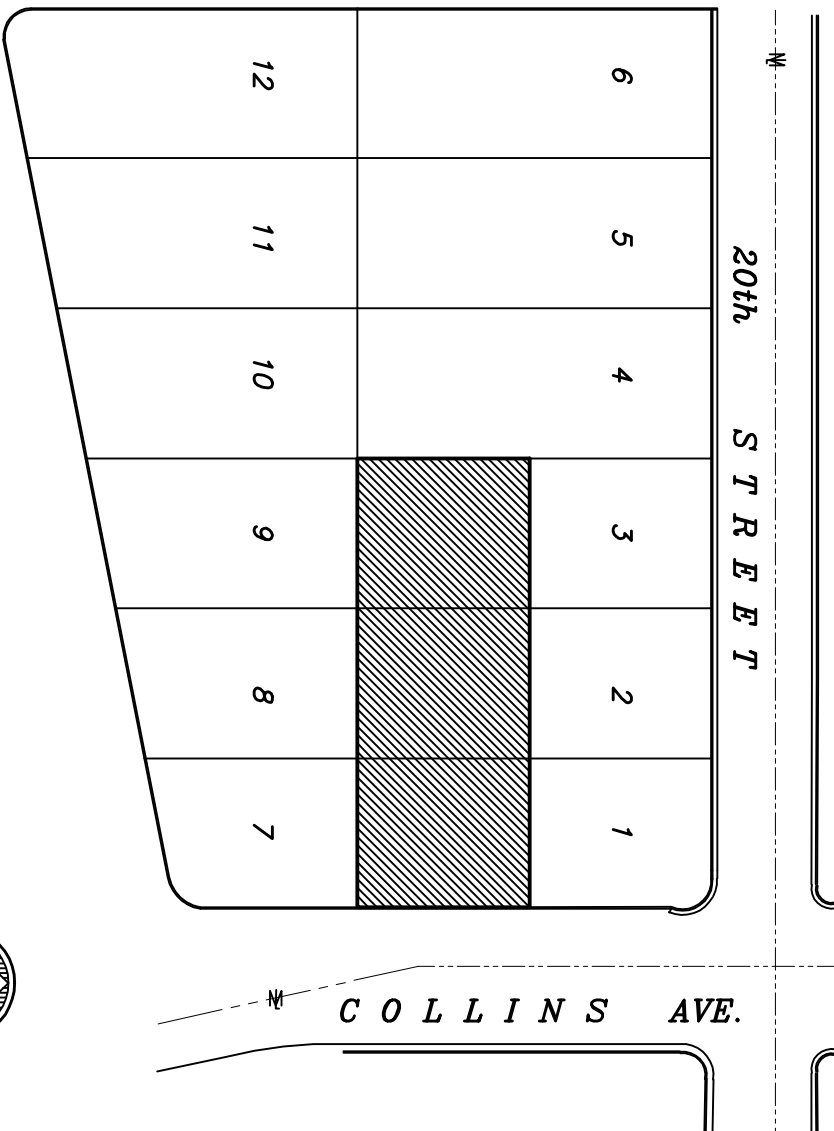


SITE ANALYSIS

LOT AREA	8,625 S.F.
ZONING	CD-2
EXISTING BUILDING HEIGHT	26'-0"
REQUIRED	PROVIDED
SETBACKS	
FRONT	0'-0" (EXIST.)
REAR	5'-0" (EXIST.)
SIDE INT.	0'-0" (EXIST.)

SCHEDULE OF AREAS

FLOOR AREA RATIO	
EXISTING	5,859.25 SF
GROUND	2,517.24 SF
SECOND LEVEL	8,376.49 SF
TOTAL	



LOCATION MAP  
NTS.

LEGAL DESCRIPTION

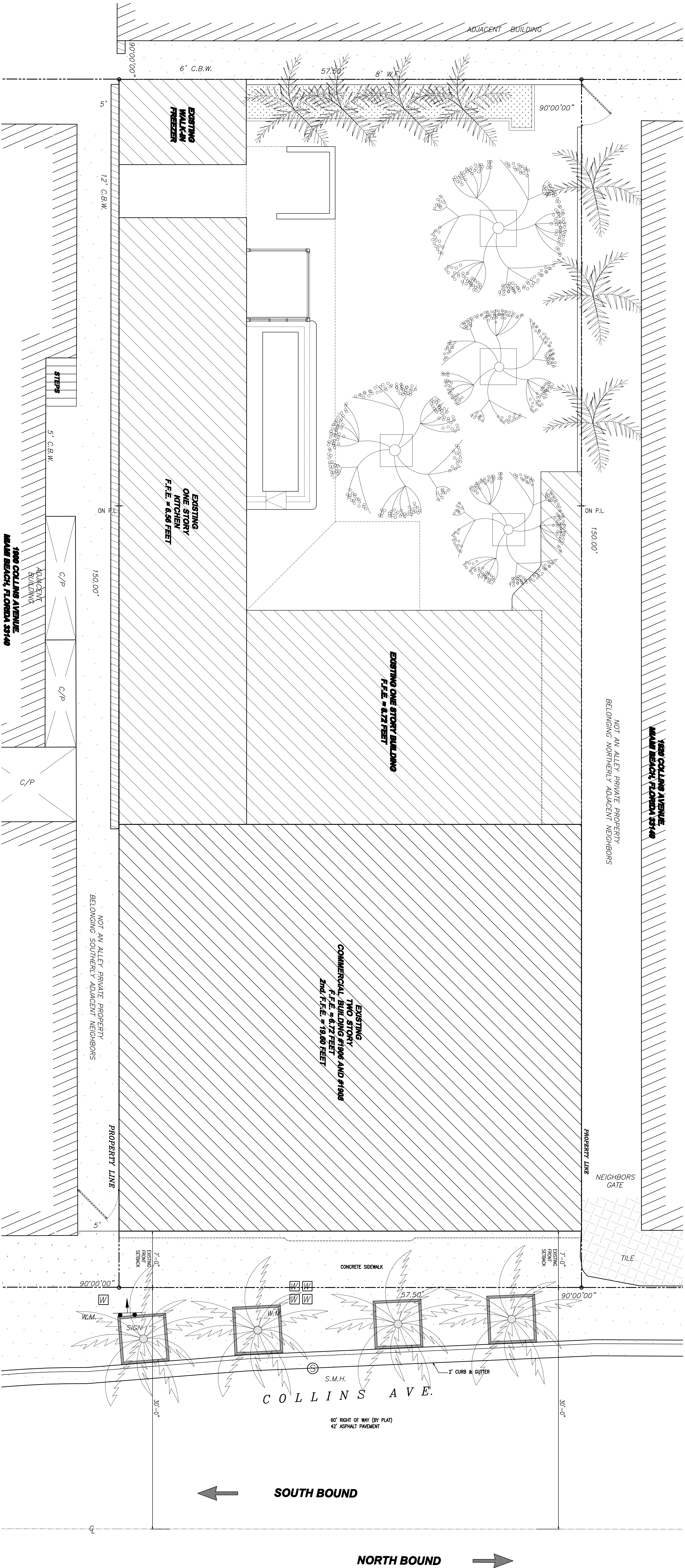
THE NORTH 57'-1/2 FEET OF THE SOUTH 62'-1/2 FEET OF LOTS 1, 2 & 3, BLOCK D OF AMENDED MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT COMPANY, SUBDIVISION ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT 7 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

LIST OF DRAWINGS

SURVEY

ARCHITECTURAL

- EX-1 EXISTING SITE PLAN
- EX-2 EXISTING SECOND FLOOR
- EX-3 EXISTING ELEVATIONS
- EX-4 EXISTING ELEVATIONS
- D-1 DEMOLITION SECOND FLOOR
- D-2 DEMOLITION ELEVATIONS
- A-1 PROPOSED SITE PLAN
- A-2 PROPOSED FIRST FLOOR
- A-3 PROPOSED SECOND FLOOR
- A-4 PROPOSED ELEVATION



PROPOSED SITE PLAN

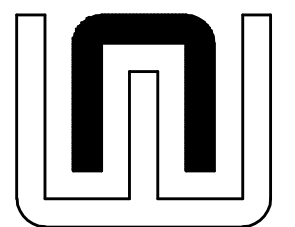


SCALE: 3/16" = 1'-0"

ISSUED FOR PERMIT \_\_\_\_\_

ISSUED FOR CONSTRUCTION \_\_\_\_\_

RENOVATION TO EXIST. RESTAURANT:  
**1908 COLLINS LLC.**  
1906-1912 COLLINS AVE. MIAMI BEACH, FL. 33139



CHARLES H. BENSON & ASSOCIATES ARCHITECTS, P.A.  
architect planner interiors  
1665 WASHINGTON AVE. 2nd. FLOOR, MIAMI BEACH, FLORIDA 33139  
ARCHITECTURE LICENSE # ARI14022 NCARB CERTIFICATE # 42.136

