

333 EAST RIVO ALTO RESIDENCE

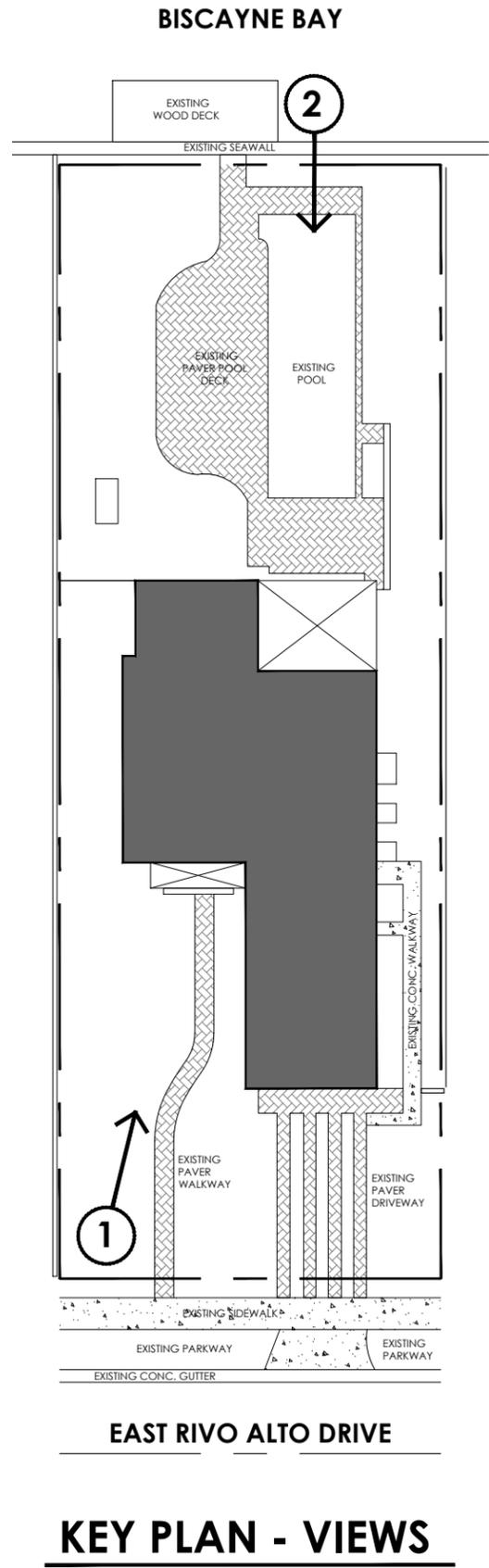
FINAL SUBMITTAL DRB22-0876



333 E. RIVO ALTO DRIVE. MIAMI BEACH, FL. 33139

- NEW TWO-STORY SINGLE FAMILY RESIDENCE WITH UNDERSTORY

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1 EXISTING RESIDENCE - FRONT



2 EXISTING RESIDENCE - REAR

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ADDRESS & OWNER

NEW RESIDENCE
333 E. RIVO ALTO DRIVE
MIAMI BEACH, FL. 33139
OWNER: MS KERIN K. PETERSON

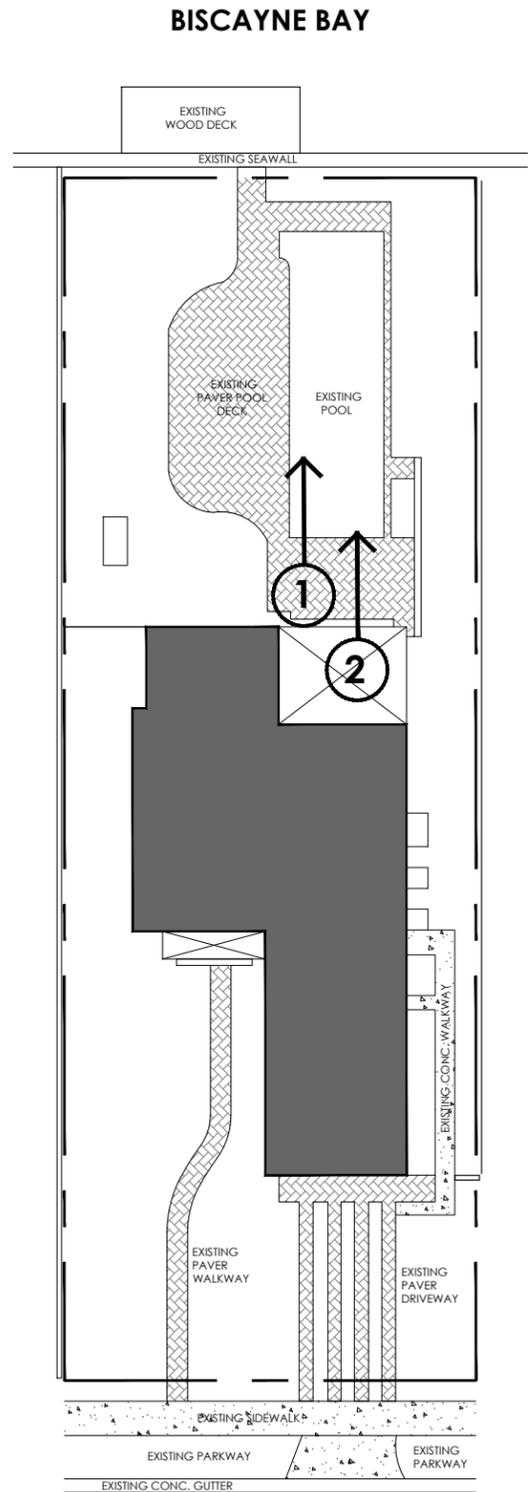
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DRAWING TITLE
EXISTING RESIDENCE PHOTOS

SCALE: AS SHOWN
DATE: 07-20-2022

SHEET NUMBER

PH-1.0

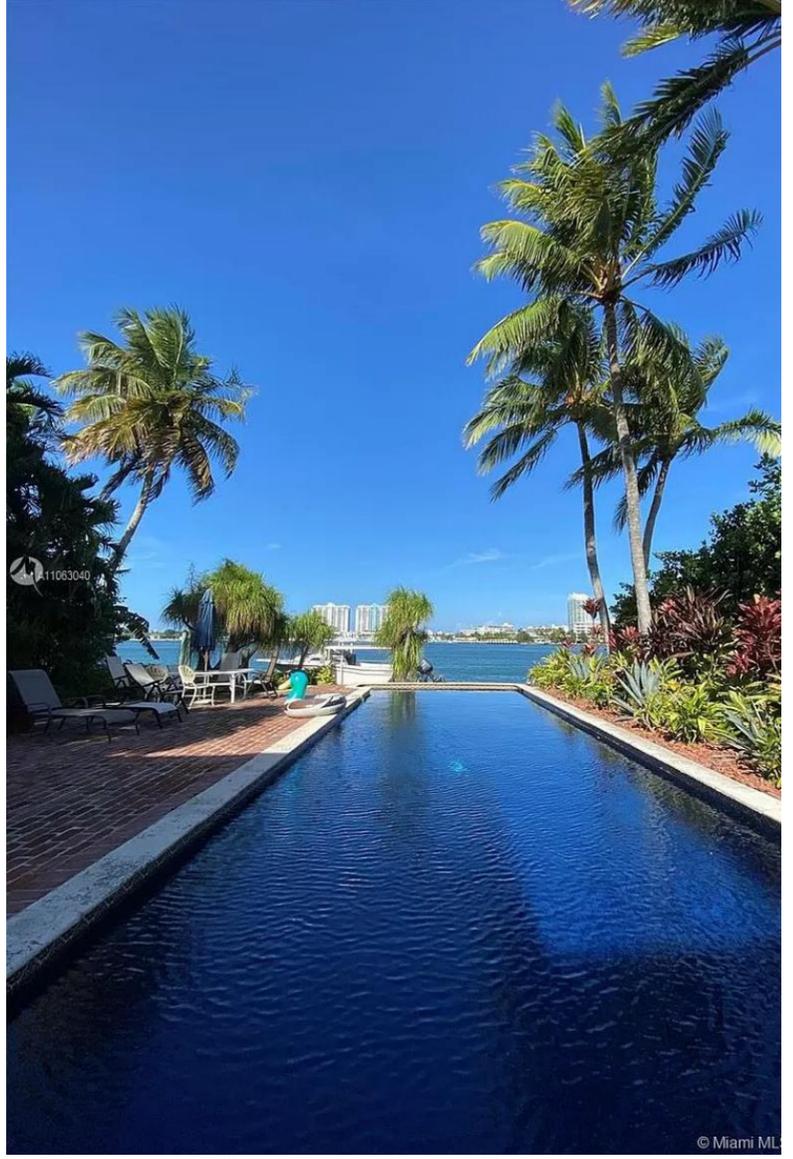


EAST RIVO ALTO DRIVE

KEY PLAN - VIEWS



2 EXISTING RESIDENCE - REAR



1 EXISTING RESIDENCE - REAR

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PH-1.1



2 NEIGHBORHOOD AERIAL MAP 

- 1. 315 E. RIVO ALTO DRIVE
- 2. 327 E. RIVO ALTO DRIVE
- 3. 324 E. RIVO ALTO DRIVE
- 4. 400 E. RIVO ALTO DRIVE
- 5. 401 E. RIVO ALTO DRIVE
- 6. 411 E. RIVO ALTO DRIVE
- 7. 415 E. RIVO ALTO DRIVE



1 AERIAL LOCATION MAP 

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**AERIAL /
PROPERTY MAP**

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PH-2.0



RESIDENCE 1



RESIDENCE 2



RESIDENCE 3



RESIDENCE 4

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**SURROUNDING
PROPERTY
PHOTOS**

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PH-2.1



RESIDENCE 5



RESIDENCE 6



RESIDENCE 7

RESIDENCE 8

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**SURROUNDING
PROPERTY
PHOTOS**

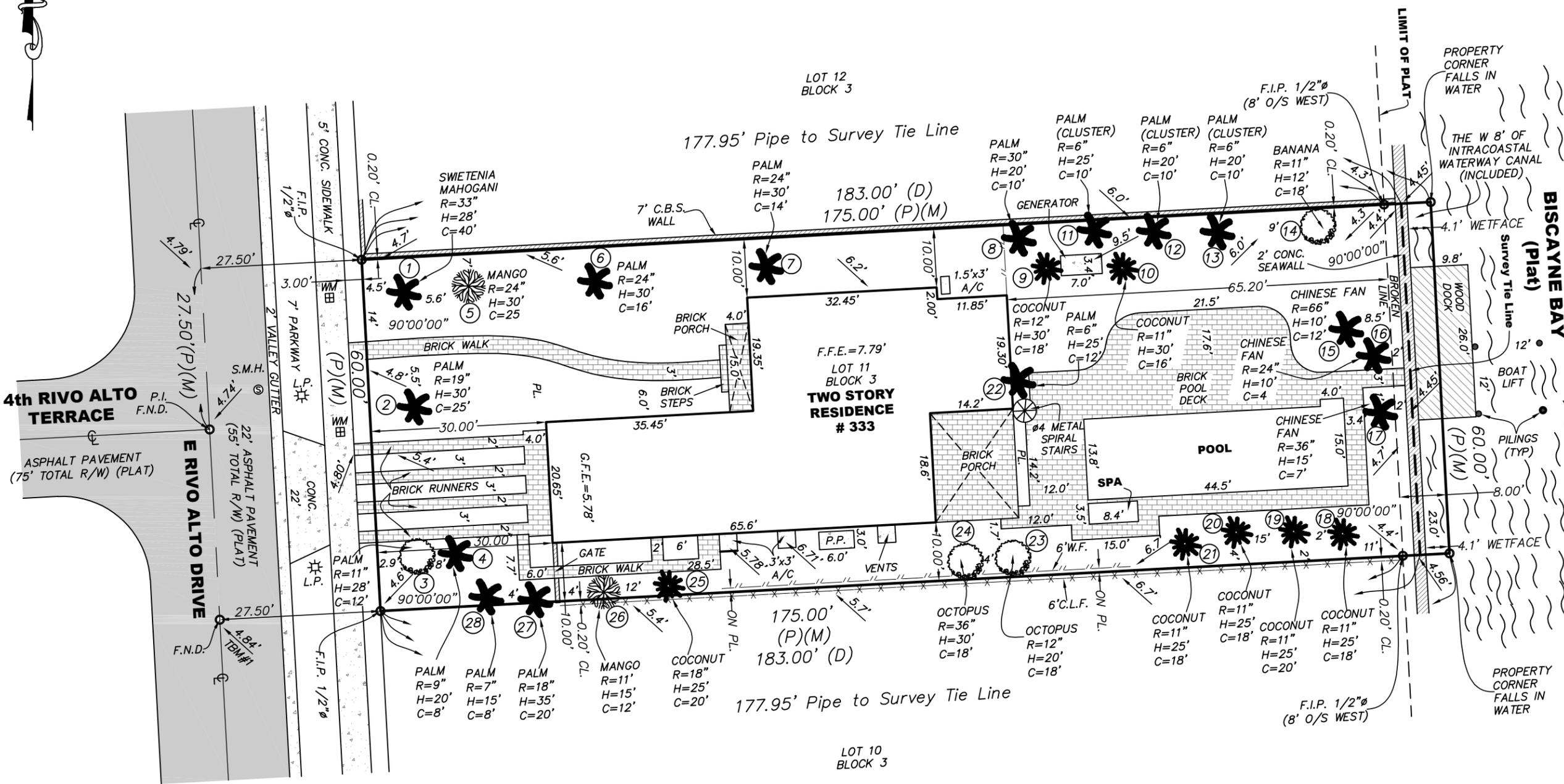
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PH-2.2

"THIS SURVEY DECLARATION IS MADE ON THE FIELD DATE INDICATED, TO THE OWNER(S) LISTED. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."



