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Santiago, Chile

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LANDSCAPE ARCHITECT

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SANCTUARY HOTEL

1 745 JAMES AVENUE MIAMI BEACH FLORIDA 33139 USA

AS APPROVED ON HPB MEETING OF
JULY 14, 2020 - FILE No. HPB19-0354

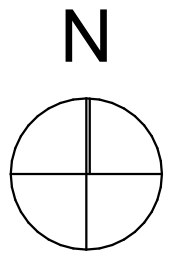
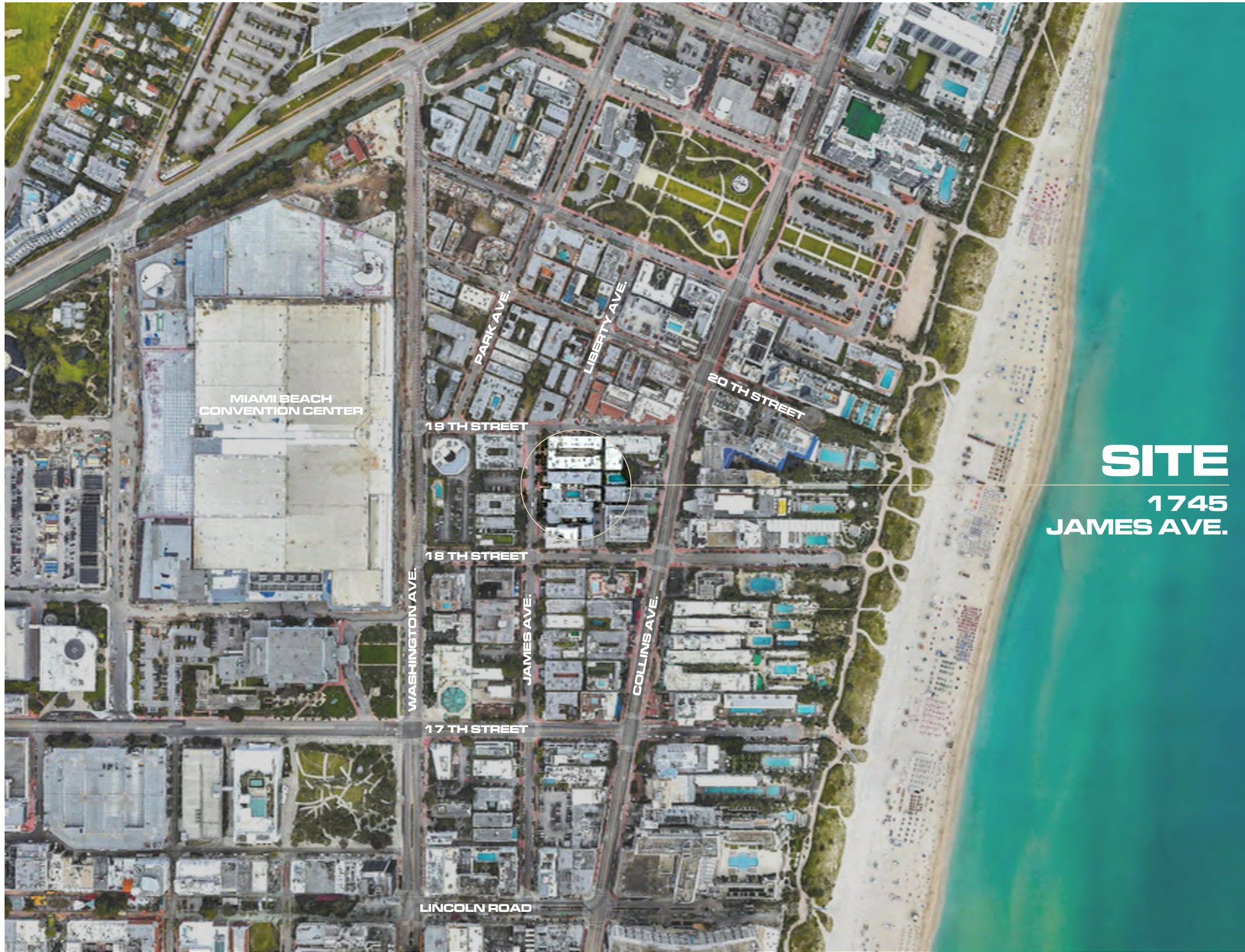
HISTORIC PRESERVATION BOARD

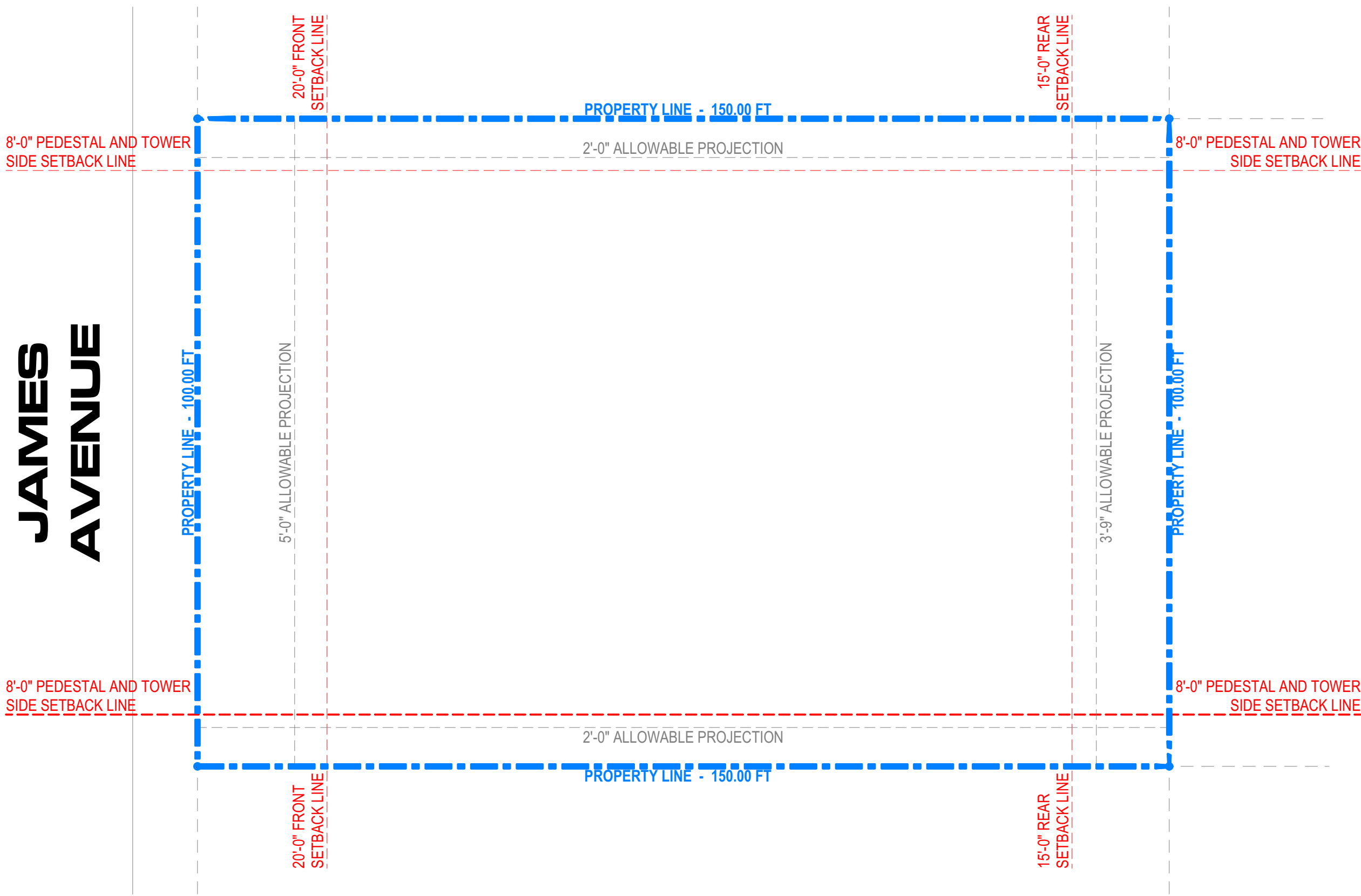
MIAMI BEACH, FLORIDA

UPDATED FINAL SUBMITTAL
FILE NUMBER: HPB19-0354

OCTOBER 7, 2022

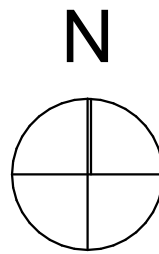






SETBACK ANALYSIS | 2

SCALE 1/16" = 1'-0"



revuelta architecture international p.a.				
1735 & 1745 JAMES AVENUE, MIAMI BEACH, FL 33139				
Zoning Information				
1	Address:	1735 & 1745 JAMES AVENUE		
2	Board and File Numbers:	HPB19-0354		
3	Folio Number(s):	02-3234-075-0001		
4	Year Constructed:	1735 - 1953 by Manfred Ungaro	Zoning District:	RM-2 Resid. multifamily, medium intensity
		1745 - 1951 by Leonard H. Glasser		
		1984 - Two apartments were connected with current conditions into one AOL then Hotel and destination restaurant		
5	Based Flood Elevation:	8'-0" N.G.V.D.	Grade value in NGVD:	4.86' N.G.V.D.
6	Adjusted grade (Flood+1'):	+9.0' N.G.V.D.	Lot Area:	15,000 SF (0.344 ac.)
7	Lot width:	100'	Lot Depth:	150'
8	Minimum Unit Size (Hotel)	222 SF	Average Unit Size (Hotel)	230.73 SF
9	Existing use:	Hotel	Proposed use:	Hotel
Building Data		Maximum	Proposed	Deficiencies
10	Height	50'-0"	50'-0"	
11	Number of Stories	5		
12	FAR	30,000 SF	29,862 SF	
13	Gross square footage		42,833 SF	
14	Square Footage by use	N/A		
15	Number of units Residential	N/A		
16	Number of units Hotel	N/A	90	
17	Number of seats	N/A		
18	Occupancy load	N/A		
Setbacks		Required	Proposed	Deficiencies
At Grade Parking:				
24	Front Setback (JAMES AVENUE)	N/A		
25	Side Setback (NORTH YARD)	N/A		
27	Side Setback (SOUTH YARD)	N/A		
28	Rear Setback (EAST YARD)	N/A		
Pedestal:				
29	Front Setback (OCEAN DRIVE)	20'-0"	20'-0"	
30	Side Setback (NORTH YARD)	8'-0"	10'-9"	
32	Side Setback facing street (3RD ST.)	8'-0"	10'-9"	
33	Rear Setback (OCEAN CT. ALLEY)	15'-0"	15'-0"	
Tower:				
34	Front Setback:	N/A		
35	Side Setback:	N/A		
36	Side Setback:	N/A		
37	Side Setback facing street:	N/A		
38	Rear Setback:	N/A		
Parking		Required	Proposed	Deficiencies
39	Parking district	District No. 9		
40	Total # of parking spaces	Hotel Units No Parking Requirement	0 spaces	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	see chart below		
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	see chart below		
43	Parking Space Dimensions	A standar perpendicular parking space shall have a width of not less than eight and one-half feet and a length of not less than 18 feet, or when located outdoors, 16 feet with two feet of pervious overhang, in place of wheel stops and defined by continuous concrete curb, for a total length of 18 feet. The provision of having a two-foot pervious area overhang in standard parking spaces may be waived at the discretion of the planning and zoning director in those instances where said overhang is not pratical. In no instance, however, shall the length of any standard off-street parkind space be less than 18 feet, unless otherwise provided for under sections 130-101, 130-251, 130-281, 130-69 and 130-61(2) herein.	8'-6" x 18'-0"	
44	Parking Space configuration (450, 600, 900, Parallel)		N/A	
45	ADA Spaces	1	N/A	
46	Tandem Spaces		N/A	
47	Drive aisle width	Drives shall have a minimum width of 22 feet for two-way traffic and 11 feet for one-way traffic. For those grade level parking areas with less than ten parking spaces, inclusive of those parking areas underneath building or structure, the curb-cut and driveway entrance shall have a minimum width of 12 feet.	N/A	
48	Valet drop off and pick up		N/A	
49	Loading zones and Trash collection areas	N/A		
50	Bicycle Parking / Racks	Not required	0 spaces	

ZONING DATA | 1



RICHMOND ARTS
CONDOMINIUM
2 STORIES

ATLANTIS
CONDOMINIUM
2 STORIES

THE REDBURY
HOTEL
3 STORIES

THE CATALINA
HOTEL
3 STORIES

HOTEL 18
HOTEL
2 STORIES

**SANCTUARY
HOTEL**

1800 TOWER
CONDOMINIUM
16 STORIES

LEE MANOR
CONDOMINIUM
4 STORIES

JAMES CENTRAL
CONDOMINIUM
11 STORIES

THE DORSET
HOTEL
3 STORIES

SEA BEACH
CONDOMINIUM
7 STORIES

THE CLAREMONT
HOTEL
3 STORIES

LINCOLN ARMS
HOTEL
3 STORIES

THE CADET
HOTEL
2 STORIES

PARK PLAZA
CONDOMINIUM
14 STORIES

SAN JUAN
HOTEL
3 STORIES

WASHINGTON PARK
CONDOMINIUM
4 STORIES

REGENT & GALE
HOTEL
4 STORIES

1750 JAMES APT.
CONDOMINIUM
11 STORIES

JAMES
HOTEL
3 STORIES

MB JEWISH
COMMUNITY
CENTER

300 17TH ST
HOTEL
3 STORIES



MIAMI BEACH - FL

SANCTUARY HOTEL



4 ATLANTIS CONDOMINIUM



3 SANCTUARY HOTEL



2 LEE MANOR CONDOMINIUM



1 CADET HOTEL

AS APPROVED ON HPB MEETING OF
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5 RICHMOND ARTS CONDOMINIUM



6 HOTEL 18



7 SEA BEACH CONDOMINIUM



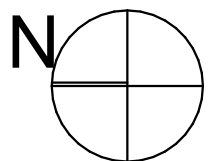
8 1750 JAMES APT.