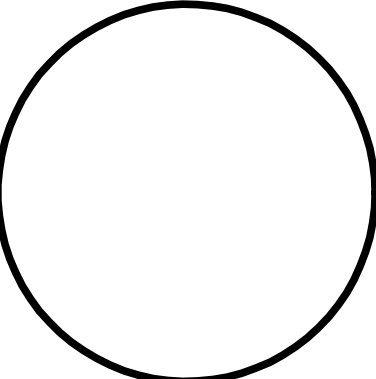
DRAWN BY  
Lillian R. Paz

SCALE  
AS SHOWN

DATE  
01-23-12

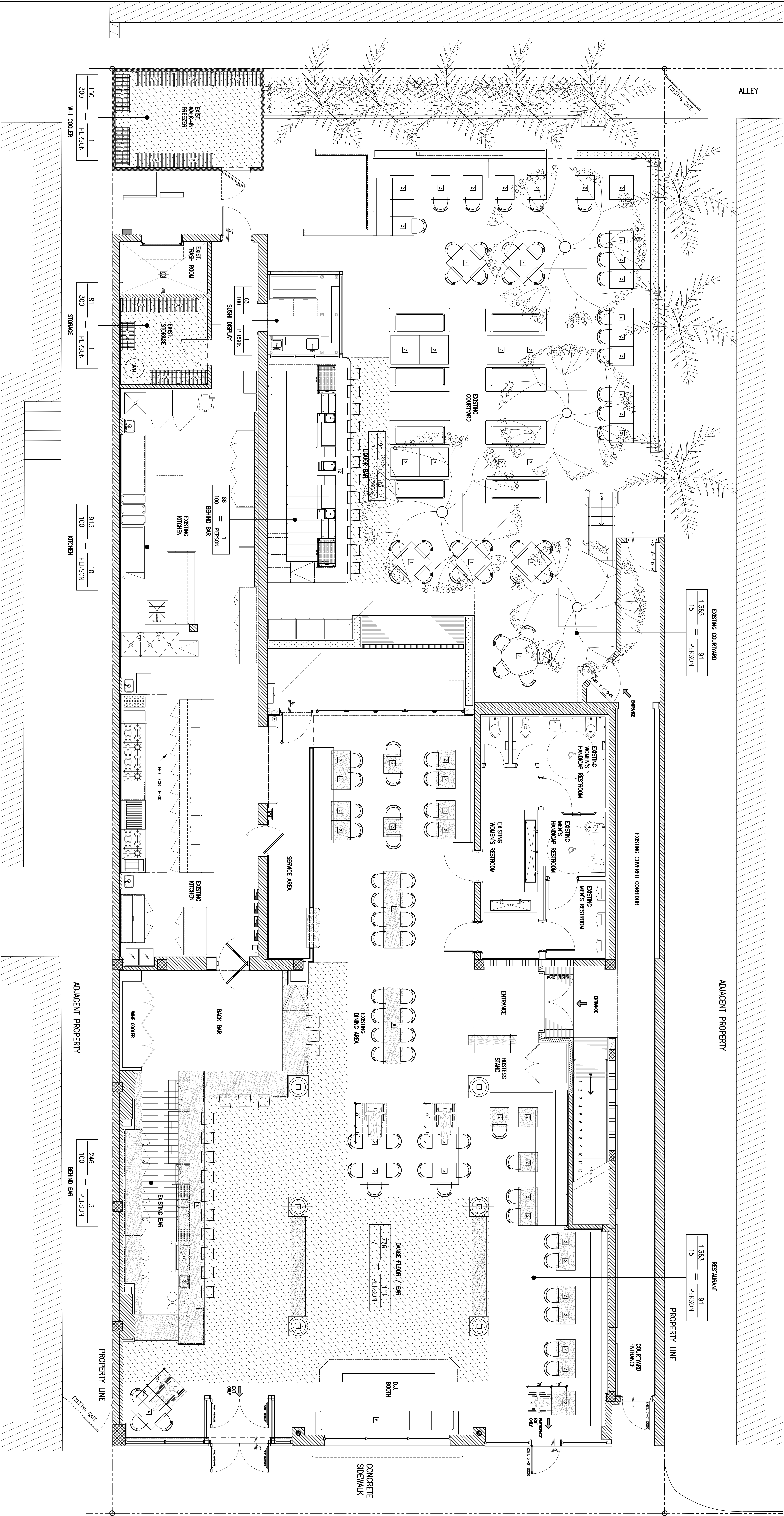
PROJECT NUMBER  
**21001-1**

**A-1**  
OF  
**4**



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CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ALL CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES BEFORE OR DURING SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY. THE ARCHITECT SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES BEFORE OR DURING.



LEGEND			
	EXISTING MASONRY WALL		NEW CONC. COL.
	EXISTING PARTITION		DOOR NUMBER
	NON RATED PARTITION		ROOM NUMBER
	NEW 2" MASONRY WALL TO 4" ABOVE FINISHED C.G.		PARTITION TYPE
	1 HR. RATED PARTITION W/ SOUND INSULATION		SECTION MARK

OCCUPANT LOAD FACTOR TABLE 7.3.1.2 NFPA			
GROUP A-2: SMALL ASSEMBLY USE	AREA S.F.	AREA PER OCCUPANT	TOTAL
FIRST FLOOR			
BAR	1,350	1 person/15 s.f.	90
BEHIND BAR	246	1 person/100 s.f.	2
W/ COOLER/FREEZER	150	1 person/100 s.f.	1
STORAGE	81	1 person/200 s.f.	1
BEHIND BAR COVERED	88	1 person/100 s.f.	1
SECOND FLOOR			
OFFICE	1,350	1 person/100 s.f.	10
LOBBY/STORAGE	211	1 person/200 s.f.	1
TOTAL			113

OCCUPANT LOAD BASED ON TABLE NFPA 1003.1			
ASSEMBLY OCCUPANCY GROUP A-2	AREA S.F.	AREA PER OCCUPANT	TOTAL
FIRST FLOOR			
INSIDE DINING	1,350	1 person/15 s.f.	90
BAR	246	1 person/100 s.f.	2
BEHIND BAR	150	1 person/100 s.f.	1
STORAGE	81	1 person/200 s.f.	1
BEHIND BAR COVERED	88	1 person/100 s.f.	1
SECOND FLOOR			
OFFICE	1,350	1 person/100 s.f.	10
LOBBY/STORAGE	211	1 person/200 s.f.	1
TOTAL DINING			113

PROPOSED FURNITURE PLAN & OCCUPANCY			
SCALE: 1/4" = 1'-0"			
ISSUED FOR PERMIT _____			
ISSUED FOR BIDDING _____			
ISSUED FOR CONSTRUCTION _____			

These drawings and notes, hereinafter referred to as the "contract documents," are the property of the architect and shall remain his or her property. They are to be used only for the project and site named herein. If they are used for any other project, the architect shall be notified in writing. If they are used for any other project without the written consent of the architect, the user thereof is using them at his or her own risk. If this drawing or any part thereof is used in any manner without the consent of the architect, the user thereof shall be held responsible for any discrepancies, errors or omissions.