This property described as:
 Lot 11, Block 3,
 RIVO ALTO, an Island in Biscayne Bay,
 according to the Plat thereof as recorded in Plat
 Book 7, Page 74, of the Public Records of
 Miami-Dade County, Florida, also an 8' Strip of
 Land contiguous to the Easterly boundary line
 of said Lot 11 lying between the Easterly
 Extensions of the North boundary line and the
 South boundary line of said Lot 11, lying and
 being in Dade County, Florida, being a strip of
 land 8' by 60' in dimension.

Address:
 333 E Rivo Alto Drive, Miami Beach, FL 33139

LOT AREA
SQ FT. ± 10677.00

Bearing, if any, shown based on N/A (reference) N/A

NOTES:
 Elevations Show refer to NGVD 1929
 BM # D-169 Elev.=7.88'
 (Miami-Dade)

NOTES:
 - No visible Encroachments in this Lot
 - No platted Easement in this Lot.
 - (folio# 02-3233-001-0450)

REVISIONS: 08/23/2022 Lot Area Added 09/02/2022 Revisions				
FLOOD ZONE AE	COMM. No. 120651	PANEL No. 0294	SUFFIX: L	Not valid unless it bears the signature and the original raised seal of Florida licensed Surveyor and Mapper.
F.I.R.M.DATE 09/11/09	F.I.R.M.INDEX 09/11/09	BASE ELEV. + 10' N.G.V.D.		

TOPOGRAPHIC SURVEY.
 I HEREBY CERTIFY: that this survey meets the standards of practice as set forth by the FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS in Chapter 5J-17 Florida Administrative Code, pursuant to Section 472.027 Florida Statutes.

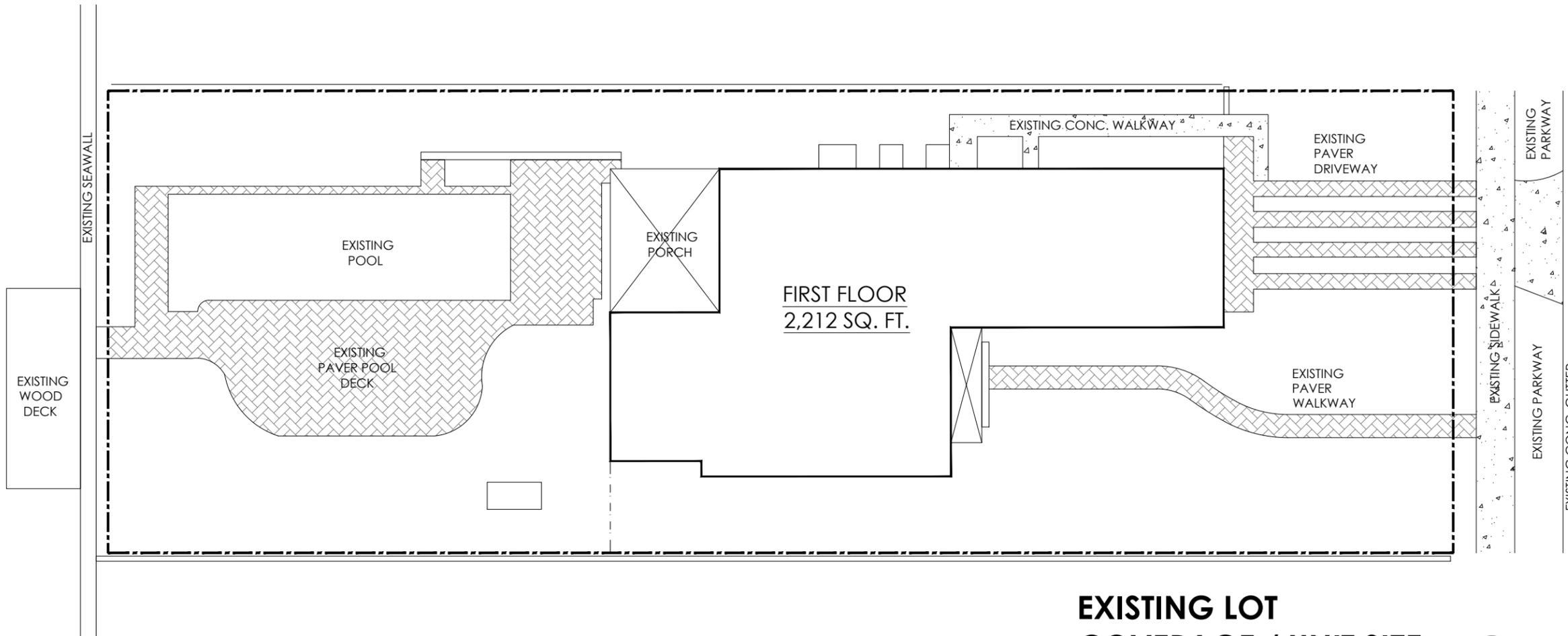
 RENE AIGUESVIVES 01/18/22
 PROFESSIONAL SURVEYOR AND MAPPER No. 4327. State of Florida.

Alvarez, Aiguesvives and Associates, Inc.
 Surveyors, Mappers and Land Planners
 9789 Sunset Drive, Miami, FL 33173
 Phone 305.220.2424 Fax 305.552.8181
 L.B. No. 6867 / E-mail: aaasurvey@aol.com

Field Date 01/18/22	Scale: 1"=20'	Drawn by: A.I.	Drwg. No. 22-23398
------------------------	------------------	-------------------	-----------------------

- LEGEND**
- A = Arc
 - ASPH = Asphalt
 - BM = Bench Mark
 - BRG = Bearing
 - CATV = Catch basin
 - CB = Catch basin
 - CBS = Concrete Block Structure
 - CH = Chord
 - Chatta = Chattahoochee
 - CL = Center Line
 - CLF = Chain Link Fence
 - CL = Clear
 - CONC = Concrete
 - D = Delta
 - Ø = Diameter
 - DH = Drill Hole
 - DME = Drainage & Maintenance Easement
 - E.B. = Electric Box
 - Enc. = Encroachment
 - F.F. = Finish Floor
 - F.H. = Fire Hydrant
 - F.I.R. = Found Iron Rebar
 - FPL = Florida Power & Light
 - F.I.P. = Found Iron Pipe
 - FD. = Found
 - L.P. = Light Pole
 - M = Measured
 - M.F. = Metal Fence
 - M.H. = Manhole
 - M = Monument Line
 - MON. = Monument
 - N/A = Not Applicable
 - N/D = Nail & Disc
 - NTS = Not to Scale
 - O/S = Offset
 - O.U.L. = Overhead Utility Lines
 - OH = Overhang
 - P = Plat
 - PB = Plat Book
 - PC = Point of Curvature
 - P.C.C. = Point of Compound Curvature
 - PCP = Permanent Control Point
 - PG = Page
 - P.I. = Point of Intersection
 - PL = Property Line
 - PL = Planter
 - P.O.B. = Point of Beginning
 - P.O.C. = Point of Commencement
 - P.P. = Power Pole
 - P.R.M. = Permanent Reference Monument
 - P.R.C. = Point of Reverse Curvature
 - PT = Point of Tangency
 - R = Radius
 - R/R = Railroad
 - PSM = Professional Surveyor Mapper
 - R/W = Right-of-Way
 - SWK = Sidewalk
 - Sec. = Section
 - (TYP) = Typical
 - T = Tangent
 - U.E. = Utility Easement
 - W.F. = Wood Fence
 - W.M. = Water Meter
 - W.V. = Water Valve
 - X = Denotes Spot Elevations Taken
- NOTE:**
- a) All clearances and/or encroachments shown hereon are of the apparent physical use, fence legal ownership and not determined.
 - b) The issue of this survey is only for the exclusive and specific use of those persons, parties or institutions in the certification.
 - c) Code restrictions and title search not reflected in this survey
 - d) Underground utilities, improvements, footings and encroachments, if any not located.
 - e) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or damage and does not create liability on the part of the firm or employee thereof, for any damage that occurs from reliance on said information.
 - f) Lands depicted hereon were surveyed per legal description provided by client and no claims as to ownership or matters of title are made or implied.
- g) All roads shown hereon are public unless otherwise noted.
 h) No identification cap found on property corners unless otherwise noted.
 i) Distance along boundary are record and measured unless otherwise noted.
 j) The graphic portions of this document are intended to be displayed at the graphic/name scales as depicted. Said scale may be altered in reproductions and as such, should be considered when obtaining scaled data.
 k) Accuracy: The expected use of land as classified in the minimum technical standards (5,117-FAC), is "Suburban". The minimum relative distance accuracy for the type of boundary survey is 1 foot in 7,500 feet. The accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
 l) Contact the appropriate authorities prior to any design work or excavation on the herein described parcel for building, zoning information and utilities location.

BISCAYNE BAY



EAST RIVO ALTO DRIVE

1 **EXISTING LOT COVERAGE / UNIT SIZE** 1/16" = 1'-0"

LOT AREA: 10,500 S.F.

EXISTING LOT COVERAGE	
FIRST FL.	2,212 S.F.
TOTAL	2,212 S.F. 21.06%

EXISTING UNIT SIZE	
FIRST FL.	2,212 S.F.
SECOND FL. (ESTIMATE)	2,212 S.F.
TOTAL	4,424 S.F. 42.13%

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ADDRESS & OWNER

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OWNER: MS KERIN K. PETERSON

REVISION & DATE

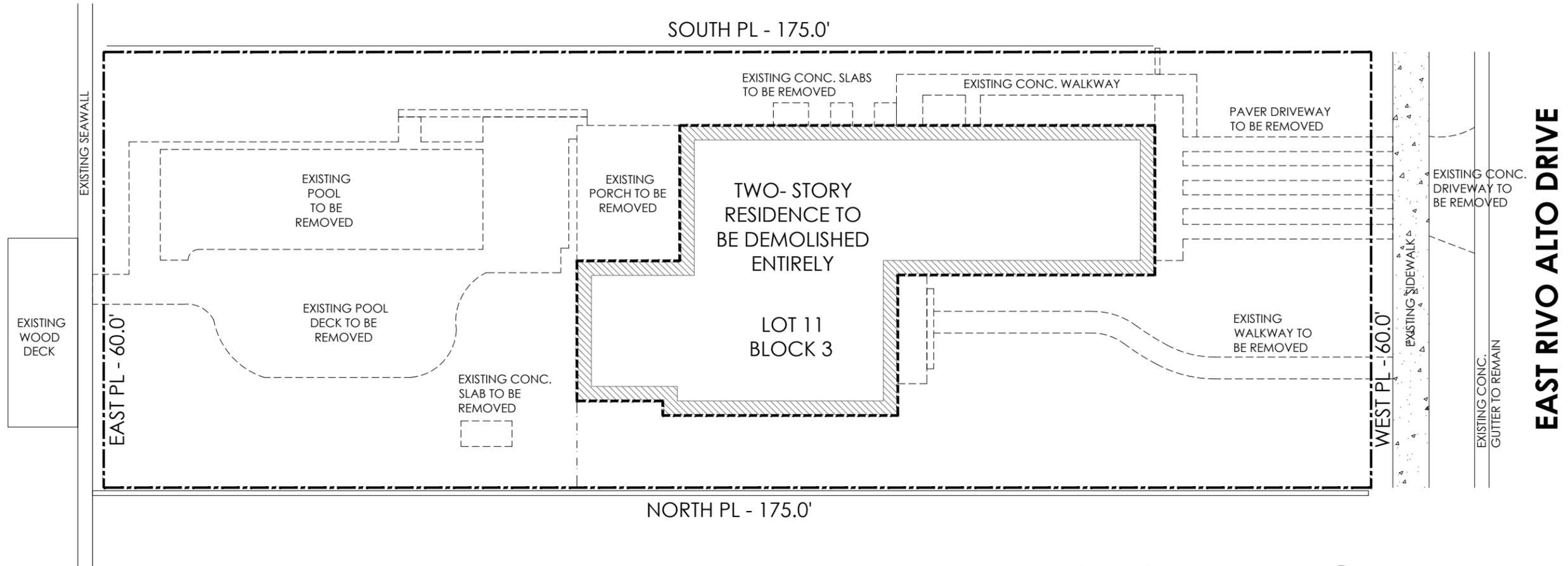
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EXIST. LOT COVERAGE / UNIT SIZE