9 MB JEWISH COMMUNITY CENTER

SANCTUARY HOTEL MIAMI BEACH - FL

STREET CONTEXT | 1





SANCTUARY HOTEL MIAMI BEACH - FL

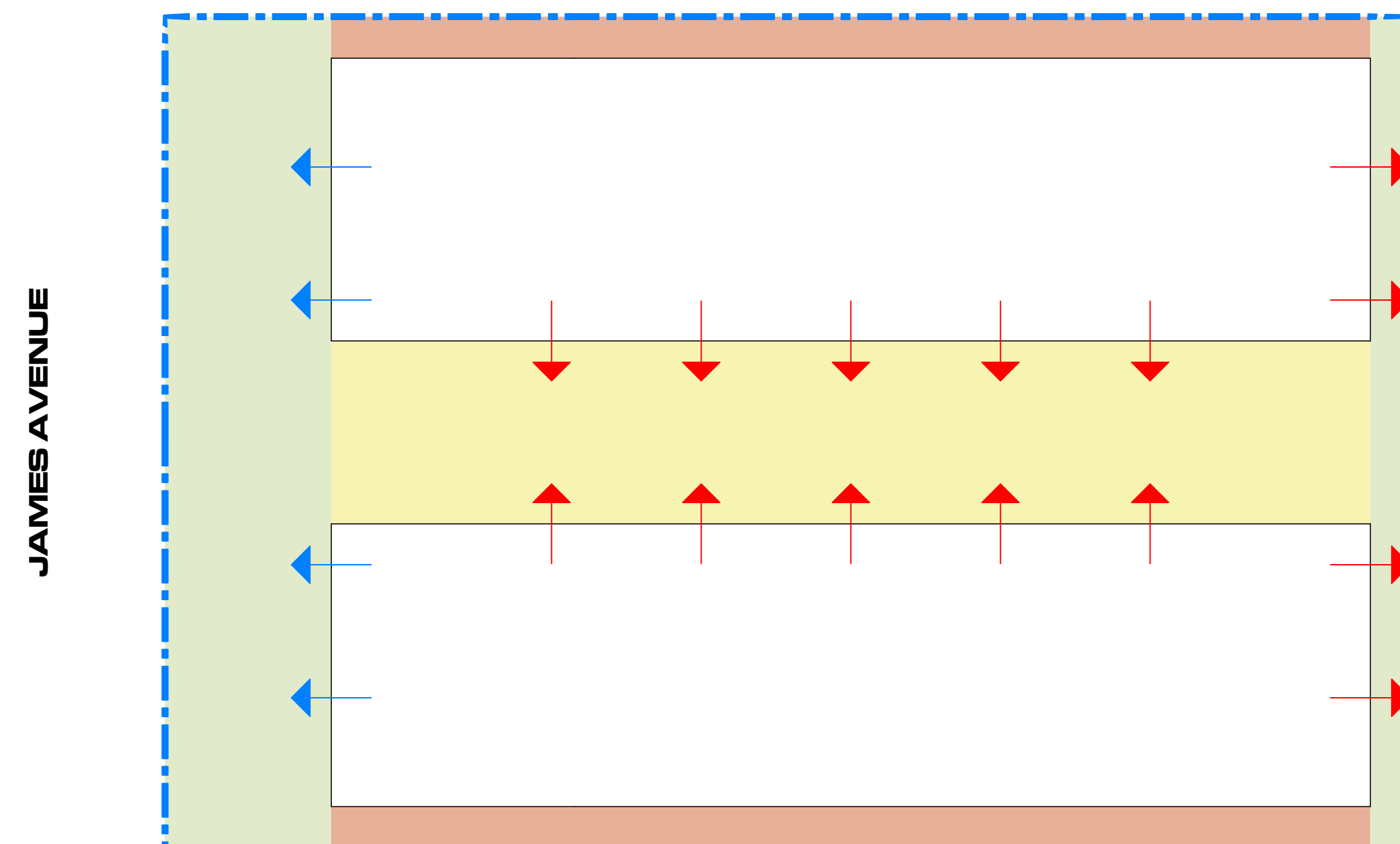


SECOND FLOOR CORRIDOR VIEW



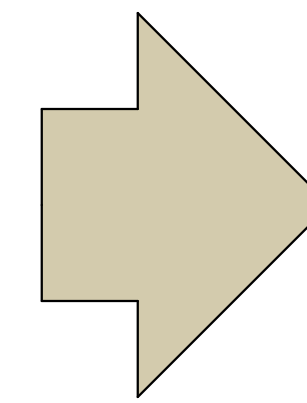
LOBBY - RESTAURANT VIEWS

2020 CURRENT CONFIGURATION

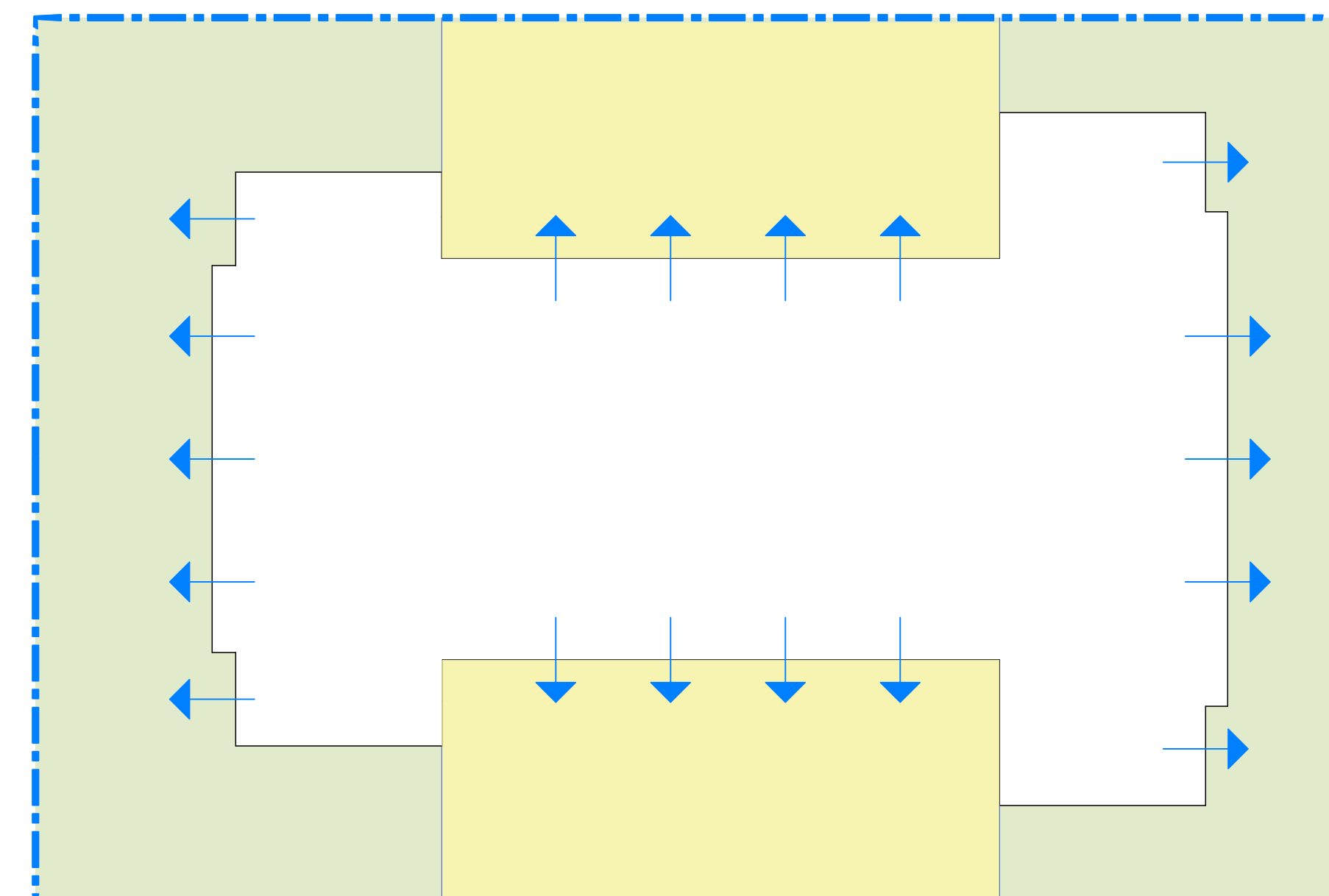


CENTRAL COURTYARD

- ENCLOSED VIEWS
- LONG PERIMETER WALLS
- HEAVY MASS PERCEPTION



PROPOSED CONFIGURATION

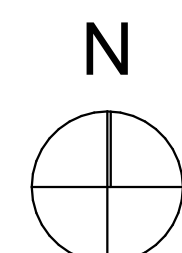


SPLIT YARDS

- OPEN VIEWS
- ARTICULATED PERIMETER WALLS
- LIGHTER MASS PERCEPTION

CONCEPTUAL MASSING | 1

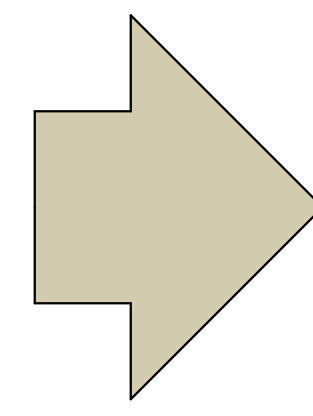
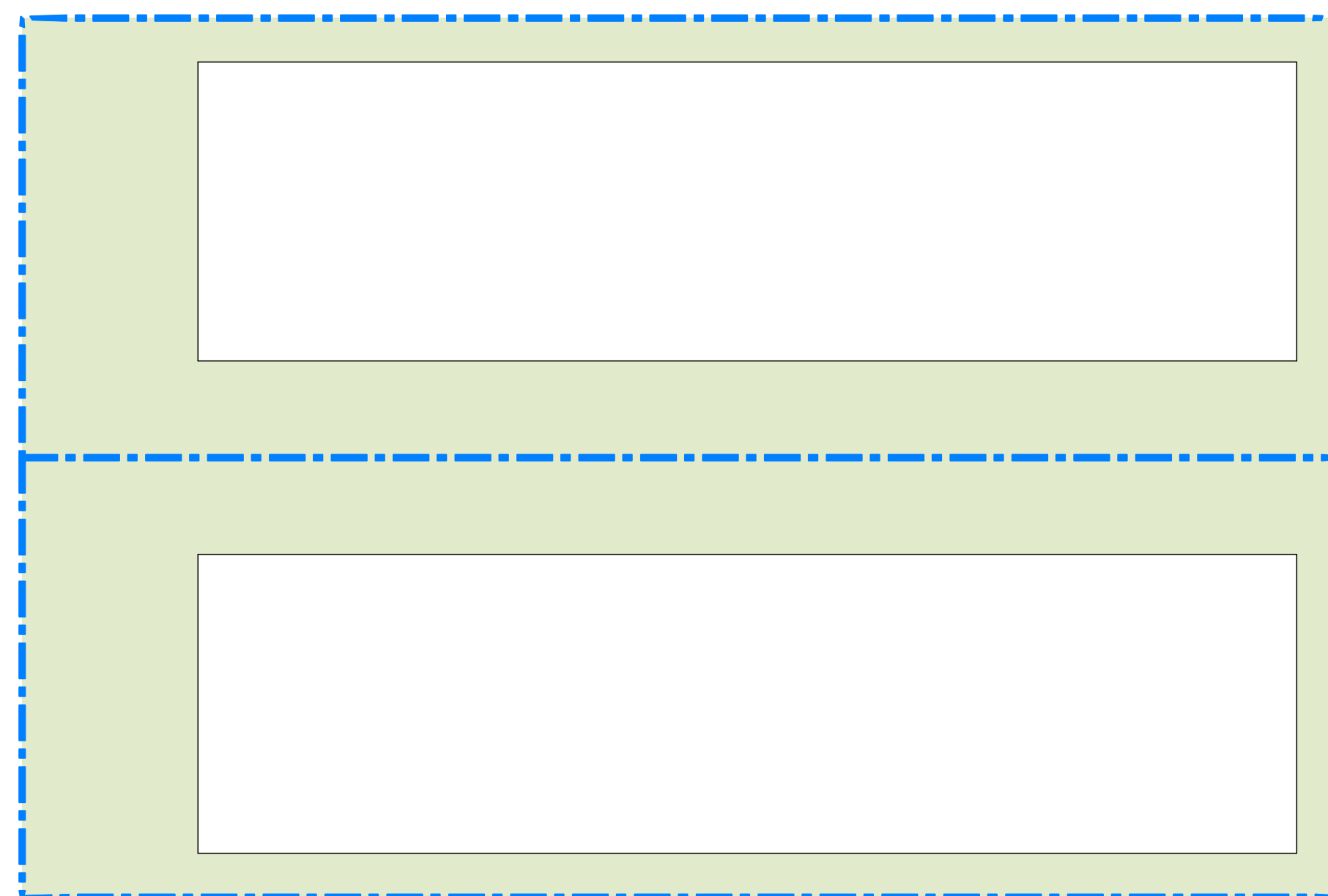
SCALE 1/16" = 1'-0"





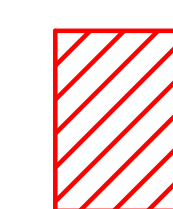
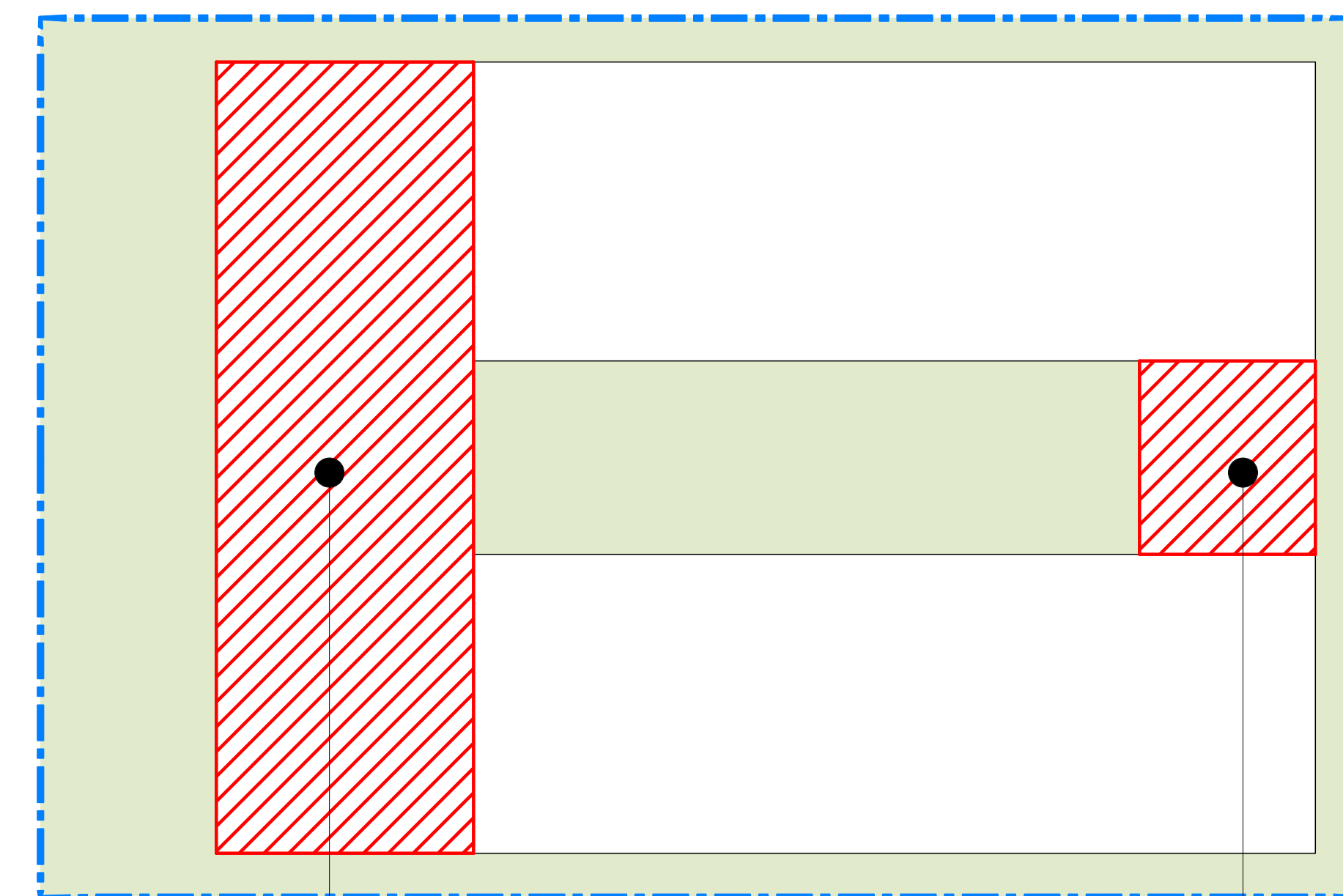
BUILT IN 1951
TWO SEPARATE PROPERTIES

JAMES AVENUE



RENOVATION IN 1984
COMBINED PROPERTIES + ADDITION
CURRENT CONFIGURATION

JAMES AVENUE



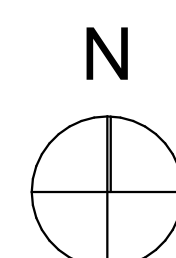
ADDITIONS WITH THE PARTIAL DEMOLITION OF
THE ORIGINAL BUILDING

NEW FACADE

STAIRS

BUILDING DEVELOPMENT OVER TIME | 1

SCALE 1/16" = 1'-0"

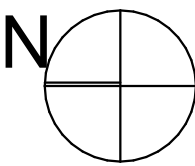


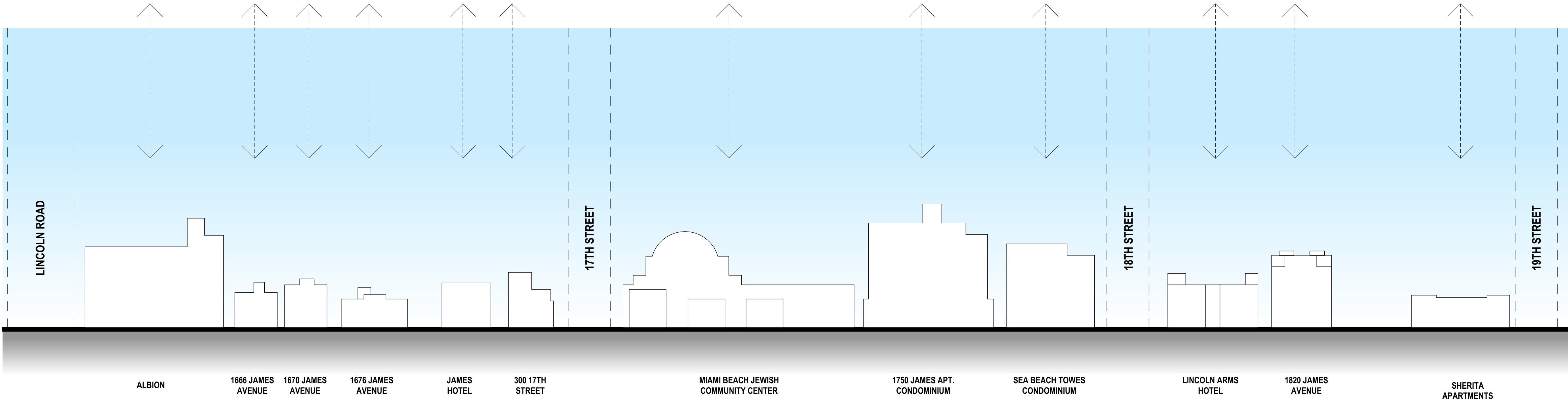


MIAMI BEACH - FL

SANCTUARY HOTEL

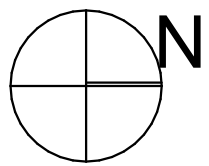
JAMES AVENUE EAST ELEVATION | 1
N.T.S.