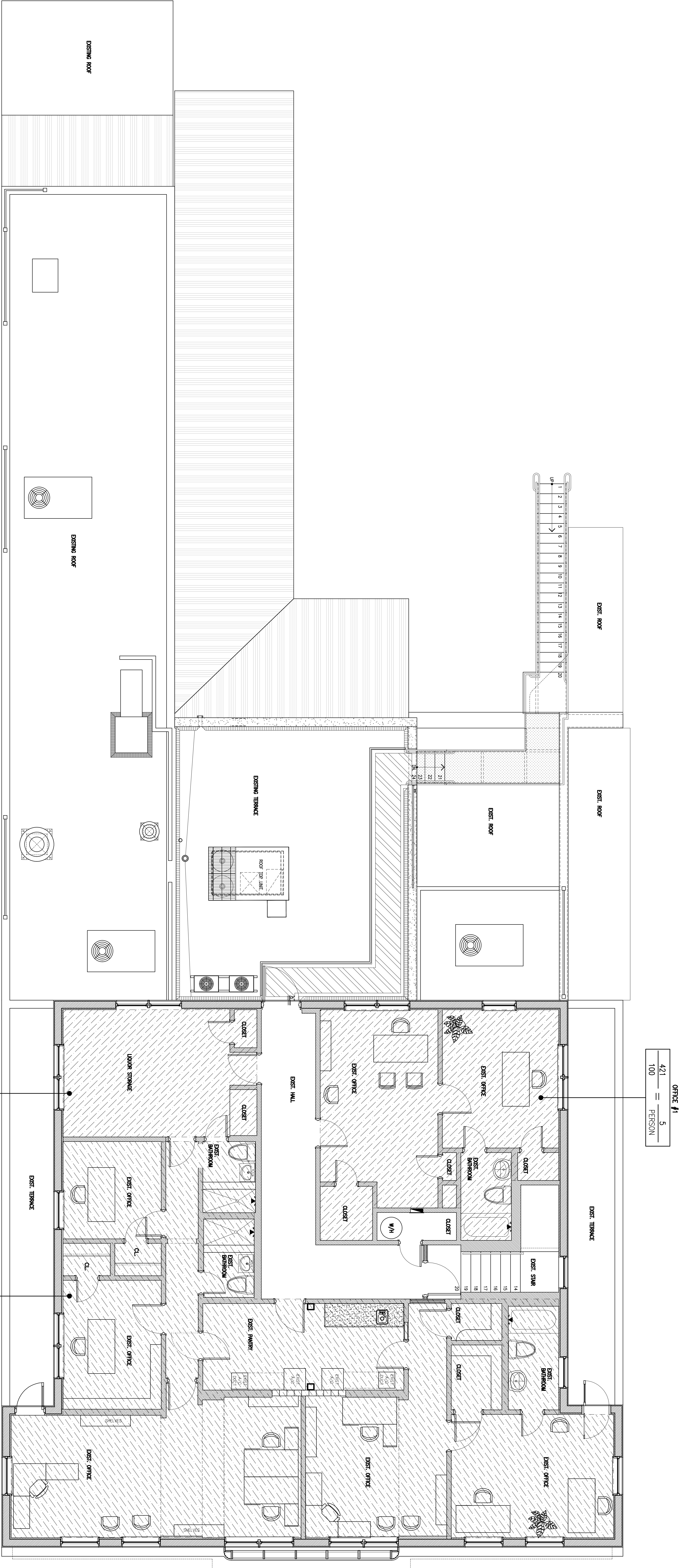
RENOVATION TO EXIST. RESTAURANT:  
**1908 COLLINS LLC.**  
1906-1912 COLLINS AVE.  
MIAMI BEACH, FL. 33139

**CHARLES H. BENSON & ASSOCIATES ARCHITECTS, P.A.**  
architect planner interiors  
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ARCHITECTURE LICENSE # ARI4022 NCARB CERTIFICATE # 42.136  
PH: 305-532-6161 FAX: 305-532-6151

DRAWN BY  
Lillian R. Paz  
SCALE  
AS SHOWN  
DATE  
07-23-12

PROJECT NUMBER  
**21001-1**

**A-2**  
OF  
**4**

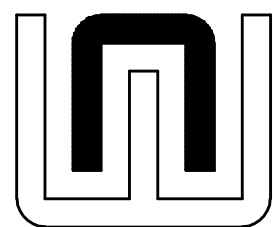


- LEGEND
- EXISTING MASONRY WALL
  - EXISTING PARTITION
  - NON RATED PARTITION
  - NEW 5" MASONRY WALL TO 4" ABOVE FINISHED C.G.
  - 1 HR. RATED PARTITION W/ SOUND INSULATION
  - NEW CONC. COL.
  - DOOR NUMBER
  - ROOM NUMBER
  - PARTITION TYPE
  - SECTION MARK

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These drawings and codes thereof furnished by the architect are his property and shall remain his property. They shall not be used for any other project without the written consent of the architect. If this drawing or any part thereof is used in any manner without the consent of the architect, the user thereof becomes indebted to the architect for full compensation.

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CHARLES H. BENSON & ASSOCIATES ARCHITECTS, P.A.  
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ARCHITECTURE LICENSE # ARI14022 NCARB CERTIFICATE # 42.136  
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Lillian R. Paz

SCALE  
AS SHOWN

DATE  
01-23-12

PROJECT NUMBER

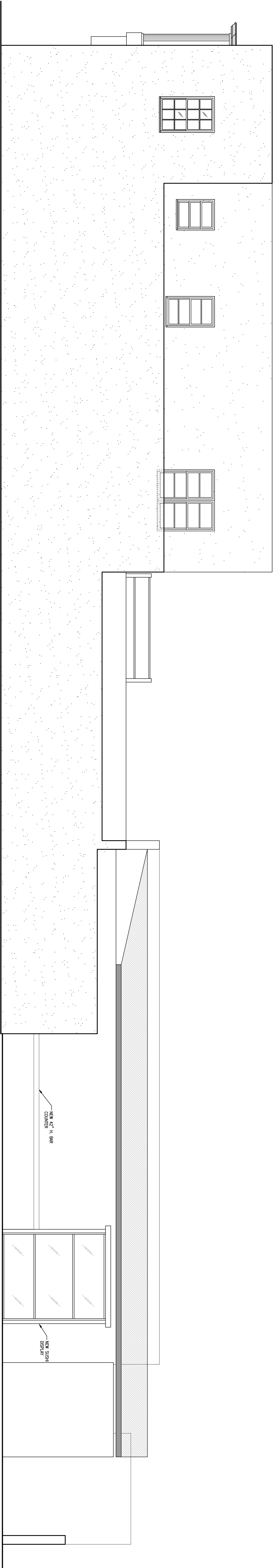
21001-1

A-3  
OF  
4

PROPOSED SECOND FLOOR

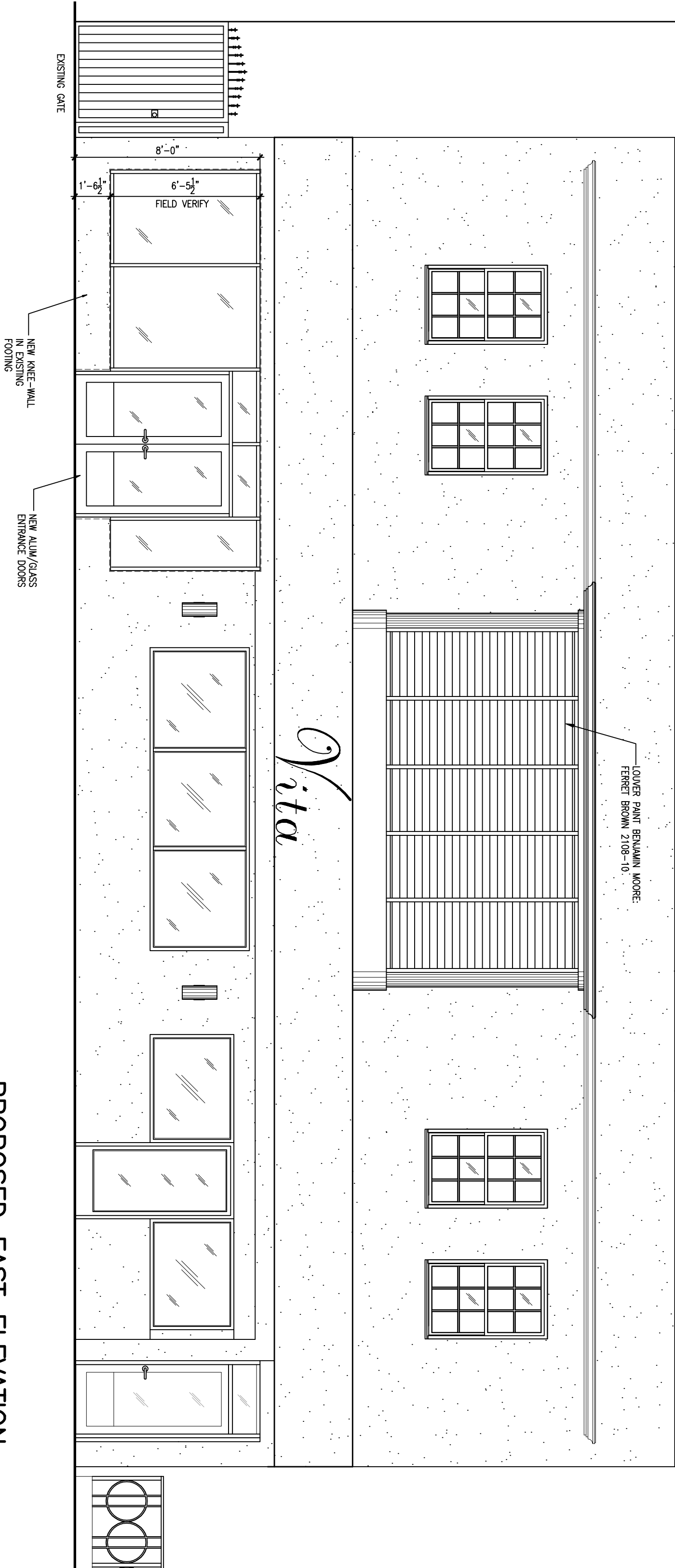


ISSUED FOR PERMIT  
ISSUED FOR BIDDING  
ISSUED FOR CONSTRUCTION



PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"



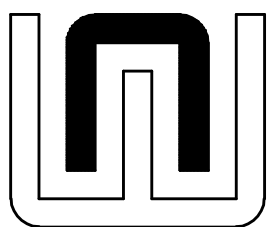
PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"

These drawings and specifications have been prepared by the architect and his assistants and are to be used as a guide only. No part of these drawings or specifications shall be used in any manner without the consent of the architect. The user thereof becomes indebted to the architect for full commission.

