

1745 JAMES AVENUE MIAMI BEACH FLORIDA 33139 USA

AS APPROVED ON HPB MEETING OF JULY 14, 2020 - FILE No. HPB 19-0354



UPDATED FINAL SUBMITTAL FILE NUMBER: HPB19-0354

OCTOBER 7, 2022



architecture international

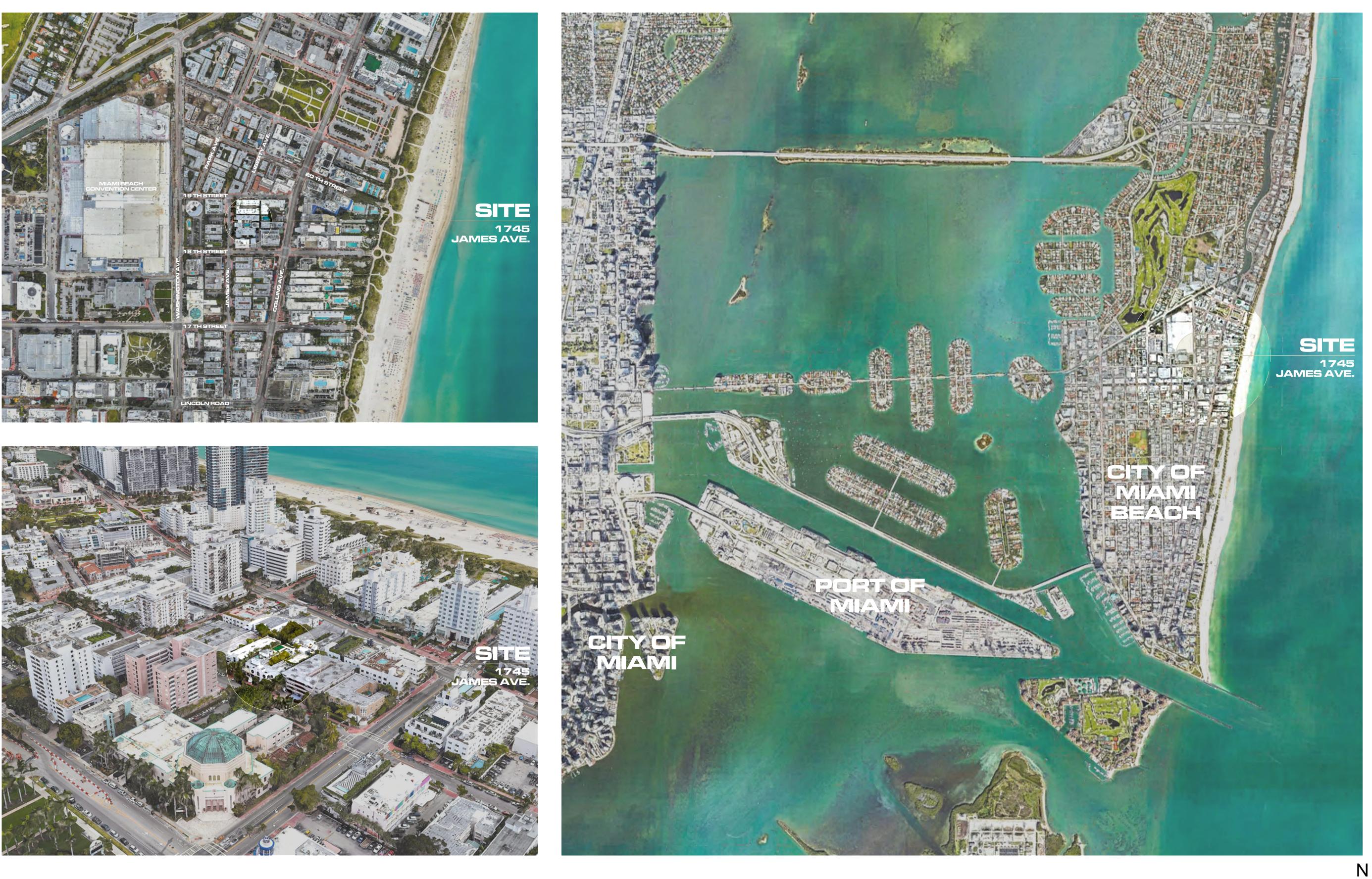
> **Miami** Santiago, Chile

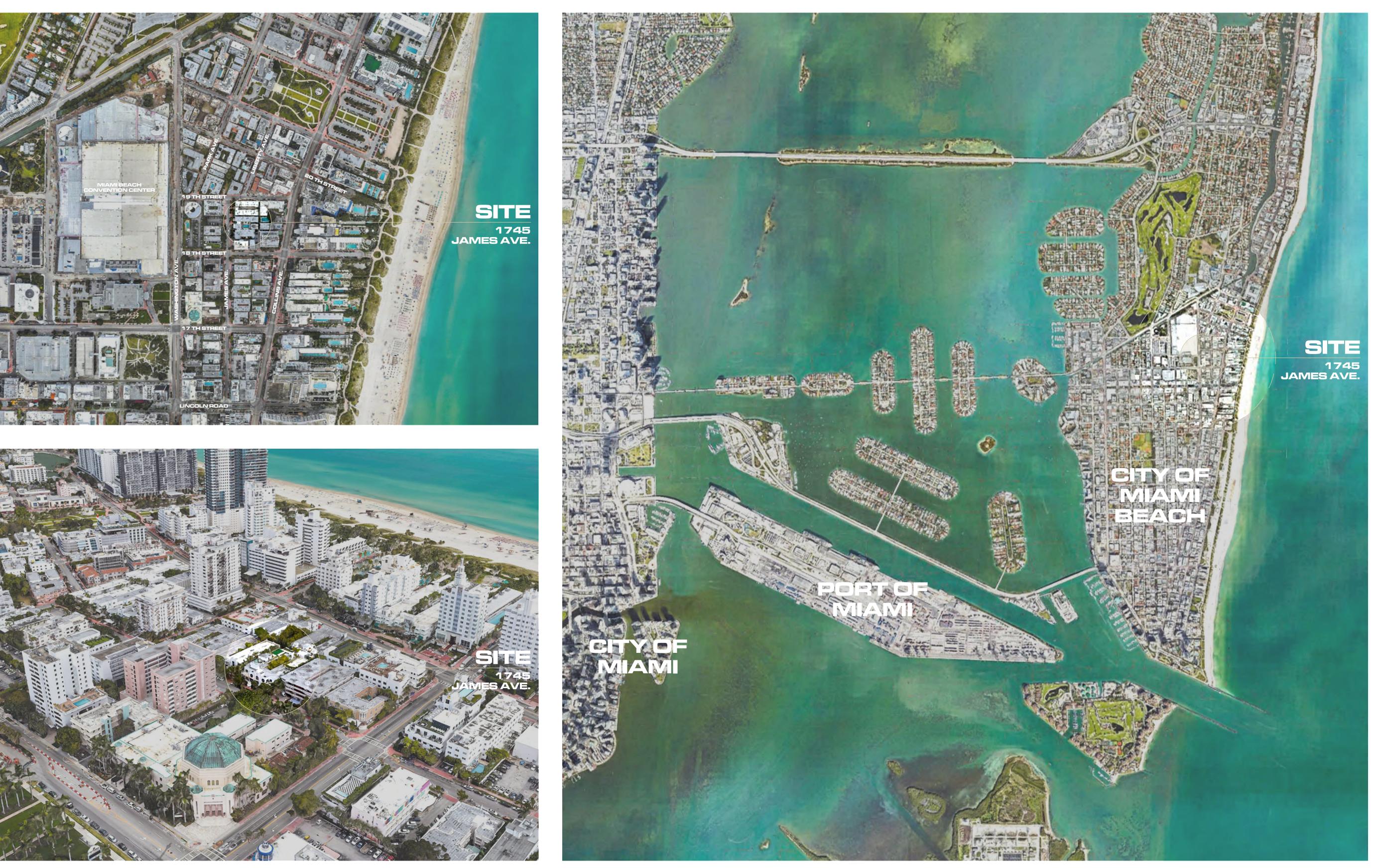
revuelta-architecture.com

2950 SW 27TH AVE. SUITE 1 10 MIAMI, FL 33133 T. 305.590.5000 F. 305.590.5040

#### LANDSCAPE ARCHITECT

DAVID J. ODISHOO P.O. BOX 331615 COCONUT GROVE, FL/ 33133 T: 305.854.9299

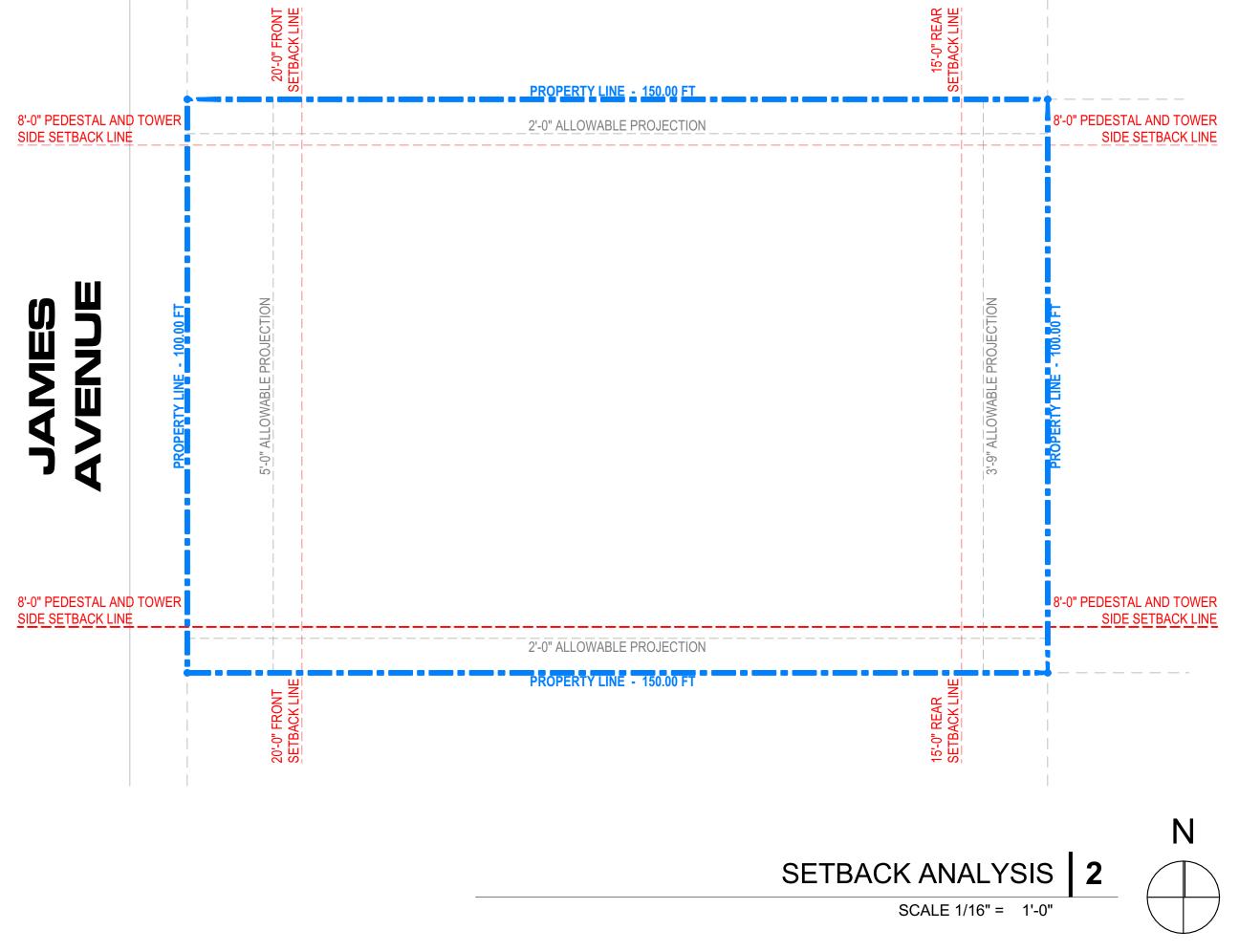






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LOCATION MAP **1** 



1735 & 1745 JAMES	ΜΙΔΜΙ ΒΕΔΩΗ	FL	33139

				revuelta architecture in	ternational n a
					ver lauora p.a.
1735	& 1745 JAMES AVENUE, MIAMI B	EACH, FL 33139			
<b>7</b> ·					
-	Address:	1735 & 1745 JAMES AVENUE			
	Board and File Numbers:	HPB19-0354			
	Folio Number(s):	02-3234-075-0001			
4	Year Constructed:	1735 - 1953 by Manfred Ungaro	Zoning District:	RM-2 Resid. multifamily, medium intensity	
т		1745 - 1951 by Leonard H. Glasser		Treadin medianity, median menory	
			with current conditions into one AOL then Hotel	and destination restaurant	
5	Based Flood Elevation:	8'-0" N.G.V.D.	Grade value in NGVD:	4.86' N.G.V.D.	
	Adjusted grade (Flood+1'):	+9.0' N.G.V.D.	Lot Area:	15,000 SF (0.344 ac.)	
7	Lot width:	100'	Lot Depth:	150'	
8	Minimum Unit Size (Hotel)	222 SF	•	230.73 SF	
	Existing use:	Hotel	Proposed use:	Hotel	
5					
Buildin	α Data	Maximum		Proposed	Deficiencies
	Height	50'-0"		50'-0"	Denoionoico
	Number of Stories	5			
	FAR	30,000 SF		29,862 SF	
	Gross square footage	00,000 01		42,833 SF	
	Square Footage by use	N/A		.2,000 01	
	Number of units Residential	N/A			
	Number of units Hotel	N/A		90	
	Number of seats	N/A			
	Occupancy load	N/A			
Setbac			Required	Proposed	Deficiencies
	At Grade Parking:				Conviences
	Front Setback (JAMES AVENUE)	N/A			
	Side Setback (NORTH YARD)	N/A N/A			
	Side Setback (SOUTH YARD)	N/A			
	Rear Setback (EAST YARD)	N/A			
	Pedestal:				
	Front Setback (OCEAN DRIVE)	20'-0"		20'-0"	
	Side Setback (NORTH YARD)	8-0"		10'-9"	
	Side Setback (north rand)	8-0"		10'-9"	
	Rear Setback (OCEAN CT. ALLEY)	15'-0"		15'-0"	
55	Tower:	10 0		10 0	
34	Front Setback:	N/A			
		1 1/7 1			
	Side Setback	N/A			
35	Side Setback: Side Setback:	N/A N/A			
35 36	Side Setback:	N/A			
35 36 37	Side Setback: Side Setback facing street:	N/A N/A			
35 36 37 38	Side Setback: Side Setback facing street: Rear Setback:	N/A N/A N/A	Required	Pronosed	Deficiencies
35 36 37 38 <b>Parkinç</b>	Side Setback: Side Setback facing street: Rear Setback:	N/A N/A N/A	Required	Proposed	Deficiencies
35 36 37 38 <b>Parking</b> 39	Side Setback: Side Setback facing street: Rear Setback: Parking district	N/A N/A N/A Dis	strict No. 9	·	Deficiencies
35 36 37 38 <b>Parking</b> 39 40	Side Setback: Side Setback facing street: Rear Setback: Parking district Total # of parking spaces	N/A N/A N/A Dis	-	Proposed 0 spaces	Deficiencies
35 36 37 38 <b>Parkinç</b> 39 40	Side Setback: Side Setback facing street: Rear Setback: Parking district Total # of parking spaces # of parking spaces per use (Provide a	N/A N/A N/A Dis Hotel Units No	strict No. 9 Parking Requirement	·	Deficiencies
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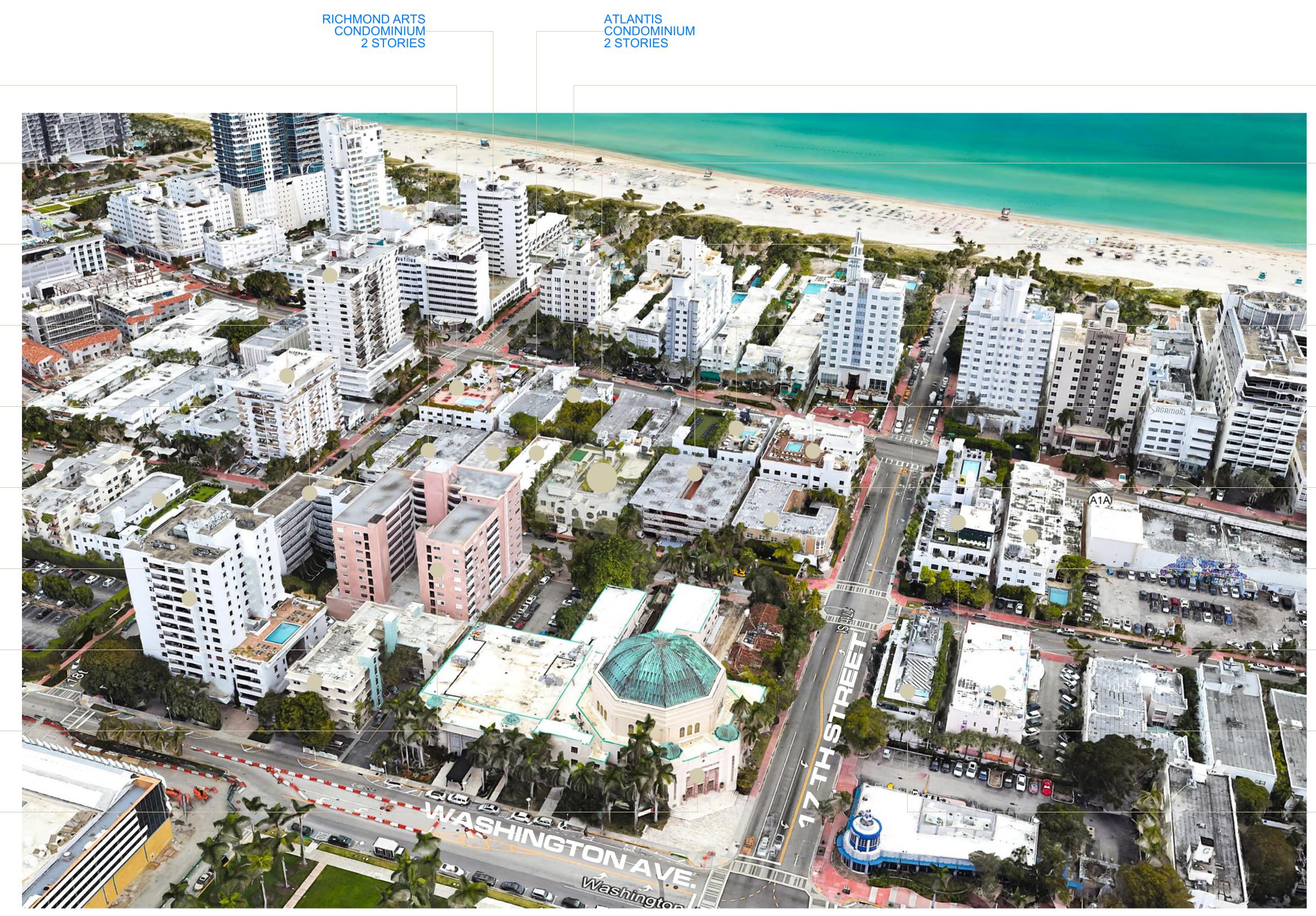