SCALE: AS SHOWN
DATE: 07-20-2022

SHEET NUMBER

EX-1.0

BISCAYNE BAY



1 DEMOLITION PLAN
 1/16" = 1'-0"

- GENERAL DEMOLITION NOTES**
- CONTRACTOR SHALL NOTIFY ALL UTILITIES FOR PROPER DISCONNECTION PRIOR TO DEMOLITION ACTIVITIES.
 - CONTRACTOR SHALL PERFORM AND OBTAIN ALL PERMITS WITH CITY OF MIAMI BEACH & COMPLY WITH ALL NECESSARY REQUIREMENTS. CONTRACTOR SHALL PROVIDE NOTIFICATIONS AS REQUIRED AND COMPLY WITH LOCAL ORDINANCES.
 - CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ACCIDENTAL DAMAGE TO ADJACENT PROPERTIES AND EXISTING ITEMS TO REMAIN. RESPONSIBILITY MEANS REPLACEMENT OF OR RESTORATION TO ORIGINAL CONDITION OF ANY DAMAGED ITEMS.
 - CONTRACTOR SHALL REMOVE ANY DECORATIVE ACCESSORIES AND LIGHT FIXTURES FROM WALLS, CEILINGS AND ELSEWHERE DIRECTED BY OWNER AND PROTECT SAME FROM POSSIBLE DAMAGE UNTIL INSPECTION FOR DISPOSITION IS MADE BY OWNER.
 - CONTRACTOR SHALL PERFORM INSECT/RODENT EXTERMINATION AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
 - CONDUCT OPERATIONS SO AS NOT INTERFERE WITH ADJACENT ROADS, STREETS DRIVES, WALKS, SERVICE LINES AND THE LIKE.
 - MAINTAIN BUILDING GROUNDS FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH. DISPOSE ALL MATERIALS IMMEDIATELY AFTER DEMOLITION.
 - CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PREVENT AIRBORNE DUST TO SPREAD TO ADJACENT PROPERTIES. WATER SHALL BE APPLIED WHEREVER PRACTICAL TO SETTLE AND HOLD DUST TO A MINIMUM, PARTICULARLY DURING THE DEMOLITION & MOVING OF MATERIALS. PROVIDE DUMP CONTAINERS ON SITE FOR COLLECTION OF WASTE MATERIALS, RUBBISH AND DEBRIS FOR ALL TRADES.
 - UPON COMPLETION OF DEMOLITION WORK, LEAVE THE PROPERTY AND ADJACENT AREAS CLEAN AND SATISFACTORY TO LOCAL AUTHORITIES AND THE ARCHITECT. BESIDES THE REMOVAL OF WASTE MATERIALS. THE ENTIRE SPACE SHALL BE LEFT IN A "BROOM CLEAN" CONDITION, WITH THE COMPLETE REMOVAL OF ALL ACCUMULATIONS OF DUST FROM ANY REMAINING SURFACES, STRUCTURAL ELEMENTS OR OTHERWISE.
 - CONTRACTOR SHALL PERFORM ALL NECESSARY TESTING FOR ASBESTOS CONTAINING MATERIAL AND RETAIN A CERTIFIED ASBESTOS ABATEMENT COMPANY FOR REMOVAL OF ANY ASBESTOS CONTAINING MATERIAL PER STATE OF FLORIDA REGULATIONS.

- SCOPE OF WORK**
- SCOPE OF DEMOLITION ENTAILS ENTIRE HOUSE.
 - REMOVE WALKWAYS, CONCRETE OR TILED PATIO, PRIVACY WALLS, POOL DECK, DRIVEWAYS AND FENCES AS INDICATED ON PLANS.
 - MAINTAIN AND PROTECT ALL EXISTING TREES.

TREE PROTECTION NOTE

PROVIDE 8'X8' PROTECTION BARRIER FOR TREES LESS THAN 18" IN DIAMETER AND 12'X12' PROTECTION BARRIER FOR TREES 18" IN DIAMETER AND GREATER.

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REVISION & DATE

DRAWING TITLE

DEMO PLAN

SCALE: AS SHOWN
 DATE: 07-20-2022

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D-1.0



FRONT VIEW RENDERING / 3D PERSPECTIVE

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FRONT RENDERING

SCALE: AS SHOWN
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3D-1



REAR VIEW RENDERING / 3D PERSPECTIVE

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REVISION & DATE

DRAWING TITLE

**REAR
 RENDERING**

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3D-2



NEIGHBORHOOD CONTEXTUAL VIEW



NEIGHBORHOOD CONTEXTUAL AERIAL VIEW

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CONTEXTUAL VIEW

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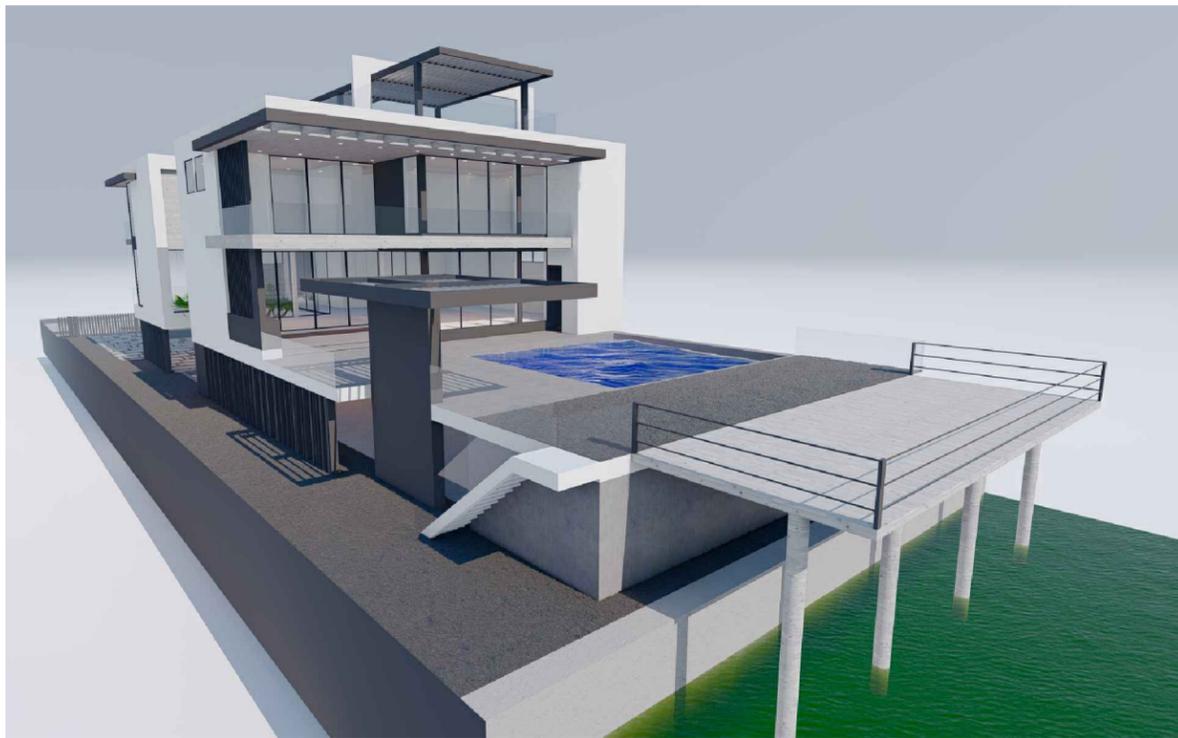
3D-3



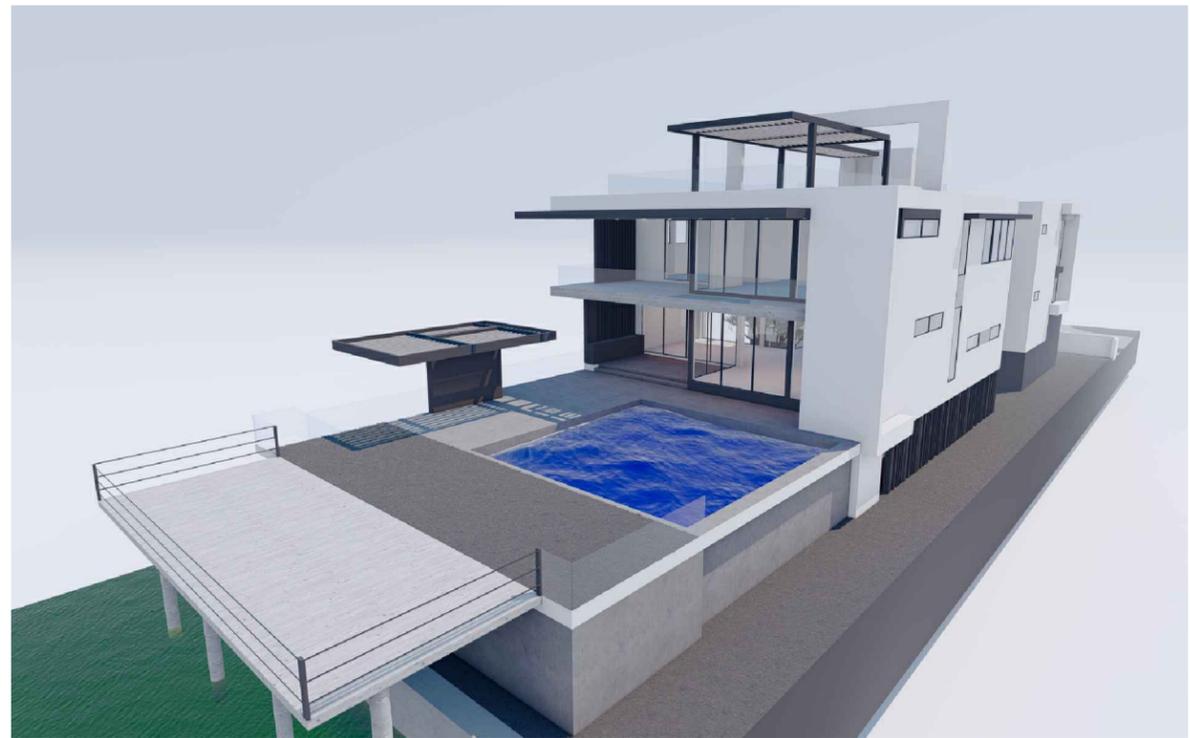
PERSPECTIVE VIEW



PERSPECTIVE VIEW



PERSPECTIVE VIEW



PERSPECTIVE VIEW

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**CONTEXTUAL
 VIEW**

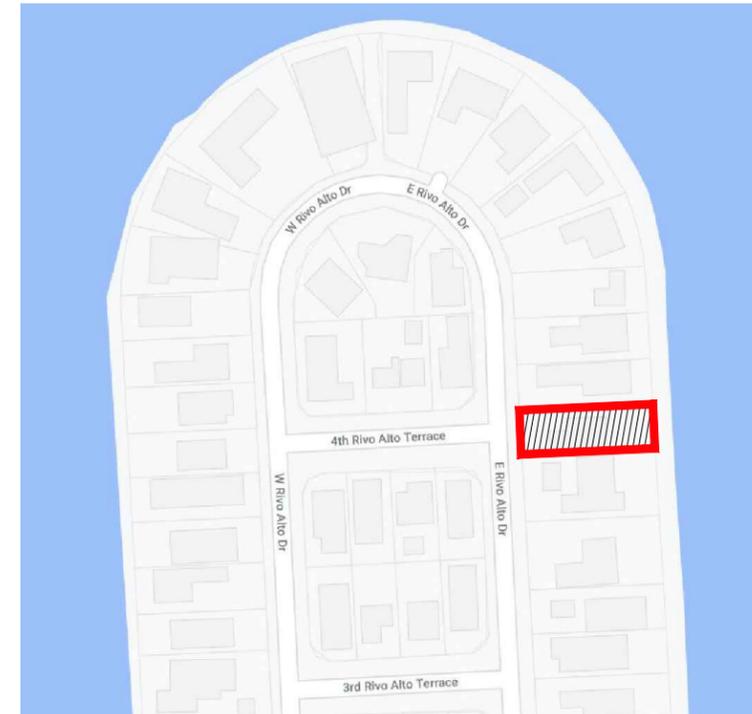
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3D-4

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEMS#	ZONING INFORMATION				
1	ADDRESS:	333 EAST RIVO ALTO DR. MIAMI BEACH. 33139			
2	FOLIO NUMBER(S):	02-3233-001-0450			
3	BOARD AND FILE NUMBERS:	DRB22-0876			
4	YEAR BUILT:	1938	ZONING DISTRICT:	RS-3	
5	BASED FLOOD ELEVATION:	+10.0' NGVD	GRADE VALUE IN N.G.V.D:	+4.8' NGVD	
6	ADJUSTED GRADE (FLOOD+GRADE/2)	+7.4' NGVD	FREE BOARD:	+15.0' NGVD (+5')	
7	LOT AREA:	10,680 S.F.			
8	LOT WIDTH:	60'-0"	LOT DEPTH:	178'-0" (TO SEAWALL MIDPOINT)	
9	MAX. LOT COVERAGE SF AND %:	3,204 SF (30%)	PROPOSED LOT COVERAGE SF AND %:	3,032 SF (28.39%)	
10	EXISTING LOT COVERAGE SF AND %:	2,212 SF (21.06%)	LOT COVERAGE DEDUCTED (GARAGE-STORAGE)	3,032 SF (28.39%)	
11	FRONT YARD OPEN SPACE SF AND %:	507 SF (28.17%)	REAR YARD OPEN SPACE SF AND %:	456 SF (28.46%)	
12	MAX. UNIT SIZE SF AND %:	5,340 SF (50%)	PROPOSED UNIT SIZE SF AND %:	5,286 SF (49.49%)	
13	EXISTING FIRST FLOOR UNIT SIZE%:	4,424 SF (42.13%)	PROPOSED FIRST FLOOR UNIT SIZE SF AND %:	2,557 SF (24.35%)	
14	EXISTING SECOND FLOOR UNIT SIZE:	N/A	PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE SF AND % (NOTE: TO EXCEED 70% OF THE FIRST FLOOR OF THE MAIN HOME REQUIRE DRB):	2,557 SF (24.35%)	
15			PROPOSED SECOND FLOOR UNIT SIZE SF AND %:	2,557 SF (24.35%)	
16			PROPOSED ROOF DECK AREA SF AND % (NOTE: MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):	639 SF (25%)	
			GROSS AREA:	7,987 SF	
		REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17	HEIGHT:	24 FT.		24 FT.	SEE ELEVATION SHEETS
18	SETBACKS:				
19	FRONT FIRST LEVEL:	30 FT.	N/A	40 FT.	
20	FRONT SECOND LEVEL:	30 FT.	N/A	40 FT.	
21	SIDE 1 - SOUTH (INTERIOR):	7'-6"		7'-6"	
22	SIDE 2 - WEST (INTERIOR):	7'-6"		7'-6"	
23	REAR:	26'-8"		50'-0"	
24	ACCESSORY STRUCTURE SIDE 1:	7'-6"	N/A	10'-6"	
25	ACCESSORY STRUCTURE SIDE 2	7'-6"	N/A	N/A	
26	ACCESSORY STRUCTURE REAR:	13'-1"	N/A	21'-3" SUPPORT WALL 16'-2" TRELLIS	
27	LOCATED WITHIN A LOCAL HISTORIC DISTRICT?	NO			
28	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE?	NO			
29	DETERMINATE TO BE ARCHITECTURALLY SIGNIFICANT?	NO			



LOCATION PLAN

NOT TO SCALE



SCOPE OF WORK

- NEW SINGLE FAMILY RESIDENCE REPLACING EXISTING PRE-1942 BUILDING.