NEW RESTAURANT FOR:  
**1908 COLLINS LLC.**  
1908-1912 COLLINS AVE.

MIAMI BEACH, FL. 33139



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ARCHITECTURE LICENSE # ARI14022 NCARB CERTIFICATE # 42,156  
PH: 305-532-6161 FAX: 305-532-6151

DRAWN BY  
Lillian R. Paez

SCALE  
AS SHOWN

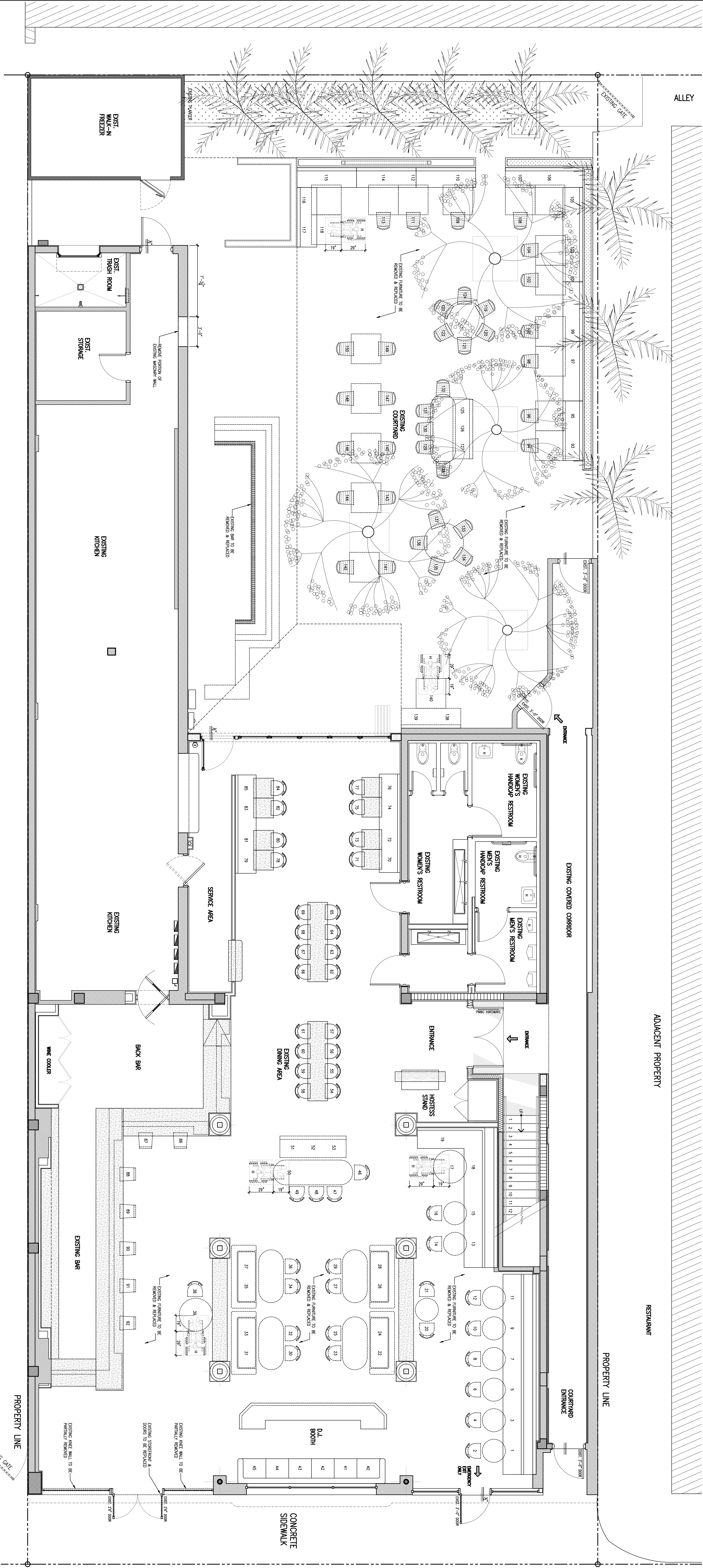
DATE  
01-23-12

PROJECT NUMBER

21001-1

A-4  
OF  
4

ISSUED FOR PERMIT \_\_\_\_\_  
ISSUED FOR BIDDING \_\_\_\_\_  
ISSUED FOR CONSTRUCTION \_\_\_\_\_



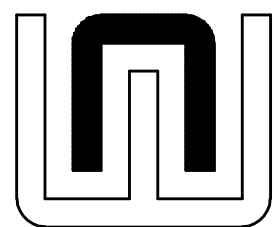
- LEGEND**
- EXISTING WALL
  - EXISTING CONC. COLUMN
  - EXISTING MASONRY WALL
  - TO BE REMOVED
  - EXISTING STOREFRONT TO BE REMOVED
  - EXIST. FURNITURE TO BE REMOVED

DEMOLITION GROUND FLOOR  
SCALE: 1/4" = 1'-0"

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT IN WRITING. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

These drawings and notes, furnished by the architect, are to be used by the contractor as a guide only. The contractor is responsible for verifying all dimensions and site conditions before proceeding with work. If any discrepancies, errors or omissions should be encountered on plans, the contractor shall immediately notify the architect in writing. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for any discrepancies, errors or omissions.

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1906-1912 COLLINS AVE. MIAMI BEACH, FL. 33139



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architect planner interiors  
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ARCHITECTURE LICENSE # ARI4022 NCARB CERTIFICATE # 42.136  
PH: 305-532-6101 FAX: 305-532-6151

DRAWN BY  
Lillian R. Paéz

SCALE  
AS SHOWN

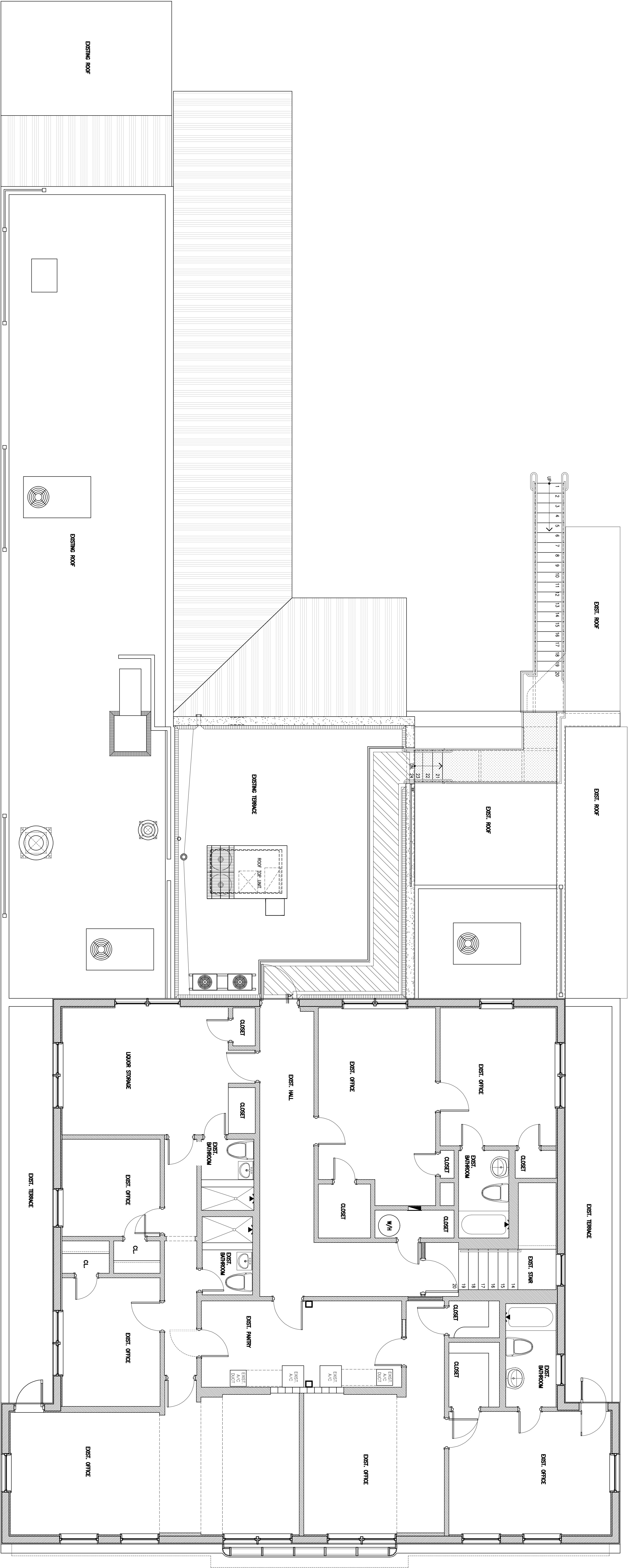
DATE  
06-20-11

PROJECT NUMBER

21001-1

D-1  
OF  
3

ISSUED FOR PERMIT  
ISSUED FOR BIDDING  
ISSUED FOR CONSTRUCTION



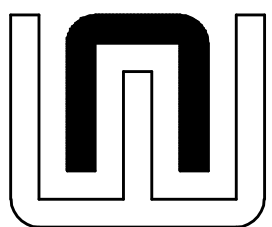
NO DEMOLITION WORK REQUIRED

DEMOLITION SECOND FLOOR  
SCALE: 1/4" = 1'-0"

