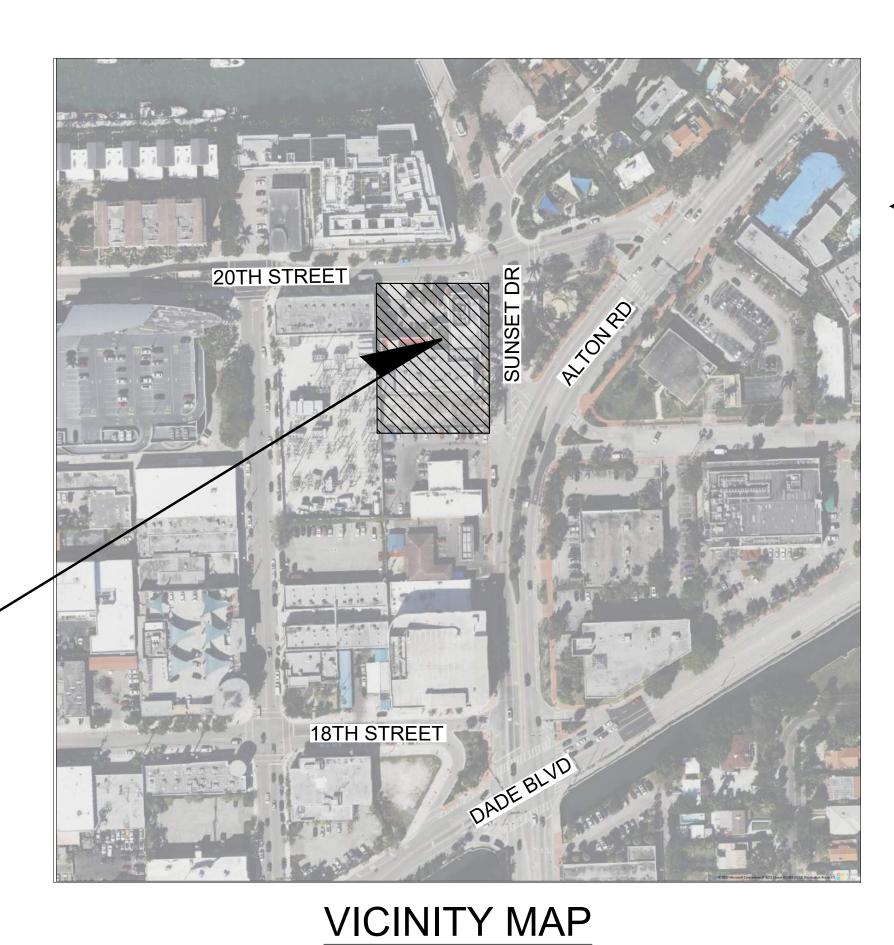
1920 ALTON ROAD



LOCATION 1920 ALTON ROAD MIAMI BEACH, FLORIDA 33139



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PROJECT TEAM

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PROJECT LOCATION

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PREPARED BY:

1"=150'

Kimley» Horn

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS. ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON BASED NGVD 1929.



NOL 920

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GENERAL NOTES AND SPECIFICATIONS

I. APPLICABLE CODES

- 1. ALL WORK AND MATERIALS SHALL CONFORM TO CURRENT CITY OF MIAMI BEACH, MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT (MDCPWD), MIAMI-DADE REGULATORY AND ECONOMIC RESOURCES (DRER), MIAMI-DADE WATER AND SEWER DEPARTMENT (M-DWASD). FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARDS AND SPECIFICATIONS AS WELL AS ALL LOCAL, STATE, AND NATIONAL CODES AND REGULATORY REQUIREMENTS, AS APPLICABLE.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION AND DITCH EXCAVATION SHALL BE DONE IN A SAFE MANNER AND IN STRICT COMPLIANCE WITH ALL THE REQUIREMENTS OF FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND ALL STATE AND LOCAL SAFETY AND HEALTH REGULATIONS.
- 3. LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER SITE FEATURES SHOWN ON THE DRAWINGS WERE OBTAINED FROM THE BOUNDARY SURVEY BY:

LONGITUDE SURVEYORS, LLC FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: LB-7335

- 4. ELEVATIONS SHOWN HEREON RELATE TO NATIONAL GEODETIC VERTICAL DATUM, N.G.V.D., 1929.
- 5. PROPOSED ELEVATIONS SHOWN ARE FINISHED GRADES.
- 6. EXISTING UTILITIES TO BE ADJUSTED IN ACCORDANCE WITH PROPOSED GRADES AND REQUIREMENTS OF UTILITY OWNERS, AS REQUIRED.
- 7. EXISTING STRUCTURES, TREES, UTILITIES AND OTHER IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE SUCH AS BUILDING SEWERS, DRAINS, WATER OR GAS PIPES, CONDUITS, POLES, WALLS, COLUMNS, ETC., WHETHER OR NOT SHOWN ON THE PLANS, ARE TO BE CAREFULLY PROTECTED FROM DAMAGE. IF DAMAGE OCCURS FROM WORK PERFORMED UNDER THIS CONTRACT, THE CONTRACTOR SHALL PROMPTLY REPAIR THE DAMAGED ITEM(S) TO THE CONDITION OF THE ITEM(S) PRIOR TO THE DAMAGE. THIS WORK SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
- 8. THE CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD TRANSMISSION LINES AND UNDERGROUND UTILITIES.
- 9. CONTRACTOR SHALL PRESERVE ALL STREET SIGNS, PARKING METERS, BENCHES, TRAFFIC CONTROL SIGNS, TRAFFIC LOOPS, ETC. WHEN DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL REINSTALL OR DELIVER SAID PUBLIC PROPERTY TO THE COUNTY YARD.
- 10. THE CONTRACTOR SHALL TAKE SPECIAL NOTE OF SOIL CONDITIONS THROUGHOUT THIS PROJECT. ANY SPECIAL SHORING, SHEETING OR OTHER PROCEDURES NECESSARY TO PROTECT ADJACENT PROPERTY, EITHER PUBLIC OR PRIVATE, DURING EXCAVATION OF SUBSOIL MATERIAL OR DURING THE FILLING OF ANY AREA. OR FOR ANY OPERATION DURING CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 11. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE CITY OF MIAMI BEACH ENGINEERING STANDARDS, THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST EDITION). AND THE MIAMI-DADE COUNTY PUBLIC WORKS MANUAL. THE MIAMI-DADE WATER AND SEWER DEPARTMENT STANDARDS AND SPECIFICATIONS, AND THE FLORIDA BUILDING CODE AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK, AND, UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.
- 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
- 13. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- 14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. AN APPROXIMATE LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
- 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
- 16. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- 17. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
- 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS. ALL SURVEY COSTS WILL BE THE CONTRACTORS RESPONSIBILITY.
- 19. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
- 20. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
- 21. ANY WELL TO REMAIN SHALL BE ADJUSTED TO GRADE BY THE CONTRACTOR.
- 22. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
- 23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
- 24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.

II. PRECONSTRUCTION RESPONSIBILITIES

- 1. THE INFORMATION PROVIDED IN THESE PLANS IS TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF THE CONDITIONS WHICH MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT ANY INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSIONS REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED AND UPON WHICH THEIR BIDS WILL BE BASED.
- 2. UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRE-CONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER, AND THE ENGINEER OF RECORD.
- 3. THE CONTRACTOR SHALL APPLY FOR AND PROCURE ALL PERMITS AND LICENSES, PAY ALL CHARGES, TAXES, ROYALTIES & FEES, AND GIVE ALL NOTICES NECESSARY TO COMPLETE THIS PROJECT.
- 4. THE CONTRACTORS SHALL COORDINATE WITH UTILITY COMPANIES TO ARRANGE FOR ANY REMOVAL, RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK, IF APPLICABLE.
- 5. THE LOCATIONS OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL LOCATE AND EXPOSE ALL EXISTING UTILITIES TO BE CONNECTED SUFFICIENTLY AHEAD OF CONSTRUCTION TO ALLOW REDESIGN BY THE ENGINEER IF SUCH UTILITIES ARE FOUND TO BE DIFFERENT THAN THOSE SHOWN ON PLANS.

III. TYPICAL ENGINEER OBSERVATIONS AND 3RD PARTY TEST REPORTS REQUIRED

- 1. TYPICAL ENGINEER OBSERVATIONS: CONTRACTOR SHALL NOTIFY ENGINEER 48 HOURS IN ADVANCE OF THE FOLLOWING ACTIVITIES:
- A. SANITARY SEWER SYSTEM INFILTRATION/EXFILTRATION TEST OF THE NEW SANITARY SEWER COLLECTION SYSTEM UP TO THE POINT OF CONNECTION WITH THE EXISTING SYSTEM, AND INCLUDING ALL NEW SERVICE LATERALS.
- B. SANITARY SEWER MAINS LAMPING OF NEW SANITARY SEWER MAINS BETWEEN ALL NEW MANHOLES UP TO AND INCLUDING THE CONNECTION MANHOLE ON THE EXISTING SYSTEM.
- C.POTABLE WATER DISTRIBUTION MAINS:
- 1) LIVE TAP CONNECTIONS TO EXISTING MAINS 2) PRESSURE TEST IN ACCORDANCE WITH AWWA STANDARD C600

D.STORM DRAINAGE:

- 1) EXFILTRATION TRENCHES AFTER INSTALLATION OF FILTER FABRIC BUT PRIOR TO PLACING ANY BALLAST ROCK IN ORDER TO MEASURE DEPTH AND WIDTH OF TRENCH.
- 2) DRAINAGE WELLS COMPLETED WELL PUMP TEST 3) DRAINAGE PIPE AND STRUCTURES - PRIOR TO BACKFILL
- E. LIMEROCK BASE PRIOR TO AND DURING PLACEMENT OF LIMEROCK BASE
- F. FINISHED PAVEMENT PRIOR TO PLACEMENT OF ANY FINISHED ASPHALT, CONCRETE AND/OR BRICK PAVING.
- G. SUBSTANTIAL COMPLETION

H.FINAL INSPECTION

- REGARDLESS OF WHETHER OR NOT THE ABOVE ARE WITNESSED BY OTHERS, IF THE CONTRACTOR FAILS TO NOTIFY THE ENGINEER OF RECORD AT LEAST 48 HOURS PRIOR AND THESE ARE COMPLETED WITHOUT THE ENGINEER OF RECORD PRESENT, THE CONTRACTOR SHALL AGAIN EXPOSE THE WORK AND REPEAT ALL TESTS AS REQUESTED BY THE ENGINEER OF RECORD AT NO ADDITIONAL COST TO THE CONTRACT. OTHERWISE, THE ENGINEER OF RECORD RESERVES THE RIGHT TO REFUSE ISSUANCE OF ANY CERTIFICATIONS.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND CALLING FOR ANY TESTING AND INSPECTIONS REQUIRED BY CITY, COUNTY, STATE AND FEDERAL AGENCIES HAVING JURISDICTION OVER THE CONTRACTOR'S WORK.

IV. SHOP DRAWINGS

PRIOR TO FABRICATION OR CONSTRUCTION, SHOP DRAWINGS SHALL BE SUBMITTED BY THE CONTRACTOR TO THE ENGINEER OF RECORD FOR REVIEW OF THE FOLLOWING ITEMS:

- A. DRAINAGE INLETS, CATCH BASINS, MANHOLES AND STRUCTURES, INCLUDING TOP/BOTTOM SLABS, FRAMES, GRATES, RIMS AND POLLUTANT RETARDANT BAFFLES
- B. TRENCH OR SLOT DRAINS INCLUDING CHANNELS, ANCHORS, GRATES, OUTLETS, ETC. C. DRAINAGE WELL STRUCTURES, CASING AND GRATES
- DRAINAGE PIPE AND FITTINGS
- E. CLEANOUTS F. EXFILTRATION TRENCH FILTER FABRIC
- 2. <u>WATER DISTRIBUTION</u>
 - A. PIPE AND FITTINGS B. VALVES AND AIR RELEASE VALVES
 - C. FIRE HYDRANTS D. BACKFLOW PREVENTION DEVICES
 - METER VAULTS F. TAPPING SLEEVES AND CORPORATION STOPS
- 3. <u>SANITARY SEWER:</u>
- A. MANHOLES, INCLUDING STRUCTURES, TOP/BOTTOM SLABS, FRAMES AND RIMS
- B. PIPE AND FITTINGS C. CLEANOUTS
- D. VALVES AND AIR RELEASE VALVES E. PUMP STATION AND ALL RELATED EQUIPMENT
- 4. <u>ASPHALT MIX</u>
- A. SUBGRADE AND LIMEROCK BASE SECTIONS TO BE INCLUDED

V. TEMPORARY FACILITIES

- TEMPORARY FACILITIES
 - A. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES, AND ELECTRICITY, DURING CONSTRUCTION.
 - B. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE MAINTENANCE OF TRAFFIC CIRCULATION FOR THE ADJACENT PROPERTY DURING CONSTRUCTION.
 - C. THE CONTRACTOR SHALL MAINTAIN AT LEAST ONE ACCESS ENTRANCE TO COMMERCIAL PROPERTIES AT ALL TIMES, IF
 - D. THE CONTRACTOR SHALL MAINTAIN A CLEAR PATH FOR ALL SURFACE WATER DRAINAGE STRUCTURES AND DITCHES DURING ALL PHASES OF CONSTRUCTION, IF APPLICABLE.

2. TRAFFIC REGULATION

- A. THE CONTRACTOR SHALL PROVIDE ALL WARNING SIGNALS, SIGNS, LIGHTS AND FLAG PERSONS AS NECESSARY FOR THE MAINTENANCE OF TRAFFIC WITHIN PUBLIC RIGHT-OF-WAYS IN ACCORDANCE WITH M.U.T.C.D. AND THE MIAMI-DADE COUNTY
- B. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
- C. NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT THE EXPRESS PERMISSION OF THE MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT, AND/OR THE FLORIDA DEPARTMENT OF TRANSPORTATION.

VI. PROJECT CLOSE OUT

- CLEANING UP
- A. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEANUP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE
- B. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS/HER WORK, EQUIPMENT AND/OR EMPLOYEES TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING
- C. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZED EARTH, CURBS, DRIVEWAYS, SIDEWALKS, FENCES, MAILBOXES, SIGNS AND ANY OTHER IMPROVEMENTS REMOVED DURING CONSTRUCTION WITH THE SAME TYPE OF MATERIAL AND TO THE CONDITION WHICH EXISTED PRIOR TO THE BEGINNING OF OPERATIONS.
- D. WHERE MATERIAL OR DEBRIS HAVE WASHED OR FLOWED INTO, OR HAVE BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING THE PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.
- E. ALL DISPOSAL OF EXCESS AND UNSUITABLE EXCAVATED MATERIAL, DEMOLITION, VEGETATION, RUBBISH AND DEBRIS SHALL BE MADE OUTSIDE THE LIMITS OF CONSTRUCTION AT A LEGAL DISPOSAL SITE PROVIDED BY THE CONTRACTOR AT HIS/HER OWN EXPENSE, WITH THE PRIOR APPROVAL OF THE ENVIRONMENTAL ENGINEER. MATERIAL CLEARED FROM THE SITE SHALL NOT BE DEPOSITED ON ADJACENT AND /OR NEARBY PROPERTY.
- F. IMMEDIATELY PRIOR TO GRAND OPENING, CONTRACTOR IS TO SWEEP ENTIRE SITE, ELIMINATE ALL DEBRIS AND FUMIGATE THE LANDSCAPE AREAS AND PRESSURE CLEAN THE SITE ASPHALT, CURB, SIDEWALKS, AND CONCRETE PADS.
- 2. ALL PROPERTY MONUMENTS OR PERMANENT REFERENCES, REMOVED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.

3. PROJECT RECORD DOCUMENTS

- A. DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON HIS SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION, LENGTH AND ELEVATION OF ANY FACILITY NOT BUILT EXACTLY ACCORDING TO PLANS.
- B. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH AS-BUILT GRADES AND LOCATIONS OF FINISHED PAVEMENT, SIDEWALKS, CURBS, AND ALL PHYSICAL IMPROVEMENTS. SUCH GRADES SHALL BE OBTAINED BY A LICENSED SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF FLORIDA, AND SHALL DOCUMENT THE INTENT OF THE PROPOSED GRADES SHOWN ON THE PLANS. THIS SHALL BE DONE AT NO COST TO THE OWNER.
- 4. CONTRACTOR TO REPLACE ALL FOUND PIPES WITH NAIL AND DISKS.
- 5. REFER TO MDWASD STANDARDS FOR ADDITIONAL CLOSE-OUT REQUIREMENTS.

VII. STORM DRAINAGE

- 1. CATCH BASIN GRATES AND MANHOLE RIM ELEVATIONS AS SHOWN ON PLANS SHALL BE ADJUSTED TO CONFORM TO NEW OR EXISTING GRADES, AS REQUIRED.
- 2. ALL ON-SITE STORM DRAINAGE MATERIALS AND INSTALLATION SHALL CONFORM TO THE APPLICABLE MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT, AND CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENT AND FDOT
- 3. TYPICAL EXFILTRATION TRENCH SHALL BE AS PER STANDARD DETAIL SD 1.1 OF THE MIAMI-DADE COUNTY PUBLIC WORKS MANUAL, AND INSTALLED AT THE WIDTH, DEPTH AND ELEVATION SHOWN ON THE PLANS. SEE DETAIL SHEET FOR SPECIAL EXFILTRATION TRENCH WITH SAND FILTER. ANY CONFLICT WITH EXISTING OR PROPOSED UTILITIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER. ANY IMPERMEABLE MATERIAL ENCOUNTERED IN THE EXCAVATION FOR THE EXFILTRATION TRENCH SHALL BE REMOVED AS DIRECTED BY THE ENGINEER.
- 4. ALL DRAINAGE CATCH BASINS AND STRUCTURES SHALL BE PRECAST CONCRETE AS MANUFACTURED BY U.S. PRECAST CORPORATION, OR APPROVED EQUAL, OR AS SPECIFIED ON THE PLANS.
- 5. ALL DRAINAGE CATCH BASIN FRAMES AND GRATES, AND STORM DRAINAGE MANHOLE RIMS SHALL BE AS MANUFACTURED BY U.S. FOUNDRY, OR APPROVED EQUAL, OR AS SPECIFIED ON THE PLANS.
- 6. THE TRENCH FILTER FABRIC SHALL BE SELECTED FROM THE MANUFACTURERS AND FABRIC TYPES APPROVED BY THE MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT. IT SHALL BE USED TO WRAP ALL SIDES, BOTTOM AND TOP OF THE EXFILTRATION TRENCH. THE TOP SECTION OF THE MATERIAL SHALL BE LAPPED A MINIMUM OF 12 INCHES AND THE CONTRACTOR SHALL TAKE EXTREME CARE IN BACKFILLING TO AVOID BUNCHING OF THE FABRIC.
- 7. SOLID AND PERFORATED STORM DRAINAGE PIPE SHALL BE CORRUGATED METAL PIPE (CMP), HIGH DENSITY POLYETHYLENE PIPE (HDPE), OR AS SPECIFIED ON THE PLANS, SELECTED FROM THE MANUFACTURES AND TYPES APPROVED BY THE MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT. PERFORATED PIPE SHALL TERMINATE 5'-0" FROM THE DRAINAGE STRUCTURE. THE REMAINING 5'-0" SHALL BE NON-PERFORATED PIPE.
- 8. PROVIDE A MINIMUM PROTECTIVE COVER OF 24 INCHES OVER STORM SEWER AND AVOID UNNECESSARY CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION.
- 9. THE CONTRACTOR SHALL PROTECT COMPLETED DRAINAGE STRUCTURES AND EXFILTRATION TRENCH SYSTEMS FROM CONTAMINATION OF SILT AND CONSTRUCTION DEBRIS. PLACE PLYWOOD ON, OR FILTER FABRIC BETWEEN, THE FRAME AND INLET GRATE UNTIL CONSTRUCTION OPERATIONS ARE FINISHED.
- 10. OFF-SITE STORM DRAINAGE MATERIALS AND INSTALLATION SHALL CONFORM TO THE APPLICABLE CITY OF MIAMI BEACH PUBLIC WORKS ENGINEERING STANDARDS AND SPECIFICATIONS.