APPLICABLE CODES

- FLORIDA BUILDING CODE 2020 7TH EDITION, RESIDENTIAL
- CITY OF MIAMI BEACH LOCAL ORDINANCE (RS-3)

LEGAL DESCRIPTION

LOT 11, BLOCK 3, RIVO ALTO, AN ISLAND IN BISCAYNE BAY, ACCORDING TO THE PLAT THEREOF AS RECORDER IN PLAT BOOK 7, PAGE 74, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, ALSO AN 8' STRIP OF LAND CONTIGUOUS TO THE EASTERLY BOUNDARY LINE OF SAID LOT 11 LYING BETWEEN THE EASTERLY EXTENSIONS OF THE NORTH BOUNDARY LINE AND THE SOUTH BOUNDARY LINE OF SAID LOT 11, LYING AND BEING IN DADE COUNTY, FLORIDA, BEING A STRIP OF LAND 8' BY 60' DIMENSION.

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OWNER: MS KERIN K. PETERSON

REVISION & DATE

DRAWING TITLE

ZONING DATA
/ LOCATION
PLAN

SCALE: AS SHOWN

DATE: 07-20-2022

SHEET NUMBER

A-1.0

JOSE L. SANCHEZ
AIA, LEED AP

278 NW 37TH ST.
MIAMI, FL 33127
P 305 576 8063

FL LIC: AR 0014966
FL LIC: AA 26000837

ADDRESS & OWNER

NEW RESIDENCE
333 E. RIVO ALTO DRIVE
MIAMI BEACH, FL. 33139
OWNER: MS KERIN K. PETERSON

REVISION & DATE

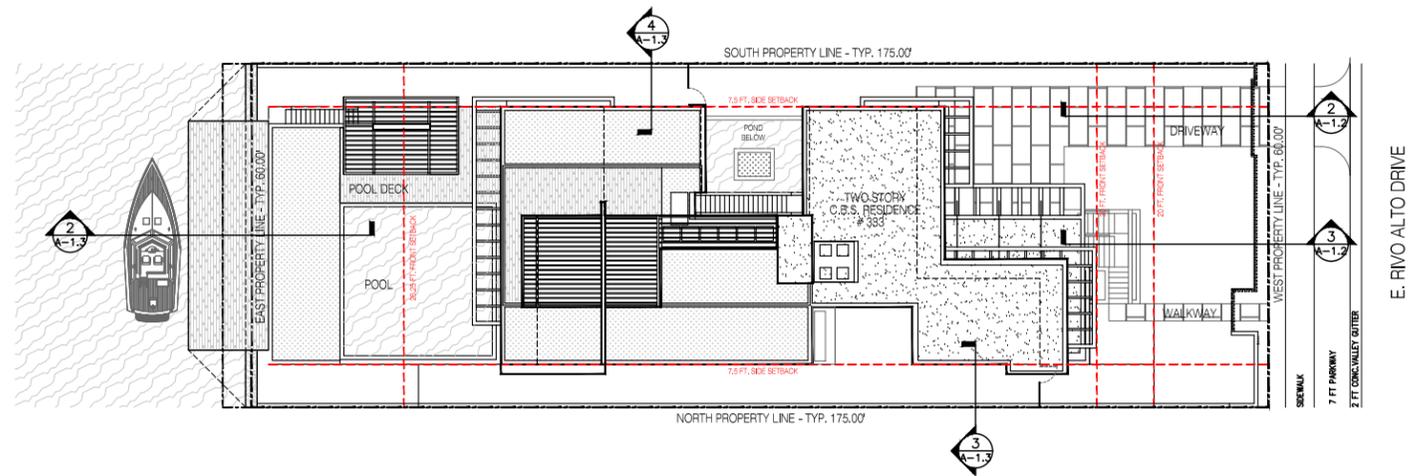
DRAWING TITLE

YARD SECTIONS

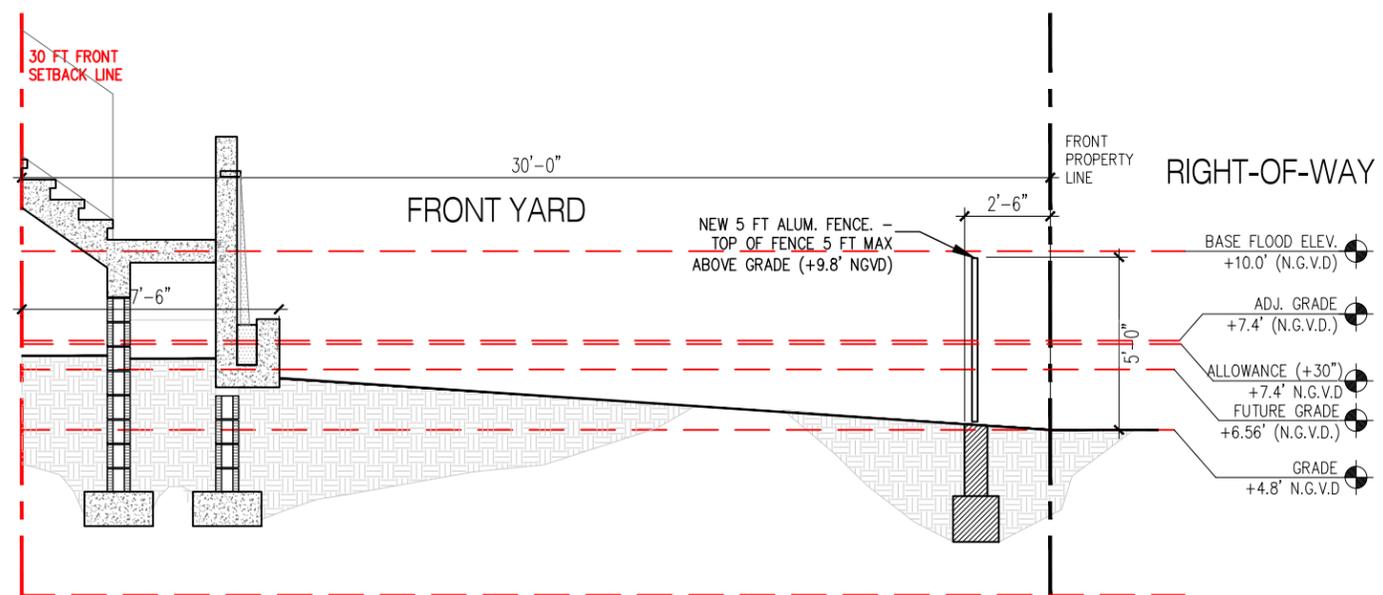
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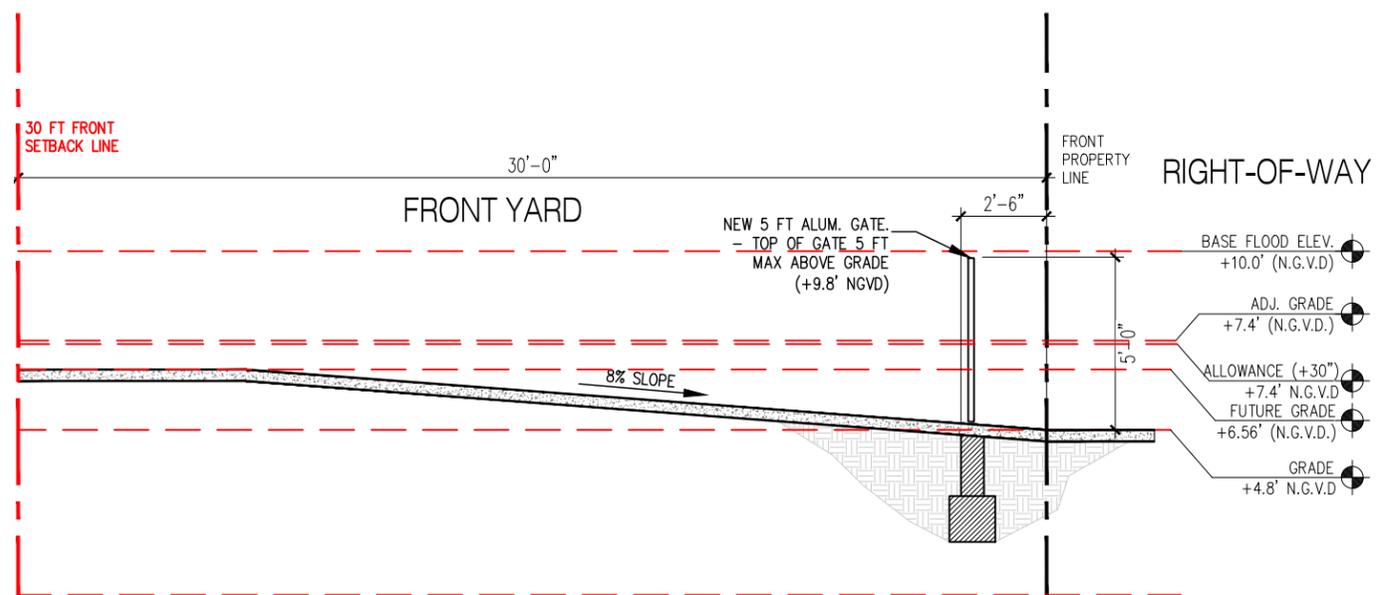
A-1.2



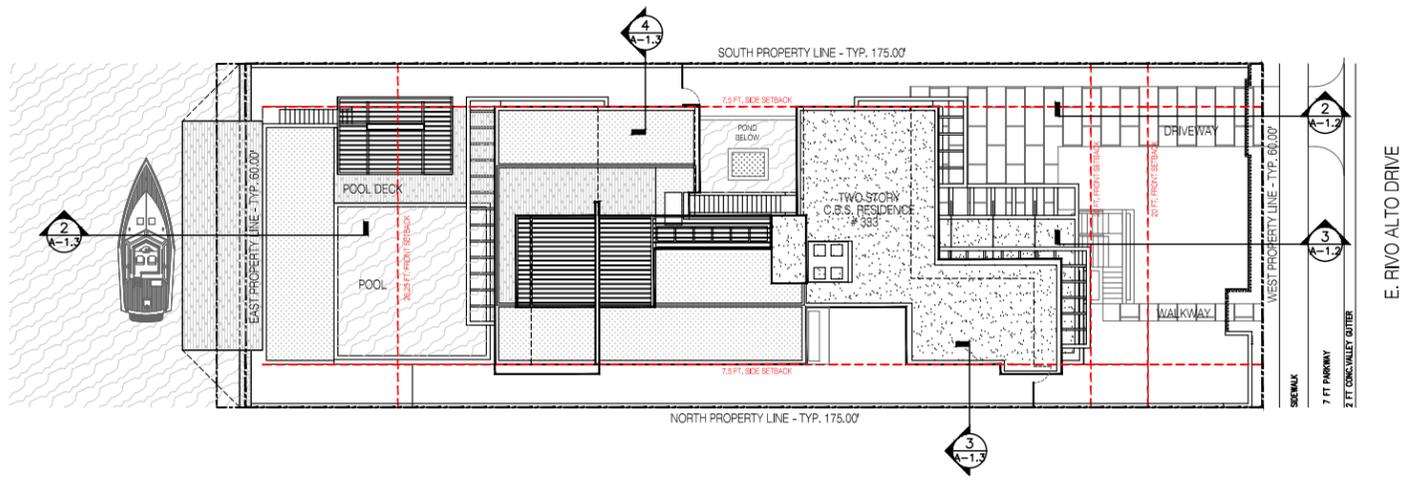
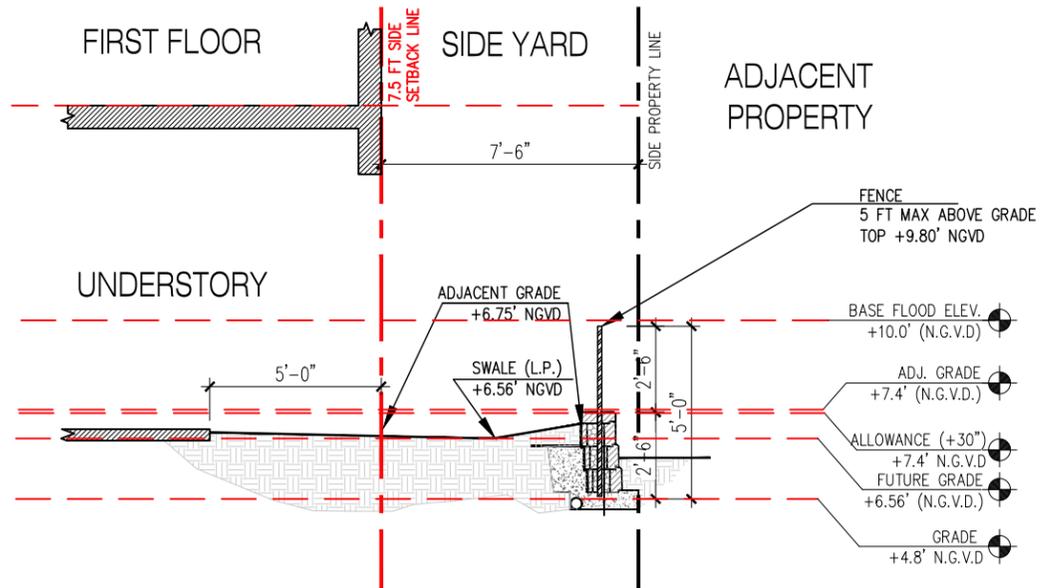
1 **YARD SECTION KEYPLAN**
NOT TO SCALE