JAMES AVENUE WEST ELEVATION | 1

N.T.S.



SANCTUARY HOTEL MIAMI BEACH - FL

ARCHITECT: LEONARD GLASSER
REFERENCE BUILDINGS - ARCHITECTURAL ELEMENTS



1501 CALAIS DRIVE

FRAMED OR BOXED WINDOWS



1525 LENOX AVE.

MONUMENTAL ARCHITECTURAL ELEMENTS



800 LENOX AVE.

WRAP-AROUND HORIZONTAL FEATURES



1525 MICHIGAN AVE.

PREVALENCE OF STUCCO FINISHES

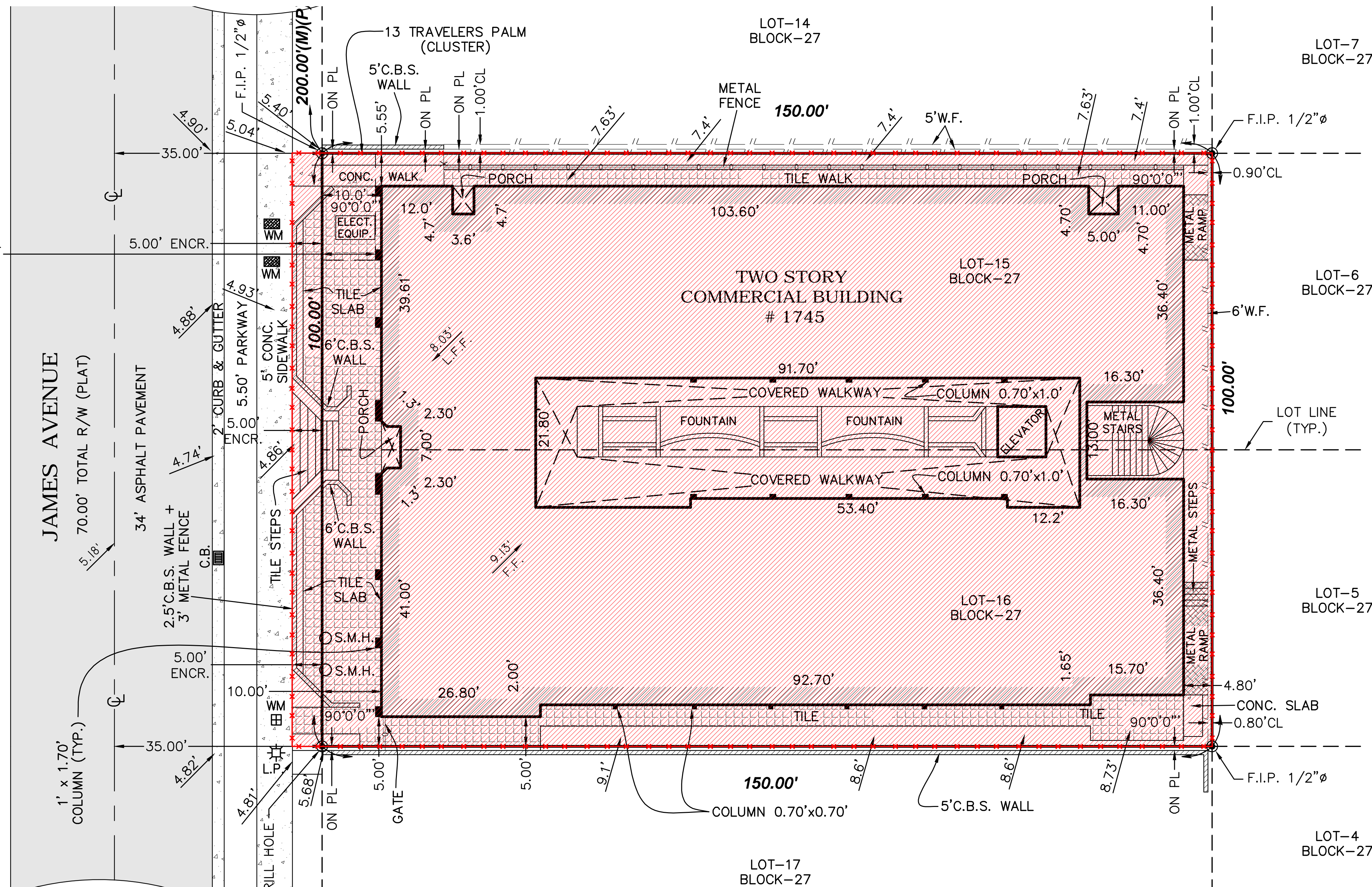
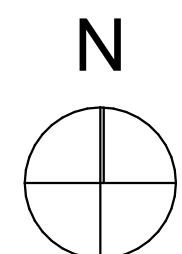
1. CONTRACTOR TO PERFORM DEMOLITION IN SUCH MANNER AS TO ELIMINATE HAZARDS TO PERSONS AND PROPERTY; TO MINIMIZE INTERFERENCE WITH USE OF ADJACENT PROPERTIES; RIGHT OF WAY AND STRUCTURES OR INTERRUPTION OF USE OF SUCH ADJACENT AREAS AND PROPERTIES AND TO PROTECT SUCH ADJACENT AREAS AND PROPERTIES.
2. CONTRACTOR TO PROVIDE SAFEGUARDS, INCLUDING WARNING SIGNS, BARRICADES, TEMPORARY FENCES, WARNING LIGHTS, AND OTHER SIMILAR ITEMS THAT ARE REQUIRED FOR PROTECTION OF ALL PERSONNEL DURING DEMOLITION AND REMOVAL OPERATIONS.
3. PREVENT SPREAD OF FLYING PARTICLES AND DUST- SPRINKLE RUBBER AND DEBRIS WITH WATER TO KEEP DUST TO A MINIMUM. DO NOT USE WATER IF IT RESULTS IN HAZARDOUS OR OBJECTIONABLE CONDITION SUCH AS NOT LIMITED TO: FLOODING, OR POLLUTION.
4. NO WALL OR PART OF WALL SHALL BE PERMITTED TO FALL OUTWARDLY FROM STRUCTURE.
5. WHEREVER A CUTTING TORCH OR OTHER EQUIPMENT THAT MIGHT CAUSE A FIRE IS USED, PROVIDE AND MAINTAIN FIRE EXTINGUISHERS NEARBY READY FOR IMMEDIATE USE. INSTRUCT ALL POSSIBLE CAUSE IS USE OR FIRE EXTINGUISHERS.
6. KEEP ANY HAZARDOUS CLEAR AND ACCESSIBLE AT ALL TIMES.
7. BEFORE BEGINNING ANY DEMOLITION WORK, THE CONTRACTOR SHALL SURVEY THE SITE AND EXAMINE THE DRAWINGS TO DETERMINE THE EXTENT OF THE WORK. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO AVOID DAMAGES TO THE STRUCTURE TO REMAIN IN PLACE, TO BE REUSED, OR TO BE THE PROPERTY OF THE OWNER. ANY DAMAGED ITEMS SHALL BE REPAIRED OR REPLACED.

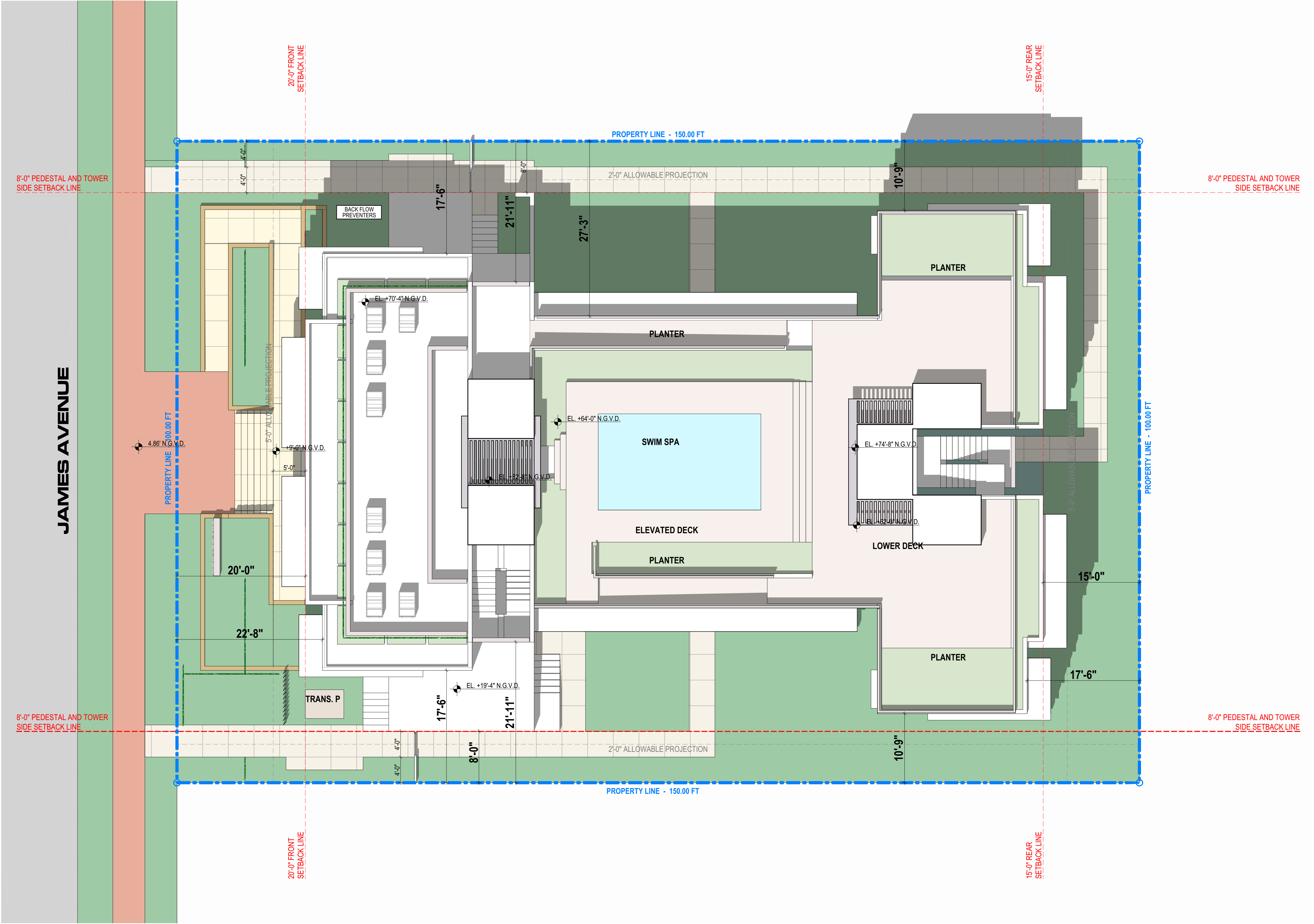
8. DEMOLISH AND REMOVE ALL UTILITY LINES - CAN BACK SIDE OF SIDEWALK OR CURBS AS IT OCCURS
9. THE PROPERTY WILL BE FENCED AND RE-SCOOED 30 DAYS AFTER DEMOLITION IF STRUCTURE DOES NOT COMENCE WITHIN THAT TIME.
10. DEMOLITION SCOPE:
 - PROVIDE A CLEAN AND LEVEL SITE READY FOR FUTURE CONSTRUCTION.
 - REMOVE ALL PRIMARY AND SECONDARY STRUCTURES INCLUDING THEIR FOUNDATIONS (FOOTING AND OR PILES).
 - REMOVE ALL BELL BOTTOMS.
 - REMOVE ALL SITE ITEMS INCLUDING BUT NOT LIMITED TO :
 - PARKING LOTS,
 - CURBS
 - LOW WALLS AND/OR FENCES
 - SIGN, DRIVEWAYS AND WELLS
 - PRIVATE WALKWAYS / PATHS
 - SITE FURNITURE
11. IN REMOVING BUILDINGS AND STRUCTURES OF MORE THAN TWO STORES, DEMOLISH WORK STORY BY STORY STARTING AT HIGHEST LEVEL AND PROCEEDING DOWN TO LOWER FLOOR LEVEL. DEMOLITION OF FIRST AND SECOND STORES MAY PROCEED SIMULTANEOUSLY.
12. REMOVE AND HAZARDOUSLY DISPOSE OF ALL MATERIALS, OTHER THAN EARTH TO REMAIN AS PART OF PROJECT WORK, FROM THE SITE OF THE DEMOLITION. DEMOLITION SHALL BE COMPLETED AND SHALL BE SUPERVISED BY AN ENGINEER IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE OR LOCAL PERMITS, RULES AND/OR REGULATIONS AND BE MAILED TO APPROVED DISPOSAL SITE.
13. THE REMOVAL OF HAZARDOUS MATERIALS INCLUDING BUT NOT LIMITED TO ASBESTOS) SHALL BE DONE IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE OR LOCAL REGULATIONS.
14. UPON COMPLETION OF WORK AND AFTER REMOVAL, OFF ALL DEBRIS, CONTRACTOR SHALL LEAVE THE SITE IN A CLEAN CONDITION SATISFACTORY TO THE OWNER AND BUILDING DEPARTMENT. CLEAN UP SHALL INCLUDE DISPOSAL OF ALL ITEMS NOT RECYCLED OR REUSED AND RECYCLED MATERIALS TO BE RECYCLED. ALL DEBRIS AND RUBBISH RESULTING FROM DEMOLITION OPERATIONS.
15. ALL ELECTRICAL DEMOLITION TO BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR AND TO FOLLOW ALL BUILDING CODE REQUIREMENTS.
16. ALL MECHANICAL DEMOLITION TO BE PERFORMED BY A LICENSED CONTRACTOR AND TO FOLLOW ALL BUILDING CODE REQUIREMENTS.
17. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CLEAN, ORGANIZED AND SAFE CONSTRUCTION SITE.
18. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE SECURED FROM PUBLIC ACCESS.
19. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL PUBLIC AREAS AT ANY TIME OF A HAZARDOUS DEMOLITION.
20. PROVIDE STAKE OUT PLANCE AROUND PROPERTY AS REQUIRED BY ALL APPLICABLE CODES AND REGULATIONS.
21. COORDINATE THE SHUT OFF OF ALL UTILITIES WITH UTILITY COMPANIES AND OWNER.
22. ALL FINISHES, SURFACES OR ANY OTHER TIME OUTSIDE OF THE PROPERTY, NOT SCHEDULED FOR DEMOLITION AND WHICH ARE DAMAGED SHALL BE REPAIRED AND/OR REPLACED TO ITS ORIGINAL CONDITION.
23. CONTRACTOR MUST COORDINATE WITH THE BUILDING OWNER THE REMOVAL AND / OR RELOCATION OF WALL AS NECESSARY ELECTRICAL, WATER, GAS OR ANY OTHER UTILITY LINES ENCOUNTERED DURING DEMOLITION.
24. CONTRACTOR TO OBTAIN WRITTEN APPROVAL FROM OWNER OR ARCHITECT PRIOR TO ANY CHANGES OR DEVIATION FROM DEMOLITION SCHEDULE.
25. UNDER NO CIRCUMSTANCES WILL ASSUMPTIONS BY THE CONTRACTOR BE CONSIDERED THE DECISION INTENT OR APPROVAL OF THE ARCHITECT OR ENGINEER UNLESS THESE IS WRITTEN APPROVAL BY THEM.
26. CONTRACTOR IS BEING PROVIDED WITH COMPLETE SETS OF DOCUMENTS CONTRACTOR IS RESPONSIBLE FOR PROVIDING HIS SUBCONTRACTORS WITH A COMPLETE SET OF DRAWINGS.
27. CONTRACTOR IS RESPONSIBLE FOR INCLUDING IN HIS BID LABOR AND MATERIAL COSTS FOR ANY CHANGE OR ALTERATION REQUIRED TO BE DONE TO BE COMPLETED DEMOLITION SUCH AS, BUT NOT LIMITED TO, LIGHTING, REPAIRING ELECTRICAL, PLUMBING, FIRE ALARMS, PHONE, DATA, PAVING SIDEWALKS, STREETS, EXISTING TREES AND LANDSCAPING AND ANY OTHER HAZARDOUS EQUIPMENT OR MATERIALS ENCOUNTERED DURING THE DEMOLITION.
28. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS AND USE APPROPRIATE CONSTRUCTION METHODS/ TECHNOLOGIES TO PROTECT EXISTING UTILITIES AND OTHER PROPERTY NOT REPAIRED FOR REMOVAL. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES INCURRED DURING DEMOLITION AND SHALL NOTIFY OWNER DAMAGES AT ANY EXPENSE TO THE OWNER.
29. ABBREVIATIONS THROUGHOUT THE PLANS ARE THOSE IN COMMON USE. ARCHITECT WILL DEFINE INTENT OF ANY IN QUESTION.
30. DEMOLITION PERSONNEL SHALL BE CONFINED TO THE LIMITS OF THE CONSTRUCTION AREA. ALL OSHA REGULATIONS FOR CONSTRUCTION ARE TO BE OBSERVED.
31. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY DEMOLITION WORK, DEMOLITION MATERIAL, TESTING FOR HAZARDOUS MATERIALS AND EXERCISE CARE DURING DEMOLITION AND REMOVAL TO ASSURE THAT ITEMS SOUGHTED FOR DEMOLITION ARE PROPERLY REMOVED AND ITEMS TO REMAIN ARE PROTECTED FROM DAMAGE.
32. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BARRIERS, LIGHTING, COVERINGS, FIRE PREVENTION, AND OTHER MEASURES TO PROTECT THE SAFETY OF ALL PERSONS AND THE PROPERTY THROUGHOUT THE ENTIRE PERIOD OF DEMOLITION.
33. GENERAL CONTRACTOR SHALL PREPARE AND MAINTAIN ALL DEMOLITION AREAS, AS WELL AS SURROUNDING AREAS FREE OF DEBRIS AND HAZARDOUS EQUIPMENT.
34. THREE PERMIT UNDER SEPARATE PERMIT. SEE TABLE DISPOSITION PLAN AND PROPOSED LANDSCAPE PLANS.
35. REFER TO SURVEY FOR ADDITIONAL INFORMATION.
36. SEE ASBESTOS REPORT FOR ADDITIONAL INFORMATION.
37. ALL STORM WATER BASIN CATCHES WILL BE FILTERED TO PREVENT THE FALLOUT OF DUST & DEBRIS INTO THE CITY STREET.