VIII. PAVING

- 1. GENERAL A. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIMEROCK BASE.
- B. ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
- C. WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT.
- D. PROPOSED ASPHALT PAVEMENT SHALL BE CONNECTED TO EXISTING AS PER FDOT AND MIAMI-DADE COUNTY STANDARDS. CONTRACTOR SHALL MATCH EXISTING ELEVATIONS ON NEW SIDEWALK OR NEW PAVEMENT.
- E. CONTRACTOR SHALL REMOVE AND DISPOSE OF THE EXISTING CONC. CURB, CURB & GUTTER, SIDEWALK AND ASPHALT WHERE NEW SIDEWALK, CURB & GUTTER AND MEDIAN IS PROPOSED TO BE CONSTRUCTED.
- F. NONE OF THE EXISTING LIMEROCK BASE THAT IS REMOVED IS TO BE INCORPORATED INTO THE PROPOSED LIMEROCK

2. MATERIALS AND INSTALLATION

- A. ALL ON-SITE WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH OF THE MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT MANUAL, CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENTS MANUAL AND FDOT SPECIFICATIONS.
- B. STABILIZED SUBGRADE FOR DRIVEWAYS AND PARKING AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DENSITY PER AASHTO SPECIFICATION T-180-74. THE MINIMUM COMPACTED THICKNESS OF THE STABILIZED SUBGRADE SHALL BE 10" WITH A LBR VALUE OF 40.
- C. THE MINIMUM COMPACTED THICKNESS OF THE LIMEROCK BASE SHALL BE 6" AND PLACED IN TWO EQUAL LIFTS. LIMEROCK BASE SHALL BE PRIMED AND COMPACTED TO 98% PER AASHTO T-180-74 WITH AN LBR VALUE OF 100.
- A. DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY, CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT, CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENT AND FDOT SPECIFICATIONS INSPECTOR OR THE GEOTECHNICAL ENGINEER.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE

BASED ON BASED NGVD 1929.

IX. DEWATERING

THE PRESENCE OF GROUNDWATER SHOULD BE

INCLUDE CONSIDERATION FOR ADDRESSING THIS

ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ANTICIPATED. CONTRACTOR'S BID SHALL

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. THE CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE. THE CONTRACTOR SHALL PREPARE AND SUBMIT THE NECESSARY PERMIT APPLICATIONS AND SUPPORTING DOCUMENTS IN ORDER TO OBTAIN A DEWATERING PERMIT FROM THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT AND THE MIAMI-DADE DEVELOPMENT OF REGULATORY AND ECONOMIC RESOURCES (DRER).

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GENERAL NOTES:

- ALL APPLICABLE PERMITS MUST BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL MATERIALS AND CONSTRUCTION UNDER THIS PROJECT SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF MIAMI BEACH, PUBLIC WORKS DEPARTMENT.
- THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THE APPROVED PLANS ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER OF ANY DISCREPANCY OR VARIATION FROM THE APPROVED DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION FOR THE PROTECTION OF EXISTING AND NEWLY INSTALLED UTILITIES AND IMPROVEMENTS FROM DAMAGE, DISRUPTION OF SERVICE, OR DESTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING NECESSARY MEASURES TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK SITE.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT APPROVED SET OF CONSTRUCTION PLANS ON SITE. THE PLANS ARE TO BE MADE AVAILABLE TO THE ENGINEERING INSPECTOR OF THE CITY OF MIAMI BEACH OR HIS DESIGNEE UPON REQUEST.
- THE CONTRACTOR SHALL PROVIDE ACCESS AND ASSISTANCE TO THE CITY ENGINEER OR HIS DESIGNEE TO MAKE INSPECTIONS, AS NECESSARY, DURING CONSTRUCTION.
- 7. NO DEVIATION FROM APPROVED PLANS SHALL BE PERMITTED WITHOUT THE WRITTEN CONSENT OF THE CITY ENGINEER OR HIS DESIGNEE.
- CONTRACTOR MUST CALL CITY OF MIAMI BEACH, PUBLIC WORKS DEPARTMENT TO OBTAIN A RIGHT OF WAY PERMIT AND ARRANGE A PRE-CONSTRUCTION MEETING 48 HOURS PRIOR TO START OF CONSTRUCTION.
- 9. ENGINEERING PERSONNEL WILL INSPECT ALL FACILITIES APPROVED BY THEIR OFFICE. ALL OTHER REQUIREMENTS OF THE PERMITTING AGENCIES SHALL BE IN ACCORDANCE WITH THEIR STANDARDS.
- TRENCH EXCAVATIONS IN EXCESS OF 5 FEET DEEP SHALL COMPLY WITH THE TRENCH SAFETY ACT AS PER O.S.H.A. STANDARD 29 CFR S.926.650 SUBPART P IN STATUTES. THE TRENCHES AND DITCHES SHALL BE PROTECTED IN ACCORDANCE WITH RULE 38c 43.02 FAC AND 6A-1,095(2).
- . ERECTION OR INSTALLATION OF APPROPRIATE SAFETY AND WARNING DEVICES SHALL BE REQUIRED DURING THE COURSE OF CONSTRUCTION. SAID DEVICES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION'S "MANUAL ON TRAFFIC CONTROL AND SAFETY PRACTICES" AND THE MIAMI-DADE COUNTY PUBLIC WORKS MANUAL.
- 2. PLANS AND SPECIFICATIONS REQUIRE THAT COMPACTED BACKFILL BE PLACED ALONGSIDE OF AND OVER ALL UTILITIES. THE CITY ENGINEER REQUIRES THAT COMPACTION TESTS BE TAKEN TO VERIFY BACKFILL COMPACTION. THE COST OF SUCH COMPACTION TESTS WILL BE BORNE BY THE CITY. THE RETESTING
- COST, DUE TO FAILURE OF THE COMPACTION TEST, WILL BE PAID BY THE CONTRACTOR.

 3. WORK PERFORMED UNDER THIS PROJECT WILL NOT BE CONSIDERED COMPLETE UNTIL THE FOLLOWING DOCUMENTS ARE RECEIVED BY THE CITY OF MIAMI BEACH, PUBLIC WORKS DEPARTMENT.

 A. CONTRACTOR'S, SUBCONTRACTOR'S AND SUPPLIER'S WAIVER AND RELEASE OF LIEN.
- B. CONTRACTOR'S LETTER OF WARRANTY (I.E. LETTER OF AGREEMENT).

 C. "AS BUILT" FOUR (4) ORIGINALS 22"X34" & 11"X17" SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR SHOWING SPECIFIC LOCATION, DEPTH, ETC. OF ALL CITY FACILITIES TOGETHER WITH A DIGITAL COPY IN AUTOCAD LAST VERSION 2011 OF THE "AS—BUILT" DRAWINGS USING STATE PLANE FLORIDA EAST FIPS 0901 FEET MAP 1983 (FEET).
- THESE PLANS ARE PREPARED FROM UTILITY INFORMATION OF PREVIOUS AND RECENT AVAILABLE RECORDS. THE DESIGNER IS NOT LIABLE FOR ANY UTILITY CONFLICTS AND UNKNOWNS THAT ARE DISCOVERED DURING CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY EXISTING UTILITIES. IN CASE THAT A CONFLICT ARISES, THE ENGINEER OF RECORDS OR HIS DESIGNEE SHALL BE INFORMED TO MAKE THE APPROPRIATE DESIGN CHANGES.



DERM NOTES ON WATER—SEWER INSTALLATION:

- A HORIZONTAL DISTANCE OF AT LEAST 6 FEET, AND PREFERABLY 10 FEET (OUTSIDE TO OUTSIDE), SHALL BE MAINTAINED BETWEEN GRAVITY OR PRESSURE SEWER PIPES AND WATER PIPES. THE MINIMUM HORIZONTAL SEPARATION CAN BE REDUCED TO 3 FEET FOR VACUUM—TYPE SEWERS OR FOR GRAVITY SEWERS WHERE THE BOTTOM OF THE SEWER PIPE IS AT LEAST 6 INCHES BELOW THE BOTTOM OF THE WATER PIPE.

 WHEN THE ABOVE SPECIFIED HORIZONTAL DISTANCE CRITERIA CANNOT BE MET DUE TO AN EXISTING UNDERGROUND FACILITY CONFLICT. SMALLER SEPARATIONS ARE ALLOWED IF:
 - a-THE SEWER PIPES ARE DESIGNED AND CONSTRUCTED EQUAL TO THE WATER PIPE AND PRESSURE TESTED AT 150 PSI.
 b-THE SEWER IS ENCASED IN A WATERTIGHT CARRIER PIPE OR CONCRETE.
 c-THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER
- A VERTICAL DISTANCE OF AT LEAST 12 INCHES (OUTSIDE TO OUTSIDE) SHALL BE MAINTAINED BETWEEN ANY WATER AND SEWER MAINS WITH SEWER PIPES PREFERABLY CROSSING UNDER WATER MAINS. THE MINIMUM VERTICAL SEPARATION CAN BE REDUCED TO 6 INCHES FOR VACUUM—TYPE SEWERS OR FOR GRAVITY SEWERS WHERE THE SEWER PIPE IS BELOW THE WATER MAIN. THE CROSSING SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST 6 FEET FROM ALL JOINTS IN GRAVITY AND PRESSURE SEWER PIPES. THE DISTANCE CAN BE REDUCED TO 3 FEET FOR VACUUM—TYPE SEWERS. WHEN THE ABOVE SPECIFIED VERTICAL DISTANCE CRITERIA CANNOT BE MET DUE TO AN EXISTING UNDERGROUND FACILITY CONFLICT, SMALLER SEPARATIONS ARE ALLOWED
 - a—THE SEWER PIPES ARE DESIGNED AND CONSTRUCTED EQUAL TO THE WATER PIPE AND
 PRESSURE TESTED AT 150 PSI.
 b—THE SEWER IS ENCASED IN A WATERTIGHT CARRIER PIPE OR CONCRETE.
- IN HIGHLY CONGESTED AREAS, WHERE EITHER WATER OR SEWER FACILITIES ARE EXISTING AND THE SEPARATION REQUIREMENTS CANNOT BE MET, SPECIAL CONSIDERATION MAY BE GIVEN SUBJECT TO SUBMITTAL OF DOCUMENTATION SHOWING THAT THE PROPOSED ALTERNATIVE WILL RESULT IN AN EQUIVALENT LEVEL OF RELIABILITY AND PUBLIC HEALTH PROTECTION.
- EQUIVALENT LEVEL OF RELIABILITY AND PUBLIC HEALTH PROTECTION.

 4. THE CONTRACTOR SHALL VERIFY NATURE, DEPTH, AND CHARACTER OF EXISTING UNDERGROUND
- UTILITIES PRIOR TO START OF CONSTRUCTION.

 5. ALL OTHER PUBLIC OR PRIVATE UTILITY FACILITIES SHALL BE CONSTRUCTED AT LEAST 5 FEET FROM ANY WATER AND SEWER MAIN AS MEASURED FROM THE OUTSIDE BELL OF THE WATER OF THE UTILITY PIPE.
- 6. WHEN THE 5 FEET SEPARATION BETWEEN PROPOSED AND EXISTING LINE IS NOT POSSIBLE, THE CONTRACTOR SHALL HAND DIG OR EXPOSE THE WATER AND SEWER PIPES BEFORE PROCEEDING WITH POWER EQUIPMENT EXCAVATION.
- WITH POWER EQUIPMENT EXCAVATION.

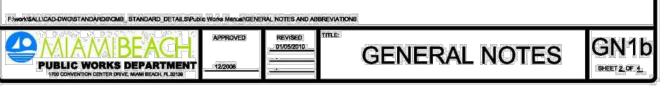
 7. IN NO CASE SHALL A CONTRACTOR INSTALL UTILITY PIPES, CONDUITS, CABLES, ETC. IN THE SAME TRENCH PARALLEL AND ABOVE AN EXISTING WATER OR SEWER PIPE EXCEPT WHERE THEY CROSS. ANY DEVIATION FROM NOTES 6, 7 AND 8 SHALL BE APPROVED IN WRITING BY THE RESPONSIBLE WATER AND SEWER UTILITY.
- 8. A NON-RESETTABLE ELAPSED TIME METER SHALL BE INSTALLED AT EACH PUMP TO RECORD THE TOTAL NUMBER OF OPERATING HOURS OF THE STATION.

F:WORK\$ALLICAD-DWGISTANDARDS\CMB_STANDARD_DETAILS\Public Works Manual\GENERAL NOTES AND ABBREVIATIONS				
PUBLIC WORKS DEPARTMENT 1700 CONVENTION CENTER DRIVE, MAMM BEACH, FL.33 139	APPROVED 12/2006	REVISED 01/05/2010 10/11/2011	DERM NOTES	GN1e

GENERAL NOTES:

LOCATED AT_

- 15. FOR SPECIFICATIONS, PLEASE REFER TO THE CITY OF MIAMI BEACH PUBLIC WORKS MANUAL.
- 16. DUE TO SOIL CONDITIONS, HIGH WATER TABLE AND PROTECTION OF ROADWAY, UTILITIES AND EXISTING LANDSCAPING, SHORING WILL BE REQUIRED FOR TRENCH AND STRUCTURE CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT THE PROPOSED METHOD OF CONSTRUCTION TO THE ENGINEER FOR APPROVAL AT THE PRECONSTRUCTION MEETING. THE COST OF SHORING WILL BE INCLUDED IN THE COSTS OF STRUCTURE AND PIPES. DEWATERING MAY BE REQUIRED AND SHALL BE INCLUDED IN THE COSTS OF STRUCTURES AND PIPES.
- 17. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING TURBIDITY BARRIER AT ALL OUTFALLS SUBJECT TO POTENTIAL DISCHARGE DURING CONSTRUCTION, SEE FDOT INDEX No 104, CONTRACTOR SHALL BE RESPONSIBLE FOR FULL KNOWLEDGE OF ALL APPLICABLE REGULATORY REQUIREMENTS AND CORRECT ANY SILTATION OR OTHER DAMAGE TO THE DRAINAGE SYSTEM.
- 18. CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC DURING CONSTRUCTION IN ACCORDANCE WITH ALL STATE, COUNTY AND LOCAL REQUIREMENTS.
- 19. WHEN POWER POLES ARE ADJACENT TO ANY PROPOSED UTILITY, THE CONTRACTOR SHALL PROVIDE PROPER SHORING OR OTHER SUITABLE SUPPORT DURING CONSTRUCTION, THE SHORING AND SUPPORT METHODS SHALL BE APPROVED BY THE UTILITY COMPANY ENGINEERING DEPARTMENT.
- 20. ALL DEFECTIVE WORK NOT ACCEPTED BY THE CITY ENGINEER OR HIS DESIGNEE, OR BY ANY GOVERNMENT PERMITTING AGENCY SHALL BE IMMEDIATELY REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- 1. CONTRACTOR SHALL CONTACT PWD TO INSPECT METERS AND BOXES AHEAD OF CONSTRUCTION TO DETERMINE WHETHER REPLACEMENT IS NECESSARY.
- 23. PROVIDE RESTRAINING BY THE USE OF FIELD LOCK GASKET ON TYTON JOINT PIPE AND AS MANUFACTURED BY U.S. PIPE OR EQUAL.
- 24. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING UNINTERRUPTED WATER SERVICE DURING THE CONSTRUCTION OF THE TIE-IN CONNECTION OF ALL PROPOSED WATER SYSTEMS TO ANY EXISTING WATER SERVICE LINES. ABANDONMENT SHALL NOT OCCUR UNTIL THE PROPOSED WORK HAS BEEN APPROVED AND ACCEPTED FOR OPERATION BY THE ENGINEER OF RECORD AND THE CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENT, WATER DIVISION, CONTRACTOR SHALL REQUEST FROM CMB 48 HOURS PRIOR FOR WATER MAIN SHUTDOWN.
- 25. ALL WATER METER BOXES DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH CITY ISSUED WATER METER BOXES AND PAID FOR BY CONTRACTOR.
- 26. ALL PROPOSED WATER METERS SHOULD BE A MINIMUM OF A 2-INCH SERVICE.
- 27. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE ACTUAL NUMBER OF EXISTING WATER SERVICES TO BE CONNECTED TO THE PROPOSED WATER MAIN.
- 28. ALL DUCTILE IRON PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ANSI/AWWA C 600 LATEST REVISIONS WITH A DETECTOR TAPE, DETECTOR TAPE SHALL BE 3. WIDE BLUE TAPE FOR WATER MAIN WITH A METALLIC FOIL CORE LAMINATED BETWEEN TWO LAYERS OF PLASTIC FILM, THE WORKS "CAUTION WATER LINE BURIED BELOW" ON THE UPPER SIDE OF THE PIPE SHALL BE PRINTED AT 30 INTERVALS ALONG THE TAPE, TAPE SHALL BE PLACED 18 BELOW GRADE ABOVE ALL WATER MAINS AND SERVICES OR AS RECOMMENDED BY MANUFACTURER NON-METALLIC TAPE SHALL BE USED ABOVE DUCTILE IRON PIPE.



ENGINEER'S NOTES:

- 1. EXISTING UNDERGROUND UTILITIES: INFORMATION SHOWN ON THE DRAWINGS AS TO THEIR LOCATION AND CHARACTER HAS BEEN PREPARED FROM THE MOST RELIABLE DATA AVAILABLE TO THE ENGINEER; THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED. THE CONTRACTOR SHALL CONTACT SUNSHINE STATE ONE CALL OF FLORIDA, INC.(1-800-432-4770) TWO (2) BUSINESS DAYS PRIOR TO ANY EXCAVATION TO DETERMINE SAID LOCATIONS AND THE LOCATIONS OF RECENT ADDITIONS TO THE SYSTEMS NOT SHOWN. EXTREME CAUTION SHALL BE EXERCISED BY THE CONTRACTOR TO ELIMINATE ANY POSSIBILITY OF DAMAGE TO UTILITIES DURING CONSTRUCTION. THE LOCATION AND CHARACTER OF ALL UTILITIES SHALL BE VERIFIED AND THE OWNER'S REPRESENTATIVE NOTIFIED OF ANY CONFLICT THAT MIGHT OCCUR.
- ALL EXISTING GRASSED AREAS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE SODDED COMPLETELY AS DIRECTED BY THE CONSTRUCTION MANAGER AT NO ADDITIONAL COST TO THE OWNER.
- PROTECT MATERIALS AND EQUIPMENT ON SITE FROM WEATHER, DUST, AND DEBRIS AT ALL TIMES, AND AVOID THE CREATION OF NUISANCE OR HAZARD IN THE SURROUNDING AREA.
- UNSCHEDULED ITEMS SHALL BE RESTORED TO THEIR ORIGINAL DESIGN AND FUNCTION AT CONTRACTOR'S EXPENSE.
- 5. WHERE PAVEMENT DEMOLITION IS REQUIRED, THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION TO PROTECT AND PREVENT DAMAGE TO ADJACENT STRUCTURES AND PAVEMENTS TO REMAIN. LIMITS OF PAVEMENT DEMOLITION SHALL BE PERFORMED IN A NEAT, STRAIGHT LINE BY SAW CUTTING.
- 6. EXISTING BENCHMARKS LOCATED WITHIN THE LIMITS OF CONSTRUCTION SHALL NOT BE DISTURBED. IN THE EVENT THAT THE BENCHMARKS ARE DISTURBED OR DESTROYED, THEY SHALL BE REPLACED UPON COMPLETION OF THE PROJECT.
- 7. ADJUSTMENT AND CLEANING: CLEAN DEBRIS FROM AREAS OF DEMOLITION LEAVING AREA SUITABLE
- 8. FALL MATERIALS RESULTING FROM DEMOLITION WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR. REMOVE FROM SITE AND DISPOSE OF THESE MATERIALS IN A MANNER AND LOCATION APPROVED BY MIAMI-DADE COUNTY REGULATIONS.

