

DESIGN REVIEW BOARD

1790 ALTON ROAD

FINAL SUBMITTAL
11/07/2022

MIXED USE PROJECT
1790 ALTON ROAD MIAMI BEACH, FLORIDA, 33139
SCOPE OF WORK: NEW CONSTRUCTION OF A 5 STORY BUILDING



7500 NE 4th Court
Suite 102
Miami, FL 33138
T: (305) 573-2728

PROJECT NUMBER
2116

PROJECT NAME

1790 ALTON RD.

1790 ALTON ROAD
MIAMI BEACH, FL 33141
OWNER



DESIGNER
GEK ARCHITECTURE

CONCEPT DESIGN

COVER



STUDIO MCG ARCHITECTURE
JENNIFER MCCONNEY FLORIDA LIC# AR93044

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INDEX OF
DRAWINGS



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MIAMIBEACH

Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

ZONING DATA SHEET

ITEM #	Zoning Information LAND USE: CD-2		
1	Address:	1790 Alton Road, Miami Beach , FL 33139	
2	Board and File numbers:	PB22-0548	
3	Folio number(s):	02-3233-012-0700	
4	Year constructed:	N/A	Zoning District: CD-2 (SUNSET HARBOUR NEIGHBORHOOD)
5	Base Flood Elevation:	8'-0" NGVD	Grade Value in NGVD: 5'-4"
6	Adjusted grade (Flood+Grade/2)	N/A	Lot Area: 10,331 SF
7	Lot Width	50'-0"	Lot Depth: 137'-0"
8	Minimum Unit Size	301 SF	N/A
9	Existing User	VACANT	Proposed Use: MIXED USE

		Maximum	Existing	Proposed	Deficiencies
10	Height	50'-0"	0'.00"	55'-0"	WAIVER REQUIRED
11	Number of Stories	5	N/A	5	-
12	FAR	2	0.00	1.95	-
13	FLOOR AREA Square Footage	20,662 SF	0 SF	20,107 SF	-
14	GROSS Square Footage	N/A	N/A	34,679 SF	-
15	Number of Units Residential	N/A	N/A	12	-
16	Number of Units Hotel	N/A	N/A	0	-
17	Number of Seats	N/A	N/A	SEE CHART	-
18	Occupancy Load	N/A	N/A	SEE CHART	-

	Setbacks	Required	Existing	Proposed	Deficiencies
	At Grade Parking (CD-2) SUNSET HARBOR				
19	Front Setback (NORTH):	5'-0"	N/A	N/A	-
20	Rear Setback (WEST):	5'-0"	N/A	5'-0"	-
21	Side Setback facing Street (EAST):	5'-0"	N/A	N/A	-
22	Side Setback facing Street (SOUTH):	5'-0"	N/A	N/A	-
	Pedestal LEVEL 1 (CD-2) SUNSET HARBOR				
23	Front Setback (NORTH):	0'-0"	N/A	0' - 0"	
24	Rear Setback (WEST):	5'-0"	N/A	5'-0"	-
25	Side Setback facing Street (EAST):	0'-0"	N/A	5'-0"	-
26	Side Setback facing Street (SOUTH):	0'-0"	N/A	5'-0"	-

	Parking	Required	Existing	Proposed	Deficiencies
31	Parking District (DISTRICT #5)				-
32	Total # of parking spaces required	19 spaces			-
33	# of parking spaces provided		N/A	19	
34	Parking Space Dimensions	8.5' X 18'	N/A	8.5' X 18'	
35	Parking Space Configurations (45°,60°,90°,Parallel)	90 DEGREE	N/A	90 DEGREE	-
36	ADA Spaces	1	N/A	1	-
37	Tandem Spaces	N/A	N/A	3	-
38	Drive Aisle Width	22'	N/A	22'	-
39	Valet Drop off and pick up	N/A	N/A	N/A	-
40	Loading zones and Trash collection areas	2	N/A	2	VARIANCE REQUIRED
41	Bikes (15% of required parking)	3	N/A	3	-

47	Is this a contributing building?	NO
48	Located within a Local Historic District?	NO

Notes: If not applicable write N/A
All other data information may be required and presented like the above format.

FAR CALCULATION		
LEVEL 1	4,158	SQ. FT
LEVEL 2	3,958	SQ. FT
LEVEL 3	3,863	SQ. FT
LEVEL 4	3,863	SQ. FT
LEVEL 5	3,863	SQ. FT
ROOF LEVEL	402	SQ. FT
TOTAL	20,107	SQ. FT
MAX FAR ALLOWED	20,662	SQ. FT

UNIT COUNT		
LEVEL 1	0	Units
LEVEL 2	0	Units
LEVEL 3	4	Units
LEVEL 4	4	Units
LEVEL 5	4	Units
TOTAL	12	Units

PARKING REQUIREMENT		
APARTMENTS	9 UNITS X 1.5 SPACE	14
	3 UNITS X 1.75 SPACE	5
RESTAURANT/CAFÉ	100 seats or less (Ground Floor)	0
	100 seats or less (Second Floor)	0
TOTAL		19

RESTAURANT OCCUPANCY CALCULATIONS				
LEVEL 1 - RESTAURANT			TOTAL OCCUPANTS - 100	
SPACE NAME	AREA SF	OCCUPANCY FACTOR	OCCUPANTS	
INTERIOR SEATING	390 SF	1:15	26	
EXTERIOR SEATING	900 SF	1:15	60	
KITCHEN	1,376 SF	1:100	14	
LEVEL 2 - RESTAURANT			TOTAL OCCUPANTS - 199	
SPACE NAME	AREA SF	OCCUPANCY FACTOR	OCCUPANTS	
INTERIOR SEATING	1,980 SF	1:15	132	
EXTERIOR SEATING	600 SF	1:15	40	
KITCHEN	355 SF	1:100	4	
BAR	29'-0"	L x 4/7	17	
WINE VAULT	165 SF	1:30	6	



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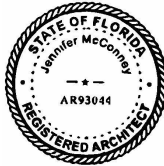


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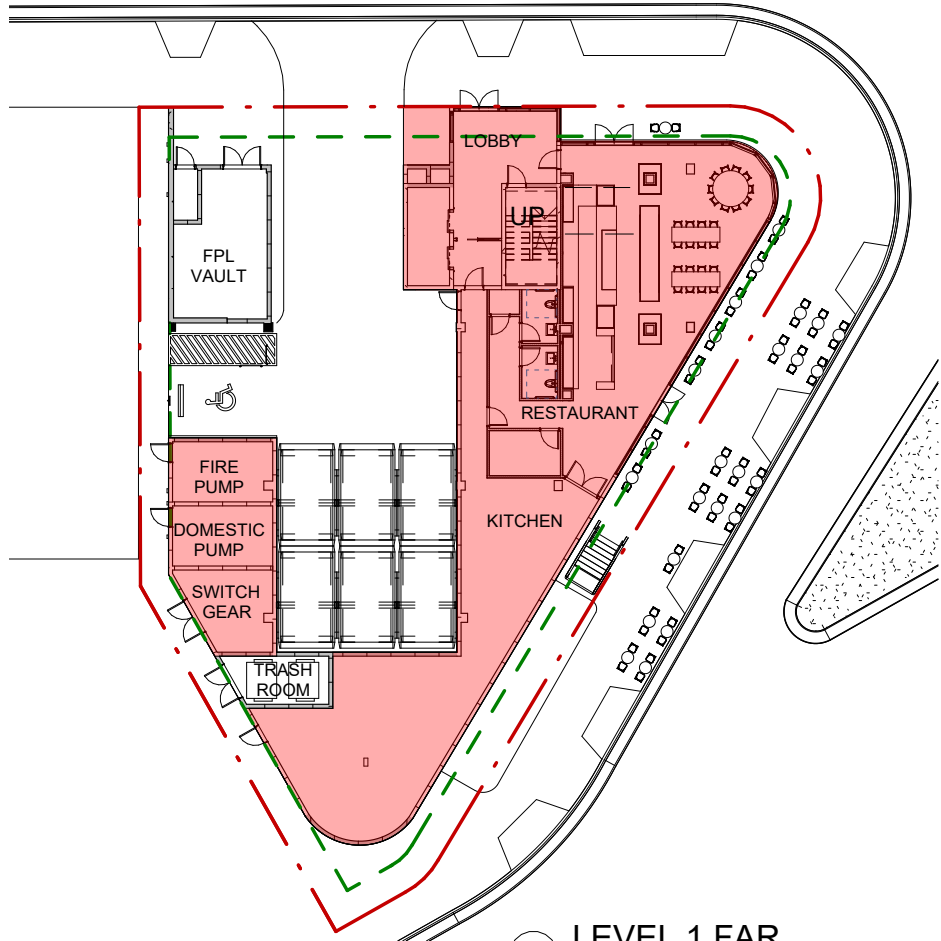


