

8 FARREY LANE RESIDENCE

8 FARREY LN, MIAMI BEACH, FL 33139

DRB - Final Submittal

File No. DRB22-0898

December 12, 2022

INDEX OF DRAWINGS:

SCOPE OF WORK:
NEW ELEVATED TWO STORY SINGLE FAMILY RESIDENCE

SURVEY

SITE DOCUMENTATION

- A-0.1 AERIAL IMAGES
- A-0.2 CONTEXTUAL IMAGES OF ADJACENCIES
- A-0.3 CONTEXTUAL IMAGES OF SITE

ARCHITECTURE

- A-1.0 SITE PLAN
- A-1.1 ZONING DIAGRAMS & ZONING INFORMATION
- A-1.1a VARIANCE DIAGRAM
- A-2.0 COMPARISON DIAGRAM - FIRST FLOOR PLAN
- A-2.1 COMPARISON DIAGRAM - SECOND FLOOR PLAN
- A-2.2 COMPARISON DIAGRAM - THIRD FLOOR PLAN
- A-2.3 COMPARISON DIAGRAM - FOURTH FLOOR PLAN
- A-2.4 FIRST FLOOR PLAN
- A-2.5 SECOND FLOOR PLAN
- A-2.6 THIRD FLOOR PLAN
- A-2.7 FOURTH FLOOR PLAN
- A-2.8 ROOF PLAN
- A-3.0 COMPARISON DIAGRAM - NORTH ELEVATION
- A-3.1 COMPARISON DIAGRAM - EAST ELEVATION
- A-3.2 COMPARISON DIAGRAM - WEST ELEVATION
- A-3.3 COMPARISON DIAGRAM - SOUTH ELEVATION
- A-3.4 NORTH ELEVATION
- A-3.5 EAST ELEVATION
- A-3.6 WEST ELEVATION
- A-3.7 SOUTH ELEVATION
- A-4.0 SECTION
- A-5.0 3D PERSPECTIVE
- A-5.1 3D PERSPECTIVE
- A-5.2 3D PERSPECTIVE
- A-5.3 3D PERSPECTIVE
- A-5.4 3D PERSPECTIVE
- A-6.0 MATERIAL IMAGES
- A-7.0 CONTEXTUAL ELEVATION - SOUTH

- D-1.0 DEMOLITION PLAN

LANDSCAPE ARCHITECTURE

- L-0.0 PREVIOUSLY APPROVED RENDERED PLANTING PLAN
- L-1.0 RENDERED PLANTING PLAN
- L-2.0 TREE DISPOSITION AND MITIGATION
- L-3.0 PLANTING PLAN
- L-4.0 LIGHTING PLAN
- L-5.0 GENERAL PLANTING DETAILS & NOTES



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Cover Page

A-0.0

Survey



AERIAL VIEW OF VENETIAN ISLANDS



AERIAL VIEW OF SITE



AERIAL 3D VIEW OF BELLE ISLE



AERIAL VIEW OF BELLE ISLE

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Site
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A-0.1



VIEW OF SITE FROM ENTRY



VIEW OF ENTRY TO FARREY LANE FROM ISLAND AVE



VIEW OF ENTRY TO FARREY LANE FROM ISLAND AVE



VIEW OF ISLAND AVE

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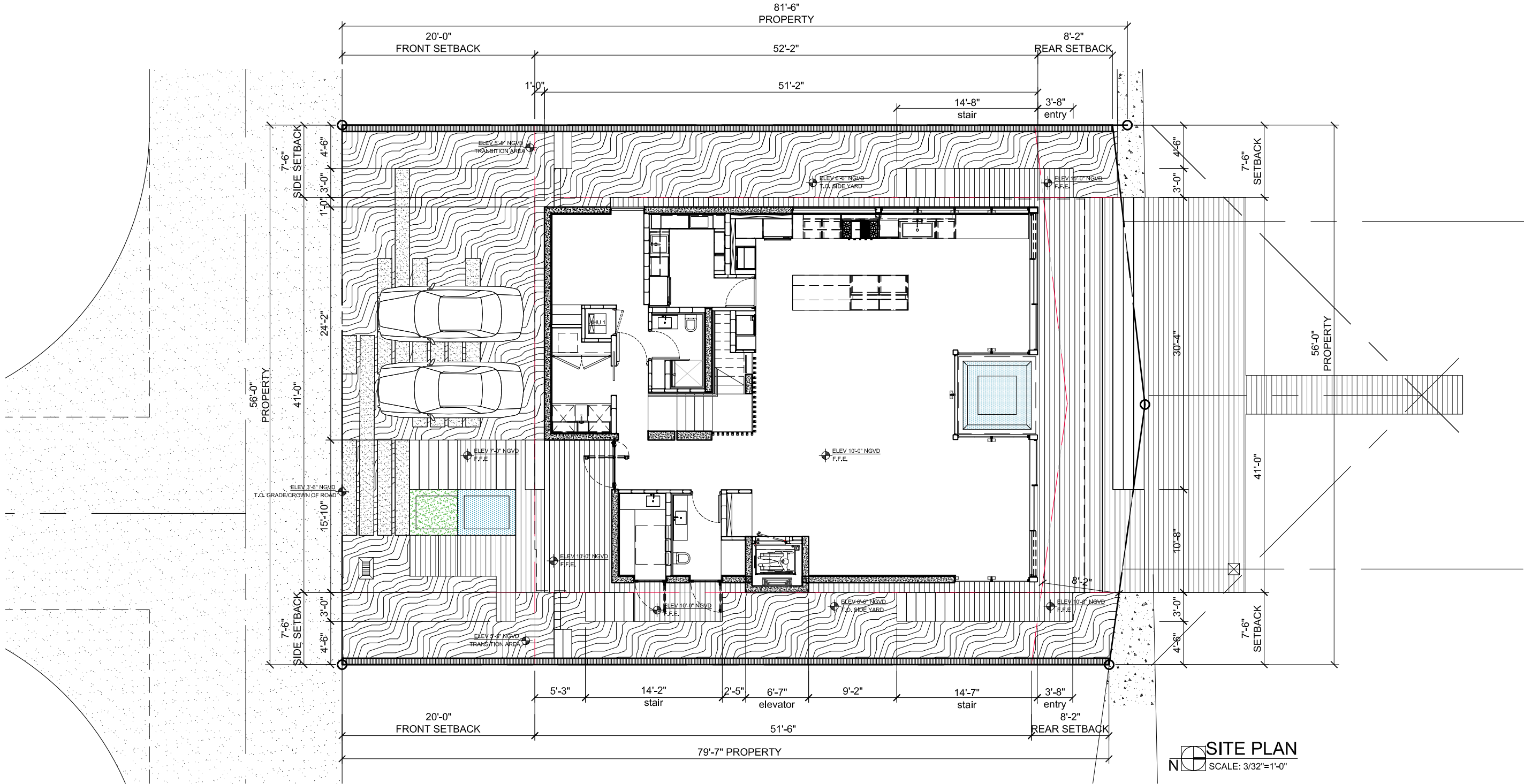
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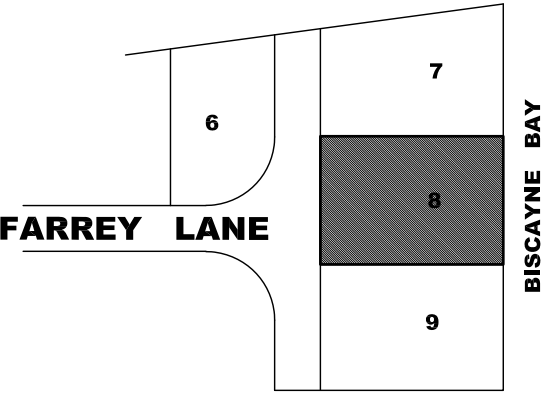
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SITE PLAN
SCALE: 3/32"=1'-0"



LOCATION PLAN
SCALE: N.T.S.

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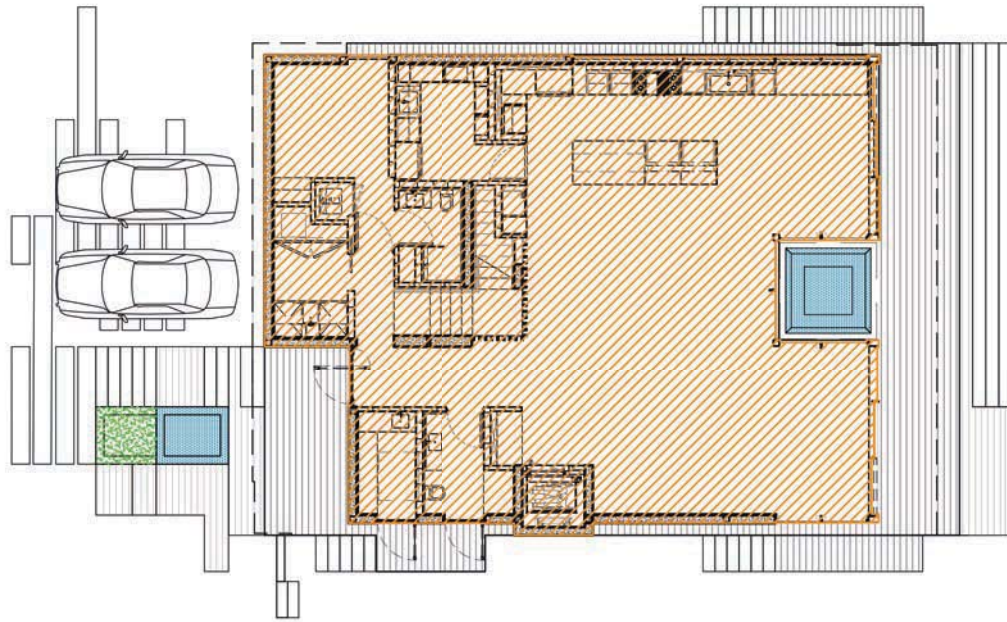
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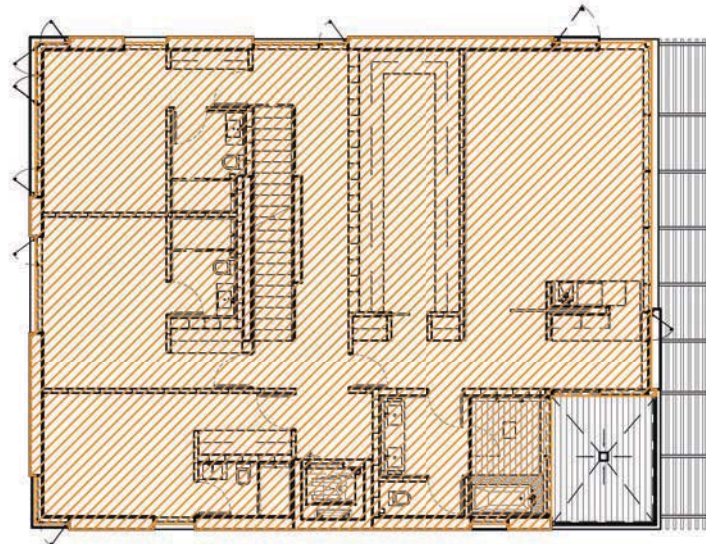
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Site Plan

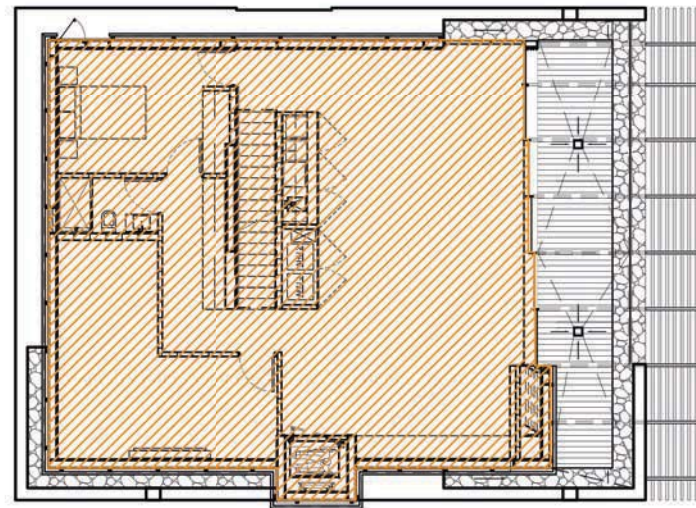
A-1.0



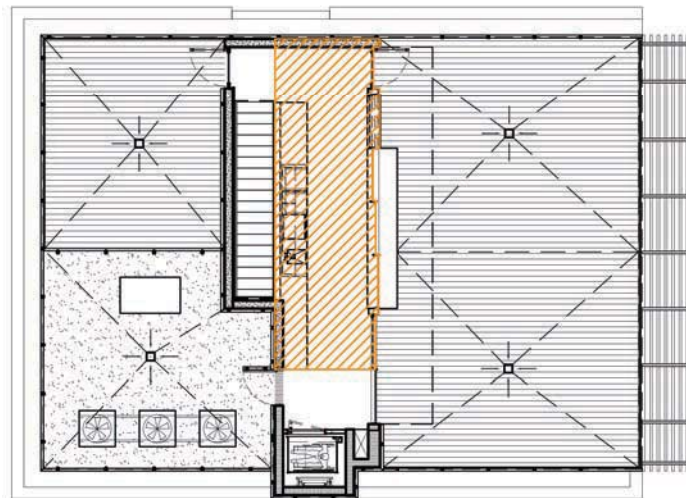
1ST FLOOR



2ND FLOOR



3RD FLOOR



4TH FLOOR

PROPOSED FAR SHADED DIAGRAMS
SCALE: 1/16"=1'-0"

FAR CALCULATIONS:

FAR GROUND FLOOR:	1,815 SQ.FT.
FAR SECOND FLOOR:	2,003 SQ.FT.
FAR THIRD FLOOR:	1,462 SQ.FT.
FAR FOURTH FLOOR:	231 SQ.FT.
FAR TOTAL:	5,511 SQ.FT. (1.20)

ZONING DATA:

MIAMI BEACH

Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information				
1	Address:	8 Farrey Lane Miami Beach, Florida 33139			
2	Board and file numbers :	DRB22-0898			
3	Folio number(s):	02-3233-003-0080			
4	Year constructed:	1941	Zoning District:	RM-1	
5	Based Flood Elevation:	9.00 NGVD (AE Zone)	Grade value in NGVD:	2.00 NGVD (crown of road)	
6	Adjusted grade (Flood+Grade/2):	6.25 NGVD	Lot Area:	4,590 SF	
7	Lot width:	56 FT	Lot Depth:	79.61' / 79.95' *	
8	Minimum Unit Size	550 SF	Average Unit Size	800 SF	
9	Existing use:	Single Family Residence	Proposed use:	Single Family Residence	
		Maximum	Existing	Proposed	Deficiencies
10	Height	50 FT		49 FT	
11	Number of Stories	5		4	
12	FAR	5585 SF		5,511 SF	
13	Gross square footage	N/A		N/A	
14	Square Footage by use	N/A		N/A	
15	Number of units Residential	N/A		N/A	
16	Number of units Hotel	N/A		N/A	
17	Number of seats	N/A		N/A	
18	Occupancy load	N/A		N/A	
		Required	Existing	Proposed	Deficiencies
	Subterranean:				
19	Front Setback:				
20	Side Setback:				
21	Side Setback:				
22	Side Setback facing street:				
23	Rear Setback:				
	At Grade Parking:				
24	Front Setback:	20 FT		0 FT	
25	Side Setback:				
26	Side Setback:				
27	Side Setback facing street:				
28	Rear Setback:				
	Pedestal:				
29	Front Setback:	20 FT		Parking:0 FT Bldg: 20 FT	
30	Side Setback: EAST	7'-6" FT		GF projections: 4'-6" Bldg: 7'-6"	
31	Side Setback: WEST	7'-6" FT		GF projections: 4'-6" Bldg: 7'-6"	
32	Side Setback facing street:	NA		NA	
33	Rear Setback:	8'-2"		8'-2"	
	Tower:				
34	Front Setback:				
35	Side Setback:				
ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback:				
37	Side Setback facing street:				
38	Rear Setback:				



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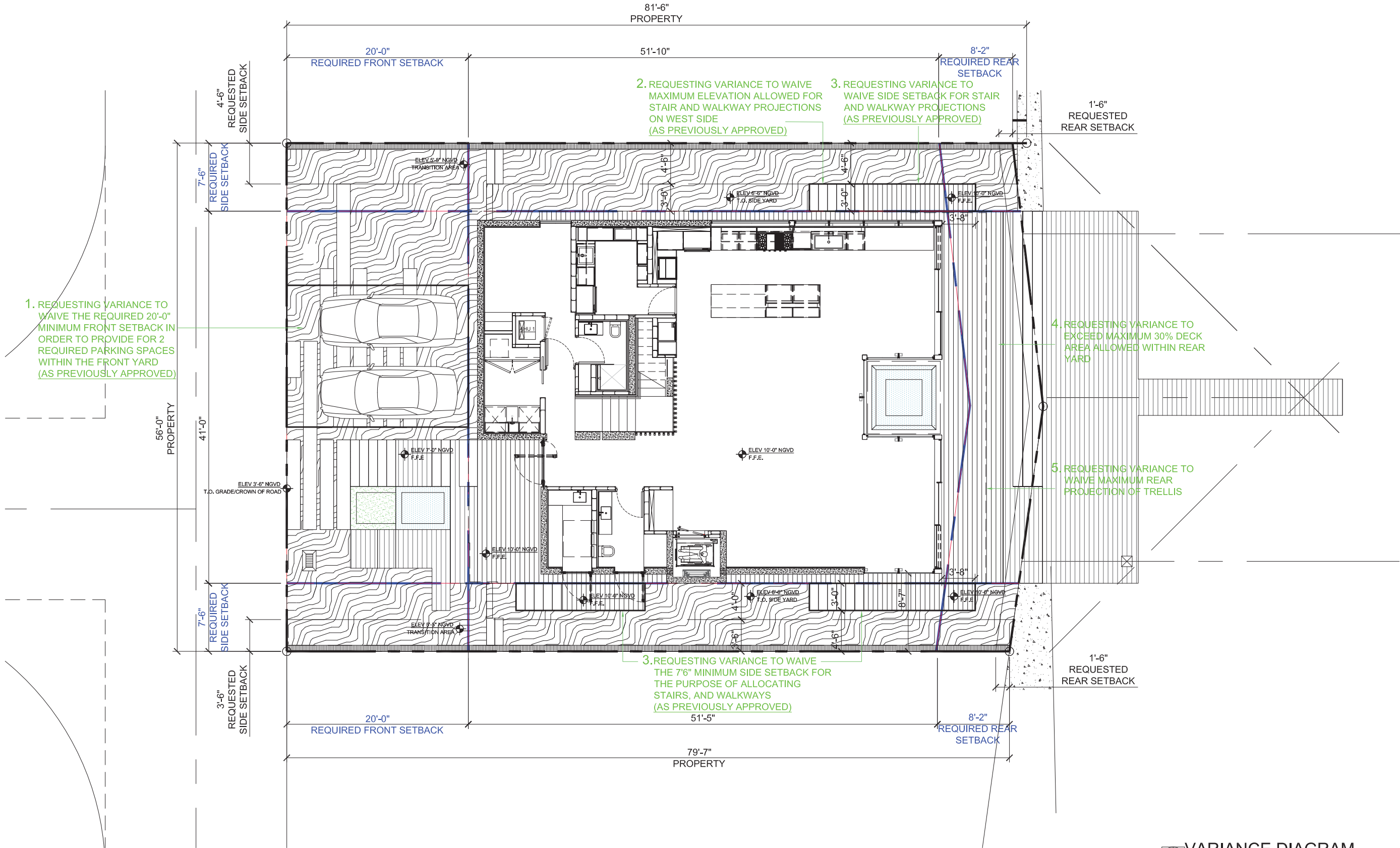
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Zoning
Diagrams

A-1.1



VARIANCE DIAGRAM
SCALE: 3/32"=1'-0"

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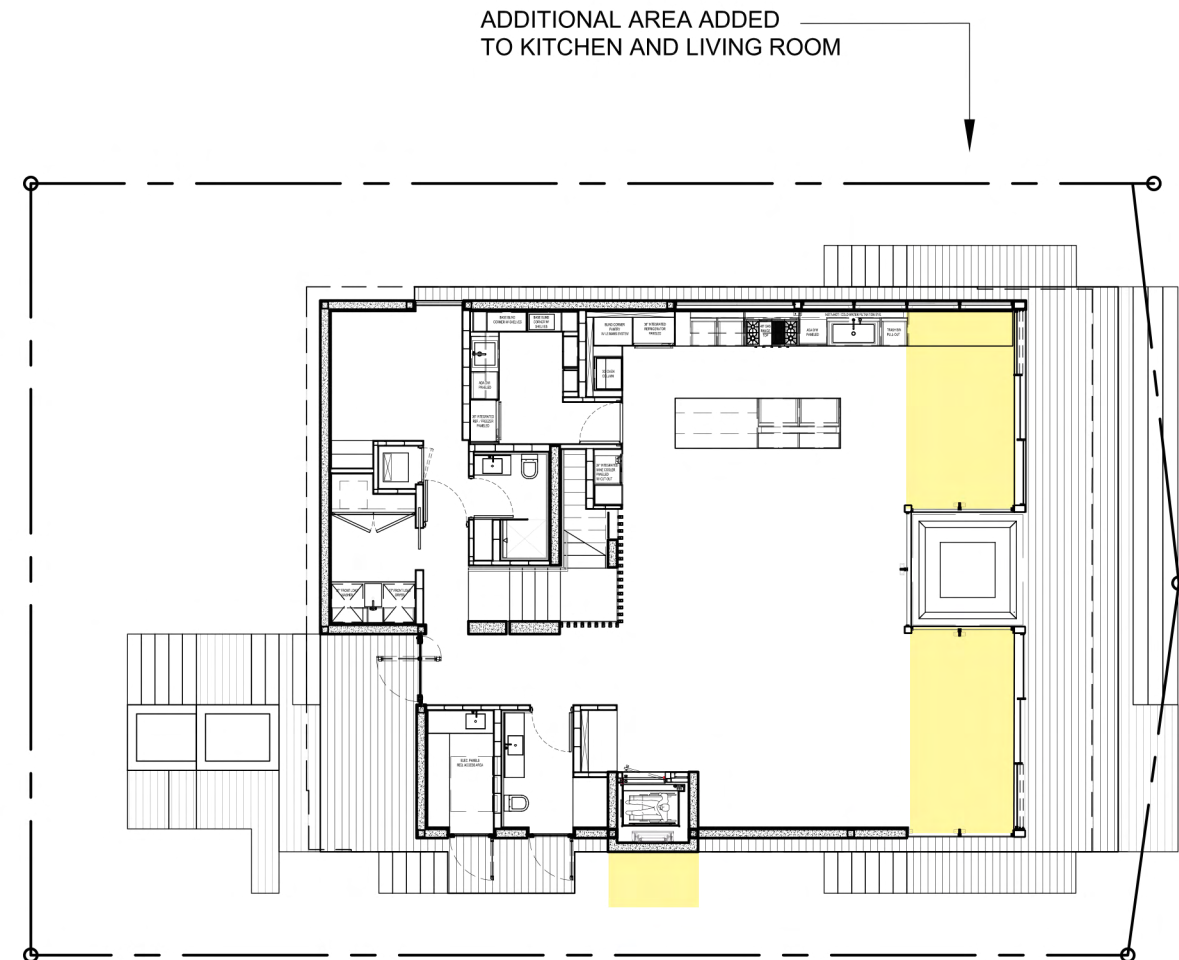
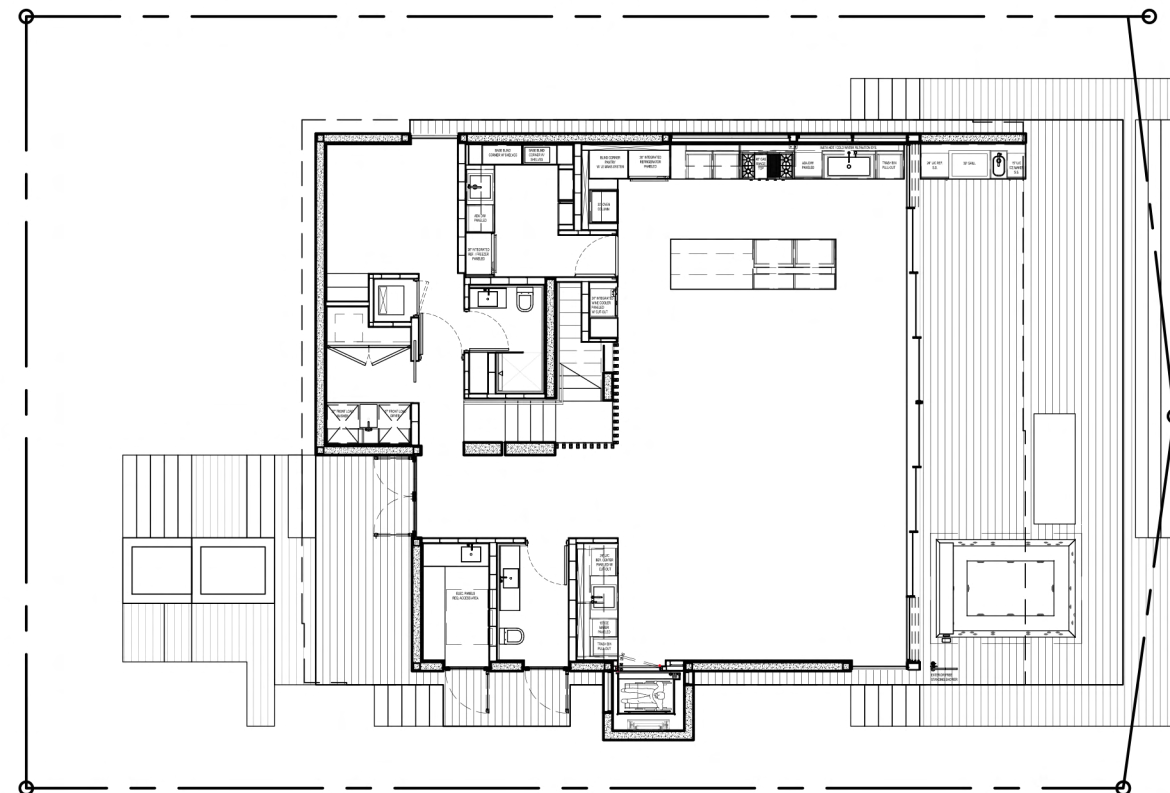
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Scale: 3/32" = 1'-0"
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Variance
Diagram

