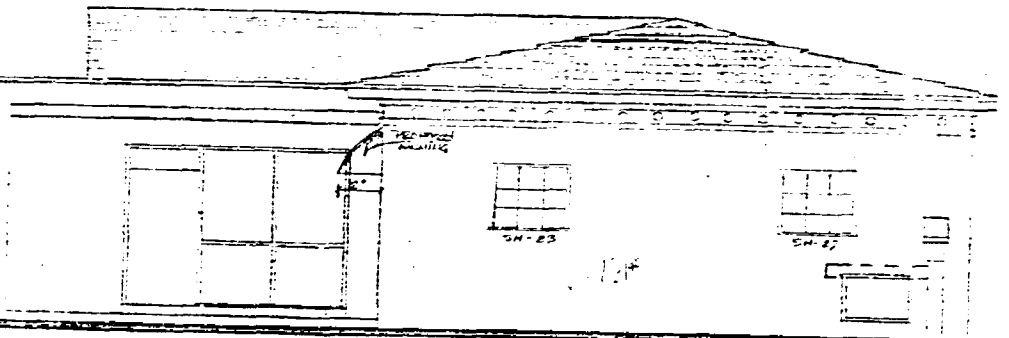
DATE	10/10/50
BY	J. H. HARRIS
CHECKED BY	J. H. HARRIS
APPROVED BY	J. H. HARRIS



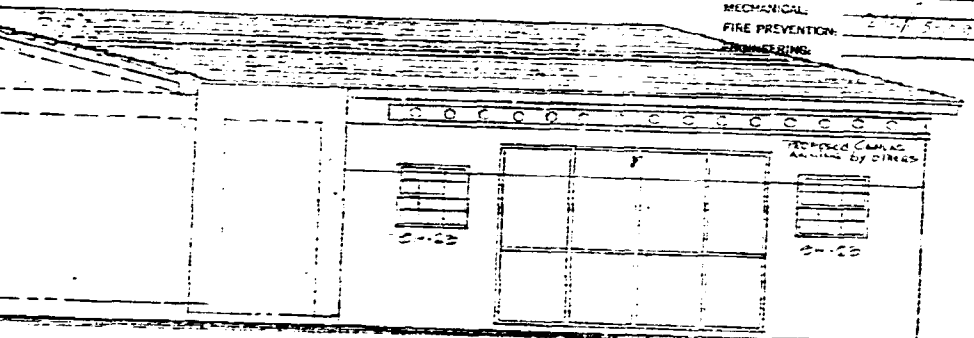
NORTH ELEVATION
1/2" = 1'-0"



EAST ELEVATION
1/2" = 1'-0"



SOUTH ELEVATION
1/2" = 1'-0"



WEST ELEVATION
1/2" = 1'-0"

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

CITY ENGINEER	<i>[Signature]</i>	
CITY PLANNING	<i>[Signature]</i>	
CITY CLERK		
CITY COMMISSIONER		
CITY MANAGER		
CITY ATTORNEY		
CITY INSPECTOR		
CITY ENGINEER		
CITY PLANNING		
CITY CLERK		
CITY COMMISSIONER		
CITY MANAGER		
CITY ATTORNEY		
CITY INSPECTOR		

B 9000262

455077-48

CLASSED PERMIT

APPROVED FOR PERMIT BY THE FOLLOWING:

PLUMBING *[Signature]*

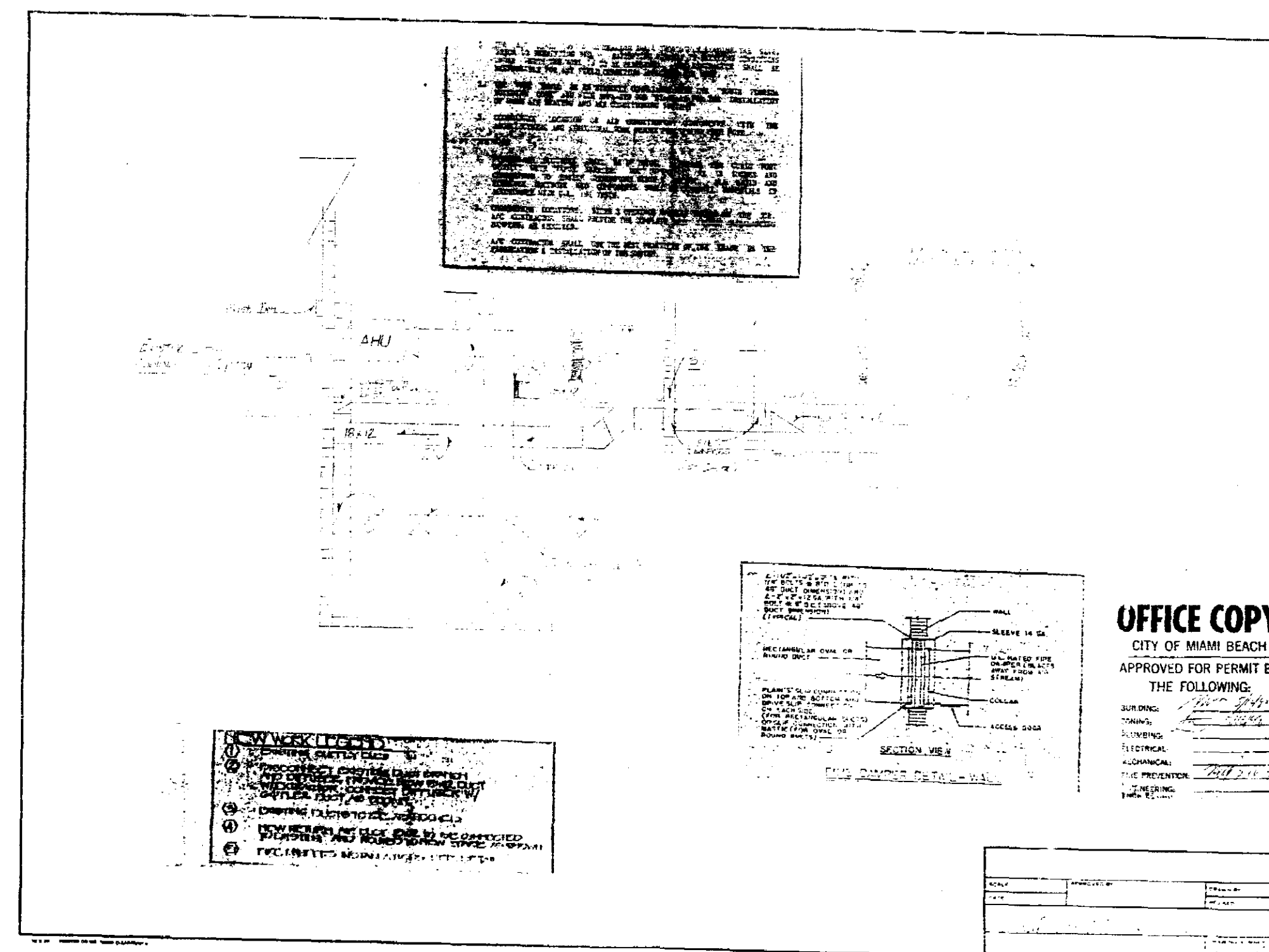
ELECTRICAL *[Signature]*

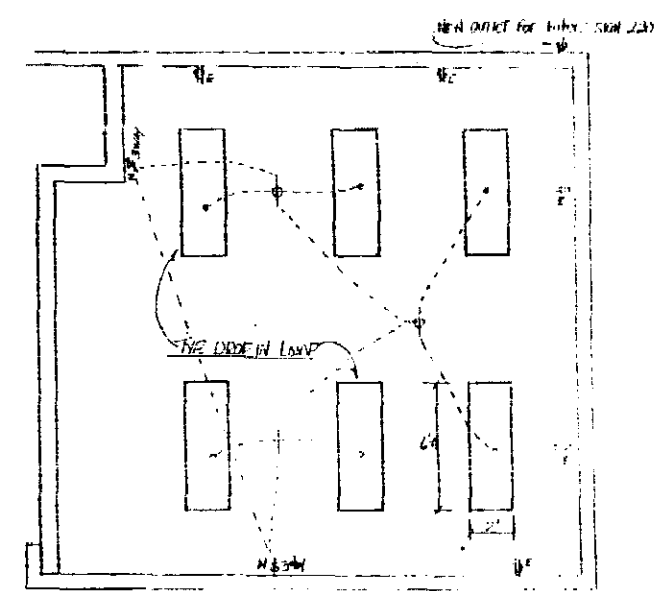
Mechanical *[Signature]*

FIRE PREVENTION *[Signature]*

ENGINEERING *[Signature]*

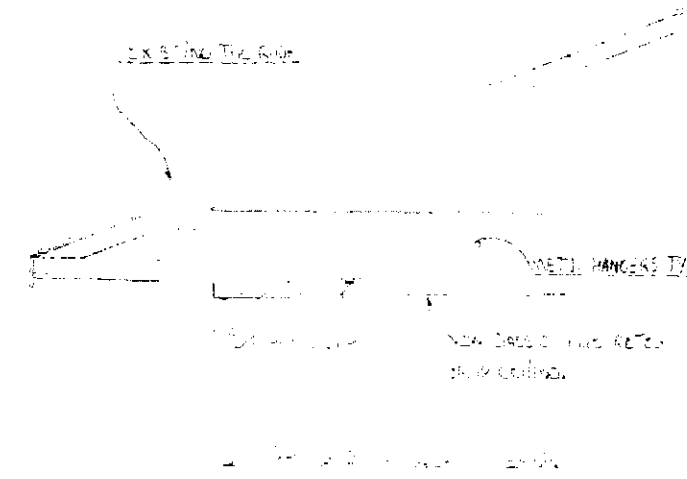
Site Plan





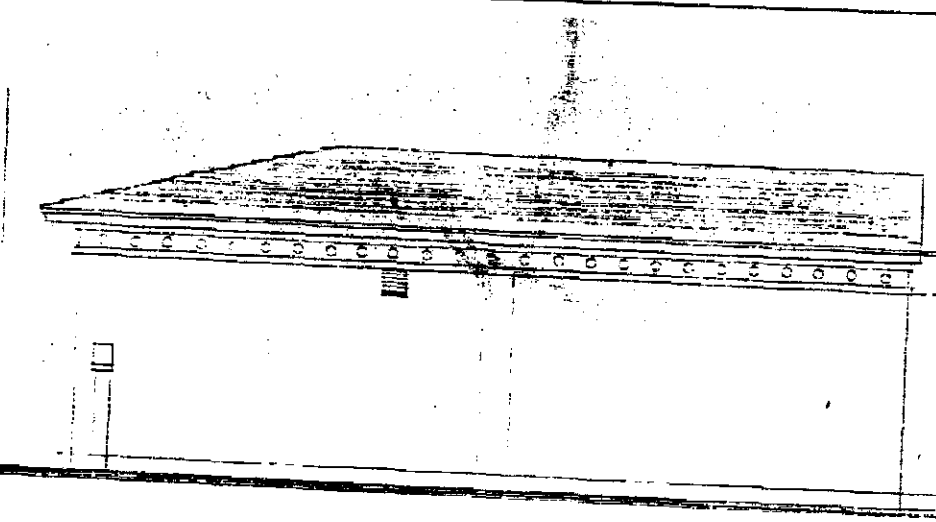
ELECTRICAL PLAN 1/4" = 1'

--- NEW ---
 --- EXISTING ---
 --- NEW ---

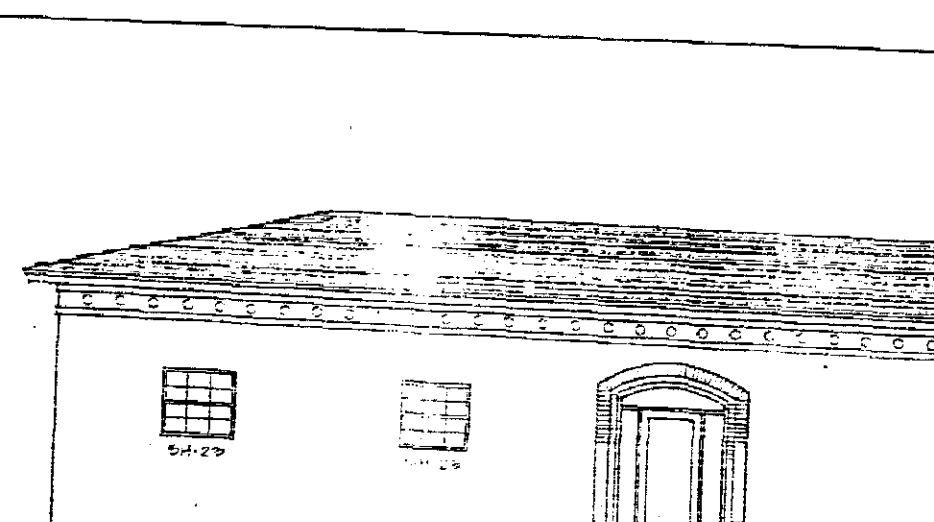


ELECTRICAL SCHEMATIC
 1/4" = 1'

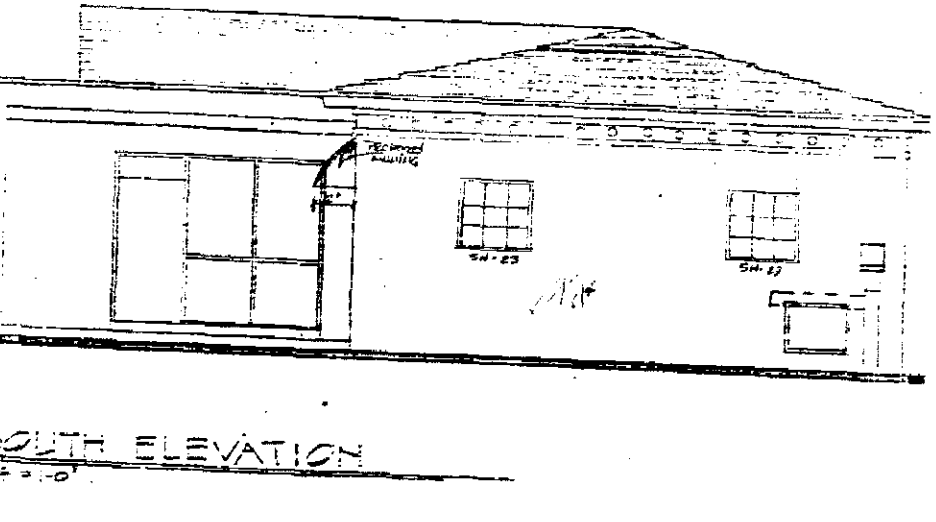
DATE	10/1/57
BY	J. J. J.
CHECKED BY	J. J. J.
APPROVED BY	J. J. J.



