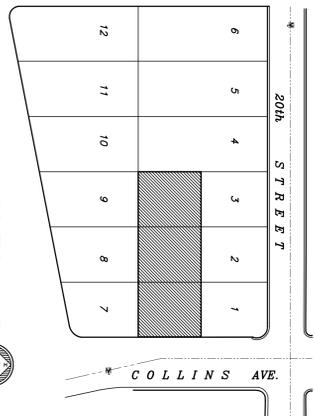


SITE ANALYSIS

LOT AREA	8,625 S.F.
ZONING	CO-2
EXISTING BUILDING HEIGHT	26'-0"
REQUIRED	PROVIDED
SETBACKS	
FRONT	0'-0" (EXIST.)
REAR	5'-0" (EXIST.)
SIDE INT.	0'-0" (EXIST.)

SCHEDULE OF AREAS

FLOOR AREA RATIO	EXISTING	GROUND	SECOND LEVEL	TOTAL
	5,889.25 SF	2,517.24 SF	8,376.49 SF	



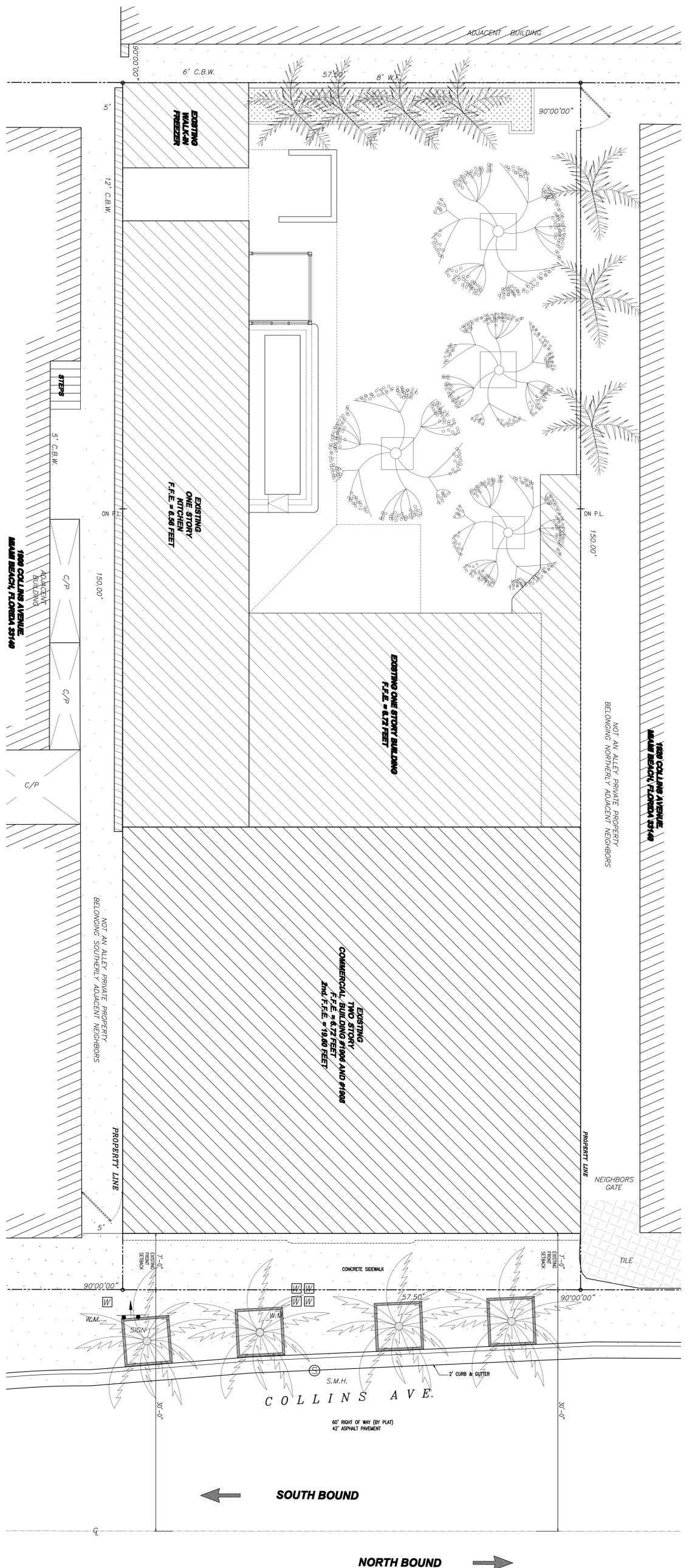
LOCATION MAP
NTS.