A-1.1a



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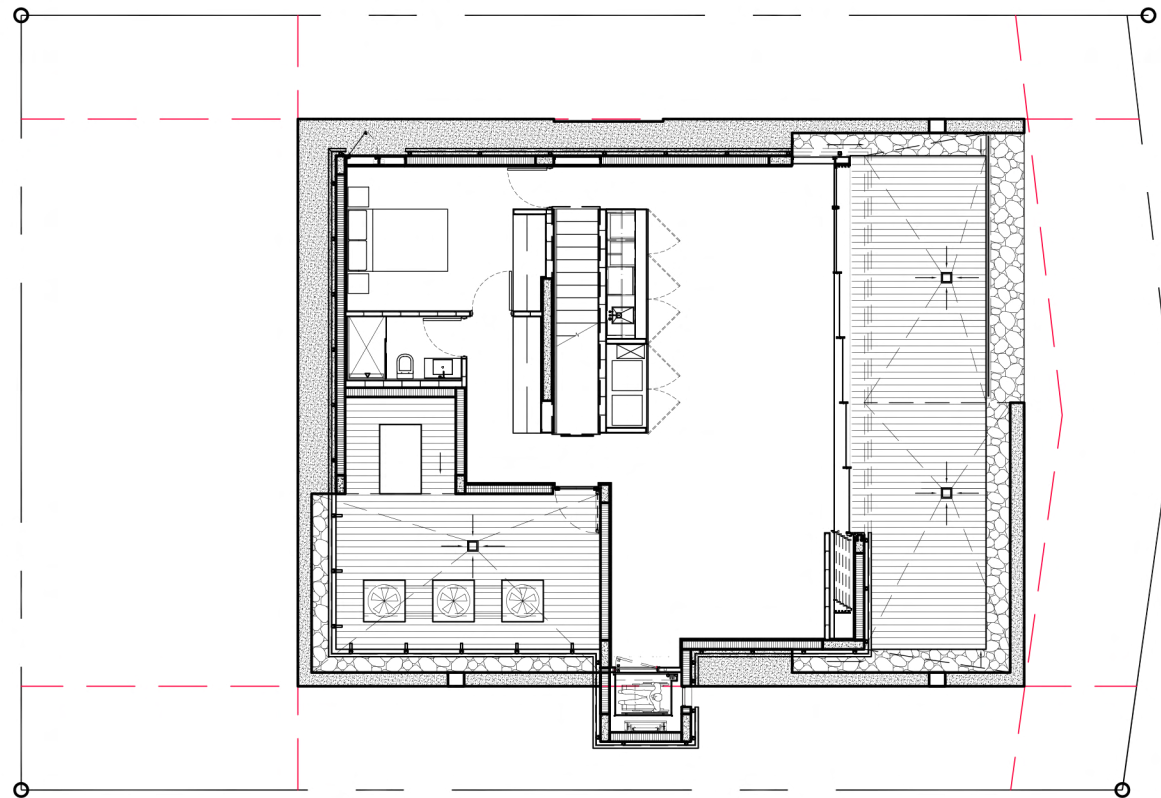
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Scale: NTS
Revisions:

First Floor Plan Comparison

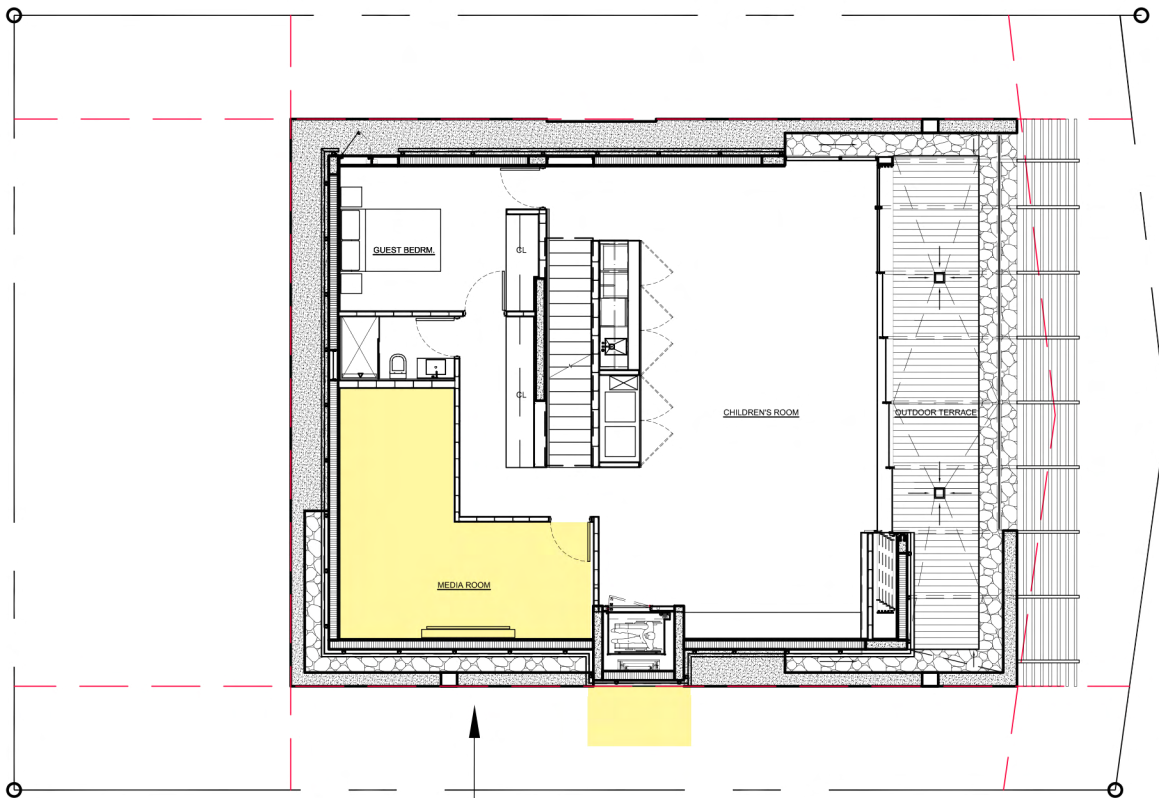
A-2.0



A-2.1



THIRD FLOOR PLAN
APPROVED BY DRB - 2018



THIRD FLOOR PLAN
PROPOSED - 2022

NEW MEDIA ROOM

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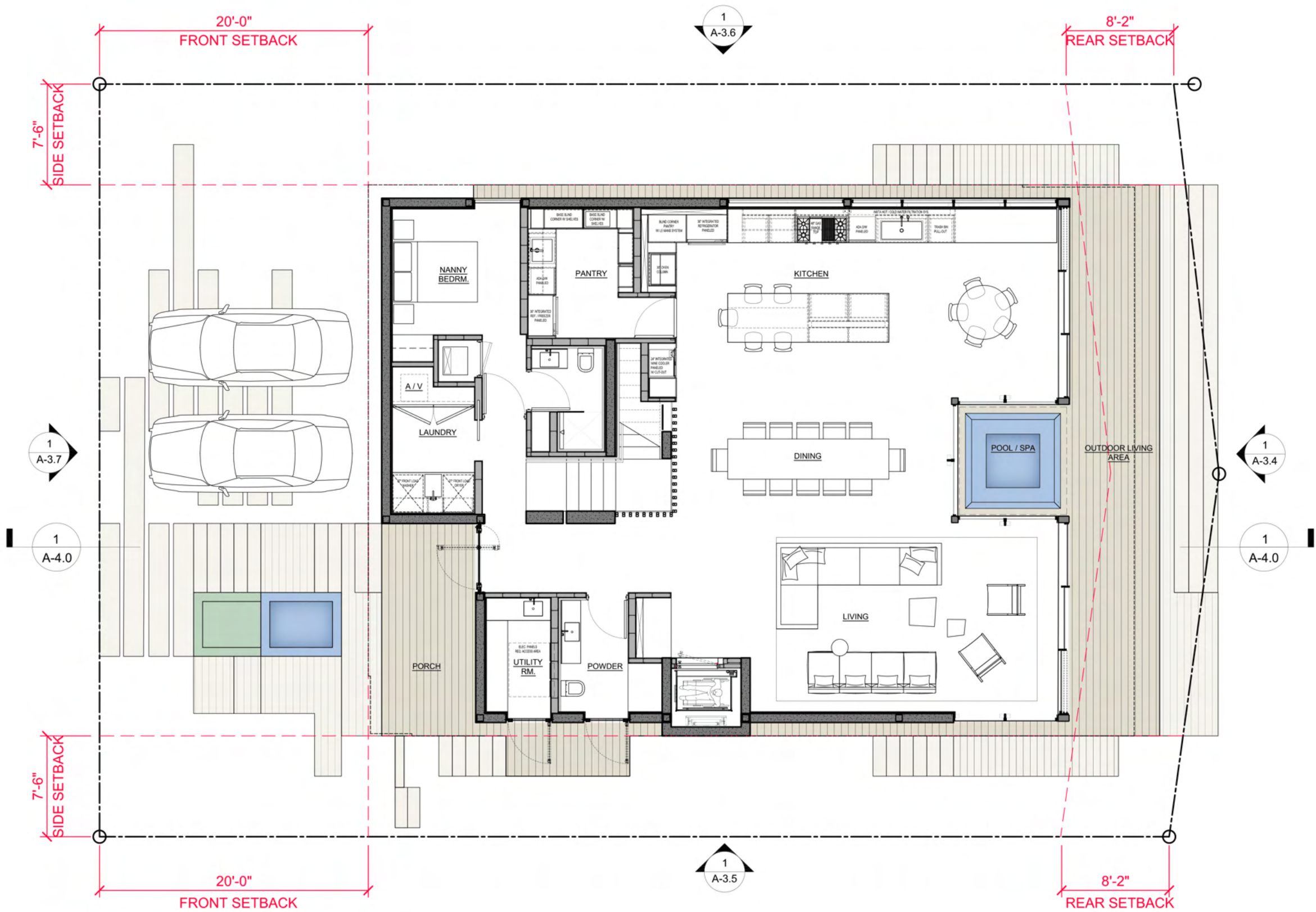
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Date: 12.12.2022
Scale: NTS
Revisions:

Third Floor
Plan Comparison



A-2.3



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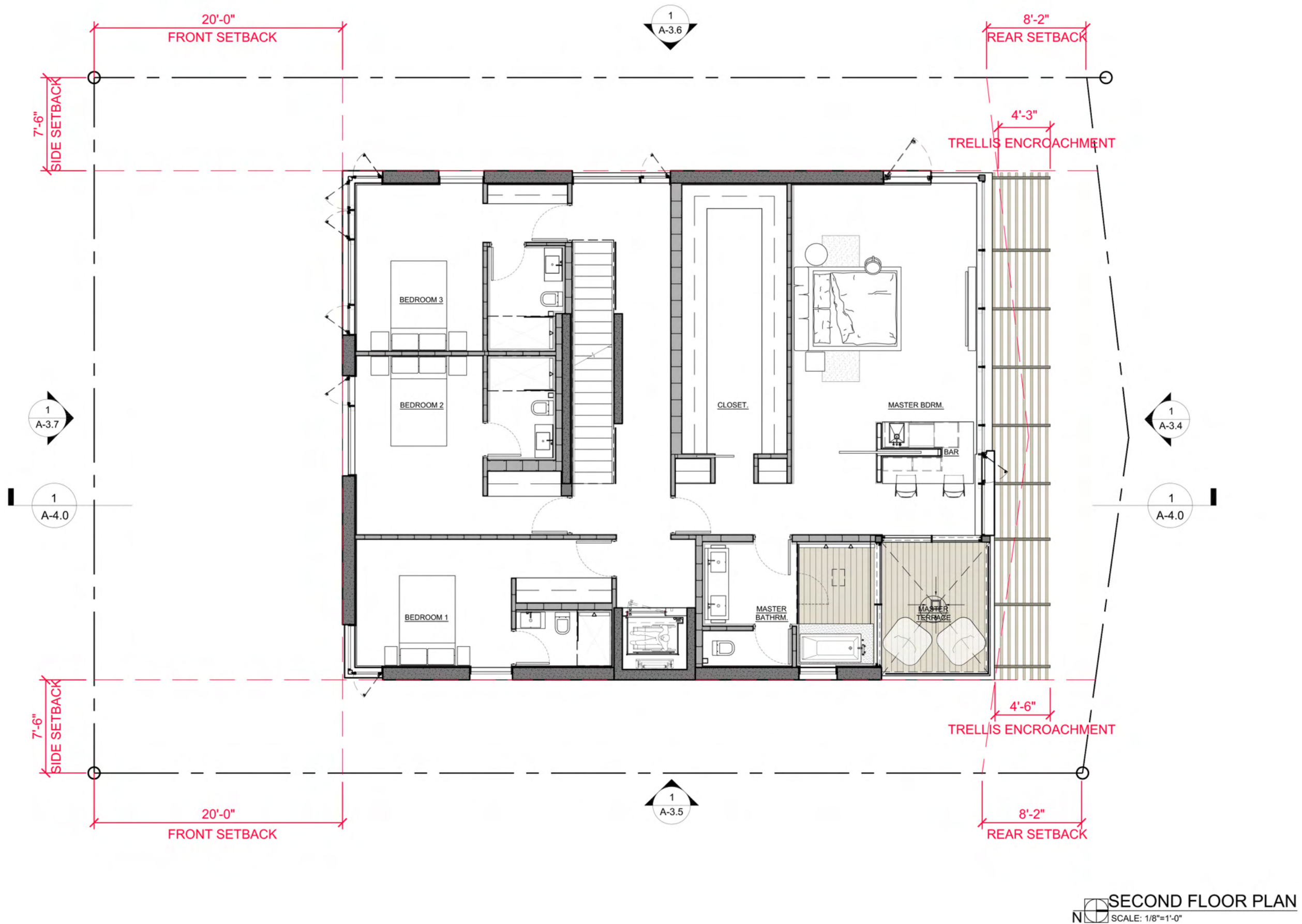
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Date: 12.22.2022
Scale: 1/8"=1'-0"
Revisions:

First Floor
Plan

A-2.4



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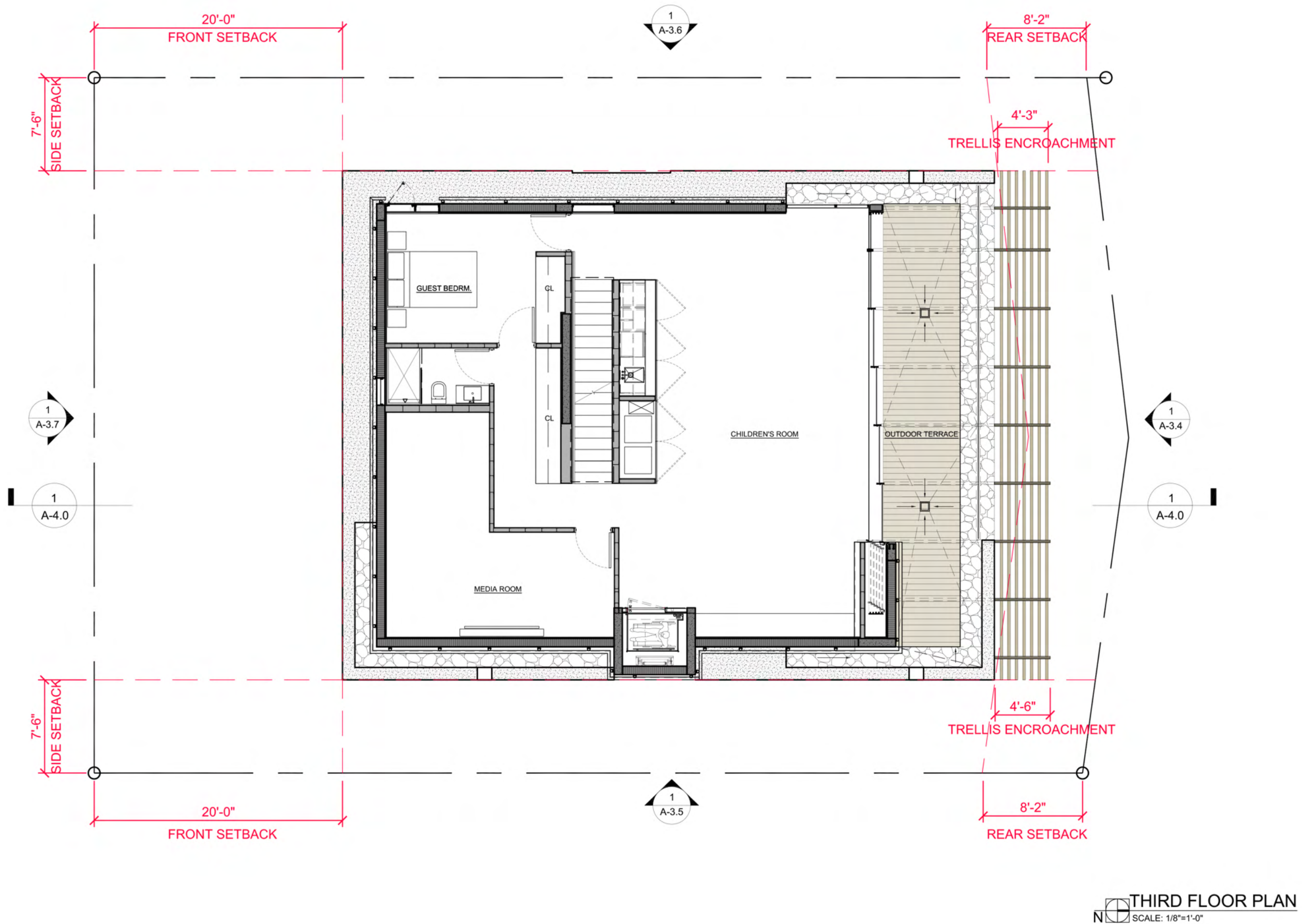
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Date: 12.22.2022
Scale: 1/8"=1'-0"
Revisions:

Second Floor
Plan

A-2.5



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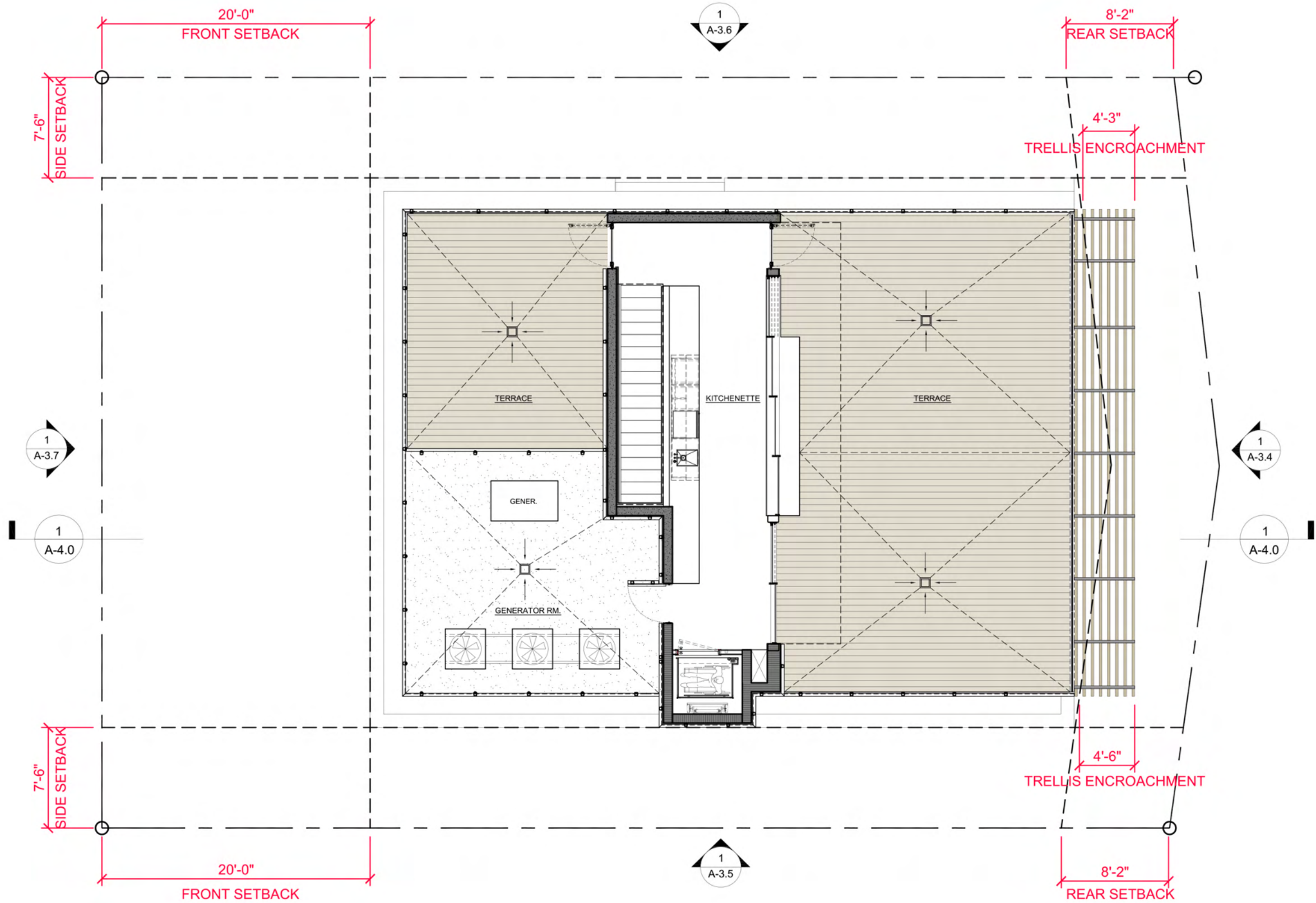
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Date: 12.12.2022
Scale: 1/8"=1'-0"
Revisions:

Third Floor
Plan

A-2.6



FOURTH FLOOR PLAN
SCALE: 1/8"=1'-0"

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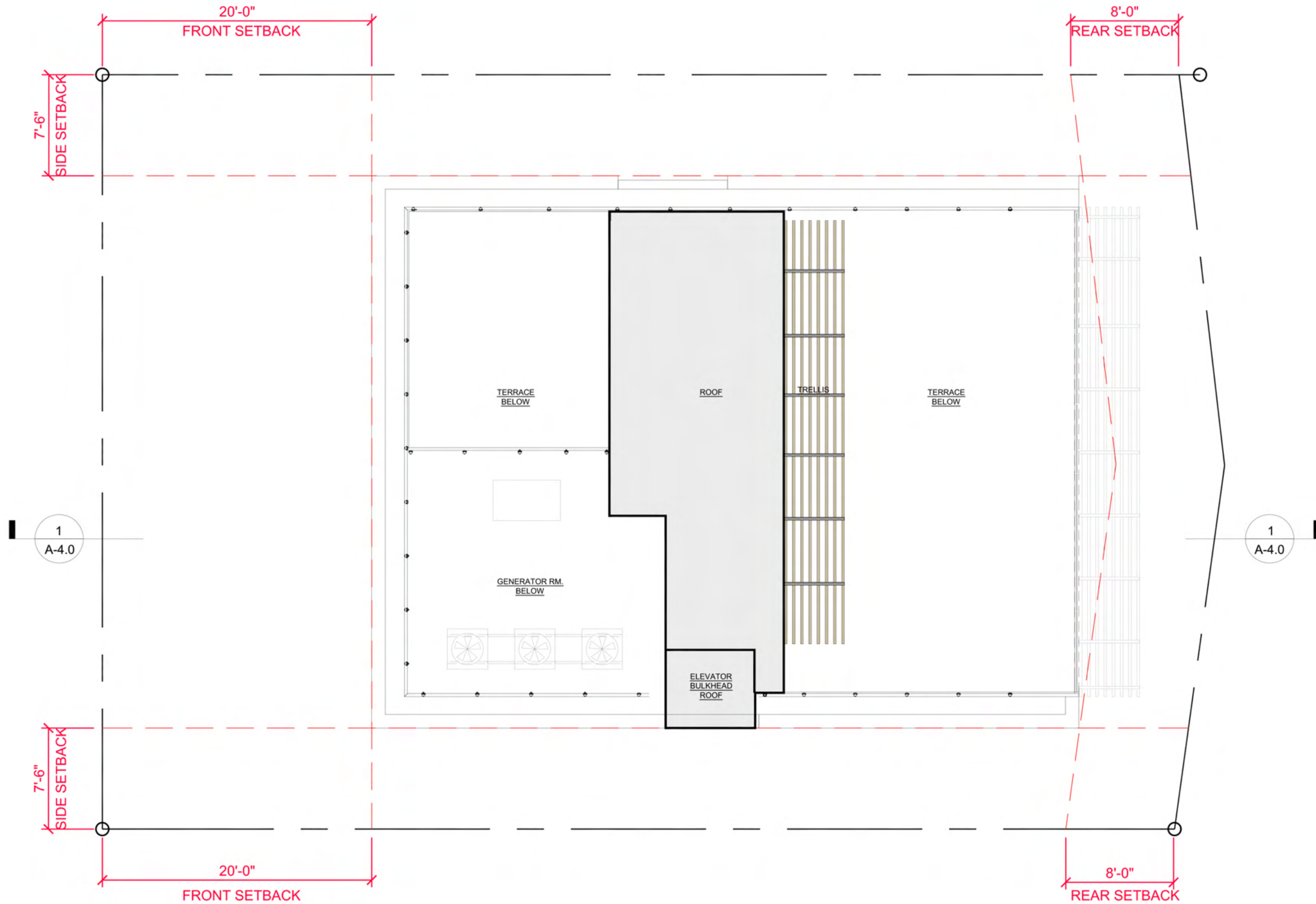
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Date: 12.12.2022
Scale: 1/8"=1'-0"
Revisions:

**Fourth Floor
Plan**

A-2.7



ROOF PLAN
N SCALE: 1/8"=1'-0"

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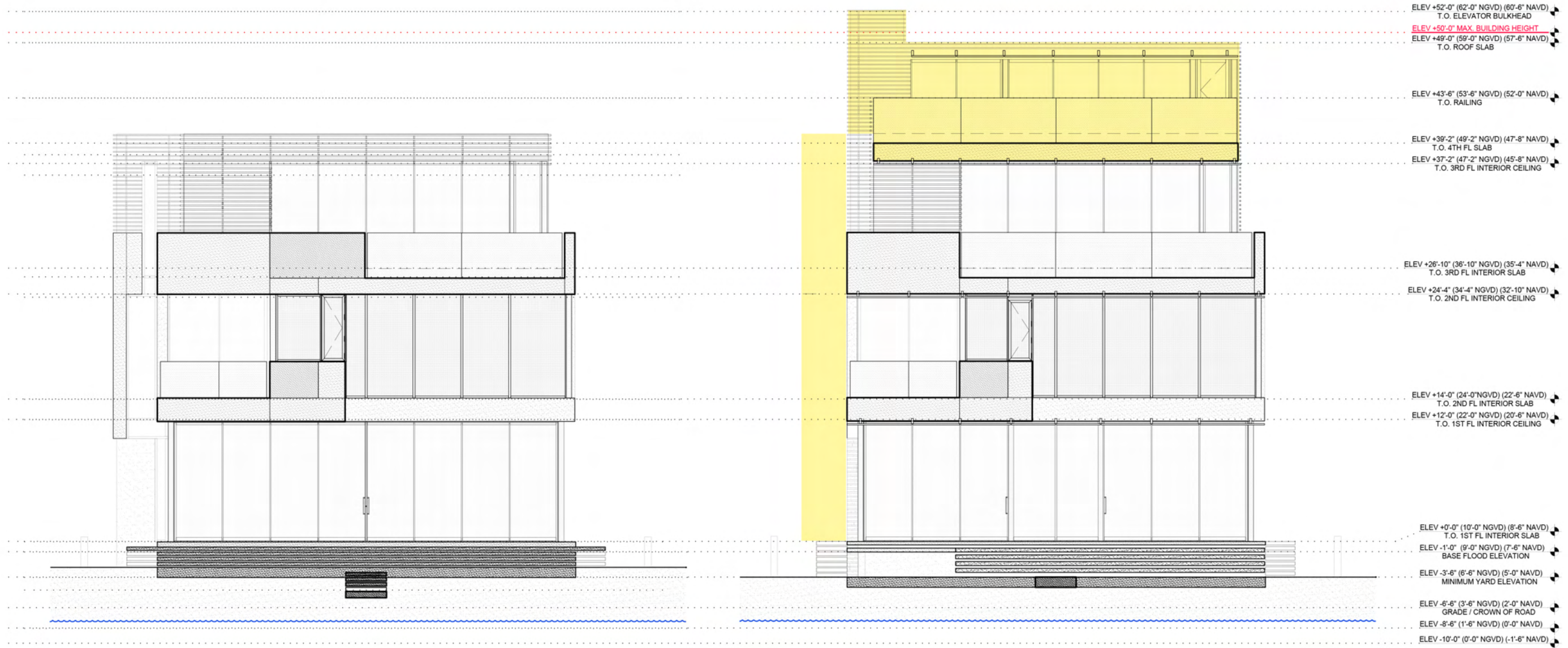
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Date: 12.12.2022
Scale: 1/8"=1'-0"
Revisions:

Roof Plan

A-2.8



1 NORTH ELEVATION
A-3.1 APPROVED BY DRB - 2018
SCALE: 3/32"=1'-0"

1 NORTH ELEVATION
A-3.1 PROPOSED- 2022
SCALE: 3/32"=1'-0"

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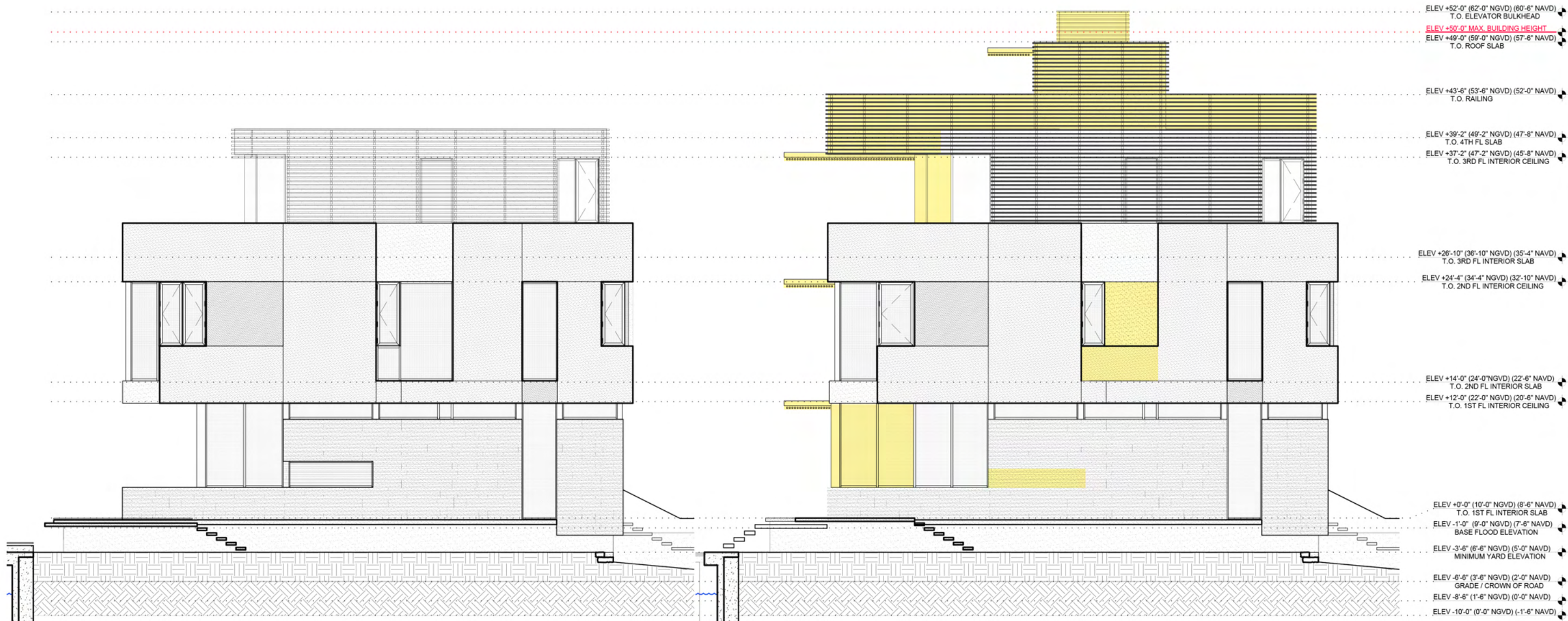
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Scale: 3/32"=1'-0"
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North Elevation
Comparison

A-3.0



1
A-3.2 WEST ELEVATION
APPROVED BY DRB - 2018
SCALE: 3/32"=1'-0"

1
A-3.2 WEST ELEVATION
PROPOSED- 2022
SCALE: 3/32"=1'-0"

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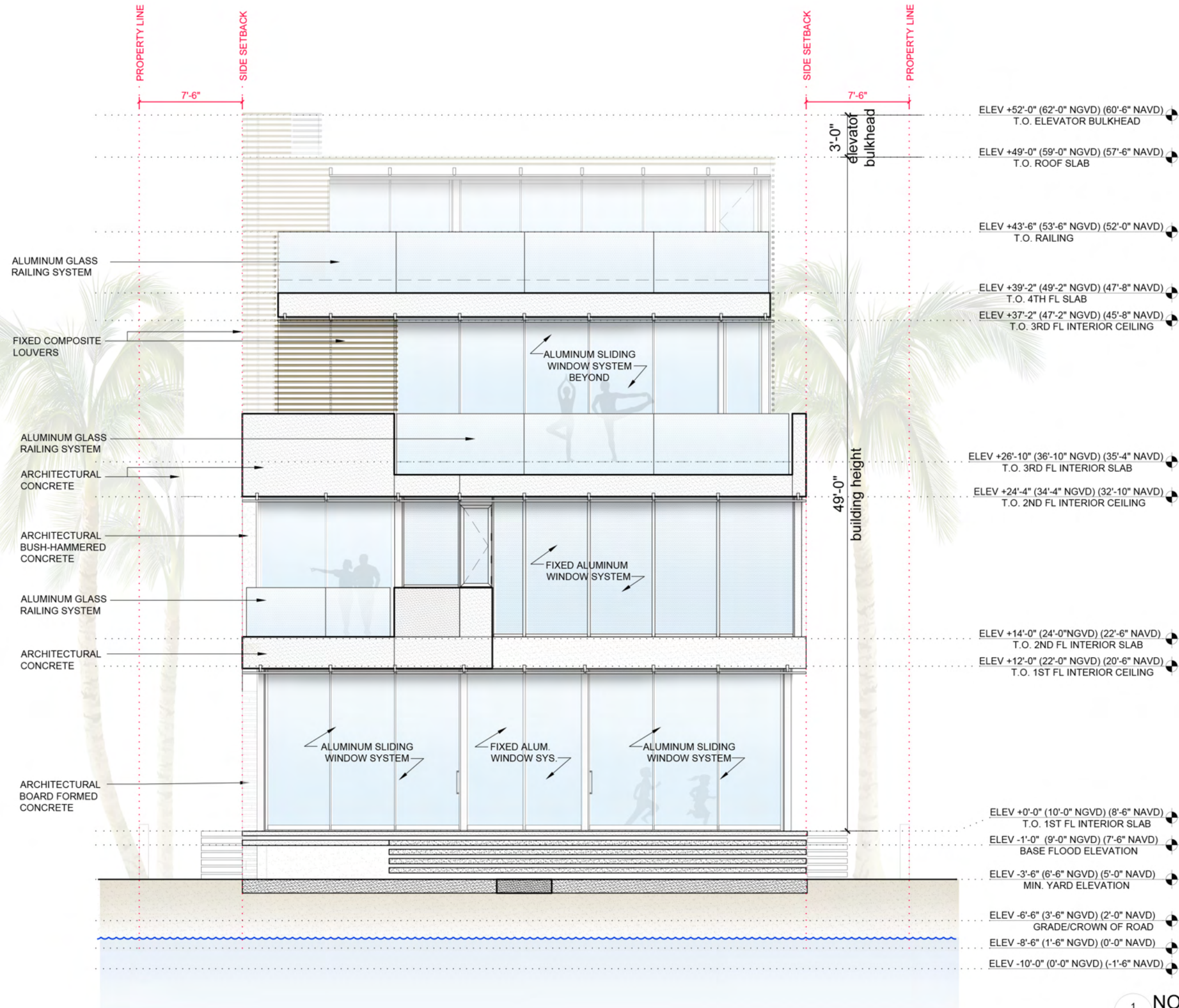
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West Elevation
Comparison

A-3.2



1 NORTH ELEVATION
A-3.4 SCALE: 1/8"=1'-0"

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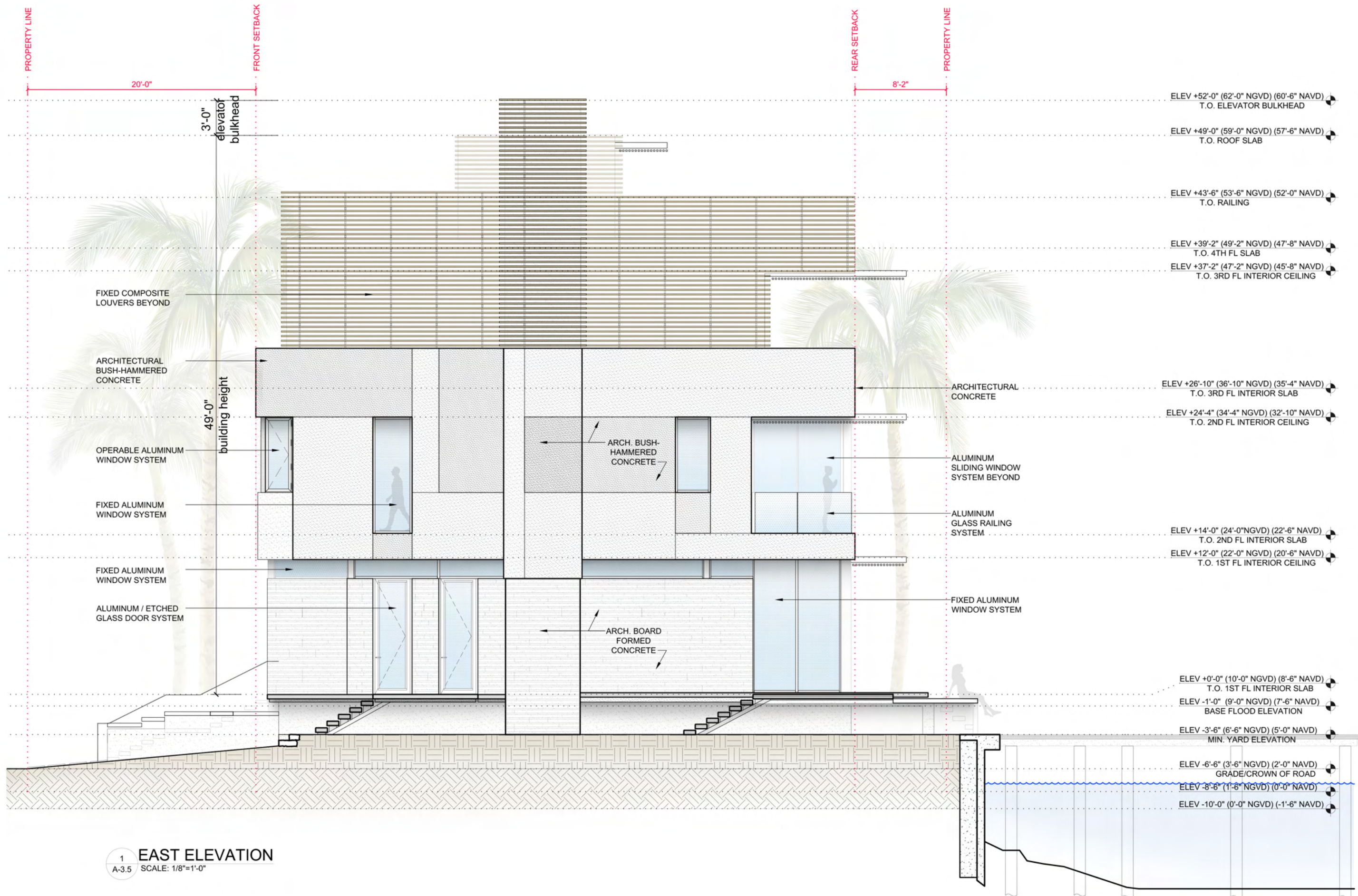
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North
Elevation

A-3.4



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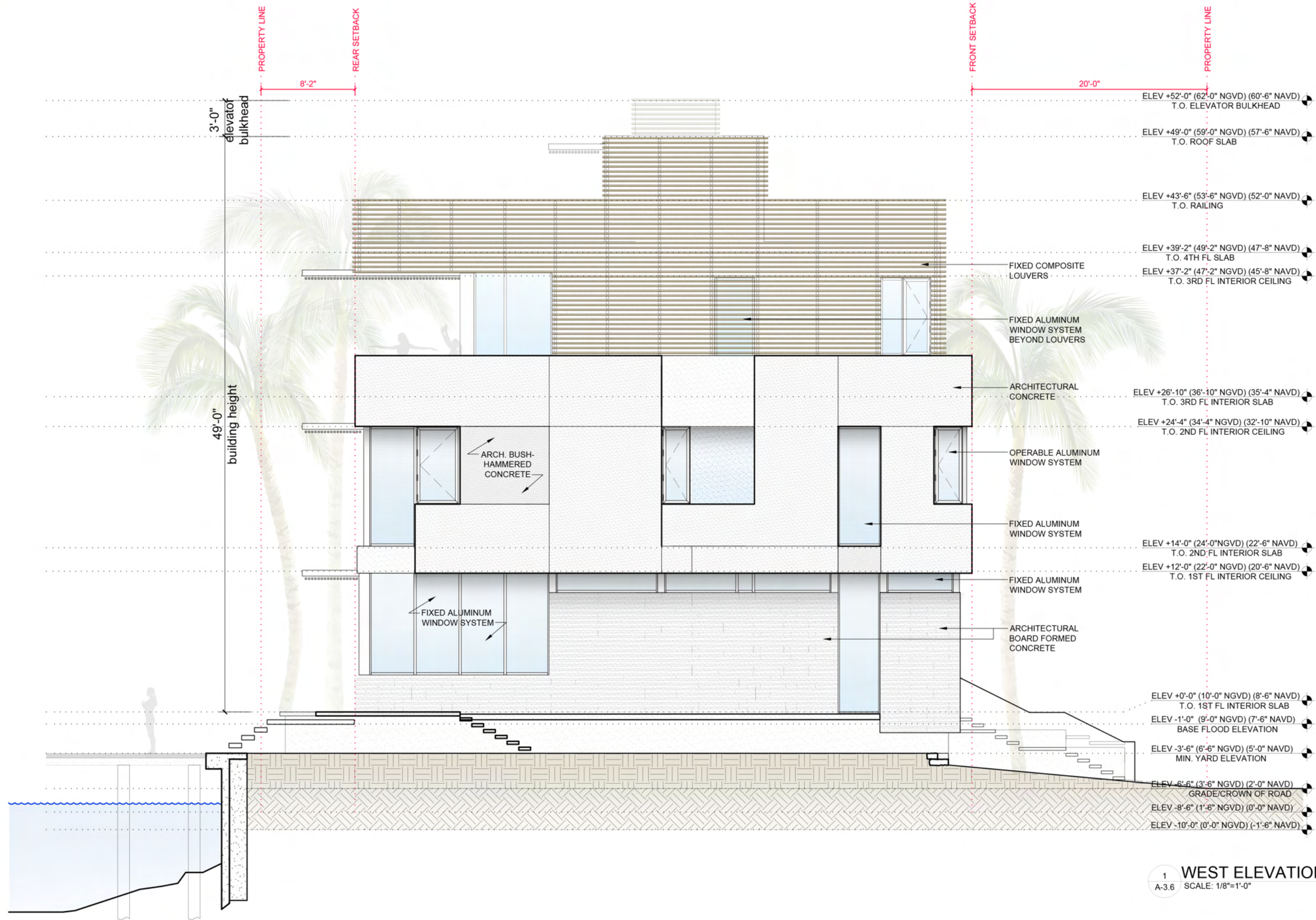
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East
Elevation