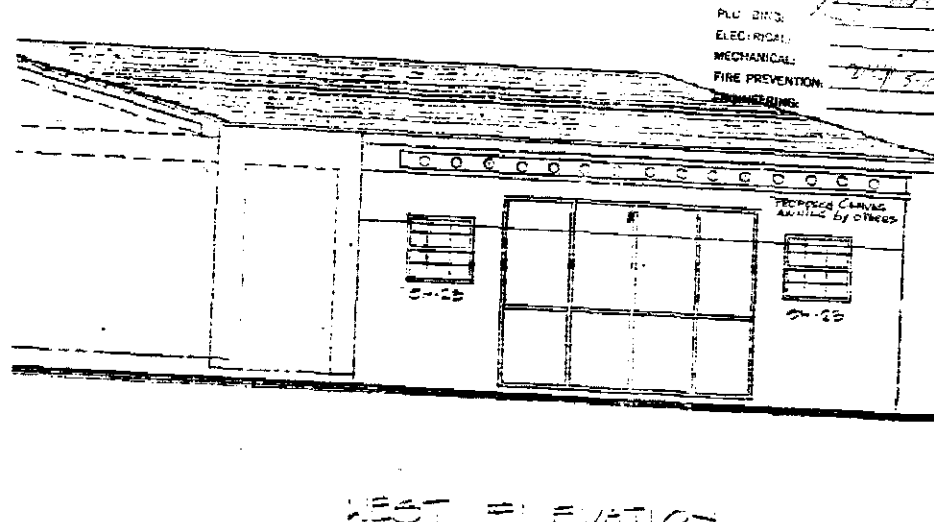
NORTH ELEVATION
1/16" = 1'-0"



EAST ELEVATION
1/16" = 1'-0"



SOUTH ELEVATION
1/16" = 1'-0"



WEST ELEVATION
1/16" = 1'-0"

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

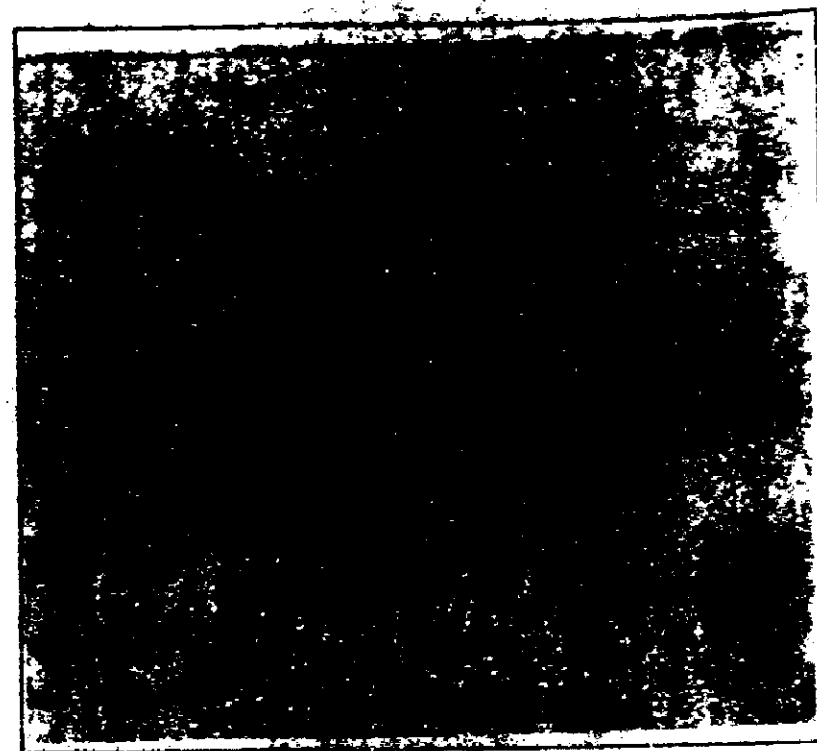
ELECTRICAL: *[Signature]*
 MECHANICAL: *[Signature]*
 PLUMBING: *[Signature]*
 FIRE PREVENTION: *[Signature]*

PROJECT NO. _____
 SHEET NO. _____
 DATE: _____

B9000262

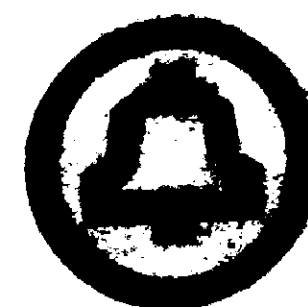
20000000

10000000



LOCATION MAP

N.T.S.



BELLSOUTH TELECOMMUNICATIONS

SURFSIDE S.O.C. WORKCENTER PARKING LOT RENOVATION

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:

✓ BUILDING	2/12/97
✓ ZONING	2/12/97
✓ PLANNING	2/12/97
✓ ELECTRICAL	2/12/97
✓ MECHANICAL	2/12/97
✓ FIRE PROTECTION	2/12/97
✓ SANITATION	2/12/97
✓ PUBLIC WORKS	2/12/97
✓ STRUCTURAL	2/12/97
✓ ACCESSIBILITY	2/12/97
✓ ELEVATION	2/12/97

6940 ABBOTT AVENUE
MIAMI BEACH, FLORIDA

DESIGN TEAM:

OWNERS

BELL SOUTH - SOUTHERN BELL TELECOMMUNICATIONS
CONTACT: MR. PAUL SCHOLLER 165 S.W. 67 AVE., 2nd FLOOR, MIAMI, FL 33144
CONTACT: MS. DERISE BEATTY 600 N.W. 70th AVE., SUITE 111, MIAMI, FL 3306

ARCHITECT

OFFERLE - LERNER ARCHITECTS AIA
6851 S.W. 89th STREET SUITE #200
MIAMI, FLORIDA 33183
PHONE: (305) 365-0700 FAX: (305) 365-6730
CONTACT: FRANK OFFERLE AIA, PRINCIPAL

ELECTRICAL ENGINEER

DAVID L. RICE, P.E.
RC ENGINEERING INC.
7000 S.W. 24 ST., SUITE 208
DAVE, FLORIDA 33324
PHONE: (305) 476-0700

LANDSCAPE ARCHITECT

MUBI JOHNSON
ARCHITECTURAL ALLIANCE
800 E. BROWARD BLVD., SUITE 600
FT. LAUDERDALE, FLORIDA 33307
PHONE: (305) 764-0950 FAX: (305) 764-0731