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0 CONVENTION CENTER DRIVE, MIAMI BEACH, FL:33139	122000	02/14/2013		

SENERAL NOTES:

- 30. CONTRACTOR WILL BE RESPONSIBLE TO COORDINATE WITH HRS (DEPT. OF HEALTH) THE WATER SAMPLING AND BACTERIOLOGICAL TESTS AND FINAL CERTIFICATION FROM HRS.
- 31. TAPPING SLEEVE VALVE TO BE PRESSURE TESTED AT 125 PSI FOR TWO (2) HOURS BEFORE TAPPING.
- TAFFING SLEEVE VALVE TO BE PRESSURE TESTED AT 123 PSI FOR TWO (2) HOURS BEFORE TAFFING
 THRUST BLOCK NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE CITY ENGINEER. USE MEGALUGS OR CLASS 316 STAINLESS STEEL RESTRAINING RODS.
- 33. CONTRACTOR SHALL EXERCISE CARE WHEN WORKING NEAR EXISTING CLAY PIPING.
- 34. EXISTING FIRE HYDRANTS SHALL REMAIN IN SERVICE UNTIL THE NEW MAIN IS PLACED IN SERVICE. ONCE THE NEW MAIN IS IN SERVICE, THE OLD HYDRANT SHALL BE COVERED AND TAGGED WITH A SIGN INDICATING "OUT OF SERVICE" UNTIL IT IS REMOVED BY THE CONTRACTOR.
- NPDES BMP FOR SEDIMENTATION AND EROSION WORK MUST BE STRICTLY FOLLOWED DURING AND AFTER CONSTRUCTION.
- 36. PIPES SHALL BE INSTALLED IN THE DRY.
- 77. ALL D.I. PIPE SHALL BE THICKNESS CLASS 52 AND SHALL BE POLYWRAPPED AS PER WS7.
- 38. ALL RELATED HARDWARE FOR RESTRAINING RODS TO BE STAINLESS STEEL CLASS 316.
- 39. A CONCRETE SLAB SHALL BE INSTALLED OVER ANY PIPE INSTALLED WITH LESS THAN 30" OF COVER AS PER STANDARD DETAIL SES1.
- 40. ELEVATIONS ON PLANS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 41. THE CONTRACTOR SHALL BE GOVERNED BY THE LATEST APPLICABLE PORTIONS OF THE F.D.O.T. DESIGN STANDARDS, AND THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND SUPPLEMENTS THERE TO IF NOTED IN THE SPECIAL PROVISIONS FOR
- 42. THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES IN THE PROJECT AREA BEFORE THE START OF CONSTRUCTION. SEE THE UTILITY CONTACT INFORMATION TABLE FOR CONTACT NUMBERS.
- 3. ANY DAMAGED PUBLIC OR PRIVATE PROPERTY BY THE CONTRACTOR SHALL BE RESTORED TO
- PREEXISTING CONDITIONS OR BETTER AT NO EXPENSE TO THE OWNER.

 44. ALL CONSTRUCTION DEBRIS SHALL BE PROPERLY DISPOSED OF OFFSITE AT THE CONTRACTOR'S
- 45. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COMPLY WITH FLORIDA STATUTE 553.851 FOR THE PROTECTION OF UNDERGROUND GAS LINES.
- 46. ERECTION OR INSTALLATION OF APPROPRIATE SAFETY AND WARNING DEVICES SHALL BE REQUIRED DURING THE COURSE OF CONSTRUCTION. SAID DEVICES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION'S "MANUAL OF TRAFFIC CONTROL AND SAFETY PRACTICES" AND THE MIAMI-DADE COUNTY PUBLIC WORKS MANUAL.
- 47. ALL EXISTING UTILITIES, MAN HOLE COVERS, ELECTRICAL BOXES, VALVE BOXES, METER BOXES, DRAINAGE STRUCTURES, ETC. WITHIN PROPOSED AREAS OF IMPROVEMENTS SHALL BE ADJUSTED TO GRADE ELEVATION, UNLESS OTHERWISE NOTED.
- 48. CONTRACTOR SHALL REPLACE ALL UTILITY BOXES/COVERS DAMAGED DURING CONSTRUCTION.
 CONTRACTOR SHALL NOTE THE CONDITION OF WATER METER BOXES BEFORE STARTING WORK. IF
 EXISTING WATER METER BOXES ARE DAMAGED, CONTACT THE CITY OF MIAMI BEACH FOR
 REPLACEMENT.
- 49. CONTRACTOR SHALL USE A STREET SWEEPER (USING WATER) OR OTHER EQUIPMENT CAPABLE OF CONTROLLING AND REMOVING DUST. APPROVAL OF THE USE OF SUCH EQUIPMENT IS CONTINGENT UPON ITS DEMONSTRATED ABILITY TO DO THE WORK.

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MIAMBEACH PUBLIC WORKS DEPARTMENT 1700 CONVENTION CENTER DRIVE, IMMAI BEACH, FL.33190	APPROVED 12/2006	REVISED 01/05/2010 10/11/2011 8/07/2014	GENERAL NOTES	GN1c

GENERAL NOTES:

- 50. THE COLOR OF THE DETECTABLE WARNINGS ON CONCRETE OF COLORS OTHER THAN MIAMI BEACH RED, COORDINATE WITH THE PUBLIC WORKS DEPARTMENT FOR APPROPRIATE COLOR AND CONTRAST.
- ALL SIGNING AND PAVEMENT MARKINGS INSTALLED AS PART OF THESE PLANS SHALL CONFORM TO THE LATEST EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN

STANDARDS. ALL SIGN PANELS SHALL BE FABRICATED TO COMPLY WITH THE LATEST EDITION OF THE

52. MATCH EXISTING PAVEMENT MARKINGS AT THE BEGINNING AND THE END OF THE PROJECT WITHOUT

FEDERAL HIGHWAY AND ADMINISTRATION STANDARD HIGHWAY SIGNS.

53. INCORRECTLY PLACED (THERMOPLASTIC OR) PAINT MARKINGS OVER ASPHALT PAVEMENT WILL BE REMOVED BY MILLING AND REPLACING THE ASPHALT PAVEMENT A MINIMUM WIDTH 18 IN. AT THE CONTRACTOR'S EXPENSE. THE ENGINEER MAY APPROVE AN ALTERNATE METHOD IF IT CAN BE DEMONSTRATED TO COMPLETELY REMOVE THE MARKINGS WITHOUT DAMAGING THE ASPHALT.

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APPROVED REVISED 01/05/2010 UNITED 1/0/11/2011 GENERAL NOTES

GN1d

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON BASED NGVD 1929.



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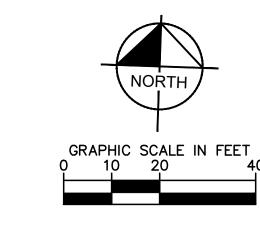
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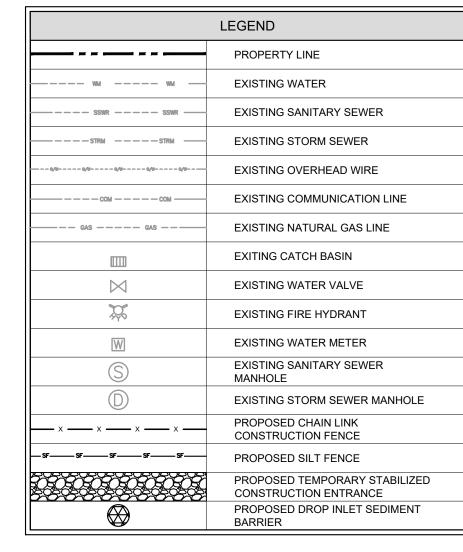
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-NERAL NOTES
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O ALTON ROAD
PREPARED FOR
ALTON OFFICE
OLDINGS II, LLC.

OW 11 G SHEET NUMBER





2' CURB & -

GUTTER

PROP. DROP INLET -SEDIMENT BARRIER (TYP.)

PROP. DROP INLET -

SEDIMENT BARRIER (TYP.)

LOT 6

LOT 7

STABILIZED CONSTRUCTION -ENTRANCE (TYP.)

PROPERTY LINE

Curb Encr. 0.

10' FP&L EASEMENT O.F

28529, PG. 2169

olio: 02-3233-022-0050
Owner:

ORIDA POWER & LIGHT CO
TTN PROPERTY TAX DEPT

#LB87 ▮

UNDER

LOT 8

LOT 9

4' SAFETY RAILING 7

ON CONC FOOTING

PROPERTY LINE -

- APPROX. TEMPORARY SILT

— APPROX. TEMPORARY CHAIN

LINK FENCE LOCATION (TYP.) CBS COMMERCIAL BLDG.

FENCE LOCATION (TYP.)

ELECT. SWITCH

ELECT. SWITCH

— ABANDONED 8" SEWER MAIN PER AS-BUILTS

r 4' SAFETY RAILING

ON CONC FOOTIN

20TH STREET

TWO STORY

16,067 S.F.

APPROX. TEMPORARY SILT FENCE LOCATION (TYP.)

— APPROX. TEMPORARY CHAIN

LINK FENCE LOCATION (TYP.)

TRANSFORMER PAD

- TRUCK WASHDOWN

DETENTION AREA

PROP. CONSTRUCTION
GATE (TYP.) 7 PARKING SPACES

PER AS-BUILTS

- APPROX. TEMPORARY SILT

— APPROX. TEMPORARY CHAIN

LINK FENCE LOCATION (TYP.)

/- EXIST. RAMP

W/DETECTABLE | ●

- PROP. DROP INLET

SEDIMENT BARRIER (TYP.)

- APPROX. TEMPORARY SILT FENCE LOCATION (TYP.)

— APPROX. TEMPORARY CHAIN LINK FENCE LOCATION (TYP.)

PROPERTY LINE

12" SEWER MAIN PER

CITY OF MIAMI BEACH SANITARY ATLAS 6 OF 12

— PROP. DROP INLET

SEDIMENT BARRIER (TYP.)

WARNING PADS

FENCE LOCATION (TYP.)

- GAS MAIN

ASSEMBLY

LOT 5

ISLAND VIEW ADDITION

BLOCK 12A

(P.B. 9, PG. 144)

Folio: 02-3233-022-0030

F.F.=3.22'

Folio: 02-3233-022-0020 Owner: ALTON OFFICE HOLDINGS LLC

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON BASED NGVD 1929.



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ALTON OFFICE HOLDINGS II, LLC.

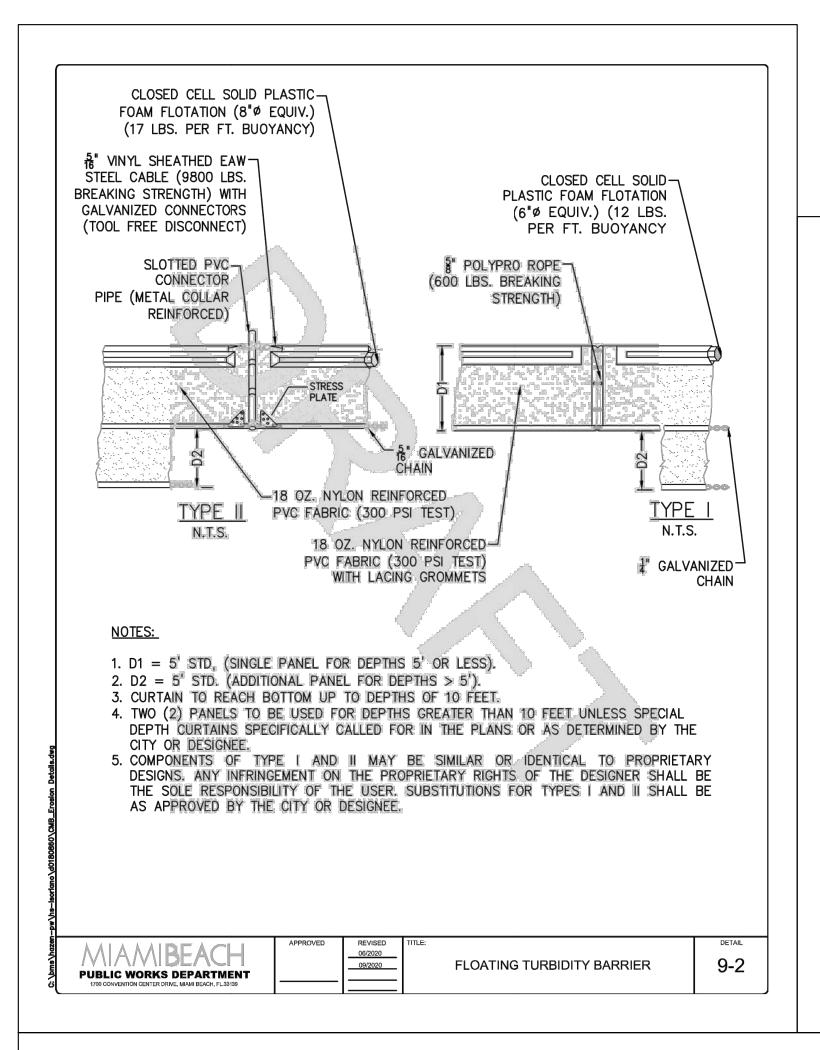
ALTON ROAD

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CONTROL-AN

EROSION (



Section 9. Erosion and Sediment Control September 2021 PART 1 - GENERAL 1.01 REFERENCE SPECIFICATIONS, CODES, AND STANDARDS A. Without limiting the generality of the other requirements, all work herein shall conform to the applicable requirements of the following documents. All referenced specifications, codes, and standards refer to the most current issue available. 1. American Association of State Highway Transportation Officials (AASHTO) AASHTO M288 Geotextiles 2. American Society for Testing Materials (ASTM) ASTM D3776 Standard Test Methods for Mass Per Unit Area (Weight) of Fabric ASTM D3786 Standard Test Method for Bursting Strength of Textile Fabrics— Diaphragm Bursting Strength Tester Method ASTM D4355 Standard Test Method for Deterioration of Geotextiles by Exposure to Light, Moisture and Heat in a Xenon Arc-Type ASTM D4491 Standard Test Methods for Water Permeability of Geotextiles by

ASTM D4632 Standard Test Method for Grab Breaking Load and Elongation of ASTM D4751 Standard Test Methods for Determining Apparent Opening Size of a Geotextile Standard Test Method for Index Puncture Resistance of **ASTM D4833** Geomembranes and Related Products

3. Florida Administrative Code (FAC)

4. Florida Building Code

5. Florida Department of Environmental Regulation

The Florida Land Development Manual: A Guide to Sound Land and Water Management, Chapter 6

6. Florida Department of Environmental Protection (FDEP)

Florida Storm Water Erosion and Sedimentation Control Inspector's Manual

7. Florida Department of Transportation (FDOT)

City of Miami Beach Public Works Department Public Works Manual We are committed to providing excellent public service and safety to all who live, work and play in our vibrant, tropical, Section 9. Erosion and Sediment Control September 2021

Design Standards

Standard Plans for Road and Bridge Construction

8. Florida Department of Transportation (FDOT) and FDEP Erosion and Sediment Control Designer and Reviewer Manual

9. Miami-Dade Division of Environmental Resources Management, Department of Regulatory and Economic Resources (RER-DERM) Regulations

10. Occupational Safety and Health (OSHA) Regulations

1.02 SAFETY AND PROTECTION DEVICES

A. It shall be the sole responsibility of the Contractor to protect persons from injury and to avoid property damage. Adequate barricades, construction signs, torches, red lanterns, and guards as required shall be placed and maintained during the progress of the construction work for the protection of the public in compliance with all Local, State, Federal, and OSHA laws and regulations.

B. The Contractor shall have unit responsibility for and be required to make good, at its own expense, all damage to property or adjacent properties caused in the execution of the

C. The Contractor shall take all necessary precautions for the safety of its employees on the job and shall comply with all applicable provisions of Local, State, and Federal safety laws and regulations to prevent accidents or injury to persons on, about, or adjacent to the premises where the Work is being performed.

D. Contractor is solely responsible for site security. Contractor shall properly secure all materials and equipment from damage and/ or theft. In the event that the Contractor's tools or materials delivered to or stored on-site are stolen or damaged, the Contractor shall be responsible for such theft.

E. The Contractor shall comply promptly with such safety regulations as may be prescribed by the City or designee or the local authorities having jurisdiction and shall, when so directed, properly correct any unsafe conditions created by or unsafe practices on the part of its employees. In the event of the Contractor's failure to comply, the City or designee may take the necessary measures to correct the conditions or practices complained of, and all costs thereof will be deducted from any monies due the Contractor. Failure of the City or designee to direct the correction of unsafe conditions or practices shall not relieve the Contractor of its responsibility hereunder.

F. The Contractor shall be in compliance with all applicable provisions of the Florida Building Code and OSHA Regulations in general and specifically the provisions

City of Miami Beach Public Works Department Page 9-4 Public Works Manual We are committed to providing excellent public service and safety to all who live, work and play in our vibrant, tropical,

Section 9. Erosion and Sediment Control

concerning confined space entry and the Trench Safety Act, including notification of the Sunshine State One-Call Center (1-800-432-4770), 48 hours prior to any excavation.

1.03 REQUIREMENTS

A. All work, including work less than one (1) acre in size, that has the potential to impact the City's Municipal Separate Stormwater System (MS4), and/or adjacent properties, is required to employ sediment and erosion control measures that are in accordance with the FDEP Florida Storm Water Erosion and Sedimentation Control Inspector's Manual, latest revision, and in accordance with RER-DERM requirements.

B. All construction activity that results in the disturbance of equal to or greater than one (1) acre is required to obtain coverage under the FDEP Generic Permit for Storm Water Discharge from Large and Small Construction Activities (Construction Generic Permit [CGP]).

C. If required by law, the Contractor shall obtain permits required by the National Pollutant Discharge Elimination System (NPDES) Stormwater Permitting program for construction activity, as required by Florida Administrative Code (FAC) Chapter 62-621 and administered by FDEP.