A-3.5



1 WEST ELEVATION
A-3.6 SCALE: 1/8"=1'-0"

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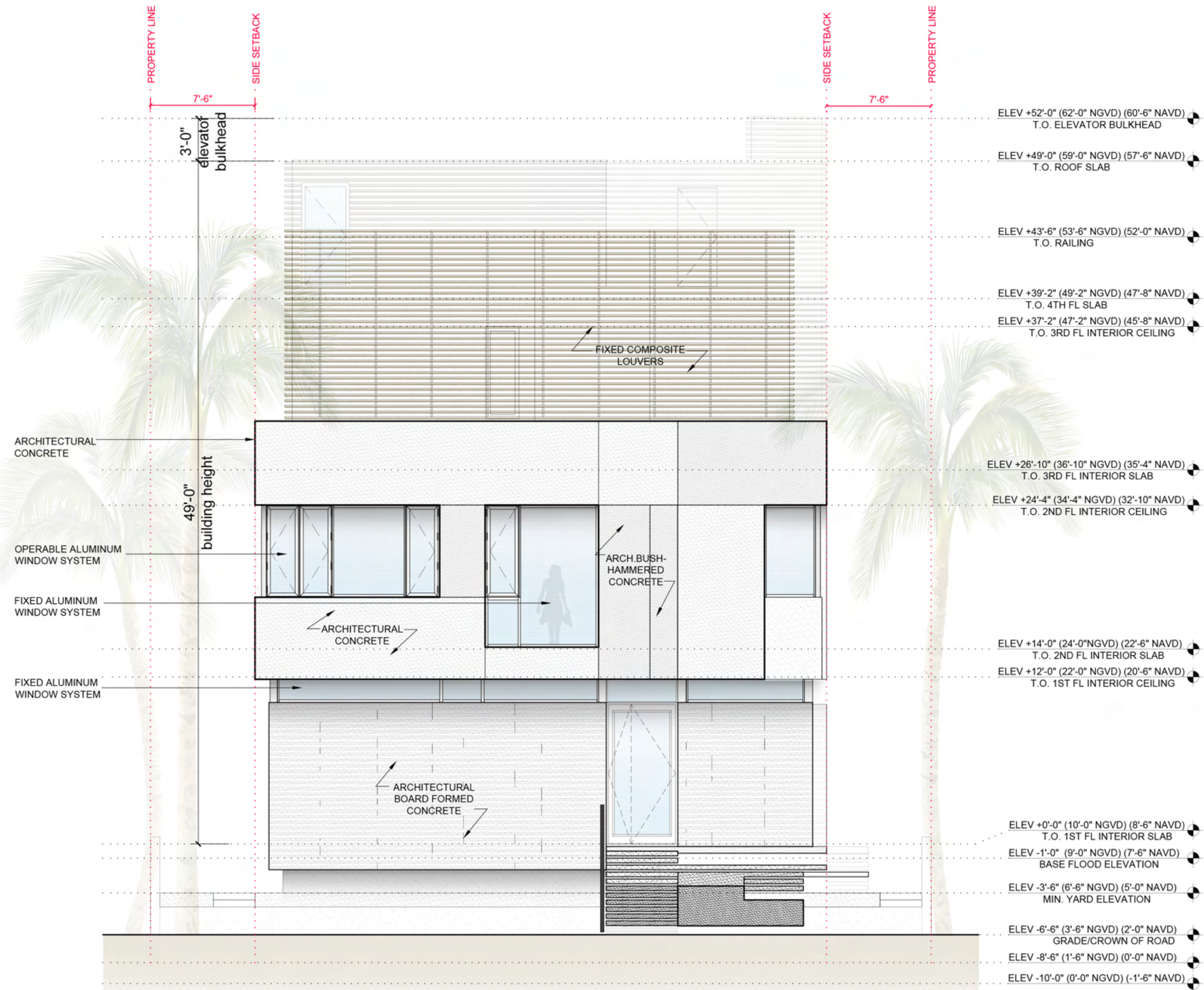
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West
Elevation

A-3.6



1 SOUTH ELEVATION
A-3.7 SCALE: 1/8"=1'-0"

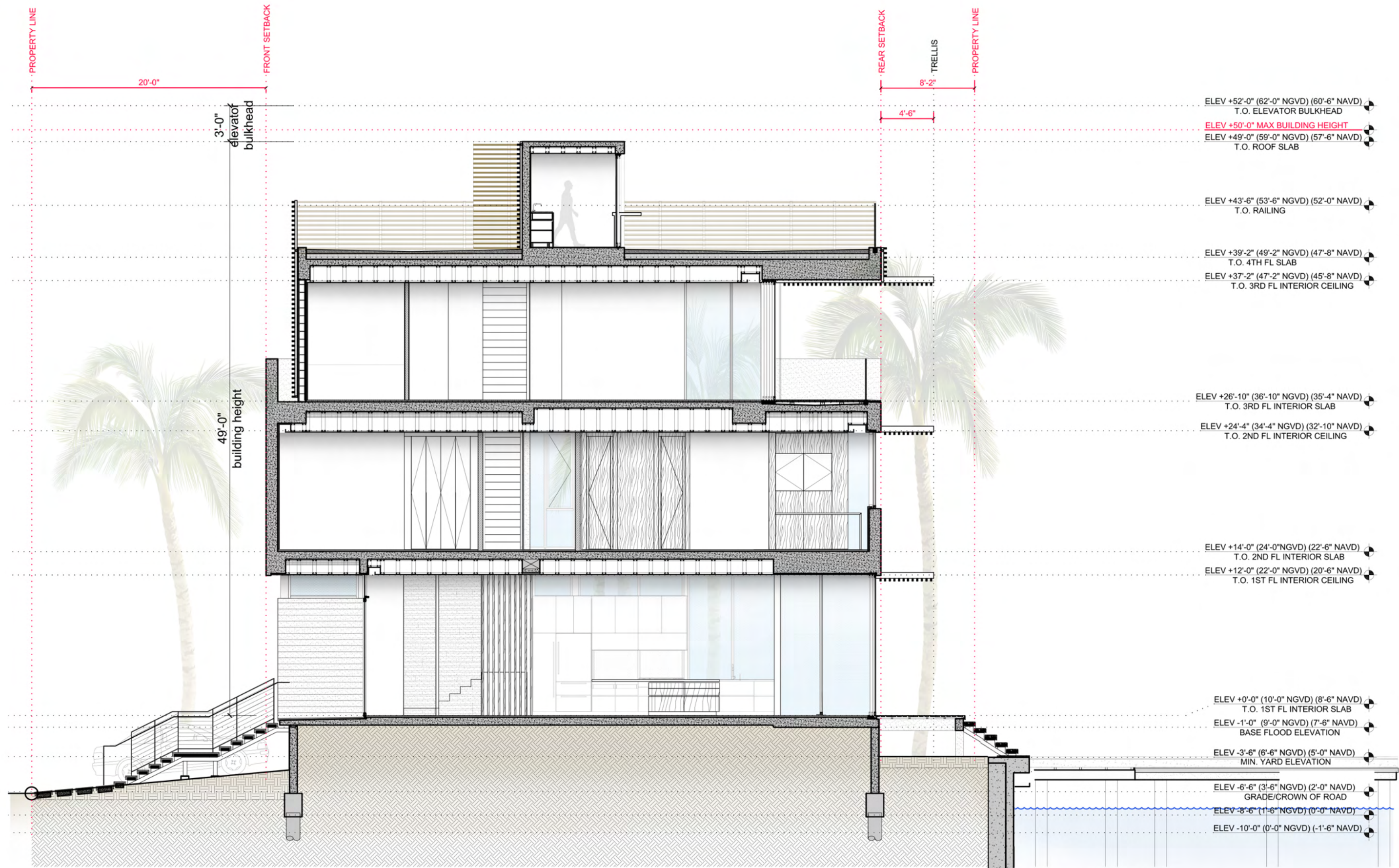
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South
Elevation

A-3.7



1 SECTION
A-4.0 SCALE: 1/8"=1'-0"

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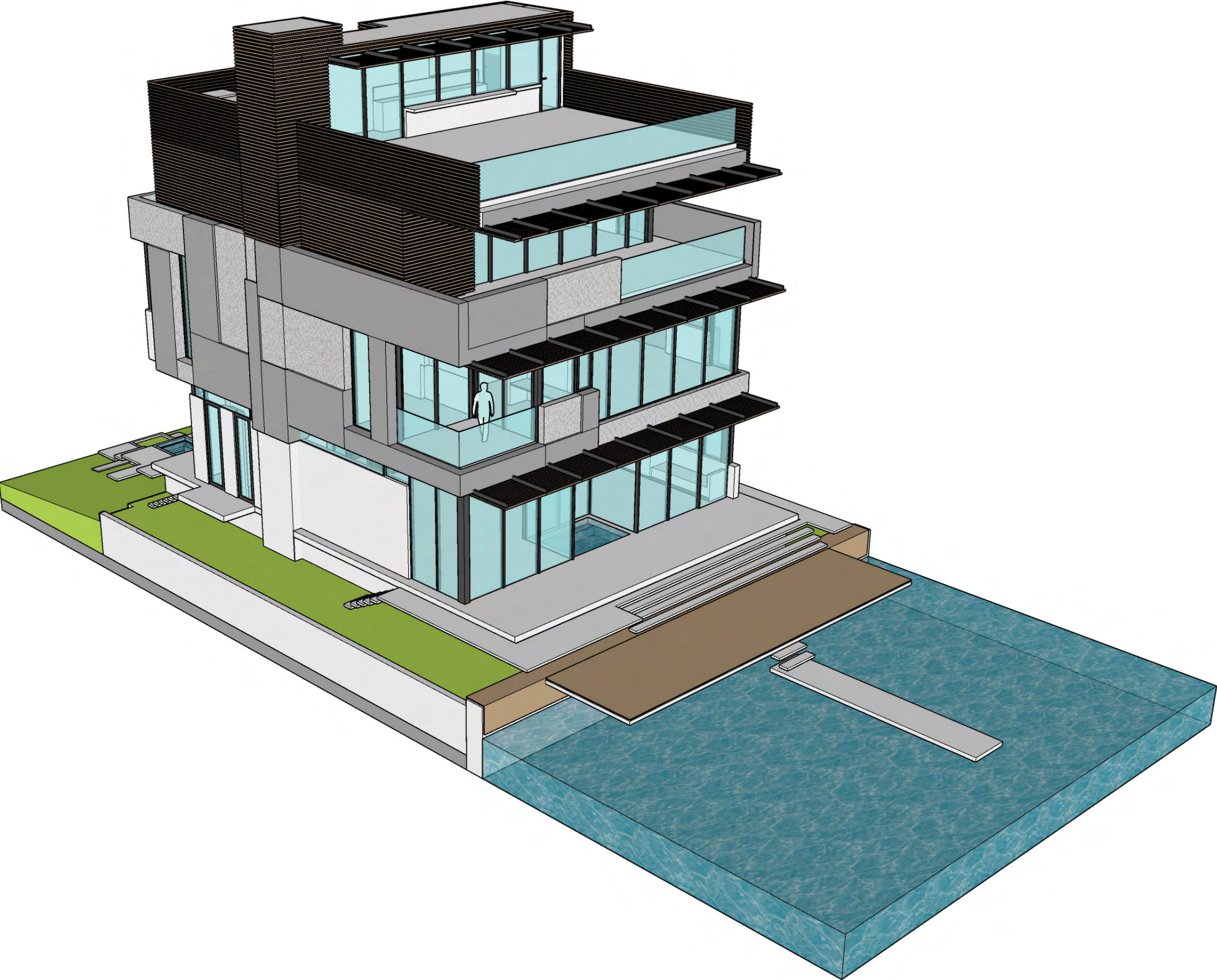
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Building and
Yard Section