### AS APPROVED ON HPR MEETING OF

AS APPROVED ON HPB MEETING OF
JULY 14, 2020 - FILE No. HPB19-0354

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ZONING DATA **1** 



THE REDBURY HOTEL-3 STORIES

HOTEL 18 HOTEL-2 STORIES

1800 TOWER CONDOMINIUM-16 STORIES

JAMES CENTRAL CONDOMINIUM-11 STORIES

SEA BEACH CONDOMINUM-7 STORIES

LINCOLN ARMS HOTEL-3 STORIES

PARK PLAZA CONDOMINUM-14 STORIES

WASHINGTON PARK CONDOMINUM-4 STORIES

1750 JAMES APT. CONDOMINUM-11 STORIES

MB JEWISH COMMUNITY-CENTER



THE CATALINA HOTEL 3 STORIES



LEE MANOR CONDOMINIUM 4 STORIES



THE CLAREMONT HOTEL 3 STORIES

THE CADET HOTEL 2 STORIES

SAN JUAN HOTEL 3 STORIES

REGENT & GALE HOTEL 4 STORIES

JAMES HOTEL 3 STORIES

300 17TH ST -HOTEL 3 STORIES

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SITE CONTEXT 1



ATLANTIS CONDOMINUM



RICHMOND ARTS CONDOMINUM









SANCTUARY HOTEL







1750 JAMES APT.

SEA BEACH CONDOMINUM



AS APPROVED ON HPB MEETING OF JULY 14. 2020 - FILE No. HPB19-0354



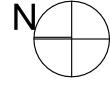
CADET HOTEL



MB JEWISH COMMUNITY CENTER

T 4

STREET CONTEXT 1

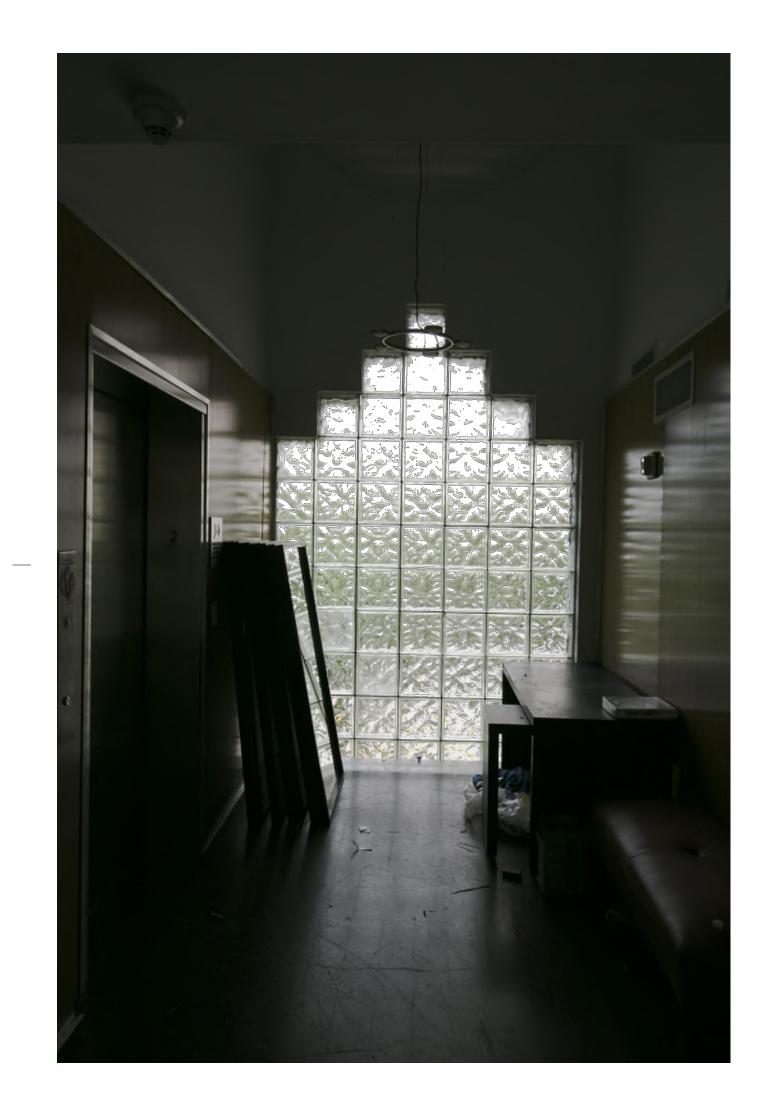


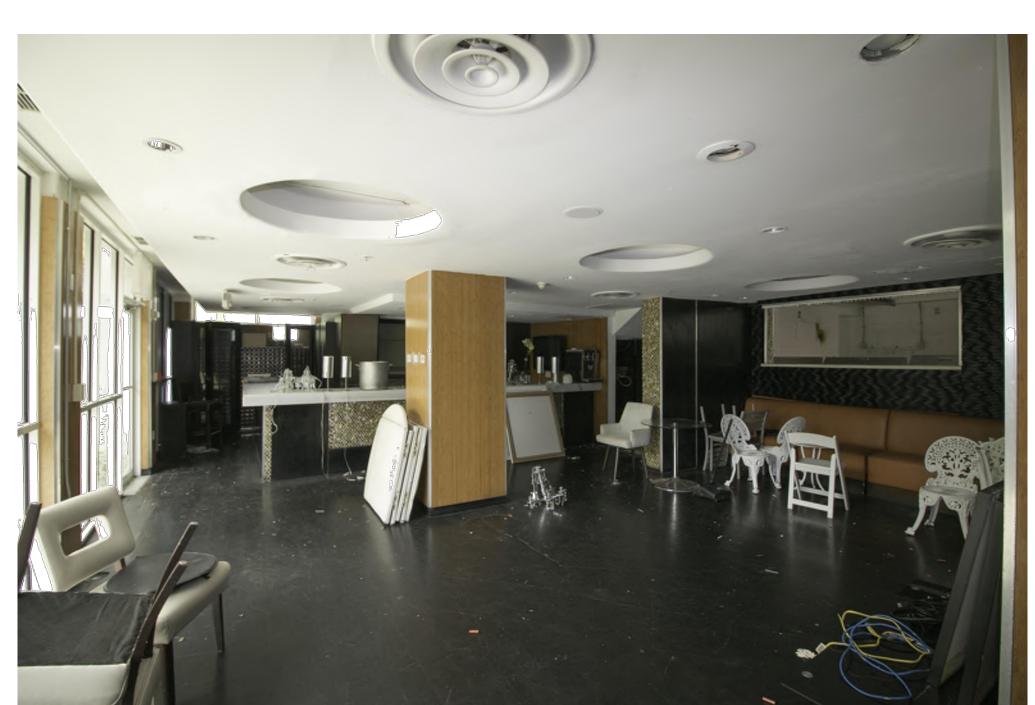




## AS APPROVED ON HPB MEETING OF JULY 14, 2020 - FILE No. **HPB19-0354**

### EXISTING BUILDING

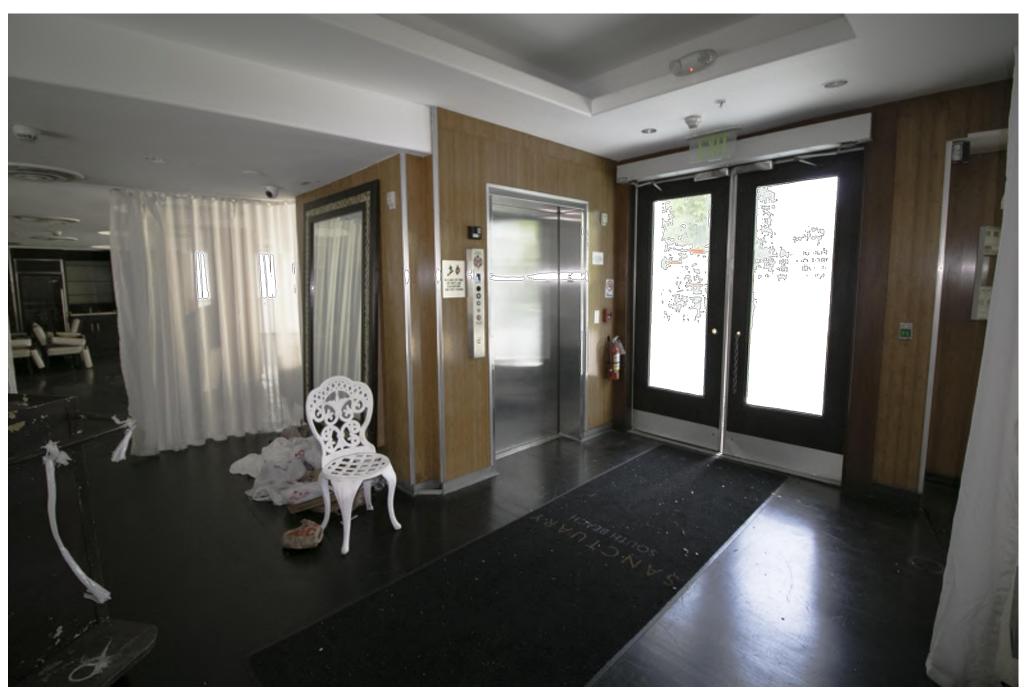






SECOND FLOOR CORRIDOR VIEW







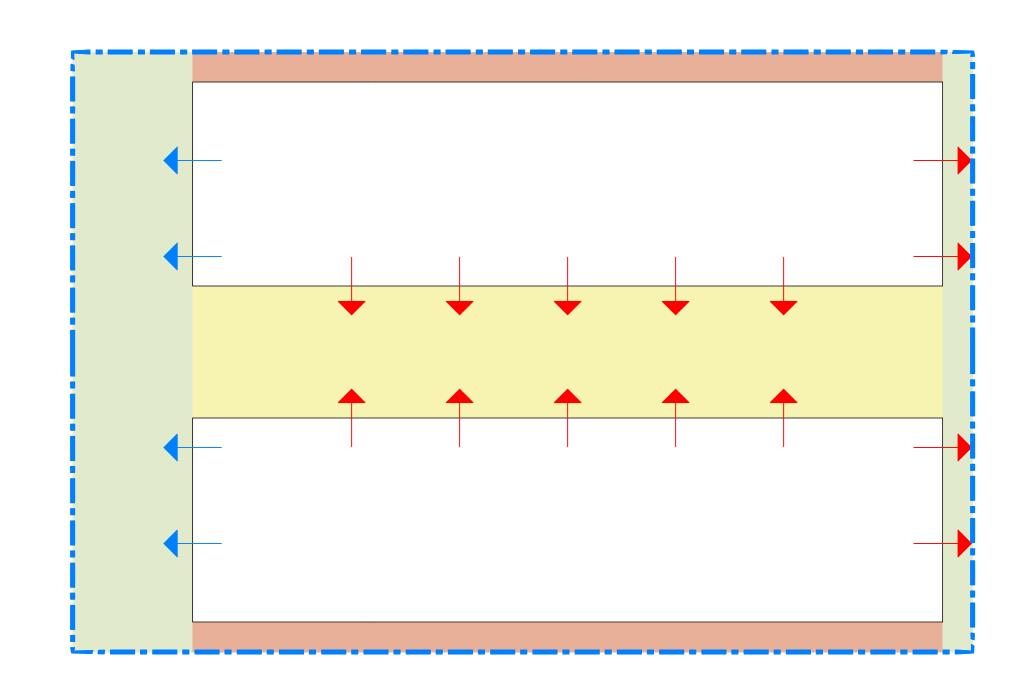
AS APPROVED ON HPB MEETING OF JULY 14, 2020 - FILE No. **HPB19-0354** 

LOBBY - RESTAURANT VIEWS

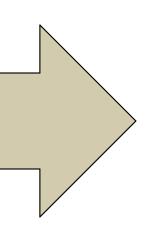
### EXIST. BLDG - INTERIOR CONDITIONS **1**

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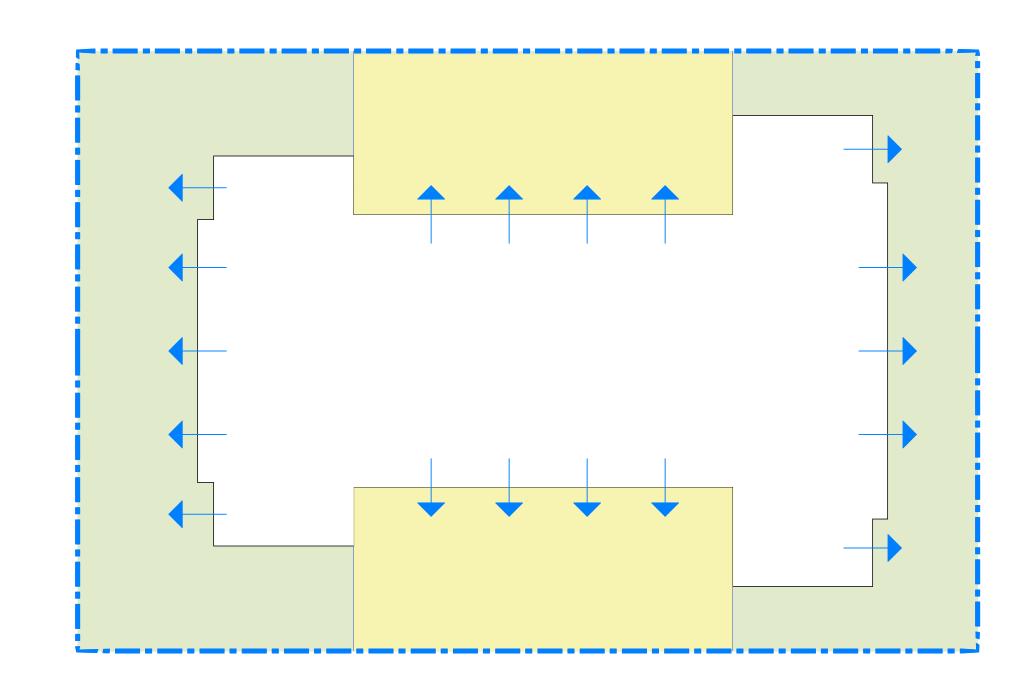
#### **2020 CURRENT CONFIGURATION**