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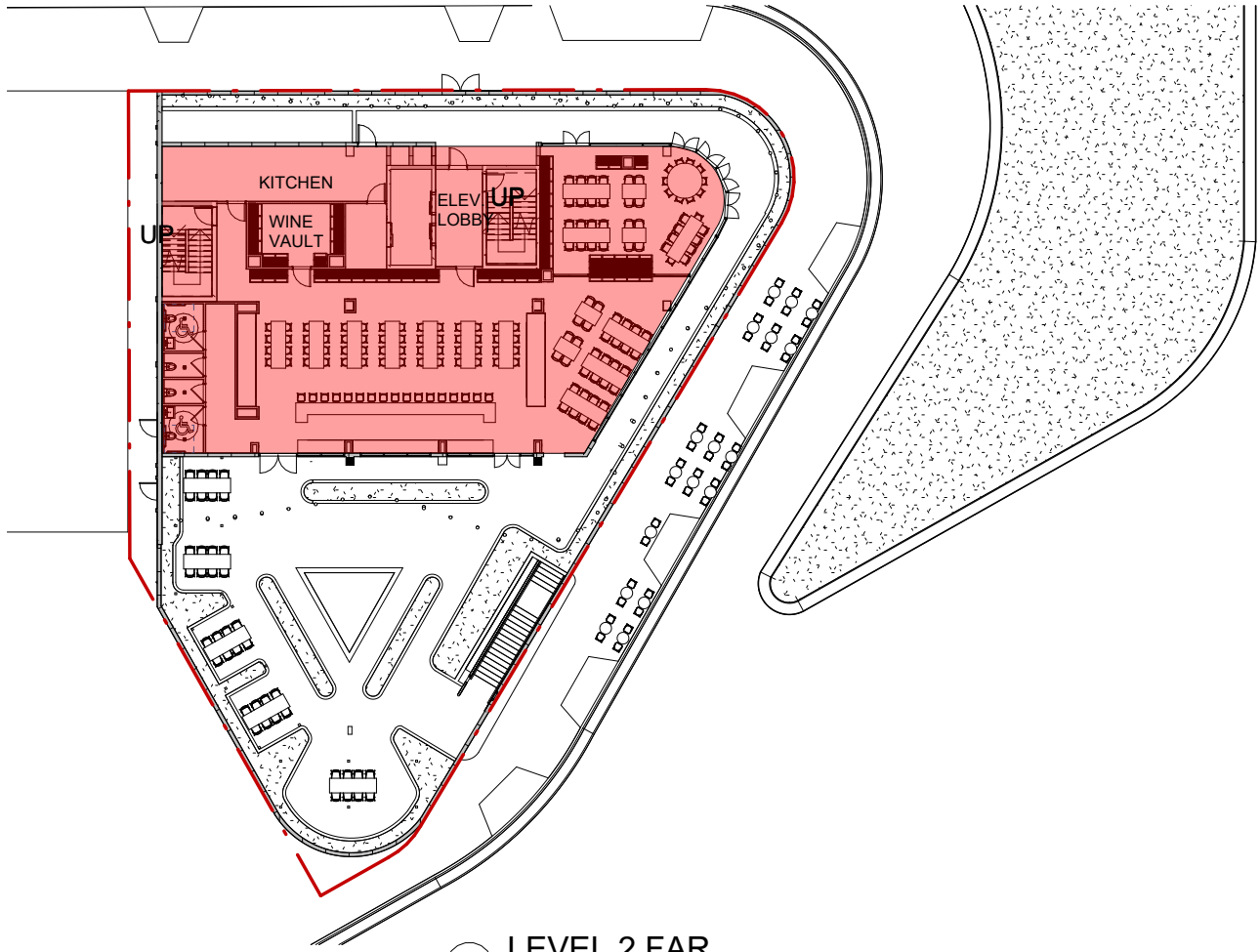
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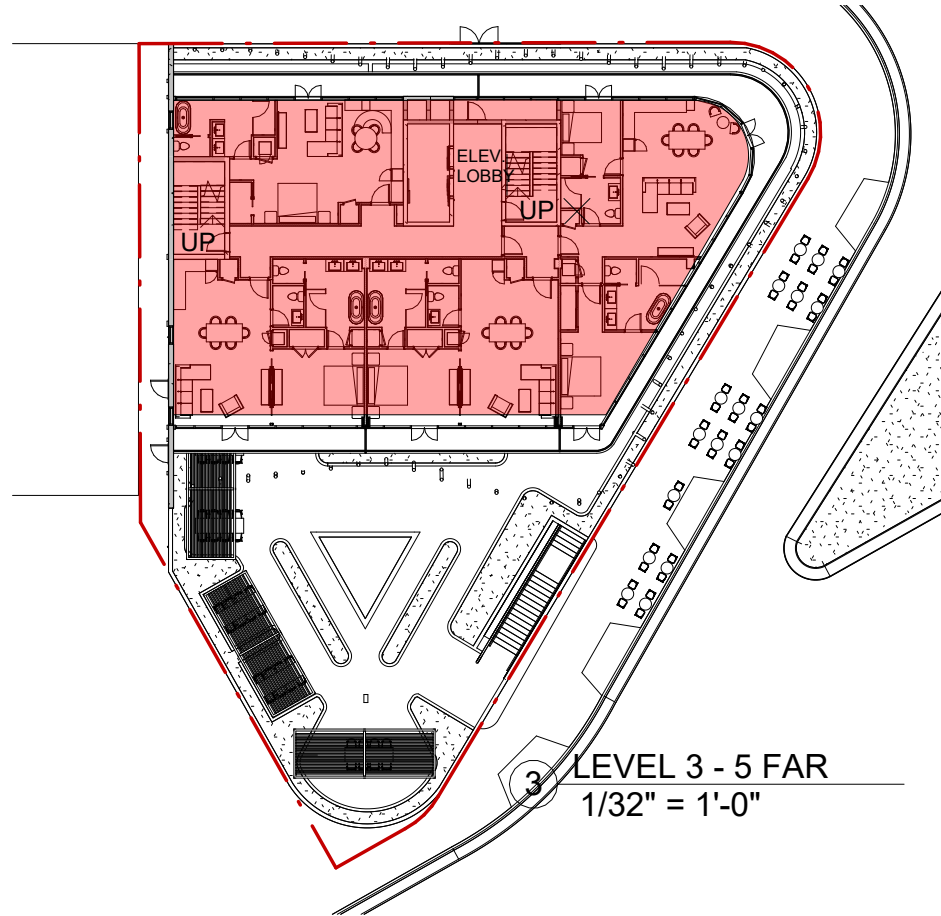
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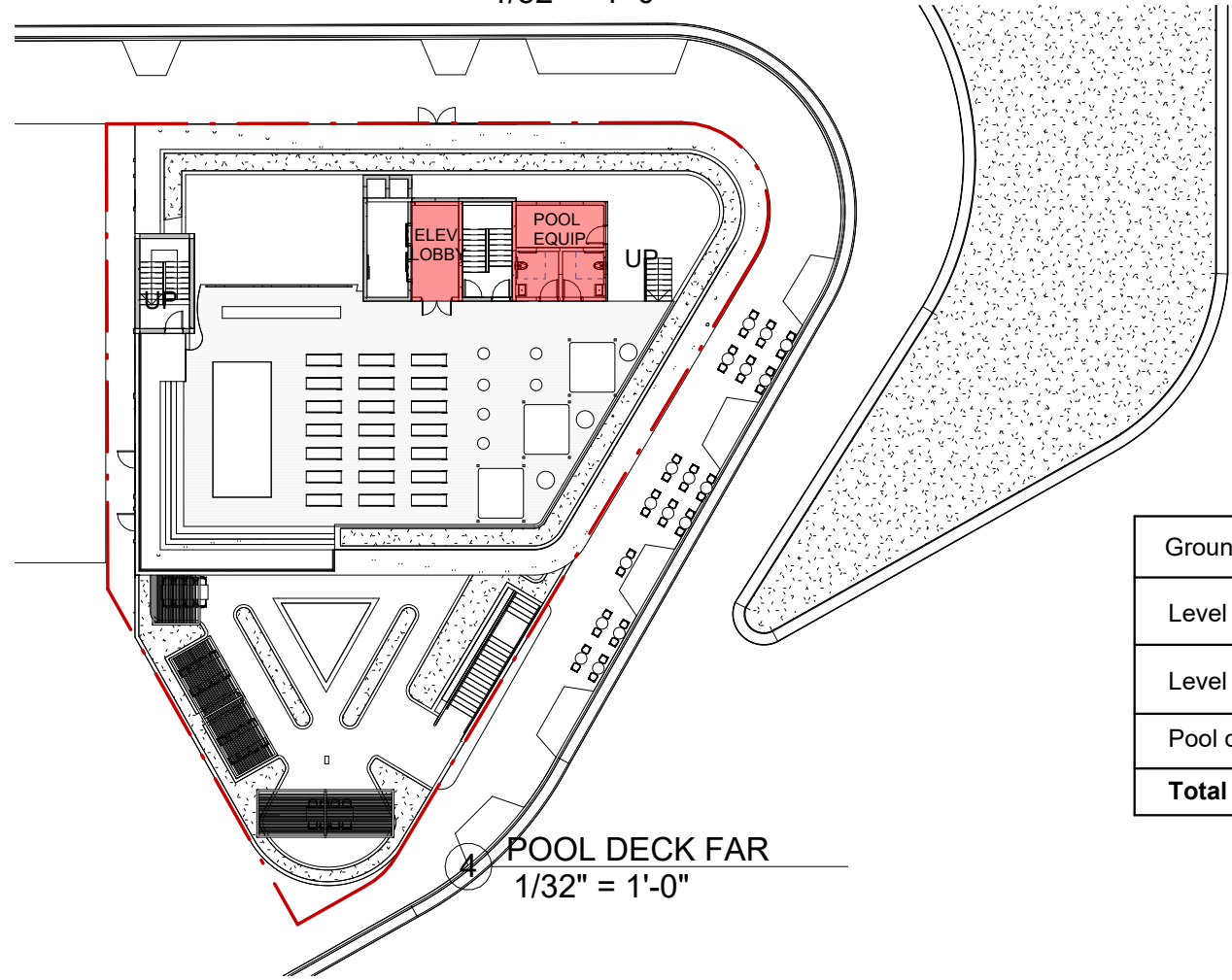
1 LEVEL 1 FAR
1/32" = 1'-0"