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ARCHITECTURE LICENSE # AR14022 NCARB CERTIFICATE # 42.136  
PH: 305-532-6161 FAX: 305-532-6151

DRAWN BY  
Lillian R. Paez

SCALE  
AS SHOWN

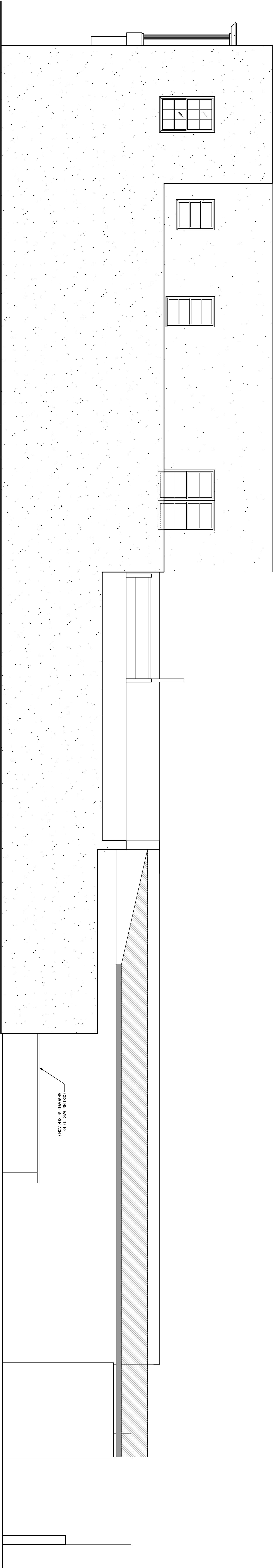
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06-20-11

PROJECT NUMBER

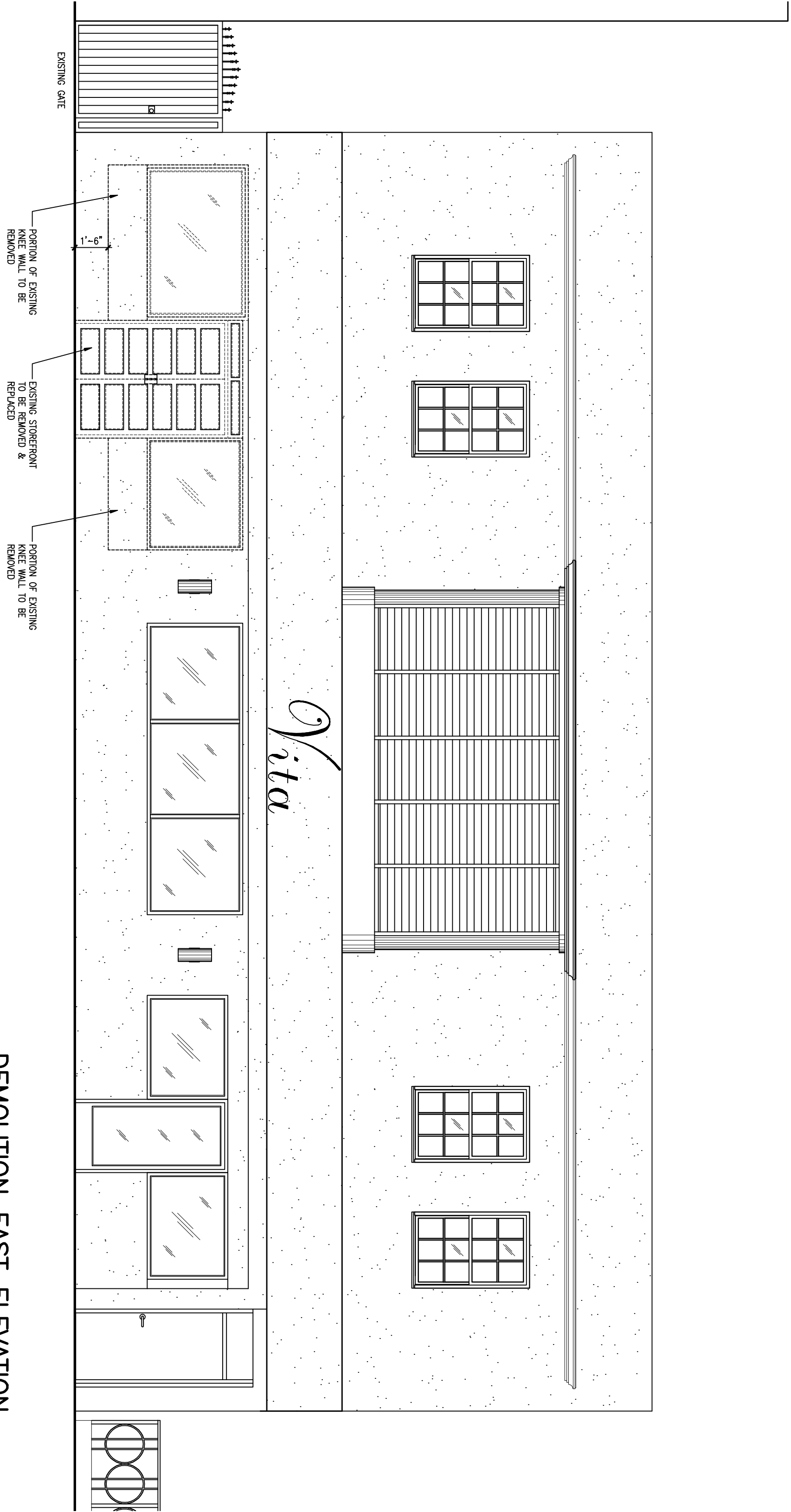
21001-1

D-2  
OF  
3

ISSUED FOR PERMIT  
ISSUED FOR BIDDING  
ISSUED FOR CONSTRUCTION



DEMOLITION NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

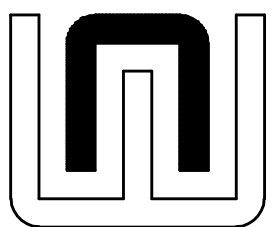


DEMOLITION EAST ELEVATION  
SCALE: 1/4" = 1'-0"

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MIAMI BEACH, FL. 33139



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architect planner interiors  
1665 WASHINGTON AVE. 2nd. FLOOR, MIAMI BEACH, FLORIDA 33139 Ph: 305-532-6161 • Fax: 305-532-6151  
ARCHITECTURE LICENSE # ARI4022 NCARB CERTIFICATE # 42,136

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Lillian R. Paez

SCALE  
AS SHOWN

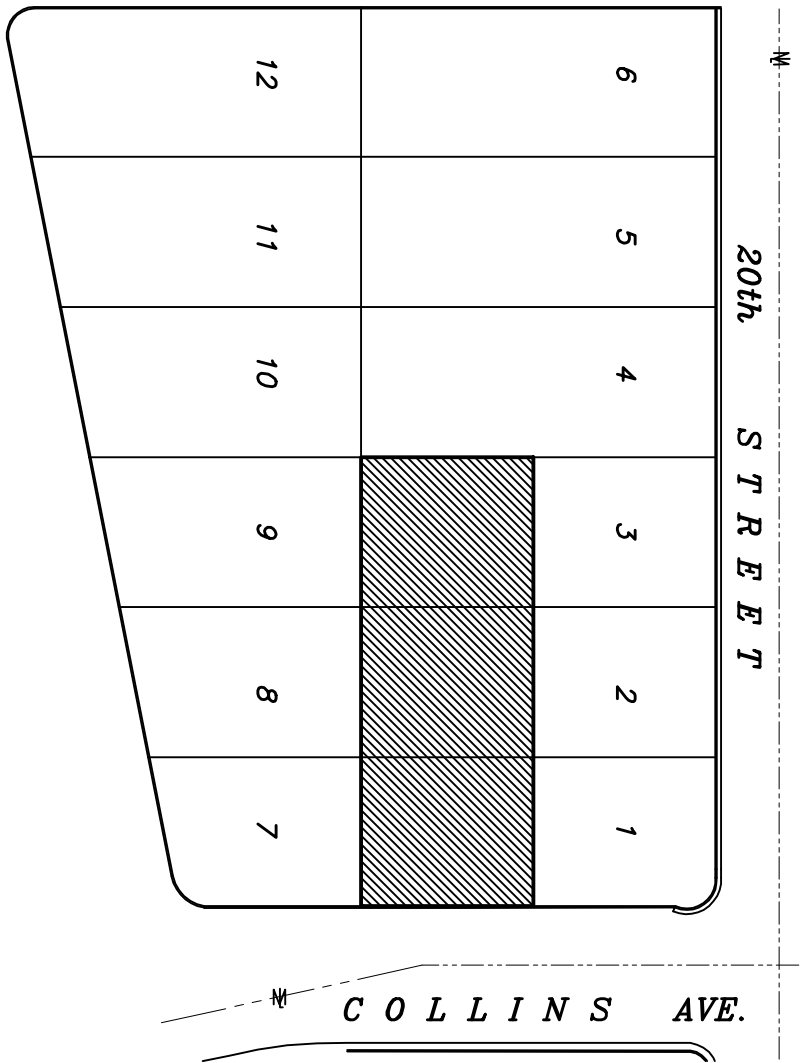
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01-23-12