<u>CENTRAL COURTYARD</u> - ENCLOSED VIEWS - LONG PERIMETER WALLS - HEAVY MASS PERCEPTION



## **PROPOSED CONFIGURATION**

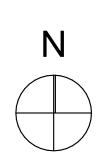


<u>SPLIT YARDS</u> - OPEN VIEWS - ARTICULATED PERIMETER WALLS - LIGHTER MASS PERCEPTION

AS APPROVED ON HPB MEETING OF JULY 14, 2020 - FILE No. HPB19-0354



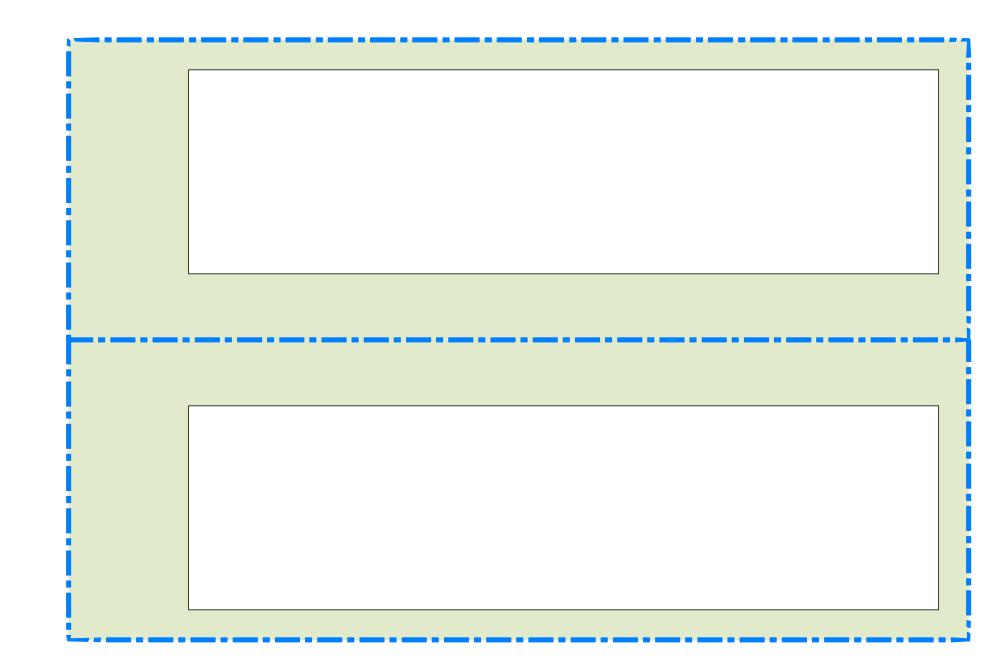




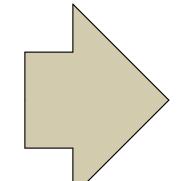




### **BUILT IN 1951 TWO SEPARATE PROPERTIES**

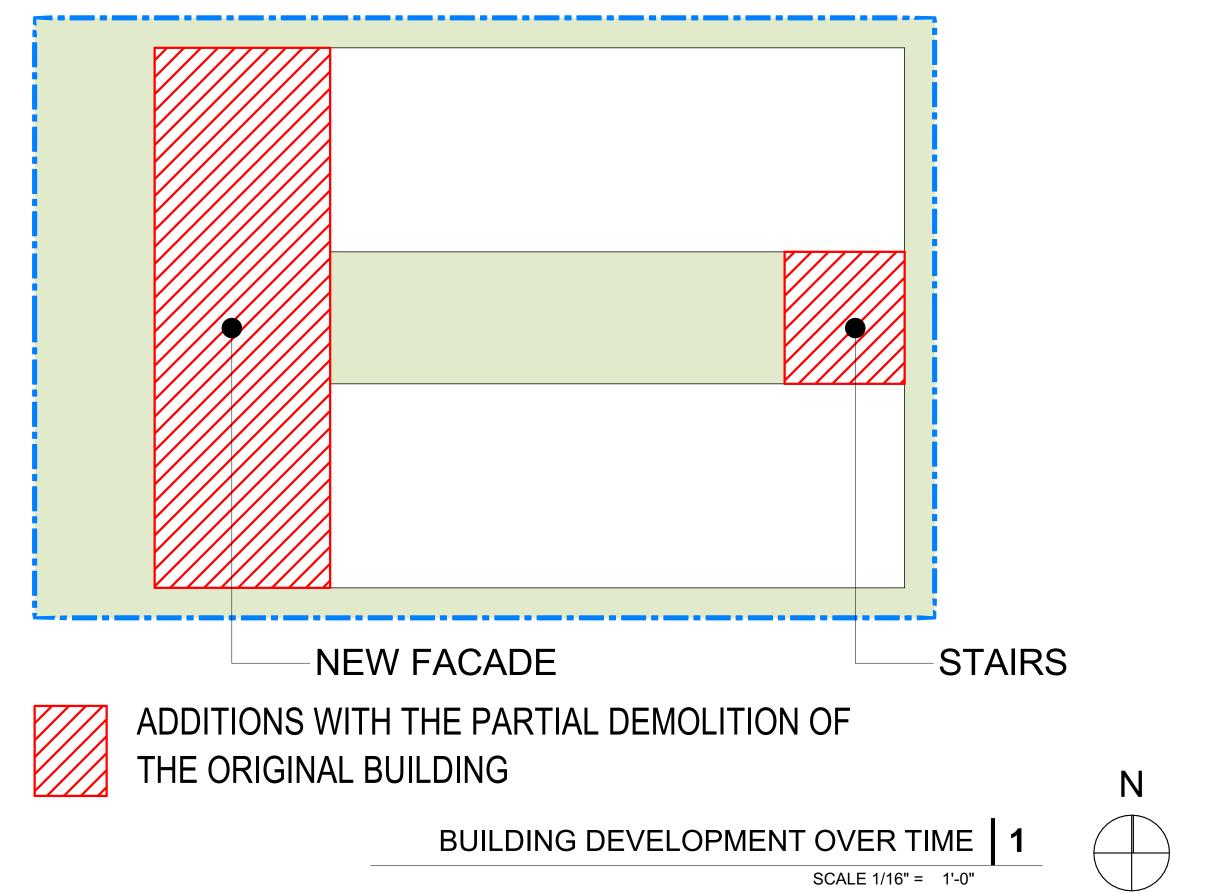








**RENOVATION IN 1984 COMBINED PROPERTIES + ADDITION** CURRENT CONFIGURATION



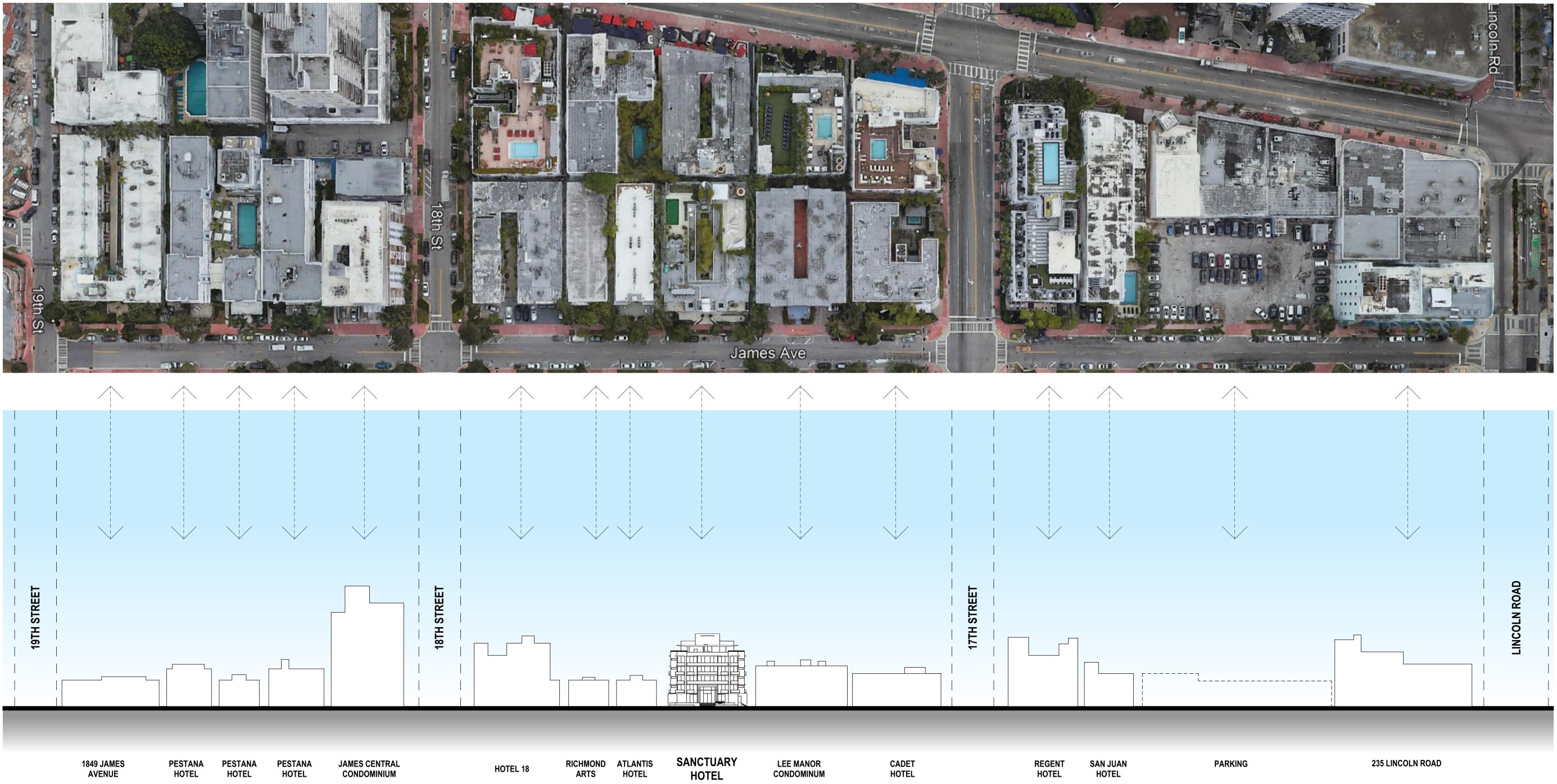




AS APPROVED ON HPB MEETING OF JULY 14, 2020 - FILE No. **HPB19-0354** 



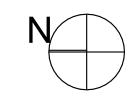


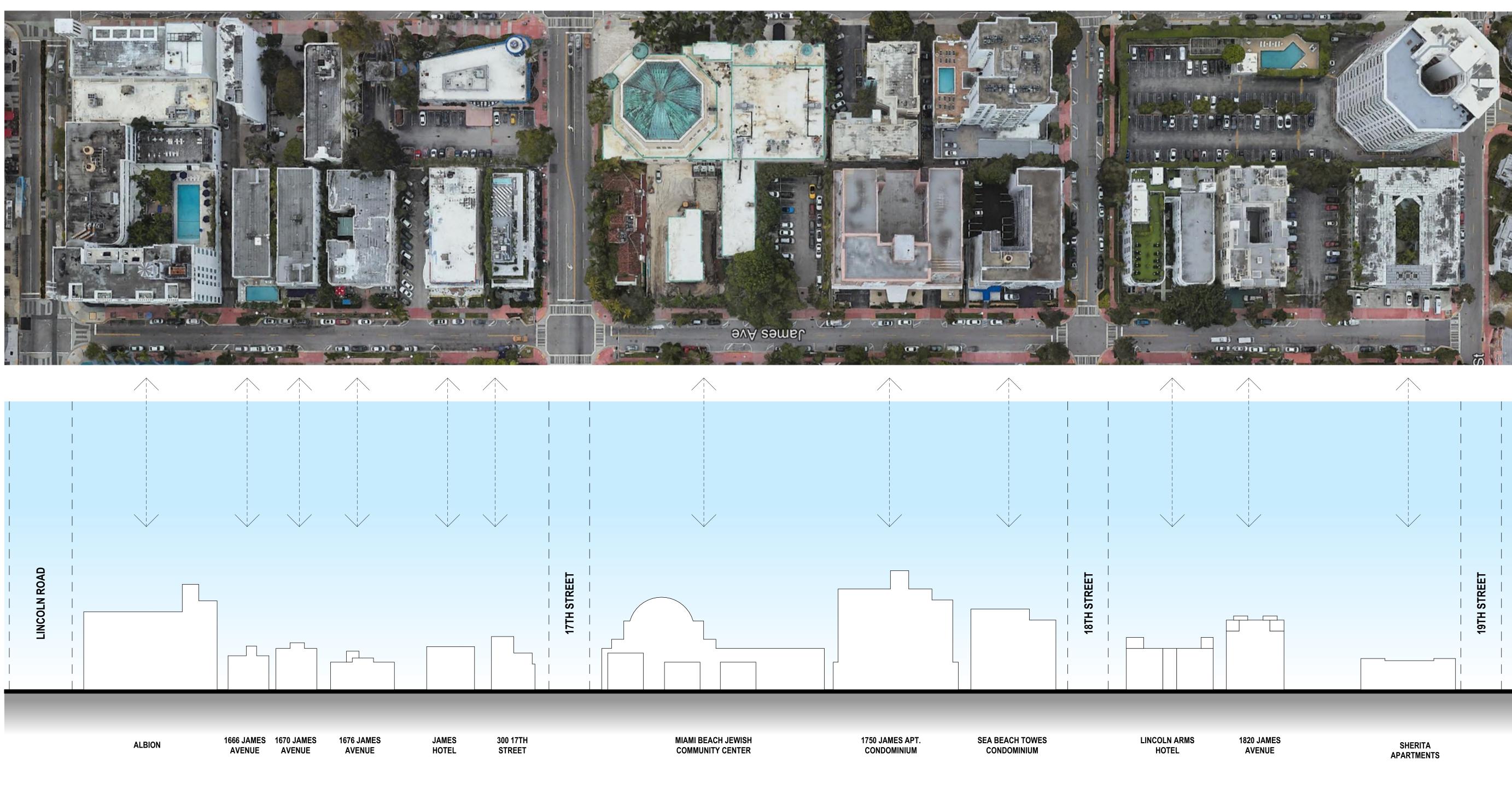




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JAMES AVENUE EAST ELEVATION **1** N.T.S.







JAMES AVENUE WEST ELEVATION **1** N.T.S.