DRAWING INDEX

COVER SHEET

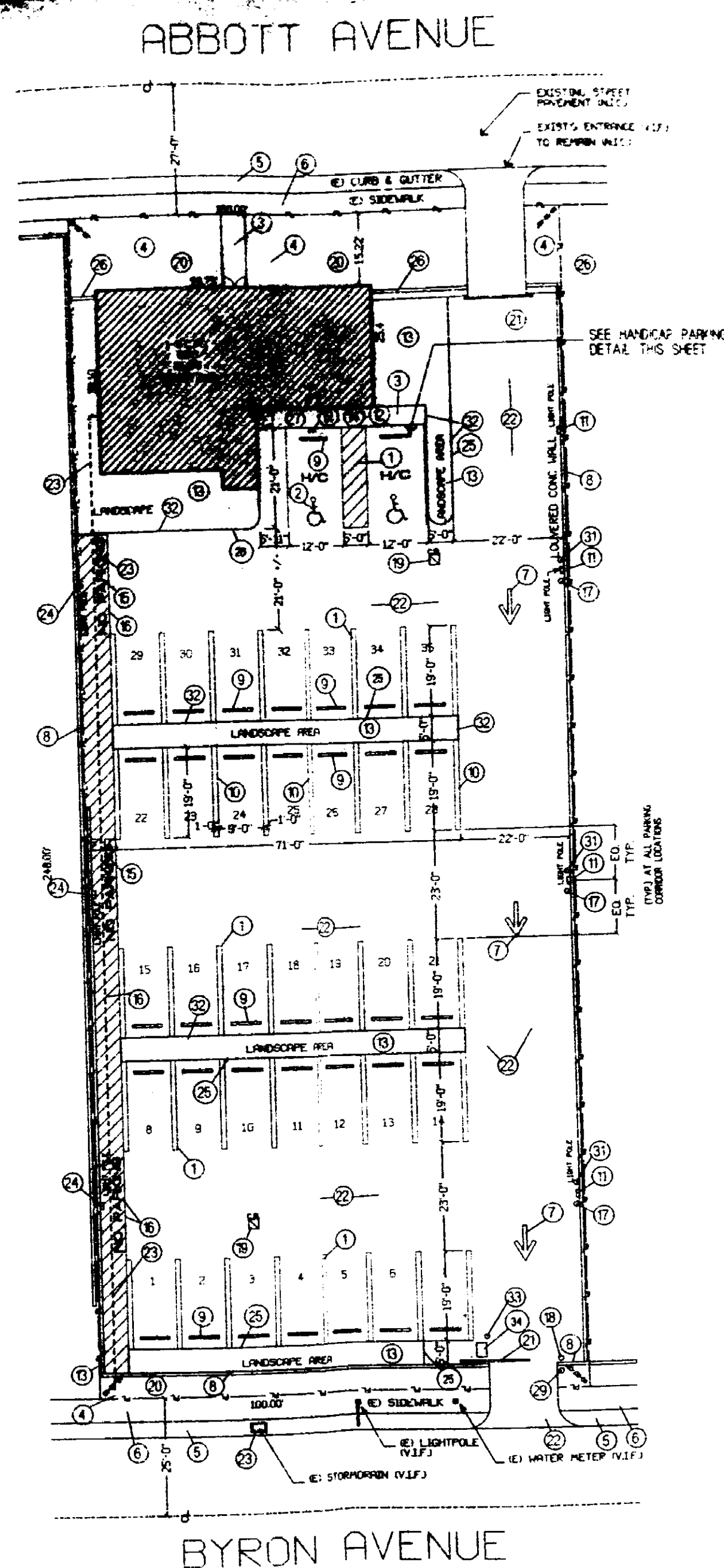
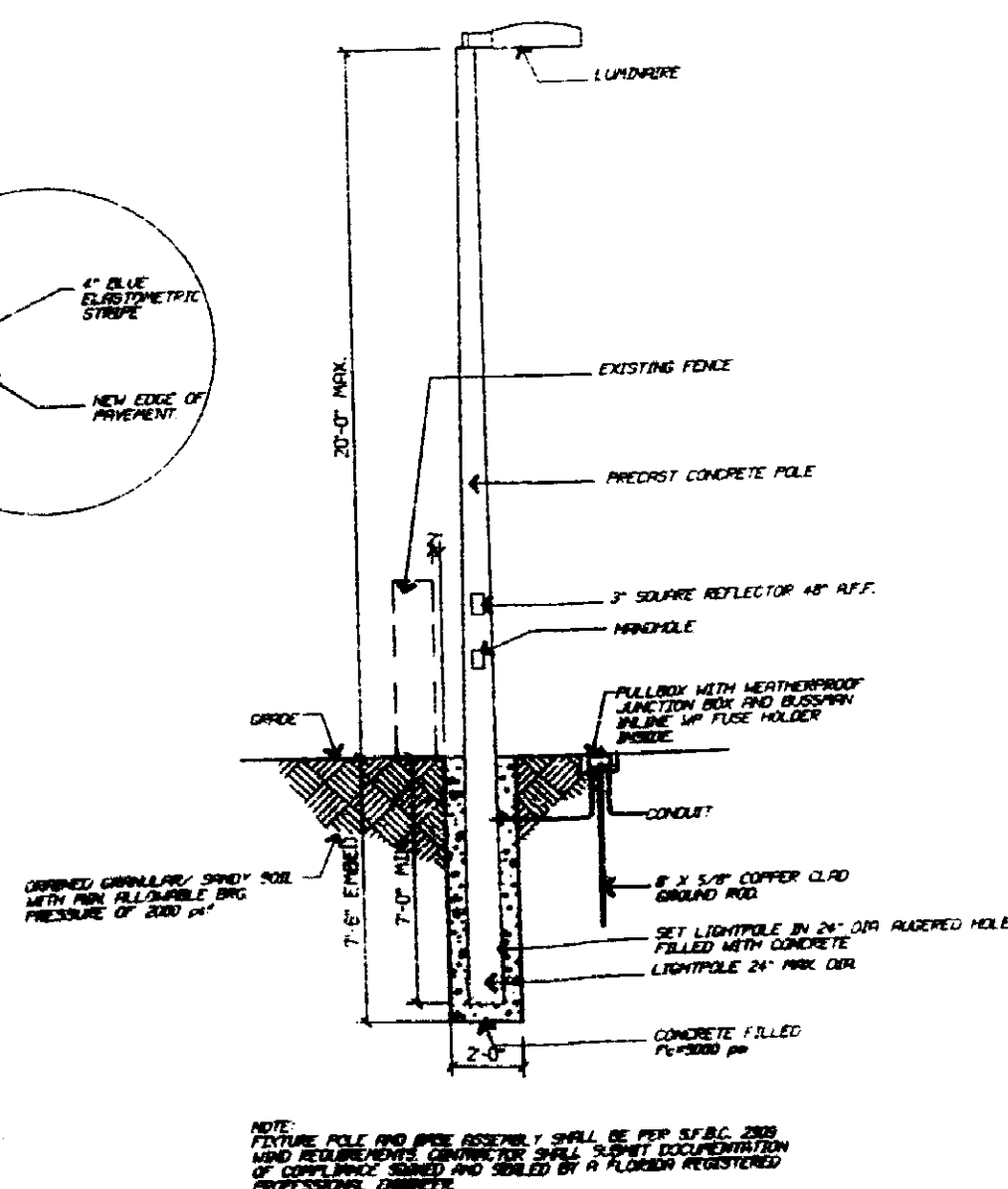
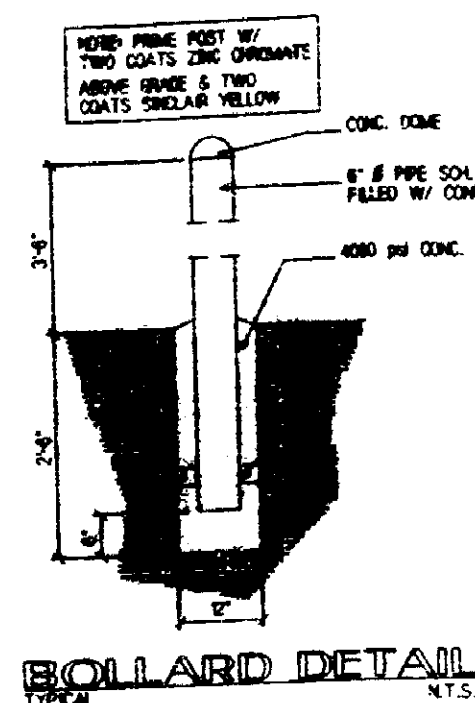
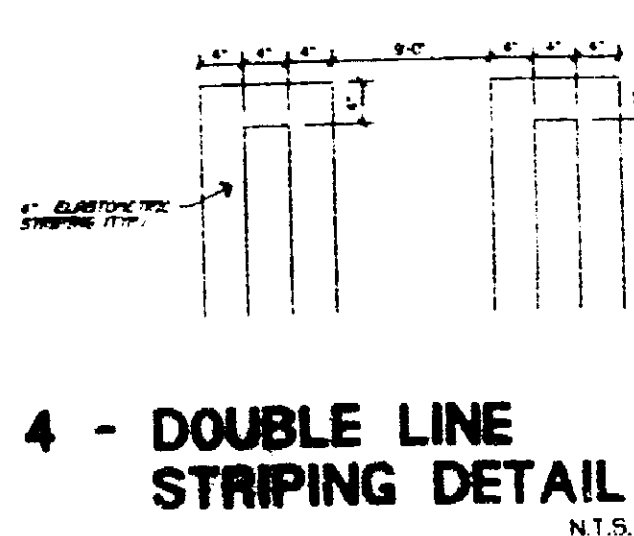
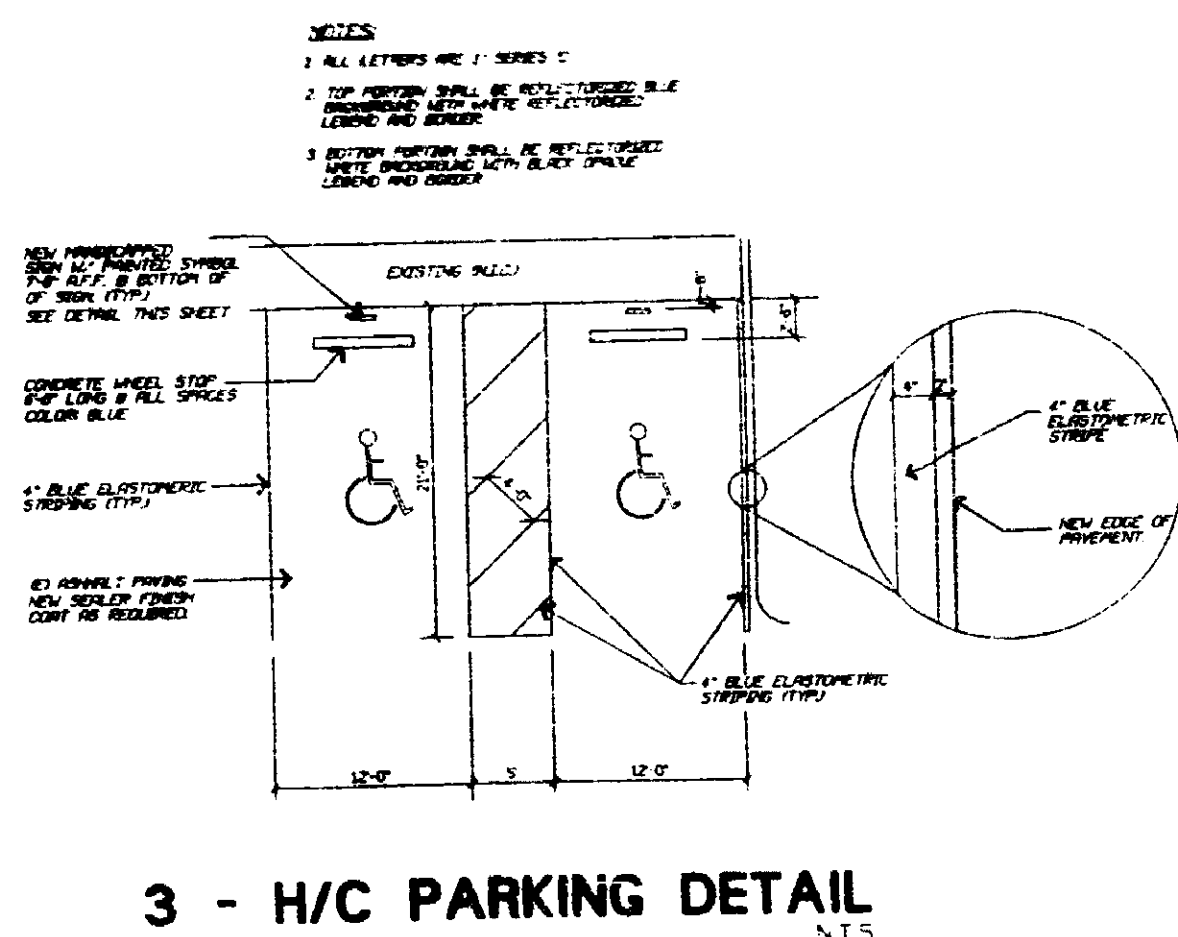
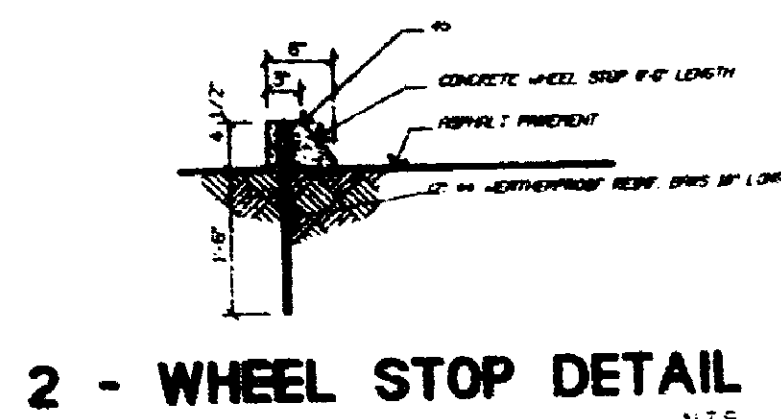
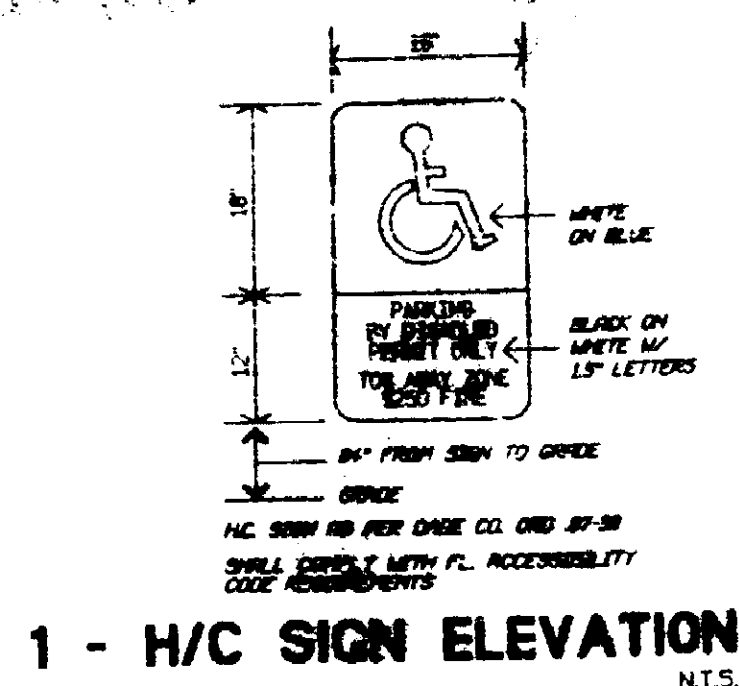
- SP-1 ARCHITECTURAL SITE PLAN & DETAILS
- E-1 ELECTRICAL LIGHTING PLAN
- L-1 LANDSCAPE PLAN
- I-1 IRRIGATION PLAN

FEBRUARY 1, 1997

OFFERLE - LERNER AIA
ARCHITECTS AND PLANNERS
MIAMI, FLORIDA

ALAN D. LERNER AIA ARCHITECT
FL REG. ARCH0005784
PAID: 305-381-1700

Alja



- ### KEYNOTES:

1. 4" WIDE ELASTOMERIC STRIPPING TOP PAINT WHITE
APPLY BLUE PAINT AT 1/4" ACCESSIBILITY STALLS
REFER TO DETAIL THIS PAGE.
2. P.L.A. ACCESSIBILITY APPROVED PARALLEL PARALLEL
SIDE STRIPING REFER TO DETAIL THIS
SHEET.
3. 6" EXISTING CONCRETE PAINT TO REMAIN (R.C.)
4. EXISTING GRASS AREA TO REMAIN (R.C.)
5. EXIST'S CONCRETE CURB, BUTTER AND
ASPHALT TO REMAIN (R.C.)
6. EXIST'S CONCRETE SIDEWALK TO REMAIN
E.C. SHALL REPAIR & REPAIR AS REQUIRED
TO MAINTAIN CURBING.
- AL-T-1 7. EXISTING 8" HIGH CONCRETE SIDEWALK STRIPING
CHANGING ALTERNATE-1
8. EXISTING 8" HIGH CONCRETE LATTICE PRIVACY
FENCE TO REMAIN NEW PAINT FINISH R.C.
9. CONC. WALKER STRIP (TOP) PAINT FINISH WHITE. SEE
DETAIL 1-3 FOR DESCRIPTION.
10. DOUBLE LINE BARBERS STRIP STRIPING. COLOR WHITE. REFER
TO DETAIL THIS SHEET.
11. REMOVE EXISTING BOLLARD LIGHTING. REPAIR WALL
AS REQUIRED TO MATCH EXISTING. INSTALL
NEW 24" HIGH CONC. LUMBERPILE POLE SPRINGS.
REFER TO DETAIL THIS SHEET AND BOLLARD. (NO
PAINT FINISH. REFLECTORS ON NORTH, EAST & WEST)
12. HANDICAP ACCESSIBLE PARKING SIGN. REFER
TO DETAIL THIS SHEET.
13. REMOVE EXIST'S ASPHALT AS REQD. PROPERLY PREP FOR
INFILL AREA FOR SOIL AND LANDSCAPING PER LANDSCAPE
DRAWING REQUIREMENTS
14. NEW WALL. MOUNTED LIGHT. COORDINATE W/ ARCHITECT
FINAL LOCATION.
15. 24" HIGH TO PARKING PAVEMENT SIGNING. PAINT YELLOW
16. 4" WIDE ELASTOMERIC PAINT STRIPING COLOR YELLOW
- AL-T-1 17. ONE-WAY DIRECTIONAL SIGNING. MOUNT AS PER MANUF. REQUIREMENTS.
INSTALL IN EXISTING EXISTING STRIPING AREA. PAINT AS PART OF ALTERNATE-1
18. APPROVED STOP SIGN W/ GALV. ALUM. POLE. SUPPORT WITH
CONCRETE ANCHOR FOOTING AS PER MANUF. REQUIREMENTS.
19. EXIST'S CATCH BASIN TO REMAIN. CONFORM
TO PROTECT AS REQUIRED. VERIFY LOCATION PRIOR TO COMMENCEMENT
OF WORK.
20. REMOVE EXISTING GRASS/SOIL AS REQUIRED FOR NEW LANDSCAPING/
PARKING PLANS. REFER TO SHEETS 1-1 AND 1-1.
21. EXISTING 5'-0" MANUALLY OPERATED ALUMINUM SECURITY GATE. PROPERLY
PREP. AS REQUIRED FOR PAINT FINISH. COLOR WHITE. SUBMIT
SAMPLER TO ARCHITECT FOR APPROVAL.
22. EXISTING ASPHALT PAVEMENT TO REMAIN.
REMOVE ADDITIONAL ASPHALT SEALER TO EXPOSE ASPHALT SURFACE.
MATCH IMPROVED AREA. REPAIR EXISTING ASPHALT
& SUBSURFACE AS REQUIRED BY NEW CONSTRUCTION.
23. REMOVE EXISTING PAVED/ASPH. AS REQUIRED FOR NEW
PARKING IN THIS SEAS. AS REQUIRED SEE SHEET 1-1
FOR ADDITIONAL INFORMATION.
24. REMOVE EXISTING BOLLARD LIGHTING. REPAIR WALL
AS REQUIRED TO MATCH EXISTING. INSTALL
NEW 24" HIGH CONC. LUMBERPILE POLE SPRINGS.
REFER TO DETAIL THIS SHEET. NO PAINT FINISH.
REFLECTORS ON SOUTH, EAST & WEST
25. EDGE OF PAVEMENT
26. EXISTING 5'-0" HIGH CADAW WALL TO REMAIN
NEW PAINT FINISH (R.C.)
27. R.C.
28. V.I.F. - VERIFY LOCATION IN FIELD.
29. DO NOT ENTER SIGN ON LANE-STRIP STOP W/ CONC. LUMBERPILE FOLLOWING
ALTERNATE 1.1. PRICE AS PART OF ALTERNATE 1.1 BUILDING.
30. NOT USED.
- AL-T-1 31. NO LEFT TURN SIGN ON LANE/STRIP STOP. PRICING AS
PART OF ALTERNATE 1.1.
32. REMOVE EXISTING ASPHALT PAVING AS REQUIRED. REPAIR
OCCUPANT AND PARALLEL AS REQUIRED. REPAIR FISCAL
AND REPAIR ASPHALT AS REQUIRED. REPAIR FISCAL.
33. 42" HIGH CONCRETE BOLLARD. REFER TO DETAIL FOR ERECTION
THIS SHEET.
34. 8" X 24" X 8" CONC. POLE FOR ELECTRICAL ENGINEERING
DOOR. OVERLAP JOINTS FOR ELECTRICAL WIRING WORKS.
REQUIRED FOR CORD OPERATION. PLUGS AS
SCHEDULED. EXIST'S SIGN AND REPAIR AS NECESSARY.
- ACCESSIBILITY: C-1209
- ELEVATOR:

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY _____
DATE _____

APPROVED FOR PERM
POST W/ CONCERN FOLLOWING

TERMINATE-1
BUILDING

OST. PAGE NO:

PLUMBING
AS REQUIRED.

REQUIRED CIRCUMSTANCES
REQUIRED PATCH
HAIN

TO DETAIL THE

ENGINEER

SLAB 2 AF

AS HINDUSTAN
ACCESS

ELEVATOR

1

133

STR BOA
BAC

ROBBOTT AVE.	
1	10
2	9
3	8
4	7
5	6
6	5
7	4
8	3
9	2
10	1
BYRON AVE.	

LOCATION MAP

LEGAL DESCRIPTION:
LOTS 12, 11 AND 12, BLOCK "M" CORRECTED PLAT OF
ATLANTIC HEIGHTS" LESS: TWO EAST 2.0 FEET THEREOF, ACCORDING
TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK • PAGE 14 OF
THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.

33

GENERAL NOTES

1. THE CONTRACTOR SHALL PROVIDE A GUARANTEE AGAINST DEFECTIVE WORKMANSHIP MATERIALS USED FROM THE DATE OF COMPLETION OF THE WORK.

2. THE CONTRACTOR SHALL PROVIDE TEMPORARY SERVICE.

3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70B.

4. THE CONTRACTOR SHALL MAINTAIN EXISTING CONDITIONS AND ALL UTILITIES SHALL BE PROTECTED AND NOT BE DAMAGED BY THE WORK.

5. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE LOCAL ELECTRIC UTILITIES.

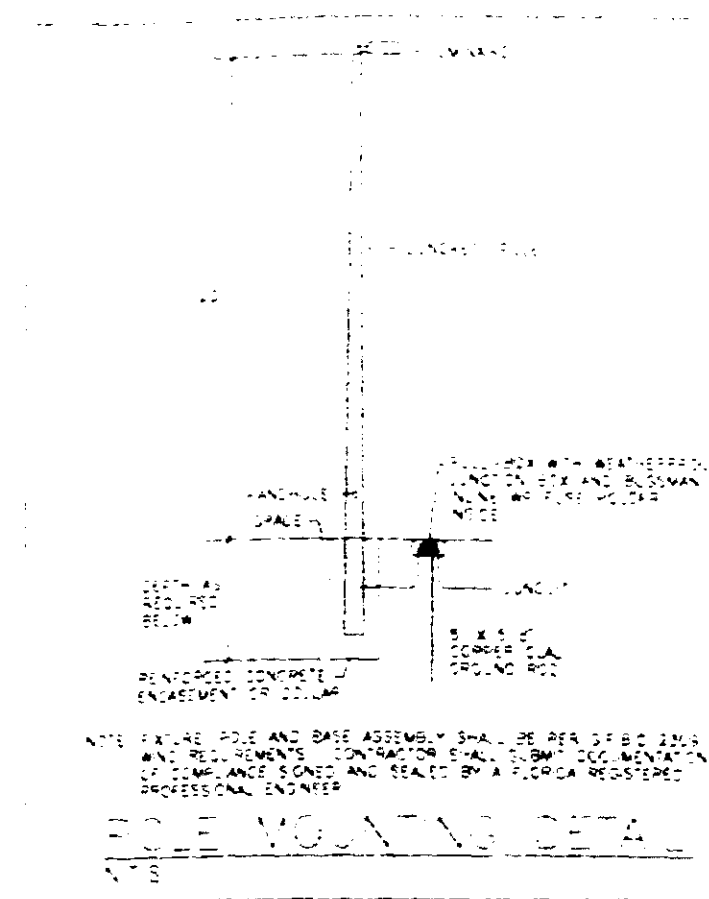
6. THE CONTRACTOR SHALL PROVIDE ALL LUMINAIRES AND FIXTURES TO BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70B.

7. ALL WIRING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70B.

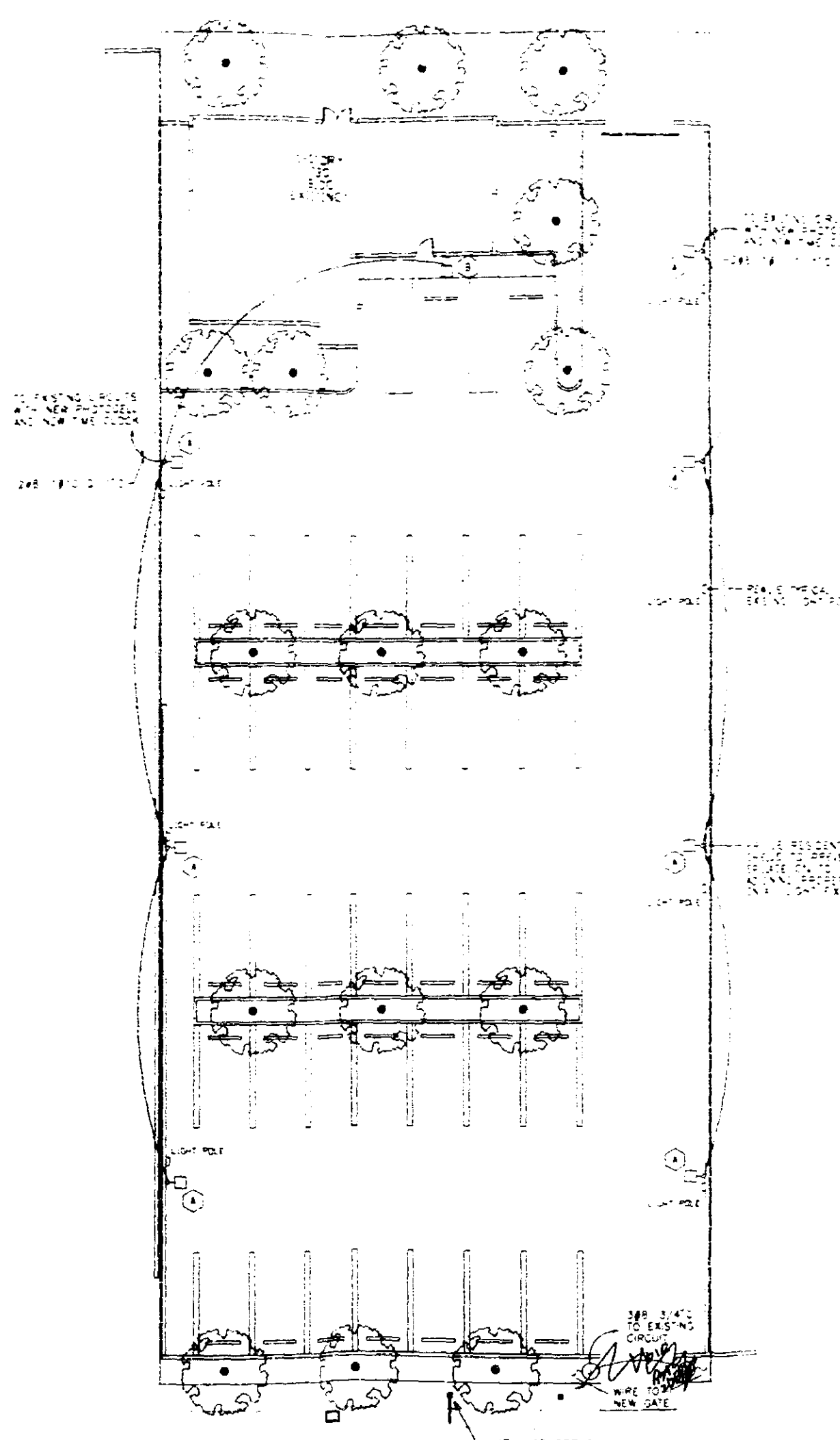
8. ALL LUMINAIRES AND FIXTURES SHALL BE WEATHERPROOFED.

9. THE CONTRACTOR SHALL PROVIDE A DETAILED LIST OF ALL MATERIALS AND EQUIPMENT TO BE USED IN THE WORK.

10. THE CONTRACTOR SHALL PROVIDE A DETAILED LIST OF ALL MATERIALS AND EQUIPMENT TO BE USED IN THE WORK.



FIXTURE SCHEDULE					
QTY	TYPE	WATTAGE	DESCRIPTION	MANUFACTURER & CATALOG NUMBERS	NOTES
1	A	400	24" 250W	SHARP CUT OFF POLE MOUNTED LIGHT	CANON 400W SPOT 4 HSS 170
1	B	400	24" 250W	SHARP CUT OFF POLE MOUNTED LIGHT	CANON 400W SPOT 4 HSS 170



OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

ENGINEER: [Signature]
PLUMBING: [Signature]
ELECTRICAL: [Signature]
MECHANICAL: [Signature]
PUBLIC WORKS: [Signature]
STRUCTURAL: [Signature]
ACCESSIBILITY: [Signature]

SITE PLAN
SCALE: 1" = 16'-0"

LOAD ESTIMATE
THE NEW PARKING LOT LIGHTING
REPLACES THE EXISTING PARKING
LOT LIGHTING.

NOTE: THE PARKING LOT LIGHTING LEVEL IS 4' HIGHER THAN THE EXISTING PARKING LOT LIGHTING LEVEL. SEE SECTION 3504 FOR DETAILS.

DATE: 10/1/11
DRAWN BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]

Southern Bell
A BELL SOUTH COMPANY

SURFSIDE SOC WORKCENTER
ELECTRICAL LIGHTING PLAN

Sheet Description
ELECTRICAL LIGHTING PLAN

SHEET NO.
E-1

OF SHEETS

33

PLANT LIST
 1. 1" D. HYDRANGEA (10' H. - 10' W. - 10' D.)
 2. 1" D. LILY OF THE VALLEY (10' H. - 10' W. - 10' D.)
 3. 1" D. PINK PEAKE (10' H. - 10' W. - 10' D.)
 4. 1" D. PINK PEAKE (10' H. - 10' W. - 10' D.)
 5. 1" D. PINK PEAKE (10' H. - 10' W. - 10' D.)
 6. 1" D. PINK PEAKE (10' H. - 10' W. - 10' D.)
 7. 1" D. PINK PEAKE (10' H. - 10' W. - 10' D.)
 8. 1" D. PINK PEAKE (10' H. - 10' W. - 10' D.)
 9. 1" D. PINK PEAKE (10' H. - 10' W. - 10' D.)
 10. 1" D. PINK PEAKE (10' H. - 10' W. - 10' D.)

CITY OF MIAMI BEACH REQUIREMENTS
 1. 1" D. HYDRANGEA (10' H. - 10' W. - 10' D.)
 2. 1" D. LILY OF THE VALLEY (10' H. - 10' W. - 10' D.)
 3. 1" D. PINK PEAKE (10' H. - 10' W. - 10' D.)
 4. 1" D. PINK PEAKE (10' H. - 10' W. - 10' D.)
 5. 1" D. PINK PEAKE (10' H. - 10' W. - 10' D.)
 6. 1" D. PINK PEAKE (10' H. - 10' W. - 10' D.)
 7. 1" D. PINK PEAKE (10' H. - 10' W. - 10' D.)
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 9. 1" D. PINK PEAKE (10' H. - 10' W. - 10' D.)
 10. 1" D. PINK PEAKE (10' H. - 10' W. - 10' D.)

LANDSCAPE NOTES

NOTE:
 All sizes shown for plant material on plans are to be considered minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida No. 1 or better and shall be installed as per CSI Specifications.

All plant materials shall be planted in planting soil that is delivered to the site in a clean loose and friable condition. All soil shall have a well drained characteristic. Soil must be free of all rocks, sticks and objectionable material including weeds and seed as per CSI Specifications.

All plant materials shall be thoroughly watered in at the time of planting; no dry planting shall be permitted. All plant materials shall be planted such that the top of the plant ball is flush with the surrounding grade.

