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PRIVATE RESIDENCE
6455 PINETREE DRIVE CIRCLE
MIAMI BEACH, FL 33141

Owner:

PRIVATE RESIDENCE

Civil Engineer Consultant:
Name: Ocean Engineering
Address: 8101 Biscayne Blvd., Unit # 508
Address: Miami, Florida 33138
Tel: (786) 518 2008
Cell: (786) 253 5252
Web site: <https://www.oceanengineeringinc.com>

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Tel: +1(305) 573 1818
Fax: +1(305) 573 3766
Email: info@kobikarp.com



SECOND FLOOR PLAN

Date: 06-01-2021

Scale :

Project # : 2052

Sheet No.

A3.02


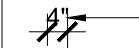



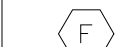
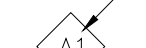
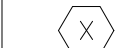


INSULATION & FENESTRATION VALUES
USED FOR ENERGY CALCULATIONS

- WALL TYPE, CONCRETE BLOCK, EXTERIOR R VALUE, R=4.1
- ROOF = R=30
- GLASSES U-VALUE = 1.06; SHGC = 0.32

FIRE PROTECTION NOTES

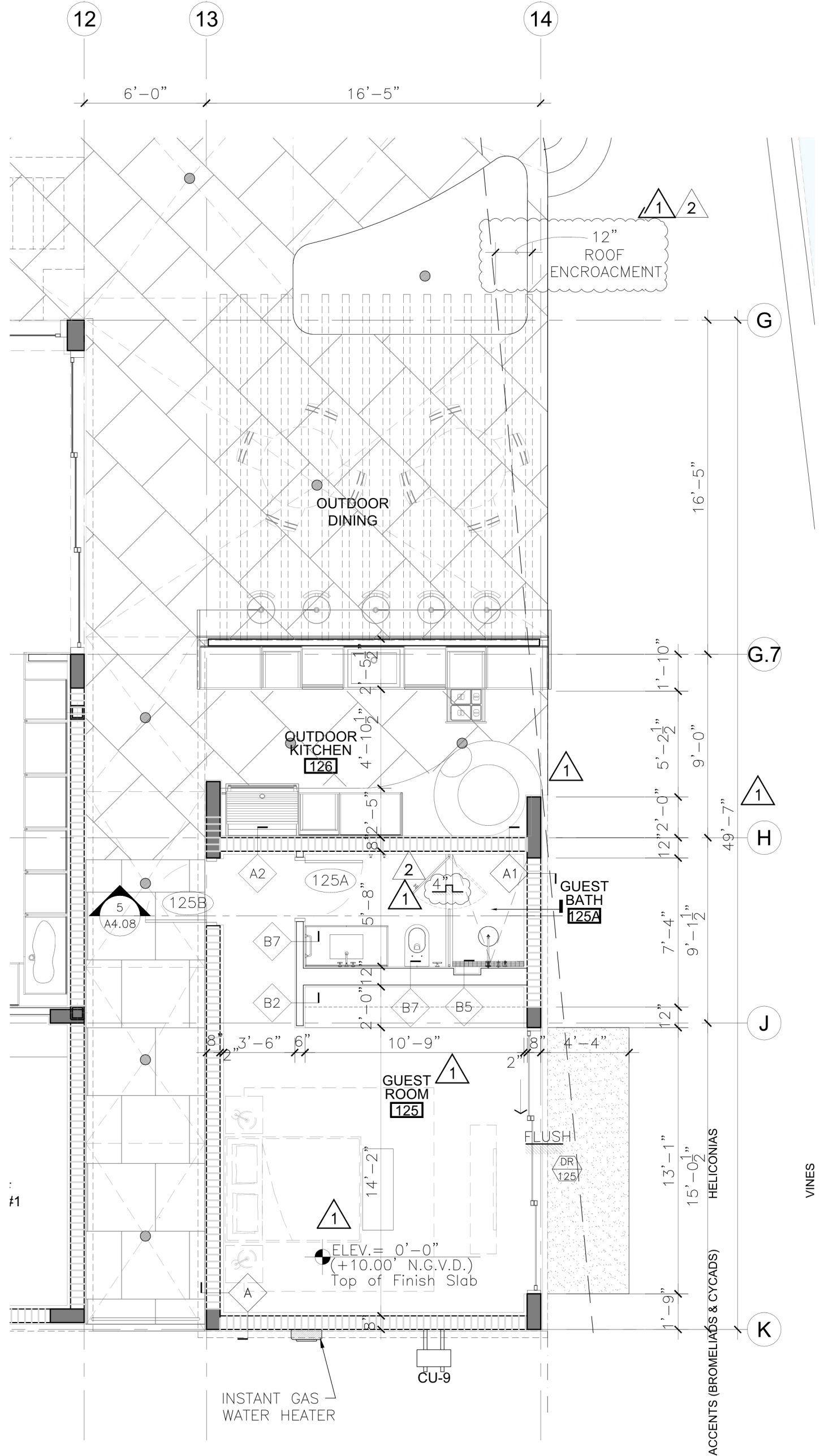
- PROVIDE SMOKE ALARMS OR COMBO CM / SMOKE DETECTORS IN EACH SLEEPING ROOM, IMMEDIATE VICINITY OF SLEEPING AREAS, AND ON EACH ADDITIONAL STORY. THEY SHALL BE INTERCONNECTED WITHIN THE WORK AREA, AND BE HARD WIRED OR POWERED BY BUILDING POWER SOURCE. FBCR 314.2-7. ALSO REQUIRED WHEN NOT CONFLICTING WITH THE ABOVE: NOT LESS THAN 3' FROM BATHROOM DOOR WITH A TUB OR SHOWER, IONIZATION TYPE NOT LESS THAN 20' FROM A COOKING APPLIANCE, OR 10' IF EQUIPPED WITH A SILENCING SWITCH. PHOTOELECTRIC NOT LESS THAN 6' FROM A COOKING APPLIANCE.
- PROVIDE CARBON MONOXIDE ALARMS FOR BUILDINGS WITH A FIREPLACE, AN ATTACHED GARAGE AND FOSSIL FUEL BURNING HEATER, FIXTURE OR APPLIANCE, LOCATED WITHIN 10' OF ALL SLEEPING AREAS AS PER 2020 FBCR, SECTION 315.

FLOOR PLAN LEGEND

	8" CMU WALL. SEE WALL TYPES DETAILS		TYPICAL INDICATES DOOR NUMBER
	8" CONCRETE WALL. SEE WALL TYPES DETAILS		INDICATES FIXED WINDOW
	CONCRETE COLUMN(S).		WINDOW TAG
	DENOTES PARTITION TYPE. SEE PARTITION TYPE SHEET		INDICATES STOREFRONT NUMBER
	DENOTES WALL TYPES WITH SOUND ATTENUATION		
	DENOTES NEW PARTITION TYPE.		