2 LEVEL 2 FAR
1/32" = 1'-0"



3 LEVEL 3 - 5 FAR
1/32" = 1'-0"



4 POOL DECK FAR
1/32" = 1'-0"

Ground Floor	4,158 SF
Level 2	3,958 SF
Level 3-5	11,589 SF
Pool deck	402 SF
Total	20,107 SF



FAR
DIAGRAMS



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SCALE: 1/32" = 1'-0"

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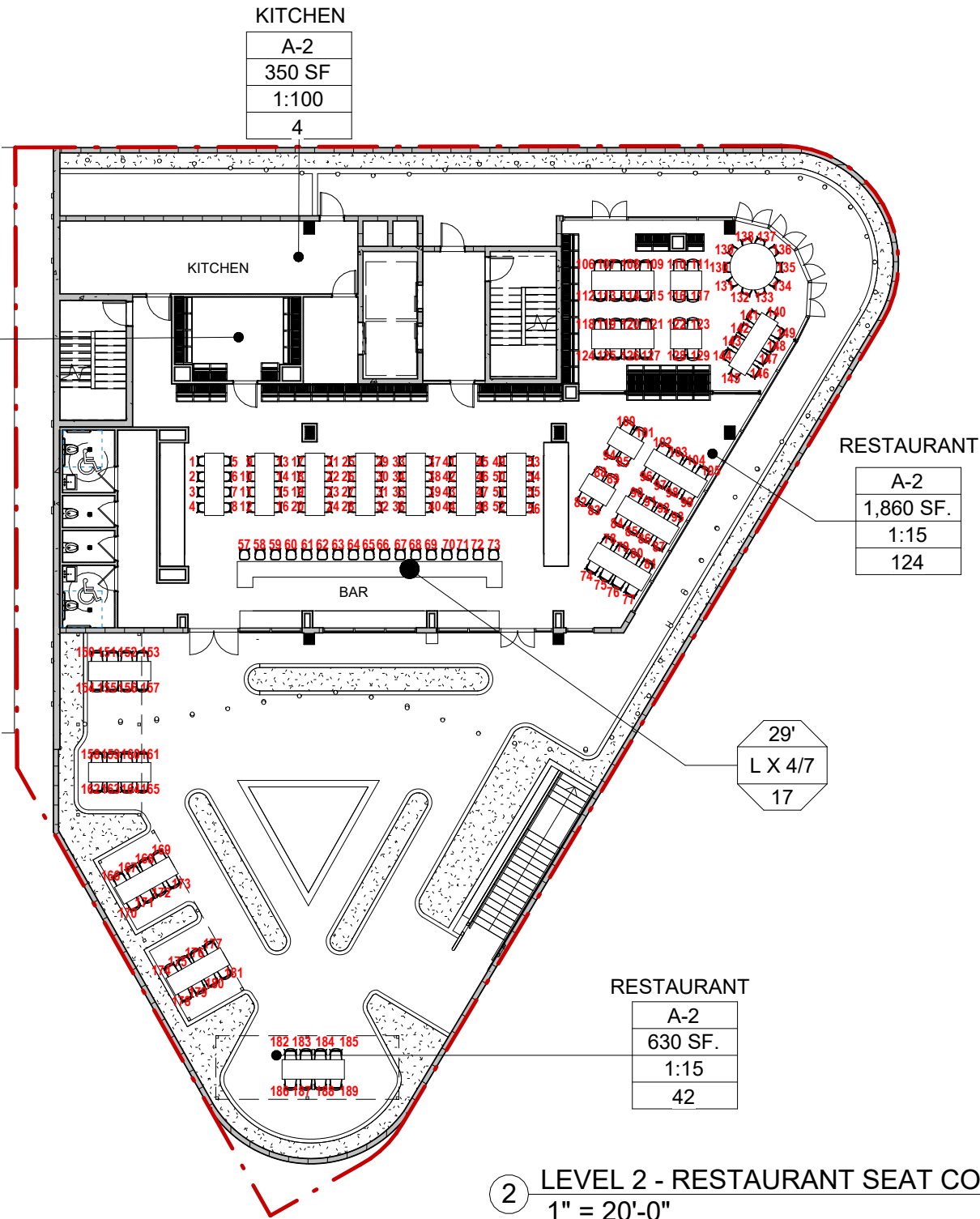
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A-2
165 SF
1:15
11