7 Π 





FRAMED OR BOXED WINDOWS



WRAP-AROUND HORIZONTAL FEATURES

#### **ARCHITECT: LEONARD GLASSER REFERENCE BUILDINGS - ARCHITECTURAL ELEMENTS**

**1501 CALAIS DRIVE** 

800 LENOX AVE.



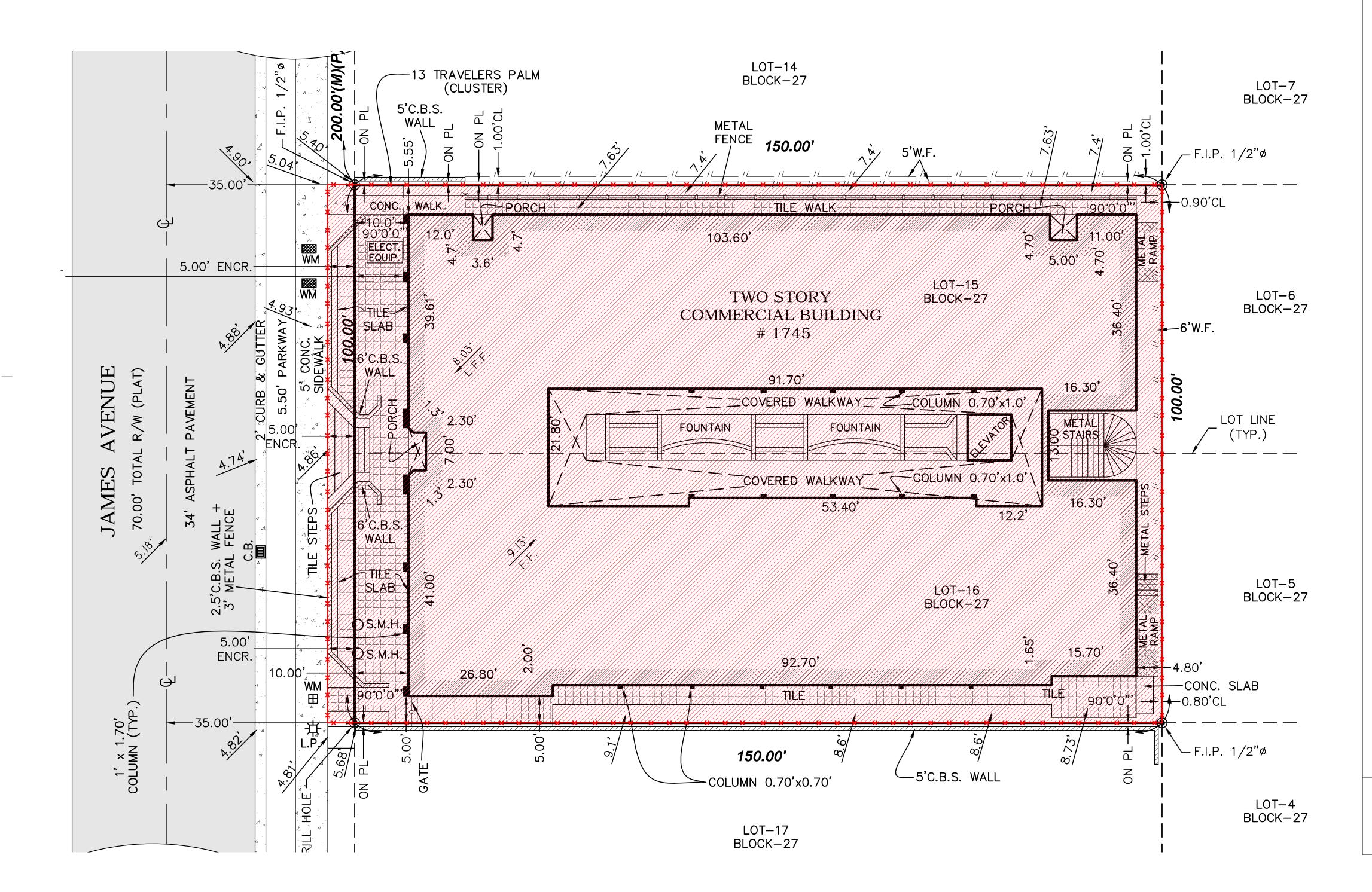
# MONUMENTAL ARCHITECTURAL ELEMENTS



1525 MICHIGAN AVE. PREVALENCE OF STUCCO FINISHES



ARCHITECTURAL REFERENCES **1** 





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#### **DEMOLITION NOTES**

PRIVATE INSTALLATION OF A TING PARTICLES AND DUST SPRINLE RUBBER AND DEERS WITH WRITER TO NEEP DUST TO A LODBING OF OBJECTIONALE CONTINUES AND AND THAT I MINITER TO THE DUST. INTO A UNITER TO REPORT OF MULTICIDAL PREVIOUS OF OBJECTION SUCH AS UT NOT I UNITED TO THE UDITATION OF A DUST OF MULTICIDAL DUST OF MULTICIDAL DUST OF A DUST OF MULTICIDAL DUST OF MULTICI		ARDS, INCLUDING WARNING SIGNS, BARRICADES, TEMPORARY FENCES, WARNING LIGHTS, REQUIRED FOR PROTECTION OF ALL PERSONNEL DURING DEMOLITION AND REMOVAL
WHERE USE A CUTING TORCH OR OTHER EQUIPMENT THAT MOST CAUSE A FRE IS USED, PROVIDE AND MANTAIN FRE INTROJUNG IN CREATING TORCH AND ADDRESS TO STRUCT ALL POSSIBLE LARGES IN USE OF FREE THROUGHERS. HERE PAY HYDRANT SLEAR AND ACCESSIBLE AT ALL THREE. BEFORE REPORTING AND EPACULTION YORK. THE CONTRACTOR SHULL BENERS THE STIC AND EXAMINE THE DRAWINGS TO STITUS TO REMAIN IN ALL CLEAR AND ACCESSIBLE OF ORDERATION SHULL THE INCRESSING PROVIDENT OF THE OWNER. ANY DAVAGED TERMS INTERVISION OF THE YORK. THE CONTRACTOR SHULL THE INCRESSING PROVIDENT OF THE OWNER. ANY DAVAGED TERMS INTERVISION OF ALL TUTULY LINES. CAP AT BLACK SIDE OF SDEWALL COLORBS AST OCCURS. THE PROVENTLY MUST BE FRACED ON IN-SOCIED STIC ANY AFTER DEMOLITION P CONSTNUCTION ORDER NOT COMMENSE INTERVISION ALL PROVIDENT AND DESCOOLONG THEORED RESOLUTION THEORED FOR FOOTING FOOTING ADD / OR PLESS. THE PROVENTLY MUST BE CONTRACTOR STRUCTURES INCLUMES TO CONSTRUCTION FOOTING FOOTING ADD / OR PLESS. THE PROVENTLY MUST BE CONSTRUCTIONES OF WORT FOOTING FOOTING FOOTING ADD / OR PLESS. THE PROVENTLY MUST BE CONTRACT TO LINE TO TO LINE TO CONSTRUCTION FROM ADD / OR PLESS. THE PROVINCE ALL PROVIDENT AND DESCOOLONG THEORED RESOLUTION OF THE TO AND CONTRACTOR ADD / OR PLESS. THE PROVINCE ALL PROVIDENT AND DESCOOLONG THEORED STRUCTURES DEVIDENT AT ADD SECOND TOTIONES AND THE PROVINCE AND THE PROVINCE AND THE PROVIDENT AT ADD SECOND TOTIONES AND THE PROVIDENT ADD SECOND TOTIONES AND THE PROVIDENT AT ADD SECOND TOTIONES AND THE PROVIDENT ADD ADD TOTIONES AND THE PROVIDENT ADD ADD SECOND TOTIONES AND THE PROVIDENT ADD ADD TOTIONES AND THE PROVIDENT ADD ADD TOTIONES AND THE PROVIDENT ADD ADD TO THE PROVIDENT ADD ADD	INIMUM. DO NOT USE WATER IF IT R	
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IGHEST LEVEL AND PROGRESSING DOWN TO LOWER PLOOR LEVEL DEMOLITION OF FIRST AND SECOND STORES MAY ROCCED SMULTHAROUSY. REMOVE MAD LECALLY DEMOCE OF ALL MATERIALS, ONCERE THAN EARTH TO REMAIN AS PART OF PROJECT WORK, FROM THE IF MATERIAL SENDES SHALL BECHAR PROFERSY OF THE CONTRACTOR MOS SHALL BED STORES D'AT I COMPANCE WITH PPUCABLE FEDERAL, STATE OR LOCAL PERMITS, RULES AND OR REGULATIONS AND BE HAULED TO APPROVED DISPOSAL IFES. I. THE REMOVAL OF HAZARDOUS MATERIALS (INCLUDING BUT NOT LIMITED TO ASBESTOS) SHALL BE DONE IN ACCORDANCE ITH ALL PAPUCABLE FEDERAL, STATE OR LOCAL REGULATIONS. I. HER REMOVAL OF HAZARDOUS MATERIALS (INCLUDING BUT NOT LIMITED TO ASBESTOS) SHALL BE DONE IN ACCORDANCE ITH ALL PAPUCABLE FEDERAL, STATE OR LOCAL REGULATIONS. I. HER REMOVAL OF HAZARDOUS MATERIALS (INCLUDING BUT NOT LIMITED TO ASBESTOS) SHALL BE DONE IN ACCORDANCE ITH ALL PAPUCABLE FEDERAL, STATE OR LOCAL PERMITS, RULES CONTRACTOR AND LUCE DISPOSAL OFF ALL TENS NOMTONS SATISFACTORY TO THE OWNER AND BUILDING DEPARTHEMT. CLEAN, UF SHALL ISALLE DEMISSION OFF ALL TENS NOMTERIALS SHOLD FOR OWNER AND BUILDING DEPARTHEMT. CLEAN, UF SHALL INCLUDE DISPOSAL OFF ALL TENS NOMTERIALS SHOLD ENGLISHED TO REMAIN THE PROPERTY OF THE OWNER AS WELL AS ALL DEBRIS AND RUBBISH RESULTING ROM DEMOLITION OFERATIONS. 1. ALL REDONNERLS. 1. ALL REDONNERLS. 1. ALL REDONNERLS. 1. ALL REDONNERLS. 1. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CLEAN, ORGANIZED AND SAFE CONSTRUCTION SITE. 1. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE SECURED FROM PUBLIC ACCESS. 1. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CLEAN, ORGANIZED AND SAFEL CONSTRUCTION AND WHICH 4. CLEANS SURFACESS OR ANY OTHER ITEMS OUTSIDE OF THE PORNER. 1. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL PUBLIC AREAS FROM ANY TYPE OF HAZARDOUS CONDITION. 2. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL PUBLIC BREAS FROM ANY TYPE OF HAZARDOUS CONDITION. 3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE SECURED SON	- CURBS - SITE LIGHTING	- DRAIN INLETS AND WELLS
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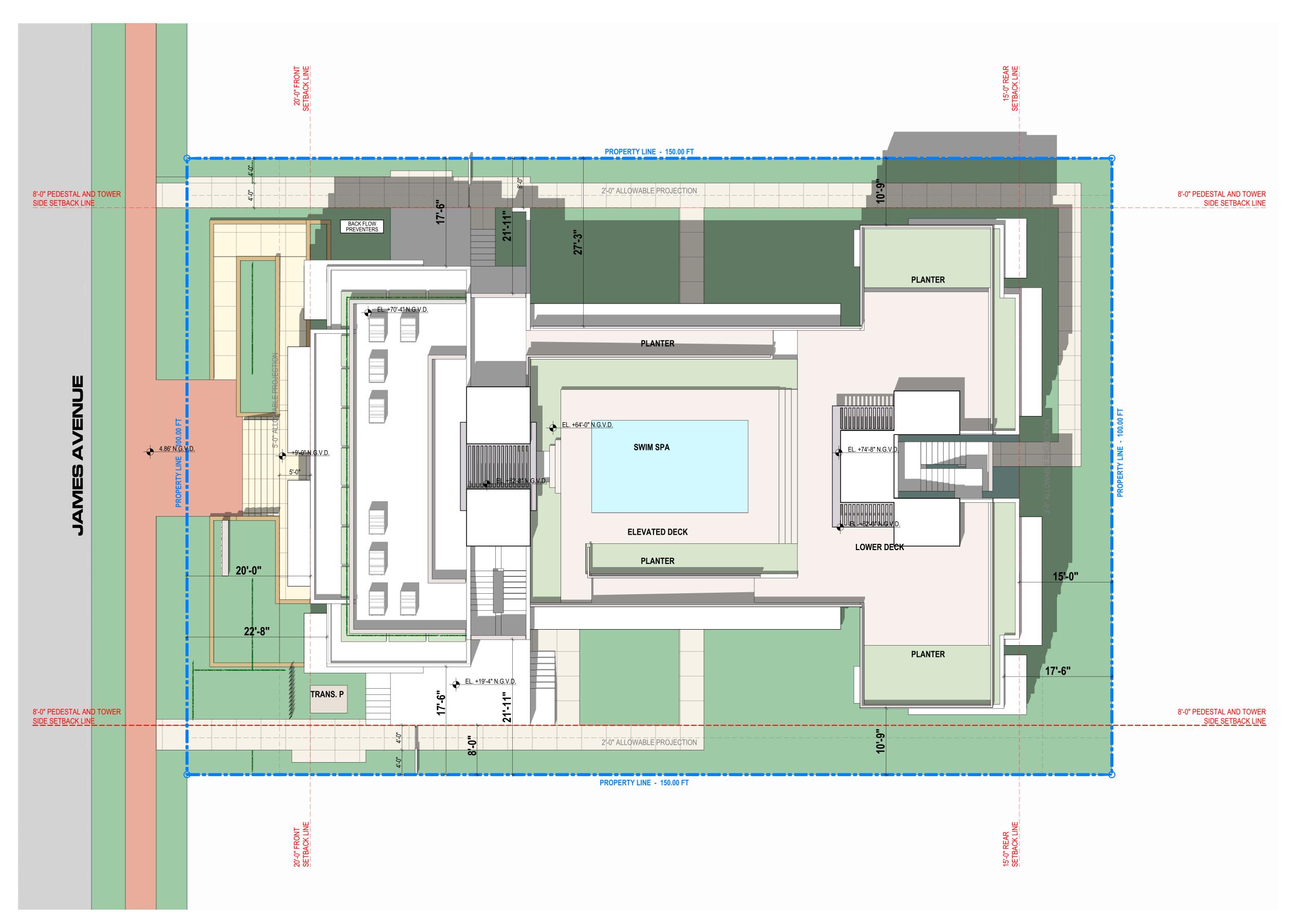


DEMOLITION PLAN

SCALE 3/32" = 1'-0"

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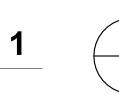


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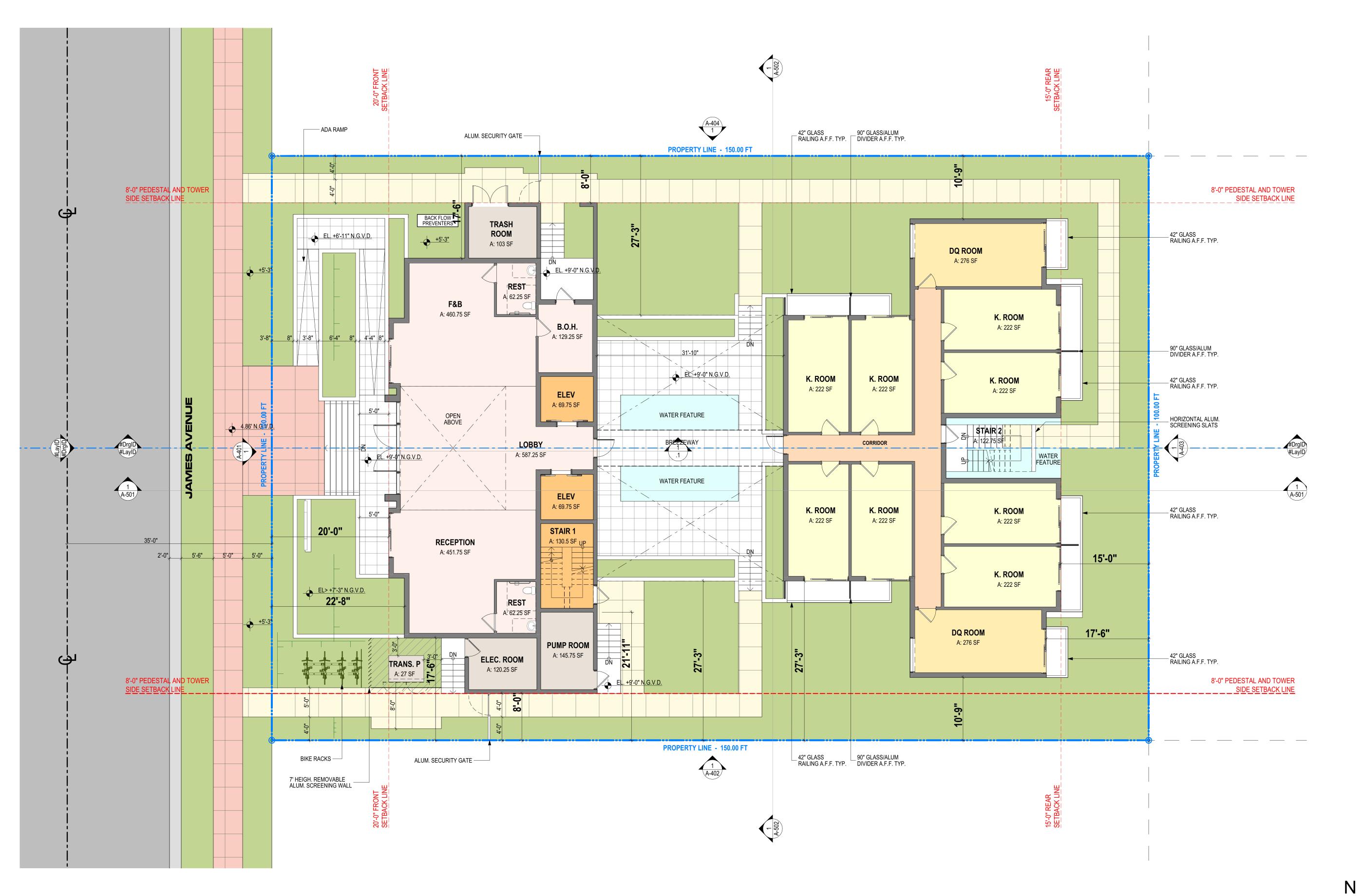
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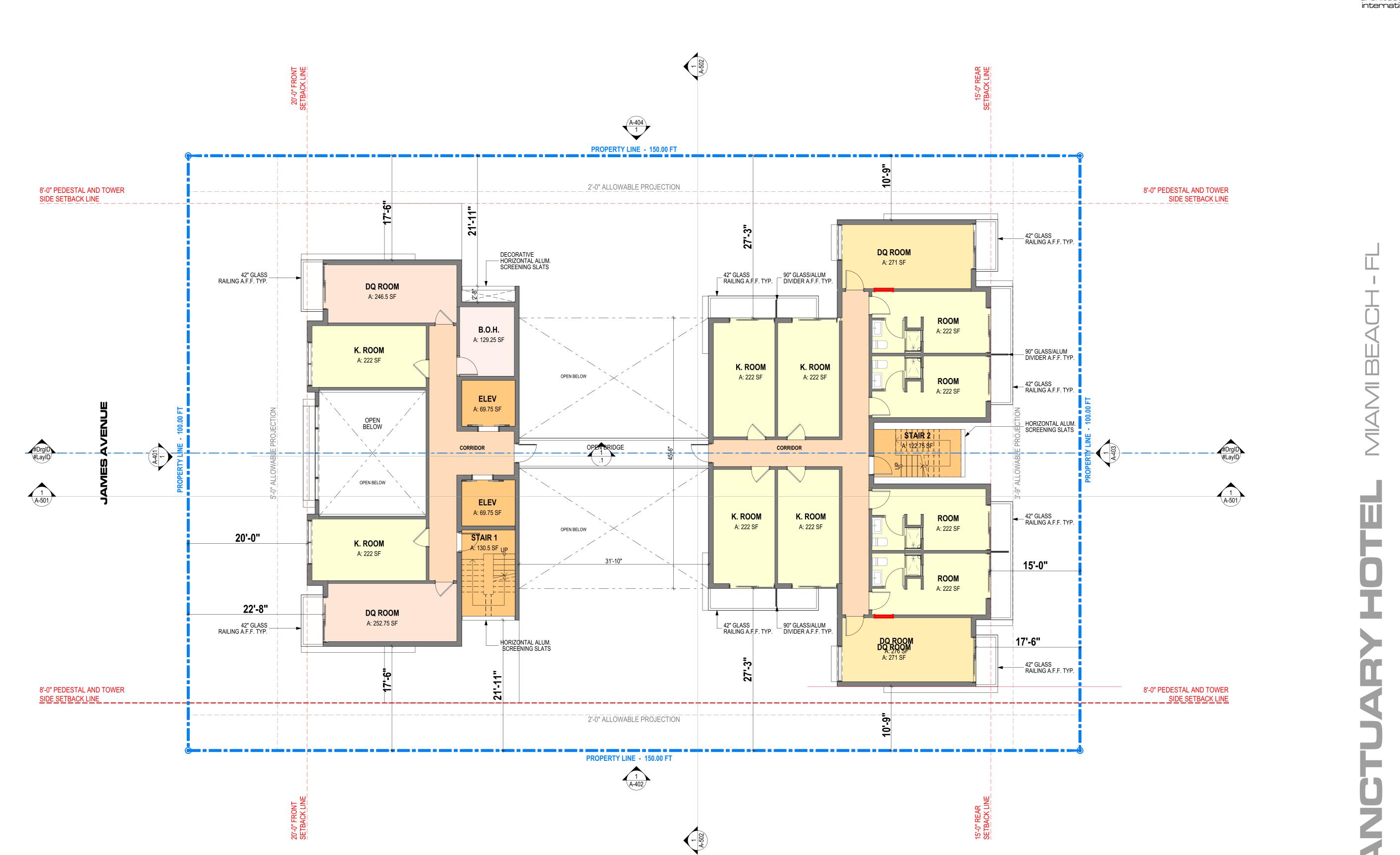
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FLOOR PLAN GROUND LEVEL **1** SCALE 1/8" = 1'-0" SANCTUARY HOTEL