3 **FRONT YARD SECTION**
3/16" = 1'-0"

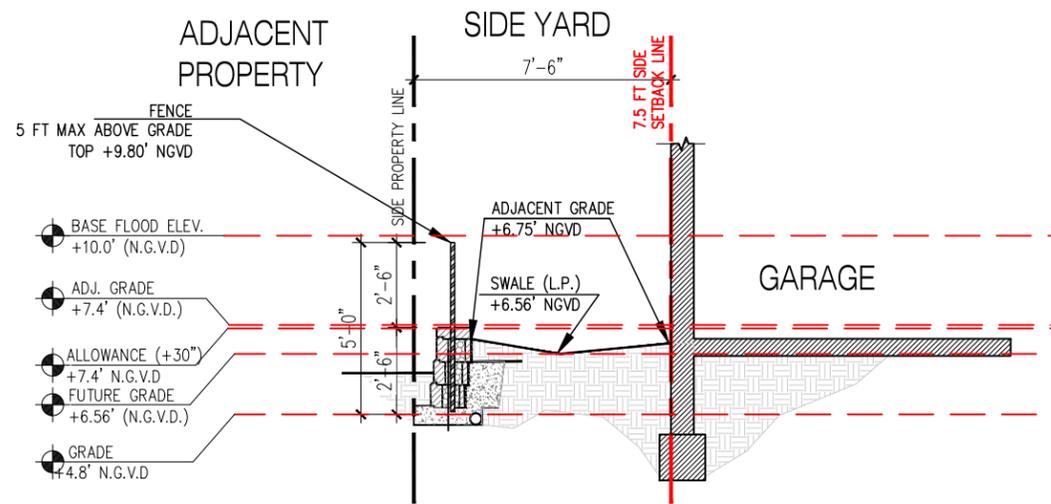


2 **FRONT YARD SECTION**
3/16" = 1'-0"

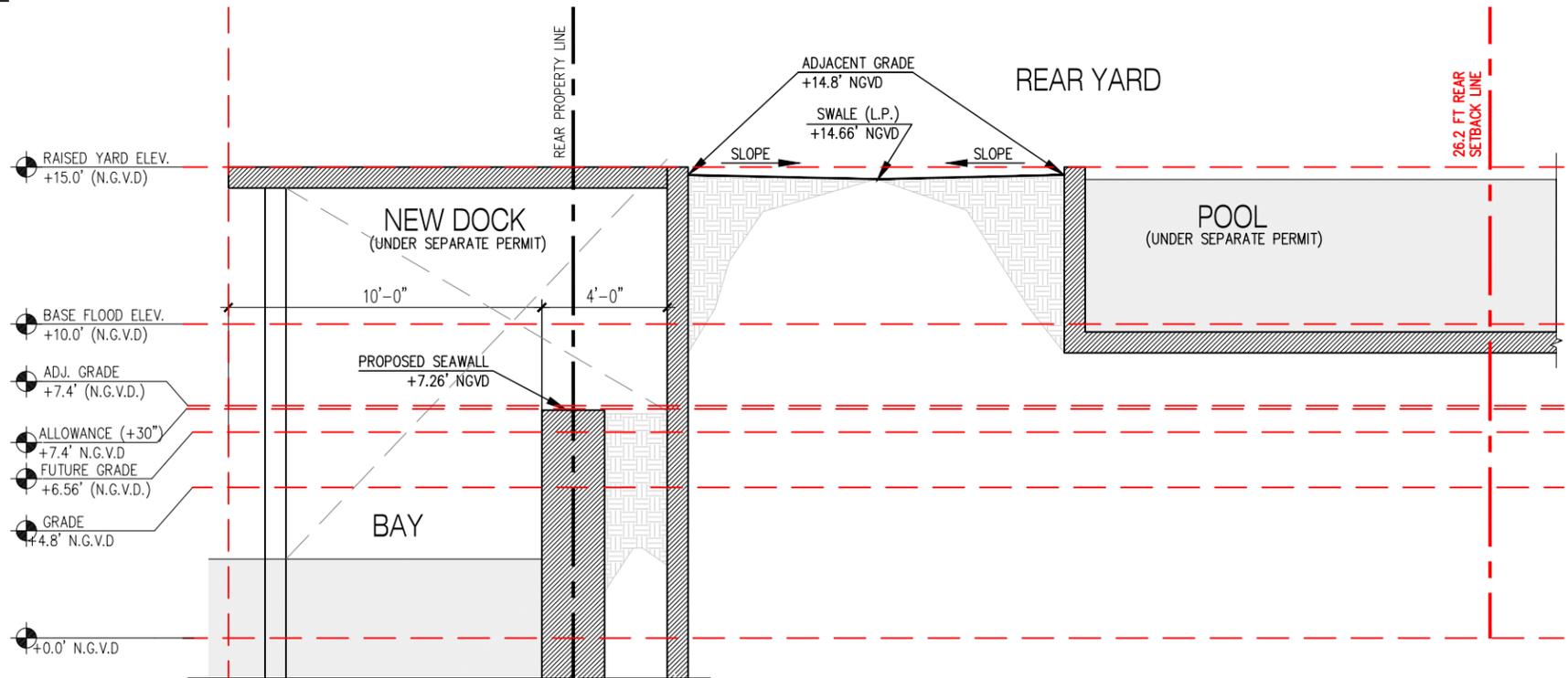


1 YARD SECTION KEYPLAN
 NOT TO SCALE

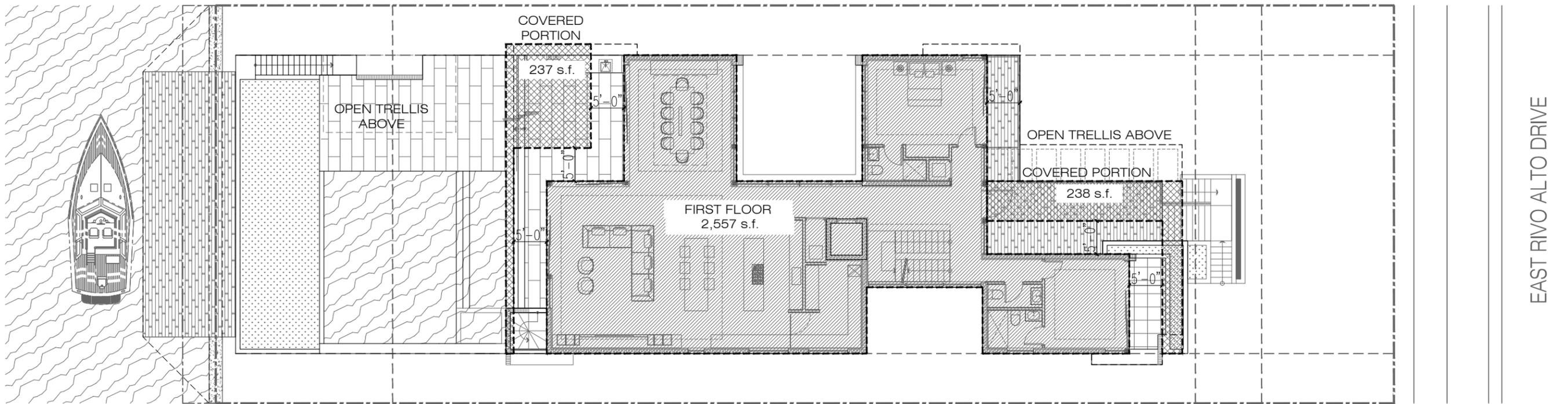
4 SIDE YARD SECTION - SOUTH
 3/16" = 1'-0"



3 SIDE YARD SECTION - NORTH
 3/16" = 1'-0"

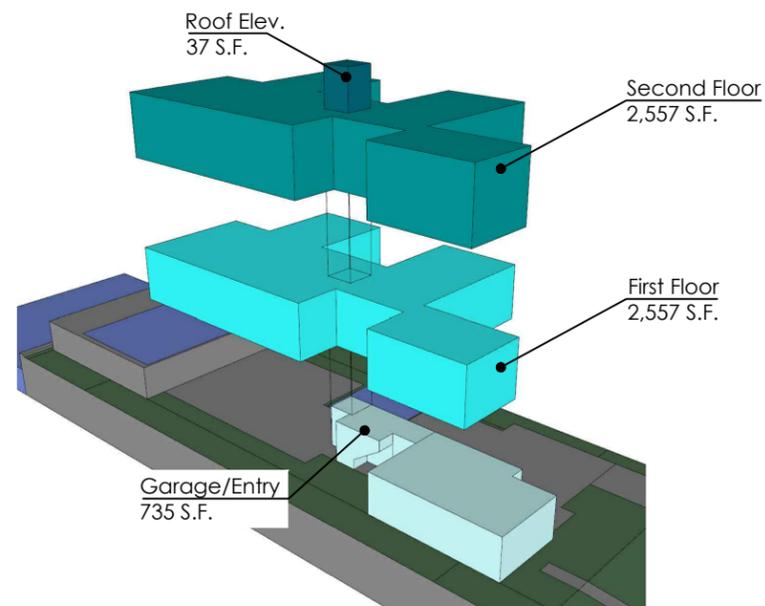


2 REAR YARD SECTION
 3/16" = 1'-0"



EAST RIVO ALTO DRIVE

- HATCH DENOTES FIRST FLOOR
- HATCH DENOTES AREA COVERED BY ROOF / BALCONY PAST 5 FT



2 **VOLUME DIAGRAM**

1 **COVERAGE DIAGRAM**
1/16" = 1'-0"

COVERAGE (RS-3)	
LOT AREA	10,680
MAX COVERAGE (30%)	3,204
FIRST FL. AC	2,557
2ND FL. AC PROJECTION	0
COVERED PAST 5 FT	237
COVERED PAST 5 FT	238
TOTAL PROPOSED	3,032 S.F.
PERCENT OF LOT AREA	28.39%
DIFFERENCE (- UNDER / + OVER)	-172.00

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REVISION & DATE

DRAWING TITLE
**COVERAGE /
VOLUME
DIAGRAM**

SCALE: AS SHOWN
DATE: 07-20-2022

SHEET NUMBER

A-1.4

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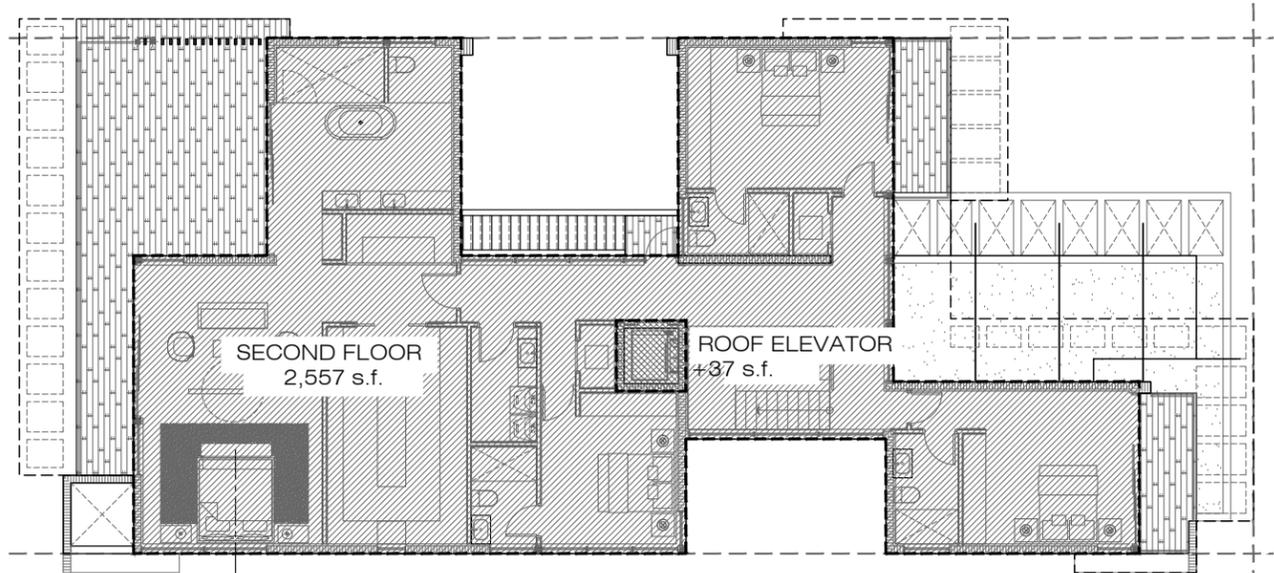
**UNIT SIZE
DIAGRAM**