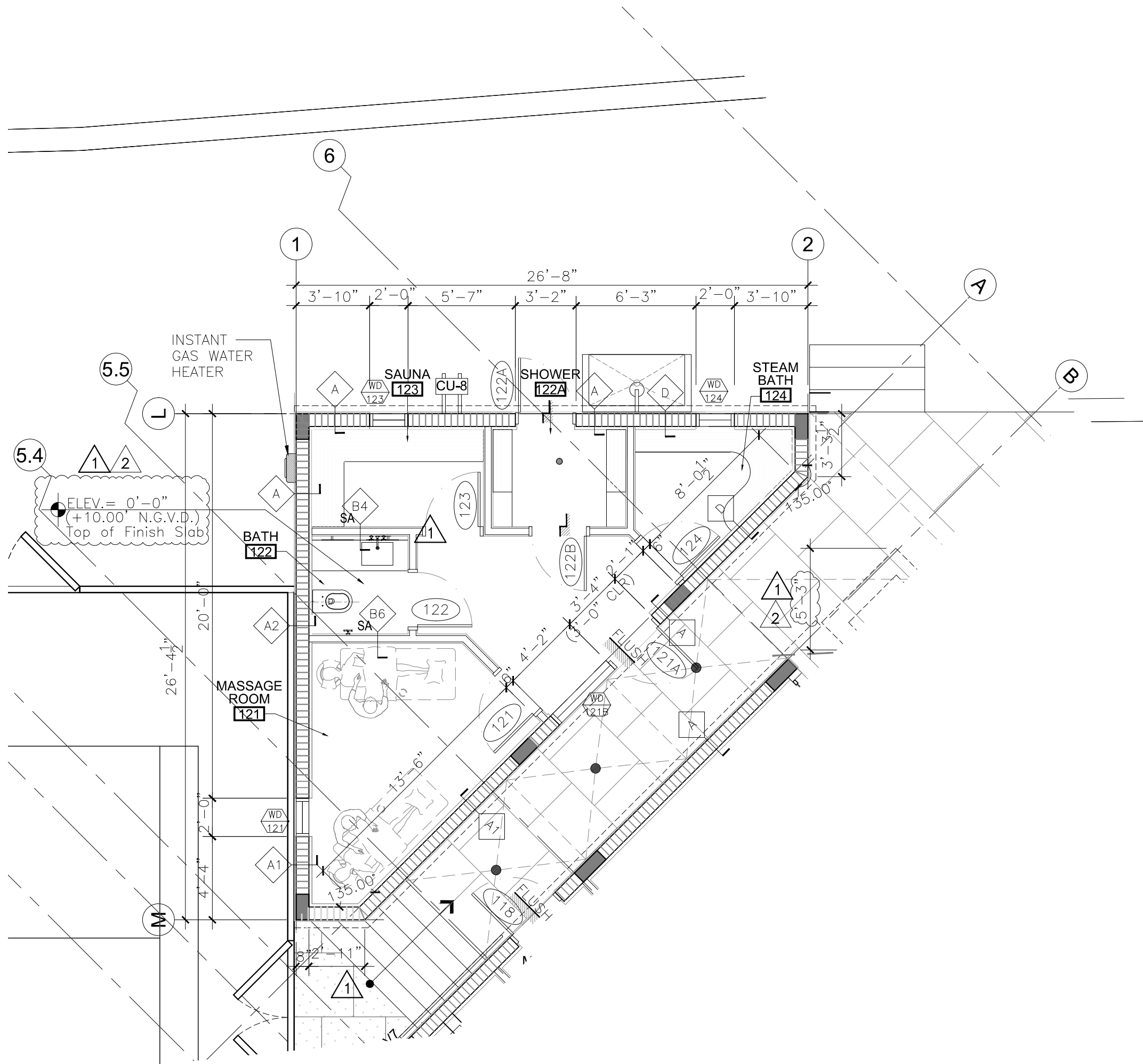
FLOOR PLAN GENERAL NOTES

- | | | | | | |
|----|--|-----|---|----|---|
| 01 | IN ACCORDANCE WITH F.B.C. SECT-7.2.1.3: THE ELEVATION OF THE FLOOR SURFACES ON BOTH SIDES OF A DOOR OPENING SHALL NOT VARY BY MORE THAN 1/2" & SHALL BE ON BOTH SIDES FOR A DISTANCE NOT LESS THAN THE WIDTH OF THE WIDEST LEAF. | 05 | LINE OF SHOWER SEAT. SEE TYPICAL DETAIL ?? ON SHEET A | 13 | 42" HIGH GLASS GUARDRAIL |
| 02 | PROVIDE NEW SMOKE DETECTOR & CARBON MONOXIDE ALARM SYSTEM. COMBO TO BE INSTALLED IN ACCORDANCE WITH N.F.P.A. 77/99. 9B-3.0472 CARBON MONOXIDE PROTECTION. (PROVIDE BATTERY BACK-UP.) | 06 | LINE OF 4" DEPRESSED CONCRETE SLAB AT SHOWER. SEE TYPICAL DETAIL ?? ON SHEET A | 14 | CANTILIVER. SEE STRUCTURAL DRWG FOR REINFORCEMENT. |
| 03 | NEW MILLWORK AND/OR APPLIANCES AS SELECTED BY OWNER. SEE M.E.P. DRAWINGS FOR CONNECTIONS AND REQ'S. SHOP DRAWINGS TO BE PROVIDED TO ARCHITECT AND OWNER FOR REVIEW. | 07 | 4"Ø DUCT FROM DRYER EXHAUST. EXTEND DUCTWORK UP THROUGH ROOF. SEE M.E.P. DRAWINGS | 15 | CONCRETE SLAB. SEE STRUCTURAL DRAWINGS FOR REINFORCEMENT |
| 04 | 1/2" THICK MIN. CATEGORY II SAFETY TEMPERED GLASS. FRAMELESS SHOWER ENCLOSURES. ALL SHOWER ENCLOSURES TO BE PROVIDED AS 9'-0" HIGH A.F.F. IN ACCORDANCE WITH FBCR 2020 SECTION P2708.1.1 PROVIDE A 22" MIN. CLEAR & UNOBSTRUCTED SHOWER COMPARTMENT ACCESS & EGRESS OPENING, ALL HARDWARE AS SELECTED BY OWNER | 08 | CONDENSATE UNITS, MECHANICAL EQUIPMENTS, POOL EQUIPMENTS MAY NOT EXCEED 5 FEET ABOVE THE FLOOD ELEVATION, OR 10 FEET ABOVE GRADE. | 16 | WINDOW PROJECTION LINE ABOVE |
| | | 09 | INSTANT GAS WATER HEATER | 17 | EXTERIOR CMU LOW WALL BELOW STAIRCASE |
| | | 10a | SMART VENT (TYP.) SEE DATA ON SHT A7.03 | 18 | 42" HIGH METAL CABLE GUARDRAIL |
| | | 10b | SMART VENT MODEL SINGLE 1540-520 | 19 | 8" RETAINING WALL. SEE STRUCTURAL DRAWINGS FOR REINFORCEMENT |
| | | 11 | PEDESTAL PAVER SYSTEM CONCRETE SLAB WITH DUEL STAGE DRAIN (BELOW SYSTEM), UNDER SEPARATE PERMIT. | 20 | Accessibility All new single-family houses, duplexes, tri-plexes, condominiums and townhouses shall provide at least one bath located with max. possible privacy, where bathrooms are provided on habitable grade levels, with a door that has a 29-inch clear opening. However, if only a toilet room is provided at grade level, such toilet rooms shall have a clear opening of not less than 29 inches. FBCR 320.1.1.FBC Building, Section 107.3 Residential. |
| | | 12 | OVERFLOW SCUPPER | | |