LEGAL DESCRIPTION

THE NORTH 57'-1/2 FEET OF THE SOUTH 62'-1/2 FEET OF LOTS 1, 2 & 3, BLOCK D OF AMERICO MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT COMPANY SUBDIVISION ACCORDING TO THE MAP RECORDED IN PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

LIST OF DRAWINGS

- SURVEY**
- ARCHITECTURAL
 - EX-1 EXISTING SITE PLAN
 - EX-2 EXISTING GROUND FLOOR
 - EX-3 EXISTING SECOND FLOOR
 - EX-4 EXISTING ELEVATIONS FLOOR
 - D-1 DEMOLITION SECOND FLOOR
 - D-2 DEMOLITION SECOND FLOOR
 - D-3 DEMOLITION ELEVATIONS
 - A-1 PROPOSED SITE PLAN
 - A-2 PROPOSED FLOOR PLAN & OCCUPANCY
 - A-3 PROPOSED SECOND FLOOR
 - A-4 PROPOSED ELEVATION



CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ALL CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES BECOME OR CONDITIONS SHOULD BE DISCOVERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY WORK IS STARTED SO THAT PROPER CORRECTIVE MEASURES CAN BE TAKEN. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

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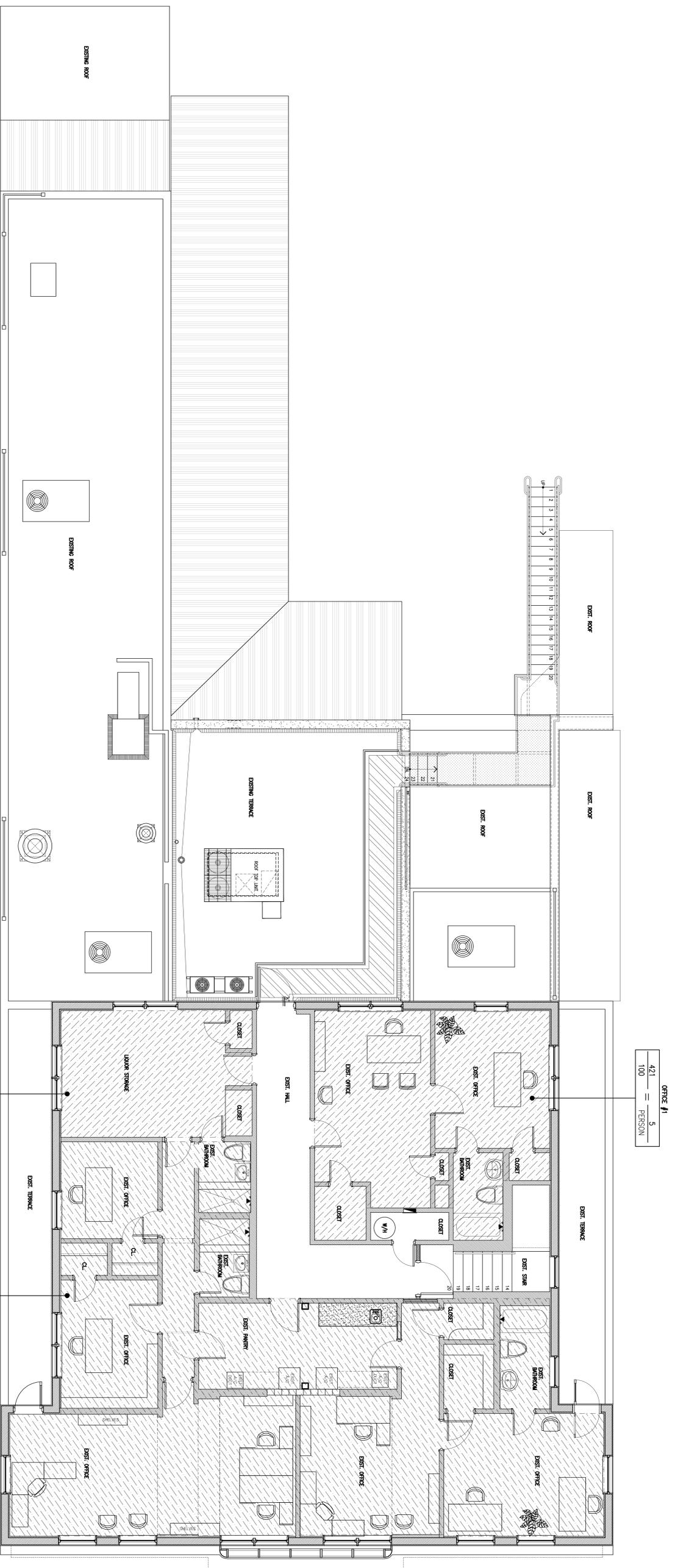
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 Lillian R. Paz
SCALE
 AS SHOWN
DATE
 01-23-12