PROJECT NUMBER

21001-1

D-3  
OF  
3

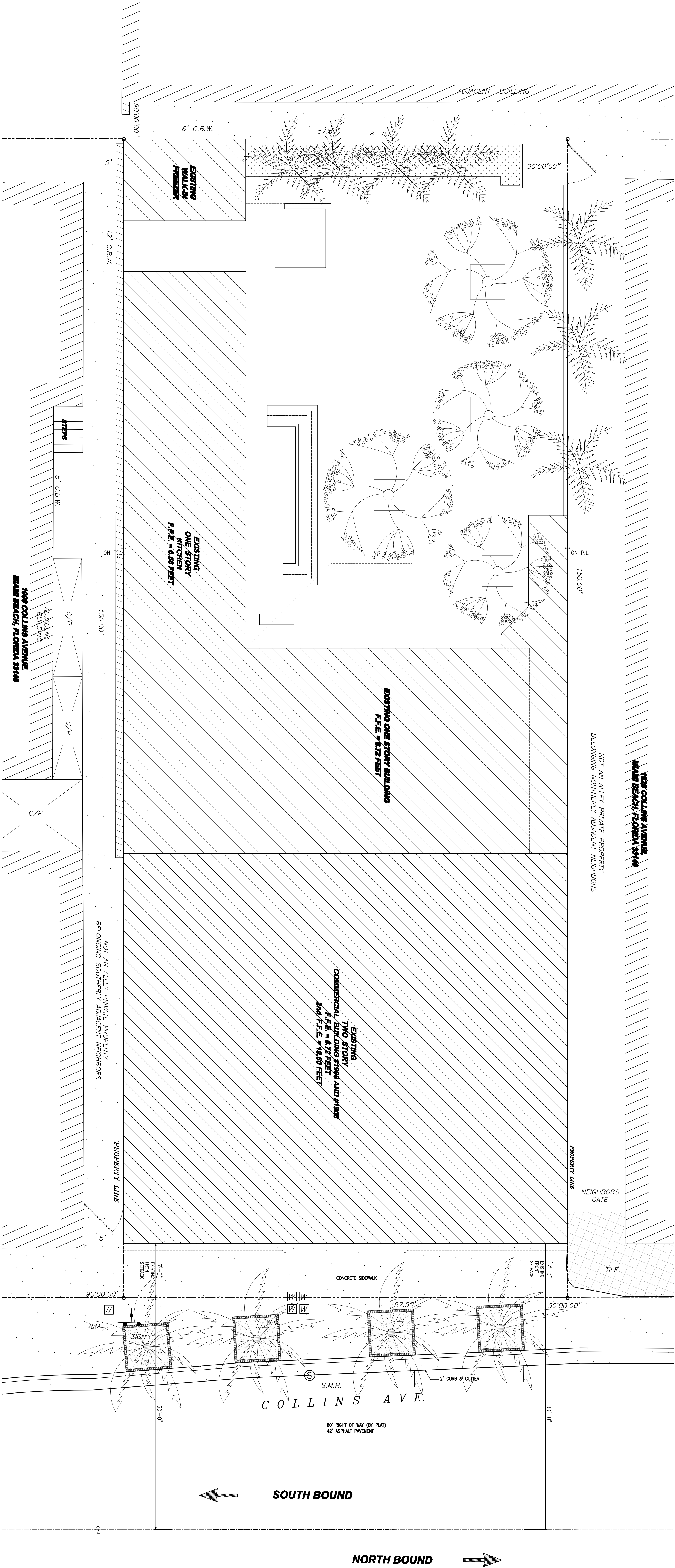
ISSUED FOR PERMIT  
ISSUED FOR BIDDING  
ISSUED FOR CONSTRUCTION



LOCATION MAP  
NTS.

LEGAL DESCRIPTION

THE NORTH 57'-1/2 FEET OF THE SOUTH 62'-1/2 FEET OF LOTS 1, 2 & 3, BLOCK D OF AMENDED MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT DISTRICT, BEING THE SAME AS SHOWN AND RECORDED IN PLAT BOOK 5 AT PAGE 7 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

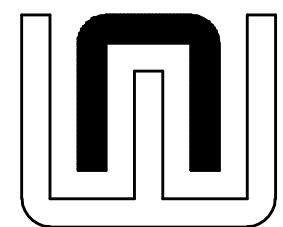


EXISTING SITE PLAN  
SCALE: 3/16" = 1'-0"

ISSUED FOR PERMIT  
ISSUED FOR BIDDING  
ISSUED FOR CONSTRUCTION

NEW RESTAURANT FOR:  
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MIAMI BEACH, FL. 33139



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architect planner interiors  
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ARCHITECTURE LICENSE # ARI4022 NCARB CERTIFICATE # 42.136  
PH: 305-532-6101 FAX: 305-532-6151

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Lillian R. Paez

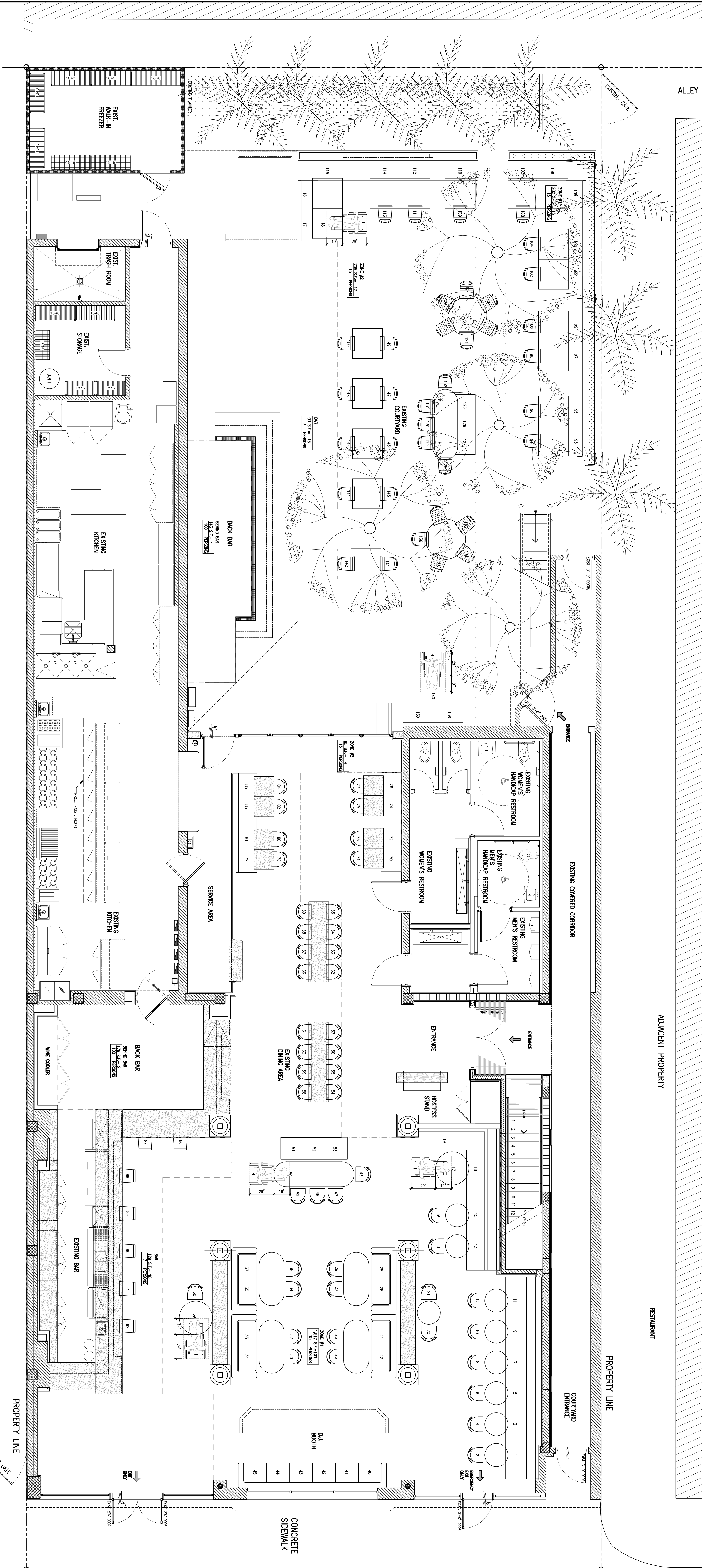
SCALE  
AS SHOWN

DATE  
07-23-12

PROJECT NUMBER

21001-1

Ex-1  
OF  
4



EXISTING GROUND FLOOR  
SCALE: 1/4" = 1'-0"