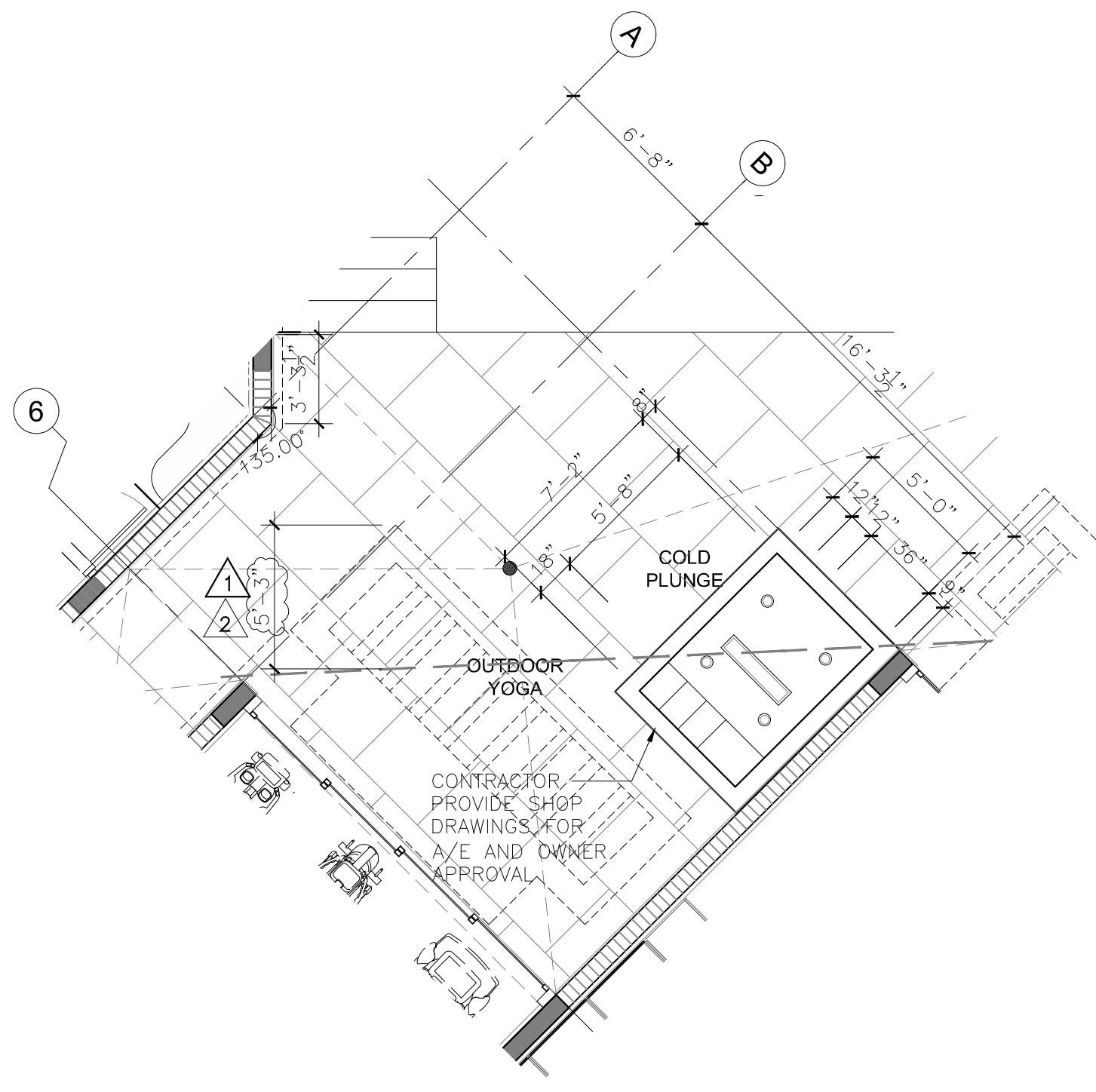
GUEST HOUSE FLOOR PLAN

SCALE: 3/16" = 1'-0"



SPA FLOOR PLAN

SCALE: 3/16" = 1'-0"



COLD PLUNGE POOL

SCALE: 3/16" = 1'-0"

FLOOD NOTE:
ELECTRICAL SYSTEMS, EQUIPMENT AND COMPONENTS; HEATING, VENTILATION, AIR CONDITIONING; PLUMBING APPLIANCES AND PLUMBING FIXTURES; DUCT SYSTEMS; AND OTHER SERVICE EQUIPMENT (POOL EQUIPMENT, WATER HEATERS, GENERATORS, ELECTRICAL PANELS, ETC.) SHALL BE ELEVATED AT OR ABOVE DESIGN FLOOD ELEVATION (9.0' NGVD). (ASCE 24-14 Ch. 7.0)

ALL CONSTRUCTION AND FINISH MATERIAL BELOW DESIGN FLOOD ELEVATION OR, THE LOWEST HABITABLE FLOOR ELEVATION WHICHEVER IS HIGHER SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL. (ASCE 24-14 CH. 5.0).

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Address Miami Lakes, Florida 33016
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Email: jgutierrez@optimusdd.com

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Tel: +1(305) 573 1918
Fax: +1(305) 573 3766
Email: info@kobikarp.com



GUEST HOUSE & SPA FLOOR PLANS

Date: 06-01-2021	Sheet No.
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NOTES:

- 1.- CALCULATIONS WERE BASED ON 5 INCHES/HOUR RAINFALL RATE. BASED ON F.B.C.P. FIGURE 1106.1
- 2.- SIZING BASED ON TABLES PROVIDED IN F.B.C.P. SECTION 1106.
- 3.- REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.

2020 FBC RESIDENTIAL, 7th EDITION, R903.4.1 OVERFLOW DRAINS AND SCUPPERS; WHEN OTHER MEANS OF DRAINAGE OF OVERFLOW WATER IS NOT PROVIDED, OVERFLOW SCUPPER SHALL BE PLACED IN WALLS OR PARAPETS NOT LESS THAN 2 INCHES (51 MM) NOR MORE THAN 4 INCHES (102 MM) ABOVE THE FINISHED ROOF COVERING AND SHALL BE LOCATED AS CLOSE AS PRACTICAL TO REQUIRED VERTICAL LEADERS OR DOWNSPOUTS OR WALL AND PARAPET SCUPPERS. AN OVERFLOW SCUPPER SHALL BE SIZED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, PLUMBING. OVERFLOW DRAINS SHALL DISCHARGE TO AN APPROVED LOCATION AND SHALL NOT BE CONNECTED TO ROOF DRAIN LINES.