LEVEL	OCCUPANCY
RESTAURANT GROUND FLOOR	122
RESTAURANT LEVEL 2	198

RESTAURANT SEATS COUNTS	AREA	SEATS	INSIDE PROPERTY LINE	OUTSIDE PROPERTY LINE	ADA SEATS (5%)	TOTAL
RESTAURANT GROUND FLOOR	INDOOR - 3,215 SF	24			2	86
	OUTDOOR - 1,670 SF	57	18	39	3	
RESTAURANT LEVEL 2	INDOOR - 3,456 SF	141			8	189
	OUTDOOR - 3,405 SF	38			2	



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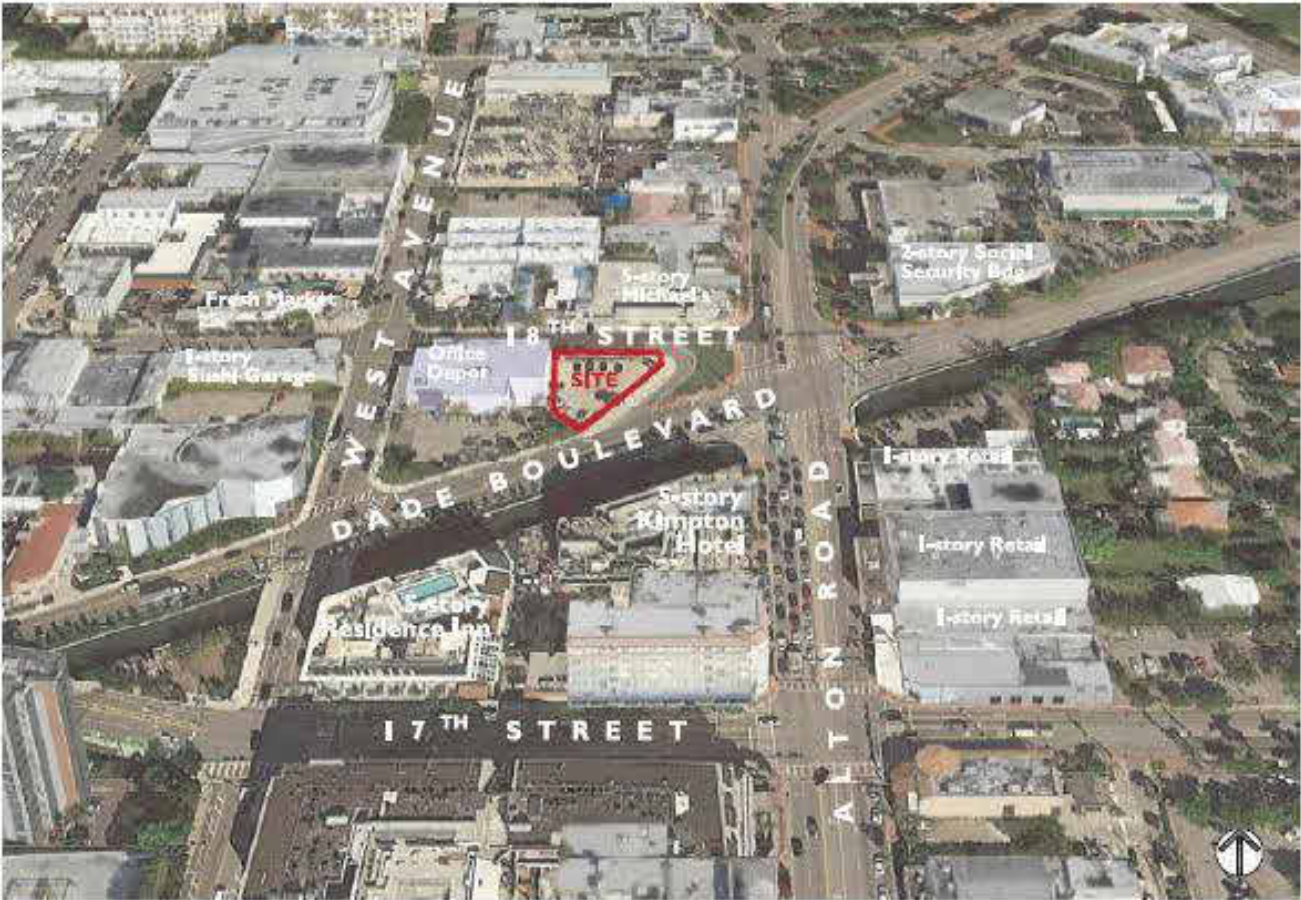


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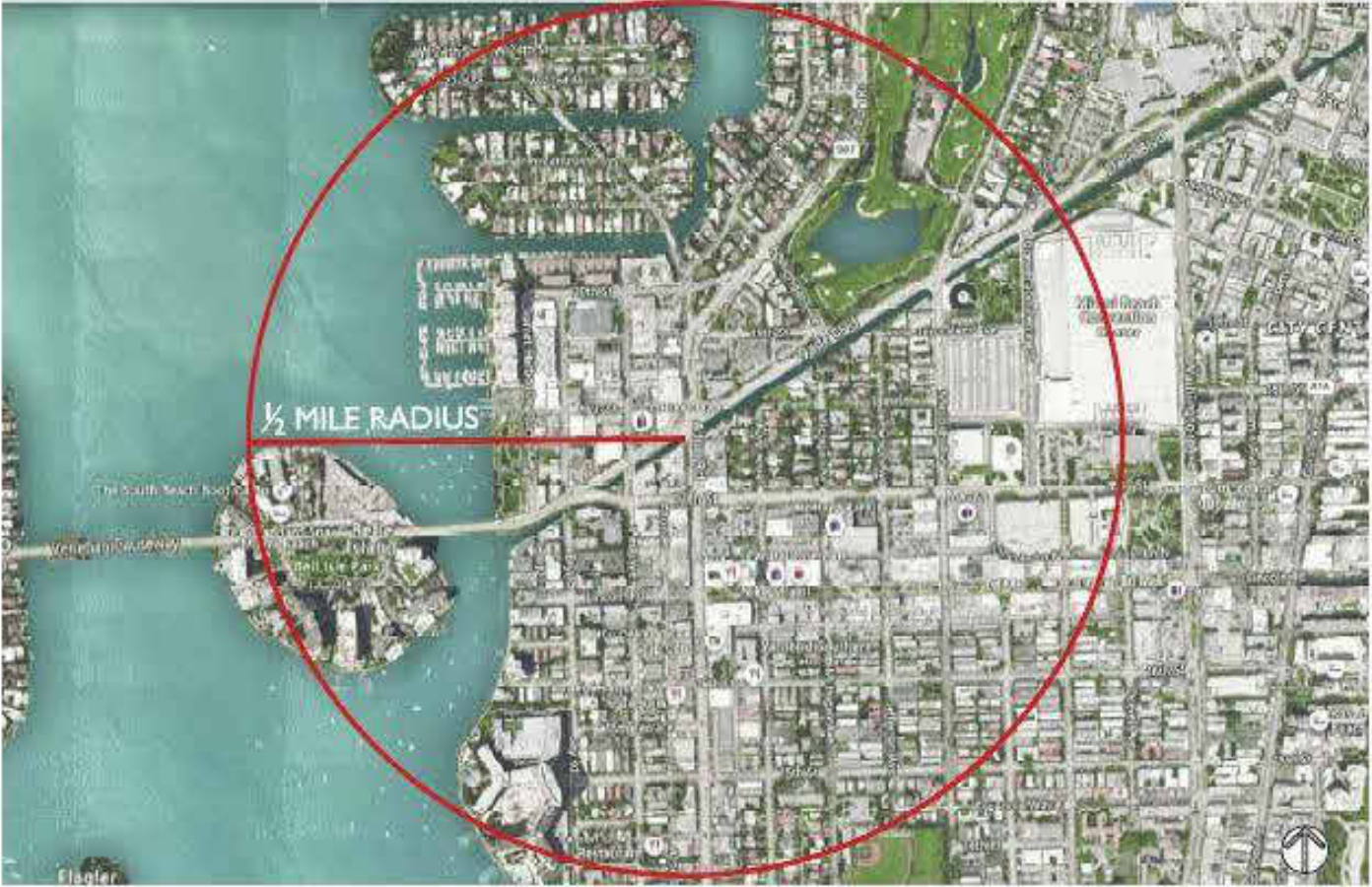
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ANGLE AERIAL VIEW