D. NPDES best management practices for sediment and erosion work must be strictly followed during and after construction.

E. The Contractor is responsible for following the best erosion and sediment control practices as outlined in the plans, specification, applicable permit(s), and the prevention, correction, control, and abatement of erosion and water pollution in accordance with FAC Chapter 62-302.

F. The Contractor shall design, provide, maintain, and remove temporary erosion and sediment controls as necessary.

G. Temporary erosion controls may include, but are not limited to, mulching, netting, and watering on site surfaces and spoil and borrow area surfaces, providing interceptor ditches at ends of berms and at those locations which will ensure erosion during construction will be either eliminated or maintained within acceptable limits as established by the City and all regulatory agencies having jurisdiction.

H. Temporary sedimentation controls include, but are not limited to, silt dams, traps, barriers, and appurtenances at the foot of sloped surfaces which will ensure sedimentation pollution will be either eliminated or maintained within acceptable limits as established by the City and all regulatory agencies having jurisdiction.

I. The Contractor shall provide effective temporary erosion and sediment control measures during construction or until final controls become effective.

City of Miami Beach Public Works Department Page 9-5 Public Works Manual We are committed to providing excellent public service and safety to all who live, work and play in our vibrant, tropical,

Section 9. Erosion and Sediment Control

J. All excavations and earthwork shall be done in a manner to minimize water turbidity and sumps, or other approved sediment filtering devices. The Contractor shall be responsible

K. The Contractor is responsible for the removal of any sediment that leaves the site and changes any downstream conditions by raising channel bottoms and/or clogging outfall

M. The Contractor shall pay for any water quality control violations from any agency that results in fines being assessed to the City because of the Contractor's failure to eliminate turbid runoff from leaving the site and raising background levels of turbidity

A. The Contractor shall prepare and submit to permitting agencies with jurisdiction a Stormwater Pollution Prevention Plan (SWPPP) when required by FDEP.

hours including all concrete and asphalt pavements, curb and gutter, fencing, landscaping to remain, structures to be demolished, and existing structures that are to be modified. All videos and photographs shall be date and time stamped and a digital copy submitted on a flash drive/memory stick or media acceptable to the City of Miami Beach Public Works Department prior to beginning construction activities. The video/photographs shall clearly identify existing site and structural conditions prior to construction.

1.05 QUALITY ASSURANCE

A. Work shall be performed in accordance with Contract Documents, Drawings, and/or City of Miami Beach Public Works Manual Specifications and Standard Details, in a neat and accurate manner. It is the intent of the City to obtain a complete and working installation according to these Specifications, and any items of labor, equipment, or materials which may reasonably be assumed as necessary to accomplish this end shall be supplied whether or not they are specifically shown on the project plans or stated herein.

City of Miami Beach Public Works Department Page 9-6 Public Works Manual We are committed to providing excellent public service and safety to all who live, work and play in our vibrant, tropical,

pollution. Discharge shall be controlled and rerouted through hay filters, siltation bags, for the prevention, correction, control, and abatement of erosion and water pollution in accordance with FAC, Chapter 62-302.

L. This Section indicates the minimum erosion and sediment control measures required. The Contractor is responsible for meeting all applicable rules, regulations, and water quality guidelines and may need to install additional controls.

above existing background levels.

1.04 SUBMITTALS

B. The Contractor shall submit a copy of the approved SWPPP for temporary erosion and sediment control to the City or designee.

C. The Contractor shall video/photograph the entire project site during normal working

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED, CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

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BEST MANAGEMENT PRACTICES (BMPS):

THIS PLAN HAS BEEN PREPARED TO ENSURE COMPLIANCE WITH APPROPRIATE CONDITIONS OF THE MIAMI-DADE COUNTY LAND DEVELOPMENT REGULATIONS. THE RULES OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP). CHAPTER 17-25, F.A.C., THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD), CHAPTER 40D-4, F.A.C. AND THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA) DOCUMENT NO. EPA 832/R-92-005 (SEPTEMBER 1992). THE PLAN ADDRESSES THE FOLLOWING:

- PREVENT LOSS OF SOIL DURING CONSTRUCTION BY STORMWATER RUNOFF AND/OR WIND EROSION, INCLUDING PROTECTING TOPSOIL BY STOCKPILING FOR REUSE.
- 2. SEDIMENTATION PROTECTION OF STORM SEWER OR RECEIVING STREAM.
- PREVENT POLLUTING THE AIR WITH DUST AND PARTICULATE MATTER. THE VARIOUS TECHNIQUES OR ACTIONS IDENTIFIED UNDER EACH SECTION INDICATE THE APPROPRIATE SITUATION WHEN THE TECHNIQUES SHOULD BE EMPLOYED. ALSO IDENTIFIED IS A CROSS-REFERENCE TO A DIAGRAM OR FIGURE REPRESENTING THE TECHNIQUE. IT SHOULD BE NOTED THAT THE MEASURES IDENTIFIED ON THIS PLAN ARE ONLY SUGGESTED BMP(S). THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN ACCORDANCE WITH THE CURRENT FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS. CONTRACTOR SHALL PREPARE REQUIRED NPDES DOCUMENTATION AND OBTAIN PERMIT PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PREPARE THE REQUIRED NPDES DOCUMENT AND OBTAIN THE NPDES PERMIT. ALL COST ASSOCIATED WITH SUCH WORK SHALL BE DEEMED INCIDENTAL TO THE PROJECT LUMP SUM COST.

GENERAL EROSION CONTROL NOTES:

- THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THESE EROSION CONTROL DRAWINGS, THE STANDARD DETAILS, THE NPDES PERMIT (TO BE OBTAINED BY CONTRACTOR) AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THIS DRAWING AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMP) IN ALL CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- A. FUEL SPILLS AND LEAKS PREVENTION
- B. PREVENT/REDUCE VEHICLE AND EQUIPMENT WASHING AND STEAM CLEANING
- VEHICLE AND EQUIPMENT MAINTENANCE AND REPAIR PROPER OUTDOOR LOADING/UNLOADING OF MATERIALS
- PREVENT/REDUCE OUTDOOR STORAGE OF RAW MATERIALS, PRODUCTS, AND BY-PRODUCTS
- SOLID WASTE MANAGEMENT . HAZARDOUS WASTE MANAGEMENT
- H. CONCRETE WASTE MANAGEMENT
- SANDBLASTING WASTE MANAGEMENT STRUCTURE CONSTRUCTION AND PAINTING
- K. SPILL PREVENTION AND CONTROL L. CONTAMINATED SOIL MANAGEMENT
- M. SANITARY/SEPTIC WASTE MANAGEMENT N. SOIL EROSION CONTROL
- O. STORM WATER TURBIDITY MANAGEMENT
- ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- A. BEST MANAGEMENT PRACTICES (BMPS) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- B. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. CONTRACTOR MUST MAINTAIN ALL PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS ON SITE AT ALL TIMES.
- C. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL
- D. CONTRACTOR SHALL BEGIN CLEARING AND GRUBBING THOSE PORTIONS OF THE SITE NECESSARY TO IMPLEMENT PERIMETER CONTROL MEASURES. CLEARING AND GRUBBING FOR THE REMAINING PORTIONS OF THE PROPOSED SITE SHALL COMMENCE ONCE PERIMETER CONTROLS ARE IN PLACE. PERIMETER CONTROLS SHALL BE ACTIVELY MAINTAINED UNTIL SAID AREAS HAVE BEEN STABILIZED AND SHALL BE REMOVED ONCE FINAL STABILIZATION IS
- E. GENERAL EROSION CONTROL BMPS SHALL BE EMPLOYED TO MINIMIZE SOIL EROSION AND POTENTIAL LAKE SLOPE CAVE-INS. WHILE THE VARIOUS TECHNIQUES REQUIRED WILL BE SITE AND PLAN SPECIFIC, THEY SHOULD BE EMPLOYED AS SOON AS POSSIBLE DURING CONSTRUCTION.
- F. ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT
- G. SURFACE WATER QUALITY SHALL BE MAINTAINED BY EMPLOYING THE FOLLOWING BMP'S IN THE CONSTRUCTION PLANNING AND CONSTRUCTION OF ALL IMPROVEMENTS.

STORMWATER EROSION CONTROL NOTES:

- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT FROM DETENTION PONDS AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE
- 2. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- 3. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (COMPOST SOCK DEVICES, ETC.) TO PREVENT
- 4. WHERE PRACTICAL, STORMWATER SHALL BE CONVEYED BY SWALES.
- EROSION CONTROL MEASURES SHALL BE EMPLOYED TO MINIMIZE TURBIDITY OF SURFACE WATERS LOCATED DOWNSTREAM OF ANY CONSTRUCTION ACTIVITY. WHILE THE VARIOUS MEASURES REQUIRED WILL BE SITE SPECIFIC, THEY SHALL BE EMPLOYED AS NEEDED IN ACCORDANCE WITH THE FOLLOWING:
- A. IN GENERAL, EROSION SHALL BE CONTROLLED AT THE FURTHEST PRACTICAL UPSTREAM LOCATION.
- B. STORMWATER INLETS SHALL BE PROTECTED DURING CONSTRUCTION. PROTECTION MEASURES SHALL BE EMPLOYED AS SOON AS PRACTICAL DURING THE VARIOUS STAGES OF INLET CONSTRUCTION. SILT BARRIERS SHALL REMAIN IN PLACE UNTIL SODDING AROUND INLETS IS COMPLETE.
- C. WHEN NEEDED A TEMPORARY SEDIMENT TRAP SHOULD BE CONSTRUCTION TO DETAIN SEDIMENT-LADEN RUNOFF FROM DISTURBED AREAS.
- SILT BARRIERS, ANY SILT WHICH ACCUMULATES BEHIND THE BARRIERS, AND ANY FILL USED TO ANCHOR THE BARRIERS SHALL BE REMOVED PROMPTLY AFTER THE END OF THE MAINTENANCE PERIOD SPECIFIED FOR THE
- 7. SOD SHALL BE PLACED FOR A 2-FOOT WIDE STRIP ADJOINING ALL CURBING AND AROUND ALL INLETS. SOD SHALL BE PLACED BEFORE SILT BARRIERS ARE REMOVED.
- WHERE REQUIRED TO PREVENT EROSION FROM SHEET FLOW ACROSS BARE GROUND FROM ENTERING A LAKE OR SWALE, A TEMPORARY SEDIMENT SUMP SHALL BE CONSTRUCTED.
- 9. FILTER FABRIC SHOULD BE USED FOR STORM DRAIN INLET PROTECTION BEFORE FINAL STABILIZATION.

STABILIZATION NOTES:

SHALL BE IN ACCORDANCE WITH DEP DOCUMENT NO. 62-621.300(4)(a)

STRUCTURAL NOTES:

SHALL BE IN ACCORDANCE WITH DEP DOCUMENT NO. 62-621.300(4)(a)

WASTE DISPOSAL NOTES:

- 1. WASTE MATERIALS ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN A METAL DUMPSTER WITH A SECURE LID IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN THE DUMPSTER. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITIES TO HAVE THE DUMPSTER EMPTIED AT LEAST TWICE A WEEK AND THE WASTE TAKEN TO AN APPROPRIATE LANDFILL NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE. THE SUPERINTENDENT SHALL ORGANIZE TRAINING FOR THE EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH WASTE MATERIALS. THE SUPERINTENDENT SHALL BE RESPONSIBLE FOR POSTING AND ENFORCING WASTE MATERIAL PROCEDURES.
- 2. HAZARDOUS WASTE HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS OR AS DIRECTED BY THE MANUFACTURER. THE SUPERINTENDENT SHALL ORGANIZE THE PROPER TRAINING FOR EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH HAZARDOUS WASTE MATERIALS. THESE PROCEDURES SHALL BE POSTED ON THE SITE. THE PERSON WHO MANAGES THE SITE SHALL BE RESPONSIBLE FOR ENFORCING THE PROCEDURES.
- 3. SANITARY WASTE SANITARY WASTE SHALL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITY FOR COLLECTION OF THE SANITARY WASTE AT LEAST THREE TIMES A WEEK TO PREVENT SPILLAGE ONTO THE SITE.
- 4. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.

MAINTENANCE NOTES:

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- 1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
- 2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
- 3. THE COMPOST SOCK FILTRATION DEVICE SHALL BE INSPECTED PERIODICALLY FOR HEIGHT OF SEDIMENT AND CONDITION OF DEVICE. COMPOST SOCK SHALL BE REPAIRED TO ITS ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT
- SHALL BE REMOVED FROM THE COMPOST SOCK WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE COMPOST SOCK. 4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES
- 5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- 6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. THE SEDIMENT BASINS/DITCHES SHALL BE CHECKED MONTHLY FOR DEPTH OF SEDIMENT. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 10% AND AFTER CONSTRUCTION IS COMPLETE.
- 7. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN SEVEN CALENDAR DAYS FOLLOWING THE INSPECTION.DIVERSION DIKES SHALL BE INSPECTED MONTHLY. ANY BREACHES SHALL BE PROMPTLY REPAIRED.
- 8. A MAINTENANCE REPORT SHALL BE COMPLETED DAILY AFTER EACH INSPECTION OF THE SEDIMENT AND EROSION CONTROL METHODS. THE REPORTS SHALL BE FILED IN AN ORGANIZED MANNER AND RETAINED ON-SITE DURING CONSTRUCTION. AFTER CONSTRUCTION IS COMPLETED, THE REPORTS SHALL BE SAVED FOR AT LEAST THREE YEARS. THE REPORTS SHALL BE AVAILABLE FOR ANY AGENCY THAT HAS JURISDICTION OVER EROSION CONTROL.
- 9. ALL REPAIRS MUST BE MADE WITHIN 24 HOURS OF REPORT.
- 10. THE SUPERINTENDENT SHALL ORGANIZE THE TRAINING FOR INSPECTION PROCEDURES AND PROPER EROSION CONTROL METHODS FOR EMPLOYEES THAT COMPLETE INSPECTIONS AND REPORTS.
- 11. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.

OFFSITE TRACKING:

- 1. STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO REDUCE SEDIMENT TRACKING OFFSITE. THE MAJOR ROAD CONNECTED TO THE PROJECT SHALL BE CLEANED ONCE A DAY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK RESULTING FROM CONSTRUCTION TRAFFIC. ALL TRUCKS HAULING MATERIALS OFFSITE SHALL BE COVERED WITH A
- 2. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATION PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. HEAVY CONSTRUCTION EQUIPMENT PARKING AND MAINTENANCE AREAS SHALL BE DESIGNED TO PREVENT OIL, GREASE, AND LUBRICANTS FROM ENTERING SITE DRAINAGE FEATURES INCLUDING STORMWATER COLLECTION AND TREATMENT SYSTEMS. CONTRACTORS SHALL PROVIDE BROAD DIKES, HAY BALES OR SILT SCREENS AROUND, AND SEDIMENT SUMPS WITHIN, SUCH AREAS AS REQUIRED TO CONTAIN SPILLS OF OIL, GREASE OR LUBRICANTS. CONTRACTORS SHALL HAVE AVAILABLE, AND SHALL USE, ABSORBENT FILTER PADS TO CLEAN UP SPILLS AS SOON AS POSSIBLE AFTER OCCURRENCE.
- 3. ALL WASH WATER FROM CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC. SHALL BE DETAINED ON SITE AND SHALL BE PROPERLY TREATED OR DISPOSED.
- 4. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD. THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- 5. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

SPILL PREVENTION AND CONTROL:

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF

1. GOOD HOUSEKEEPING

- A. SUPERINTENDENT SHALL INSPECT PROJECT AREA DAILY FOR PROPER STORAGE, USE, AND DISPOSAL OF CONSTRUCTION MATERIALS.
- B. STORE ONLY ENOUGH MATERIAL ON SITE FOR PROJECT COMPLETION.
- C. ALL SUBSTANCES SHOULD BE USED BEFORE DISPOSAL OF CONTAINER.
- D. ALL CONSTRUCTION MATERIALS STORED SHALL BE ORGANIZED AND IN THE PROPER CONTAINER AND IF POSSIBLE, STORED UNDER A ROOF OR PROTECTIVE COVER.
- E. PRODUCTS SHALL NOT BE MIXED UNLESS DIRECTED BY THE MANUFACTURER.
- F. ALL PRODUCTS SHALL BE USED AND DISPOSED OF ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

2. HAZARDOUS PRODUCTS

- A. MATERIALS SHOULD BE KEPT IN ORIGINAL CONTAINER WITH LABELS UNLESS THE ORIGINAL CONTAINERS CANNOT BE RESEALED. IF ORIGINAL CONTAINERS CANNOT BE USED, LABELS AND PRODUCT INFORMATION SHALL BE
- B. PROPER DISPOSAL PRACTICES SHALL ALWAYS BE FOLLOWED IN ACCORDANCE WITH MANUFACTURER AND LOCAL/STATE REGULATIONS.

3. PRODUCT SPECIFIC PRACTICES

- A. PETROLEUM PRODUCTS MUST BE STORED IN PROPER CONTAINERS AND CLEARLY LABELED. VEHICLES CONTAINING PETROLEUM PRODUCTS SHALL BE PERIODICALLY INSPECTED FOR LEAKS. PRECAUTIONS SHALL BE TAKEN TO AVOID LEAKAGE OF PETROLEUM PRODUCTS ON SITE.
- B. THE MINIMUM AMOUNT OF FERTILIZER SHALL BE USED AND MIXED INTO THE SOIL IN ORDER TO LIMIT EXPOSURE TO STORM WATER. FERTILIZERS SHALL BE STORED IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
- C. PAINT CONTAINERS SHALL BE SEALED AND STORED WHEN NOT IN USE. EXCESS PAINT MUST BE DISPOSED OF IN
- D. CONCRETE TRUCKS SHALL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

SPILL CLEANUP:

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED ABOVE, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

- 1. SPILL CLEANUP INFORMATION SHALL BE POSTED ON SITE TO INFORM EMPLOYEES ABOUT CLEANUP PROCEDURES AND
- 2. THE FOLLOWING CLEAN-UP EQUIPMENT MUST BE KEPT ON-SITE NEAR THE MATERIAL STORAGE AREA: GLOVES, MOPS, RAGS, BROOMS, DUST PANS, SAND, SAWDUST, LIQUID ABSORBER, GOGGLES, AND TRASH CONTAINERS.
- 3. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ONSITE AND READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- 4. ALL SPILLS SHALL BE CLEANED UP AS SOON AS POSSIBLE.
- 5. WHEN CLEANING A SPILL, THE AREA SHOULD BE WELL VENTILATED AND THE EMPLOYEE SHALL WEAR PROPER PROTECTIVE COVERING TO PREVENT INJURY.
- 6. TOXIC SPILLS MUST BE REPORTED TO THE PROPER AUTHORITY REGARDLESS OF THE SIZE OF THE SPILL.
- 7. AFTER A SPILL, THE PREVENTION PLAN SHALL BE REVIEWED AND CHANGED TO PREVENT FURTHER SIMILAR SPILLS FROM OCCURRING. THE CAUSE OF THE SPILL, MEASURES TO PREVENT IT, AND HOW TO CLEAN THE SPILL UP SHALL
- 8. THE SUPERINTENDENT SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR AND IS RESPONSIBLE FOR THE DAY TO DAY SITE OPERATIONS. THE SUPERINTENDENT ALSO OVERSEES THE SPILL PREVENTION PLAN AND SHALL BE RESPONSIBLE FOR EDUCATING THE EMPLOYEES ABOUT SPILL PREVENTION AND CLEANUP PROCEDURES.