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Address Miami Lakes, Florida 33016
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Fax: (305) 512 5861
Email jgutierrez@optimussd.com

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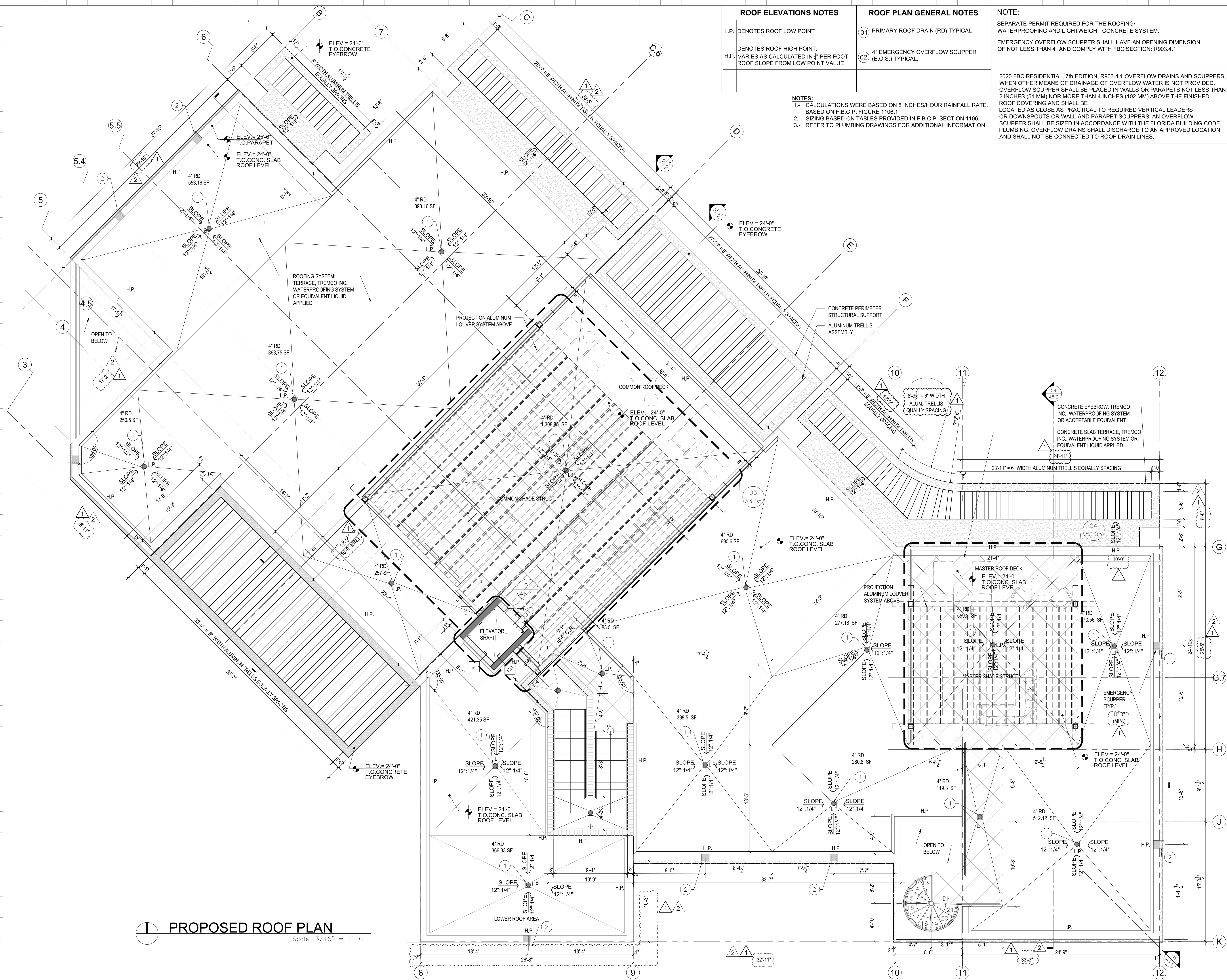


Date: 06-01-2021

Date:	06-01-2021
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Project # :	2052