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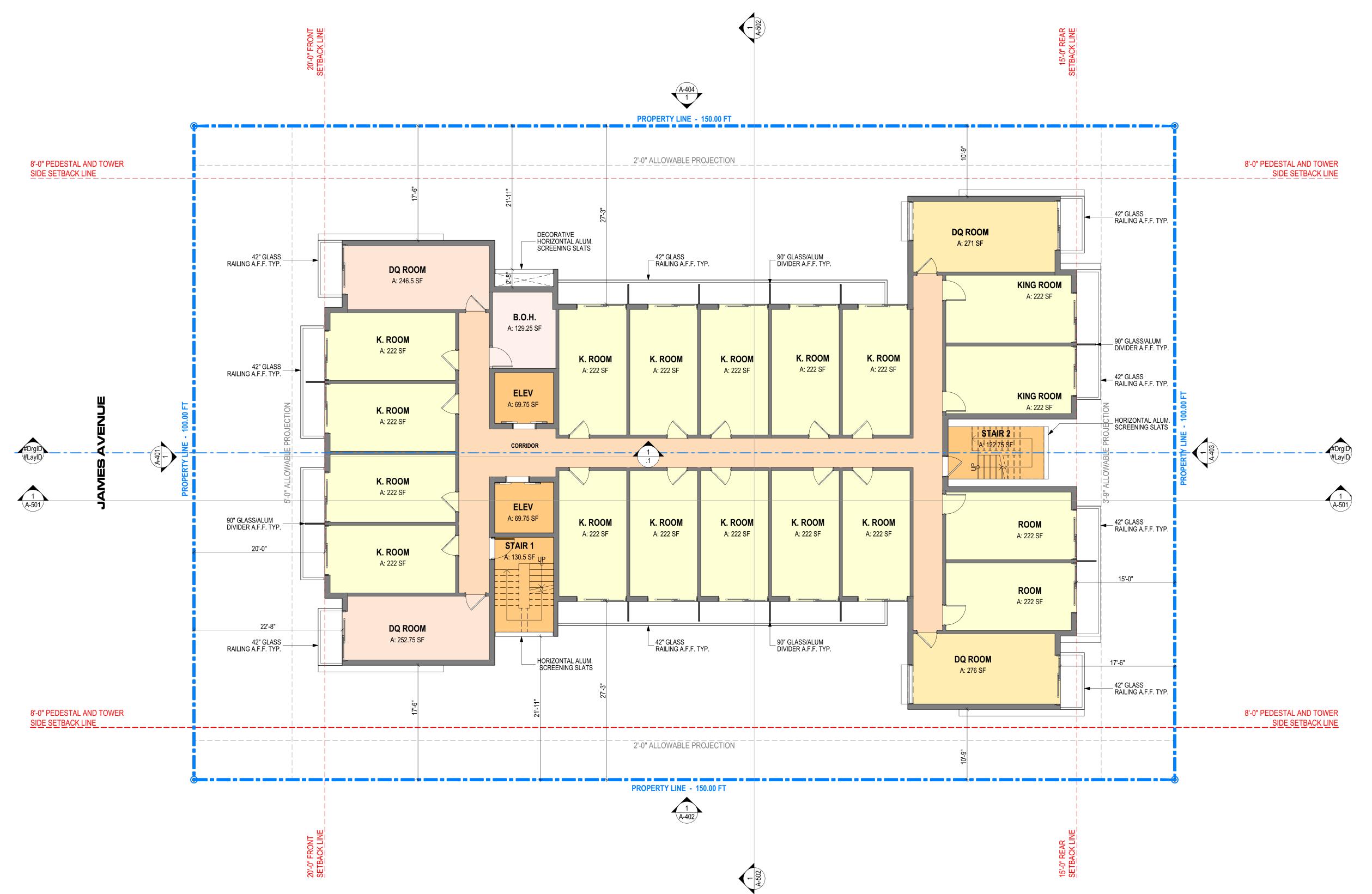




FLOOR PLAN SECOND LEVEL **1** SCALE 1/8" = 1'-0"

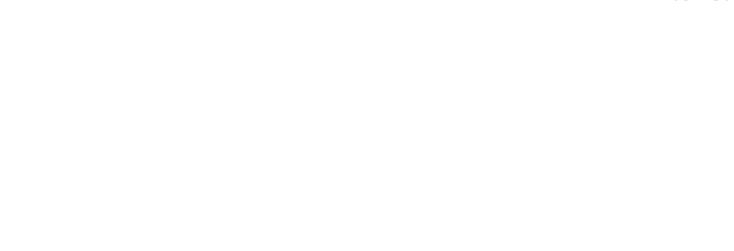
A-102

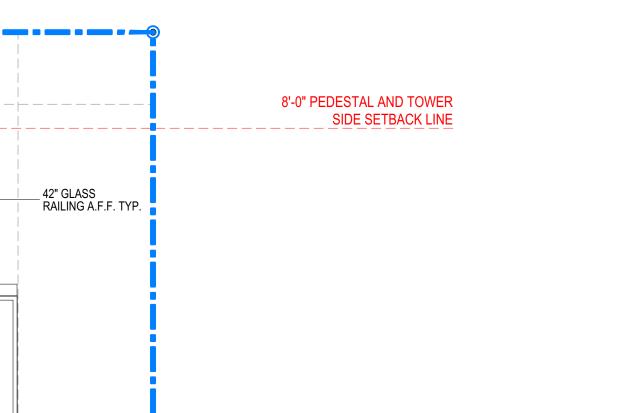
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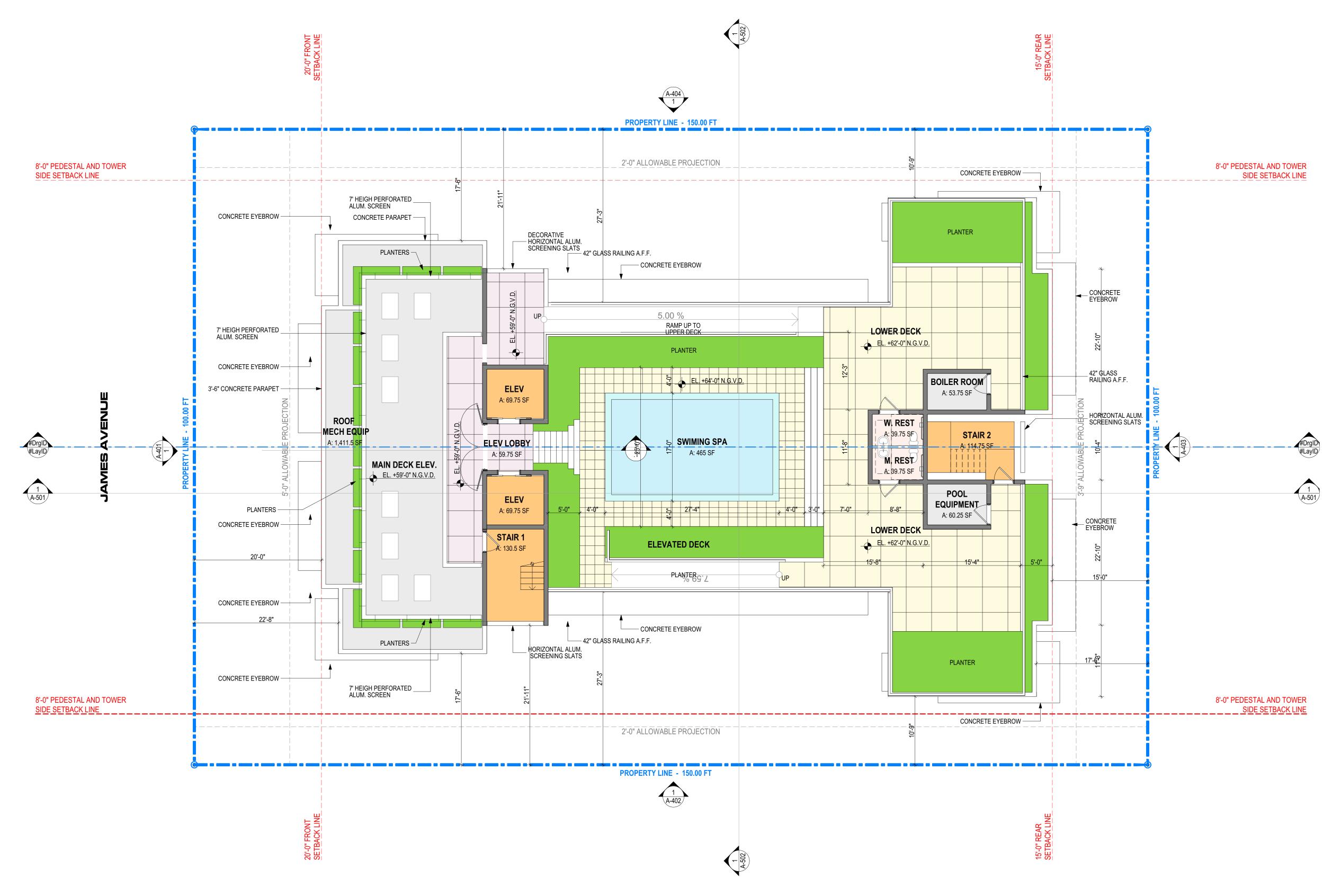
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FLOOR PLAN LEVELS 3 THROUGH 5 TYP. **1** SCALE 1/8" = 1'-0"

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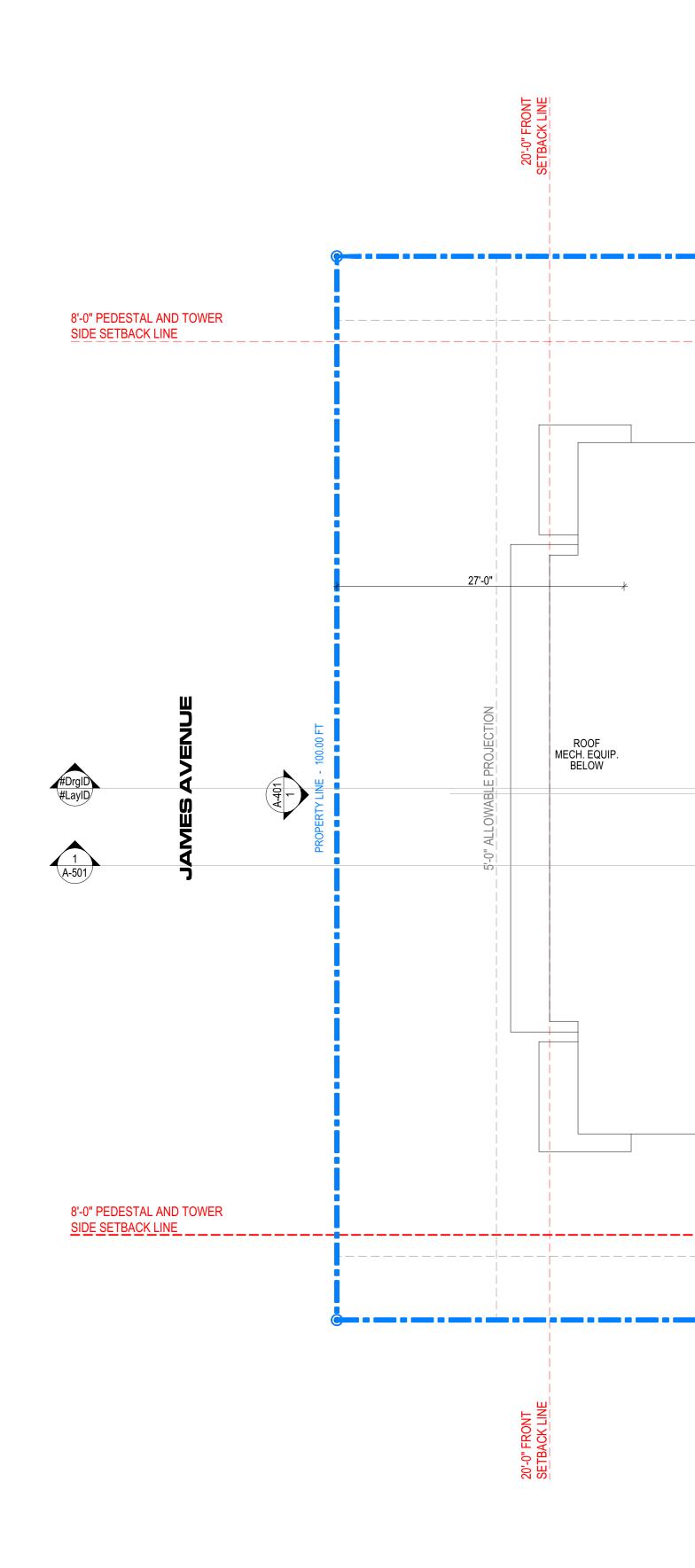
**DECK AREA** ENCLOSED AREA BELOW DECK: 6,486 SF TOTAL DECK AREA 2,806 SF < 50% FLOOR BELOW 3,243 SF

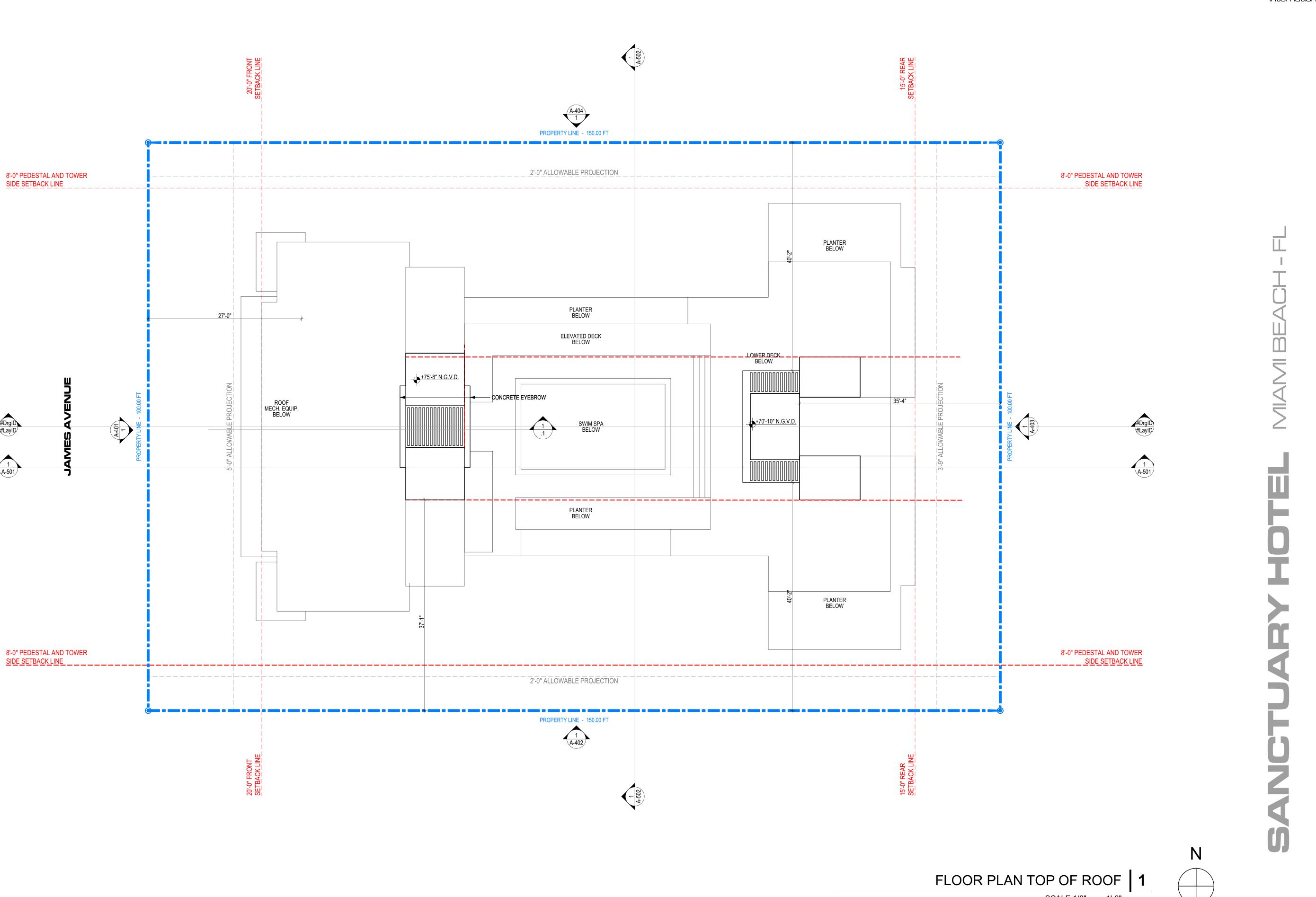


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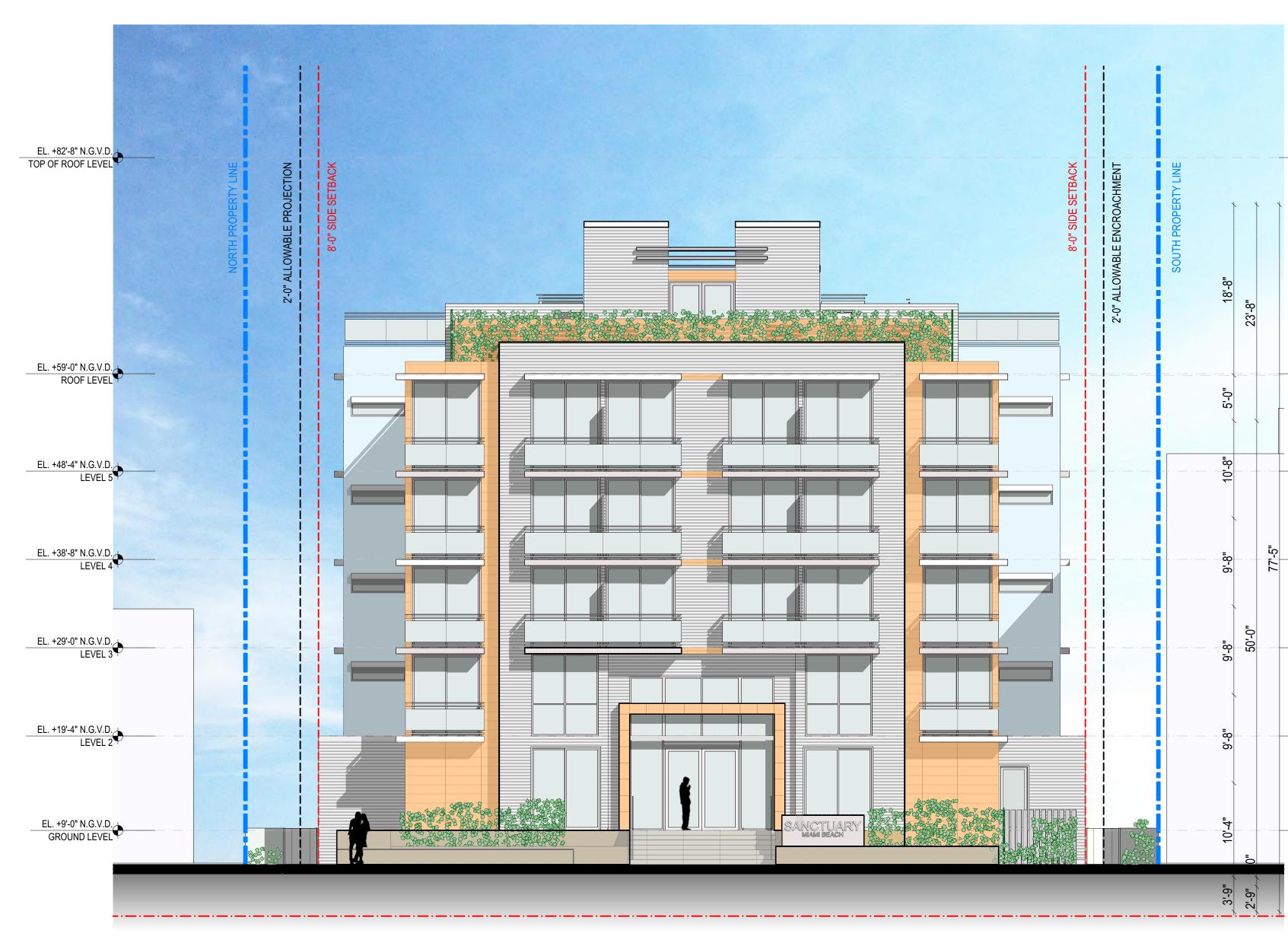