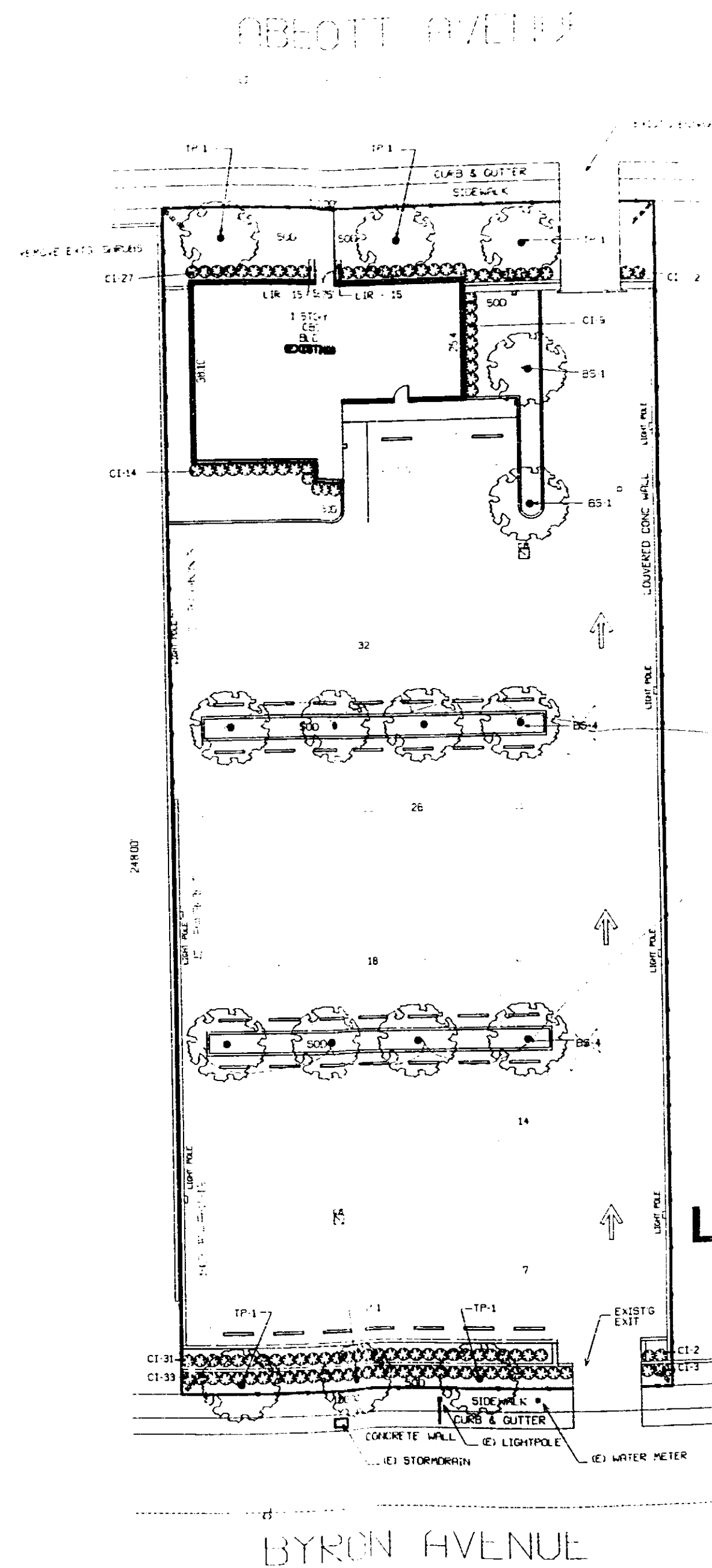
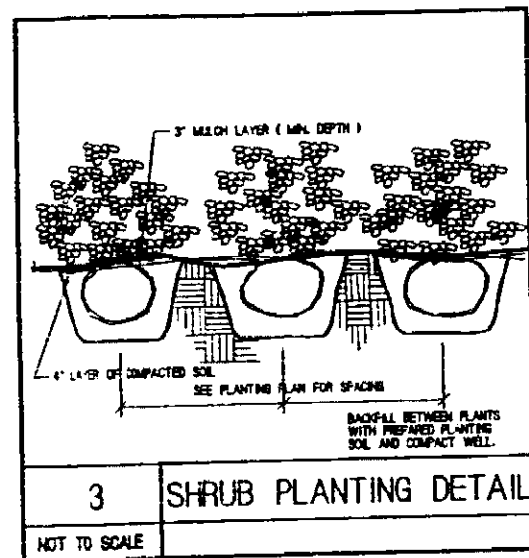
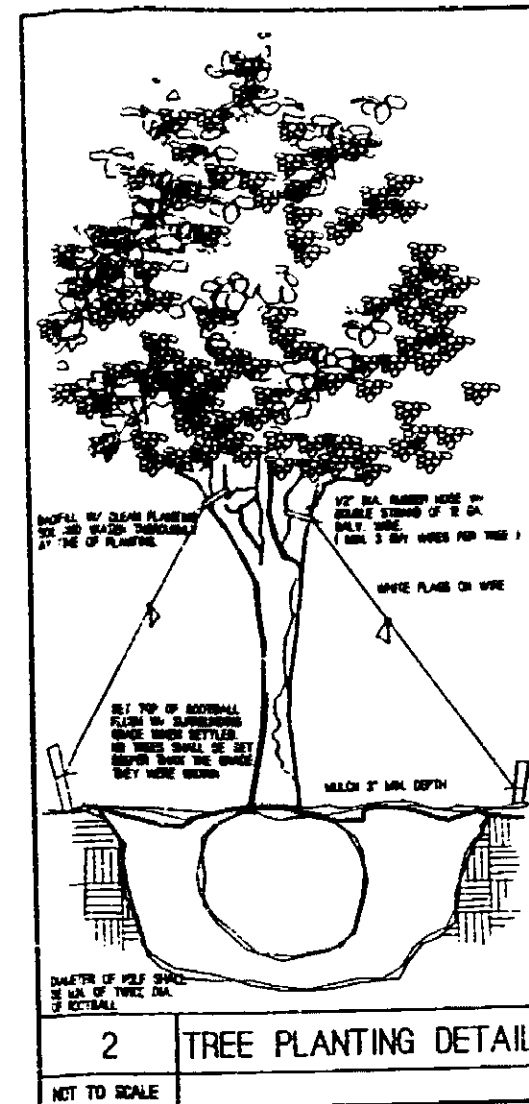
All plant materials shall be installed with fertilizer which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K, of which 50% of the nitrogen shall be derived from an organic source as per CSI Specifications.

All landscape areas shall be covered with cypress bark mulch to a minimum depth of two (2) inches of cover when settled.

All landscape areas shall be irrigated by a fully automatic system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 50% overlap as per manufacturers specifications and performance standards.

Contractors are responsible for coordinating with owner and appropriate public agencies to assist in locating and verifying underground utilities prior to excavation.

Contractors are responsible for coordinating and cooperating with all other disciplines working on the project and to report irregularities as they are discovered.



OFFICE COPY
 CITY OF MIAMI BEACH
 APPROVED FOR PERMIT BY
 THE FOLLOWING:
 BUILDING: _____
 PLUMBING: _____
 ELECTRICAL: _____
 MECHANICAL: _____
 FIRE PREVENTION: _____
 ENGINEERING: _____
 PUBLIC WORKS: _____
 STRUCTURAL: _____
 ACCESSIBILITY: _____
 ELEVATOR: _____

LANDSCAPE PLAN

SCALE: 1" = 16'-0"

DESIGN REVIEW BOARD
 BOARD APPROVAL: _____
 DIRECTOR APPROVAL: _____
 APPROVED: _____
 NOTED: _____
 BY: _____

JOB NO. 962
 DATE: 02/17/97
 DRAWN BY: M.L./JL
 REVISIONS: 02/17/97

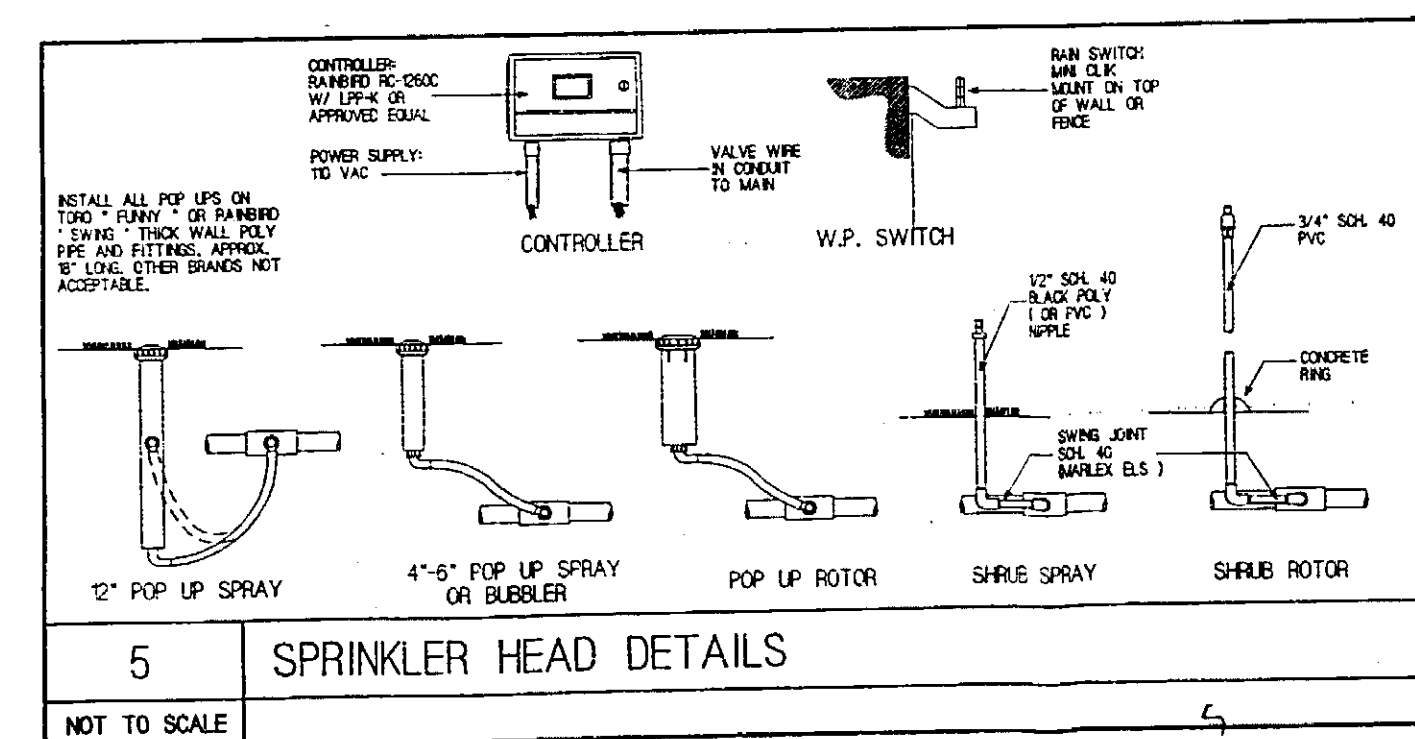
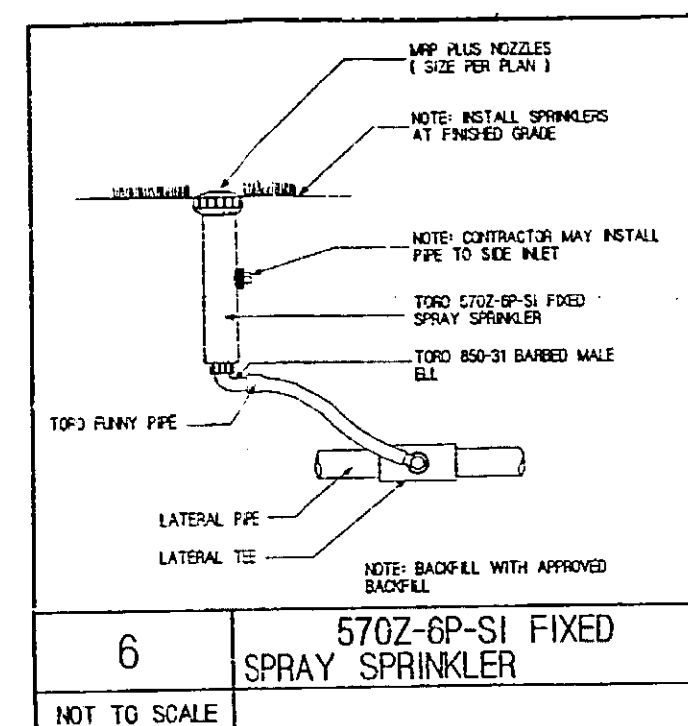
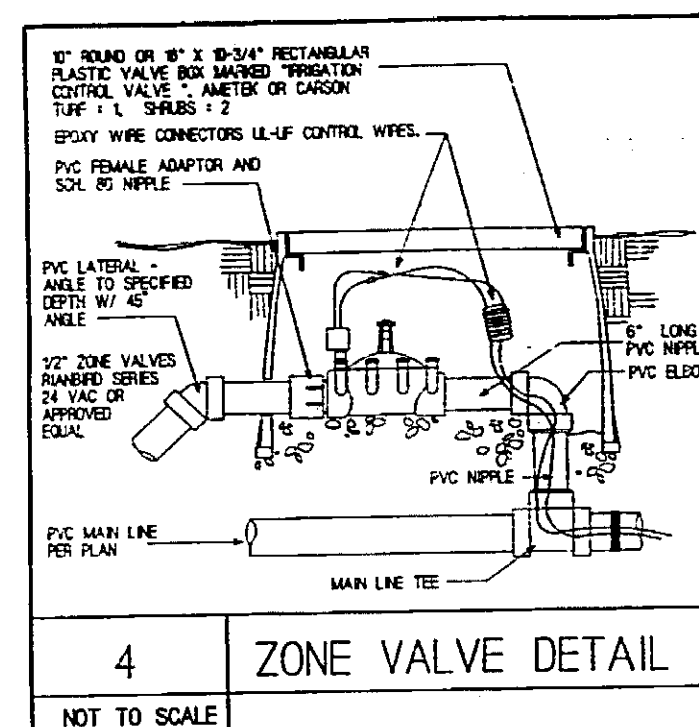
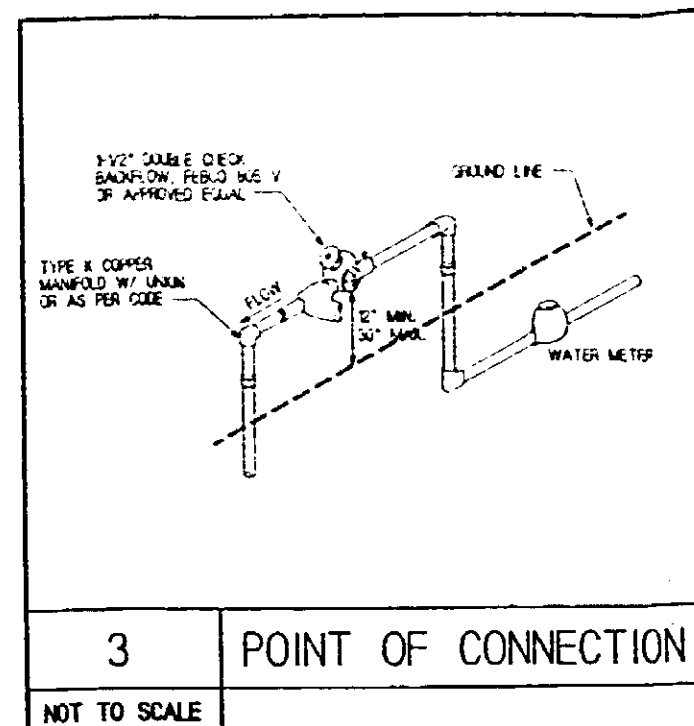
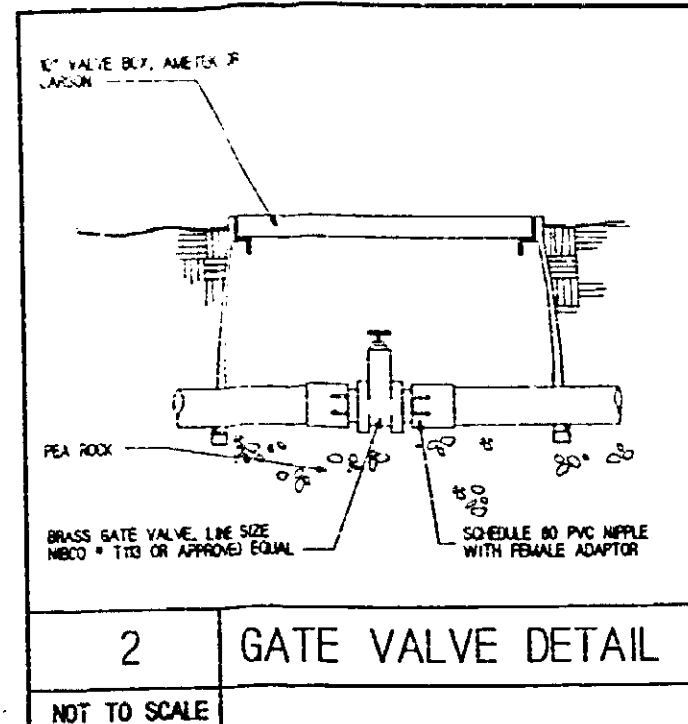
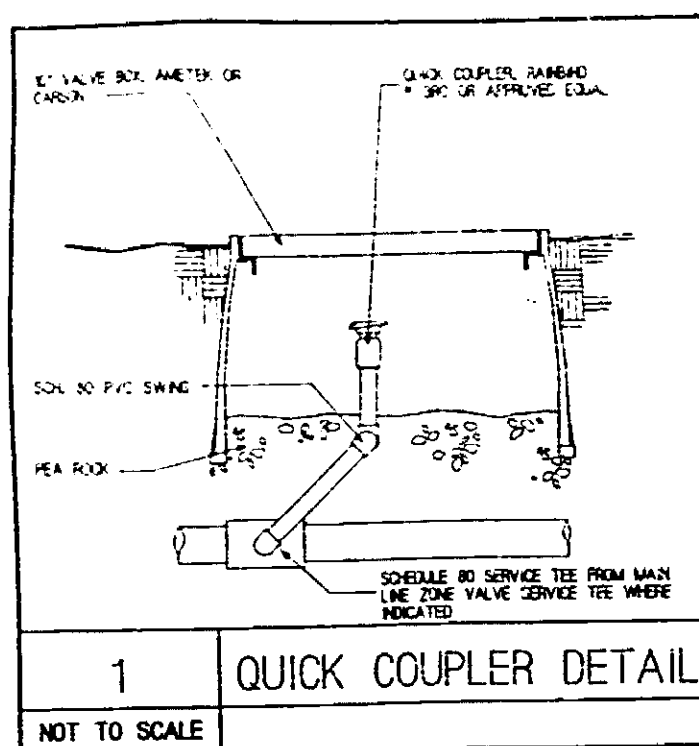
OFFERLE - LERNER AIA ARCHITECTS AND PLANNERS MIAMI, FLORIDA