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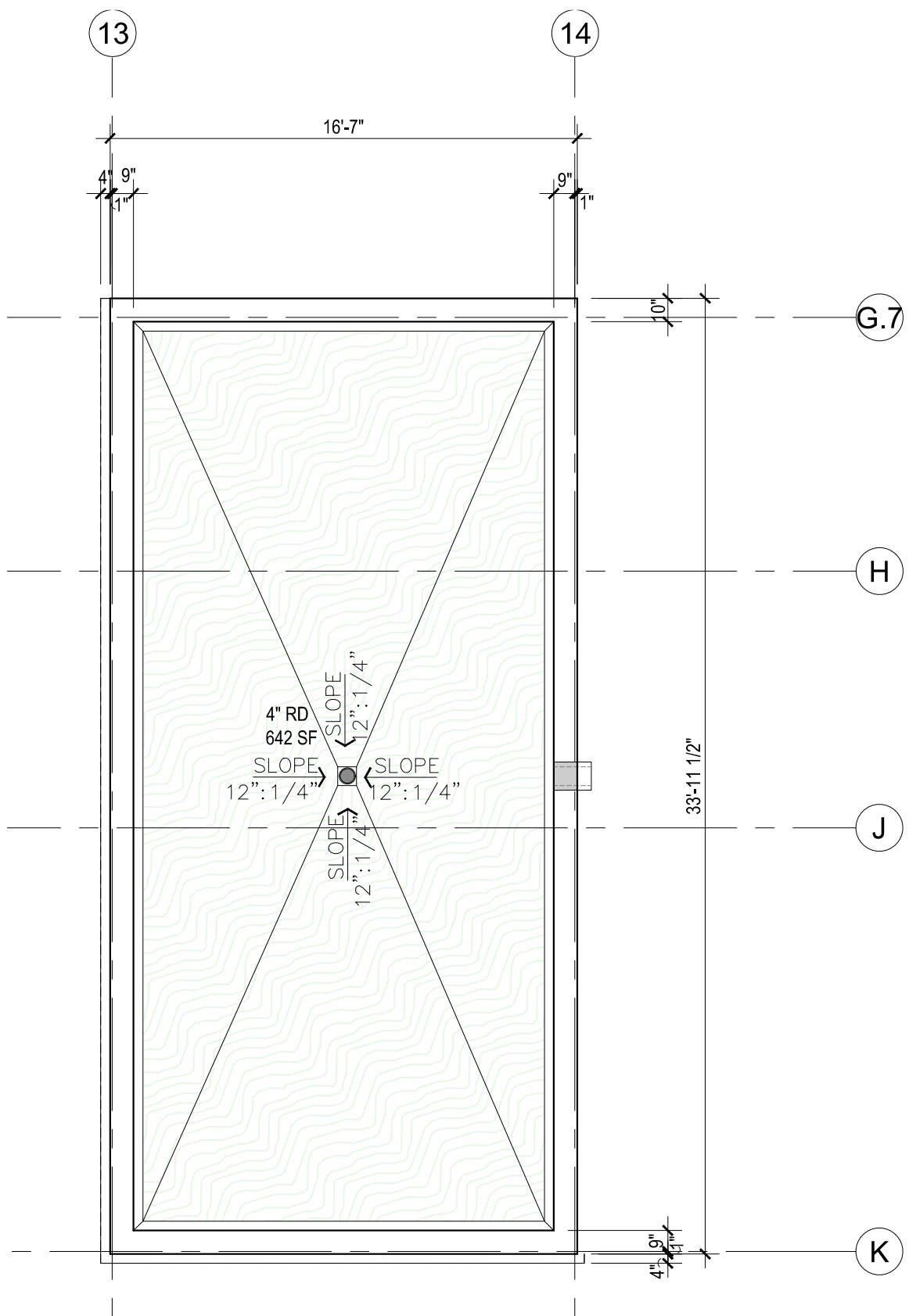
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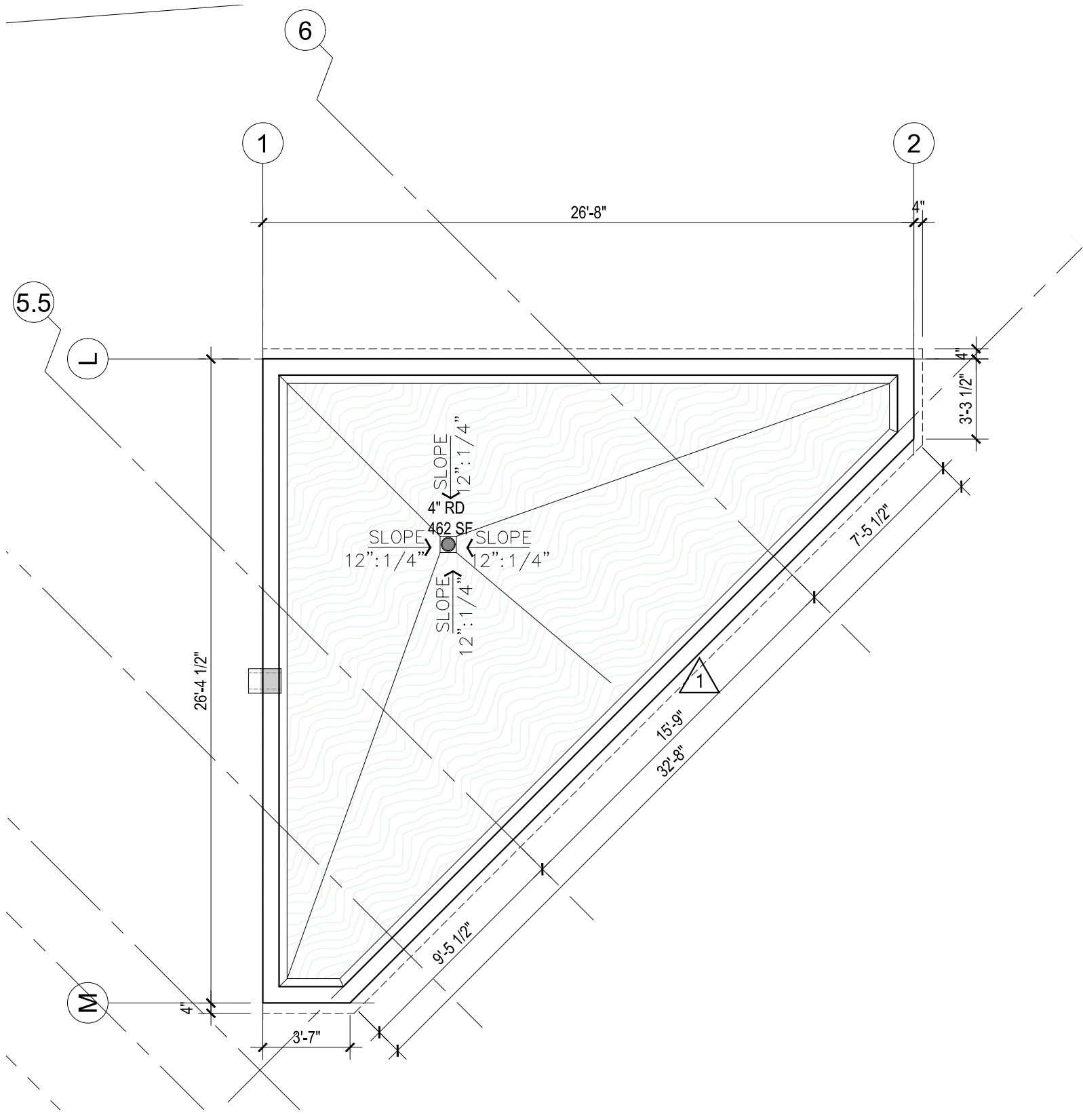