PROJECT NUMBER
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A-1
 OF
4

PROPOSED SITE PLAN
 SCALE 3/16" = 1'-0"

ISSUED FOR PERMIT
 ISSUED FOR CONSTRUCTION



- LEGEND**
- NEW CONC. COL.
 - DOOR NUMBER
 - EXISTING MASONRY WALL
 - EXISTING PARTITION
 - NON RATED PARTITION
 - NEW 5" MASONRY WALL TO 4' ABOVE FINISHED O.G. W/ SOUND INSULATION
 - ROOM NUMBER
 - PARTITION TYPE
 - SECTION MARK

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PROPOSED SECOND FLOOR
SCALE: 1/4" = 1'-0"

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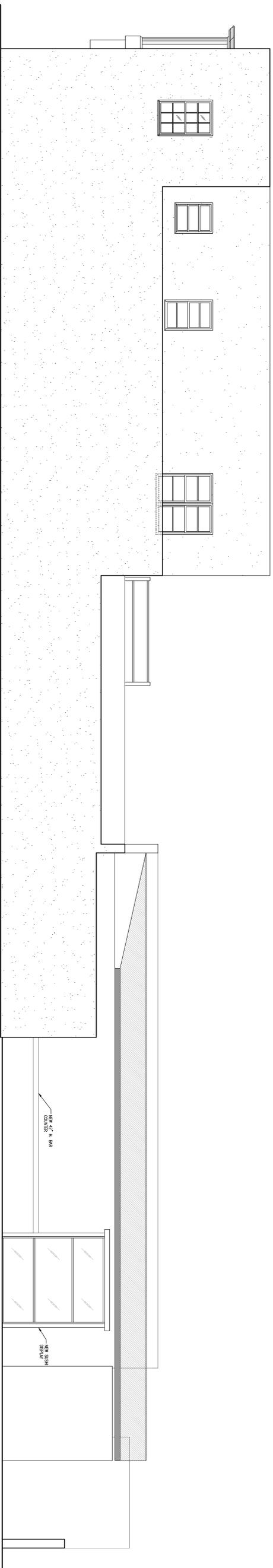
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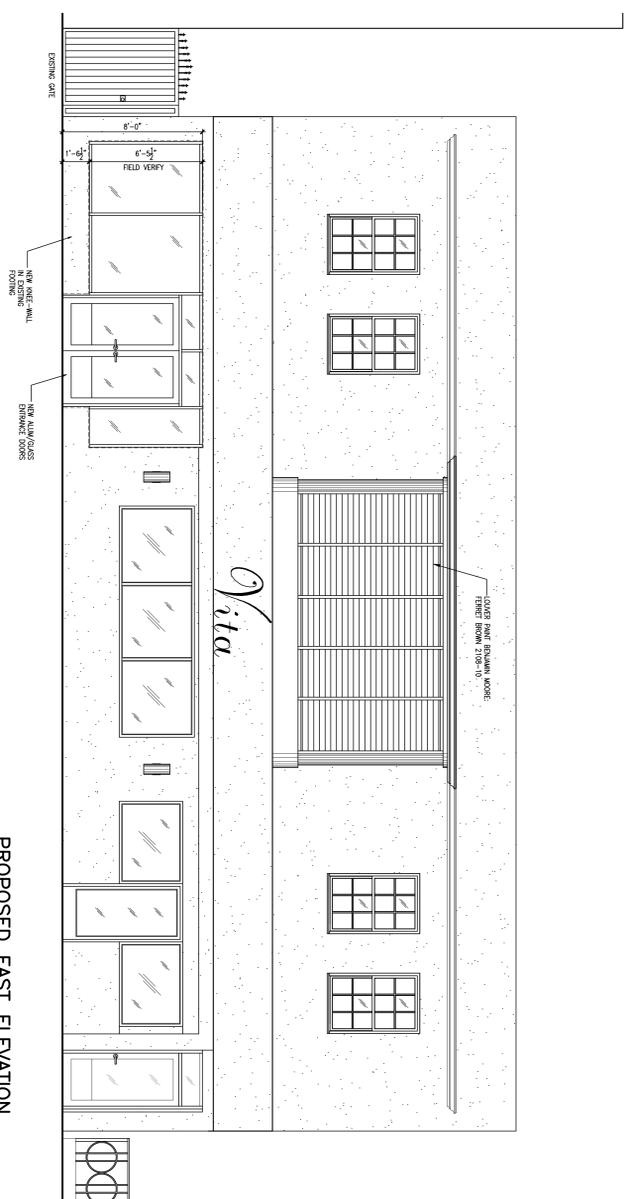
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A-3
OF
4



PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

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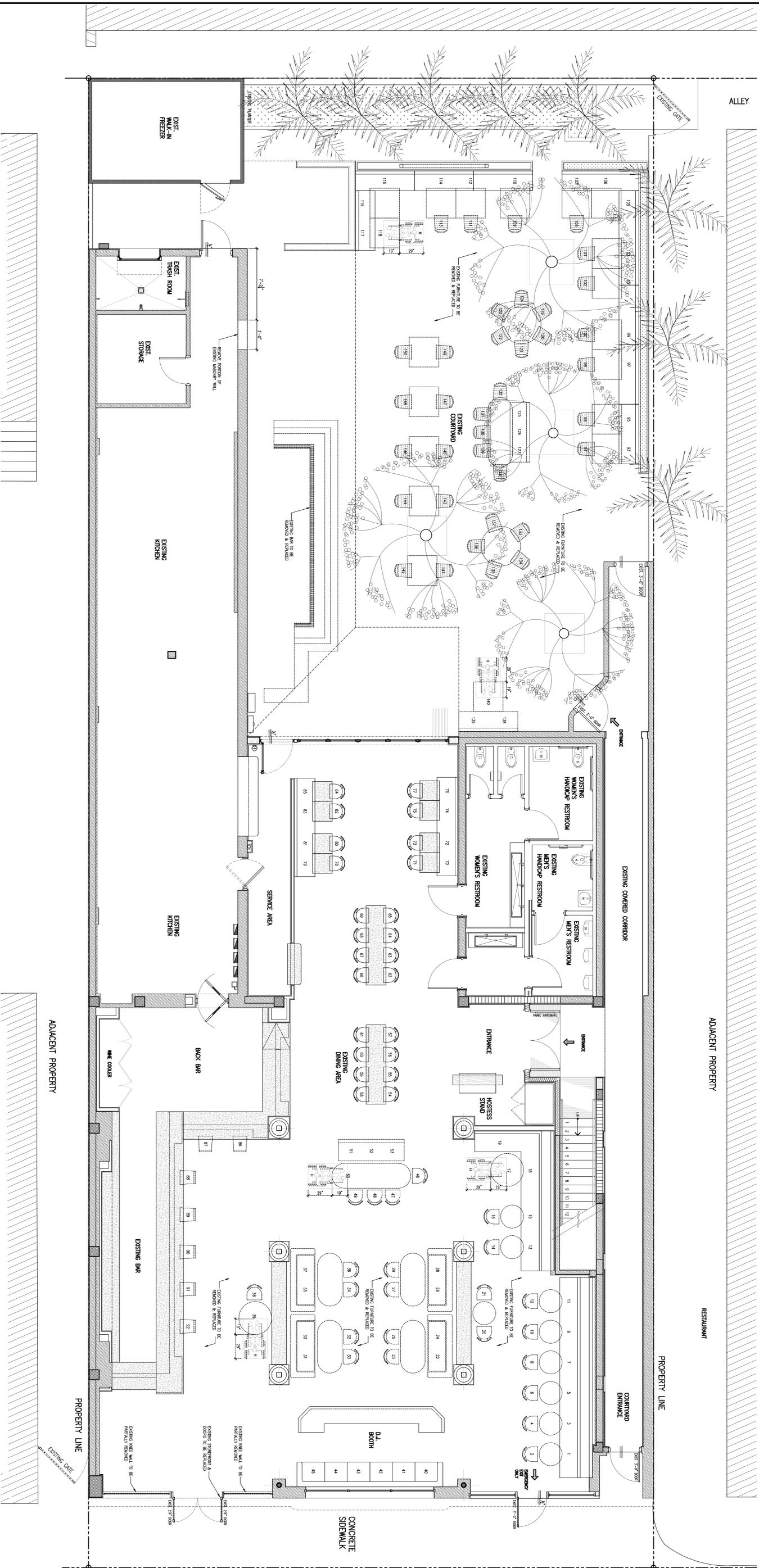
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A-4
OF
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DEMOLITION GROUND FLOOR
SCALE: 1/4" = 1'-0"

- LEGEND**
- EXISTING WALL
 - EXISTING CONC. COLUMN
 - EXISTING MASONRY WALL TO BE REMOVED
 - EXISTING STOREFRONT TO BE REMOVED
 - EXIST. FURNITURE TO BE REMOVED