A BELL SOUTH COMPANY

SURFSIDE SOC WORKCENTER
 6940 ABBOTT AVENUE
 MIAMI BEACH, FLORIDA

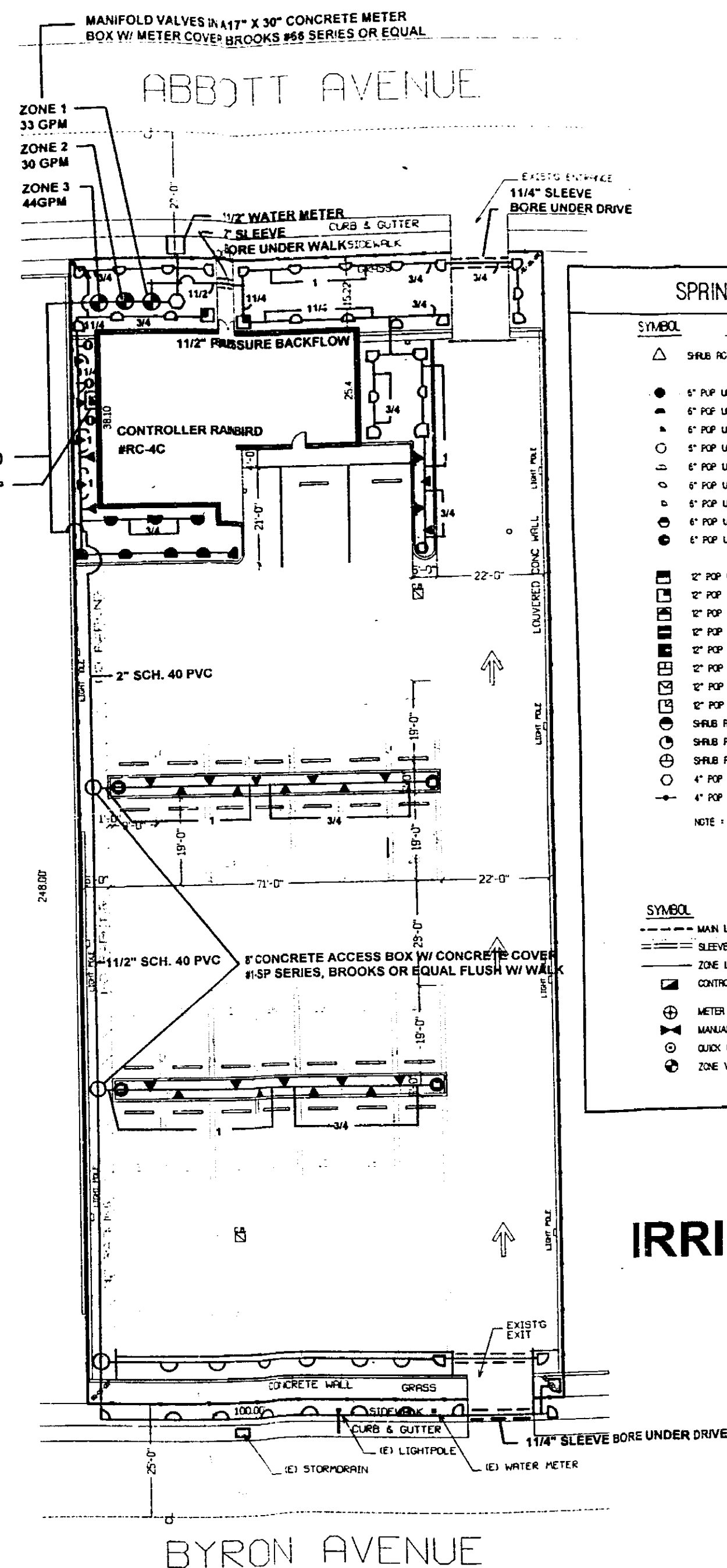
Sheet Description: _____

SHEET NO: L-1
 OF 2 SHEETS



IRIGATION NOTES :

- MAIN LINES : PVC, Schedule 40
Zone Lines : PVC, VCT, 1" SCH. 15S, 3/4" SPI, 1/4" & 1" - SCH. 20
HD SPI : 1/4" & greater - SCH. 25, 60 PSI.
Note zone line running along easement, easement of lots shall be 5' - Schedule 40
Seewells : PVC, Schedule 40
Fittings : PVC, Schedule 40
Fabrication : Square cut and prime all joints. Use blue or grey PVC cement. Fully engage all joints.
All fabrication shall be to manufacturers specifications.
All main lines are cut to 12" lengths before pressing.
All pipe, fittings, and solvents to conform to latest ASTM specs.
2. DEPTH OF LINES :
a. All laterals and main lines shall be 24" deep.
3' laterals - 18" deep.
2" and 1-1/2" laterals - 12" deep.
1-1/2" and smaller laterals - 8" deep.
3. CONTROL VALVES :
AWG 1/4" for all hot valves and AWG 1/2" for common.
Solid copper type 1/2" UL listed for direct burial.
Run valves on main and tapel every 20 feet.
Run a minimum of 5' spaces to each end of main.
All valves only in valve box. All splices shall be moisture proof using Spapex or IBY UL connectors. Common shall be white, hot valves shall be red splices shall be black.
4. Backfill all trenches free of debris, compact to original density
Flush all lines and screens in 12" hours adjust heads for proper coverage avoiding excess water on walks, walls, paving etc.
5. All details are graphically shown only. All quantities shall be verified by contractor prior to installation. It shall be the contractor's responsibility to provide complete installing coverage, construct before proceeding. Code and local regulations shall take precedence over these plans.
The landscape architect reserves the right to make minor field changes, the contractor may field adjust spray nozzles according to provide proper coverage.
6. Provide owner with an accurate "AS INSTALLED" plan at completion showing lines, wiring, valves, crossings, etc. using dimensions from field surveys.
7. These plans allow the modification of an existing irrigation system in the areas as shown. Pay particular attention to the bank of (6) existing zone valves mulched at the east area of construction. The manifold zone valves are located in the area of construction supplying the manifold and to laterals going out to various zones will be affected by construction. Repair as required, substitute sch. 40 pipe and fittings. Note wet footings as required. The irrigation system outside the areas of construction (14 of 16 zones) shall be kept operational during construction.
8. Adjust heads for proper coverage. The irrigation contractor may substitute nozzle patterns for optimum coverage. Use screens in all heads. Adjust, replace or relocate existing sprinklers adjacent to affected areas to assure complete and proper coverage.
9. Irrigation water to be from a municipal source and shall be used - free as required.



SPRINKLER HEAD SCHEDULE

<u>SYMBOL</u>	<u>TYPE</u>	<u>MODEL NO.</u>
△	SPRUE ROTOR (LOW ANGLE)	TORN * 5600-2-9PC OR * 5600-5-9PC AS REQ.
●	1" POP UP SPRAY - NOZZLE BELOW	TORN * 570C-4P-1" F
●	1" POP UP SPRAY - NOZZLE BELOW	TORN * 570C-4P-1" H
▲	1" POP UP SPRAY - NOZZLE BELOW	TORN * 570C-4P-1" Q
○	1" POP UP SPRAY - NOZZLE BELOW	TORN * 570C-4P-1" F
○	1" POP UP SPRAY - NOZZLE BELOW	TORN * 570C-4P-1" H
○	1" POP UP SPRAY - NOZZLE BELOW	TORN * 570C-4P-1" Q
○	1" POP UP SPRAY - NOZZLE BELOW	TORN * 570C-4P-2" T
○	1" POP UP SPRAY - NOZZLE BELOW	TORN * 570C-4P-2" Q
○	1" POP UP SPRAY - NOZZLE BELOW	TORN * 570C-4P-4" SST
○	1" POP UP SPRAY - NOZZLE BELOW	TORN * 570C-4P-12" SST
■	2" POP UP SPRAY - NOZZLE BELOW	TORN * 570C-6P-12" H
■	2" POP UP SPRAY - NOZZLE BELOW	TORN * 570C-6P-12" Q
■	2" POP UP SPRAY - NOZZLE BELOW	TORN * 570C-6P-4" SST
■	2" POP UP SPRAY - NOZZLE BELOW	TORN * 570C-6P-4" EST
■	2" POP UP SPRAY - NOZZLE BELOW	TORN * 570C-6P-4" T
■	2" POP UP SPRAY - NOZZLE BELOW	TORN * 570C-6P-10" TLA
■	2" POP UP SPRAY - NOZZLE BELOW	TORN * 570C-6P-12" TLA
■	2" POP UP SPRAY - NOZZLE BELOW	TORN * 570C-6P-12" EST
○	SHRUB RISER SPRAY - NOZZLE BELOW	TORN * 570S-12" H
○	SHRUB RISER SPRAY - NOZZLE BELOW	TORN * 570S-12" Q
○	SHRUB RISER SPRAY - NOZZLE BELOW	TORN * 570S-12" HLA
○	4" POP UP FLOOD BUBBLER	TORN * 570C-4P-FB-200-ADJ-PC
○	4" POP UP FLOOD BUBBLER	TORN * 570C-4P-FB-2-180

NOTE: RAINBOW 1950 SERIES OR HUNTER POP SERIES ROTORS AND
RAINBOW 1800 SERIES SPRAYS MAY BE SUBSTITUTED, DO NOT
MIX INSTAL SIZES IN ANY HEADS.