GUEST HOUSE, SPA &
DECK ROOF PLANS

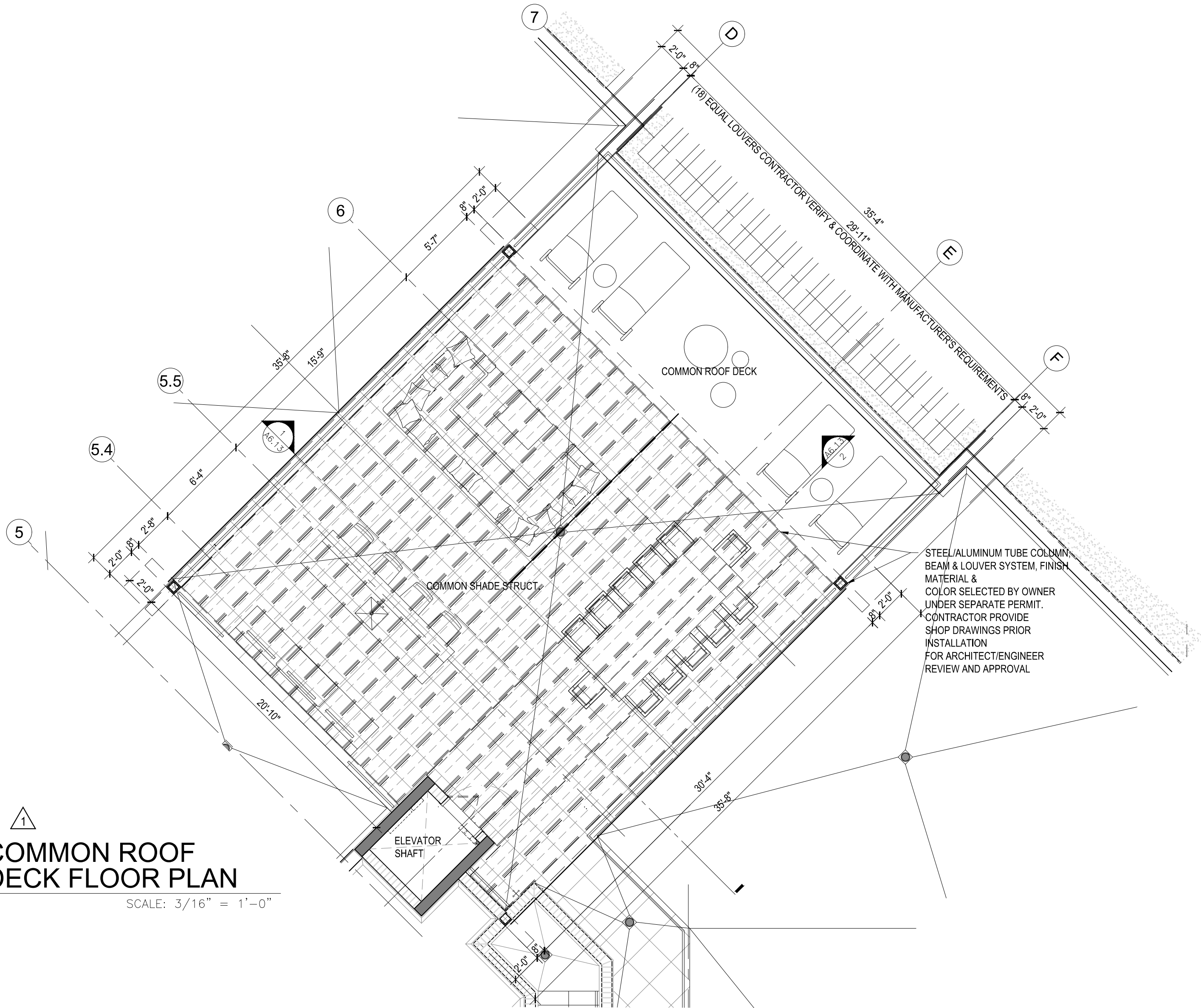
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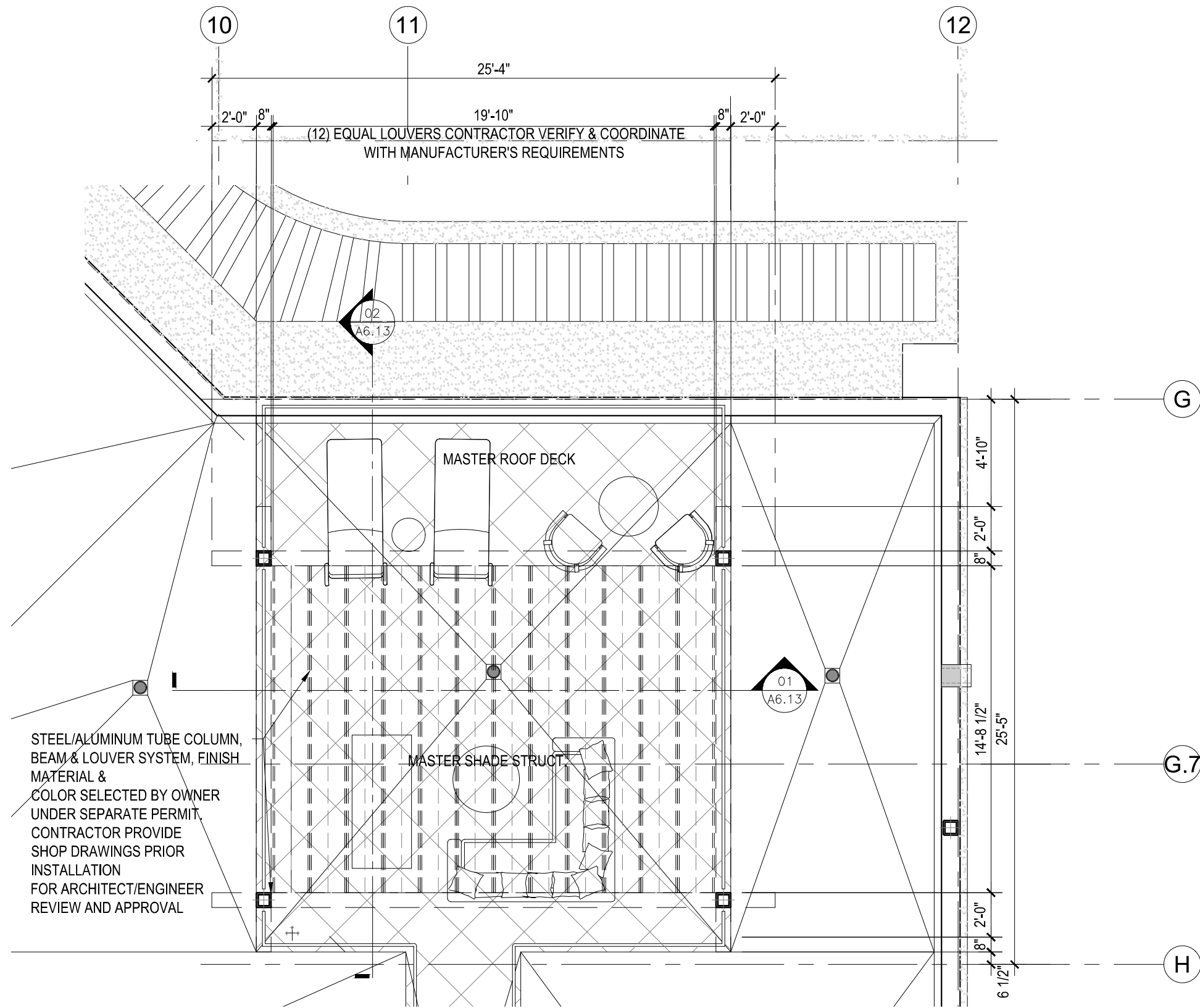
1 GUEST HOUSE ROOF PLAN
SCALE: 3/16" = 1'-0"



2 SPA ROOF PLAN
SCALE: 3/16" = 1'-0"



3 COMMON ROOF DECK FLOOR PLAN
SCALE: 3/16" = 1'-0"



4 MASTER ROOF DECK FLOOR PLAN
SCALE: 3/16" = 1'-0"

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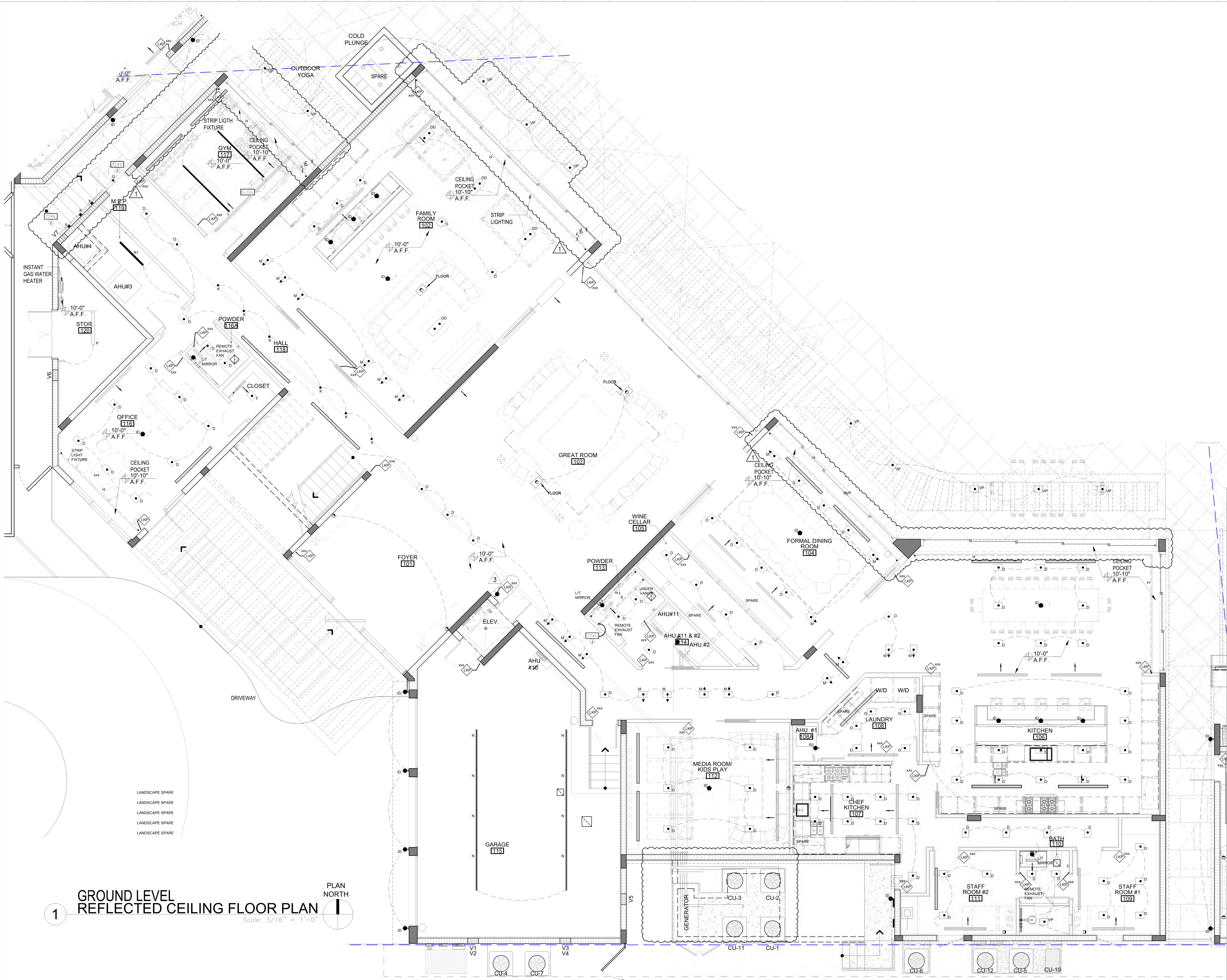