FLOOR PLAN TOP OF ROOF 1

SCALE 1/8" = 1'-0"



## AS APPROVED ON HPB MEETING OF JULY 14, 2020 - FILE No. **HPB19-0354**

EL. +82'-8" N.G.V.D. TOP OF ROOF LEVEL

EL. +59'-0" N.G.V.D. ROOF LEVEL

EL. +48'-4" N.G.V.D. LEVEL 5

EL. +38'-8" N.G.V.D.

EL. +29'-0" N.G.V.D. LEVEL 3

EL. +19'-4" N.G.V.D. LEVEL 2

EL. +9'-0" N.G.V.D. GROUND LEVEL

#### **NEW REVISED**

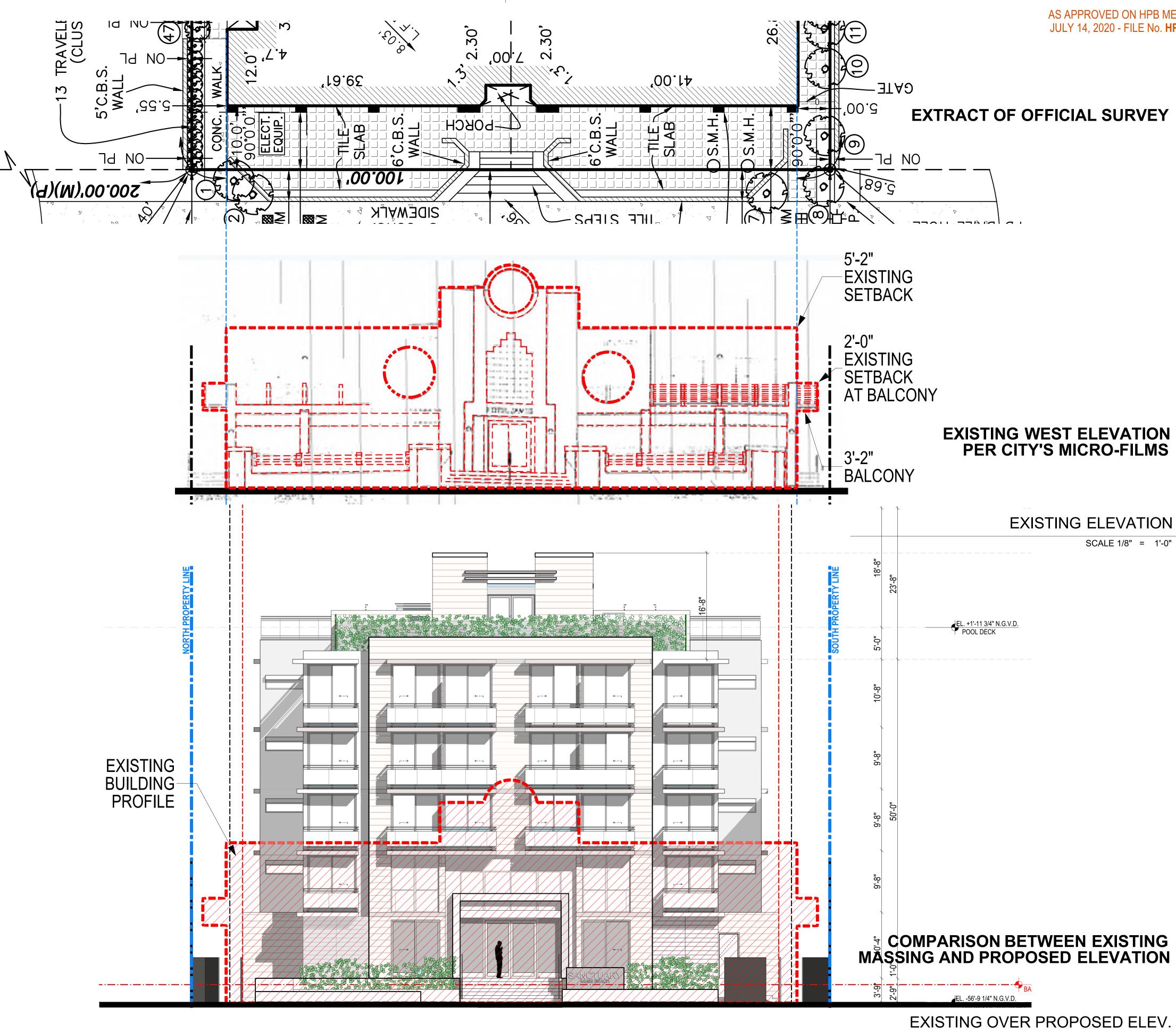
 WEST ELEVATION
 1

 SCALE 1/8"
 1'-0"

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architecture international



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# EXISTING WEST ELEVATION PER CITY'S MICRO-FILMS

Y	

#### EXISTING ELEVATION 5

SCALE 1/8" = 1'-0"

COMPARISON BETWEEN EXISTING

EXISTING OVER PROPOSED ELEV. **4** SCALE 1/8" = 1'-0"

**JIAN** 

A-401.2

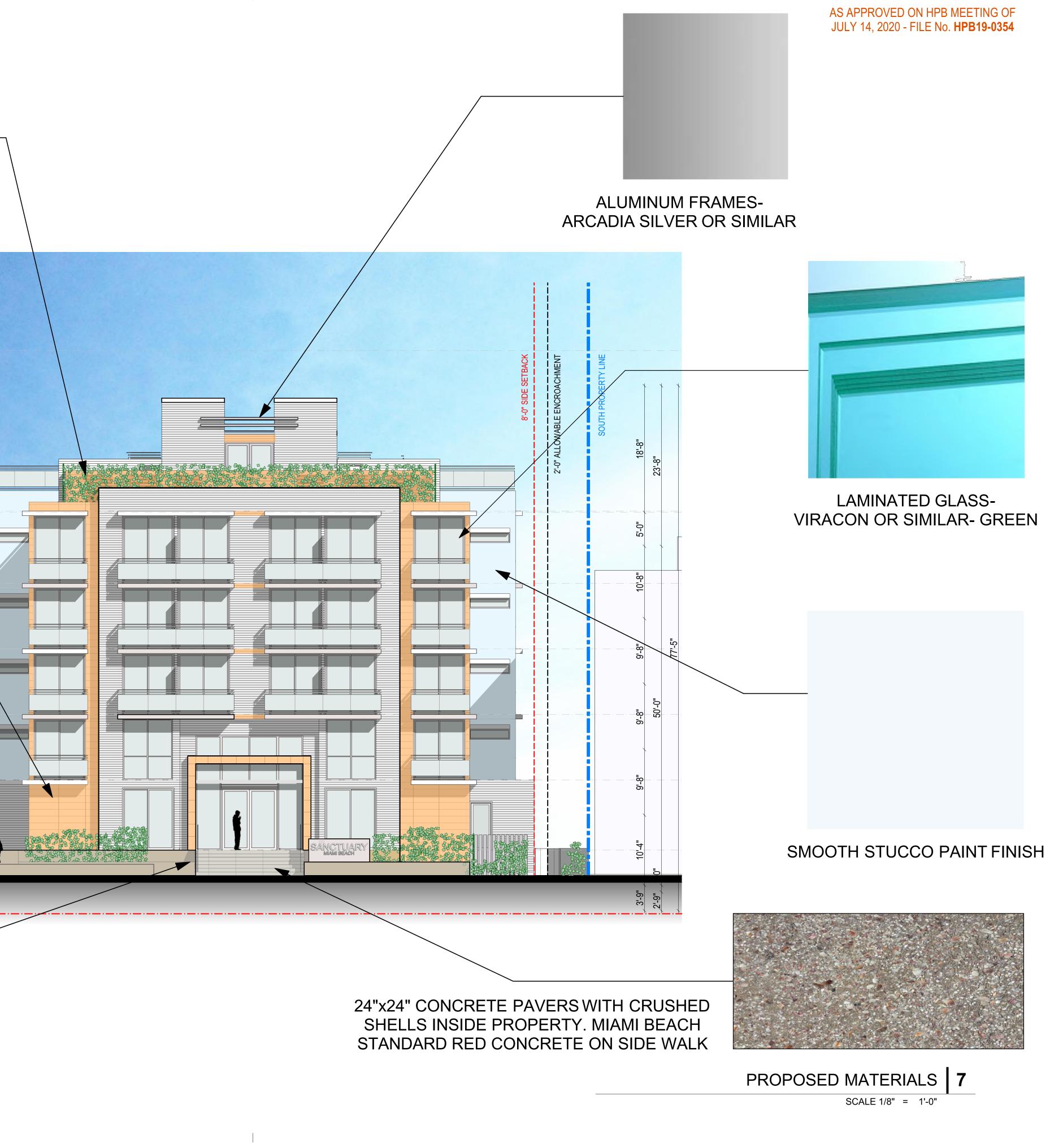


#### ALUMINUM MECHANICAL SCREEN

STONE CLADDING



RAILING DETAIL





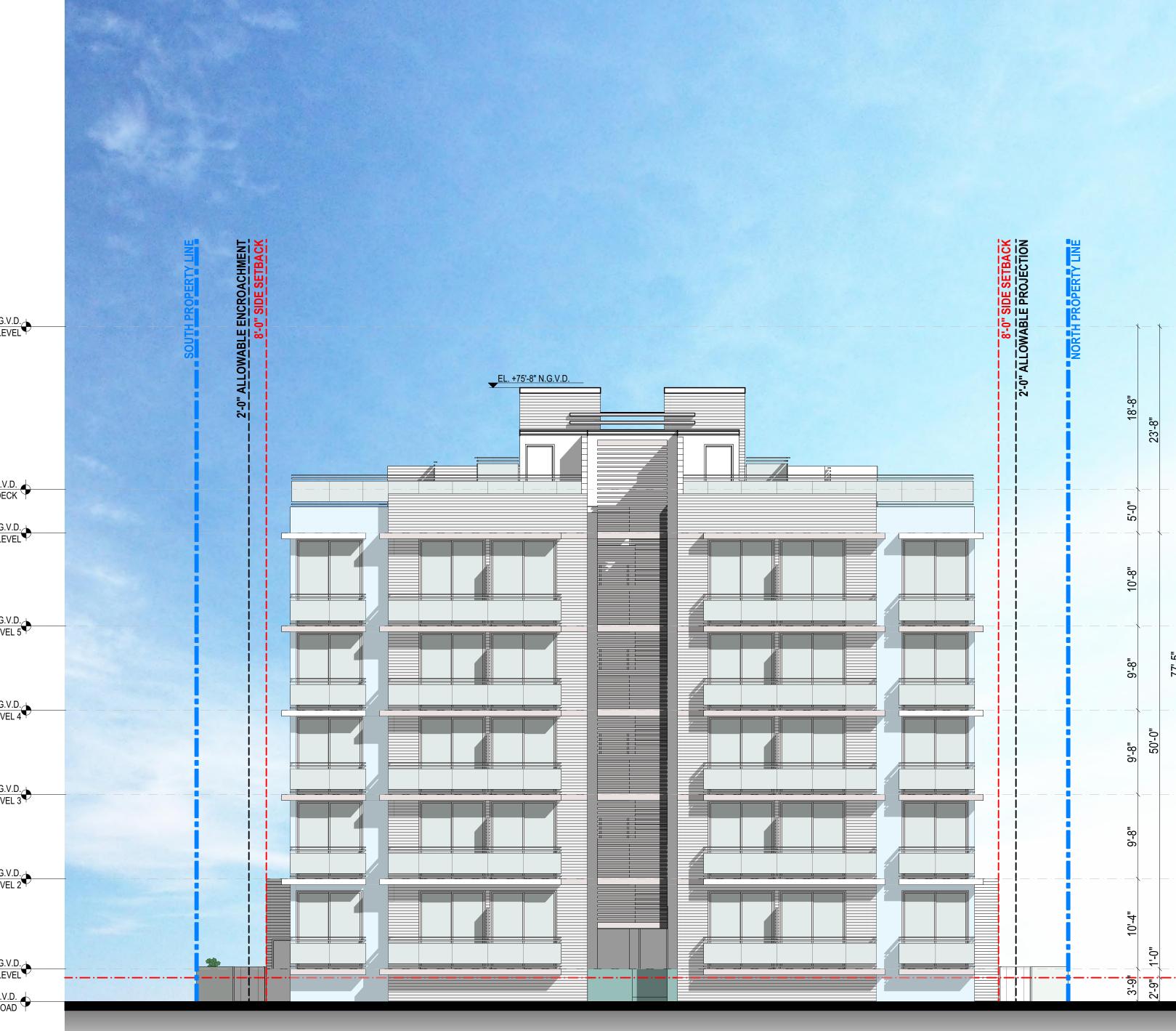
A-401.3





**NEW REVISED** SOUTH ELEVATION **1** SCALE 1/8" = 1'-0"

A-402



#### EL. +82'-8" N.G.V.D.

EL. +64'-0" N.G.V.D. POOL DECK

EL. +59'-0" N.G.V.D. ROOF LEVEL

EL. +48'-4" N.G.V.D. LEVEL 5

\_\_\_\_EL. +38'-8" N.G.V.D. LEVEL 4

EL. +29'-0" N.G.V.D.