SCALE: AS SHOWN

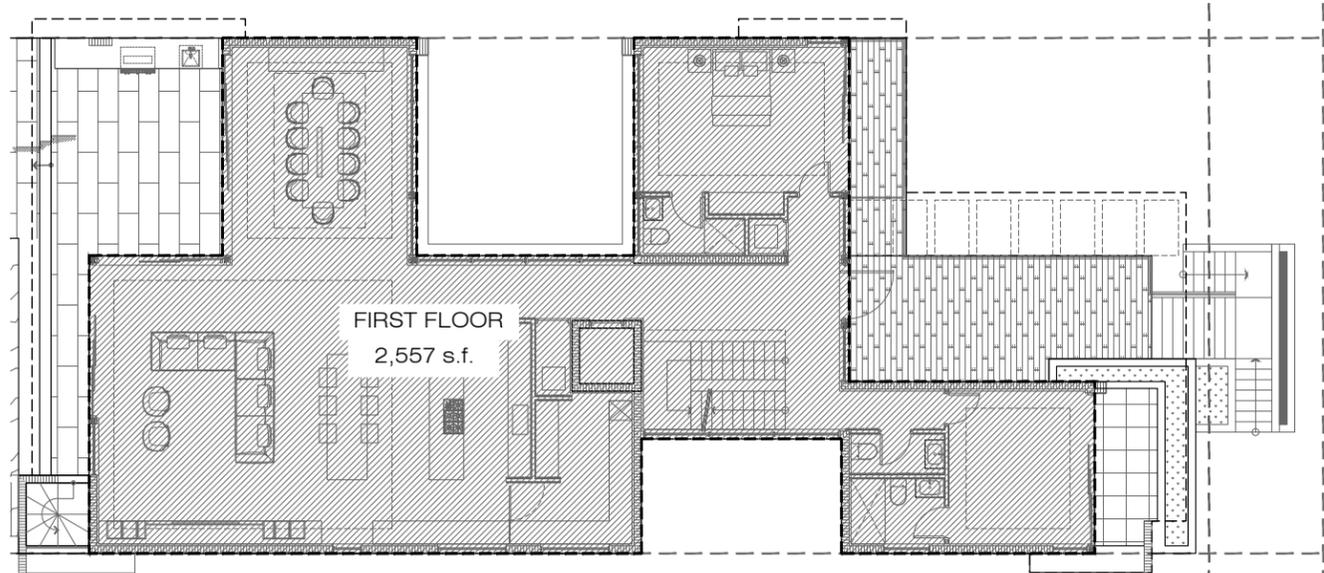
DATE: 07-20-2022

SHEET NUMBER

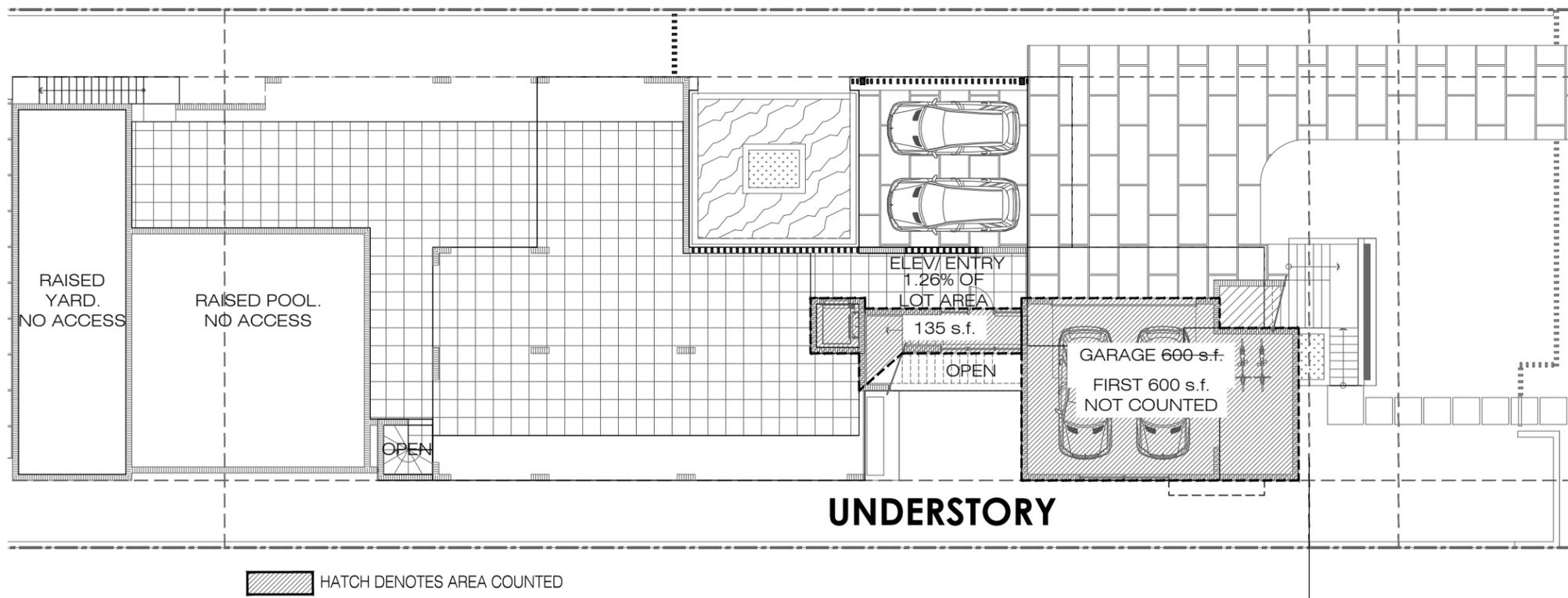
A-1.5



SECOND FLOOR



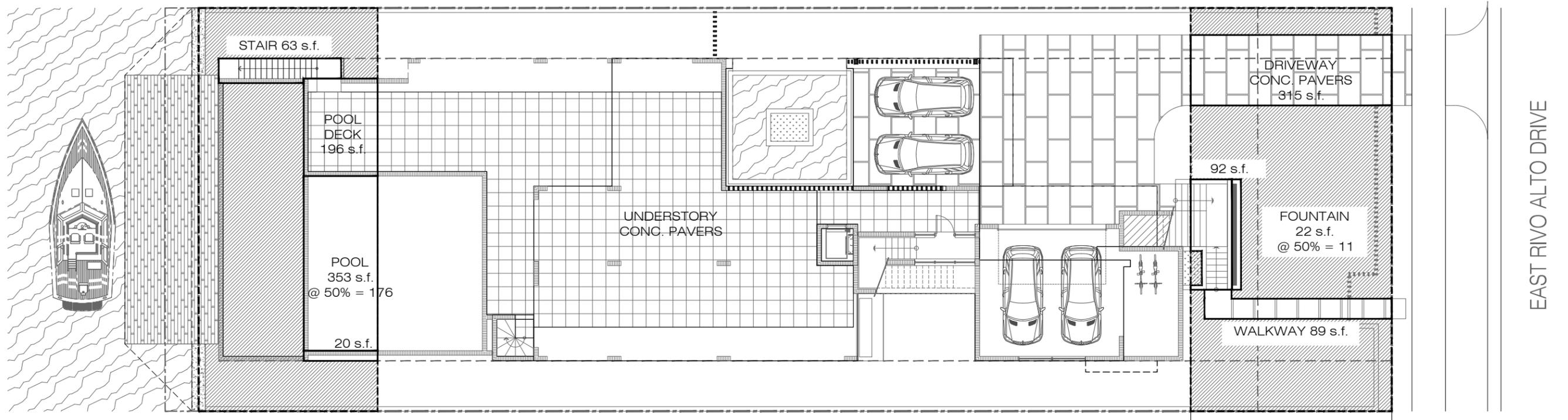
FIRST FLOOR



UNDERSTORY

UNIT SIZE (RS-3)	
LOT AREA	10,680
MAX UNIT SIZE (50%)	5,340
GARAGE (N/A) UNDER 600	0
GROUND FLOOR ENTRY / ELEV	135
FIRST FL. AC	2,557
SECOND FL. AC	2,557
ROOF ELEVATOR	37
TOTAL PROPOSED	5,286 S.F.
PERCENT OF LOT AREA	49.49%
DIFFERENCE (- UNDER / + OVER)	-54.00





REAR YARD
TOTAL: 1,602 S.F.

HATCH DENOTES GRASSED AREA

FRONT YARD
AREA: 1,800 S.F.

REAR YARD	
YARD AREA	1,602
MAX IMPERVIOUS (30%)	480
POOL DECK	196
POOL @ 50%	176
OTHER	21
ACCESS STAIRS	63
OTHER	0
TOTAL PROPOSED	456 S.F.
PERCENT OF LOT AREA	28.46%

OPEN SPACE DIAGRAM



FRONT YARD	
YARD AREA	1,800
MAX IMPERVIOUS (30%)	540
DRIVEWAY	315
FOUNTAIN @ 50%	11
ENTRY STAIR	92
WALKWAY	89
TOTAL PROPOSED	507 S.F.
PERCENT OF LOT AREA	28.17%

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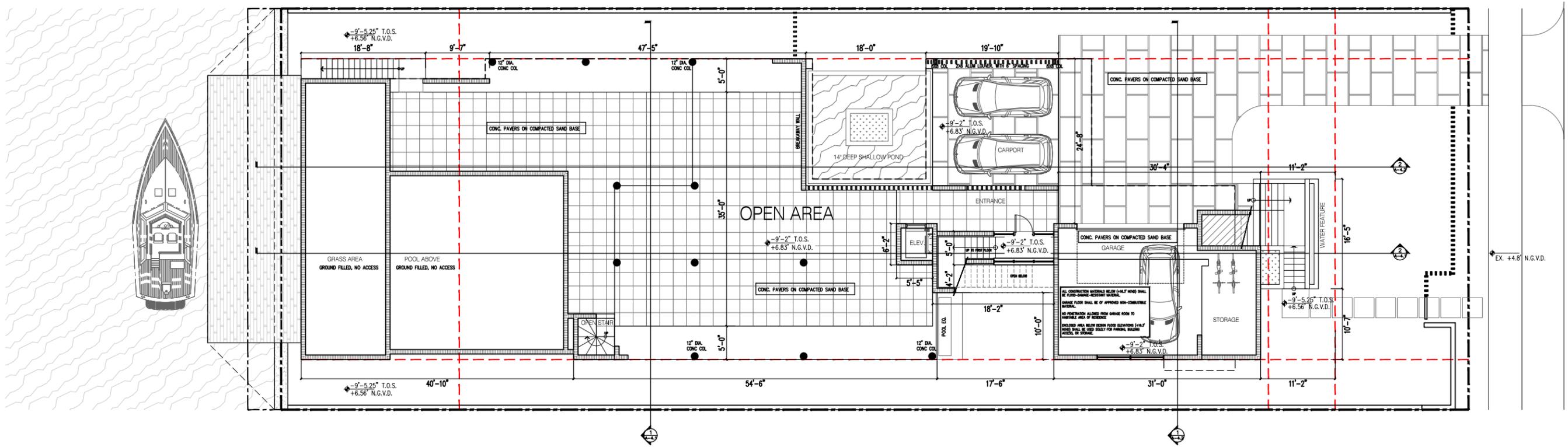
DRAWING TITLE

**OPEN SPACE
DIAGRAM**

SCALE: AS SHOWN
DATE: 07-20-2022

SHEET NUMBER

A-1.6



1

**UNDERSTORY /
GROUND FLOOR PLAN**

1/16"=1'-0"



EAST RIVO ALTO DRIVE

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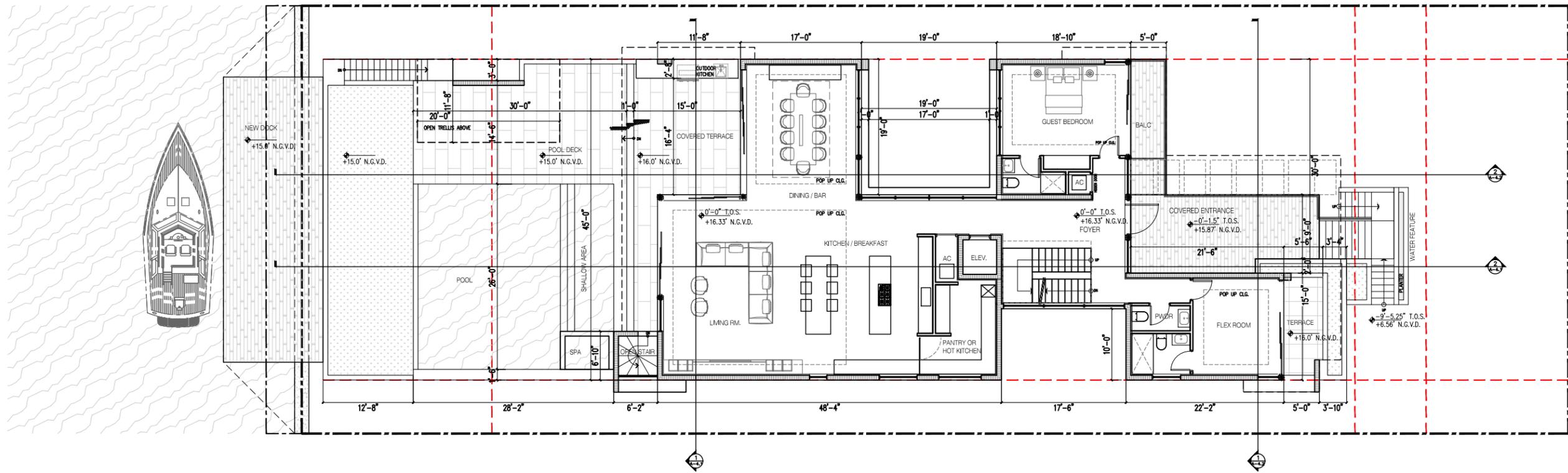
REVISION & DATE