A-4.0



3D PERSPECTIVE OF NORTH EAST CORNER

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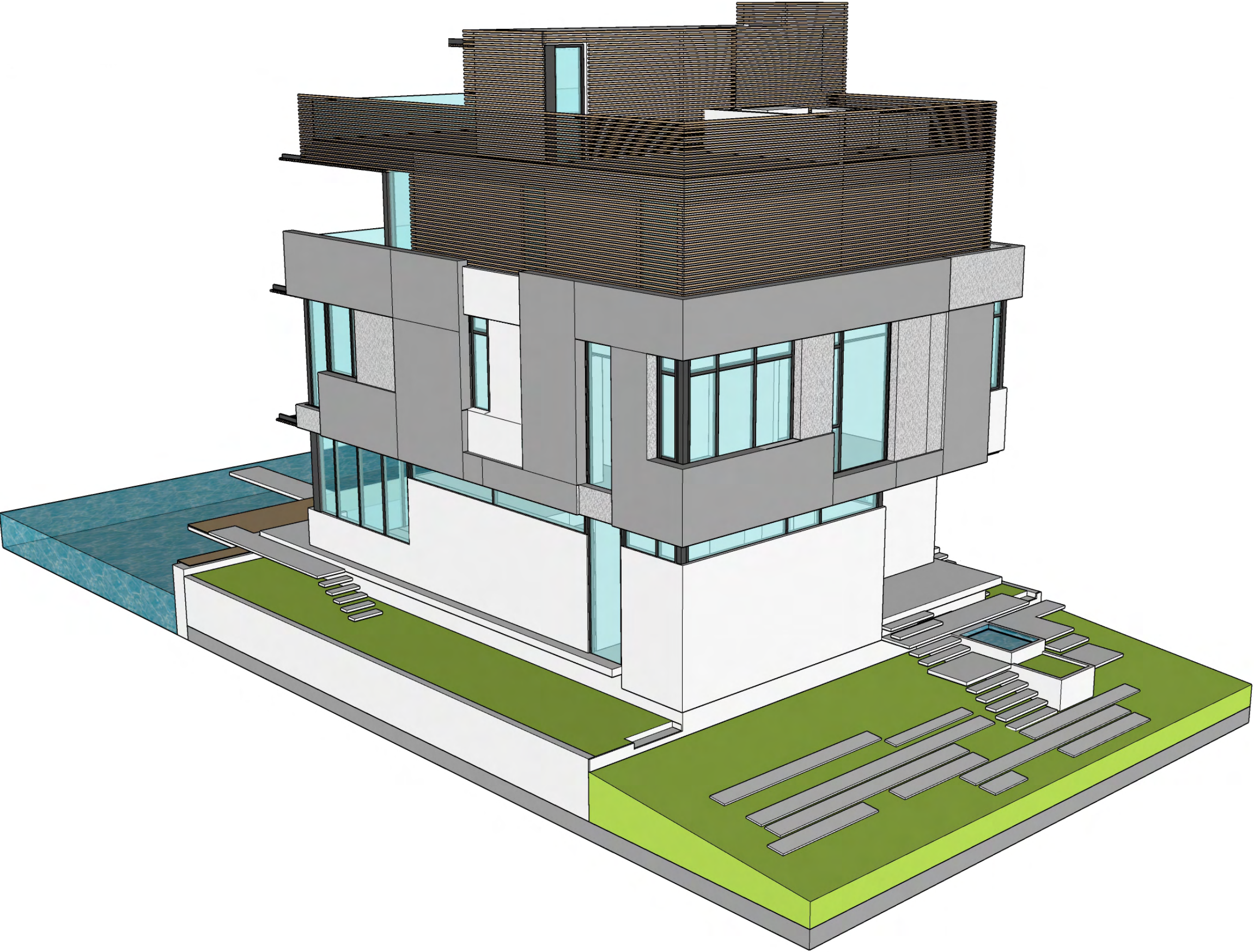
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3D
Perspective

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3D PERSPECTIVE OF SOUTH WEST CORNER

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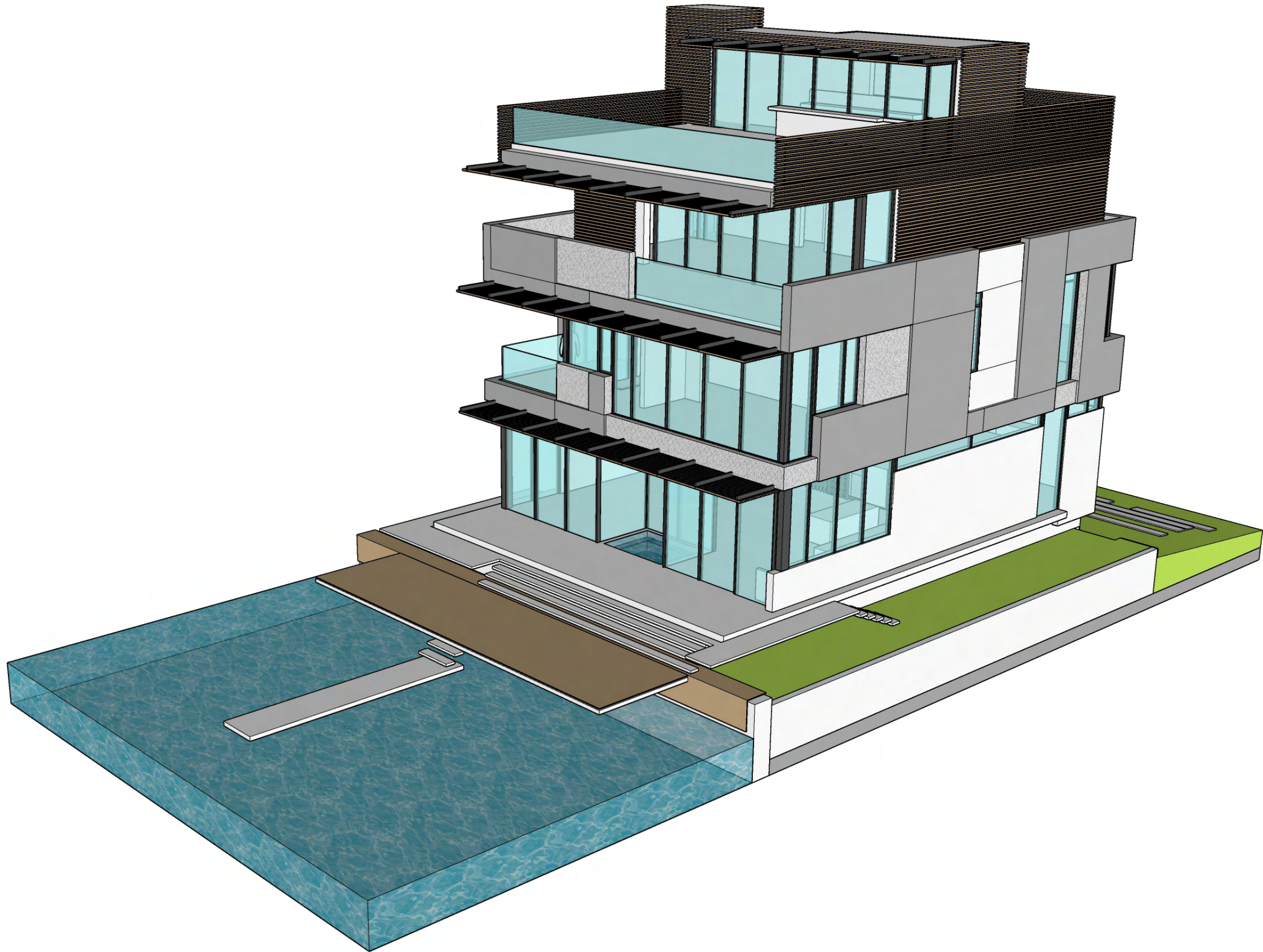
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3D PERSPECTIVE OF NORTH WEST CORNER

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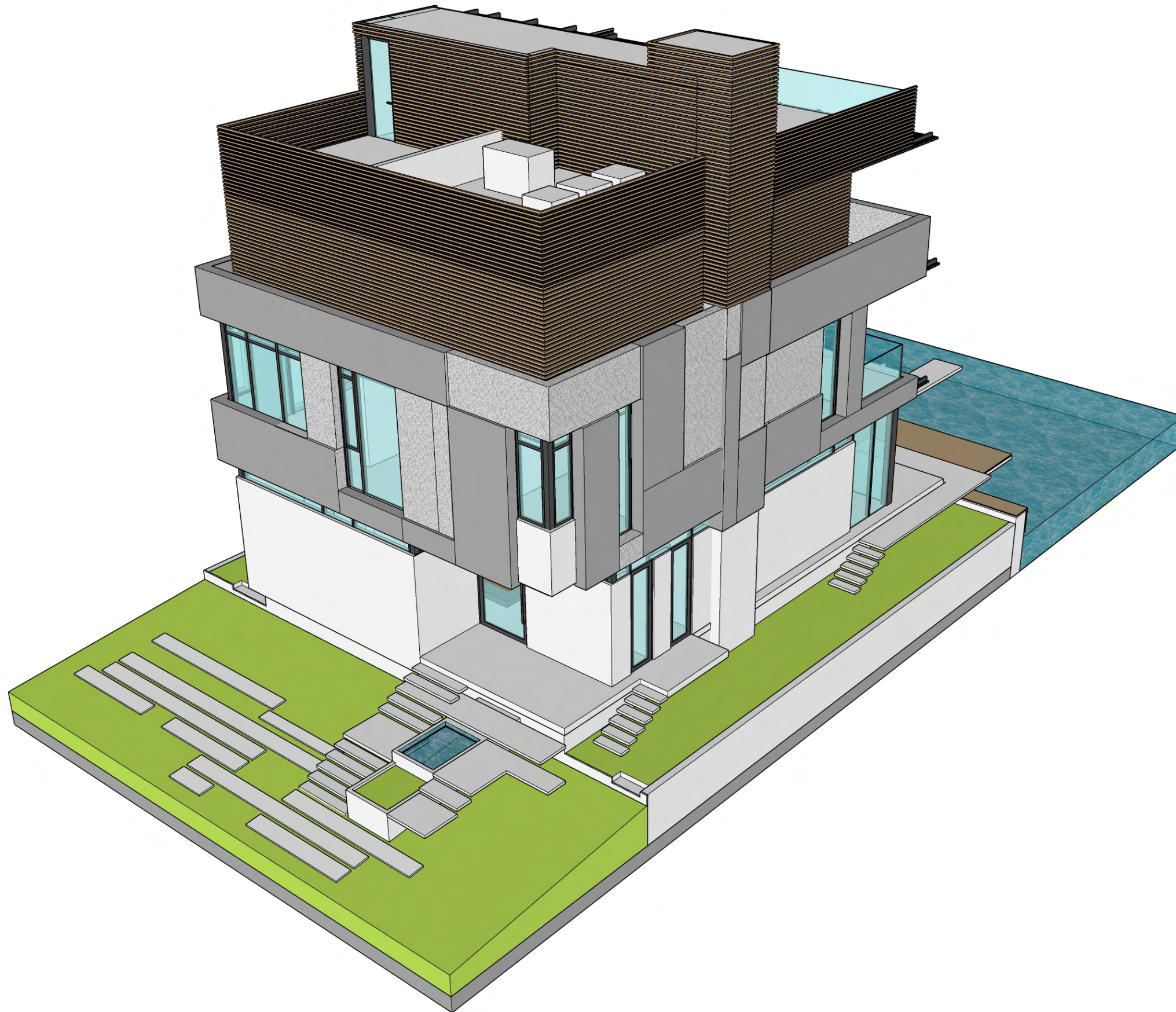
8 Farrey Lane Residence

8 Farrey Lane
Miami Beach, Florida 33139
T 305.762.8895
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Date: 12.12.2022
Scale:
Revisions:

3D
Perspective

A-5.2



3D PERSPECTIVE OF SOUTH EAST CORNER

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AA #0003351
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Date: 12.12.2022
Scale:
Revisions:

3D
Perspective

A-5.3



3D PERSPECTIVE OF ENTRANCE FROM STREET

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Date: 12.12.2022
Scale:
Revisions:

3D
Perspective

A-5.4



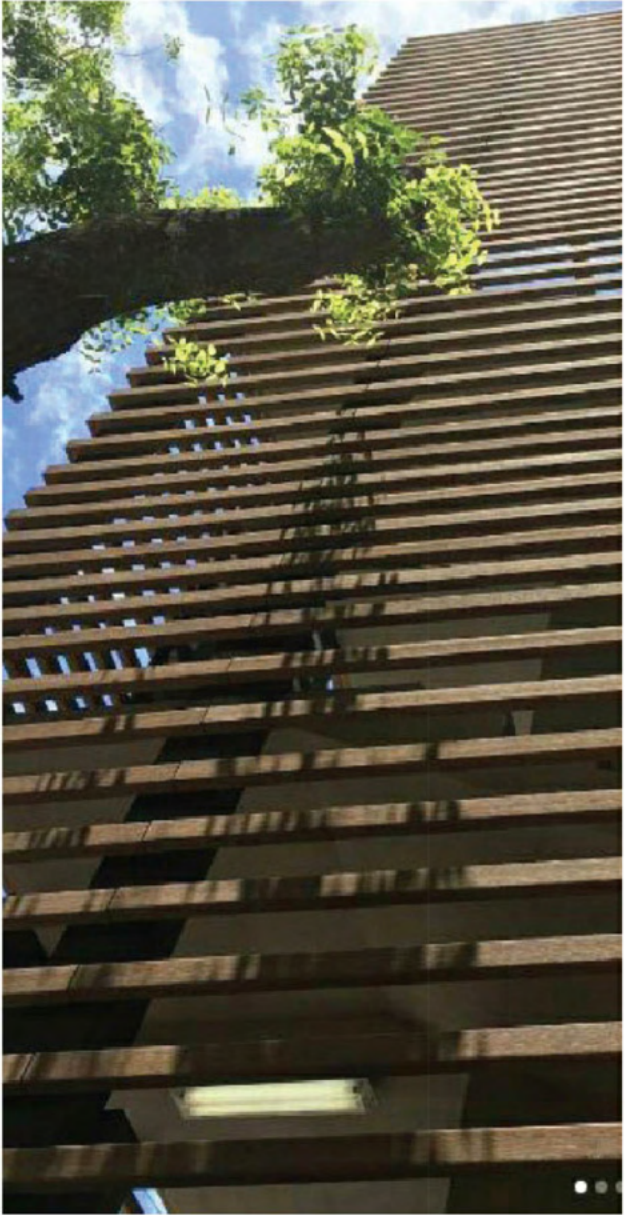
ALUMINUM FIXED AND SLIDING GLASS SYSTEM +