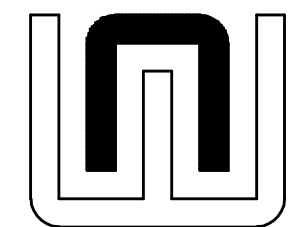
OCCUPANT LOAD FACTOR TABLE 7.3.1.2 NFPA			
GROUP A-2 SMALL ASSEMBLY USE	AREA S.F.	AREA PER OCCUPANT	TOTAL
FIRST FLOOR			
INDOOR DINING	1,517	15 S.F. PER PERSON (NET)	101
COURTYARD	65	15 S.F. PER PERSON (NET)	4
BAR	178	100 S.F. PER PERSON (NET)	2
BEHIND BAR	202	15 S.F. PER PERSON (NET)	13
ZONE #1	202	15 S.F. PER PERSON (NET)	13
ZONE #2	81	100 S.F. PER PERSON (NET)	1
BEHIND BAR	143	100 S.F. PER PERSON (NET)	1
TOTAL			139

OCCUPANT LOAD BASED ON TABLE NFPA 1003.1			
ASSEMBLY OCCUPANCY GROUP A-2			
FIRST FLOOR			
INDOOR DINING			84
DINING AREA			12
BAR			2
COURTYARD			59
TOTAL DINING			154

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These drawings and copies thereof furnished by the architect are his property. They are not to be used on other work, and are to be returned upon demand at the completion of work. If this drawing or any part hereof is used on other work without the written consent of the architect, the user thereof becomes indebted to the architect for full compensation.

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**1908 COLLINS LLC.**  
1906-1912 COLLINS AVE.  
MIAMI BEACH, FL. 33139



CHARLES H. BENSON & ASSOCIATES ARCHITECTS, P.A.  
architect planner interiors  
1685 WASHINGTON AVE. 2ND FLOOR, MIAMI BEACH, FLORIDA 33139  
ARCHITECTURE LICENSE # ARI14022 NCARB CERTIFICATE # 42.136  
PH: 305-532-6161 FAX: 305-532-6151

DRAWN BY  
Lillian R. Paéz

SCALE  
AS SHOWN

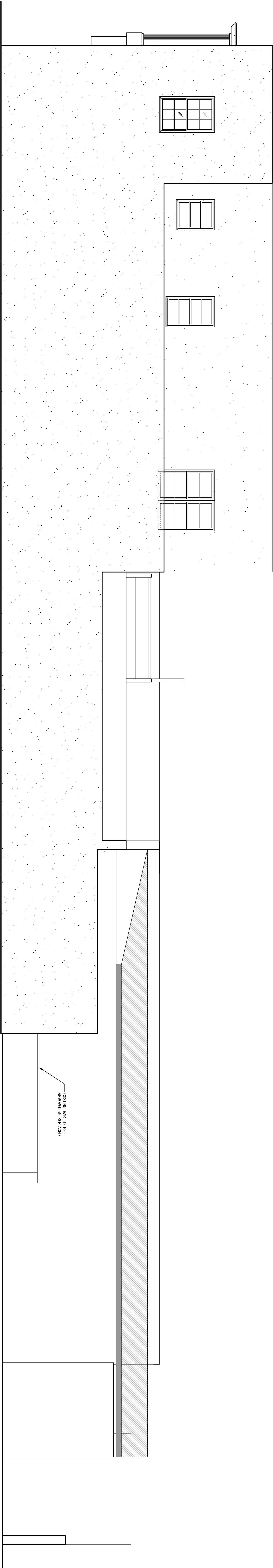
DATE  
01-23-12

PROJECT NUMBER

21001-1

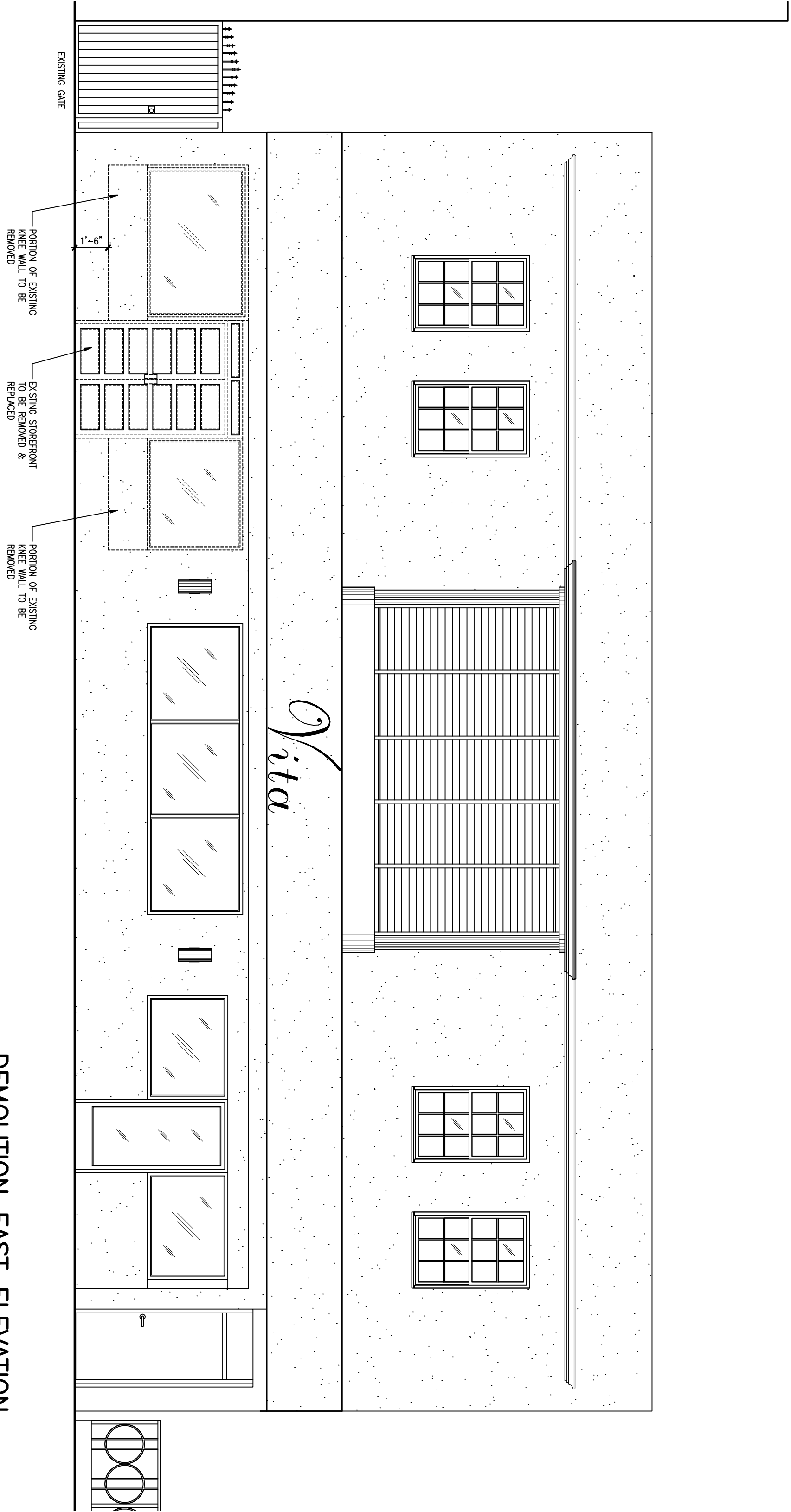
EX-2  
OR  
4

ISSUED FOR PERMIT  
ISSUED FOR BIDDING  
ISSUED FOR CONSTRUCTION



DEMOLITION NORTH ELEVATION

SCALE: 1/4" = 1'-0"



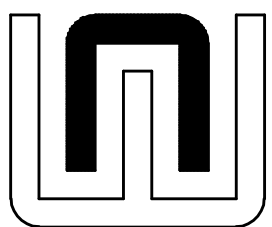
DEMOLITION EAST ELEVATION

SCALE: 1/4" = 1'-0"

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MIAMI BEACH, FL. 33139



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architect planner interiors  
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ARCHITECTURE LICENSE # ARI4022 NCARB CERTIFICATE # 42,136  
PH: 305-532-6161 FAX: 305-532-6151