AERIAL MAP



AERIAL MAP ENLARGED

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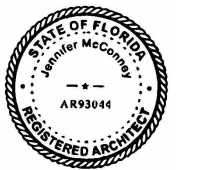


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AERIAL VIEWS

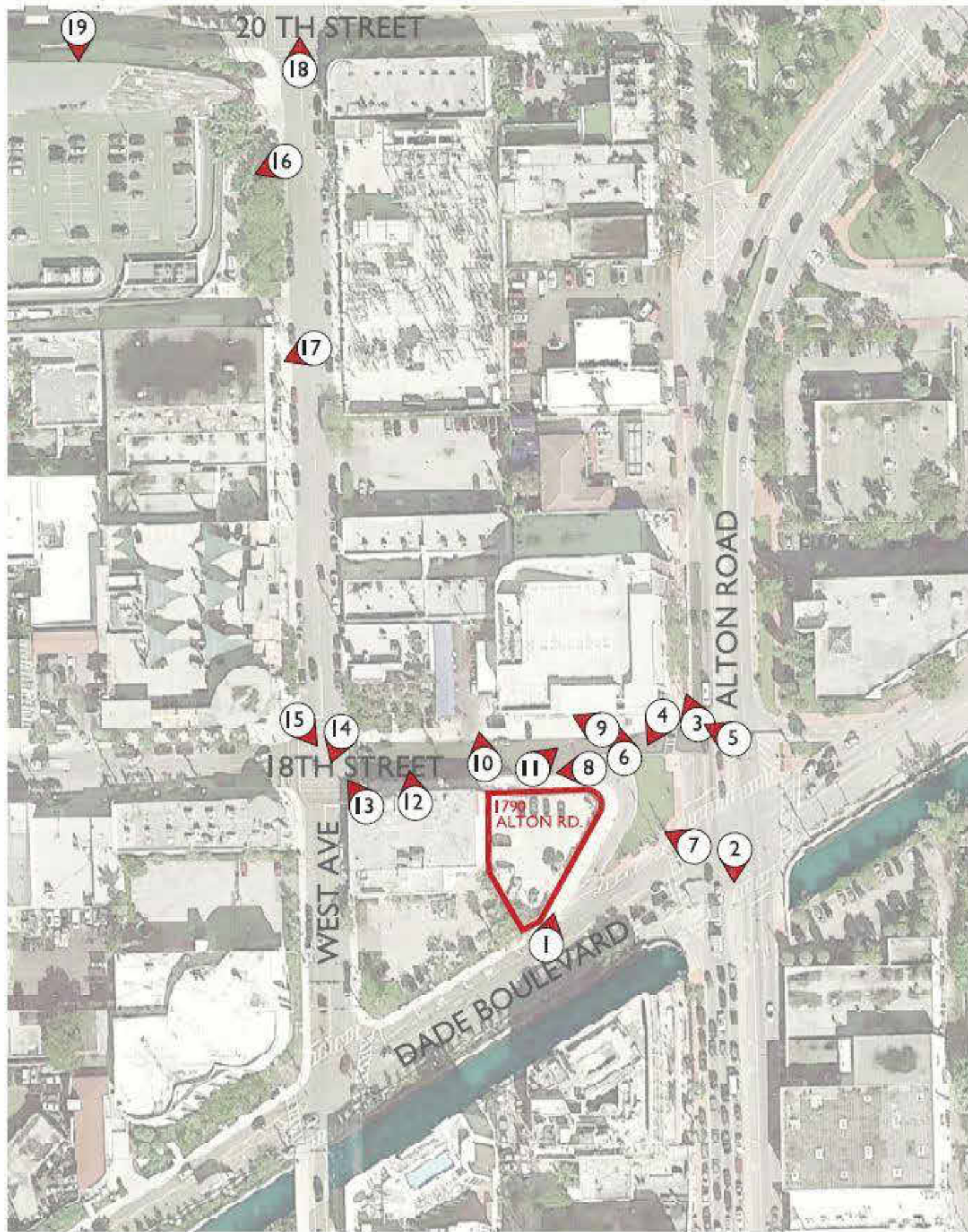


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KEY PLAN N.T.S.



1. VIEW OF SITE FACING NORTH



2. VIEW OF SITE FACING KIMPTON HOTEL TO THE SOUTH



3. VIEW OF NEIGHBORING BUILDING AT RETAIL AREA

1790 ALTON RD.

1790 ALTON ROAD
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4. VIEW OF SITE FACING SOUTH-WEST



5. VIEW OF NEIGHBORING BUILDING AT RETAIL AREA FACING ALTON ROAD AND 18TH STREET



6. VIEW OF FACADE DETAIL AT NEIGHBORING BUILDING



7. VIEW OF SITE FACING NORTH-WEST

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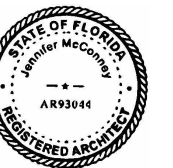
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12. VIEW OF SOUL TAVERN RESTAURANT ON THE CORNER OF 18TH STREET AND WEST AVE



13. VIEW OF FRESH MARKET AT 18TH STREET



14. VIEW OF SUSHI GARAGE RESTAURANT ON 18TH STREET



15. VIEW OF OFFICE DEPOT STORE FACING SOUTH-EAST



8. VIEW FACING WEST ON 18TH STREET FROM NORTH SIDE OF THE SITE



9. VIEW OF NEIGHBORING BUILDING AT RETAIL AREA AT 18TH STREET



10. VIEW OF CAR WASH ON 18TH STREET



11. VIEW OF MICHAEL'S BUILDING NORTH OF THE SITE FACING NORTH-EAST

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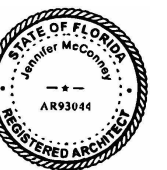
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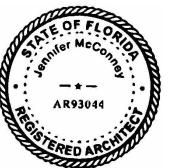
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16. VIEW OF PUBLIX GARAGE ON WEST AVENUE AND 20TH STREET