 AREA OF DEMOLITION WORK. DEMOLISH ALL ITEMS WITHIN THIS BOUNDARY AS OUTLINED ON GENERAL DEMOLITION NOTES

 CONSTRUCTION FENCE

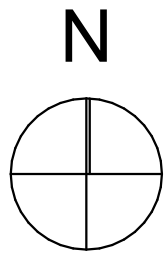
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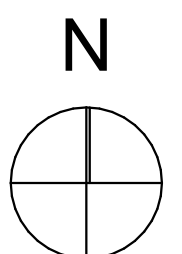
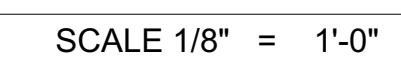
SITE PLAN | 1

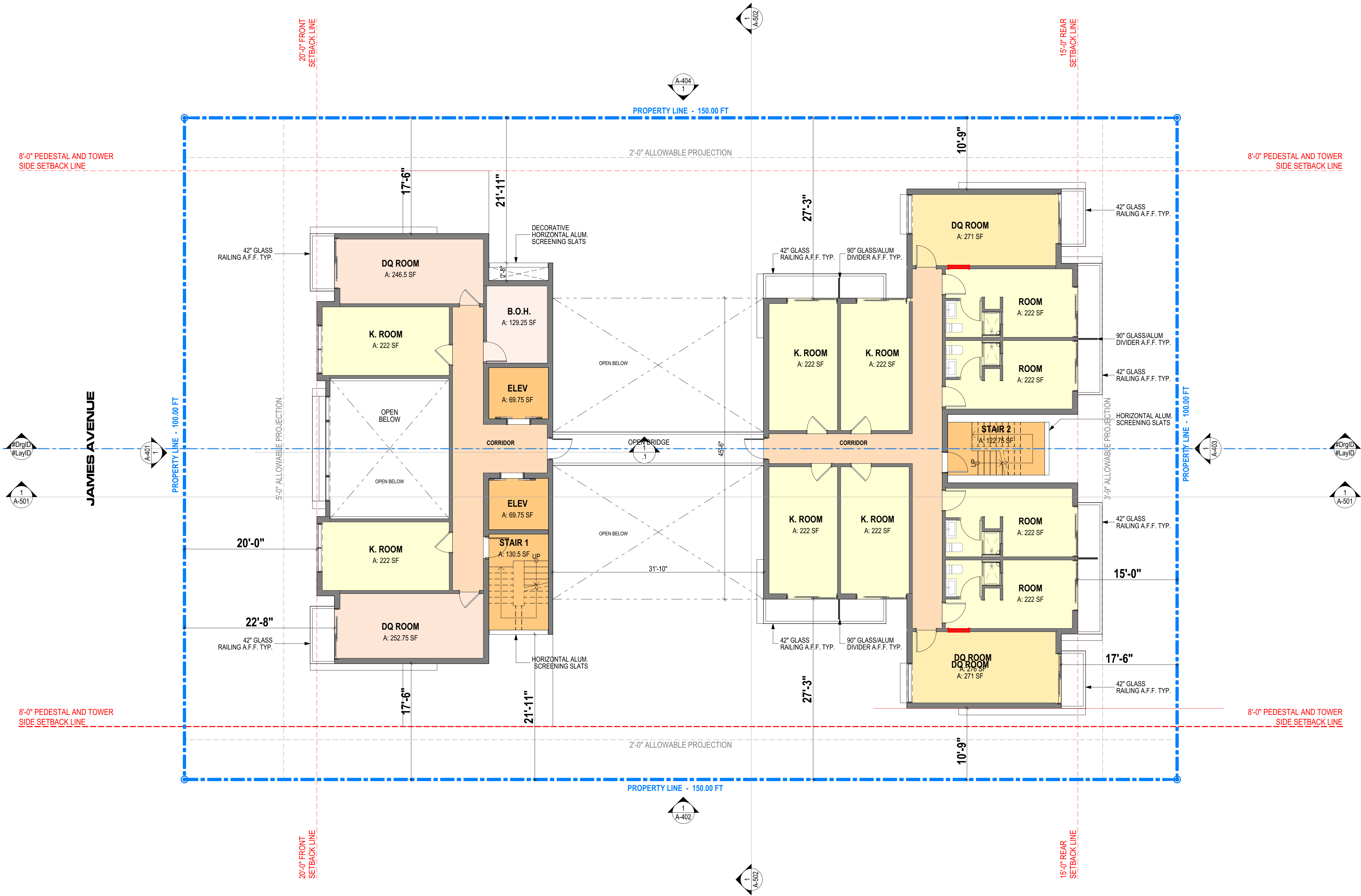
SCALE 1/8" = 1'-0"



SANCTUARY HOTEL MIAMI BEACH - FL

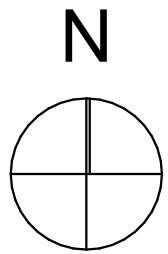
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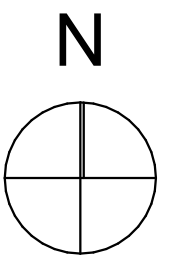


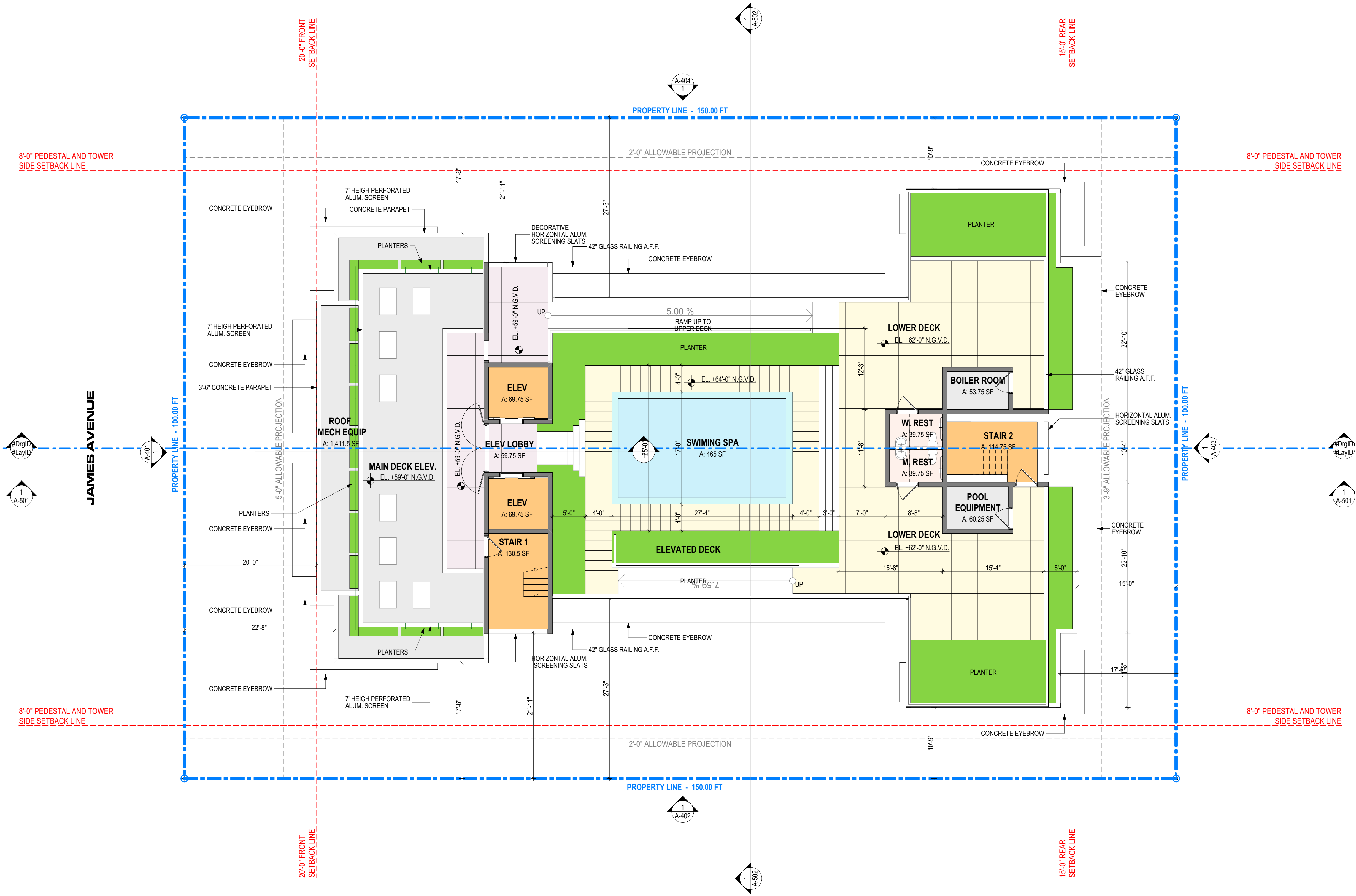


FLOOR PLAN SECOND LEVEL | 1

SCALE 1/8" = 1'-0"



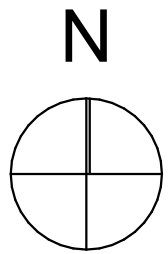


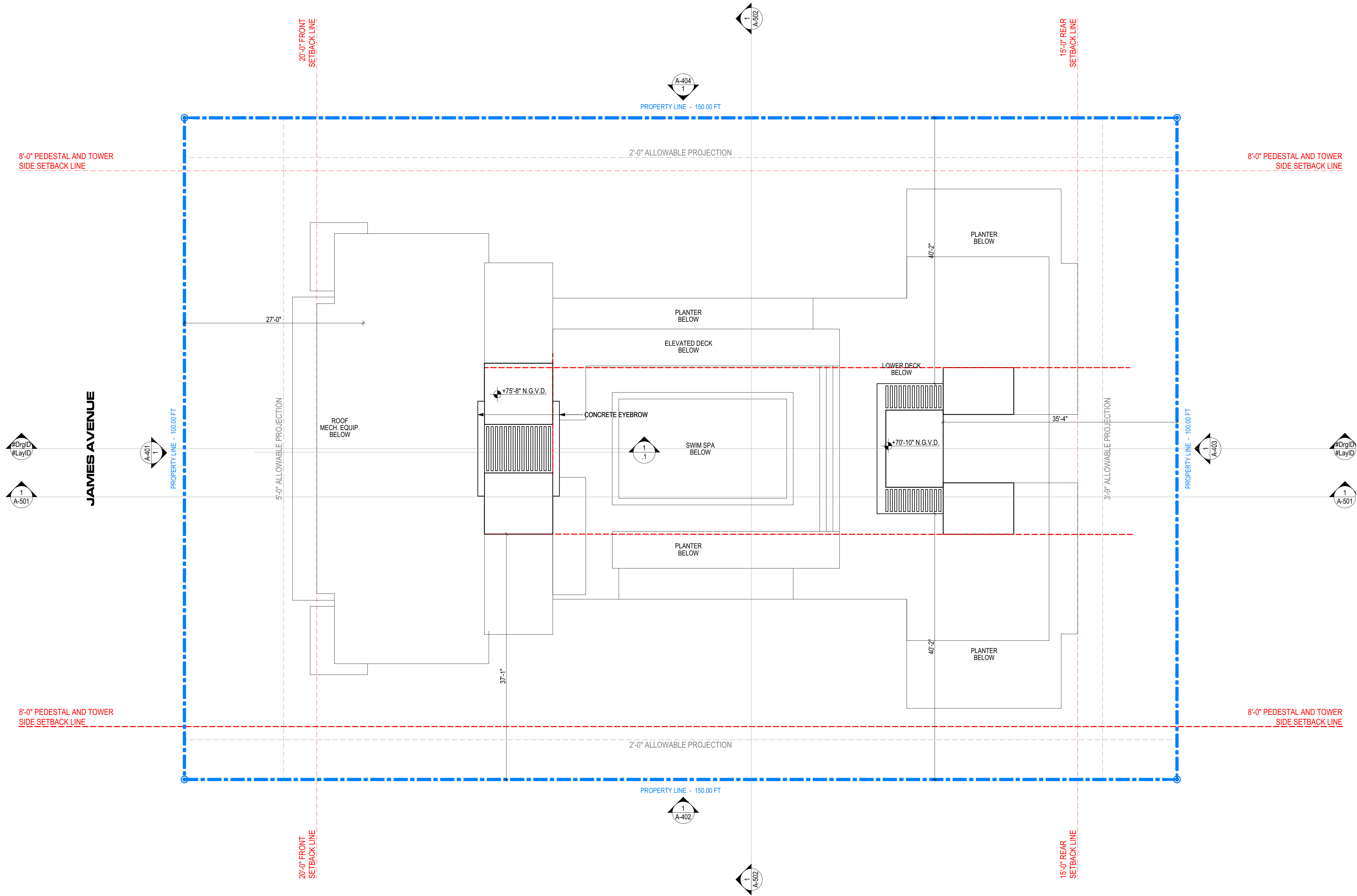


DECK AREA
ENCLOSED AREA BELOW DECK: 6,486 SF
TOTAL DECK AREA 2,806 SF < 50% FLOOR BELOW 3,243 SF

FLOOR PLAN ROOF LEVEL | 1

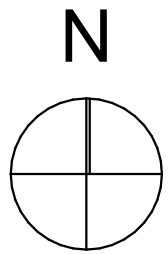
SCALE 1/8" = 1'-0"