GROUND CEILING FLOOR PLAN

Date: 06-01-2021
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Project # : 2052

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A3.10



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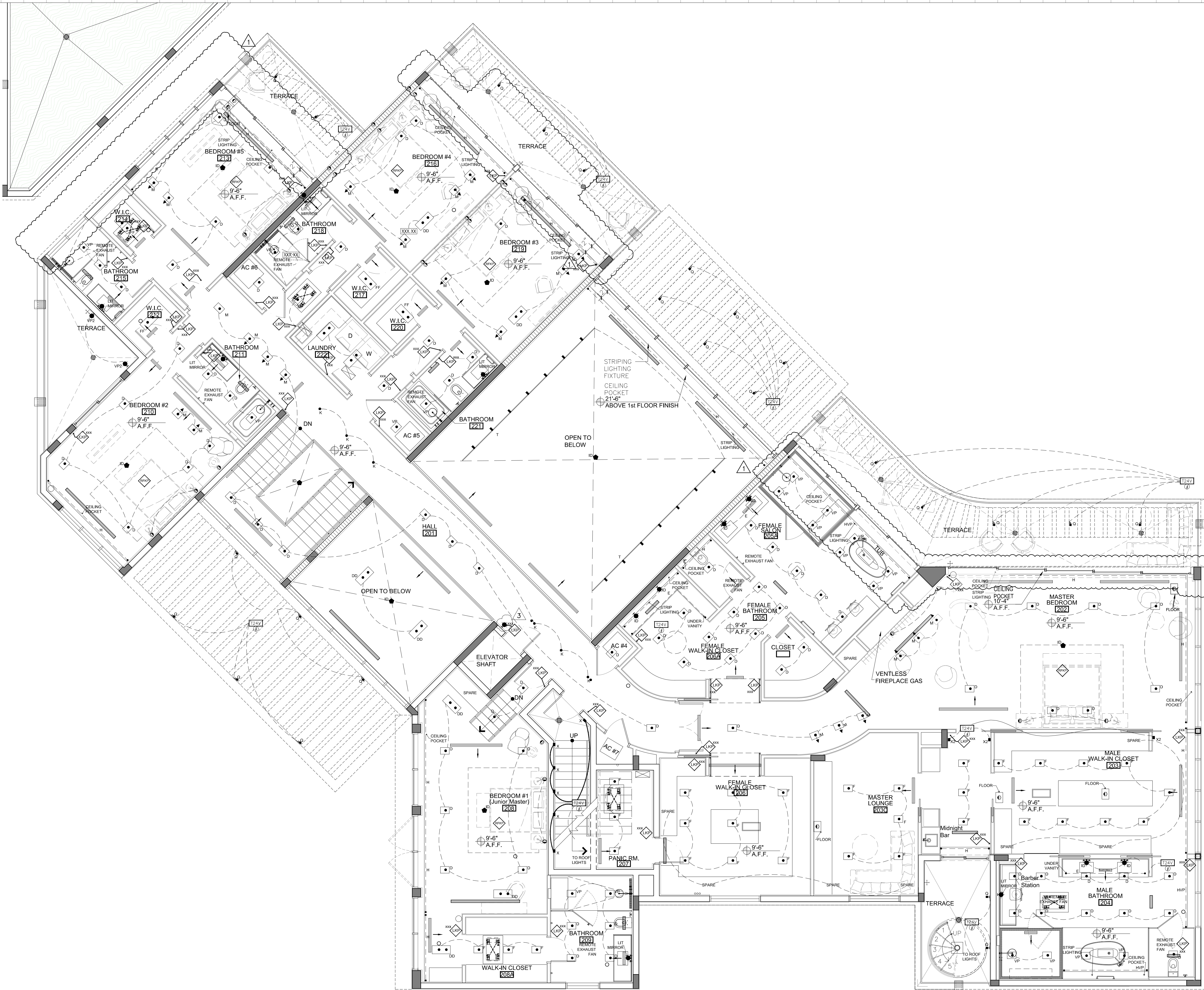
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2nd LEVEL CEILING FLOOR PLAN

Date:	06-01-2021	Sheet No.
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1 SECOND LEVEL REFLECTED CEILING FLOOR PLAN

Scale: 3/16" = 1'-0"

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1		9	
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3	City Comments 12/10/2021	11	
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ROOF - CEILING PLAN

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Scale :	A3.12
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ROOF LEVEL REFLECTED CEILING FLOOR PLAN
Scale: 3/16" = 1'-0"