WIND EROSION CONTROL NOTES:

- 1. WIND EROSION SHALL BE CONTROLLED BY EMPLOYING THE FOLLOWING METHODS AS NECESSARY AND APPROPRIATE:
- A. BARE EARTH AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST. IT MAY BE NECESSARY TO LIMIT CONSTRUCTION VEHICLE SPEED IF BARE EARTH HAS NOT BEEN EFFECTIVELY WATERED. IN NO CASE SHALL FUGITIVE DUST BE ALLOWED TO LEAVE THE SITE UNDER
- B. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED (SEE PERMANENT STABILIZATION PRACTICES FOR DETAILS). THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN. CLEARED SITE DEVELOPMENT AREAS NOT CONTINUALLY SCHEDULED FOR CONSTRUCTION ACTIVITIES SHALL BE COVERED WITH HAY OR OVERSEEDED AND PERIODICALLY WATERED SUFFICIENTLY TO STABILIZE THE TEMPORARY GROUNDCOVER (SEE TEMPORARY STABILIZATION PRACTICES FOR DETAILS).
- C. AT ANY TIME BOTH DURING AND AFTER SITE CONSTRUCTION THAT WATERING AND/OR VEGETATION ARE NOT EFFECTIVE IN CONTROLLING WIND EROSION AND/OR TRANSPORT OF FUGITIVE DUST, OTHER METHODS AS ARE NECESSARY FOR SUCH CONTROL SHALL BE EMPLOYED. THESE METHODS SHOULD INCLUDE ERECTION OF DUST CONTROL FENCES. A 6-FT GEOTEXTILE FILTER FABRIC SHOULD BE HANGING AGAINST THE EXISTING CHAIN LINK
- 2. ALL DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.

- 1. PROJECT LOCATION: MONAD TERRACE, MIAMI BEACH, FLORIDA 33139
- 2. PROJECT LIMITS: TOTAL PROJECT AREA IS APPROXIMATELY 1.60 ACRES. THE TOTAL DISTURBED AREA IS APPROXIMATELY 1.60 ACRES
- 3. CONSTRUCTION ACTIVITY: CONSTRUCTION OF PROPOSED BUILDING, ROADWAY IMPROVEMENTS, SIDEWALKS, LANDSCAPING, UTILITIES, AND DRAINAGE SYSTEM.
- 4. MAJOR SOIL DISTURBING ACTIVITIES: CLEARING AND GRUBBING, INSTALLATION OF DRAINAGE SYSTEM, INSTALLATION OF UTILITIES, CONSTRUCTION OF BUILDING FOUNDATION.
- 5. DEWATERING ACTIVITIES: DEWATERING IS ANTICIPATED FOR THIS SITE. THE CONTRACTOR IS RESPONSIBLE TO APPLY AND OBTAIN ALL APPLICABLE DEWATERING PERMITS.
- 6. SOIL CHARACTERISTICS: THE SOIL TYPE WITHIN THE PROJECT'S LIMIT OF DISTURBANCE IS CLASSIFIED AS URBAN SOIL AND IS NOT HIGHLY ERODIBLE.
- 7. RUNOFF COEFFICIENTS: EXISTING: 0.90 CONSTRUCTION: PROPOSED:
- 8. TURBIDITY CURTAIN(S) TO CONTAIN THE NAME OF CONTRACTOR IN "4 INCHES HIGH CONTRASTING LETTERS"

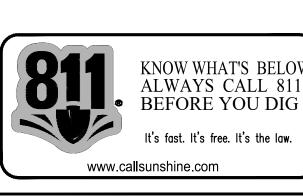
SEQUENCE OF CONSTRUCTION:

SEQUENCE OF SOIL DISTURBING ACTIVITIES AND IMPLEMENTATION OF CONTROLS:

- 1. PRIOR TO COMMENCEMENT OF ANY EARTH DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING, INSTALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE EROSION CONTROL PLAN, STANDARD DETAILS, NPDES REQUIREMENTS, AND THE CITY OF MIAMI BEACH PUBLIC WORKS ENGINEERING AND CONSTRUCTION STANDARDS.
- 2. BEGIN CLEARING AND GRUBBING.
- 3. INSTALL DRAINAGE SYSTEM, INCLUDING: CONCRETE INLETS, DRAIN BASINS, DRAINAGE PIPES, DRAINAGE WELLS, AND
- 4. INSTALL INLET PROTECTION AND ROCK BAGS ON ALL INLETS AND MANHOLES IN THE LOCATIONS SHOWN ON THE PLANS, PER THE STANDARD DETAILS PROVIDED, AND PER THE CITY OF MIAMI BEACH PUBLIC WORKS ENGINEERING AND CONSTRUCTION STANDARDS.
- 5. PREPARE SUBBASE MATERIAL.
- 6. BEGIN ASPHALT AND CONCRETE INSTALLATION.
- 7. AFTER COMPLETION OF SITE WORK, BEGIN SITE STABILIZATION AND PERMANENT SEEDING.
- 8. ONCE SITE STABILIZATION IS COMPLETE, CONTRACTOR TO CLEAN ALL CONSTRUCTION DEBRIS FROM CONSTRUCTION
- 9. ONCE A UNIFORM 70% VEGETATIVE COVER OF PERENNIAL VEGETATION IS ACHIEVED ACROSS THE ENTIRE DISTURBED AREA THE REMOVAL OF TEMPORARY EROSION CONTROL MEASURES MAY BEGIN.

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS

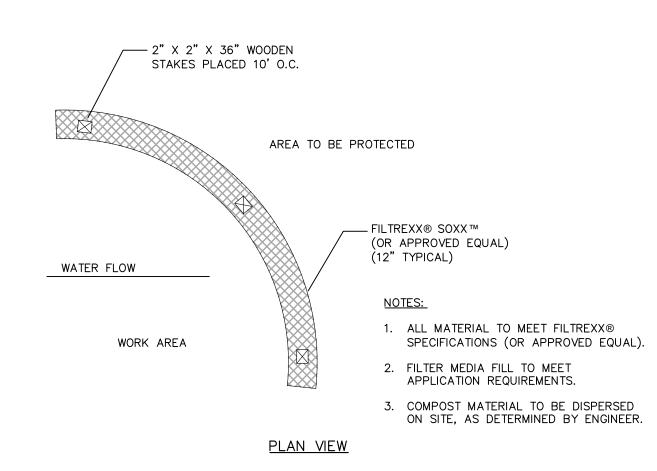
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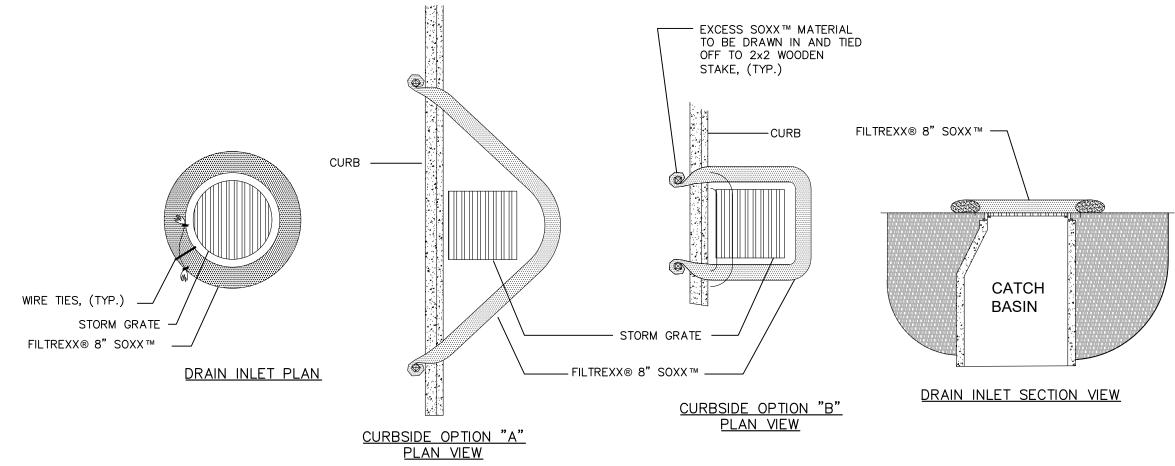
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1 FILTREXX ® SEDIMENT CONTROL (OR APPROVED EQUAL)
N.T.S.



TRUCK WASHDOWN AREA

2"-3" CRUSHED STONE

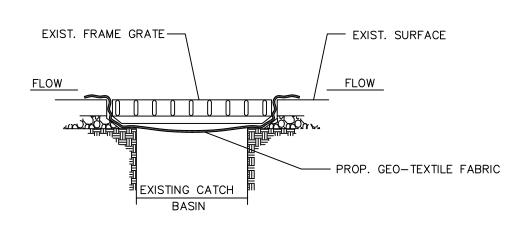
1. PROVIDE SEDIMENT TRAP ON DOWN GRADIENT

2. PLACEMENT OF SEDIMENT TRAP SHALL BE AT

LEAST THE MINIMUM DISTANCE FROM THE RIGHT

OF WAY AS REQUIRED BY LOCAL JURISDICTION.

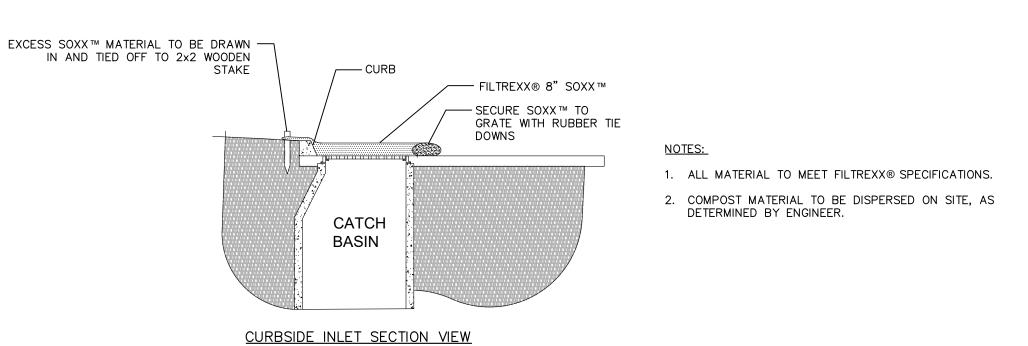
SIDE (OR BOTH SIDES) AS REQUIRED.



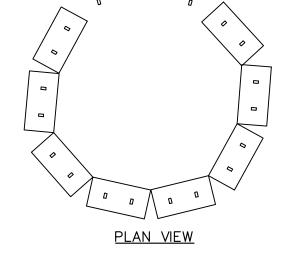
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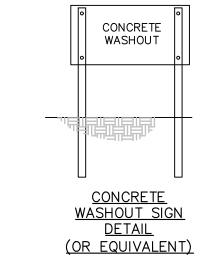
- CONTRACTOR SHALL PERFORM DAILY INSPECTIONS OF GEO—TEXTILE FABRIC BARRIER AND AS NECESSARY REPLACE OR REPAIR AS REQUIRED. SPECIFICALLY AFTER STORM EVENTS AND LARGE RAINFALL EVENTS.
- 2. SEDIMENTATION AND DEBRIS THAT ARE REMOVED FROM BARRIERS SHALL BE LEGALLY DISPOSED OF AT AN AUTHORIZED OFF-SITE DISPOSAL FACILITY.

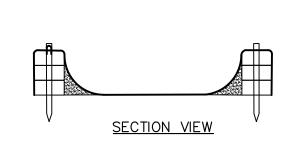
4 DROP INLET SEDIMENT BARRIER
N.T.S.



5 FILTREXX ® INLET PROTECTION (OR APPROVED EQUAL) N.T.S.





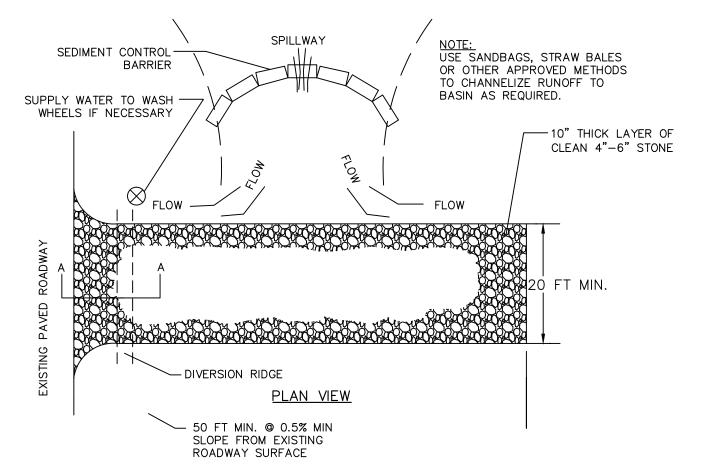


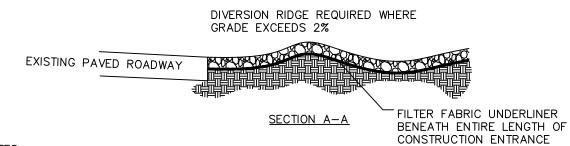


NOTES:

- 1. ACTUAL LAYOUT TO BE DETERMINED IN FIELD.
- 2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
- 3. WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONG REQUIRED FOR THE WORK, THE HARDENED CONCRETE SHOULD BE REMOVED AND DISPOSED OF AT AN APPROVED FACILITY.
- 4. PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.
- 5. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM FREEBOARD OF 4 INCHES.
- 6. WASHOUT FACILITIES MUST BE CLEANED, OR NEW FACILITIES MUSH BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75 PERCENT FULL.
- 7. HOLES, DEPRESSIONS, OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITY SHALL BE BACKFILLED AND REPAIRED.

3 TEMPORARY CONCRETE WASHOUT FACILITY N.T.S.





NOTES:

- 1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
- 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

6 STABILIZED CONSTRUCTION ENTRANCE

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON BASED NGVD 1929.



HORN AND ASSOCIATES, INC.
SUITE 2200, PLANTATION, FL 33324
5-5100 FAX: 954-739-2247
RN.COM REGISTRY No. 35106
No. REV

© 2022 KIMLEY—HORN AND ASSOC 8201 PETERS ROAD, SUITE 2200, PLANTA PHONE: 954—535—5100 FAX: 954 WWW.KIMLEY—HORN.COM REGISTRY

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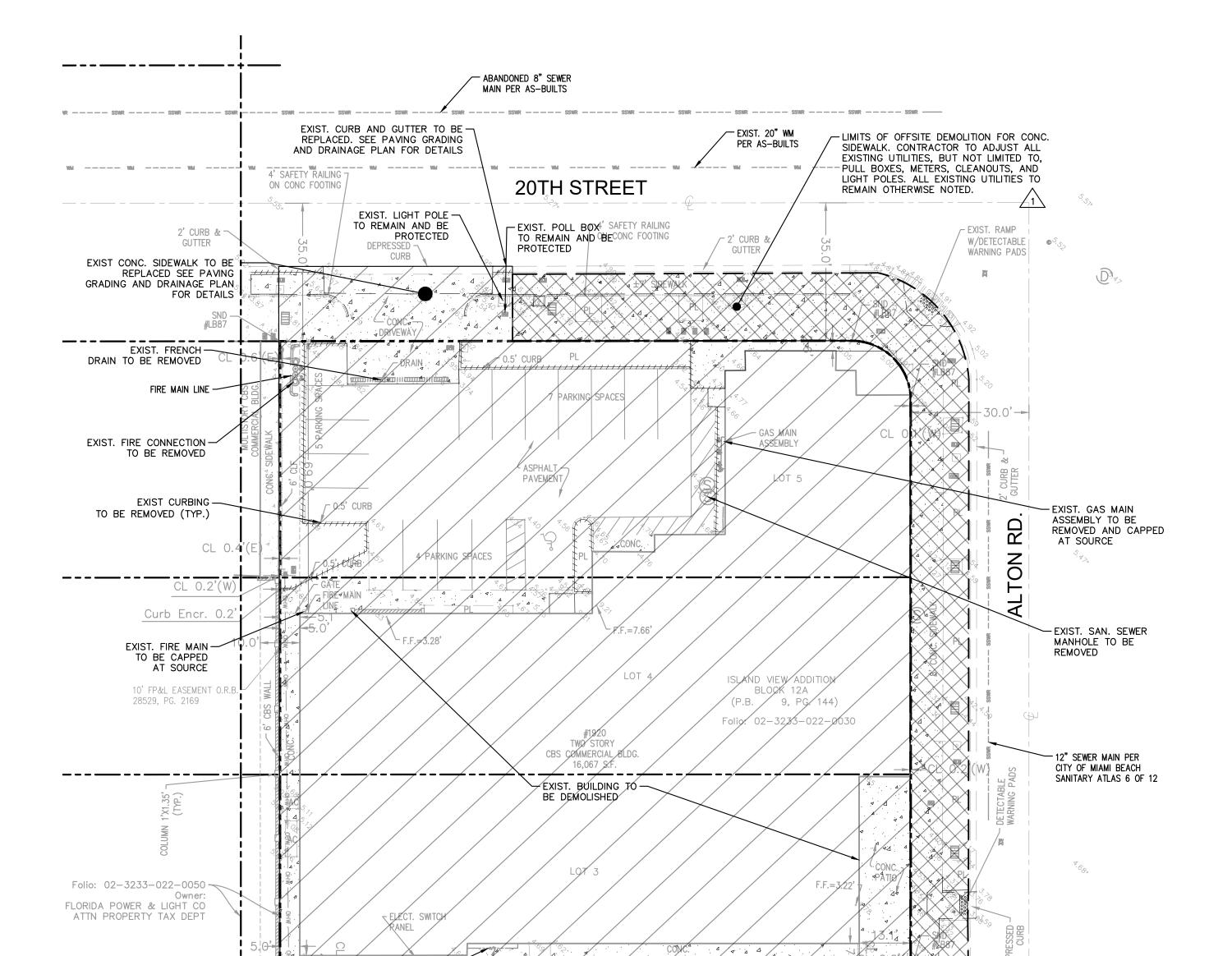
EROSION CONTROL

JETAILS AND NOTES

20 ALTON ROAD
PREPARED FOR
ALTON OFFICE
HOLDINGS II, LLC.

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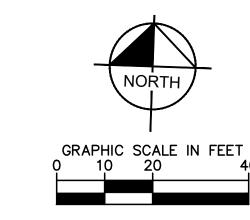
MULTI STORY CBS COMMERCIAL BLDG.

LIMITS OF DEMOLITION

TRANSFORMER PAD

ELECT. SWITCH -/ PANEL

EXIST ELECTRICAL EQUIPMENT TO BE REMOVED



	LEGEND
	PROPERTY LINE
ww ww	EXISTING WATER
SSWR SSWR	EXISTING SANITARY SEWER
STRMSTRM	EXISTING STORM SEWER
-0/u0/u0/u0/u	EXISTING OVERHEAD WIRE
comcom	EXISTING COMMUNICATION LINE
——————————————————————————————————————	EXISTING NATURAL GAS LINE
*\X <u>X.XX'</u>	EXISTING GRADE
	EXITING CATCH BASIN
\bowtie	EXISTING WATER VALVE
X	EXISTING FIRE HYDRANT
W	EXISTING WATER METER
S	EXISTING SANITARY SEWER MANHOLE
(D)	EXISTING STORM SEWER MANHOLE
A	EXISTING CONCRETE TO BE REMOVED
***************************************	EXISTING CURB TO BE REMOVED
	LIMITS OF DEMOLITION - ONSITE
	LIMITS OF DEMOLITION - OFFSITE

NOTE:

CONTRACTOR TO REMOVE UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.