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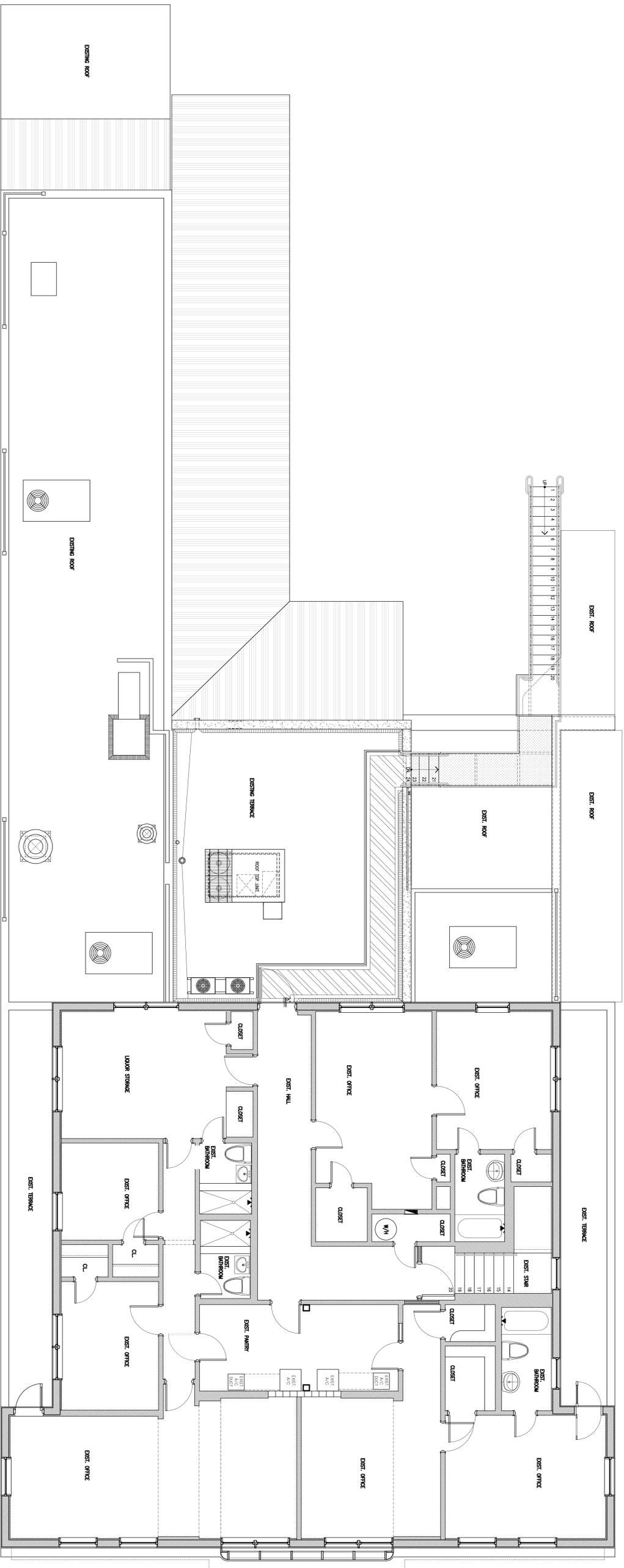
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D-1
OF
3

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NO DEMOLITION WORK REQUIRED

DEMOLITION SECOND FLOOR
SCALE: 1/4" = 1'-0"