<u>SYMBOL</u>	<u>DESCRIPTION</u>
=====	MAIN LINE : 2-1/4" SCH 40 PVC
=====	SLEEVES : SCH 40 PVC AS NOTED
=====	ZONE LINES : SCH PVC AS NOTED
■	CONTROLLER : RAINBOW RC-100C W/ LBP- MAN CLK RAIN SWITCH
⊕	MANUAL / BLOWDOWN POINT OF CONNECTION FOR WINTER DATE VALVES W/ BOX PER DETAIL
○	QUICK COUPLERS W/ BOX PER DETAIL
○	ZONE VALVE W/ BOX PER DETAIL - 1/2"

OFFICE C
CITY OF MIAMI

APPROVED FOR PER
THE FOLLOWING

CONING
FLOWING
ELECTRONICS
MECHANICALS

100
100-2

IRRIGATION PLAN

SCALE: 1" = 16'-0"

DESIGN REVIEW BOARD
BOARD APPROVAL: _____
DIRECTOR APPROVAL: _____
APPROVED BY: _____
CHECKED BY: _____
NOT APPROVED: _____
DATE: 2-24-91

CHIDA	JOB NO.	952
	DATE:	02/07/97
	DRAWN BY	N.L./J.M.
	REVISIONS:	02/17/97

MIAMI, FLORIDA

ARCHITECTS AND PLANNERS

A BELL SOUTH COMPANY

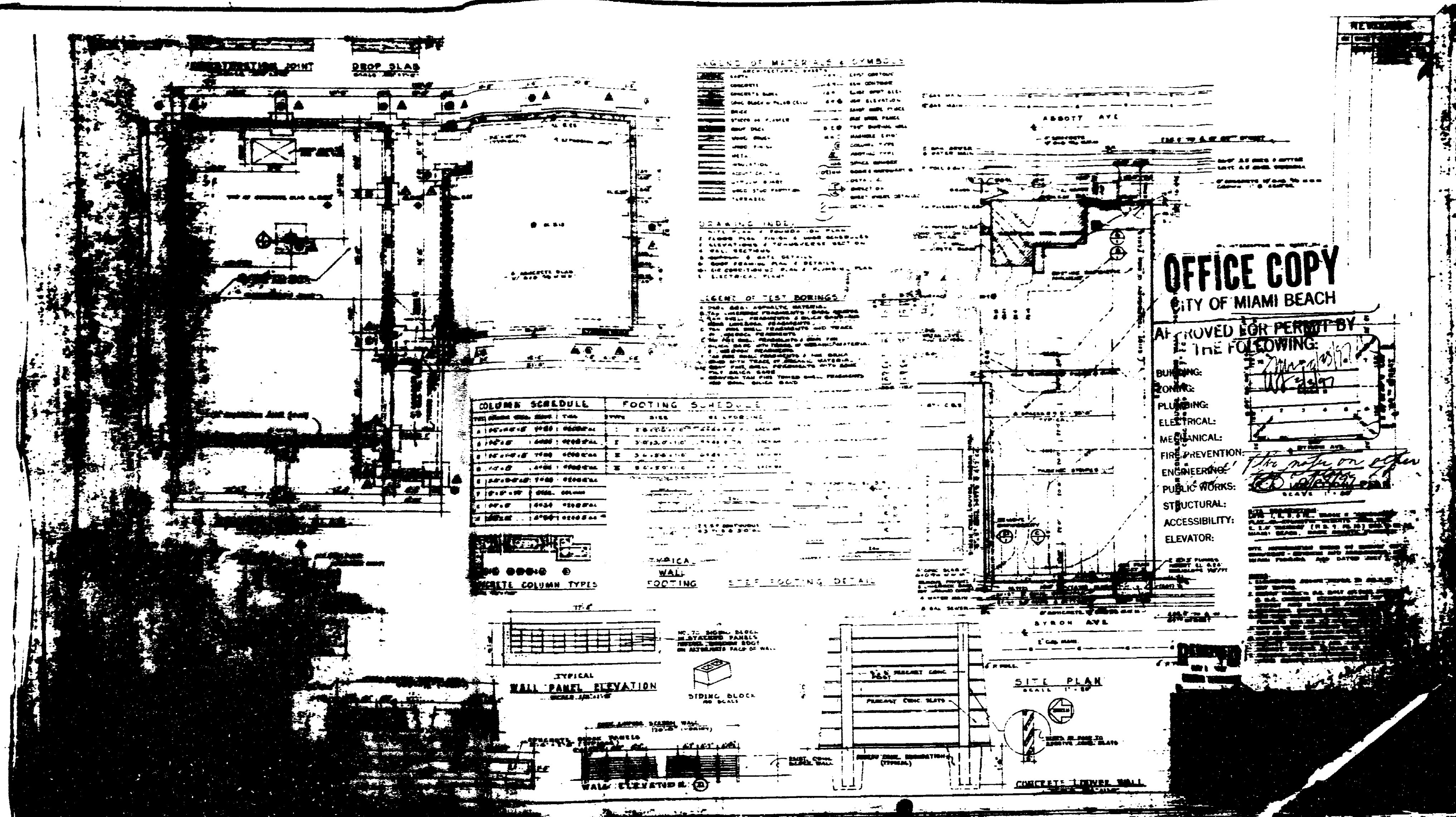
SURFSIDE SOC WORKCENTER

3940 ABBOTT AVENUE
MIAMI BEACH, FLORIDA

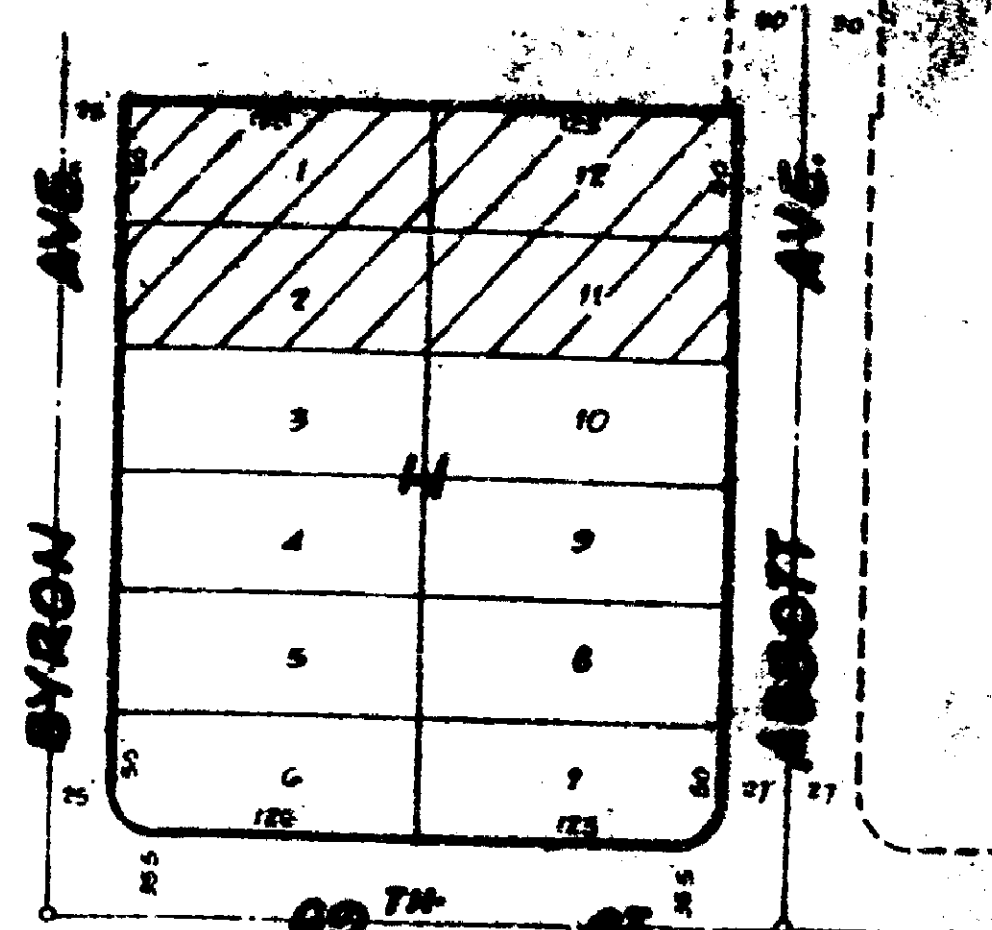
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B9701492



78191



LOCATION MAP
SCALE 1"=80'

LEGAL DESCRIPTION:
 LOTS 1, 2, 11 AND 12, BLOCK "H" CORRECTED PLAT OF
 ATLANTIC HEIGHTS LESS THE EAST 7.0 FEET THEREOF, ACCORDING
 TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 9 AT PAGE 14 OF
 THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.

I HEREBY CERTIFY
 THAT THE ATTACHED "SKETCH OF SURVEY" OF THE
 ABOVE DESCRIBED PROPERTY, IS TRUE AND CORRECT TO THE
 BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED
 AND PREPARED UNDER MY DIRECTION.

SCHWEBKE-SHISKIN & ASSOC'S, INC.

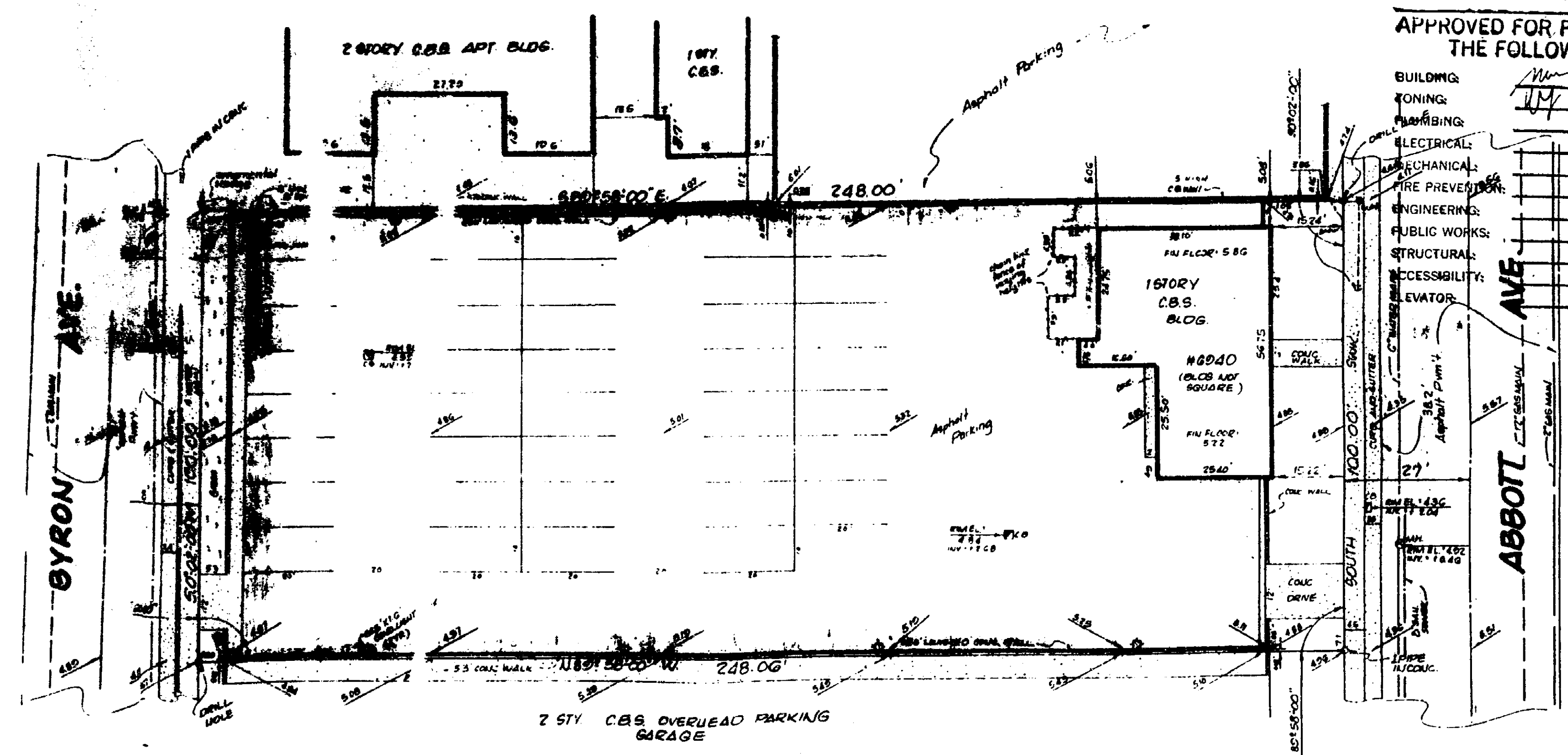
BY RICHARD P. SHISKIN PRES.