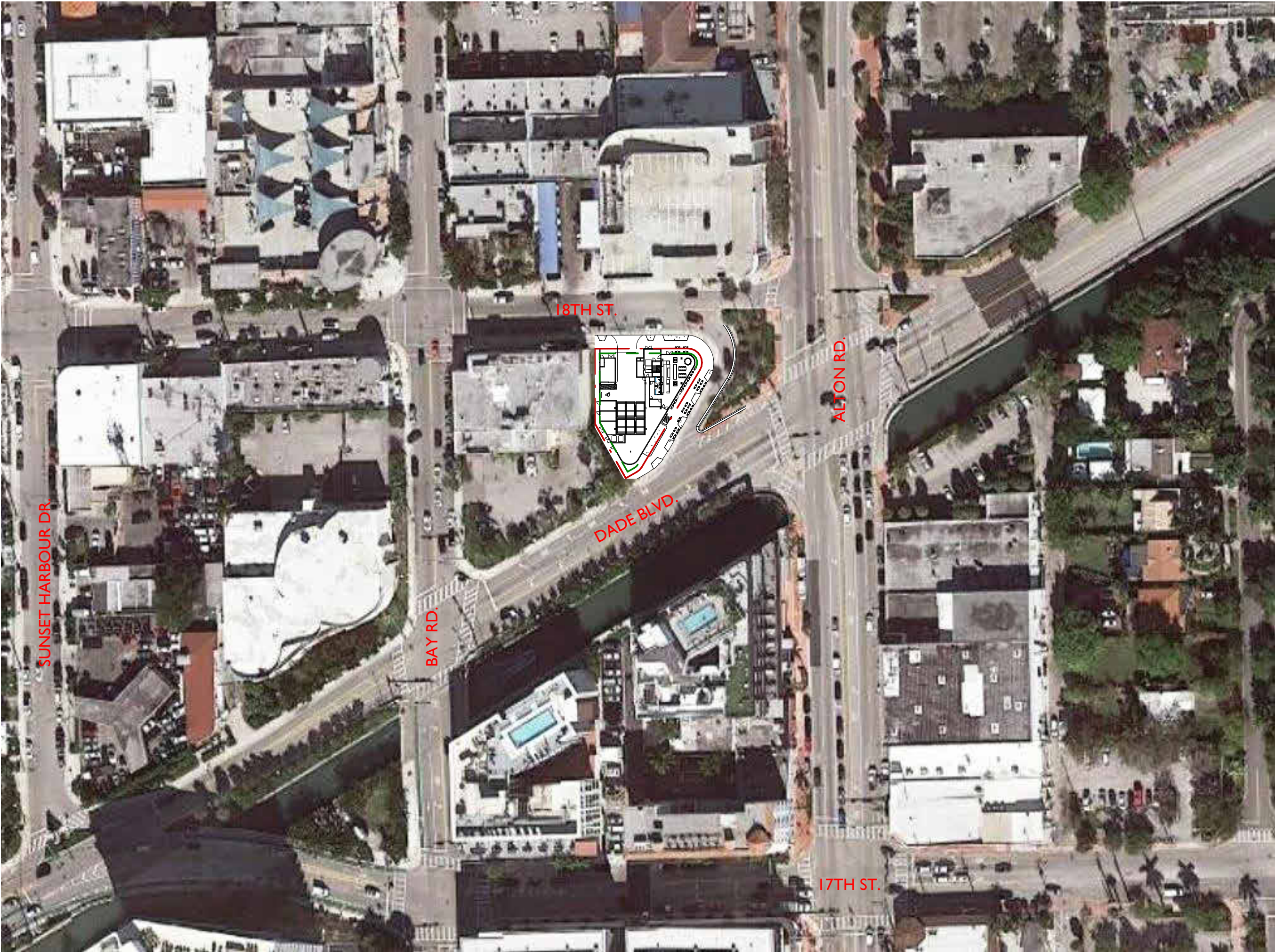
17. VIEW OF PUBLIC STORAGE ON WEST AVENUE AND DADE BLVD



18. VIEW OF OFFICE BUILDING ON WEST AVENUE AND 20TH STREET



19. VIEW OF PUBLIX ON WEST AVENUE AND 20TH STREET



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BOUNDARY SURVEY
SCALE: 1" =20'

PAGE 1 OF 1
JOB No. CH-017122

PROPERTY ADDRESS:
1790 ALTON ROAD, MIAMI BEACH, FL. 33139, FOLIO# 02-3233-012-0700

LEGAL DESCRIPTION:

Lot 1, Block 17-A of "ISLAND VIEW SUBDIVISION", according to the plat thereof, as recorded in Plat Book 6, at Page 115, of the public Records of Miami-Dade County, Florida, less beginning at the northwesterly corner of Lot 1; thence south along the westerly line of Lot 1 for 169.41 feet to a point where the westerly line of Lot 1 intersects the northerly line of Dade Boulevard; thence northeasterly along the northerly line of Dade Boulevard for 65.7 feet to a point; thence northwesterly along a line defelcting 90 degrees to the left for 65.95 feet to a point; thence northerly along a line deflecting to the right 29 degrees 22'37" for 79.65 feet to a point being on the southerly line of 18th Street for 24.9 feet to the point of beginning, together with all the appurtenances thereunto belonging in anywise appertaining. (Special Warranty Deed, dated October 15th, 1993, recorded in Official Records Book 16367, Page 4229, Miami-Dade County Records).
Containing 10,331 Square Feet, 0.24 Acres, more or less, by calculations.
Pr1 . 2
operty Address: 1790 Alton Road Miami Beach, Florida, 33139. Folio No.: 02-3233-012-0700

ELEVATION INFORMATION:

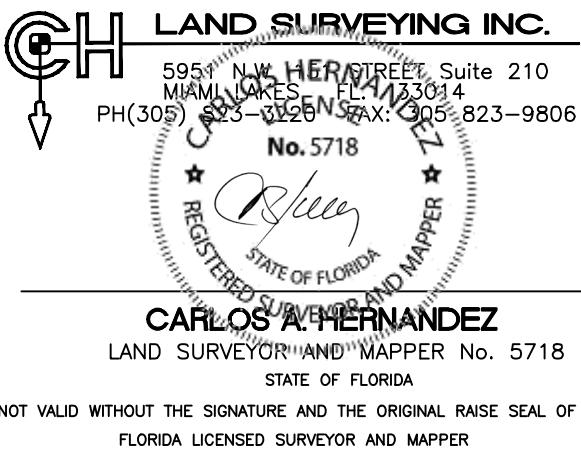
BASED ON THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENT MANAGEMENT AGENCY DATED OR REVISED ON 9/11/09 THE HEREIN DESCRIBED PROPERTY IS SITUATED WITHIN ZONE AE
BASE FLOOD ELEVATION 8 COMMUNITY 120651 PANEL NUMBER 12086C0317 SUFFIX L
ELEVATIONS REFER TO N.A.V.D.88 BENCHMARK USED: MDC C-100 ELEVATION= 9.50'