DEMOLITION

920 ALTON ROAD
PREPARED FOR
ALTON OFFICE
HOLDINGS II, LLC. 920

SHEET NUMBER

C300

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KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG It's fast. It's free. It's the law. www.callsunshine.com

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

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SHOULD ANY SECTION OF THESE DEMOLITION NOTES BE IN DIRECT CONFLICT WITH THE PROVISIONS OR TECHNICAL SPECIFICATIONS CONTAINED IN THE CONTRACT DOCUMENT FOR THIS PROJECT, THE INTENT OF THE CONTRACT DOCUMENT SHALL GOVERN.

FOR THIS PROJECT, "OWNER" SHALL MEAN MONAD TERRACE PROPERTY OWNER, LLC, "SURVEY" SHALL MEAN THE BOUNDARY SURVEY PREPARED BY LONGITUDE SURVEYORS, LLC. ON 02/26/2016 FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: LB-7335 AND "ENGINEER" SHALL MEAN THE ENGINEER OF RECORD.

- 1. EXISTING CONDITIONS, UTILITIES, STRUCTURES AND OTHER IMPROVEMENTS, AS SHOWN ON THE DEMOLITION DRAWINGS, WERE TAKEN FROM THE SURVEY, APPROVED MONAD TERRACE DEMOLITION PLAN AND FROM INFORMATION PROVIDED BY UTILITY COMPANIES. AN ATTEMPT HAS BEEN MADE TO SHOW ALL EXISTING STRUCTURES, UTILITIES, DRIVES, WALKS, ETC., IN THEIR APPROXIMATE LOCATION. OTHERS MAY EXIST AND MAY BE FOUND UPON VISITING THE SITE. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ACCURATELY LOCATE ALL FACILITIES AND TO DETERMINE THEIR EXTENT. IF SUCH FACILITIES OBSTRUCT THE PROGRESS OF THE WORK AND ARE NOT INDICATED TO BE REMOVED OR RELOCATED, THEY SHALL BE REMOVED OR RELOCATED ONLY AS DIRECTED BY THE OWNER OR ENGINEER OF RECORD, AT NO
- 2. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
- 3. ORGANIZE AND PERFORM DEMOLITION WORK TO AVOID DAMAGE TO CONSTRUCTION INTENDED TO REMAIN, INCLUDING TREES (SEE LANDSCAPE PLANS FOR DETAILS).
- 4. DEMOLITION AND REMOVAL OPERATIONS SHALL BE CONDUCTED IN AN EXPEDIENT MANNER, WITH PRECAUTIONS TAKEN TO PREVENT THE DEMOLITION SITE FROM BEING A NUISANCE.
- 5. PERFORM REMOVAL AND DEMOLITION IN ACCORDANCE WITH DEMOLITION SCHEDULE (REFER TO SECTION IV.) AND TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING ADJACENT BUILDINGS, FURNISHINGS, AND EQUIPMENT. NOTIFY THE ENGINEER OF ANY CONDITIONS THAT MAY AFFECT THE SAFETY OF OCCUPANTS OF ADJACENT BUILDINGS, THE NORMAL USE OF THESE FACILITIES, OR THE PHYSICAL CONDITION OF THE STRUCTURES.
- 6. ALL EXISTING UTILITIES OUTSIDE THE PROPERTY BOUNDARIES ARE TO REMAIN, UNLESS OTHERWISE NOTED.
- 7. PRIOR TO DEMOLITION ACTIVITIES, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL AFFECTED UTILITY COMPANIES IN ORDER TO COORDINATE THE DEACTIVATION OF ALL EXISTING UTILITY LINES WITHIN THE PROPERTY. ONCE ALL ONSITE UTILITIES HAVE BEEN DEACTIVATED, ALL LINES SHALL BE CUT AND CAPPED INSIDE THE PROPERTY LINE, AND REMOVED (UNLESS OTHERWISE INDICATED).
- 8. THE CONTRACTOR SHALL USE EXTREME CAUTION IN REMOVING ANY STRUCTURES AND UTILITIES ABOVE AND BELOW GRADE TO PREVENT DAMAGE TO EXISTING UTILITIES WHICH ARE TO REMAIN IN SERVICE. ANY DAMAGE TO EXISTING PIPELINES, UTILITIES, ETC., CAUSED BY THE CONTRACTOR SHALL BE REPAIRED, AT THE CONTRACTOR'S EXPENSE, IN A MANNER ACCEPTABLE TO THE PARTY IN OWNERSHIP OF THE DAMAGED PROPERTY. THE CONTRACTOR SHALL REPORT ANY EXISTING DAMAGE PRIOR TO BEGINNING WORK. IN THE EVENT OF ACCIDENTAL DISRUPTION OF UTILITIES OR THE DISCOVERY OF PREVIOUSLY UNKNOWN UTILITIES, STOP WORK IMMEDIATELY AND NOTIFY THE AFFECTED UTILITY COMPANY AND THE ENGINEER. DO NOT CONTINUE WORK UNTIL THE UTILITY COMPANY, ENGINEER, AND CONTRACTOR AGREE ON A PLAN TO CORRECT THE SITUATION OR IDENTIFY THE UTILITY SERVICE LINE.
- 9. EXISTING WORK NOT SPECIFIED FOR REMOVAL WHICH IS TEMPORARILY REMOVED, DAMAGED, EXPOSED, OR IN ANY WAY DISTURBED OR ALTERED BY THE CONTRACTORS ACTIVITIES SHALL BE REPAIRED, PATCHED OR REPLACED, SOLELY AT THE CONTRACTOR'S EXPENSE, TO THE ENGINEER'S AND OWNER'S SATISFACTION.
- 10. TITLE AND RESPONSIBILITY TO MATERIALS AND EQUIPMENT TO BE REMOVED, EXCEPT SALVAGEABLE EQUIPMENT TO BE RETAINED BY THE OWNER, IS VESTED TO THE CONTRACTOR UPON RECEIPT OF NOTICE TO PROCEE NOT BE RESPONSIBLE FOR THE CONDITION, LOSS OR DAMAGE TO SUCH MATERIALS AND EQUIPMENT AFTER THE ISSUANCE OF THE NOTICE TO PROCEED.

11. IT IS THE CONTRACTOR'S RESPONSIBILITY TO:

<u>I. GENERAL</u>

- A. PROTECT ALL EXISTING STRUCTURAL AND VEGETATIVE ELEMENTS TO REMAIN DURING DEMOLITION UNLESS
- B. IF APPLICABLE, PATCH AND REPAIR ALL SURFACES WITHIN THE PUBLIC R/W AFFECTED BY DEMOLITION.
- C. SAW-CUT IN NEAT, STRAIGHT LINES, EXISTING CONC. OR ASPHALT PAVEMENT.
- D. REMOVE ALL EXISTING IRRIGATION LINES WITHIN THE LIMITS OF DEMOLITION UNLESS OTHERWISE NOTED.
- E. ALL EXISTING CHAIN LINK FENCES AND CBS WALLS ALONG THE PERIMETER OF THE PROPERTY SHALL REMAIN,

F. NO ELECTRIC POLES, STREET LIGHTS, WATER METERS/VALVES, FIRE HYDRANTS ETC. WILL BE REMOVED WITHIN

- THE ROADWAY RIGHT-OF-WAY, UNLESS OTHERWISE NOTED ON THE DEMOLITION PLANS.
- G. REFER TO LANDSCAPE PLANS FOR VERIFICATION OF ALL EXISTING TREES TO BE REMOVED, RELOCATED OR TO
- H. MAINTAIN ALL EXISTING SURVEY REFERENCES AND MARKERS IN PLACE, OTHERWISE THEY SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

II. DESCRIPTION

- 1. PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SERVICES, ETC., NECESSARY AND INCIDENTAL TO THE COMPLETION OF ALL SITE DEMOLITION AND CLEARING WORK AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN, INCLUDING THE LEGAL TRANSPORT AND OFF-SITE DISPOSAL OF DEMOLITION DEBRIS.
- 2. ALL SITE WORK INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:
 - A. FULL-DEPTH REMOVAL OF EXISTING SIDEWALKS, DRIVES, CURBS, AND PAVEMENT.
 - B. FULL DEPTH REMOVAL OF EXISTING BUILDING FOUNDATIONS, UNDERGROUND UTILITIES AND RELATED STRUCTURES.
 - C. CLEARING SITE OF VEGETATION AND TREES AS NOTED ON THE LANDSCAPE PLANS.
- D. CLEARING SITE OF DEMOLITION DEBRIS.
- E. REMOVAL FROM SITE AND DISPOSAL OF ALL EXCESS AND UNUSABLE MATERIAL.
- F. COORDINATION WITH ALL UTILITY COMPANIES/OWNERS PRIOR TO DEACTIVATION OF EXISTING UTILITIES.

III. APPLICABLE CODES

- 1. DEMOLITION AND TRANSPORTATION OF DEBRIS SHALL COMPLY WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS GOVERNING THESE OPERATIONS. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ANY PERMITS, BONDS, LICENSES, ETC., REQUIRED FOR DEMOLITION AND CLEARING WORK.
- 2. ANY WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENT, AND OTHER GOVERNMENTAL AGENCIES WHO MAY HAVE JURISDICTION OF THE PUBLIC RIGHT-OF-WAY. SAID WORK SHALL NOT BEGIN UNTIL THE CONTRACTOR HAS OBTAINED ALL PERMITS AND NOTIFIED ALL THE GOVERNING AUTHORITIES.

IV. SEQUENCING AND SCHEDULING

- 1. AREAS ADJACENT TO DEMOLITION AND REMOVAL WORK MAY BE OCCUPIED AND THEIR ACTIVITIES CANNOT BE INTERRUPTED OR DISTURBED DURING NORMAL WORKING HOURS. DEMOLITION SCHEDULE SHALL BE COORDINATED WITH ALL ADJACENT PROPERTY OWNERS AND ANY OTHER PARTIES WHOSE DAILY ACTIVITIES WOULD BE AFFECTED BY THE DEMOLITION WORK.
- 2. COORDINATE WITH APPLICABLE UTILITY COMPANIES FOR UTILITY LINE REMOVAL, CAPPING AND UTILITY SHUTDOWNS NECESSITATED BY REMOVAL WORK.

V. ENVIRONMENTAL PROTECTION

- 1. CONTROL AMOUNT OF DUST RESULTING FROM CONSTRUCTION OR DEMOLITION TO PREVENT SPREAD OF DUST TO OTHER BUILDINGS AND TO AVOID CREATION OF A NUISANCE IN SURROUNDING AREAS. USE OF WATER TO CONTROL DUST WILL NOT BE PERMITTED WHEN IT WILL RESULT IN, OR CREATE, HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING.
- 2. NOISE PRODUCING ACTIVITIES SHALL BE HELD TO A MINIMUM. INTERNAL COMBUSTION ENGINES AND COMPRESSORS, ETC., SHALL BE EQUIPPED WITH MUFFLERS TO REDUCE NOISE TO A MINIMUM. CONTRACTOR SHALL COMPLY WITH ALL NOISE
- 3. THE USE OF EXPLOSIVES WILL NOT BE PERMITTED.
- 4. DISPOSITION OF DEMOLISHED MATERIALS BY BURNING IS NOT PERMITTED.
- 5. ALL CLEARING SHALL BE PERFORMED IN A MANNER SUCH AS TO PREVENT ANY WASH-OFF OF SOILS AND DEBRIS FROM THE SITE INTO PUBLIC RIGHT-OF-WAY WATER BODIES, AND/OR STORM DRAINAGE SYSTEMS. APPROPRIATE SEDIMENTATION PONDS, DIKES, COLLARS, AND FILTER MEDIA SHALL BE EMPLOYED TO ENSURE COMPLIANCE WITH THESE REQUIREMENTS. WHERE A SPECIFIC STATUTE GOVERNS THESE PROCEDURES, SUCH STATUTE SHALL BE COMPLIED WITH IN ITS ENTIRETY.
- 6. AT ALL TIMES DURING THE CLEARING OPERATION, THE EXPOSED AREAS OF SUBGRADE SHALL BE MAINTAINED IN A CONDITION COMPATIBLE WITH POSITIVE DRAINAGE OF THE WORK AREA. NO WATER WILL BE PERMITTED TO STAND IN OPEN EXCAVATIONS. ALL STORMWATER RUNOFF SHALL BE CONTAINED WITHIN THE SITE. FAILURE TO MAINTAIN SUCH DRAINAGE SHALL BE CONSIDERED ADEQUATE CAUSE TO ORDER TEMPORARY SUSPENSION OF THE WORK.
- 7. IF IT SHOULD BECOME NECESSARY TO STOP WORK FOR INDEFINITE PERIODS, THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PREVENT DAMAGE OR DETERIORATION OF THE WORK ALREADY PERFORMED, PROVIDE SUITABLE AND FUNCTIONAL DRAINAGE BY OPENING DITCHES, FILTER DRAINS, TEMPORARY CUT-OFF LINES, ETC., AND ERECT TEMPORARY PROTECTIVE STRUCTURES WHERE NECESSARY. ALL EMBANKMENTS SHALL BE BACK-BLADED AND SUITABLY SEALED TO PROTECT AGAINST ADVERSE WEATHER CONDITIONS.
- 8. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS WHEN REMOVING ABANDONED AND DE-ENERGIZED MATERIALS. IF ASBESTOS PIPES ARE ENCOUNTERED, THE CONTRACTOR WILL TAKE ALL NECESSARY ABATEMENT STEPS AS REQUIRED BY GOVERNING REGULATIONS TO SAFELY REMOVE AND DISPOSE OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY OF SAID MATERIALS.
- 9. THE CONTRACTOR SHALL SECURE THE WORK AREA WITH FENCING OR OTHER MEANS AS APPROVED BY THE OWNER.

VI. TRAFFIC MAINTENANCE

- THE CONTRACTOR SHALL FOLLOW FDOT MAINTENANCE OF TRAFFIC PROCEDURES DURING CONSTRUCTION IN PUBLIC RIGHT-OF-WAYS AND PRIVATE DRIVEWAYS, PEDESTRIANS PATHS, AND ROADWAYS (INDEX 600 SERIES), AND PREPARE AND OBTAIN APPROVAL OF SUCH MAINTENANCE OF TRAFFIC PLAN FROM THE APPROPRIATE REGULATORY AGENCY.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE BRACING, SHORING, TEMPORARY CROSSOVER FOR PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING GUARDRAILS, LAMPS, WARNING SIGNS AND FLAGS AS REQUIRED BY AGENCIES HAVING JURISDICTION, AND SHALL NOT REMOVE THESE UNTIL THE NEED FOR PROTECTION CEASES.
- THE CONTRACTOR MAY NOT CLOSE ANY SIDEWALKS WITHOUT PROVIDING ALTERNATE ROUTES IN ACCORDANCE WITH FDOT INDEX 660 AND OBTAINING APPROVAL AND PERMIT FROM THE GOVERNING JURISDICTIONAL AGENCY.
- 4. THE CONTRACTOR SHALL CONDUCT CONSTRUCTION OPERATIONS SO THAT TRAFFIC IS MAINTAINED ALONG EXISTING STREETS AND WALKS. ALL PUBLIC PAVED STREETS AND WALKWAYS MUST BE KEPT FREE OF DEBRIS. THE CONTRACTOR MUST REMOVE MATERIAL AND OTHER MATTER TRACKED OR FALLEN ONTO TRAFFIC SURFACES.

VII. CLEAN UP

- 1. REMOVE DEMOLISHED CONSTRUCTION MATERIALS AND RELATED DEBRIS FROM THE SITE ON A REGULAR BASIS. ACCUMULATION OF DEBRIS ON THE SITE WILL NOT BE PERMITTED. SELLING OF SALVAGEABLE MATERIALS IS NOT PERMITTED AT THE SITE.
- REMOVE MATERIALS, INCLUDING DEBRIS AND DUST, AND DISPOSE OF LEGALLY OFF SITE. NO DEBRIS SHALL BE BURNED OR BURIED ON THE SITE AS A MEANS OF DISPOSAL. USE METHODS APPROVED BY THE REGULATORY AGENCIES PRIOR TO BEGINNING CLEANUP OPERATIONS. USE OF BLOWERS TO DISTRIBUTE DUST WILL NOT BE PERMITTED.
- 3. MATERIAL DESIGNATED FOR REMOVAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND ANY SALVAGE VALUE THERE FROM WILL ACCRUE TO THE CONTRACTOR.