EL. +19'-4" N.G.V.D. LEVEL 2

EL. +9'-0" N.G.V.D. GROUND LEVEL EL. +5'-3" N.G.V.D. CROWN OF THE ROAD

CROWN OF THE ROAD Y

## AS APPROVED ON HPB MEETING OF JULY 14, 2020 - FILE No. **HPB19-0354**

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#### EL. +82'-8" N.G.V.D. TOP OF ROOF LEVEL

\_\_\_\_\_ <u>EL. +64'-0" N.G.V.D.</u> POOL DECK

#### EL. +59'-0" N.G.V.D. ROOF LEVEL

EL. +48'-4" N.G.V.D. LEVEL 5

EL. +38'-8" N.G.V.D. LEVEL 4

EL. +29'-0" N.G.V.D. LEVEL 3

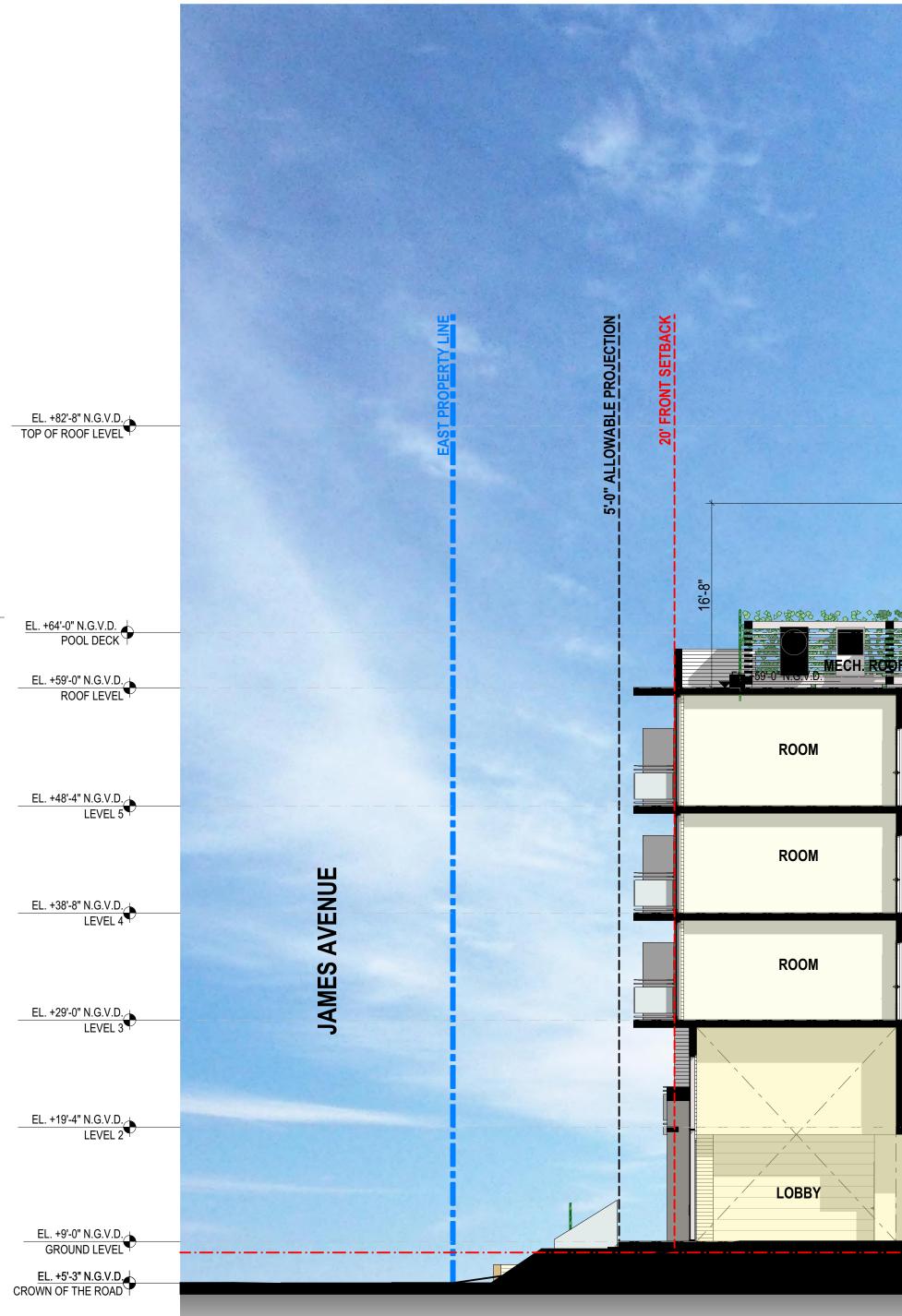
EL. +19'-4" N.G.V.D. LEVEL 2

EL. +9'-0" N.G.V.D. GROUND.LEVEL +8'-0" (N.G.V.D.) BASE FLOOD ELEVATION EL. +5'-3" N.G.V.D. CROWN OF THE ROAD

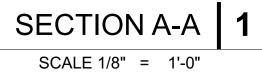
> NEW REVISED EAST ELEVATION 1

> > SCALE 1/8" = 1'-0"

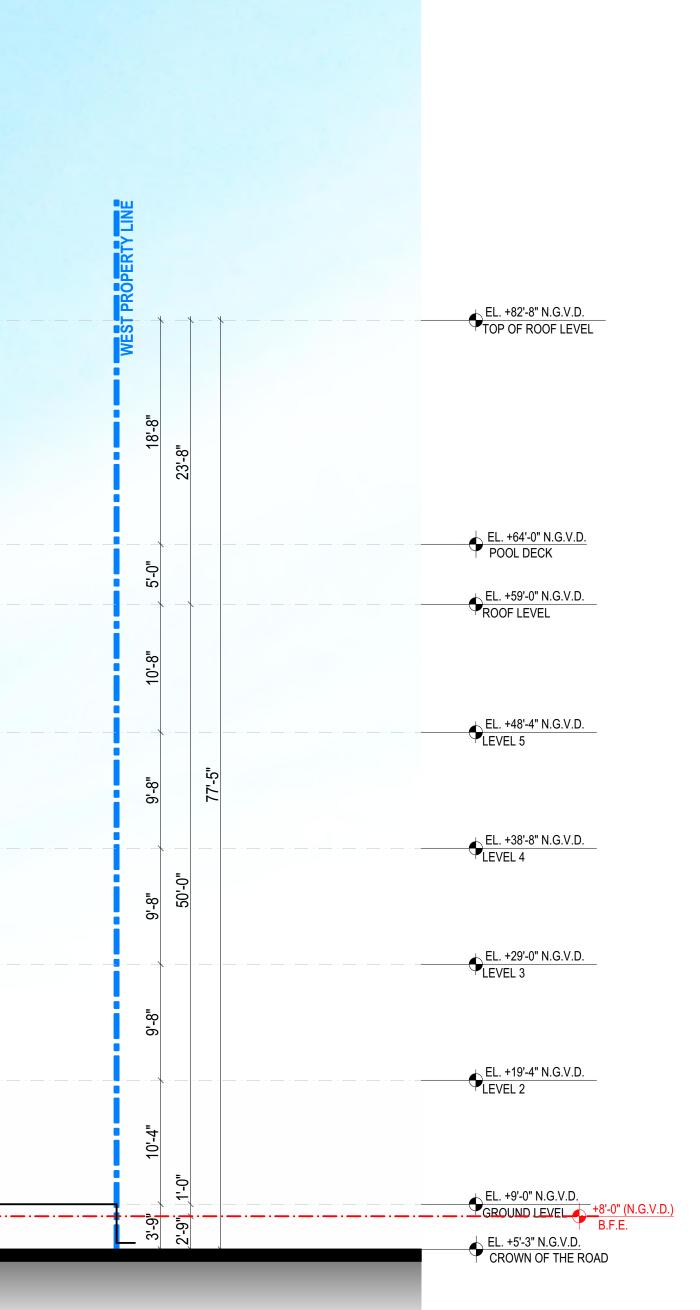
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									TBACK	ECTION
									15' REAR SETBACK	3-9" ALLOWABLE PROJECTION
	C	ELEV. DVERRUN						EL. +70'-2" N.G.V.D.		<u>3'-9" AI</u>
		ELEV.		POOL	POOL DECK		LOW	R DECK		
	OR	ELEV.	ROOM	ROOM	ROOM	ROOM	CORR.	ROOM		
CORRIC	OR	ELEV.	ROOM	ROOM	ROOM	ROOM	CORR.	ROOM		
CORRIC	OR	ELEV.	ROOM	ROOM	ROOM	ROOM	CORR.	ROOM		
CORRIE	OR	ELEV.			ROOM	ROOM	CORR.	ROOM		
		ELEV.		BREEZEWAY	ROOM	ROOM	CORR.	ROOM		
				· _ · · · · · · · · · · · · · · · · · ·						



# COMPARISON OF PREVIOUS OVER NEW PROPOSED ELEVATION

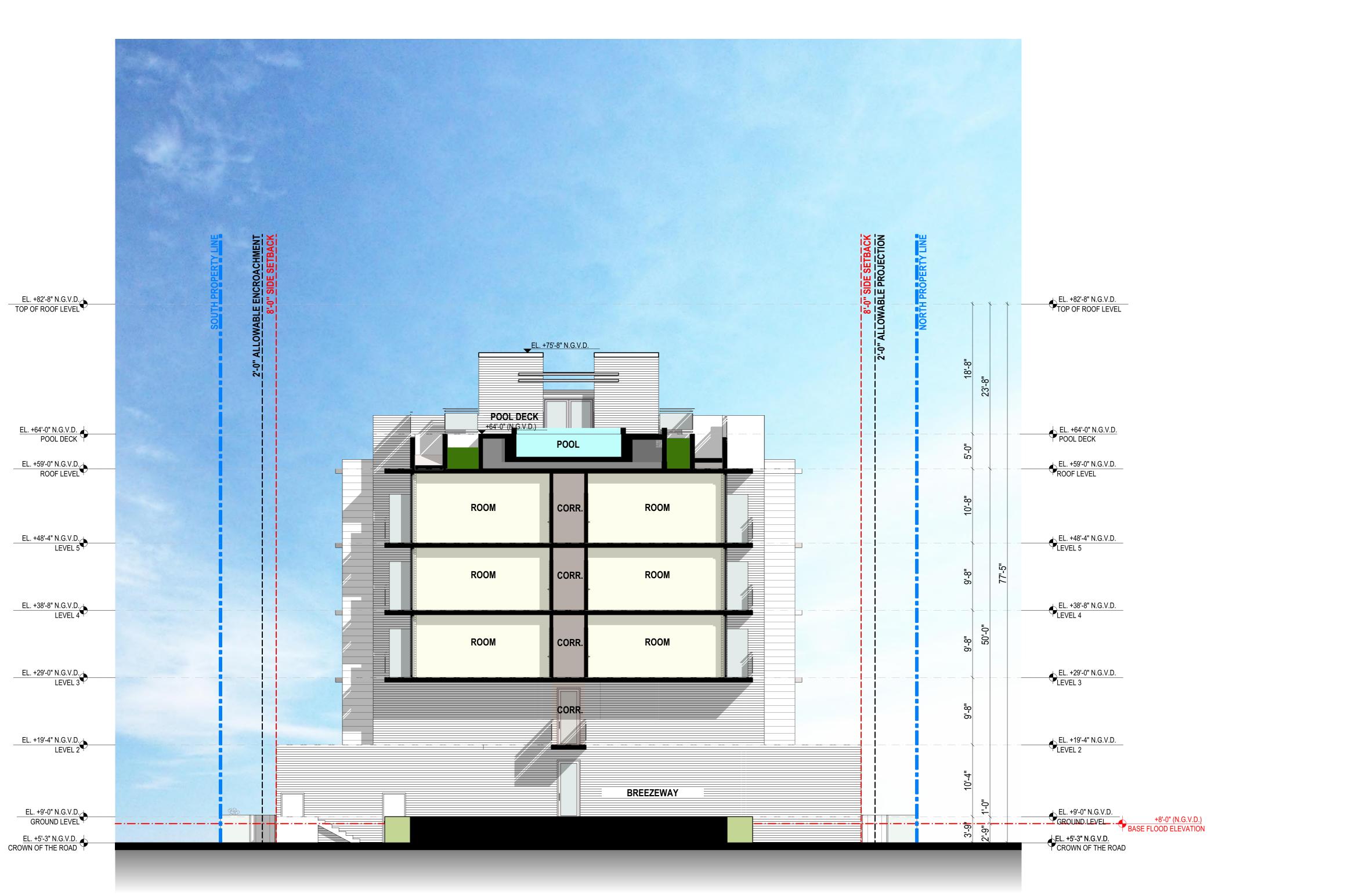


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#### COMPARISON OF PREVIOUS OVER NEW PROPOSED ELEVATION





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NEW PROPOSED AERIAL VIEW 1 SCALE 1:211.4189 ШÌ 7

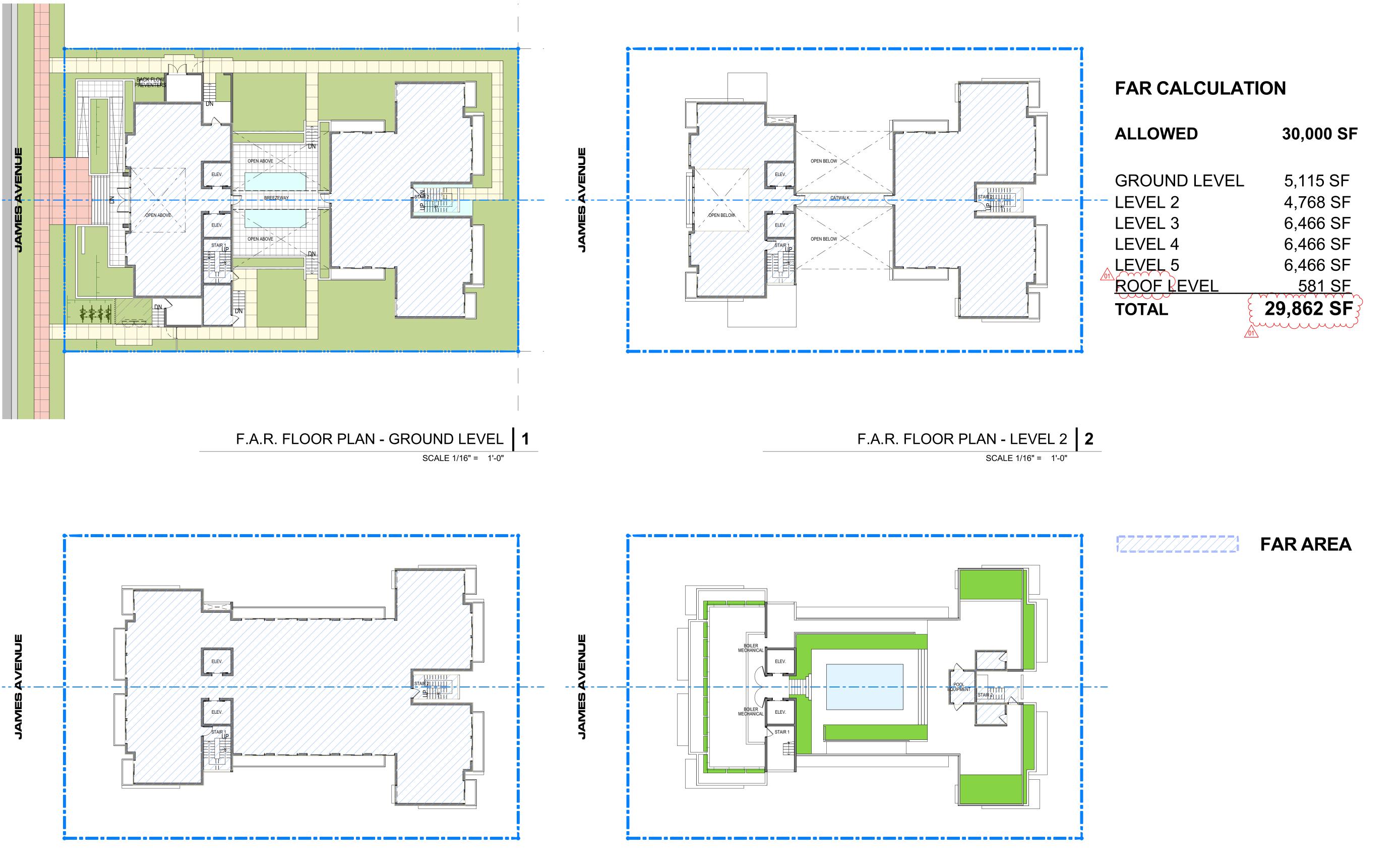


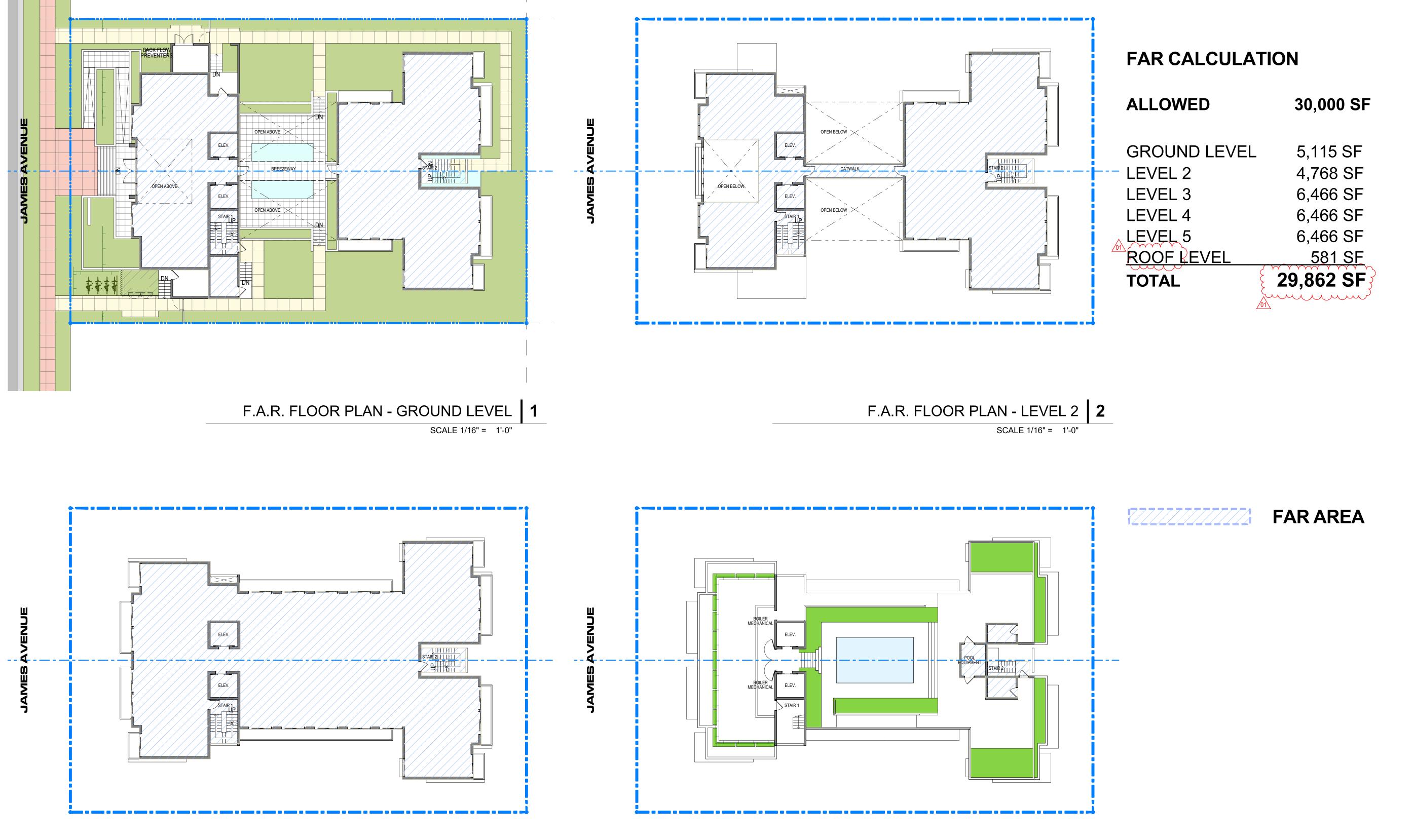


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# **BACK LOT**





F.A.R. FLOOR PLAN - LEVEL 3, 4 & 5 **3** 

SCALE 1/16" = 1'-0"