OFFICE COPY
 CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
 THE FOLLOWING:

BUILDING	<u>W 2/28/87</u>
TONING	<u>W 3/3/87</u>
PAVING	
ELECTRICAL	
MECHANICAL	
FIRE PREVENTION	
ENGINEERING	
PUBLIC WORKS	
STRUCTURAL	
ACCESSIBILITY	
ELEVATOR	

NOTES:
 DENOTES WOODPOWHER POLE
 DENOTES MANHOLE
 DENOTES CATCH BASIN
 ELEVATIONS SHOWN HEREON REFER
 TO CITY OF MIAMI BEACH (MAY) DATUM
 LATITUDE AND LONGITUDE WERE OBTAINED
 BY SCALE FROM U.S. COAST AND GEODETIC
 SURVEY QUADRANGLE 18-10-10
 LATITUDE AT CENTER OF PARCEL:
 80° 07' 13"
 LONGITUDE AT CENTER OF PARCEL:
 76° 04' 18"
 BENCH MARK = BRASS BAR IN CATCH
 BASIN AT SOUTHEAST CORNER OF ABBOTT
 AVE. AND 71ST ST. ELEV. 11.70 (MAY DATUM)
 UNDERGROUND UTILITY INFORMATION
 WERE OBTAINED FROM CITY OF MIAMI
 BEACH RECORDS, AND WERE NOT VERI-
 FIED BY THIS FIRM.



SKETCH OF SURVEY

IN
 SECTION 11, TOWNSHIP 65 SOUTH, RANGE 41 EAST
 MIAMI BEACH,
 FLORIDA

**SOUTH 7TH BELL TELEPHONE (TELEGRAPH COMPANY
 SU 1ST FLOOR SERVICE OPERATIONS CENTER**

SFA-3024

SCHWEBKE-SHISKIN & ASSOCIATES, INC.			
LAND PLANNERS		ENGINEERS	ARCHITECTS
MIAMI		FLORIDA	
By: <u>Richard P. Shiskin</u>	Drawn By: <u>Jude P. Data</u>	Date: <u>1-30-81</u>	Sheet No. <u>1</u> of <u>1</u>
Registered Land Surveyor No. <u>075</u> State of Florida	Order No. <u>190504</u> PB. 1816 / 75	Scale: <u>1"=10'</u>	
Registered Engineer No. _____ State of Florida	File No. <u>44-3507</u>	Sheet No. _____	

CITY OF MIAMI BEACH
Building Department
1700 Convention Ctr Drive, 2nd Floor
Miami Beach, Florida 33139
(305) 673-7610 Ext. 1436

Certificate of Completion

CERTIFICATE NO.: BCC09053

12-17-2008

Status: **APPROVED**

Site Address: 6940 ABBOTT AV MBCH

Parcel #: 32110010590

Class Code: B

Date Applied: 12/03/2008
Date To Expire:

Date Approved: 12/17/2008
Extended:

Applicant: DUFFEY CONSTRUCTION COMPANY IN
1395 NW 21 ST
MIAMI FL 33142

Owner: SOUTHERN BELL TEL & TEL CO
TAX ADM OFFICE
1155 PEACHTREE ST NE
ATLANTA GA 30367

Issued For: Certificate of Completion for interior & exterior


Building Permit #: B0803383

Temporary Expire Date:
Temporary/Partial Description:

This is to certify that all work done in reference to the permit mentioned on this document have been completed according to the **FLORIDA BUILDING CODE** and has been given final approval.

Applicable for Temporary Certificates Only

1. This **APPLICANT** must do everything necessary to obtain a **FINAL CERTIFICATE of COMPLETION** before the Expiration Date of this document.
2. This Certificate may be revoked by the Building Official upon 24 hours notice.
3. Special condition(s) may be applicable.

 12/17/08
Building Official Signature and Date
RICHARD MCCONACHIE

CITY OF MIAMI BEACH
BUILDING DEPARTMENT
1700 CONVENTION CENTER DR
2ND FLOOR - CITY HALL
MIAMI BEACH, FLORIDA 33139
(305) 673-7610

COMPLETE DESCRIPTION

DATE: 12-17-2008

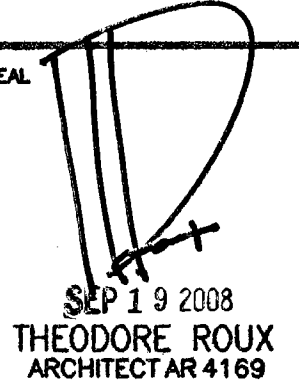
PERMIT NUMBER: **BCC09053**

STATUS: APPROVED

JOBSITE ADDRESS: **6940 ABBOTT AV MBCH**
CONTRACTOR: DUFFEY CONSTRUCTION COMPANY IN
OWNER: SOUTHERN BELL TEL & TEL CO

DESCRIPTION

Certificate of Completion for interior & exterior renovation for existing AT&T bldg



NOTICE: In addition to the requirement of this period, there may be additional restrictions applicable to this property that may be found in the Public Records of this County, and therefore, no additional permits required from other governmental entities and no other management districts, state agencies or federal agencies.

The City of Alhambra

Responsible for accuracy of or
disapproved subject to compliance with all
rules, regulations, codes, laws, and ordinances.

CONSULTANT

SUB-CONSULTANT

116 GIRALDA AVENUE
CORAL GABLES, FL.
305-443-8116

DATE	DESCRIPTION	CHNG/APPRO
04-07-08	ISSUED FOR REVIEW	
05-13-08	ISSUED FOR PERMIT/CONSTRUCTION	
06-12-08	PERMIT COMMENTS	
06-25-08	PERMIT COMMENTS-CLG OMITTED	
08-19-08	FIELD REVISIONS	

PROJECT TITLE

6940 ABBOTT AVENUE
MIAMI BEACH, FLORIDA 33141

KEY PLAN

DATE	04-07-08
DRAWN BY	GWC/NYR
CHECKED BY	TLR
APPROVED BY	TLR

NOT FOR CONSTRUCTION ☐
RELEASED FOR CONSTRUCTION ☒
AS-BUILT DRAWING ☐

DATABASE M6213A2001

DRAWING TITLE

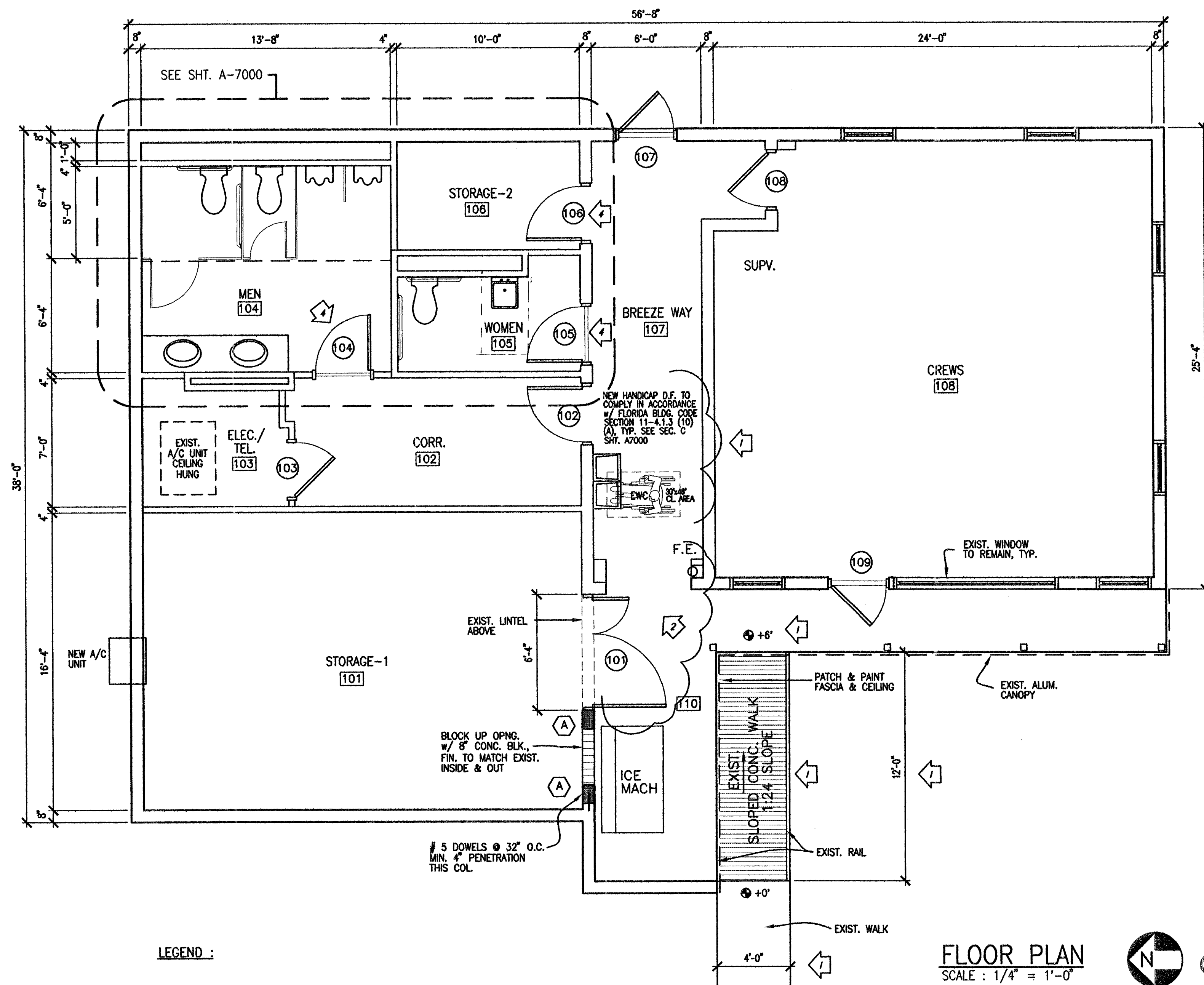
FLOOR PLAN

GLC NO.

M6213

AWING NO.

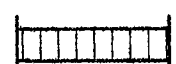
A2001



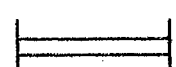
SCOPE OF WORK

1. a. REMOVE EXIST. EXTERIOR WINDOW AND DOOR TO STORAGE 1, PROVIDE NEW FLUSH METAL DOUBLE DOORS 2'-3"-0"x7'-0"x1/4".
 - b. PROVIDE NEW HANDICAP STALL IN EXIST. MENS ROOM, NEW VANITY AND MIRROR, ALTER WOMENS ROOM TO COMPLY TO H.C. REQUIREMENTS.
 - c. INTERIOR PAINTING AND NEW FLOOR FINISHES.
2. a. THE ALTERATION LEVEL PER FBC (E) 304 IS LEVEL 2.

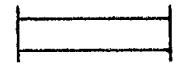
LEGEND :



NEW 8" CONC. BLOCK WALL



EXIST. DRYWALL PARTITION TO REMAIN



EXIST. WALL TO REMAIN



NEW 8"x12" TIE COL. w/ 4 #5's VERT.
& #3 TIES @ 12" O.C., 4 #5 DOWELS
EPOXY MIN. 4" PENETRATION INTO EXIST.
LINTEL ABOVE & SLAB BELOW

PLAN REVIEW NOTICE
Phone 305-673-7080 Fax 305-673-7028

THIS PLAN REVIEW CONSTITUTES APPROVAL FOR
OBTAINING BUILDING PERMITS ONLY.

All construction and/or use of equipment in the right-of-way and/or easements, requires a separate Public Works Department permit prior to start of construction.

Permit Requirements: Proof of existing sidewalk/swale area conditions (pictures) and/or posting of sidewalk/roadway bonds (Public Works inspection of the right-of-way will be required prior to

48 HOURS PRIOR TO EXCAVATING
CONTRACTOR SHALL CALL FOR LOCATION
OF UNDERGROUND UTILITIES
SUNSHINE ONE-CALL 1-800-482-6770
CITY OF MIAMI BEACH 305-673-7090

FLOOR PLAN
SCALE : 1/4" = 1'-0"

BUILDING AREA : 1,760 S.F.

BUILDING OCCUPANCY : BUSINESS GROUP/BUILDING:

BUILDING AREA : 1,760 S.F.

BHS0803160
OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING: 10/29/2008
JESS GROUP/MBING:
ZONING:
DEB/MB:
829/2508

CONCURRENCY: _____
PLUMBING: _____
ELECTRICAL: _____
MECHANICAL: _____
FIRE PREVENTION: _____
ENGINEERING: _____
PILING WORKS: ENT 04-25-2008
STRUCTURAL: _____
ELEVATOR: _____

Bergquist Selu.
305-219-4837

BST / ATT
ABBOTT Ave
Revision To
B0803383

BMS0803160

HSTR: B0803383
BMS0803160

6940 ABBOTT AVE
OFFICE COPY

48 HOURS PRIOR TO EXCAVATING
CONTRACTOR SHALL CALL FOR LOCATION
OF UNDERGROUND UTILITIES
SUNSHINE ONE-CALL 1-800-432-4770
CITY OF MIAMI BEACH 305-673-7030

Phone 305-673-7030 Fax 305-673-7023

THIS PLAN REVIEW CONSTITUTES APPROVAL FOR
OBTAINING BUILDING PERMITS ONLY.

All construction and/or use of equipment in the right-of-way and/or
easements, requires a separate Public Works Department permit prior
to start of construction.

Permit Requirements: Proof of existing sidewalk/sale area conditions
(pictures) and/or posting of sidewalk/roadway bonds
(Public Works inspection of the right-of-way will be required prior to
final sign-off on the C.C. / C.O., or the release of bonds.)

Approved/Reviewed By: 691-09-25-2008 Date: 09/25/08

BMS0803160

OFFICE COPY

CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY

THE FOLLOWING:

BUILDING: 09/25/08

ZONING: 8-2 9/25/08

DOB/HPB: _____

CURRENCY: _____

PLUMBING: _____

ELECTRICAL: _____

Mechanical: _____

Fire Prevention: TAKASU 9/25/08

ENGINEERING: _____

PUBLIC WORKS: 691-09-25-2008

CONCRETE: _____

LABORER: _____