LEGAL NOTES

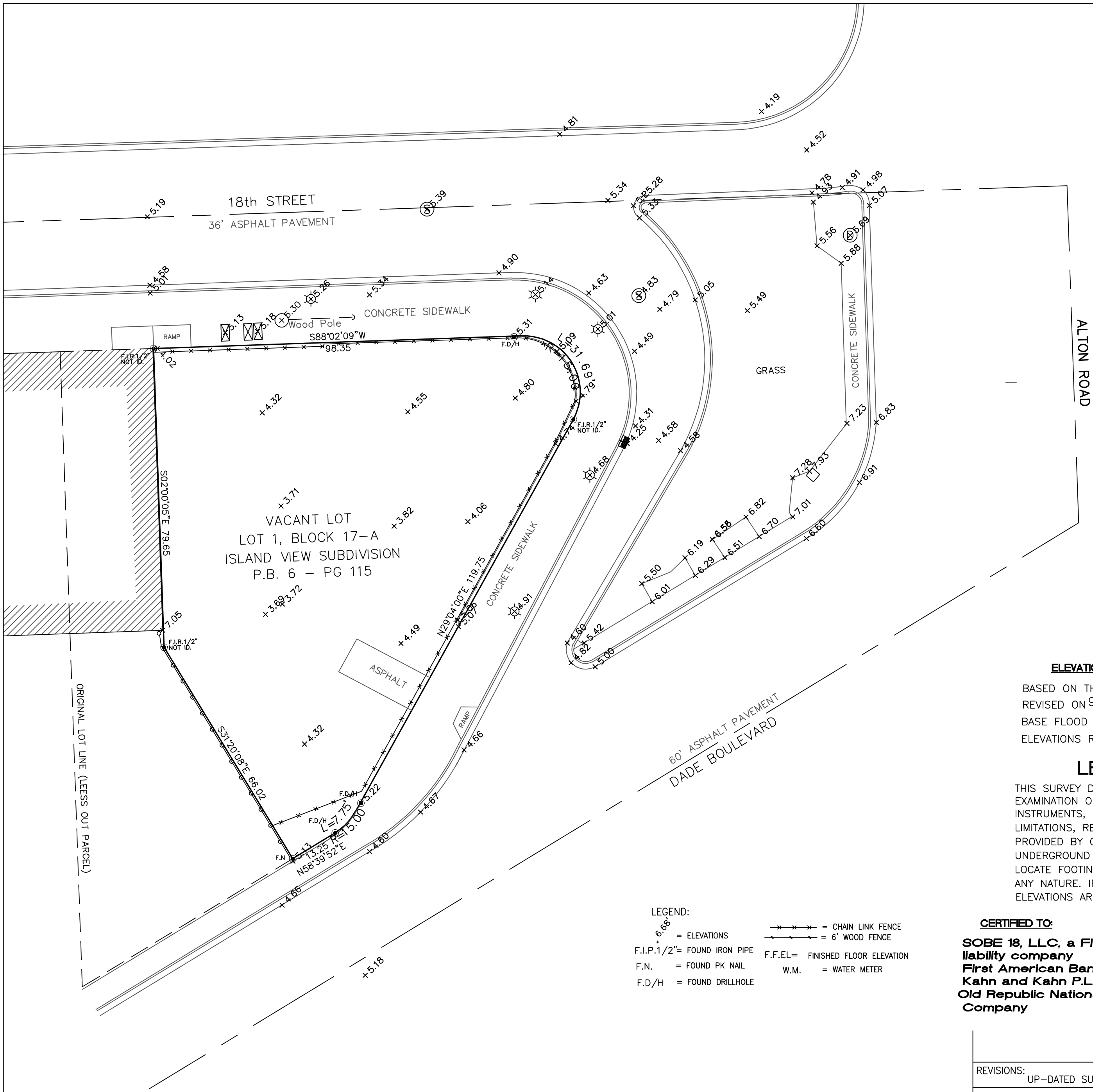
THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP. EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINATE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY. THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD. LEGAL DESCRIPTIONS PROVIDED BY CLIENT. THE LIABILITY OF THIS SURVEY IS LIMITED TO THE COST OF THE SURVEY. UNDERGROUND ENCROACHMENTS, IF ANY, ARE NOT SHOWN. THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS AND/OR UNDERGROUND IMPROVEMENTS OF ANY NATURE. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN. IF SHOWN, ELEVATIONS ARE REFERRED TO N.G.V.D. OF 1929. FENCE OWNERSHIP NOT DETERMINED

CERTIFIED TO:

SOBE 18, LLC, a Florida limited liability company
First American Bank
Kahn and Kahn P.L.
Old Republic National Title Insurance Company



REVISIONS:	DATE:
UP-DATED SURVEY	AUGUST 8, 2022
THIS SURVEY WAS PERFORMED	DATE:
	FEB. 25, 2021





7500 NE 4th Court
Suite 102
Miami, FL 33138
T: (305) 573-2728

PROJECT NUMBER
2116

PROJECT NAME

1790 ALTON RD.

1790 ALTON ROAD
MIAMI BEACH, FL 33141
OWNER



DESIGNER
GEK ARCHITECTURE

CONCEPT DESIGN

CONTEXTUAL
ELEVATION
DRAWING

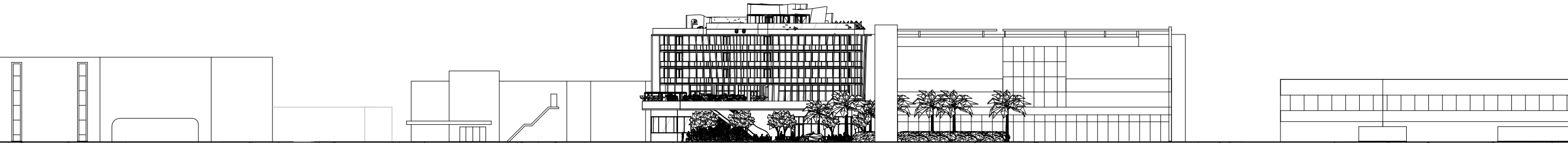
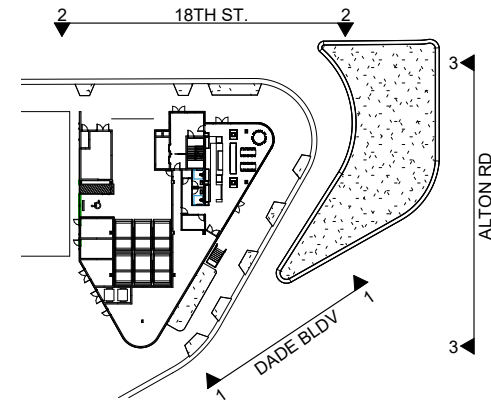


STUDIO MC+G ARCHITECTURE
JENNIFER MCCONNEY FLORIDA LIC# AR93044

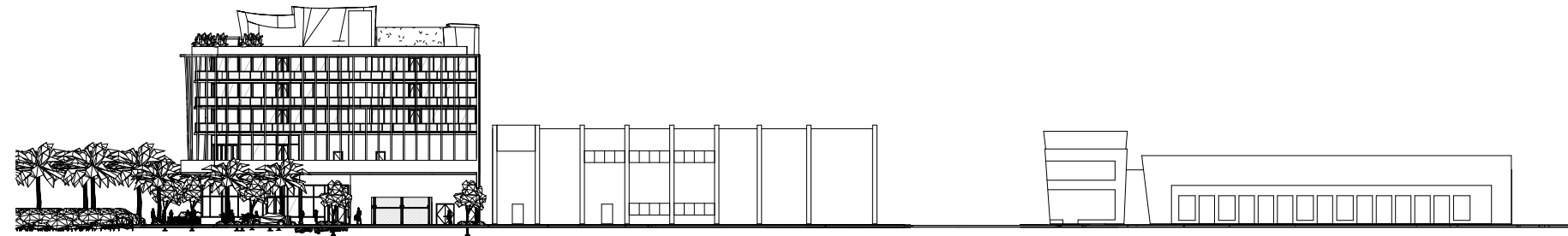
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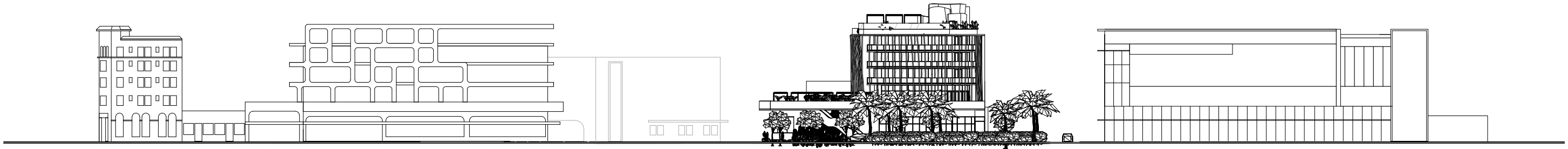
SHEET NUMBER