DRAWING TITLE
**UNDERSTORY
/GROUND
FLOOR PLAN**

SCALE: AS SHOWN
DATE: 07-20-2022

SHEET NUMBER

A-2.1



1 **FIRST FLOOR PLAN**
 1/16"=1'-0" 

EAST RIVO ALTO DRIVE

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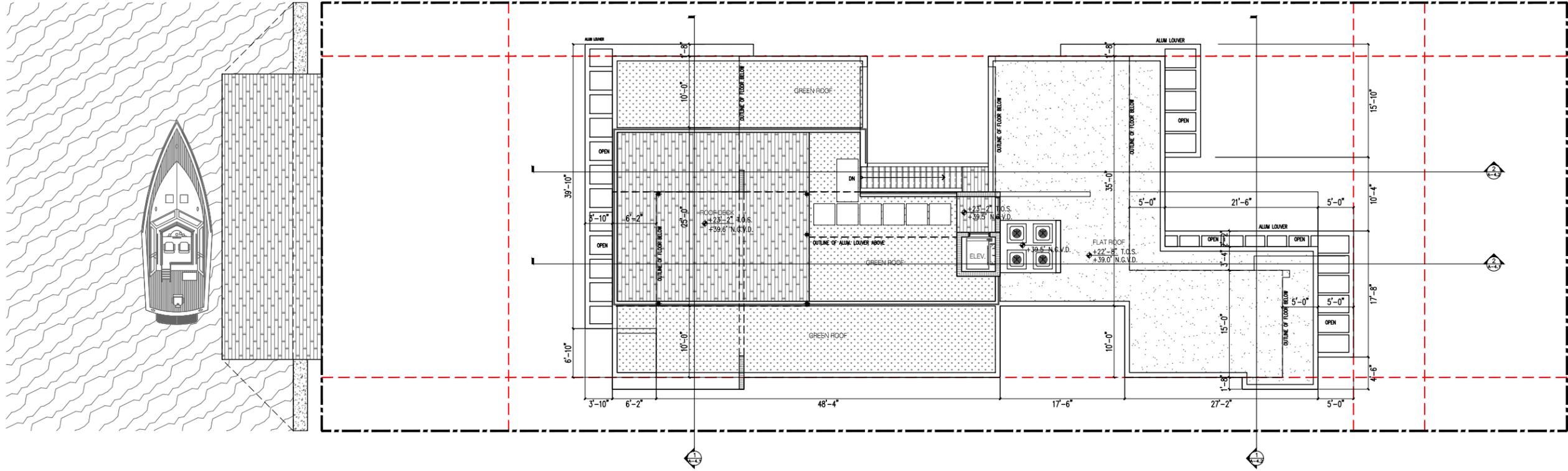
REVISION & DATE

DRAWING TITLE
FIRST FLOOR PLAN

SCALE: AS SHOWN
 DATE: 07-20-2022

SHEET NUMBER

A-2.2



1 **ROOF PLAN**
 1/16"=1'-0" 

EAST RIVO ALTO DRIVE

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 278 NW 37TH ST.
 MIAMI, FL 33127
 P 305 576 8063
 FL LIC: AR 0014966
 FL LIC: AA 26000837

Jose L. Sanchez
Digitally signed by Jose L. Sanchez, DN: cn=Jose L. Sanchez, o=Praxis Architecture, Inc., email=jlsanchez@praxisarch.com, c=US, 2022.08.12 15:36:33 -0400

ADDRESS & OWNER

NEW RESIDENCE
333 E. RIVO ALTO DRIVE
MIAMI BEACH, FL. 33139
 OWNER: MS KERIN K. PETERSON

REVISION & DATE

DRAWING TITLE

ROOF PLAN

SCALE: AS SHOWN
 DATE: 07-20-2022

SHEET NUMBER

A-2.4



MATERIAL REFERENCE RENDER. DESIGNED BY PRAXIS

MATERIAL LEGEND



1. STUCCO, EXTERIOR PAINT COLOR



2. DECORATIVE STONE MATERIAL



3. ACCENT WOOD FINISH



4. VERT. ALUM LOUVER FENCE



5. CONCRETE PAVER DRIVEWAY WITH GRASS INLAY, PATTERN TBD

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P 305 576 8063

FL. LIC: AR 0014966
FL. LIC: AA 26000837

Jose L. Sanchez
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ADDRESS & OWNER

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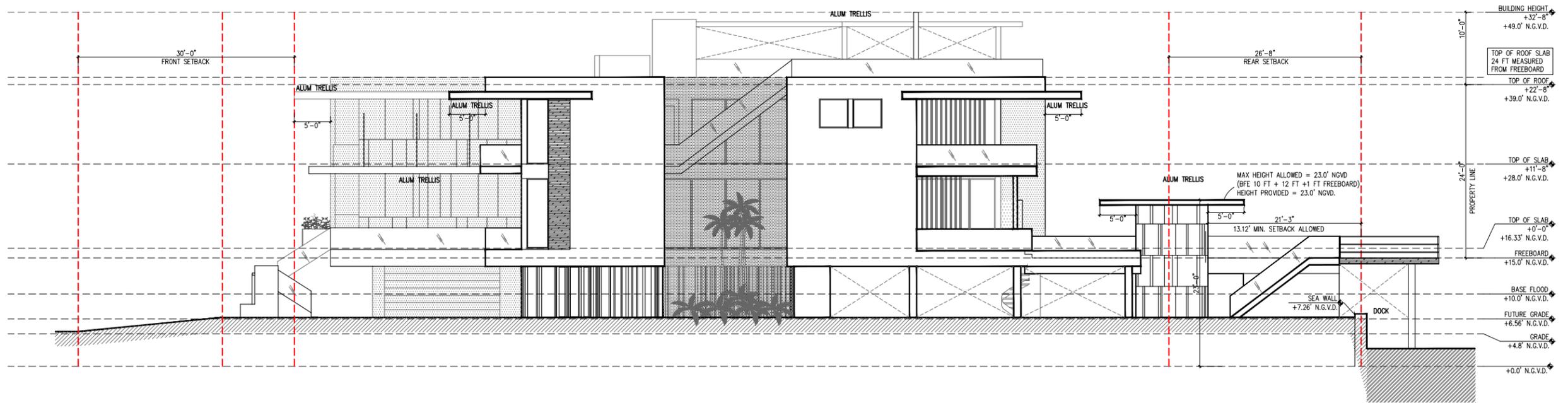
MATERIAL LEGEND

SCALE: AS SHOWN

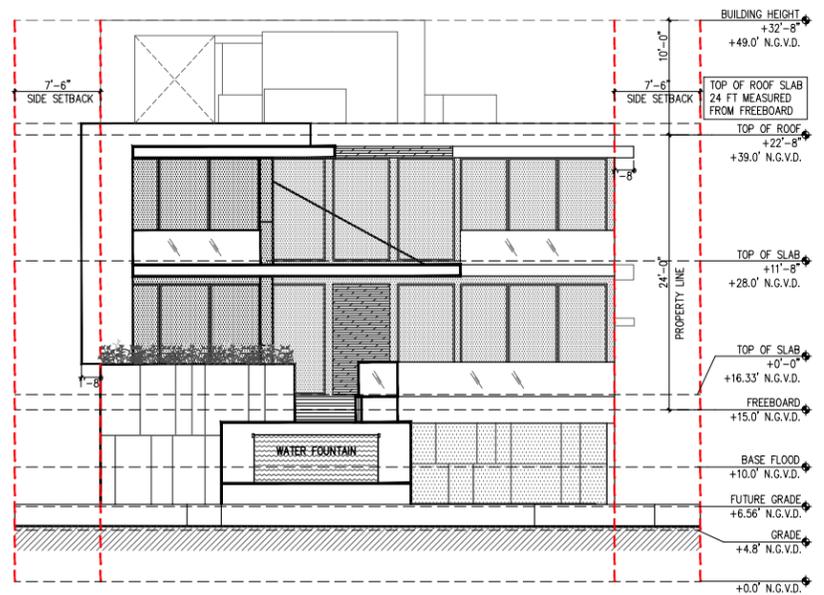
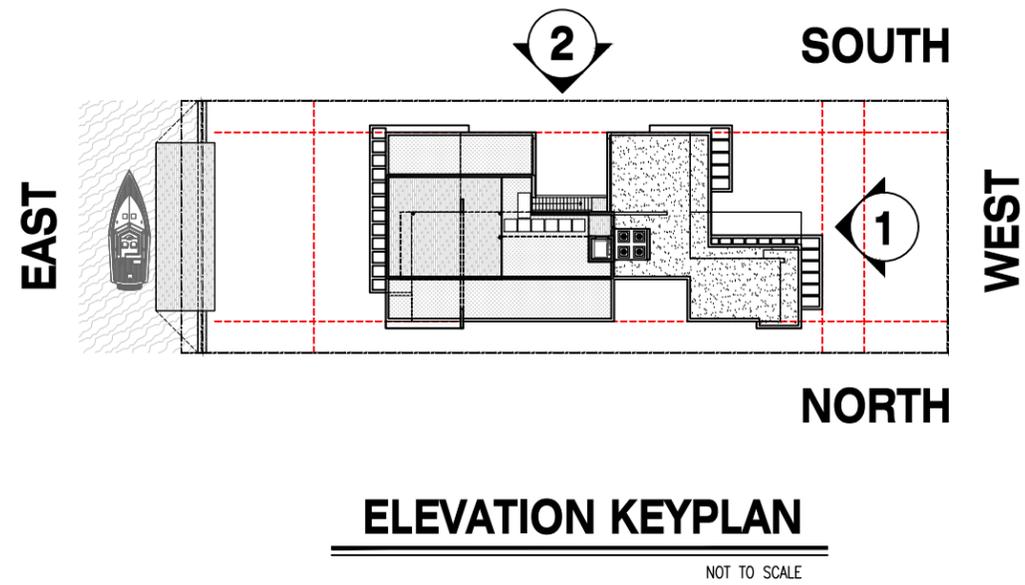
DATE: 07-20-2022

SHEET NUMBER

A-3.0



2 SOUTH ELEVATION
 (SIDE)
 1/16"=1'-0"



1 WEST ELEVATION
 (FRONT)
 1/16"=1'-0"

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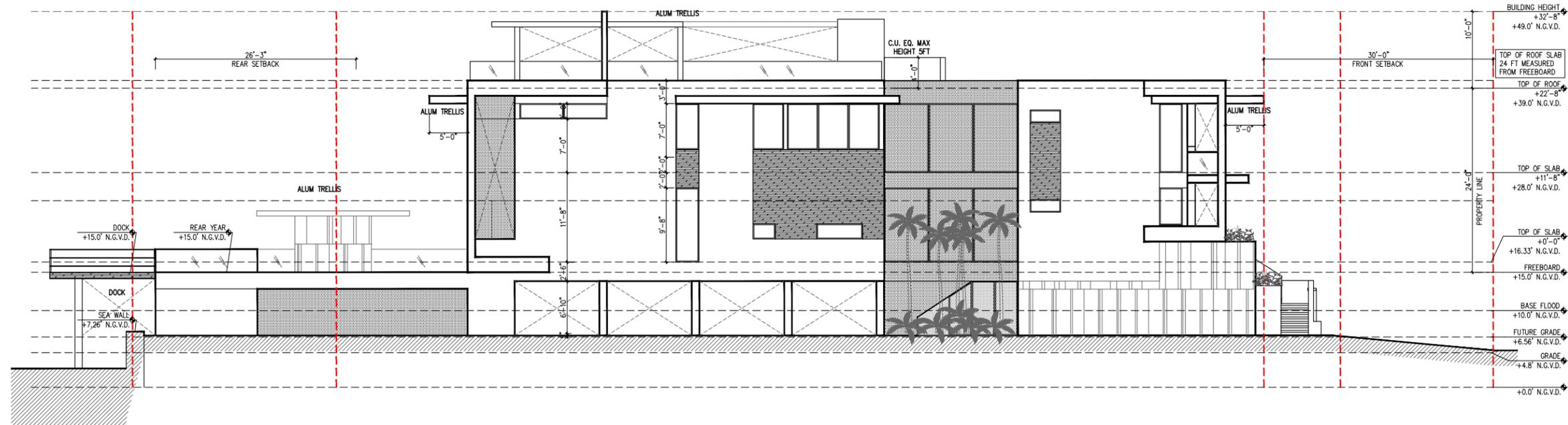
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ELEVATION