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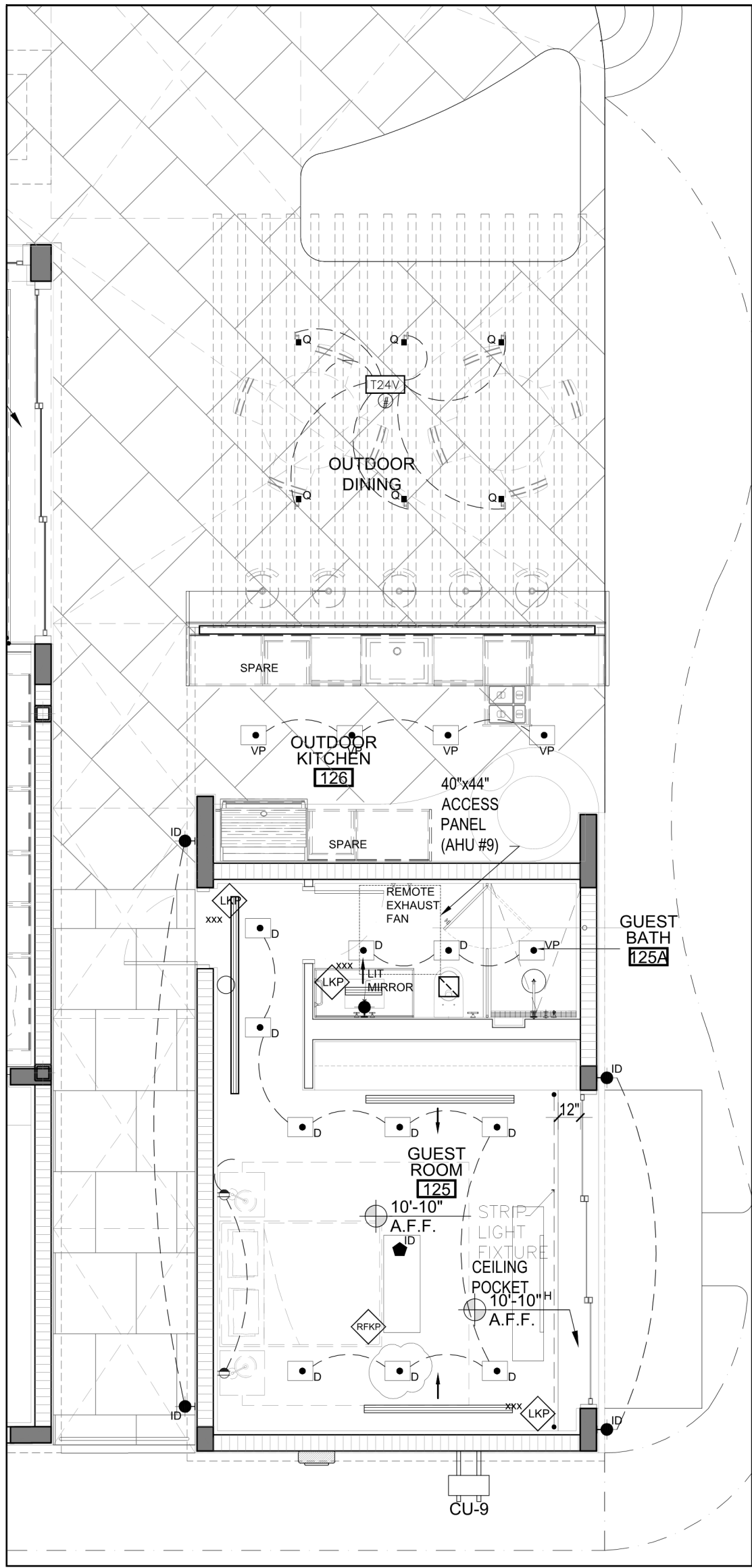
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Email: info@kobikarp.com



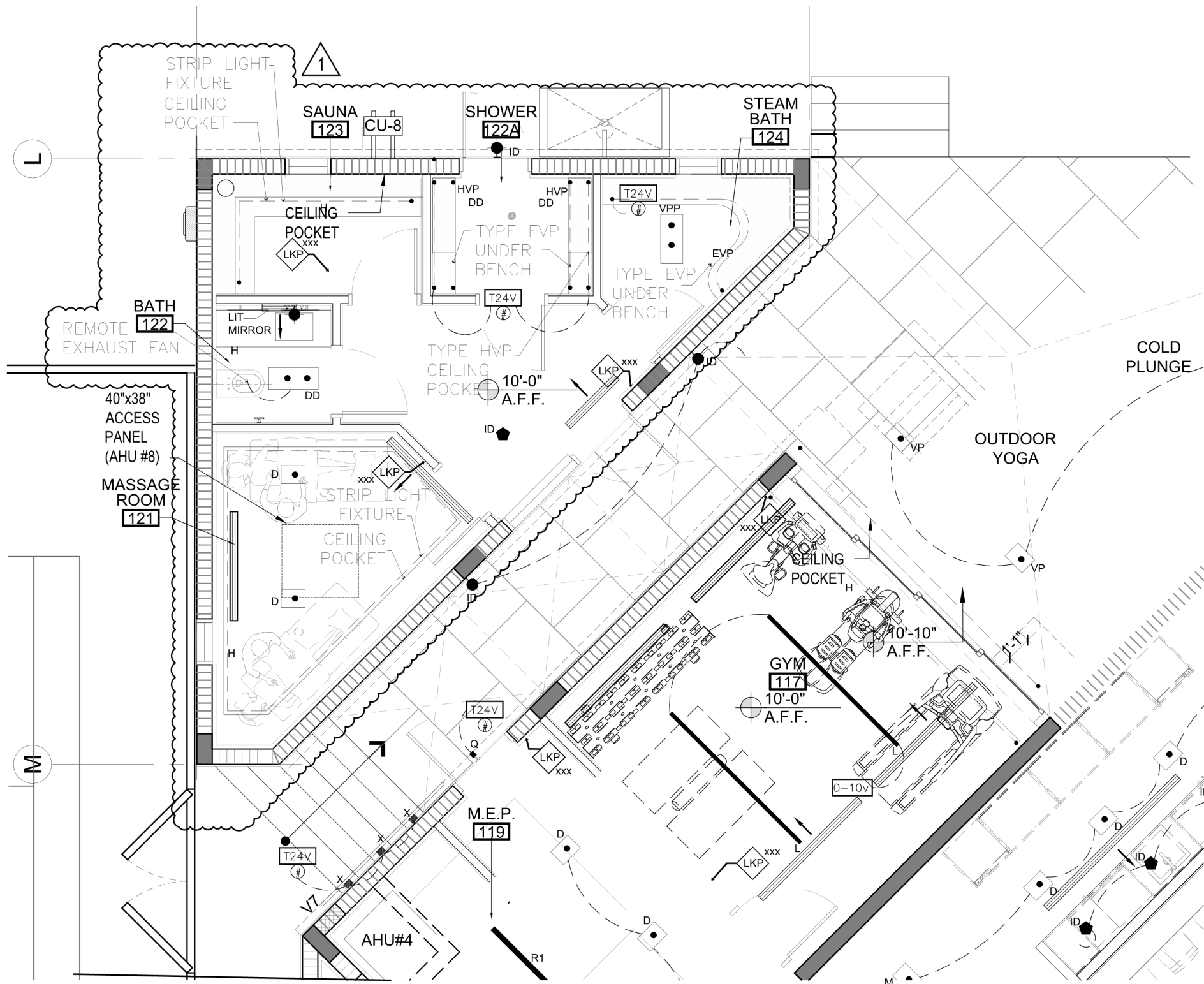
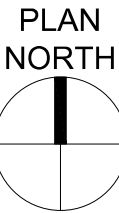
GUEST HOUSE &
SPA REFLECTED CEILING PLANS

Date: 06-01-2021	Sheet No.
Scale :	A3.13
Project # : 2052	



1 GUEST HOUSE REFLECTED CEILING FLOOR PLAN

SCALE: 3/16" = 1'-0"



2 SPA REFLECTED CEILING FLOOR PLAN

SCALE: 3/16" = 1'-0"