FLOOR PLAN TOP OF ROOF | 1

SCALE 1/8" = 1'-0"





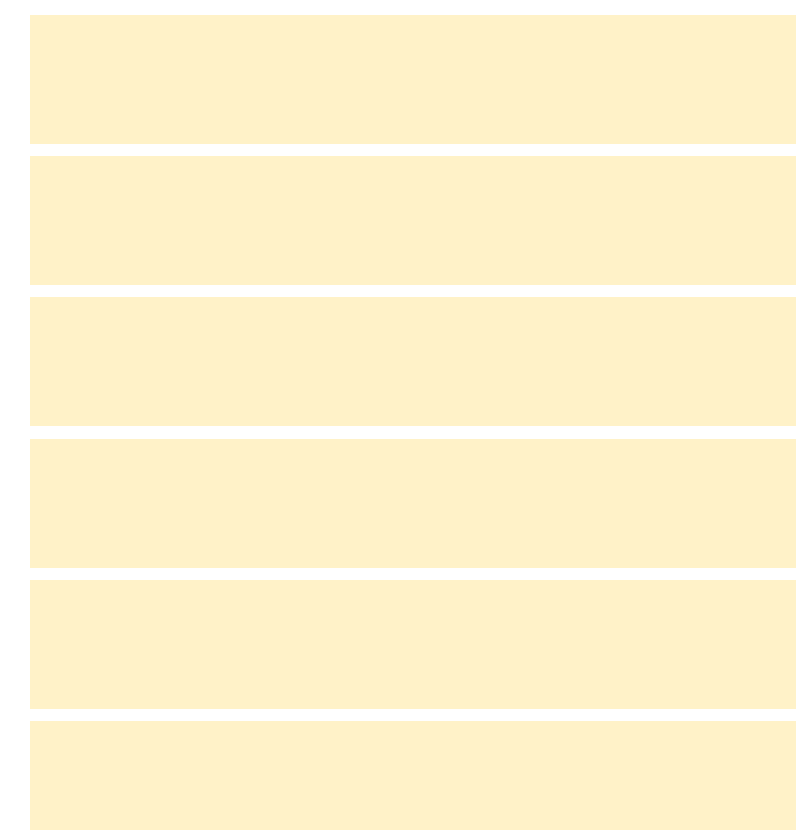
NEW REVISED
WEST ELEVATION | 1
SCALE 1/8" = 1'-0"

SANCTUARY HOTEL MIAMI BEACH - FL





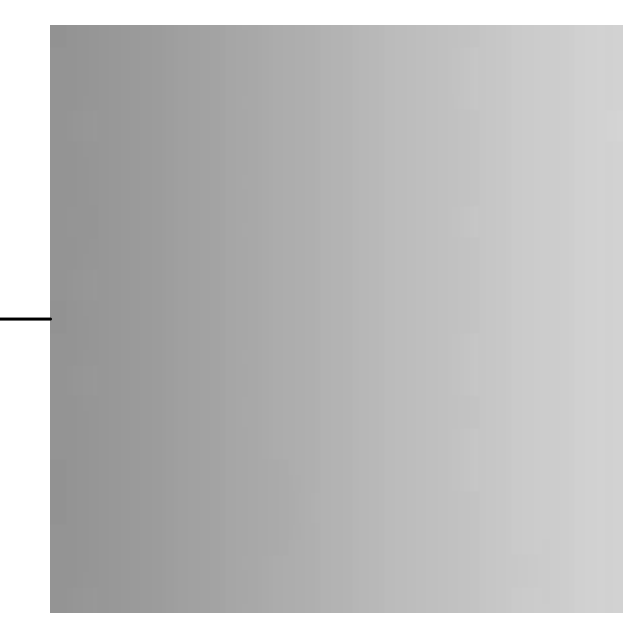
ALUMINUM MECHANICAL
SCREEN



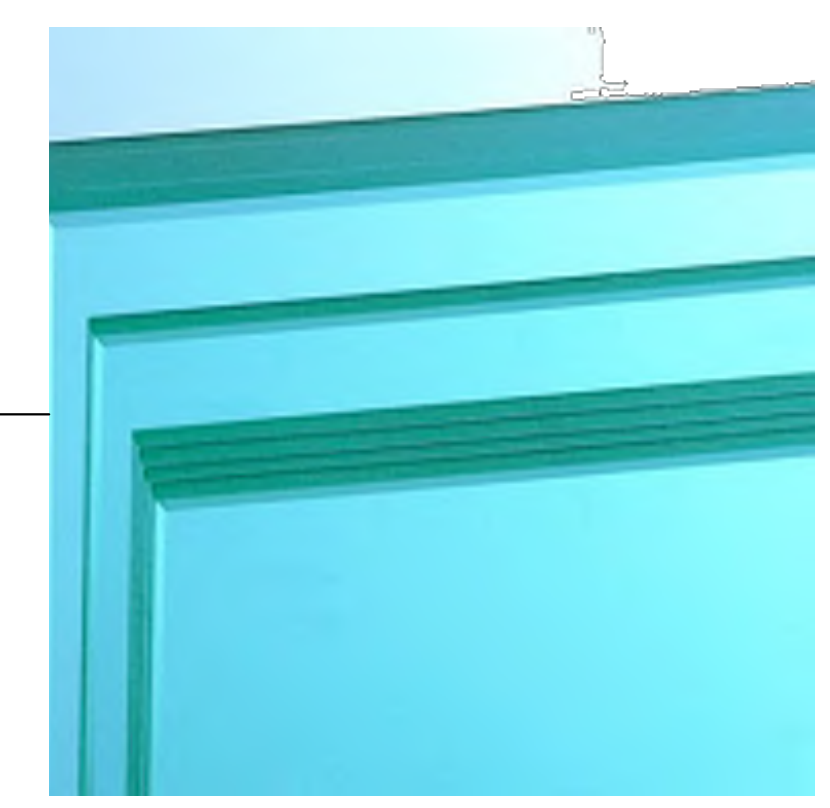
STONE CLADDING



RAILING DETAIL



ALUMINUM FRAMES-
ARCADIA SILVER OR SIMILAR



LAMINATED GLASS-
VIRACON OR SIMILAR- GREEN



SMOOTH STUCCO PAINT FINISH



24"x24" CONCRETE PAVERS WITH CRUSHED
SHELLS INSIDE PROPERTY. MIAMI BEACH
STANDARD RED CONCRETE ON SIDE WALK



NEW REVISED
SOUTH ELEVATION | 1
SCALE 1/8" = 1'-0"

SANCTUARY HOTEL MIAMI BEACH - FL



NEW REVISED
EAST ELEVATION | 1
SCALE 1/8" = 1'-0"

SANCTUARY HOTEL MIAMI BEACH - FL

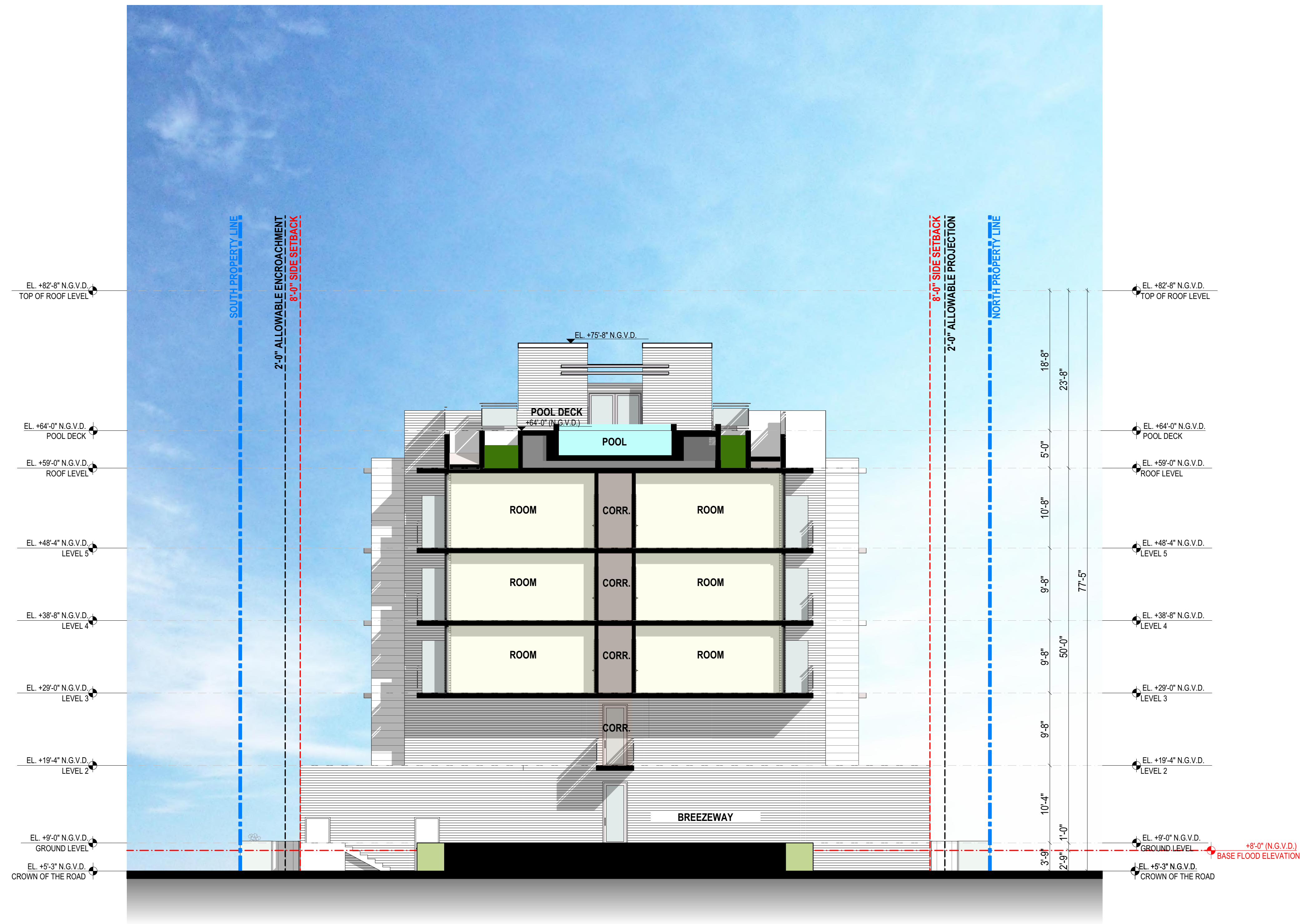


COMPARISON OF PREVIOUS OVER
NEW PROPOSED ELEVATION

SECTION A-A | 1

SCALE 1/8" = 1'-0"

SANCTUARY HOTEL MIAMI BEACH - FL



COMPARISON OF PREVIOUS OVER
NEW PROPOSED ELEVATION

SECTION B-B | 1
SCALE 1/8" = 1'-0"