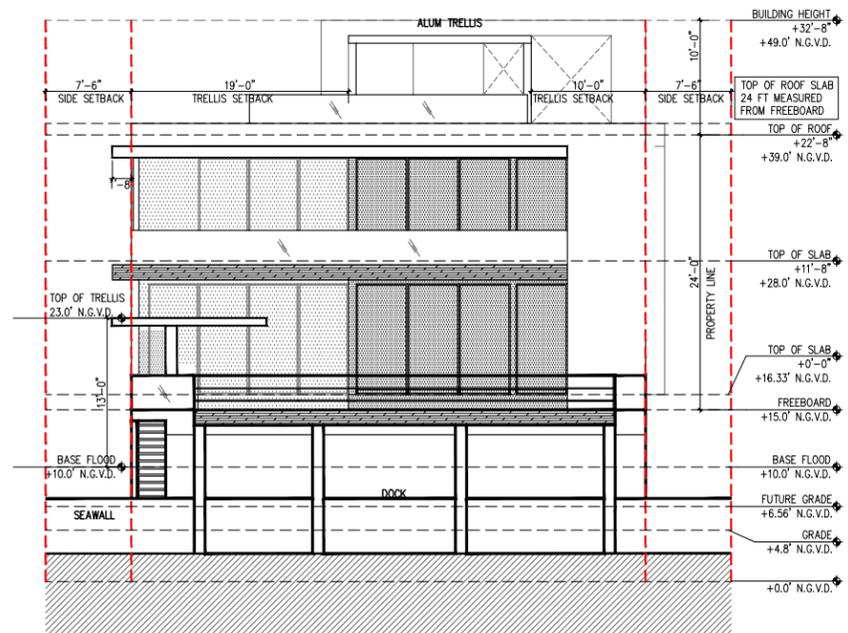
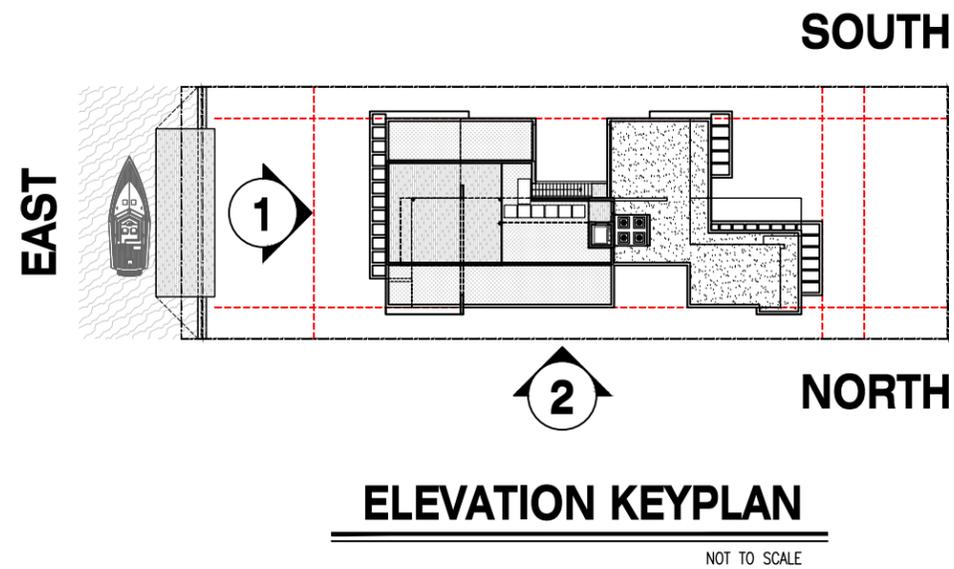
SCALE: AS SHOWN
 DATE: 07-20-2022

SHEET NUMBER

A-3.1



2 NORTH ELEVATION
(SIDE) 1/16"=1'-0"



1 EAST ELEVATION
(REAR) 1/16"=1'-0"

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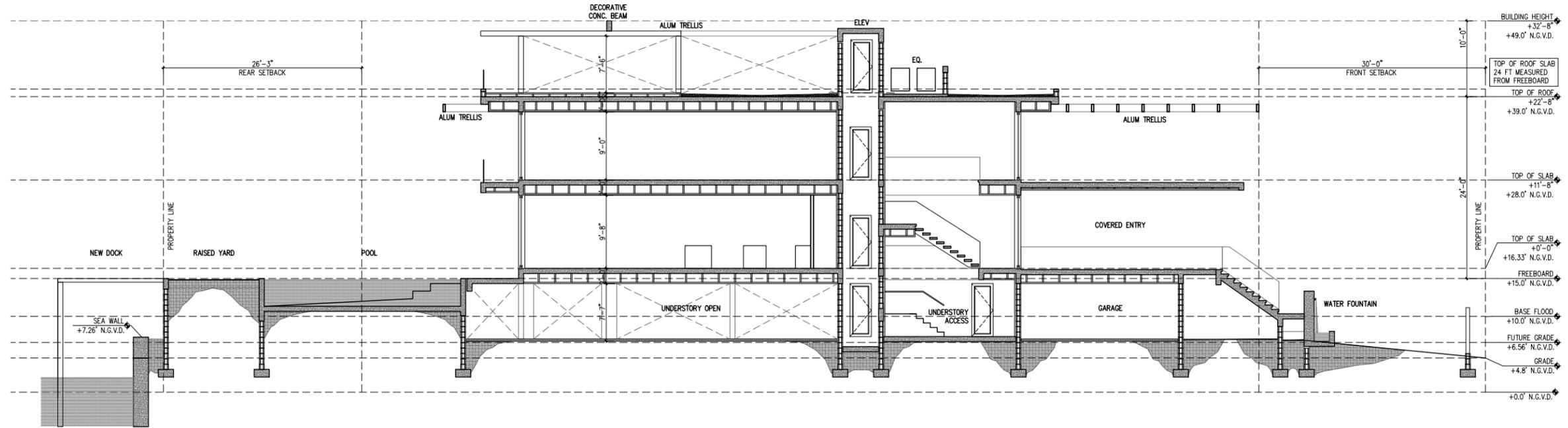
ELEVATION

SCALE: AS SHOWN

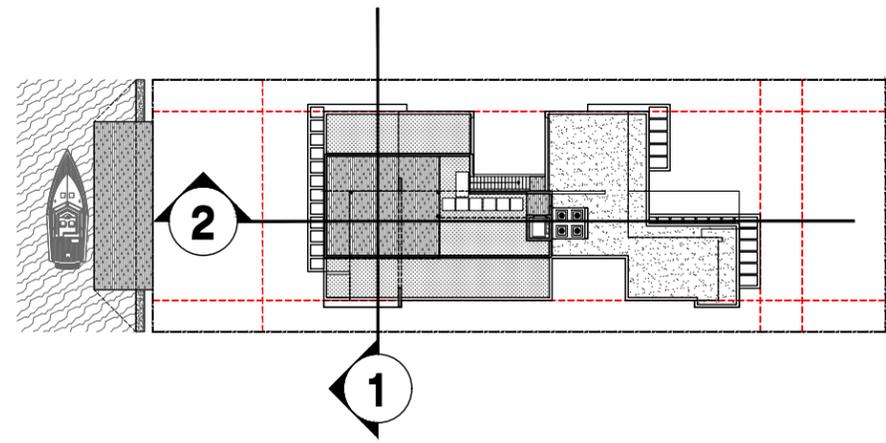
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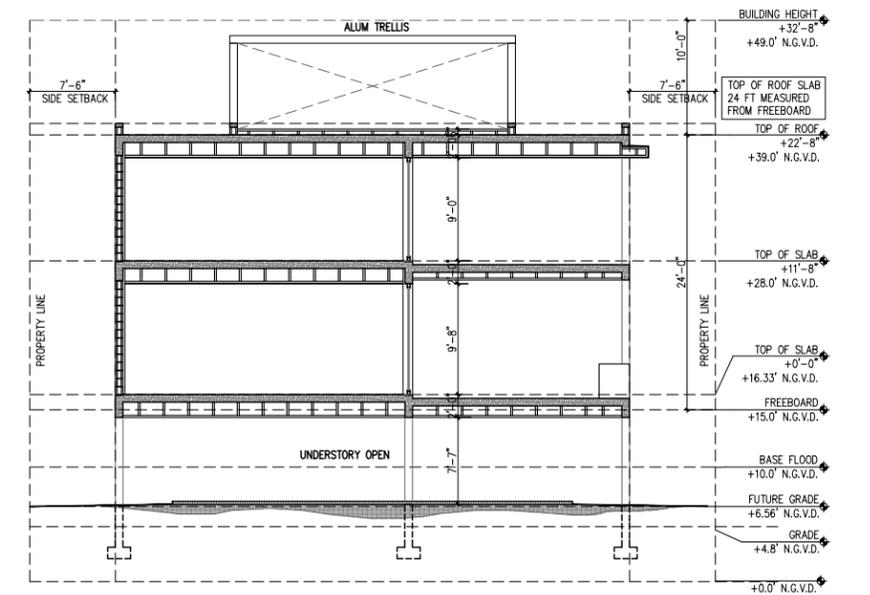
A-3.2



2 SECTION
1/16"=1'-0"



SECTION KEYPLAN
NOT TO SCALE



1 SECTION
1/16"=1'-0"

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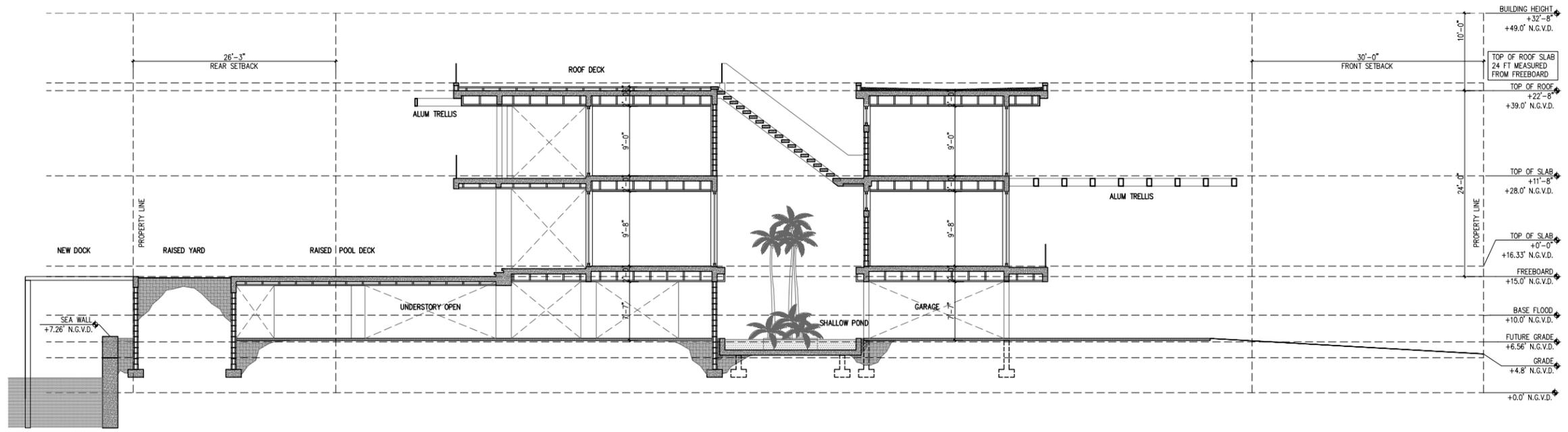
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SECTION

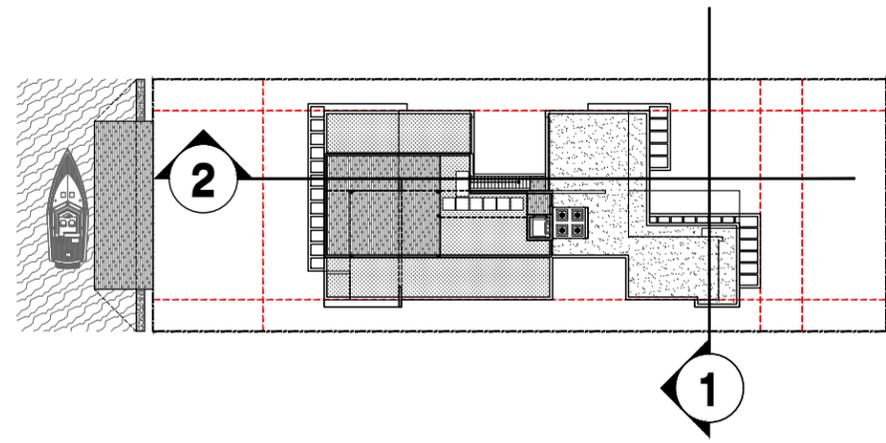
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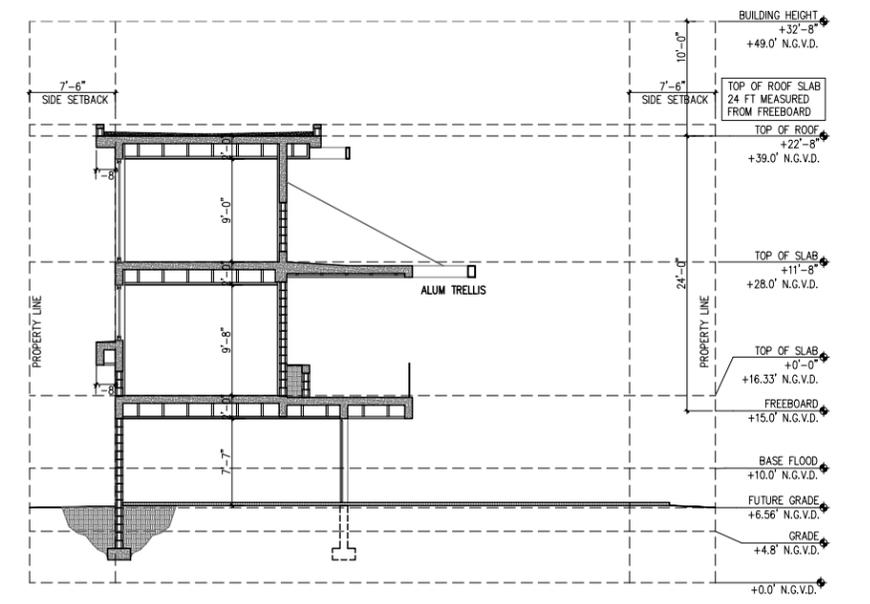
A-4.1



2 SECTION
1/16"=1'-0"



SECTION KEYPLAN
NOT TO SCALE



1 SECTION
1/16"=1'-0"