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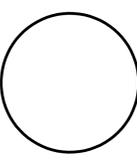
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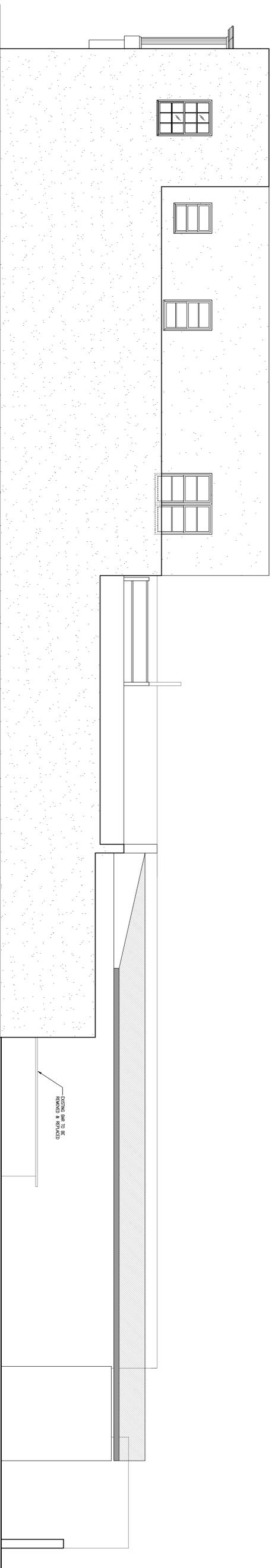
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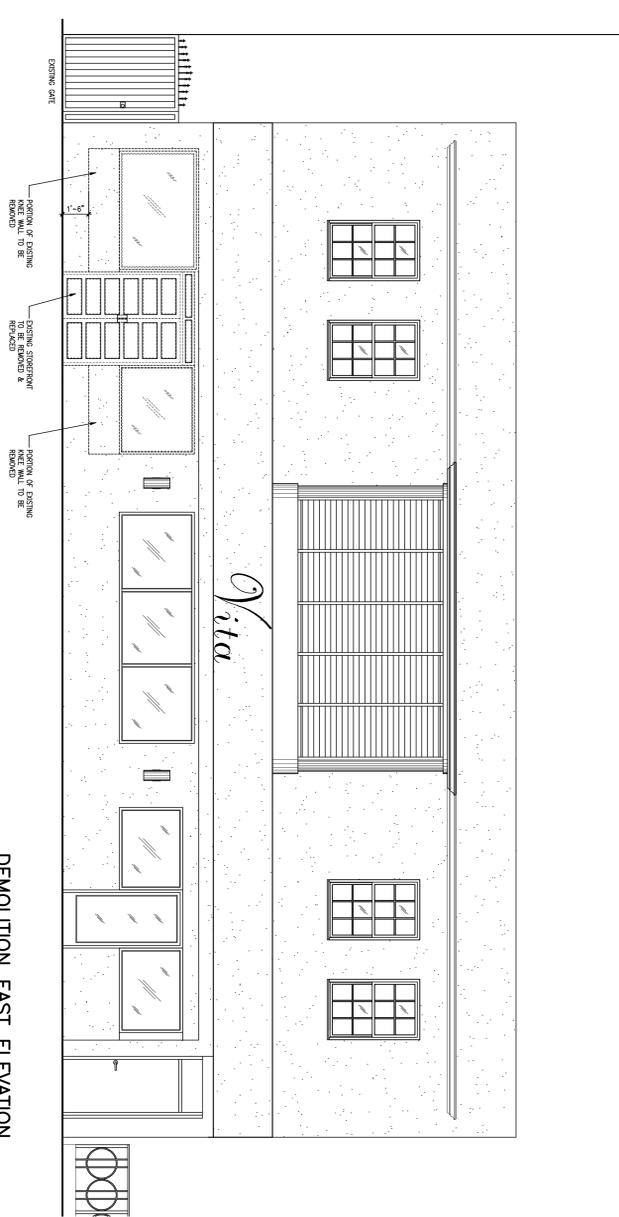
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ISSUED FOR CONSTRUCTION