SANCTUARY HOTEL MIAMI BEACH - FL



SANCTUARY HOTEL MIAMI BEACH - FL

NEW PROPOSED AERIAL VIEW | 1

SCALE 1:211.4189

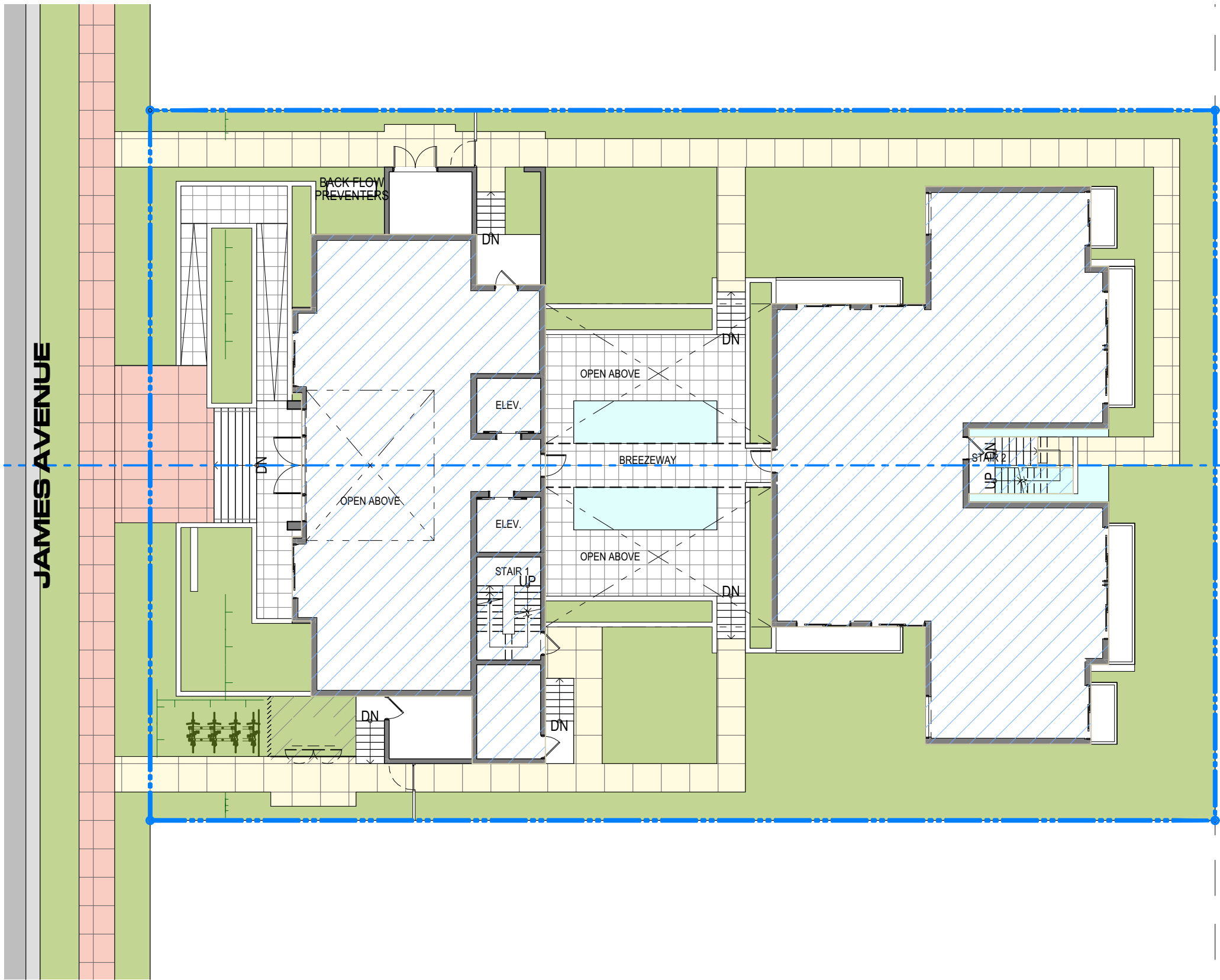


SANCTUARY HOTEL MIAMI BEACH - FL

STREET VIEW | 1
SCALE 1:227.8460

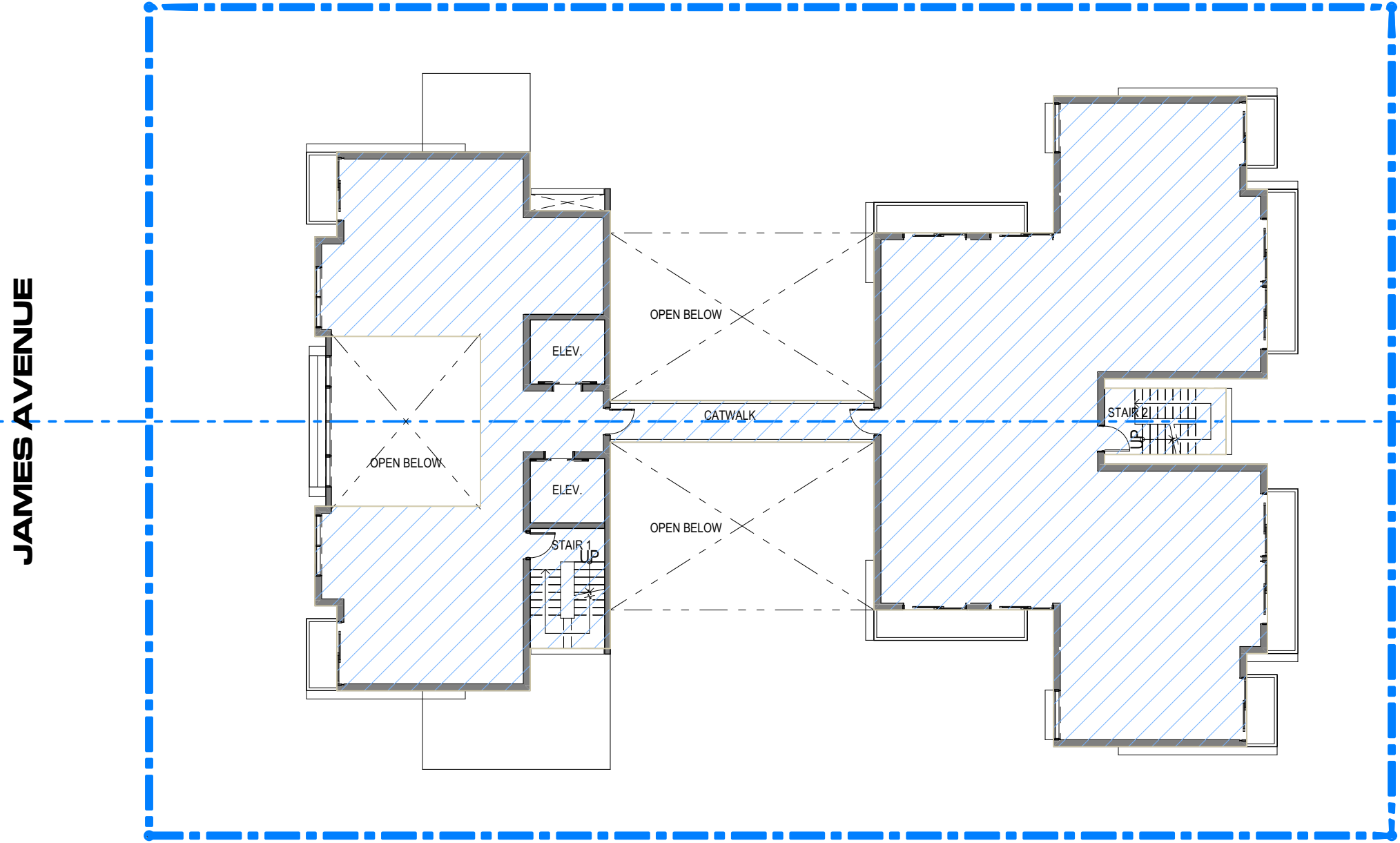
BACK LOT





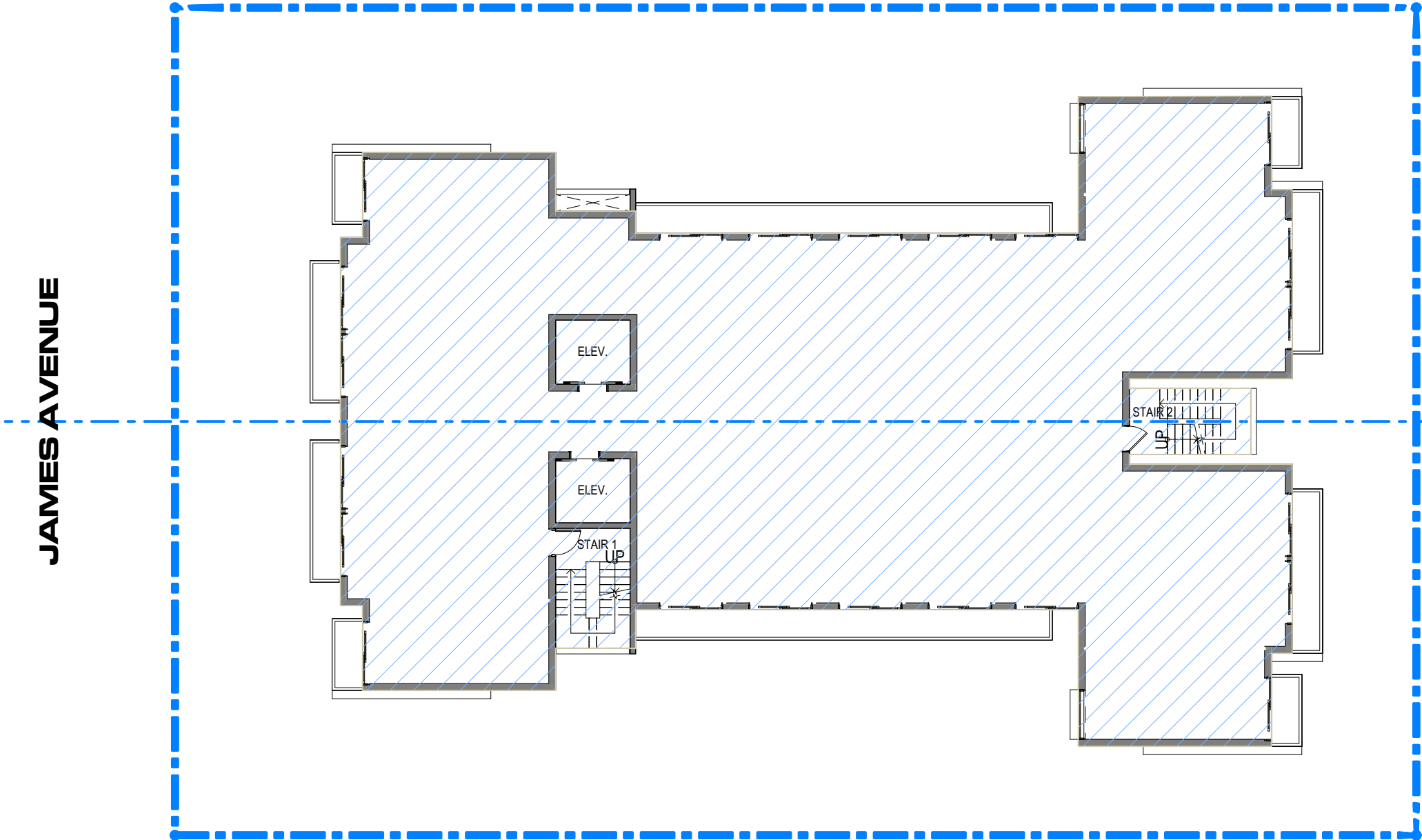
F.A.R. FLOOR PLAN - GROUND LEVEL | 1

SCALE 1/16" = 1'-0"



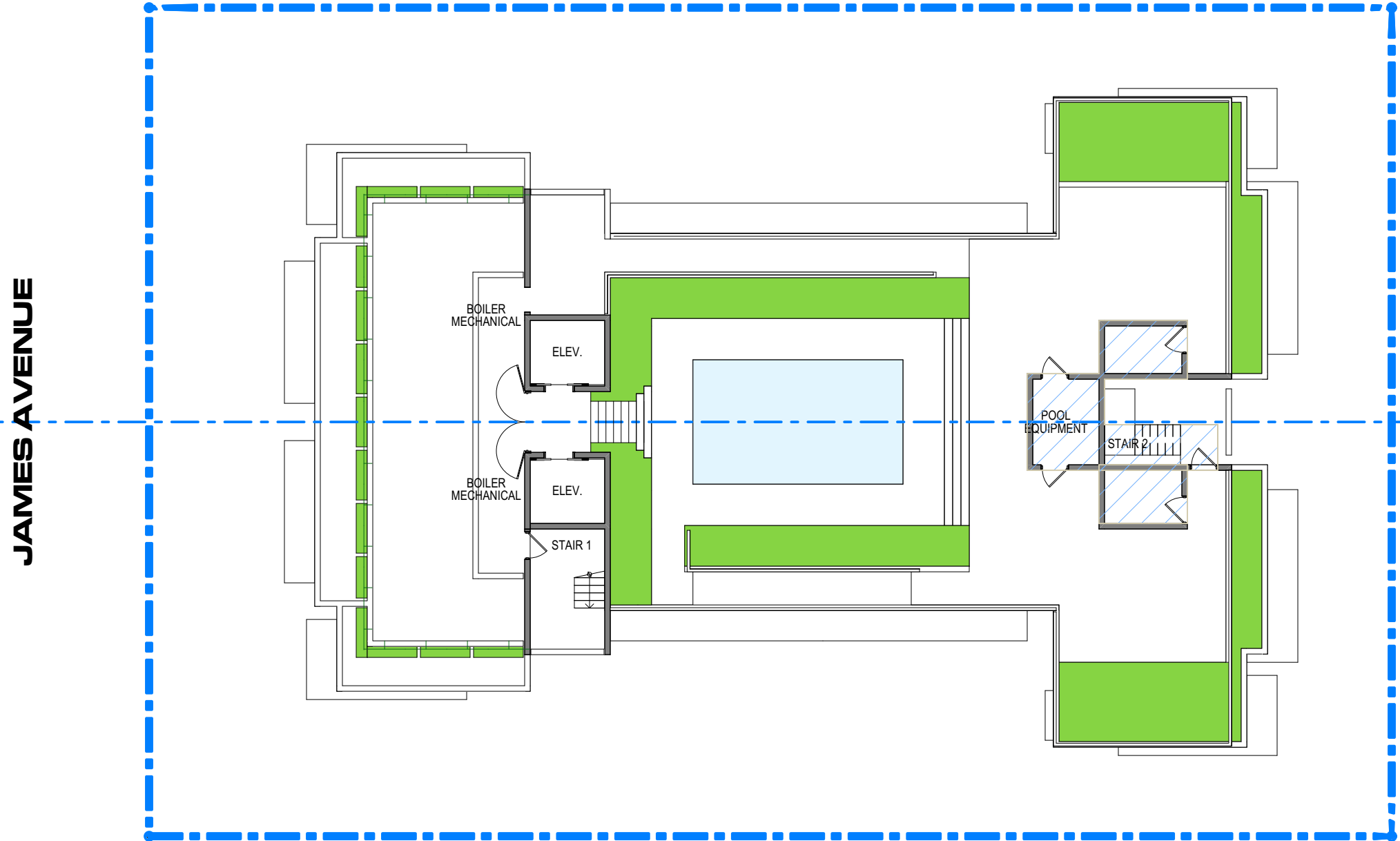
F.A.R. FLOOR PLAN - LEVEL 2 | 2

SCALE 1/16" = 1'-0"



F.A.R. FLOOR PLAN - LEVEL 3, 4 & 5 | 3

SCALE 1/16" = 1'-0"



F.A.R. FLOOR PLAN - ROOF LEVEL | 4

SCALE 1/16" = 1'-0"