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THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS

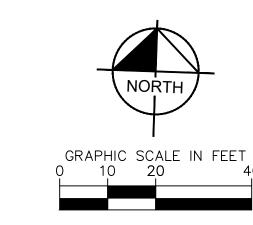
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LEGEND		
	PROPERTY LINE	
4 4 4 4	PROPOSED CONCRETE PAVEMENT	
	EXISTING CONCRETE PAVEMENT	
	PROPOSED DETECTABLE WARNING	

— PROP. RAMP (REFER TO ARCHITECTURAL PROP. RAMP (REFER = TO ARCHITECTURAL ---- WM ---20TH STREET PLANS FOR DETAILS) PLANS FOR DETAILS) PROP. 24" STOP BAR WITH STOP SIGN PROP. CONC.— SIDEWALK TO MATCH EXIST. PROP. CONC. SIDEWALK TO PROP. SIGHT -TRIANGLE 2' CURB & GUTTER PROP. VALLEY — MATCH EXIST. GUTTER 240.0' - PROP. BUILDING CANOPY (REFER TO ARCHITECTURAL PLANS FOR DETAILS) - PROP. DRAIN BASIN (TYP.) 30.0' (15.0' MIN SETBACK) PROP. 25 LF — 6" — DOUBLE YELLOW PROP. RAISED — CONC. SIDEWALK PROP. PLANTER (REFER TO ARCHITECTURAL PLANS FOR PROP. DRAINAGE PROP. DIRECTIONAL — ARROW PER FDOT INDEX 711—011 WELL NO. 1 DETAILS) CL 0.2'(W) Curb Encr. 0.2' - PROPERTY LINE PROPERTY LINE — (15.0' MIN SETBACK) 10' FP&L EASEMENT O.R.E 28529, PG. 2169 FFE: 7.00' (NGVD29) FFE: 9.00' . (NGVD29) . - PROP. DRAINAGE WELL NO. 2 15.7 (15.0' MIN SETBACK) Folio: 02-3233-022-0050
Owner:
FLORIDA POWER & LIGHT CO
ATTN PROPERTY TAX DEPT FIRE PUMP PROP. RAMP (REFER
TO ARCHITECTURAL
PLANS FOR DETAILS)

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

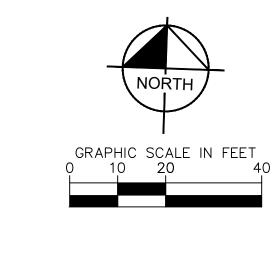
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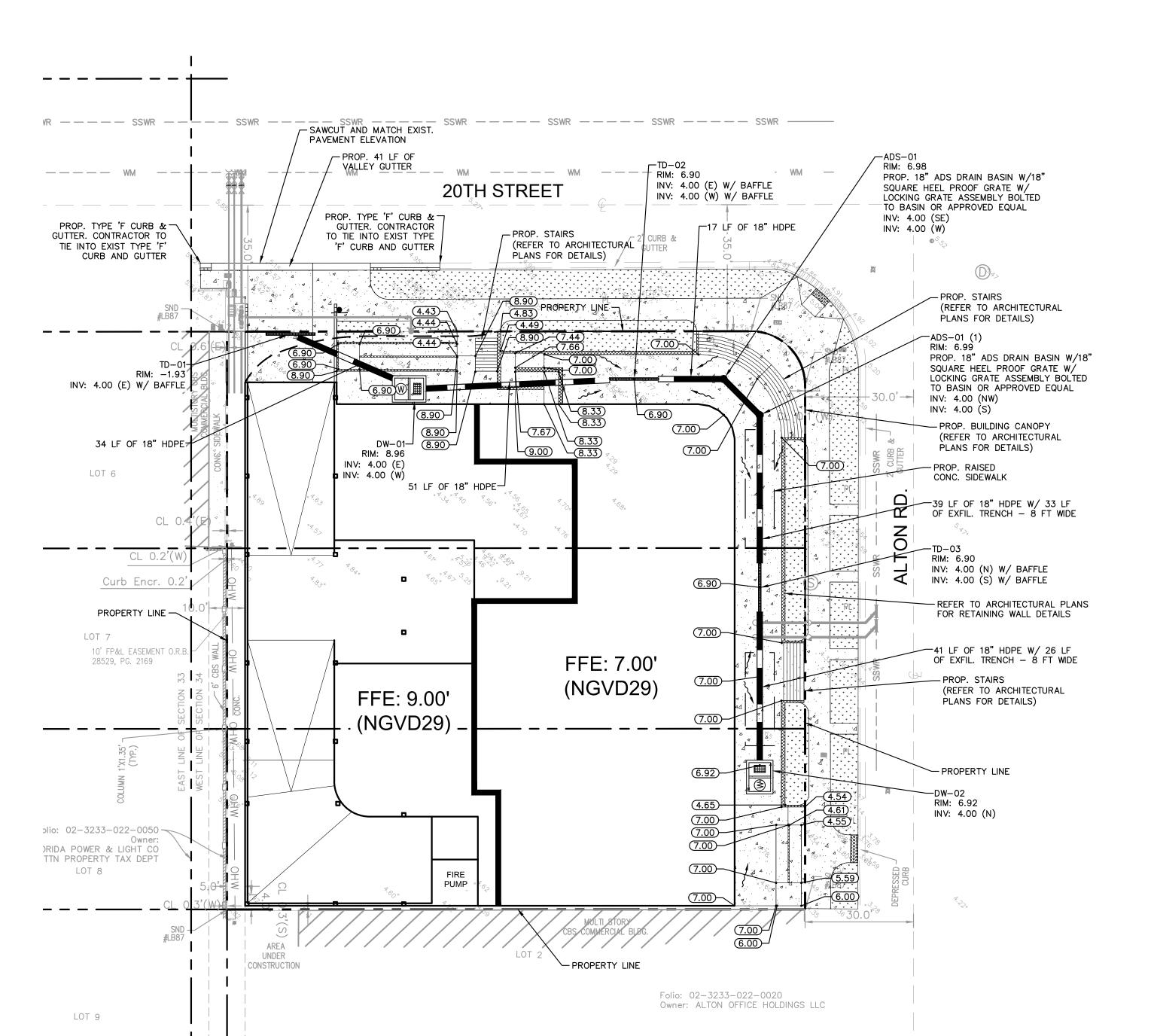


1920 ALTON ROAD
PREPARED FOR
ALTON OFFICE
HOLDINGS II, LLC.

SITE

Kim





GENERAL NOTES:

- PLEASE REFER TO LANDSCAPE AND ARCHITECTURAL PLANS FOR GRADING WITHIN THE HARDSCAPE AREAS.
- ALL ELEVATIONS LISTED ON PLANS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29).
- CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES. PRIOR TO BEGINNING CONSTRUCTION,

CONTRACTOR TO NOTIFY ENGINEER OF ANY CONFLICTS.

- 4. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.
- 5. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH FPL ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND POWER LINES.
- 6. CONTRACTOR SHALL VERIFY PROPER CLEARANCE BELOW EXISTING OVERHEAD POWER LINES PRIOR TO WORKING WITHIN THE VICINITY THE POWER LINES.
- 7. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- 8. THE CONTRACTOR SHALL CONTACT THE SITE ENGINEER REGARDING ANY GRADING REVISIONS PRIOR TO CONSTRUCTION OF THE PAVEMENT AREAS.
- 9. CONTRACTOR TO ADJUST ANY MANHOLE RIMS AND VALVE LIDS TO MATCH PROPOSED GRADES.
- 10. IF ANY EXISTING STORM DRAINAGE STRUCTURES AND PIPES TO REMAIN IN SERVICE ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR THOSE STRUCTURES TO PRIOR CONDITION, OR BETTER, OR TO REPLACE THEM, AS NECESSARY.
- 11. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING FRAME AND COVER.
- 12. ALL MAXIMUM SLOPES ARE ABSOLUTE AND SUPERSEDE CONSTRUCTION TOLERANCES STATED IN THE PROJECT SPECIFICATIONS. THE CONTRACTOR HAS THE OPTION OF ADJUSTING GRADES TO ALLOW FOR CONSTRUCTION TOLERANCES BUT SHALL NOT EXCEED MAXIMUMS SPECIFIED ABOVE BY ANY AMOUNT. PAVEMENT SLOPES WILL BE REVIEWED AFTER CONSTRUCTION AND ANY SLOPES FOUND TO EXCEED THE MAXIMUM SPECIFIED ABOVE WILL BE REPLACED AT THE CONTRACTORS EXPENSE
- 13. LEVEL CHANGES BETWEEN GROUND SURFACE MATERIALS MUST NOT EXCEED \$\frac{1}{2}\$ INCH HIGH. IF A LEVEL CHANGE DOES EXCEED \$\frac{1}{2}\$ INCH HIGH IT MUST BE BEVELED WITH A SLOPE THAT DOES NOT EXCEED \$\frac{1}{2}\$ (V:H) FOR A LEVEL CHANGE UP TO \$\frac{1}{2}\$ INCH HIGH. IF THE CHANGE IS MORE THAN \$\frac{1}{2}\$ INCH THE CHANGE MUST BE RAMPED AND NOT TO EXCEED A SLOPE OF \$\frac{1}{12}\$ (V:H).
- 14. ALL PROPOSED AND EXISTING DRAINAGE INFRASTRUCTURE SHALL BE CLEANED/INSPECTED FROM WORK AREA TO OUTFALL AS PART OF THIS PROJECT.

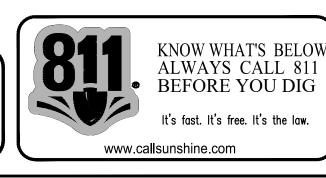
ADA NOTES:

- 1. ALL WALKWAYS SHALL HAVE A SLOPE LESS THAN 2% PERPENDICULAR TO THE DIRECTION OF TRAVEL AND LESS THAN 5% IN THE DIRECTION OF TRAVEL.
- 2. ALL WALKWAYS NEAR BUILDING ENTRANCES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION FOR A MINIMUM OF 60 INCHES, MEASURED PERPENDICULAR TO THE FACE
- 3. CLEAR WIDTH OF ACCESSIBLE ROUTE MUST BE A MINIMUM OF 36 INCHES.
- 4. RUNNING SLOPE OF RAMPS AND CURB RAMPS CANNOT EXCEED 8.33%. IF VERTICAL RISE IS LESS THAN 6 INCHES, HANDRAILS ARE NOT REQUIRED.
- 5. SLOPES AT INTERSECTIONS OF ACCESSIBLE ROUTES MUST NOT EXCEED 2%, MEASURED IN ANY DIRECTION.
- 6. SLOPES OF CLEAR FLOOR SPACES AT FIXTURES AND CONTROLS MUST NOT EXCEED 2%, MEASURED IN ANY DIRECTION. THE 30X48 INCH CLEAR FLOOR SPACE PROVIDED AT THE CONTROL MUST BE FLUSH WITH THE CONTROL.
- 7. GAPS OR OPENINGS ALONG THE ACCESSIBLE ROUTE MUST NOT EXCEED ½ INCH WIDTH, PERPENDICULAR TO THE PREDOMINATE FLOW OF PEDESTRIAN TRAFFIC.

	LEGEND		
	PROPERTY LINE		
WM	EXISTING WATER		
SSWR	EXISTING SANITARY SEWER		
	PROPOSED STORM SEWER		
	PROPOSED EXFILTRATION TRENCH		
	EXISTING STORM SEWER		
	EXISTING OVERHEAD WIRE		
COM	EXISTING COMMUNICATION LINE		
GAS	EXISTING NATURAL GAS LINE		
	PROPOSED CATCH BASIN		
	EXISTING WATER VALVE		
\bowtie	EXISTING WATER VALVE		
X	EXISTING FIRE HYDRANT		
W	EXISTING WATER METER		
S	EXISTING SANITARY SEWER MANHOLE		
(D)	EXISTING STORM MANHOLE		
	PROPOSED ASPHALT PAVEMENT		
	PROPOSED ASPHALT RESTORATION		
4 4 4	PROPOSED CONCRETE PAVEMENT		
4 . 4	EXISTING CONCRETE PAVEMENT		
	PROPOSED CONCRETE PAVERS		
X 11.00	PROPOSED GRADE		
M.E.±11.00	MATCH EXISTING GRADE		
11.00	PROPOSED SIDEWALK GRADE		
*11.0	EXISTING GRADE		
~~ ~	FLOW ARROW		
-			

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON BASED NGVD 1929.



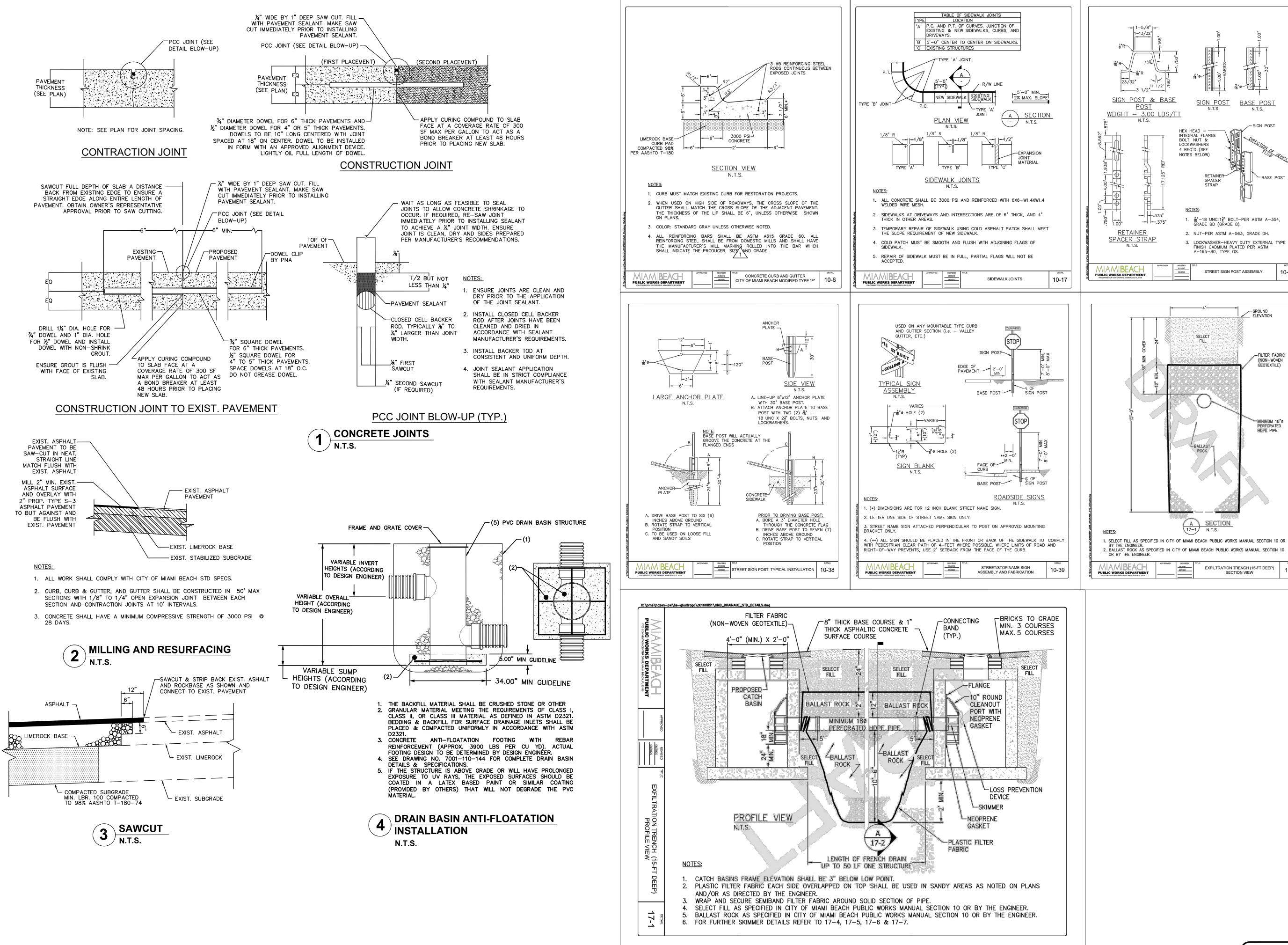
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THE PRESENCE OF GROUNDWATER SHOULD BE

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ANTICIPATED. CONTRACTOR'S BID SHALL

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KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG It's fast. It's free. It's the law.

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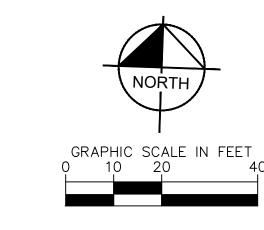
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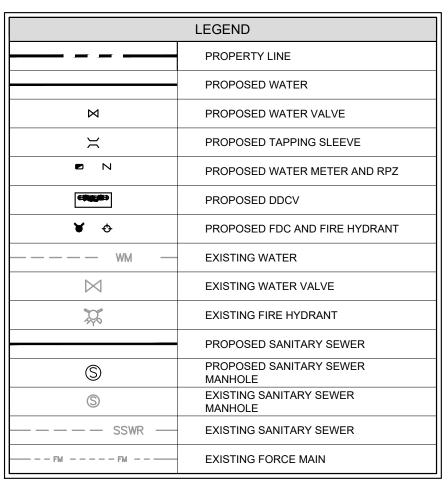
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THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

__PROP. 20"X4" TAPP.

SLEEVE AND VALVE
W/ 4" GATE VALVE

PROP. 20"X6" TAPP. SLEEVE AND VALVE

W/ 6" GATE VALVE

__61 LF OF 4" PVC

___40 LF OF 6" DIP

√21 LF OF 6" DIP

PROP. 6" DIP FIRE SERVICE.
SEE MEP PLANS FOR CONTINUATION

FFE: 9.00'

(NGVD29)

FIRE PUMP_o

PROP. 6" GATE VALVE

/±47 LF OF 6" DIP

W/ FLUSH & FILL

∕ ABANDONED 8" SEWER

MAIN PER AS-BUILTS

20TH STREET

---- SSWR ∠---- SSWR ---- SSWR ---- SSWR ---- SSWR ----

EXIST. 20" WM
PER AS-BUILTS

GUTPROPERTY LINE

PROP. 15 LF OF 6_ PVC @1.04%

PROP. C.O. SEE MEP-PLANS FOR CONTINUATION

PROP. C.O. SEE MEP—
PROP. 15 LF OF 6
PVC @1.04%

PROP. 16 LF OF 6
PVC @1.04%
PROP. 12"X6" WYE

PROP. 12"X6" WYE

_PROP. 16 LF OF 6 [™]PVC @1.04%

12" SEWER MAIN PER

CITY OF MIAMI BEACH SANITARY ATLAS 6 OF 12

- PROPERTY LINE

PROP. C.O.

-PROP. 20"X4" TAPP.
SLEEVE AND VALVE

SSWR --- SSWR -

W/ 4" GATE VALVE

____ WM ___

PROP. 4" GATE VALVE

W/ FLUSH & FILL

PROP. 4" GATE VALVE-

W/ FLUSH & FILL

PROP. 2" WATER METER W/ RPZ

PROP. 2" WATER-METER W/ RPZ_{ND} PROP. 6" DDCV-

PROP. 4" PVC DOMESTIC— SERVICE. SEE MEP PLANS FOR CONTINUATION

PROP. 4" PVC DOMESTIC— SERVICE. SEE MEP PLANS FOR CONTINUATION

PROPERTY LINE — Curb Encr. 0.2

10' FP&L EASEMENT O.R. 28529, PG. 2169

Folio: 02-3233-022-0050
Owner:
FLORIDA POWER & LIGHT CO
ATTN PROPERTY TAX DEPT

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON BASED NGVD 1929.



ALTON ROAD ALTON OFFICE
HOLDINGS II, LLC. 920 **—**

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GENERAL NOTES FOR WATER AND SEWER CONSTRUCTION

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF MIAMI BEACH ENGINEERING DIVISION AND THE CITY OF MIAMI BEACH FIRE DEPARTMENT, AND SHALL CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS AVAILABLE AND ON FILE WITH THE CITY OF MIAMI BEACH ENGINEERING DIVISION. AS A MINIMUM REQUIREMENT, THE STANDARDS OF THE AWWA SHALL APPLY.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL LOCATIONS, DIMENSIONS, ELEVATIONS AND THE LOCATIONS OF ALL UNDERGROUND STRUCTURES AND UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE LOCATIONS SHOWN ON THE PLANS ARE NOT GUARANTEED ACCURATE OR CORRECT BY THE KNOWN UTILITY
- 3. THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES AND PLUGS IN ACCORDANCE WITH THE CITY OF MIAMI BEACH STANDARD DETAILS.
- 4. ALL FITTINGS AT REACTION POINTS SHALL BE FITTED WITH MEGALUG RETAINER GLANDS OR APPROVED EQUAL, MEETING THE CITY OF MIAMI BEACH REQUIREMENTS. ALL VALVES ARE TO BE RESTRAINED WITH RETAINER GLANDS.
- 5. PIPE INSTALLATION, CLEANING, FLUSHING, TESTING AND DISINFECTING, SHALL BE PERFOMED AS PER THE CITY OF MIAMI BEACH AND STATE OF FLORIDA DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES STANDARDS FOR THE INSTALLATION OF WATER MAINS FOR CUSTOMER DONATION PROJECTS.
- 6. THE CONTRACTOR IS RESPONSIBLE FOR THE COST OF INSPECTIONS FOR ANY CONSTRUCTION ACTIVITIES OCCURRING OUTSIDE NORMAL WORKING HOURS (8:00 A.M. TO 5:00 P.M.) SATURDAYS, SUNDAYS AND HOLIDAYS EXCLUDED. ARRANGEMENTS FOR INSPECTIONS OUTSIDE NORMAL WORKING HOURS MUST BE MADE A MINIMUM OF 48 HOURS IN ADVANCE OF THE CONSTRUCTION ACTIVITY.
- 7. CONTRACTOR TO PERFORM EXFILTRATION OR INFILTRATION TESTS TO TEST FOR LEAKAGE. ENGINEER OF RECORD SHALL BE PRESENT DURING TIME OF TEST. CONTRACTOR TO ENSURE REQUIRED STANDARDS ARE MET.
- 8. SURFACE RESTORATION, PAVEMENT REPLACEMENT, SIDEWALK REPLACEMENT, TRENCH BACKFILLING AND COMPACTION SHALL COMPLY WITH THE APPLICABLE CURRENT CITY OF MIAMI BEACH PUBLIC WORKS AND AASHTO STANDARDS.
- 9. WHERE FIELD CONDITIONS REQUIRE AS DETERMINED BY THE CITY OF MIAMI BEACH, THE WATER MAIN SHALL BE POLYETHYLENE ENCASED IN ACCORDANCE WITH AWWA C-105.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE CITY OF MIAMI BEACH WITH FLORIDA DEPARTMENT OF HEALTH LETTER OF CLEARANCE TO PLACE A PUBLIC DRINKING WATER FACILITY INTO SERVICE. THE CITY OF MIAMI BEACH INSPECTOR SHALL PROVIDE A SIGNED TEST REPORT CERTIFYING PRESSURE TEST RESULTS FOR OFF—SITE INSTALLATION. THE ENGINEER OF RECORD SHALL PROVIDE THE CITY OF MIAMI BEACH WITH A SIGNED AND SEALED PRESSURE TEST REPORT CERTIFYING PRESSURE TEST RESULTS FOR ON—SITE INSTALLATION ONLY. THE CONTRACTOR SHALL PROVIDE PASSING RESULTS FOR 2 BAC—T'S WITHIN 48 HOURS PER FDOH REQUIREMENTS
- 11. CONTRACTOR SHALL PROVIDE VIDEO OF EXISTING SANITARY SEWER ADJACENT TO THE PROPERTY PRIOR TO REMOVAL. IN ADDITION, CONTRACTOR SHALL PROVIDE VIDEO OF SANITARY SEWER ADJACENT TO THE PROPERTY AFTER REMOVAL.