D-2
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3





DEMOLITION NORTH ELEVATION
SCALE: 1/4" = 1'-0"



DEMOLITION EAST ELEVATION
SCALE: 1/4" = 1'-0"

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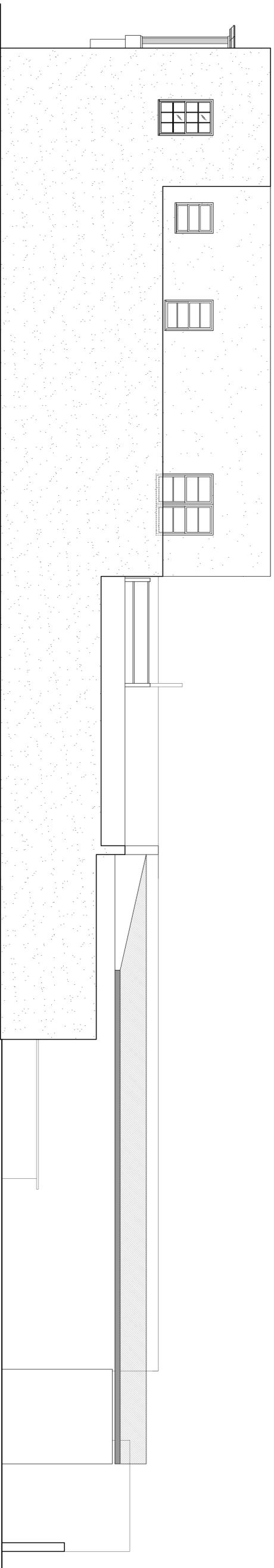
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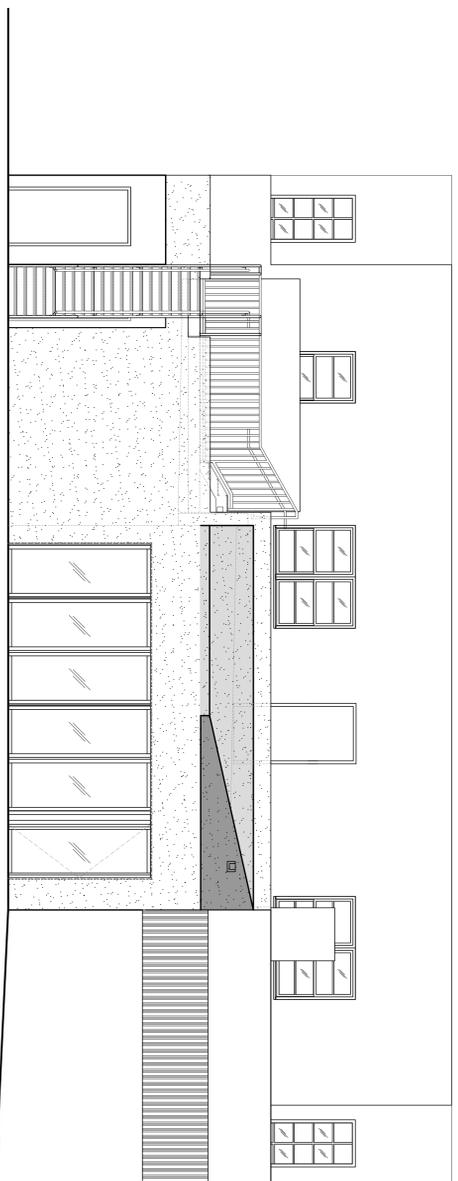
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ISSUED FOR CONSTRUCTION _____