FAR CALCULATION

ALLOWED 30,000 SF

GROUND LEVEL 5,115 SF

LEVEL 2 4,768 SF

LEVEL 3 6,466 SF

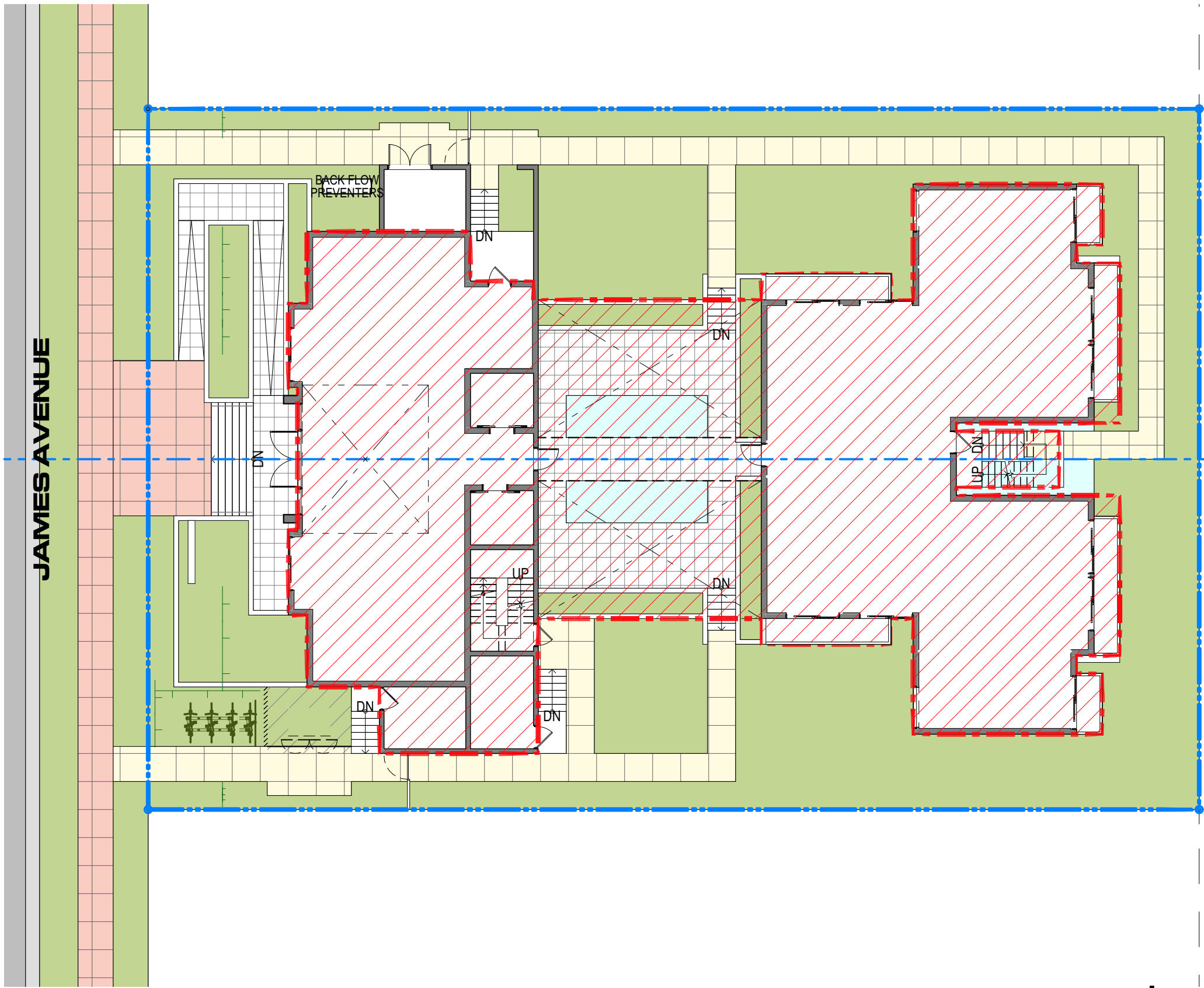
LEVEL 4 6,466 SF

LEVEL 5 6,466 SF

ROOF LEVEL 581 SF

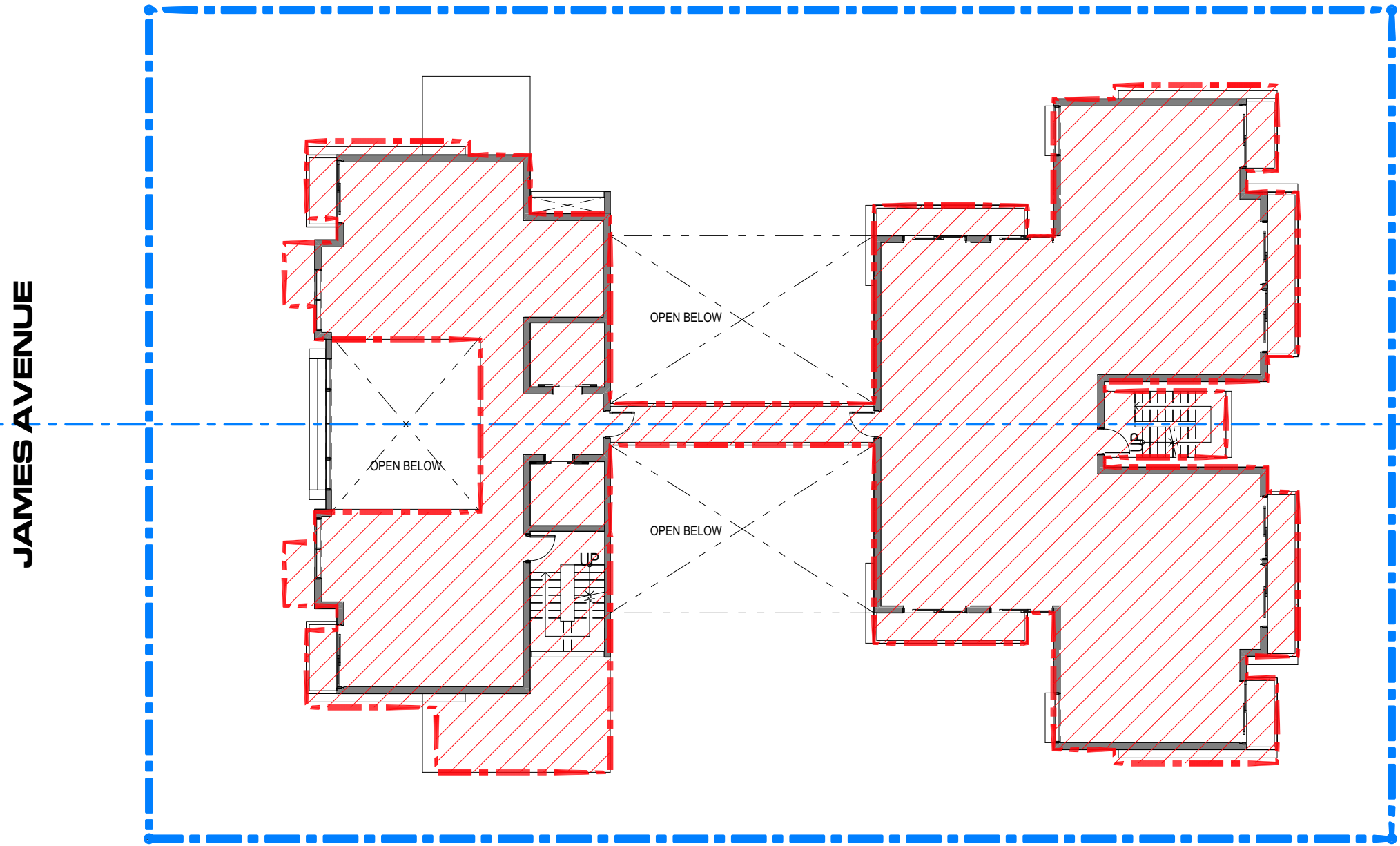
TOTAL 29,862 SF

 FAR AREA



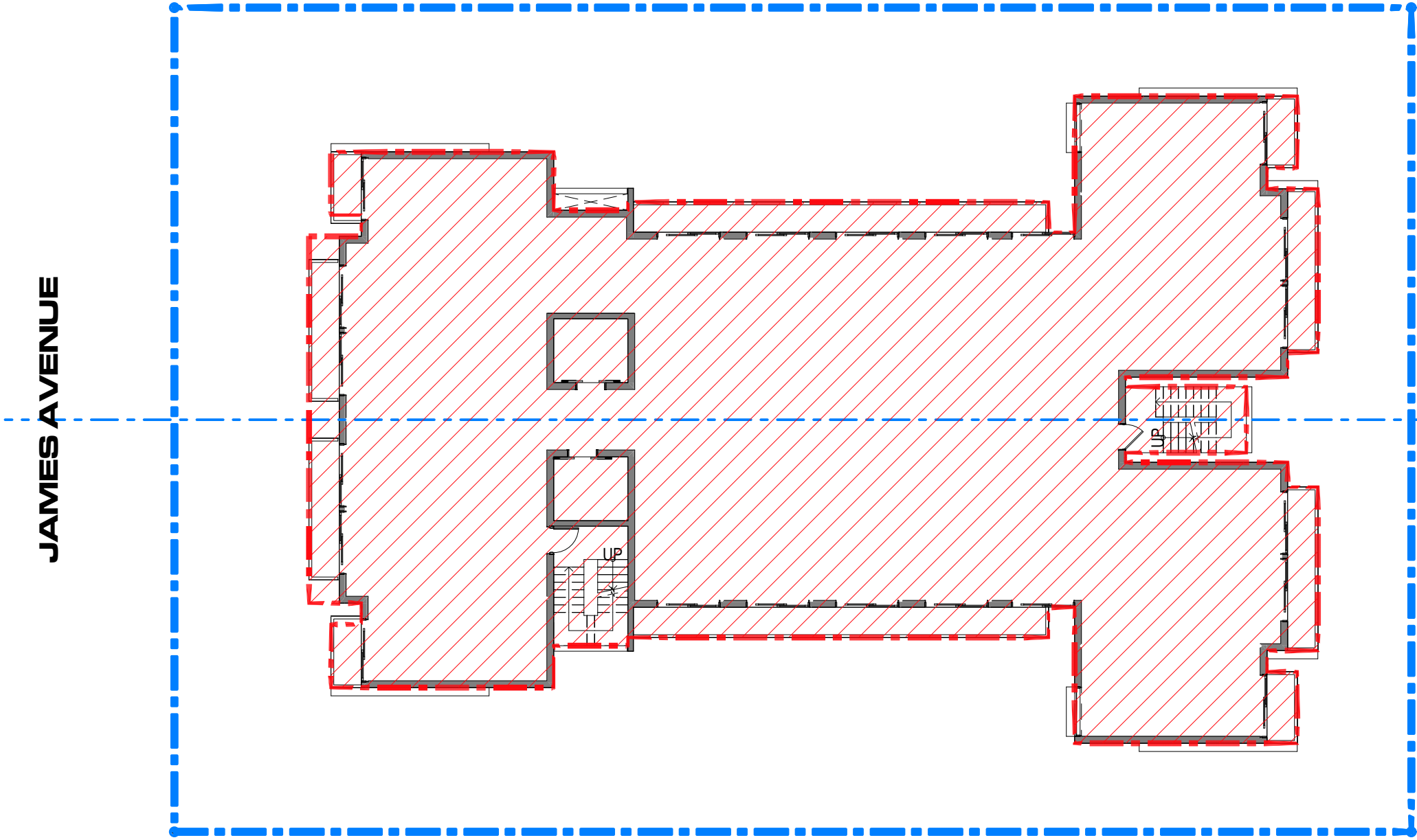
GROSS AREA FLOOR PLAN - GROUND LEVEL | 1

SCALE 1/16" = 1'-0"



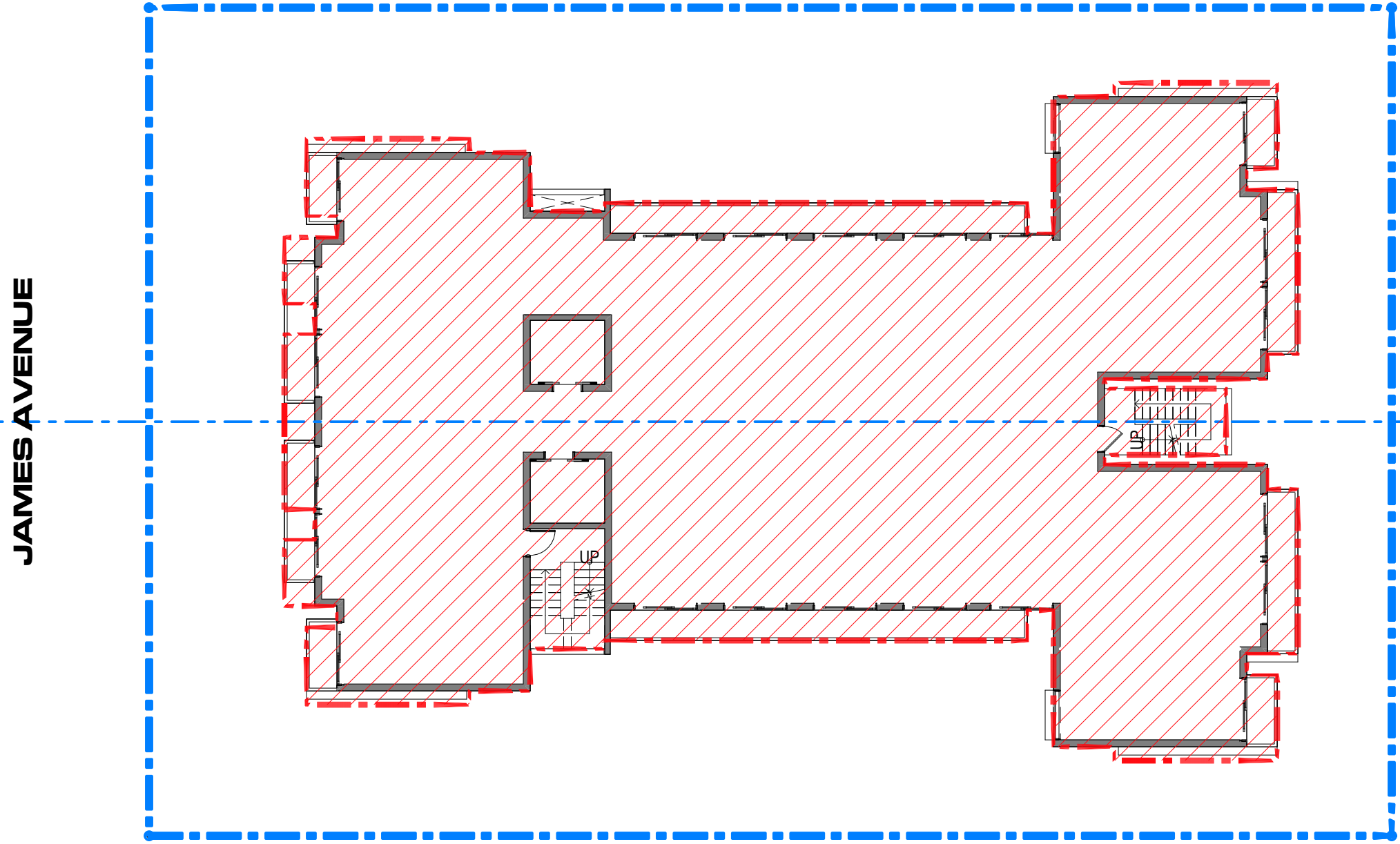
GROSS AREA FLOOR PLAN - LEVEL 2 | 2

SCALE 1/16" = 1'-0"



GROSS AREA FLOOR PLAN - LEVEL 3 | 3

SCALE 1/16" = 1'-0"



GROSS AREA FLOOR PLAN - LEVEL 4 | 4

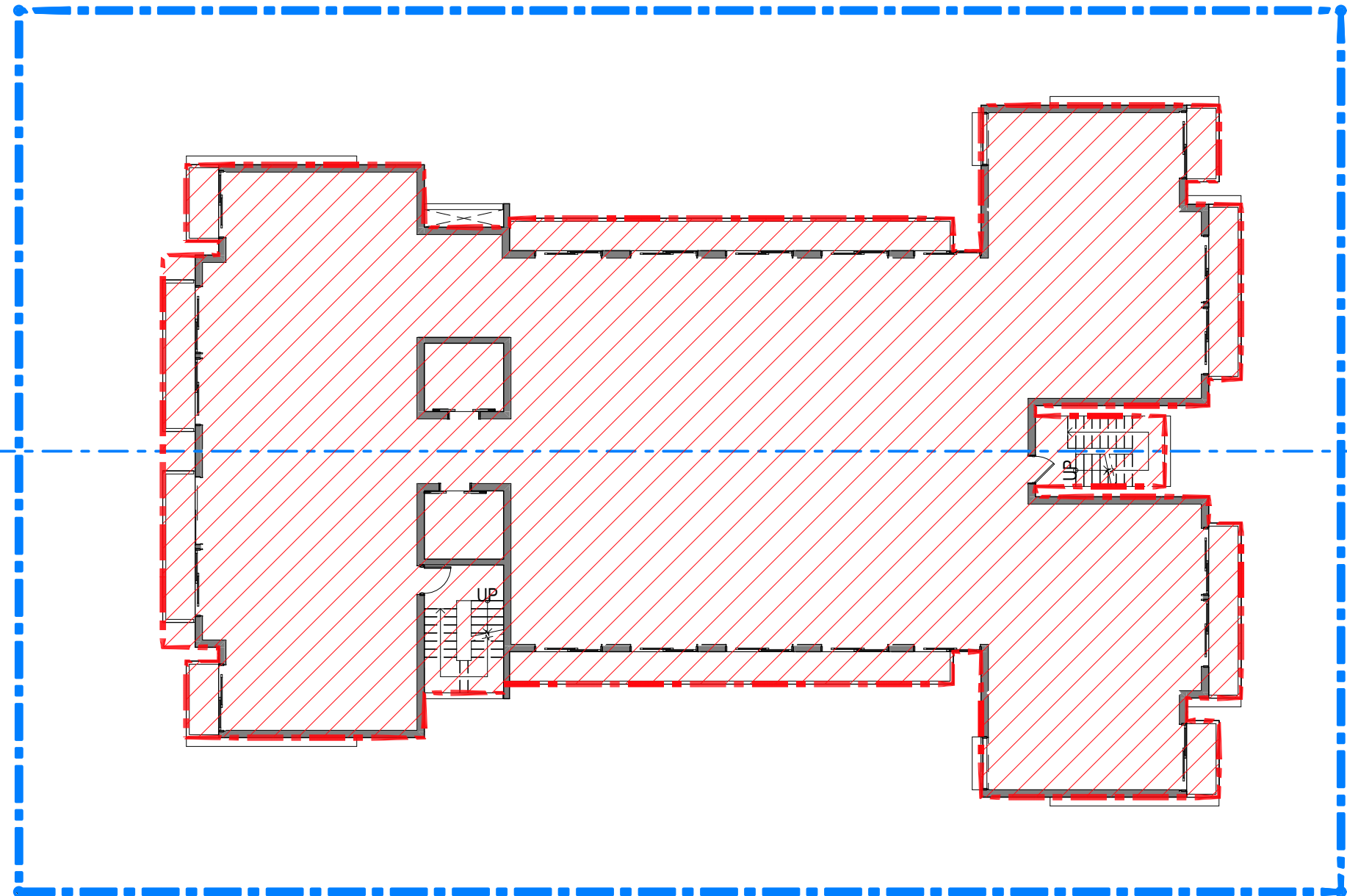
SCALE 1/16" = 1'-0"

GROSS AREA CALCULATION

GROUND LEVEL	7,071 SF
LEVEL 2	5,642 SF
LEVEL 3	7,069 SF
LEVEL 4	7,256 SF
LEVEL 5	7,270 SF
ROOF LEVEL	6,510 SF
TOP OF ROOF	2,015 SF
TOTAL	42,833 SF