REQUIREMENTS PER DEPARTMENT OF HEALTH

WATER MAIN HORIZONTAL SEPARATIONS:

- 1. SEPARATIONS SHALL BE MEASURED OUTSIDE EDGE TO OUTSIDE EDGE.
- 2. BETWEEN WATER MAINS, STORM SEWERS, STORMWATER FORCE MAINS OR RECLAIMED WATER LINES, <u>CLEARANCE SHALL</u> BE 3 FT. MINIMUM.
- 3. BETWEEN WATER MAINS AND VACUUM TYPE SEWER PREFERABLY 10 FT. AND AT LEAST 3 FT. MINIMUM.
- 4. GRAVITY OR PRESSURE SANITARY SEWERS, WASTEWATER FORCE MAINS OR RECLAIMED WATER PREFERABLY <u>10 FT. AND AT LEAST 6 FT.</u> MAY <u>BE REDUCED TO 3 FT.</u> WHERE <u>BOTTOM</u> OF WATER MAIN IS AT <u>LEAST 6 INCHES ABOVE TOP OF SEWER.</u>
- 5. <u>10 FT. SEPARATION REQUIRED FROM ANY PART</u>OF ON-SITE SEWER TREATMENT OR DISPOSAL SYSTEM.

WATER MAIN VERTICAL SEPARATIONS:

- 1. SEPARATIONS BETWEEN WATER MAINS AND GRAVITY SEWER, VACUUM TYPE SEWER, OR STORM SEWERS, TO BE PREFERABLY 12 INCHES, OR AT LEAST 6 INCHES ABOVE, OR AT LEAST 12 INCHES IF BELOW.*
- 2. PRESSURE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR RECLAIMED WATER, AT <u>LEAST 12</u>
- * NOTE: CENTER 1 FULL LENGTH OF WATER MAIN PIPE AT CROSSINGS; ALTERNATIVELY ARRANGE PIPES SO JOINTS ARE AT LEAST 3 FEET FROM JOINTS IN VACUUM, STORM OR STORM FORCE MAINS. AT LEAST 6 FEET FROM JOINTS IN GRAVITY OF PRESSURE SEWERS, WASTEWATER FORCE MAINS OR RECLAIMED WATER.

TRENCH PROTECTION

TRENCH EXCAVATION PROTECTION SHALL BE ACCOMPLISHED AS REQUIRED BY THE PROVISIONS OF, PART 1926, SUBPART P, EXCAVATIONS, TRENCHING AND SHORING OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIONS STANDARDS

DRER (FORMERLY DERM) NOTES ON WATER-SEWER INSTALLATION

- 1. A HORIZONTAL DISTANCE OF AT LEAST 6 FEET, AND PREFERABLY 10 FEET (OUTSIDE TO OUTSIDE), SHALL BE MAINTAINED BETWEEN GRAVITY OR PRESSURE SEWER PIPES AND WATER PIPES. THE MINIMUM HORIZONTAL SEPARATION CAN BE REDUCED TO 3 FEET FOR VACUUM—TYPE SEWERS OR FOR GRAVITY SEWERS WHERE THE TOP OF THE SEWER PIPE IS AT LEAST 6 INCHES BELOW THE BOTTOM OF THE WATER PIPE. WHEN THE ABOVE SPECIFIED HORIZONTAL DISTANCE CRITERIA CANNOT BE MET DUE TO AN EXISTING UNDERGROUND FACILITY CONFLICT, SMALLER SEPARATIONS ARE ALLOWED IF ONE OF THE FOLLOWINGS IS MET:
- a. THE SEWER PIPES ARE DESIGNED AND CONSTRUCTED EQUAL TO THE WATER PIPE AND PRESSURE TESTED AT 150 PSI.
- b. THE SEWER IS ENCASED IN A WATERTIGHT CARRIER PIPE OR CONCRETE.
 c. THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER PIPE.
- 2. A VERTICAL DISTANCE OF AT LEAST 12 INCHES (OUTSIDE TO OUTSIDE) SHALL BE MAINTAINED BETWEEN ANY WATER AND SEWER MAINS WITH SEWER PIPES PREFERABLY CROSSING UNDER WATER MAINS. THE MINIMUM VERTICAL SEPARATION CAN BE REDUCED TO 6 INCHES FOR VACUUM—TYPE SEWERS OR FOR GRAVITY SEWERS WHERE THE SEWER PIPE IS BELOW THE WATER MAIN. THE CROSSING SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST 6 FEET FROM ALL JOINTS IN GRAVITY AND PRESSURE SEWER PIPES. THE DISTANCE CAN BE REDUCED TO 3 FEET FOR VACUUM—TYPE SEWERS. WHEN THE ABOVE SPECIFIED VERTICAL DISTANCE CRITERIA CANNOT BE MET DUE TO AN EXISTING UNDERGROUND FACILITY CONFLICT, SMALLER SEPARATIONS ARE ALLOWED IF ONE OF THE FOLLOWING IS MET:
 - a. THE SEWER PIPES ARE DESIGNED AND CONSTRUCTED EQUAL TO THE WATER PIPE AND PRESSURE TESTED AT 150 PSI.
 b. THE SEWER IS ENCASED IN A WATERTIGHT CARRIER PIPE OR CONCRETE.
- 3. AIR RELEASE VALVES SHALL BE PROVIDED AT HIGH POINTS OF NEW FORCE MAIN SANITARY SEWER.
- 4. GRAVITY SANITARY SEWERS CONSTRUCTED WITHIN A PUBLIC WELLFIELD PROTECTION AREA SHALL BE C-900 PVC OR DUCTILE IRON PIPE. THE MAXIMUM ALLOWABLE EXFILTRATION RATE OF GRAVITY SEWERS CONSTRUCTED IN A PUBLIC WELLFIELD PROTECTION AREA SHALL BE:
- a. Residential Land Uses. Fifty (50) GALLONS PER INCH PIPE DIAMETER PER MILE PER DAY, BASED ON A MINIMUM TWO (2) HOUR TEST HAVING A MINIMUM OF TWO (2) FEET OF POSITIVE HEAD ABOVE THE CROWN OF THE PIPE.
 b. NON-RESIDENTIAL LAND USE. TWENTY (20) GALLONS PER INCH PIPE DIAMETER PER MILE PER DAY, BASED ON A MINIMUM TWO (2) HOUR TEST HAVING A MINIMUM OF TWO (2) FEET OF POSITIVE HEAD ABOVE THE CROWN OF THE
- c. ANY OBSERVE LEAKS OR ANY OBVIOUSLY DEFECTIVE JOINTS OR PIPES SHALL BE REPLACED EVEN WHEN THE TOTAL LEAKAGE IS BELOW THAT ALLOWED.
- 5. THE MAXIMUM ALLOWABLE EXFILTRATION RATE OF GRAVITY SANITARY SEWERS CONSTRUCTED IN A PUBLIC WELLFIELD PROTECTION AREA SHALL BE ONE HUNDRED (100) GALLONS PER INCH PIPE DIAMETER PER MILE PER DAY, BASED ON A MINIMUM TWO (2) HOURS TEST HAVING A MINIMUM OF TWO (2) FEET OF POSITIVE HEAD ABOVE THE CROWN OF THE PIPE. ANY OBSERVED LEAKS OR ANY OBVIOUSLY DEFECTIVE JOINTS OR PIPES SHALL BE REPLACED EVEN WHEN THE TOTAL LEAKAGE IS BELOW THAT ALLOWED.
- 6. FORCE MAIN SEWERS CONSTRUCTED WITHIN A PUBLIC WELLFIELD PROTECTION AREA SHALL BE DUCTILE IRON, C-900 PVC, HDPE OR REINFORCED CONCRETE PRESSURE SEWER PIPES.
- 7. THE MAXIMUM ALLOWABLE EXFILTRATION TRENCH/LEAKAGE RATE OF FORCEMAIN SANITARY SEWER SHALL BE:
- a. DUCTILE IRON, C-900 PVC, HDPE AND PVC PIPE. THE ALLOWABLE LEAKAGE RATE SPECIFIED IN AMERICAN WATER WORKS ASSOCIATION STANDARD (AWWAS) C600-82 AT A TEST PRESSURE OF 100 PSI FOR A DURATION OF NOT LESS THAN TWO (2) HOURS.
- b. REINFORCED CONCRETE PRESSURE PIPE. HALF $(\frac{1}{2})$ THE ALLOWED LEAKAGE RATE SPECIFIED IN AWWA C600-82 AT A TEST PRESSURE OF 100 PSI FOR A DURATION OF NOT LESS THAT TWO (2) HOURS.
- c. ANY OBSERVED LEAKS OR ANY OBVIOUSLY DEFECTIVE JOINTS OR PIPES SHALL BE REPLACED EVEN WHEN THE TOTAL LEAKAGE IS BELOW THAT ALLOWED.
- 8. THE CONTRACTOR SHALL VERIFY NATURE, DEPTH, AND CHARACTER OF EXISTING UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
- 9. IN NO CASE SHALL A CONTRACTOR INSTALL UTILITY PIPES, CONDUITS, CABLES ETC. IN THE SAME TRENCH ABOVE AN EXISTING WATER OR SEWER PIPE EXCEPT WHERE THEY CROSS.
- 10. IF ANY AREA OF THE WORK SITE IS FOUND TO CONTAIN BURIED SOLID WASTE AND/OR GROUND OR GROUND WATER CONTAMINATION. THE FOLLOWING SHALL APPLY:
- a. ALL WORK IN THE AREA SHALL FOLLOW ALL APPLICABLE SAFETY REQUIREMENTS (E.G., OSHA, ETC.) AND NOTIFICATION MUST BE PROVIDED TO THE APPROPRIATE AGENCIES.
- b. IMMEDIATELY NOTIFY THE ENVIRONMENTAL MONITORING AND RESTORATION DIVISION (EMRD). THE EMRD CAN BE CONTACTED AT (305) 372-6700.
- c. OF CONTAMINATED SOILS AND/OR BURIED SOLID WASTE MATERIAL IS EXCAVATED DURING CONSTRUCTION, THEN THEY REQUIRE PROPER HANDLING AND DISPOSAL IN ACCORDANCE WITH THE LOCAL, STATE AND FEDERAL REGULATIONS. BE ADVISED THAT THE LANDFILL OWNER/OPERATOR IS THE FINAL AUTHORITY ON DISPOSAL AND MAY HAVE REQUIREMENTS BEYOND THOSE PROVIDED BY HEREIN. IF DISPOSAL WITHIN A MIMAI—DADE COUNTY OWNED LANDFILL (CLASS I LANDFILL) IS APPROPRIATE AND SELECTED, PLEASE CONTACT THE MIAMI—DADE COUNTY DEPARTMENT OF SOLID WASTE MANAGEMENT AT (305)594—6666 FOR INFORMATION.
- d. THE REUSE OF CONTAMINATED SOI; S THAT ARE NOT RETURNED TO THE ORIGINAL EXCAVATION REQUIRES PRIOR APPROVAL OF A SOIL MANAGEMENT PLAN FROM THE ENVIRONMENTAL MONITORING AND RESTORATION DIVISION. THE EMRD CAN BE CONTACTED AT (305) 372-6700.
- 11. THE PUMP MUST COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC) REQUIREMENTS FOR CLASS I, GROUP D, DIVISION 1 LOCATIONS (EXPLOSION PROOF).
- 12. THE CONTRACTOR IS ADVISED THAT A TREE REMOVAL/RELOCATION PERMIT MAY BE REQUIRED PRIOR TO THE REMOVAL AND/OR RELOCATION OF TREE RESOURCES. PRIOR TO REMOVING OR RELOCATING ANY TREES, THE CONTRACTOR SHALL NOTIFY THE TREE AND FOREST RESOURCES SECTION OF DERM AT (305) 372-6574 OR VIA E-MAIL AT: TFRS@MIAMIDADE.GOV, OR CONTACT THE MUNICIPALITY WITH TREE ORDINANCE JURISDICTION TO OBTAIN ANY REQUIRED PERMITS. THOSE TREES NOT INTERFERING WITH THE CONSTRUCTION SHALL BE PROTECTED IN PLACE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 24-49.5 OF THE MIAMI-DADE CODE.
- 13. PLEASE NOTE THAT DEMOLITION, REMOVAL AND/PR DISTURBANCE OF EXISTING UNDERGROUND UTILITIES THAT CONTAIN ASBESTOS—CEMENT PIPES (ACP) ARE SUBJECT TO THE PROVISIONS OF 40 CFR—61 SUBPART M. THEREFORE, PURSUANT TO THE PROVISIONS OF 40 BFR—61—145, A NOTICE OF DEMOLITION OR ASBESTOS RENOVATION FORM MUST BE FILLED WITH THE AIR QUALITY MANAGEMENT DIVISION (AQMD) OF DERM, AT LEAST TEN (10) WORKING DAYS PRIOR THE STARTING OF ANY WORK. NOTE THAT THE BACKFILLING AND BURIAL OF CRUSHED ACP WOULD CAUSE THESE LOCATIONS TO BE CONSIDERED ACTIVE OPERATING PROCEDURES, AS WELL AS APPLICABLE FEDERAL, STATE AND LOCAL REGULATORY CRITERIA, MUST BE FOLLOWED AND IMPLEMENTED TO MINIMIZE ANY POTENTIAL RELEASE OF FUGITIVE EMISSIONS, ESPECIALLY DURING PROJECT CONSTRUCTION ACTIVITIES. THE AQMD CAN BE CONTACTED VIA EMAIL AT ASBESTOS@MIMAIDADE.GOV OR (305) 372—6925.

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THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

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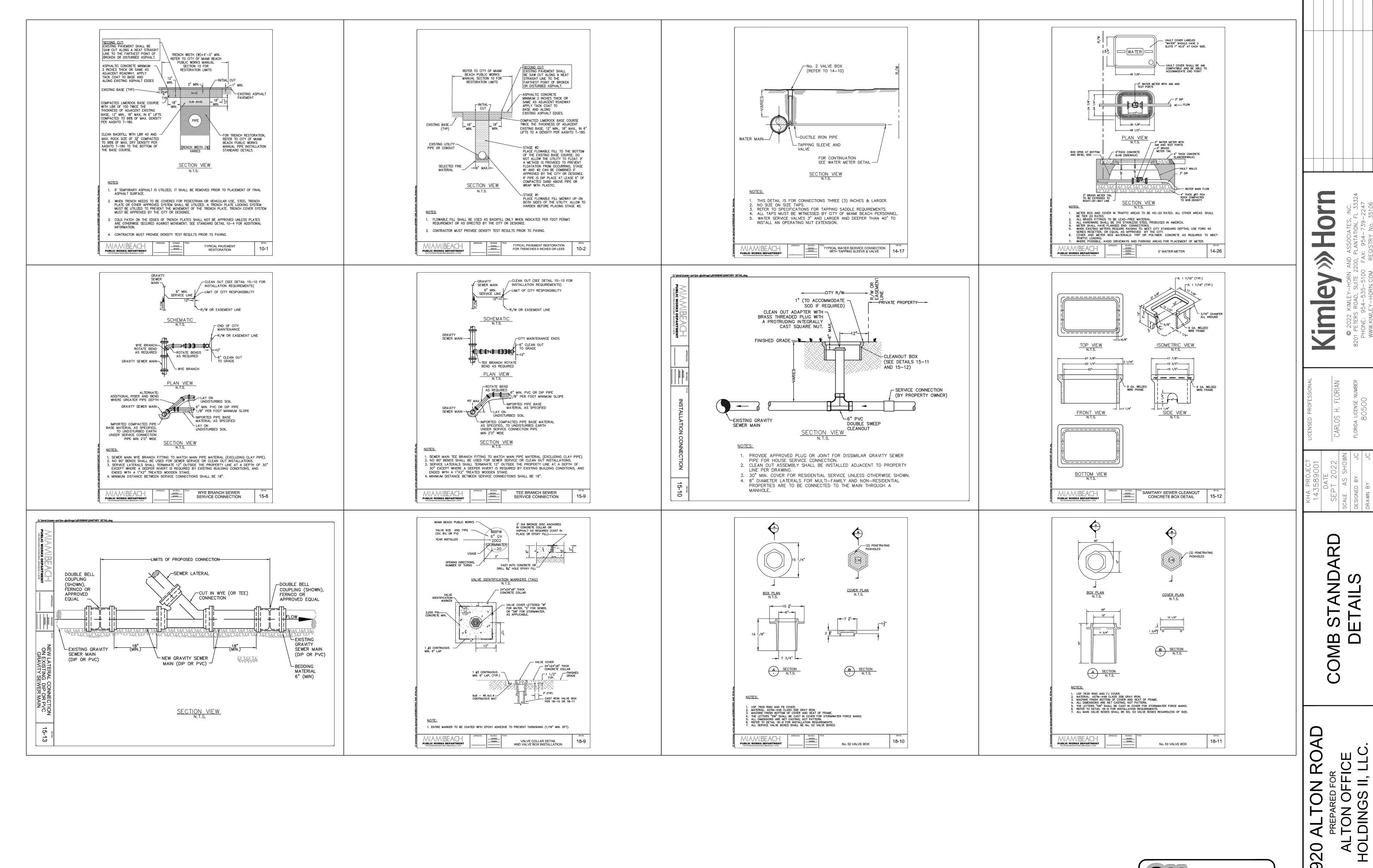
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SHEET NUMBER C602

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