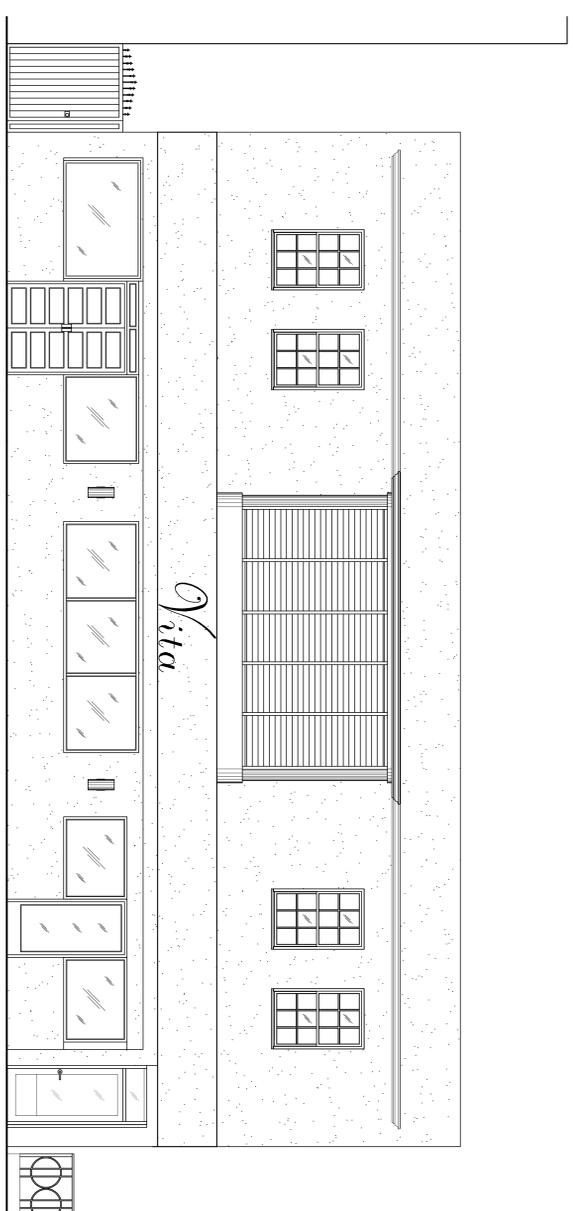
EXISTING NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING EAST ELEVATION

SCALE: 1/4" = 1'-0"

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