 GROSS AREA

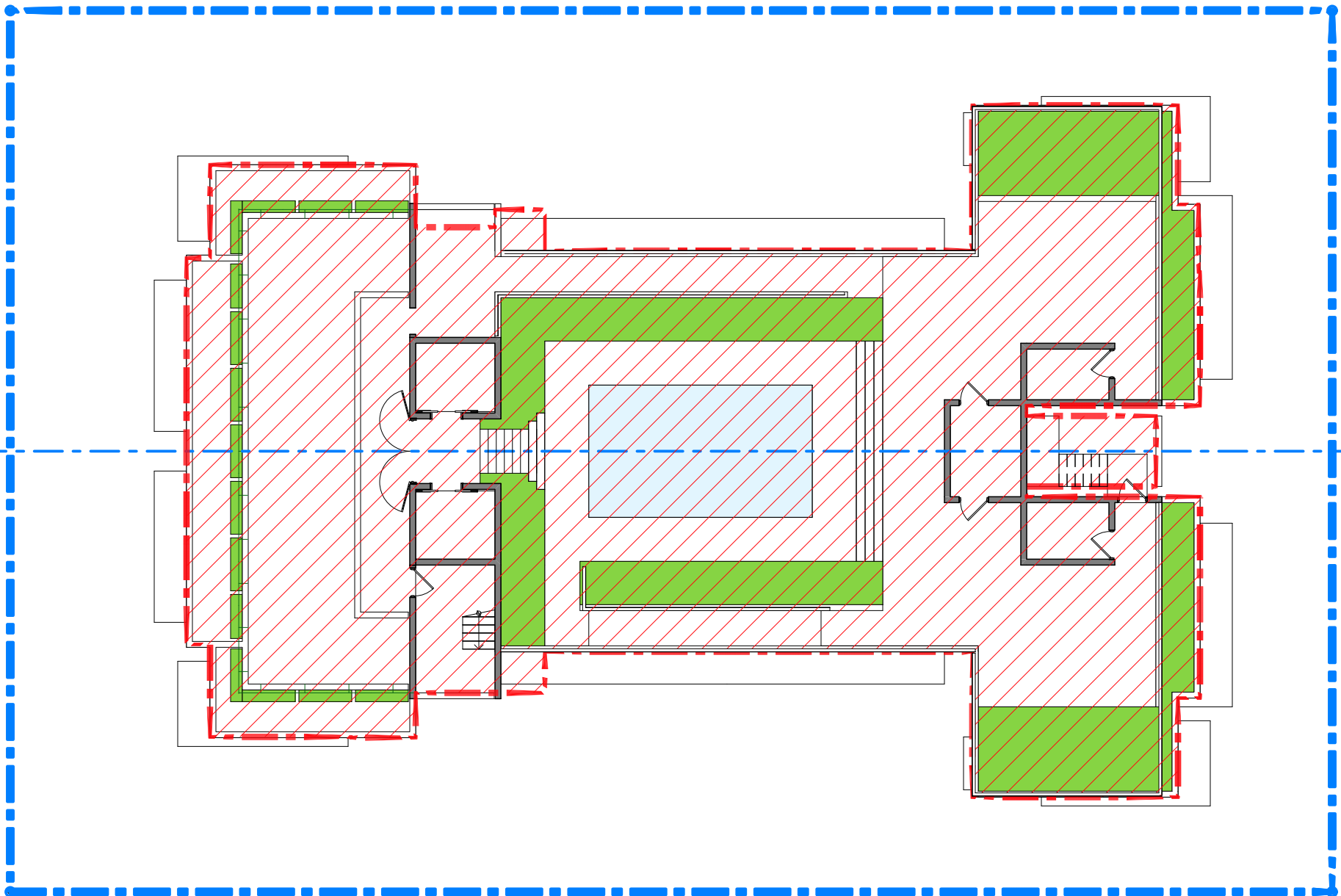
JAMES AVENUE



GROSS AREA FLOOR PLAN - LEVEL 5 | 1

SCALE 1/16" = 1'-0"

JAMES AVENUE



GROSS AREA FLOOR PLAN - ROOF LEVEL | 2

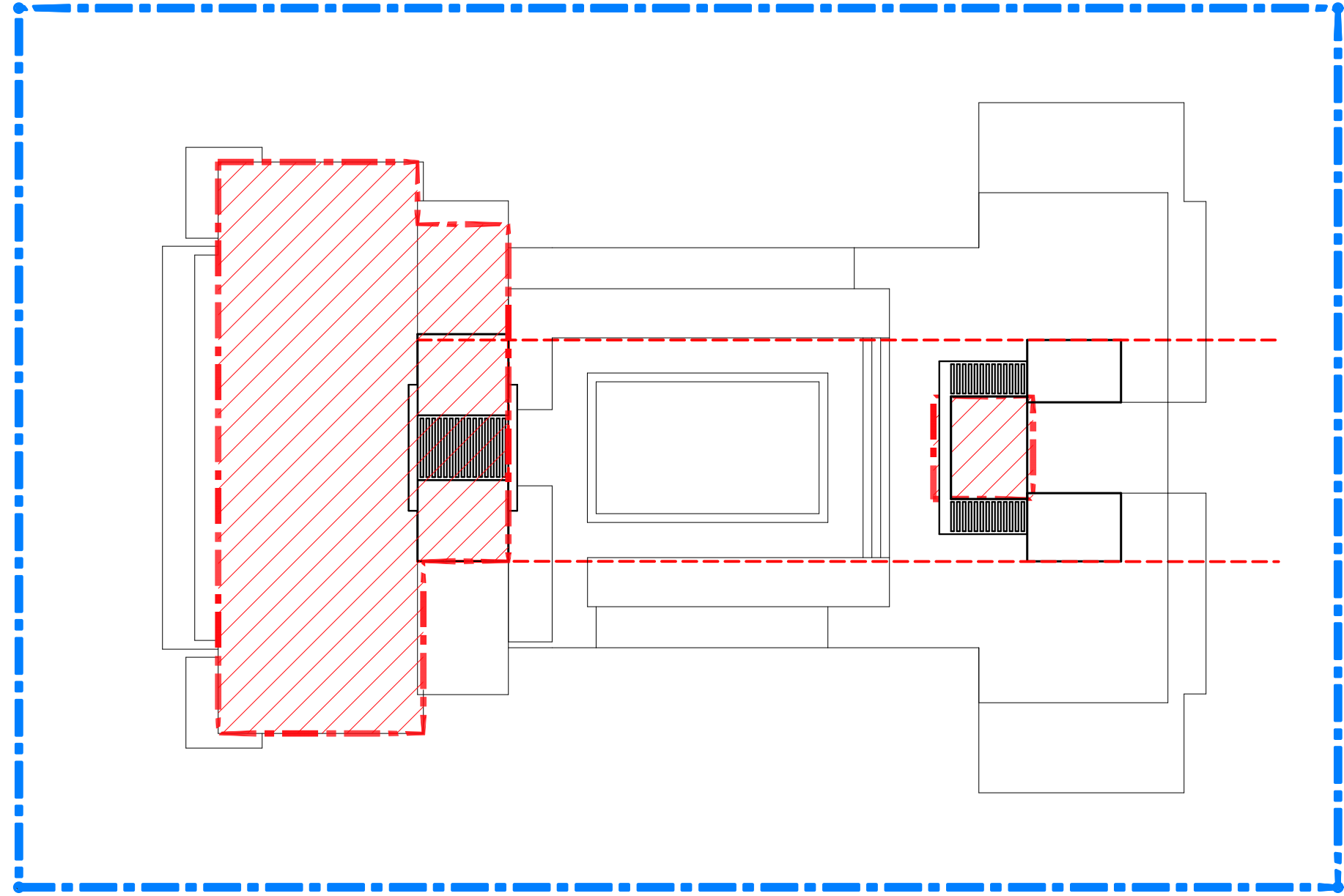
SCALE 1/16" = 1'-0"

GROSS AREA CALCULATION

GROUND LEVEL	7,071 SF
LEVEL 2	5,642 SF
LEVEL 3	7,069 SF
LEVEL 4	7,256 SF
LEVEL 5	7,270 SF
ROOF LEVEL	6,510 SF
TOP OF ROOF	2,015 SF
TOTAL	42,833 SF

 GROSS AREA

JAMES AVENUE



GROSS AREA FLOOR PLAN - TOP OF ROOF | 3

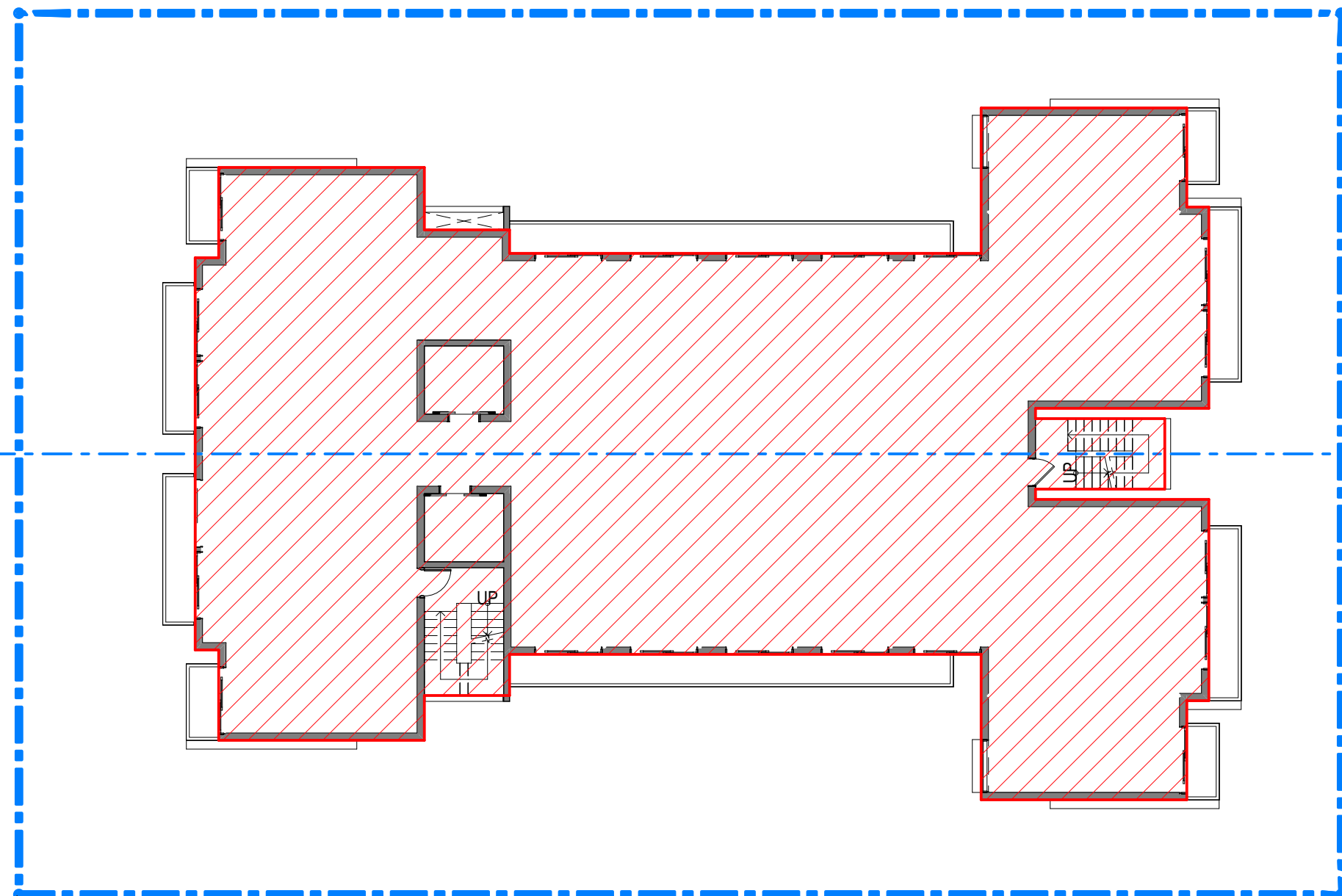
SCALE 1/16" = 1'-0"

MIAMI BEACH - FL

SANCTUARY HOTEL

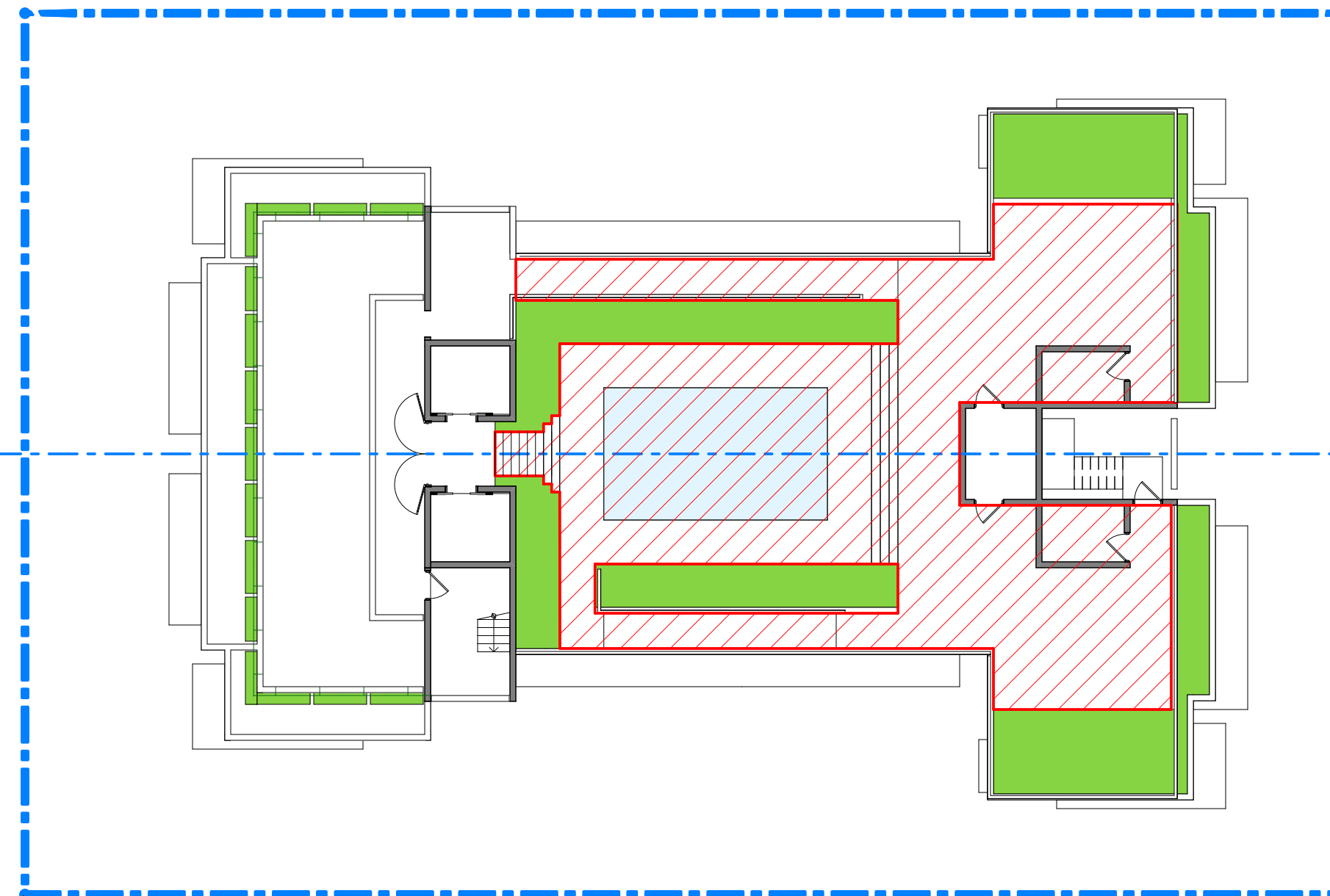


JAMES AVENUE



FLOOR PLAN - LEVEL 5 | 1
SCALE 1/16" = 1'-0"

JAMES AVENUE



ROOF DECK - FLOOR PLAN | 2
SCALE 1/16" = 1'-0"

ROOF DECK CALCULATION

LEVEL 5	6,466 SF
50%=	3,233 SF

ROOF DECK AREA 2,749 SF < 50%

 CALCULATION AREA



NEW REVISED
NORTH ELEVATION | 1
SCALE 1/8" = 1'-0"

SANCTUARY HOTEL MIAMI BEACH - FL