DRAWN BY  
Lillian R. Paez

SCALE  
AS SHOWN

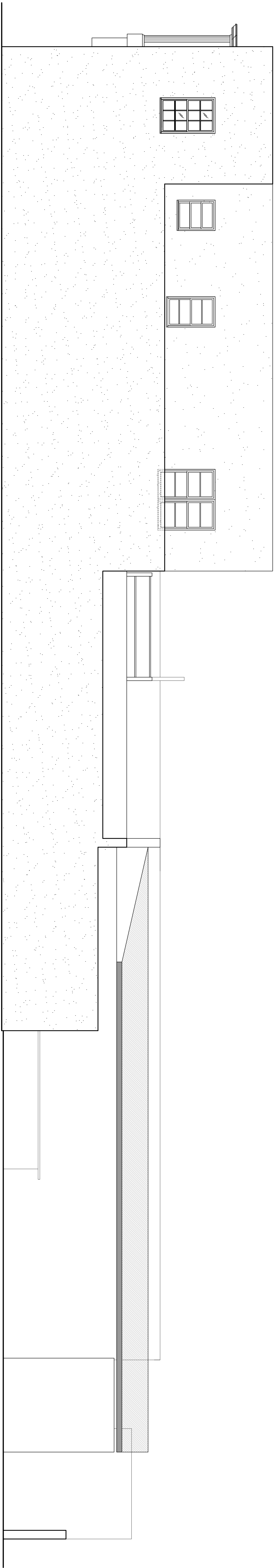
DATE  
01-23-12

PROJECT NUMBER

21001-1

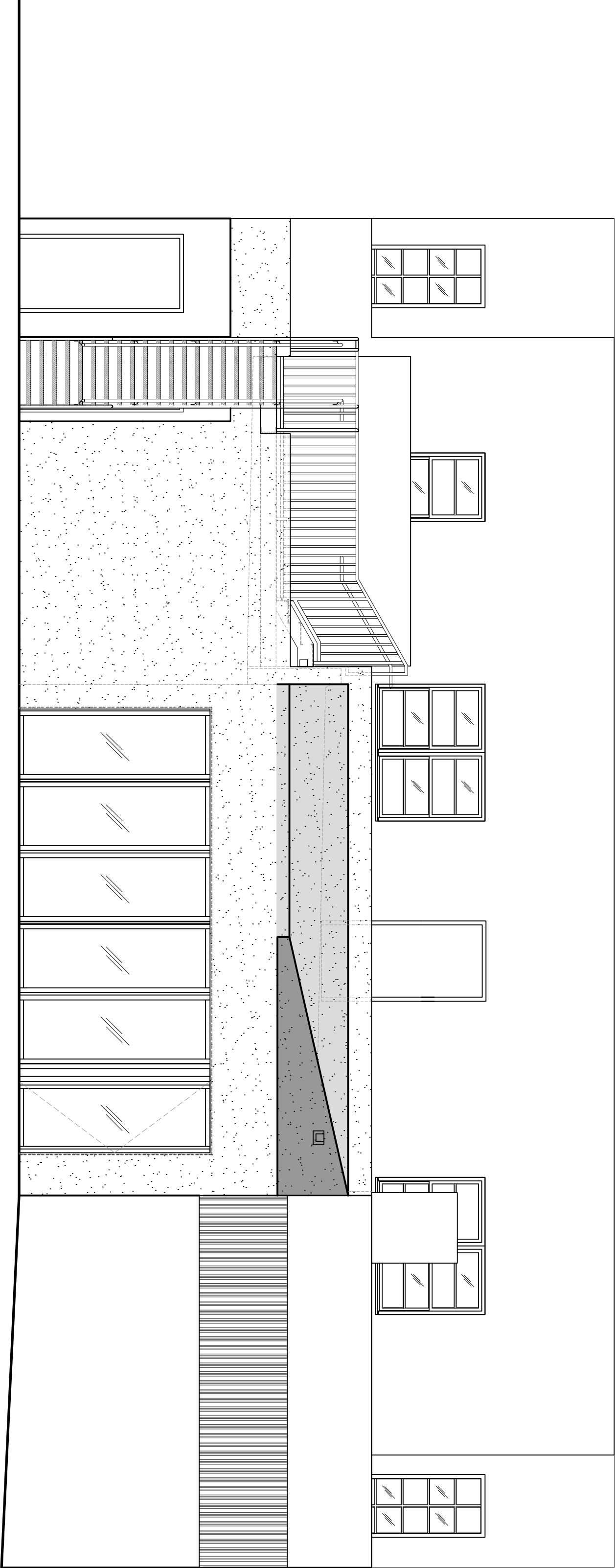
D-3  
OF  
3

ISSUED FOR PERMIT  
ISSUED FOR BIDDING  
ISSUED FOR CONSTRUCTION



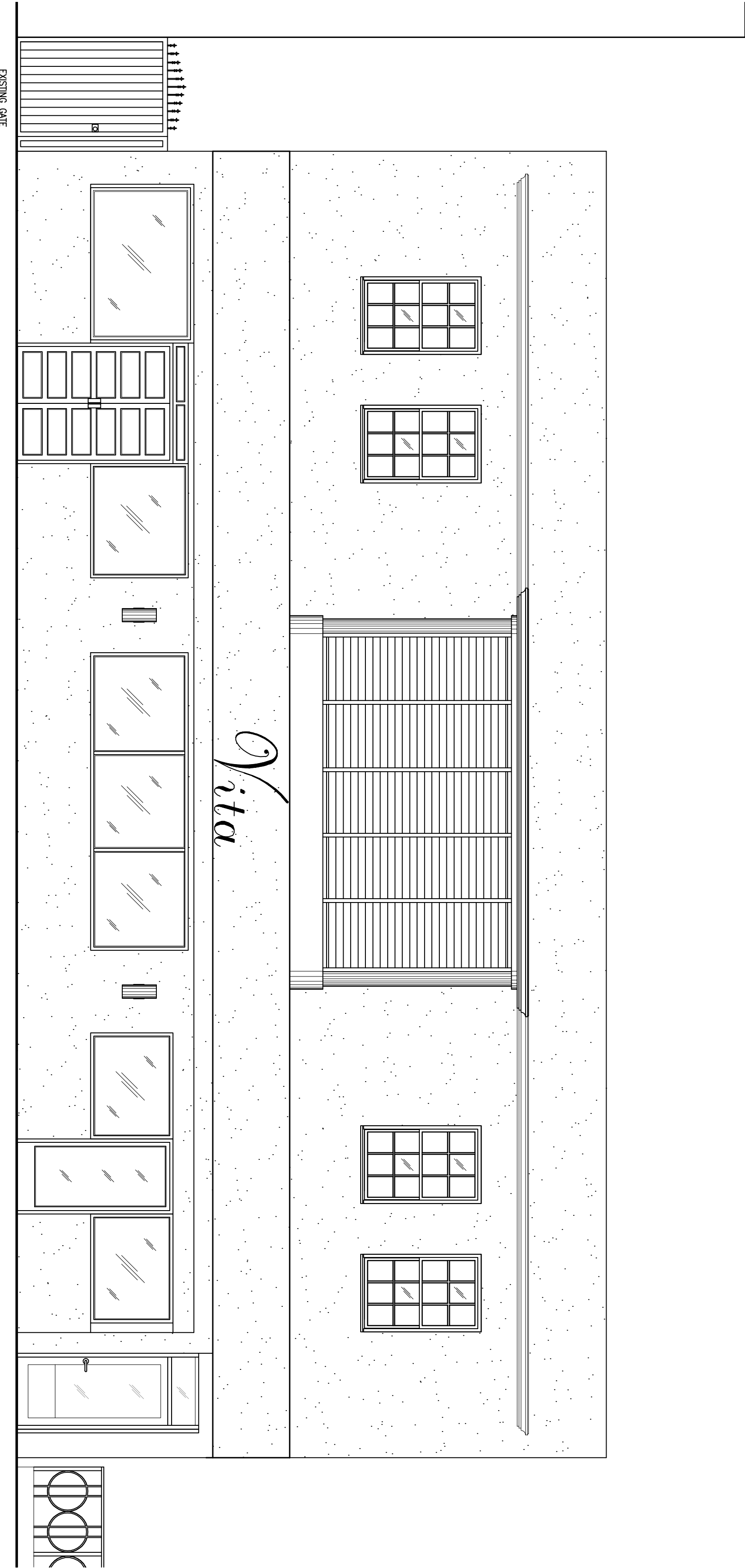
EXISTING NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING EAST ELEVATION

SCALE: 1/4" = 1'-0"

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**1908 COLLINS LLC.**  
1908-1912 COLLINS AVE.  
  
MIAMI BEACH, FL. 33139

**CHARLES H. BENSON & ASSOCIATES ARCHITECTS, P.A.**  
architect  
planner  
interiors  
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ARCHITECTURE LICENSE # ARI 4022  
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**EX-4**  
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**4**