HORIZONTAL - BOARD FORMED CONCRETE
GROUND FLOOR FACADE TREATMENT



ARCHITECTURAL SMOOTH CONCRETE | BUSH HAMMERED CONCRETE
SECOND FLOOR FACADE TREATMENT



HORIZONTAL COMPOSITE LOUVERS
THIRD AND FOURTH FLOOR FACADE TREATMENT

Rene Gonzalez Architects

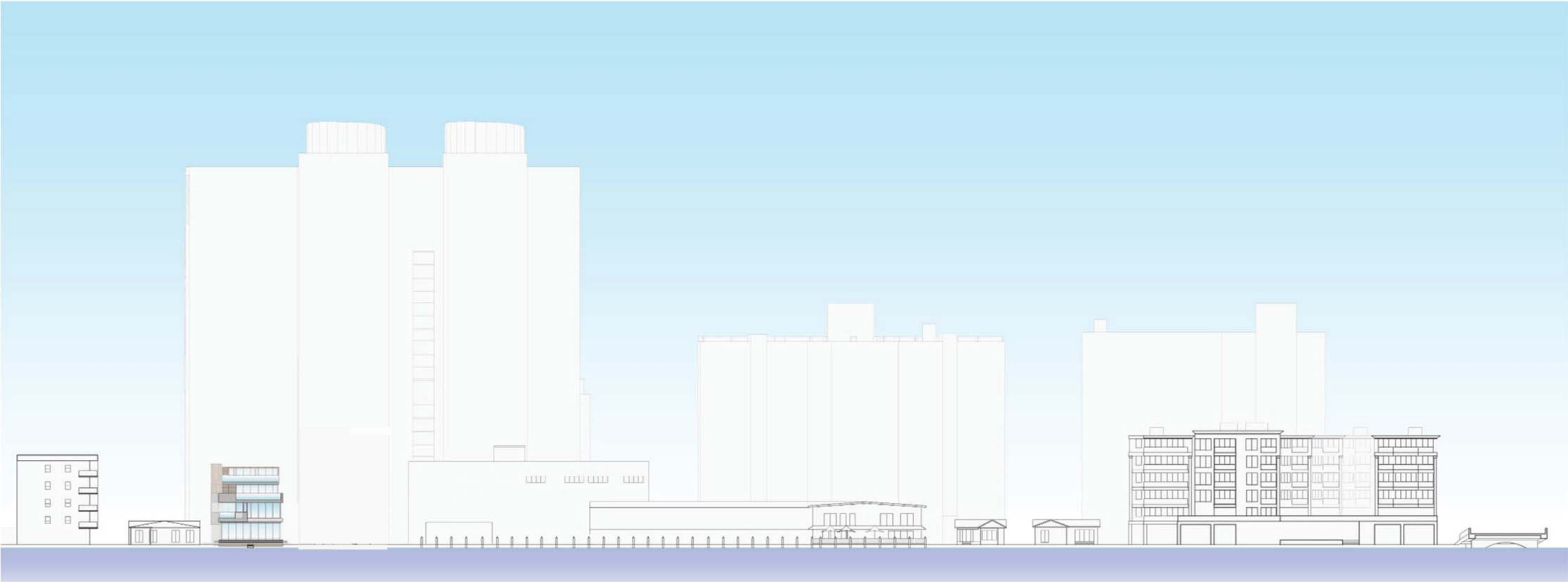
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8 Farrey Lane Residence

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Date: 11.01.2022
Scale:
Revisions:

Material
Images



CONTEXTUAL ELEVATION SKETCH AT NORTH

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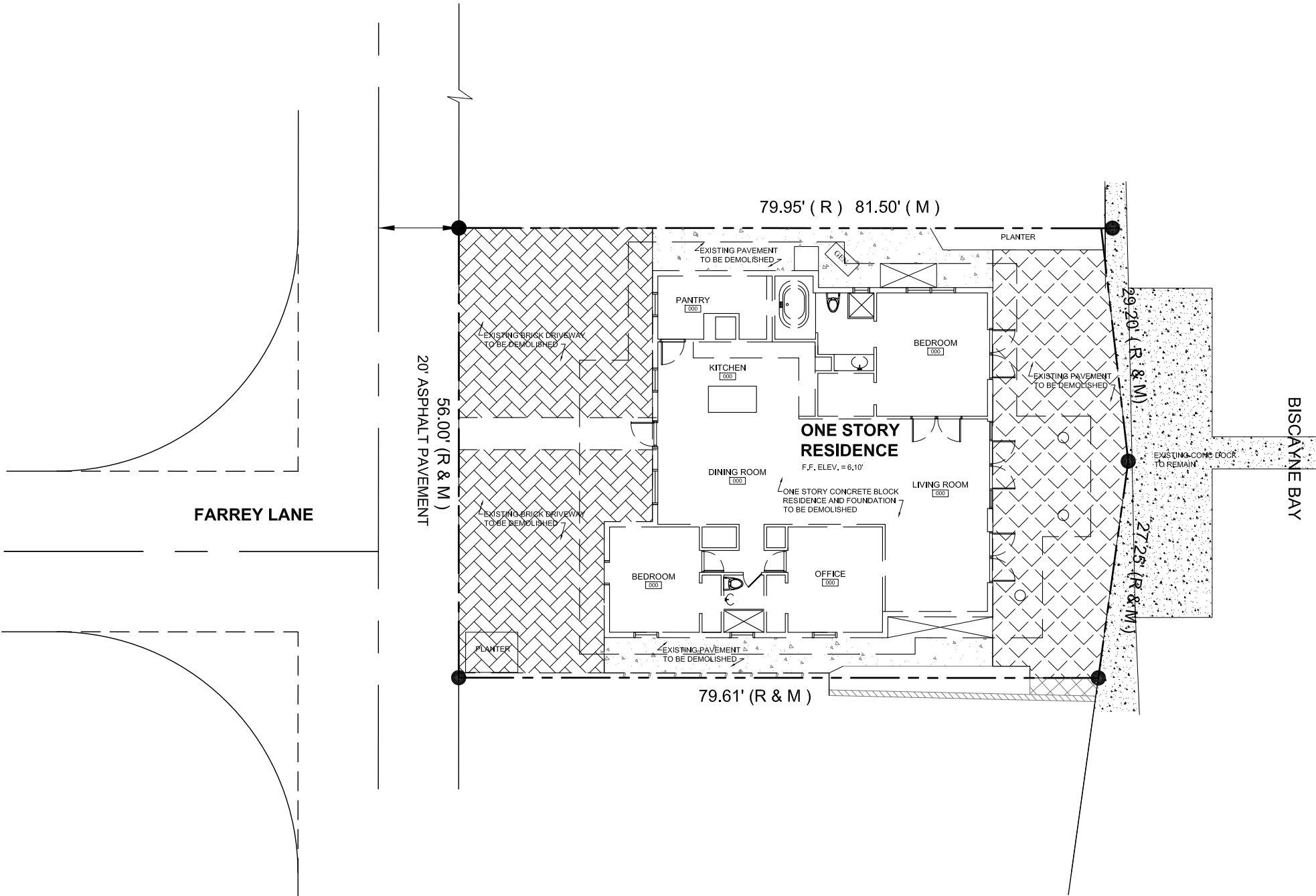
8 Farrey Lane
Miami Beach, Florida 33139
T 305.762.5895

Date: 12.12.2022
Scale: NTS
Revisions:

Contextual
Elevation North

GENERAL DEMOLITION NOTES

- A. General Demolition Notes:
- Demolition requires FULL removal of existing building, structural system including piles, terraces, etc
- Provide a detailed sequence of demolition and removal work to ensure uninterrupted progress of client's on-site operation.
- B. Qualifications:
- Provide staff responsible for demolition work fully experienced in this type of work.
- Provide equipment of suitable type, in good working condition, and operated by skilled mechanics.
- Perform work in a safe and cautious manner to avoid accidents or property damage.
Reference Standard: comply with all codes and regulations regarding demolition work.
- C. Performance:
- Prevent damage to adjoining structure during demolition.
- Prevent damage to electrical wires, underground cables, telephone, water, and sewer lines during demolition.
- E. Adjust and Clear:
- Remove any demolition materials, debris, and rubbish from the site immediately on completion of demolition work.
- Do not permit any accumulation of debris and disposed materials on site.
- Transport all demolition materials without spillage on streets.
- Leave site neat and orderly on completion of demolition work.
- F. Job Conditions:
- Adjacent structures to the demolition areas will be in use.
- Client assumes no responsibility for actual condition of structures to be demolished.
- Use of explosives will not be permitted.
- G. Traffic:
- Conduct demolition operations and removal of debris to ensure minimum interference with roads, streets, walks, and other adjacent occupied and used facilities.
- Do not close or obstruct streets, walks, or other occupied or used facilities without permission from authorities having jurisdiction.
Provide alternate routes around closed or obstructed traffic ways if required by governing regulations.
- Ensure safe passage of persons around area of demolition. Conduct operations to prevent damage to adjacent buildings, structures, and other facilities and injury to persons.
- Promptly repair damage caused to adjacent finishes, structures to remain or facilities by demolition operations.
- H. Utility services:
- Utilities should be provided to stay in service and protect against damage during demolition operations.
- Do not interrupt existing or temporary utilities serving occupied or used facilities, except when authorized in writing by authorities having jurisdiction. Provide temporary services during interruptions to existing utilities, as acceptable to governing authorities.
- Do not start demolition work until utility disconnections have been completed and verified in writing.
- I. Execution:
- Pollution controls: limit dust and dirt rising and scattering in the air. Comply with governing regulations pertaining to environmental protection.
- Do not use water when it may create hazardous or objectionable conditions such as flooding and pollution.
- Clean adjacent structures and improvements of dust, dirt, and debris caused by demolition operations. Return adjacent areas to condition existing prior to start of work.
- Locate demolition equipment throughout structure and remove materials, so as to not impose excessive loads.
- J. Salvaged Materials:
- Materials for reuse (if any) are to be removed carefully, stored and protected as directed by the client to avoid damage.
- Except for items indicated to be retained as client's property, other removed and salvaged materials not indicated for reuse shall become Contractor's property and removed from the site with further disposition at Contractor's option.
- Storage or sale of removed items will not be permitted on site.
- Vermin Control: If made necessary by the demolition Contractor's work, employ a certified, licensed exterminator and treat the entire area of building demolition and removal in accordance with governing health regulations for rodent and insect control.
- K. Disposal of demolished and excess materials:
- Remove daily from site accumulated debris, rubbish, and other material resulting from demolition operations.
- Burning of combustible materials from demolished structures will not be permitted on site.
- Transport materials removed from demolished structures at a legal disposal area off site without spillage
- Do not permit any accumulation of debris and disposed materials on site.
- Leave site neat and orderly on completion of demolition work.
- L. Site Clearing:
Site Preparation/Top Soil:
- Before starting excavation work, strip all existing sod and organically-rich soil within excavation area suitable for topsoil.
- Adequately protect from damage all existing trees and site improvements indicated to remain and as directed by Architect and Landscape Architect; restore or replace to approved condition if damaged.
- M. Planting:
- Relocate all existing plants indicated to be saved to new locations approved by Architect and Landscape Architect.
- Replant using best methods possible to guarantee survival of plant specimens. See Landscape Architecture Drawings.
- Assume full responsibility and warn operators of heavy equipment and other workers not to harm plantings which are designated to be saved.
- N. Site Clearing:
- Clean and remove by cutting and hauling all remaining trees and foliage as designated.
- Level all dirt and earth piles and backfill holes resulting from excavations for clearing and grubbing work.
- Leave site level with natural existing grades or as noted on drawings and elevations after removal of topsoil and organic materials. See Civil drawings
- Leave site hand-raked and free of stones, sticks, trash, and other debris.
- O. Excavation:
General: Refer to Structural Drawings for additional soils criteria and requirements.
- Excavate to lines and elevations as required.
- Make excavations sufficiently large to permit placing and removal of forms, installation of waterproofing, damp proofing, and utilities; and to allow inspection.
- For all areas under proposed building, thoroughly compact exposed surfaces of existing soils as indicated in Structural Drawings.
- Notify Architect when excavations have reached proper levels to receive work to be installed.
- Install work only after excavations and soil conditions have been inspected and approved.
Classification of Excavation:
- Only one class of excavation is recognized for this Project, 'Unclassified', and includes all kinds of materials encountered during work.
- All costs of excavating all materials encountered are considered part of this Project and no extras are acceptable.
Excavation for Footing:
- Found bottoms of footing on rock or firm understructure at elevations indicated or as shown.
- Sub grade of footing shall be leveled and free of loose rock, dirt, debris, and standing water before acceptance for placing concrete.
- Use vibratory plate compactor at all footing excavations to achieve minimum soil density as indicated on Structural Drawings.
Excess Excavation:
- Do not perform excavation below bottom face of footings or below graded indicated on Drawings, unless directed by both Architect and Structural Engineer in writing.
- If Contractor, without authorization, excavates more than shown on Drawings, refill such excess excavation with 2500 psi concrete or with approved compacted material as directed by both Architect and Structural Engineer.
- P. Filling:
- Employ geotechnical engineer to monitor all compaction and filling operations and obtain Statement of Compliance from engineer at completion of soil preparation.
- Fill materials: Provide general fill, obtained from excavation on site, if acceptable, or from borrow sources.
- Porous Fill/Vapor Barriers: Provide continuous 6 mil polyethylene vapor barrier under all slabs on grade.
- Q. Placing:
- Place fill materials in horizontal loose layers to produce uniform thickness of material.
- Start placement in deepest area and progress approximately parallel to finished grade.
- Thickness of layers before compaction: 8 in. for cohesion less soils; do not use cohesive soils.
- Do not place fill material on areas where free water is standing or on surfaces which have not been approved.
- Compact to min. 100 percent proctor density.
- R. Adjacent Existing Structures:
- Monitor adjacent existing structures for any signs of settlement distress throughout filling and compaction operations.
- Stop all operations if any distress is visible and report to Architect for resolution.
- S. Auger cast Piling:
Refer to structural drawings.
- Contractor to employ a geotechnical engineer to certify piling.
- Contractor to employ a surveyor to certify location of piles and provide pile log
- T. Soil Treatment:
Refer to structural drawings.
- Contractor to employ geotechnical engineer for certification of soil compaction
- U. Pavements:
Refer to Division 4 for paving
- V. Landscaping:
Refer to Architecture and Civil drawings
- Z. Disposal of Excess Material and Cleanup:
- Unless otherwise directed, all material gotten from excavations and not required for backfilling, filling, or grading becomes property of Contractor, to be removed from site and legally disposed of by Contractor.
- Remove all debris and other undesirable material from property.
- When work is complete, remove all surplus materials and other items of equipment from premises.



DEMOLITION PLAN
SCALE: 1/8"=1'-0"

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Date: 12.12.2022
Scale:
Revisions:

Demolition
Plan

D-1.0