F.A.R. FLOOR PLAN - ROOF LEVEL

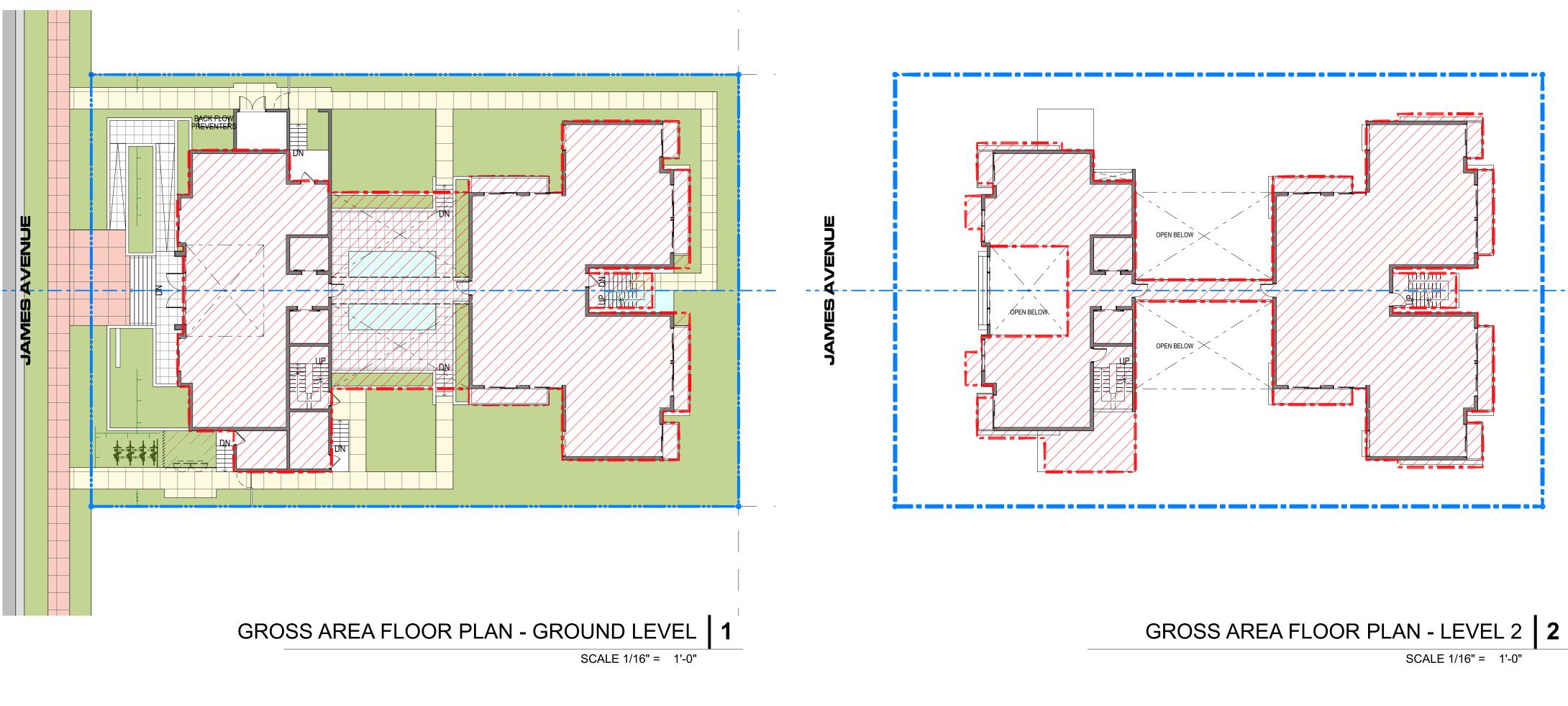
SCALE 1/16" = 1'-0"

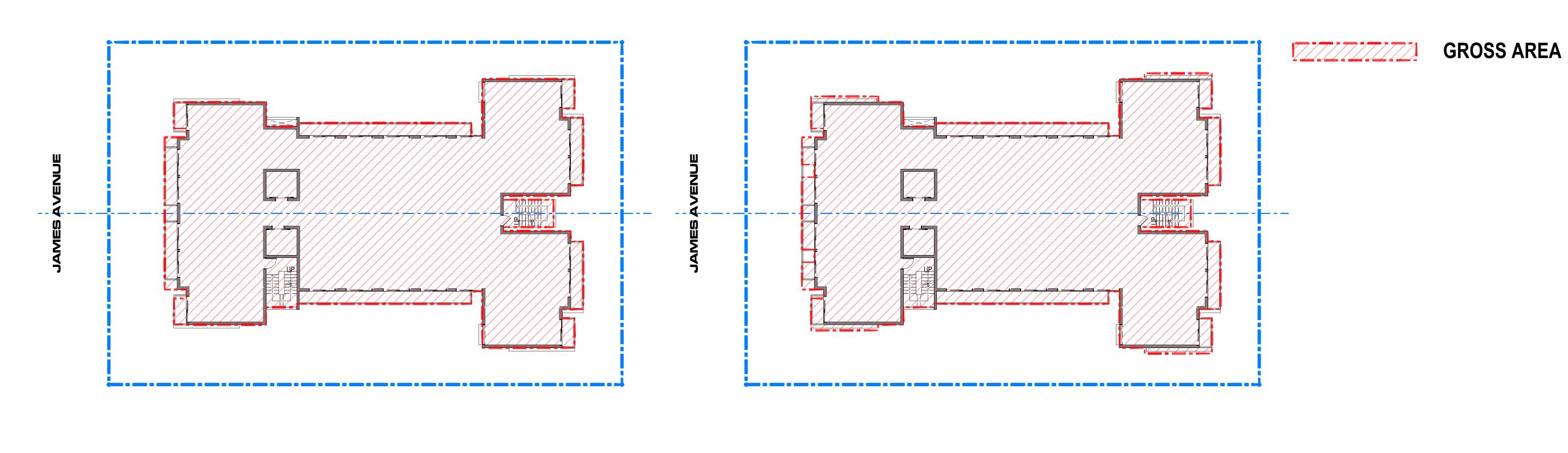
AS APPROVED ON HPB MEETING OF JULY 14, 2020 - FILE No. **HPB19-0354** 

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GROSS AREA FLOOR PLAN - LEVEL 3 3

#### GROSS AREA FLOOR PLAN - LEVEL 4

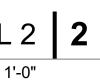
SCALE 1/16" = 1'-0"

SCALE 1/16" = 1'-0"



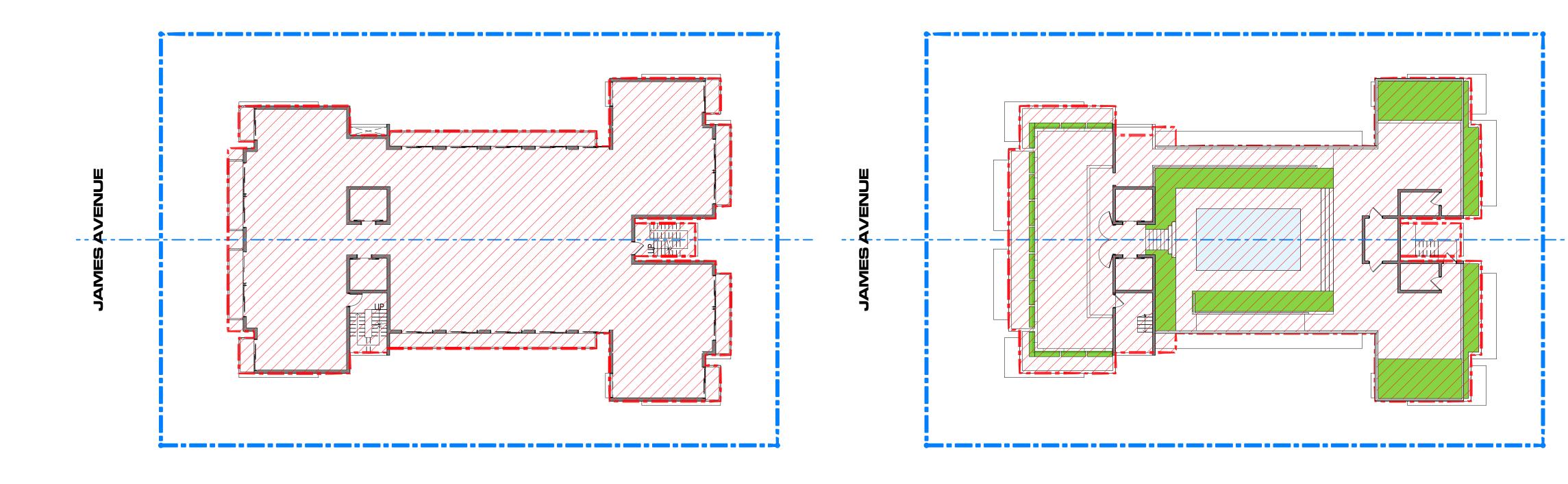
#### **GROSS AREA CALCULATION**

GROUND LEVEL	7,071 SF
LEVEL 2	5,642 SF
LEVEL 3	7,069 SF
LEVEL 4	7,256 SF
LEVEL 5	7,270 SF
ROOF LEVEL	6,510 SF
TOP OF ROOF	2,015 SF
TOTAL	42,833 SF

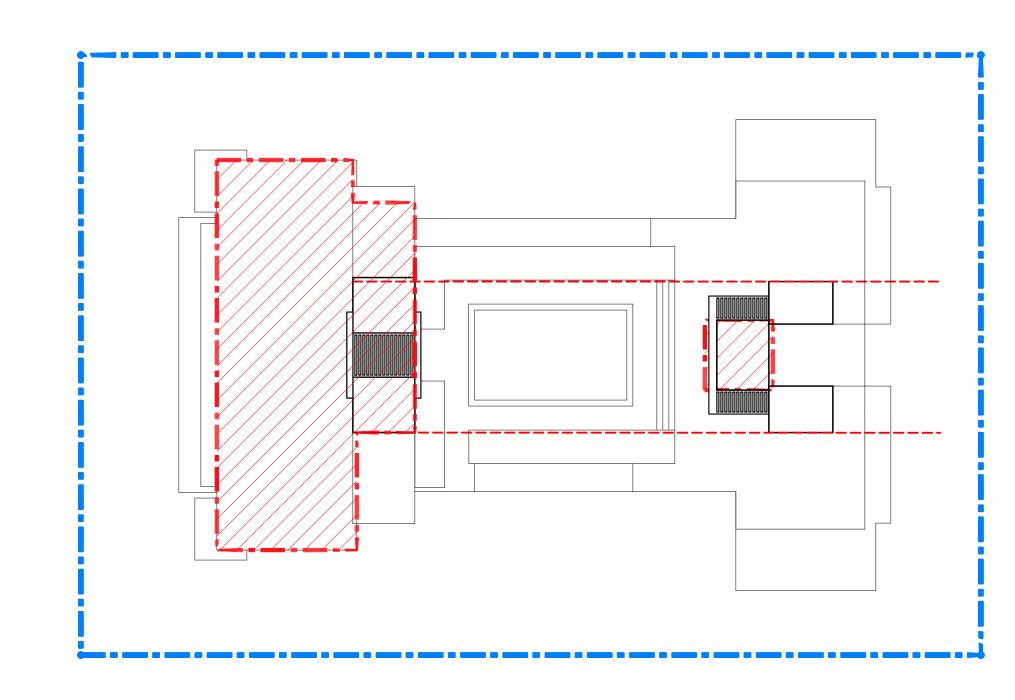








#### GROSS AREA FLOOR PLAN - LEVEL 5 **1**



GROSS AREA FLOOR PLAN - TOP OF ROOF **3** 

SCALE 1/16" = 1'-0"

#### GROSS AREA FLOOR PLAN - ROOF LEVEL 2

SCALE 1/16" = 1'-0"

SCALE 1/16" = 1'-0"

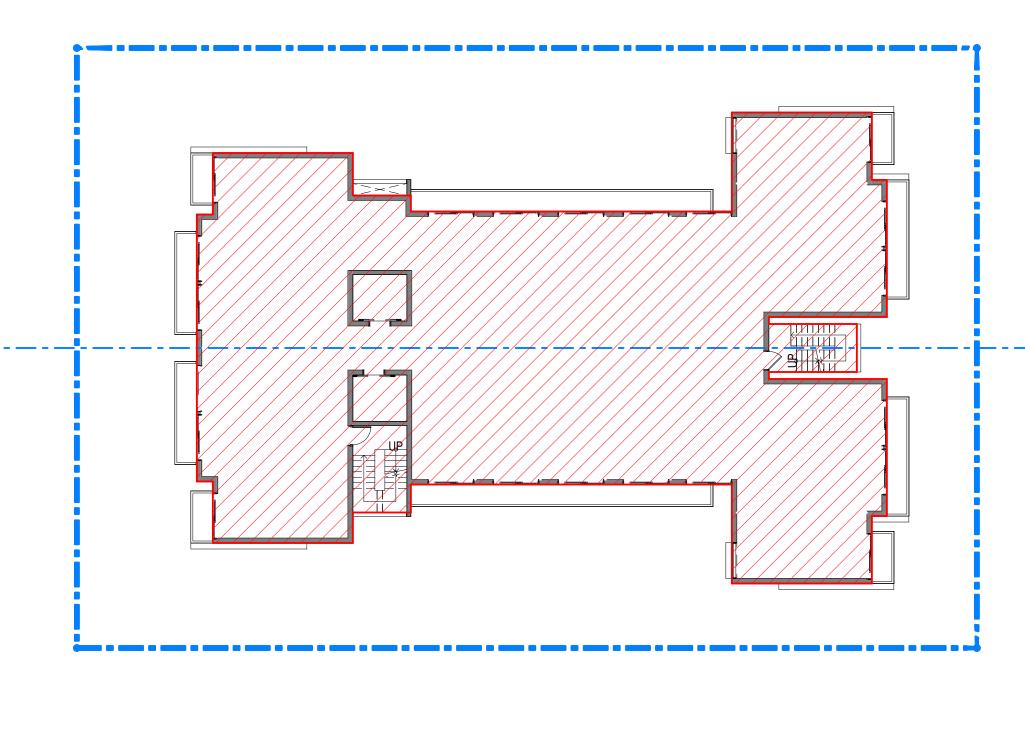


#### **GROSS AREA CALCULATION**

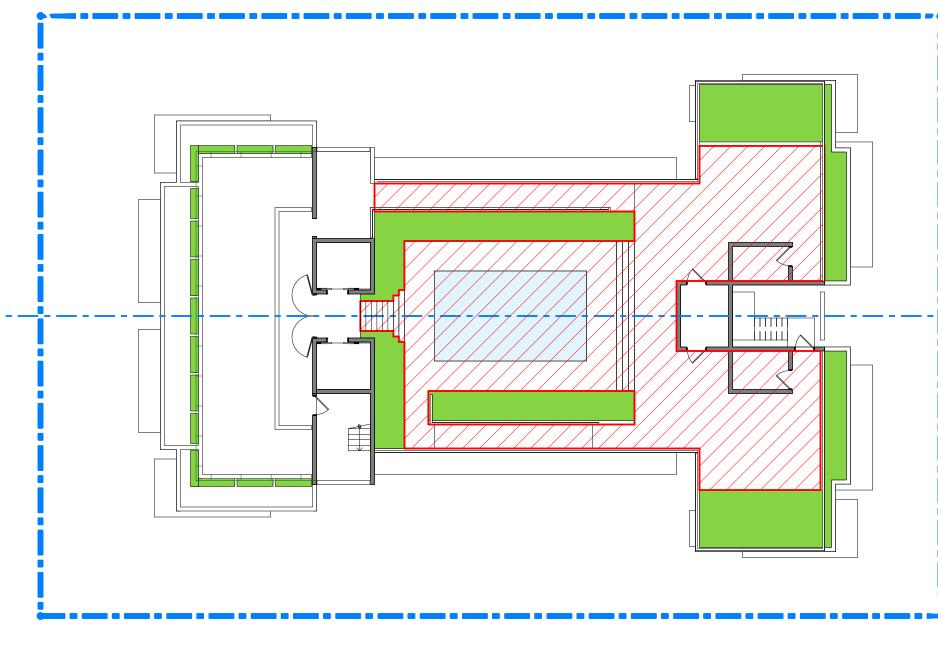
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LEVEL 2	5,642 SF
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LEVEL 4	7,256 SF
LEVEL 5	7,270 SF
ROOF LEVEL	6,510 SF
TOP OF ROOF	2,015 SF
TOTAL	42,833 SF

**GROSS AREA** 

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FLOOR PLAN - LEVEL 5 **1** 





ROOF DECK - FLOOR PLAN

SCALE 1/16" = 1'-0"



# **ROOF DECK CALCULATION** LEVEL 5

50%=

6,466 SF 3,233 SF

ROOF DECK AREA 2,749 SF < 50%

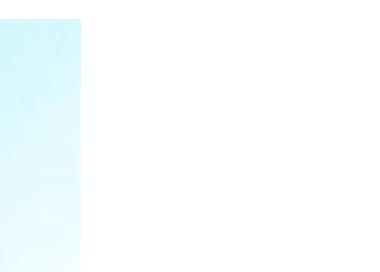
### CALCULATION AREA

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