① DADE BLVD. CONTEXT ELEVATION
1" = 60'-0" 06/16/2022

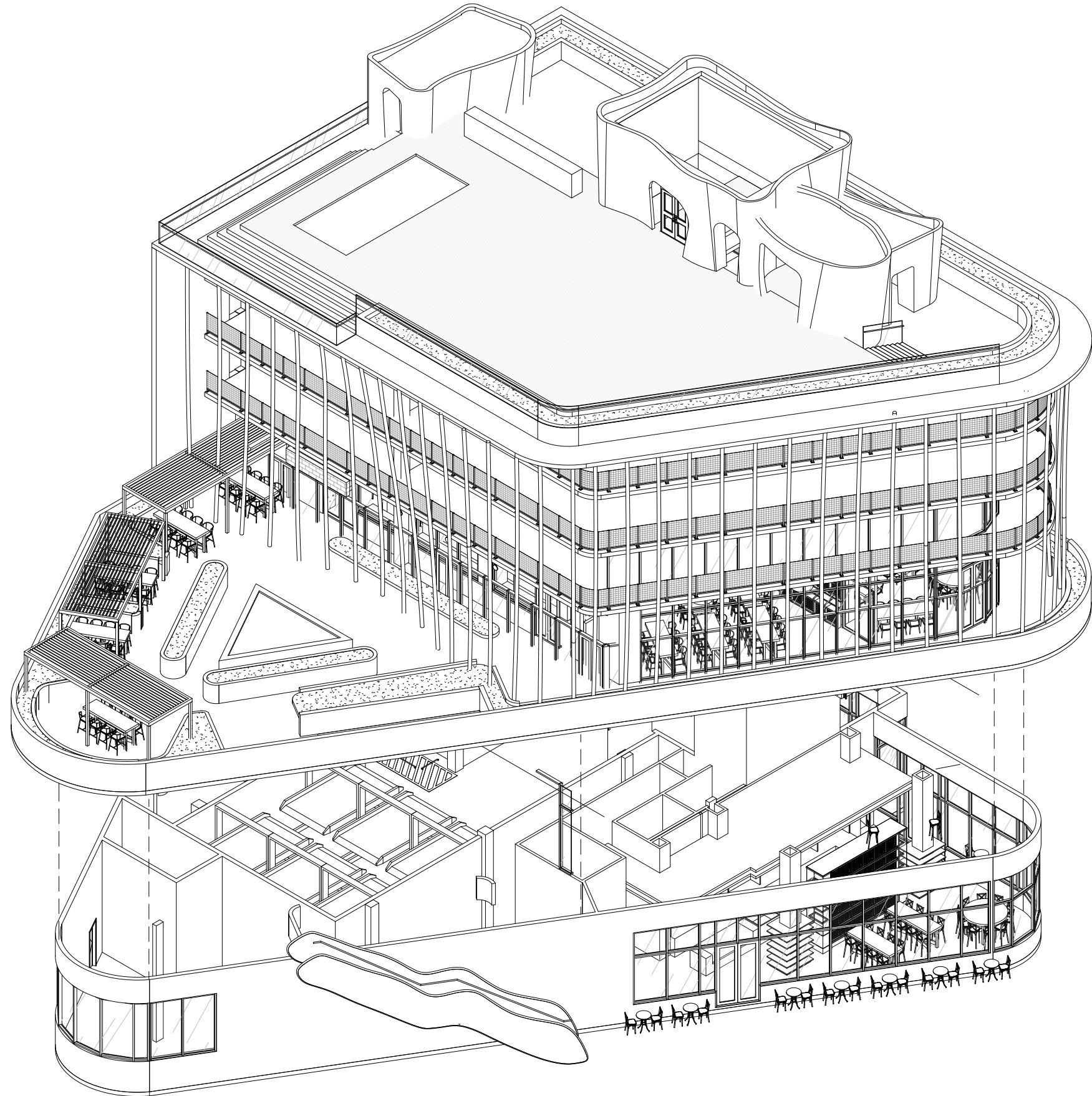


② 18TH ST. CONTEXT ELEVATION
1" = 60'-0" 06/16/2022



③ ALTON RD CONTEXT ELEVATION
1" = 60'-0" 06/16/2022

A 0.15



1 EXPLODED AXO



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DESIGNER
GEK ARCHITECTURE

CONCEPT DESIGN

EXPLODED
AXONOMETRIC
DIAGRAM



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A 0.16

EIGHTEENTH STREET
36'-0" RIGHT OF WAY



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DESIGNER

GEK ARCHITECTURE

CONCEPT DESIGN

PROPOSED
SITE PLAN

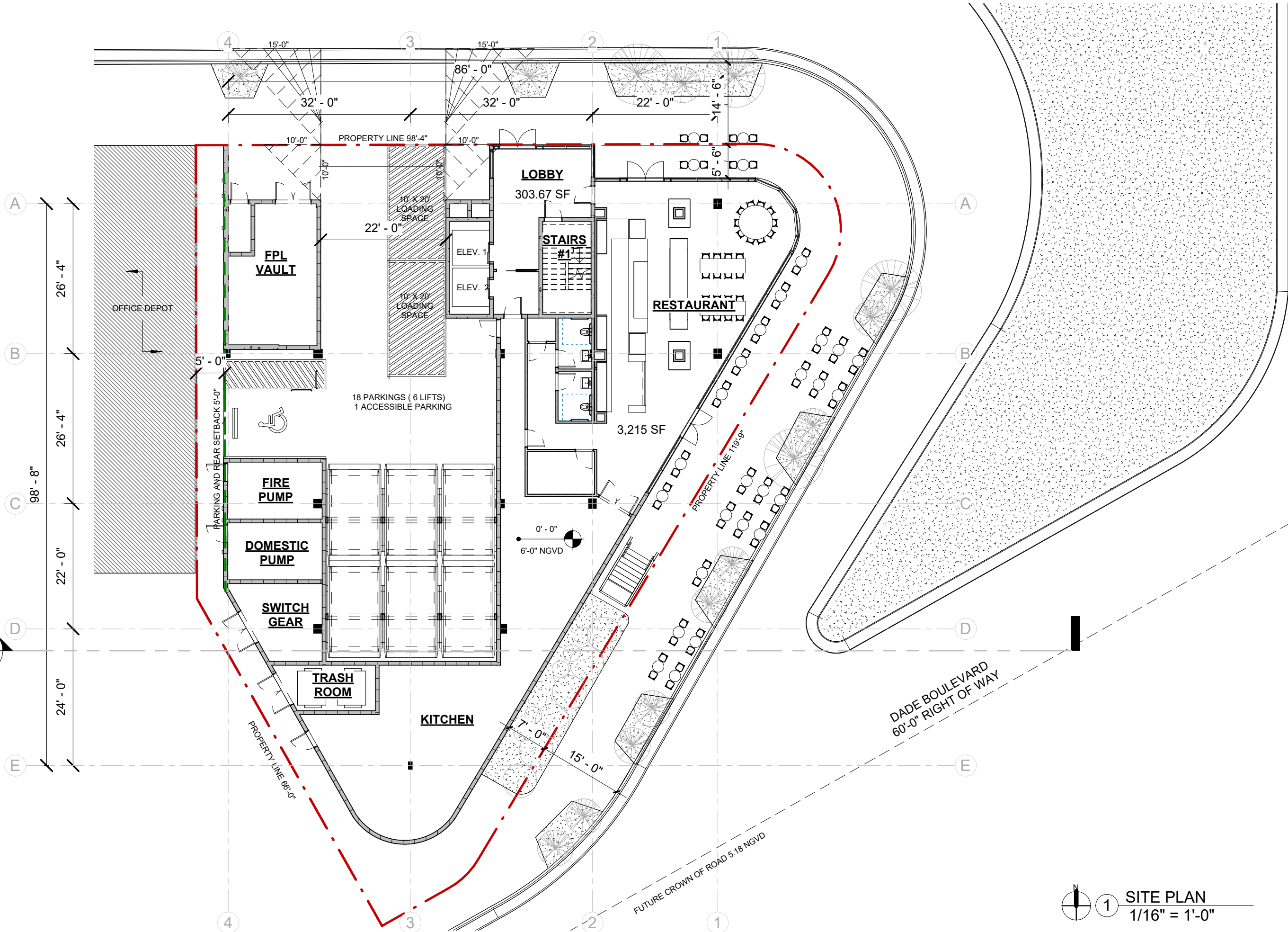


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JENNIFER McCONNEY FLORIDA LIC# AR93044

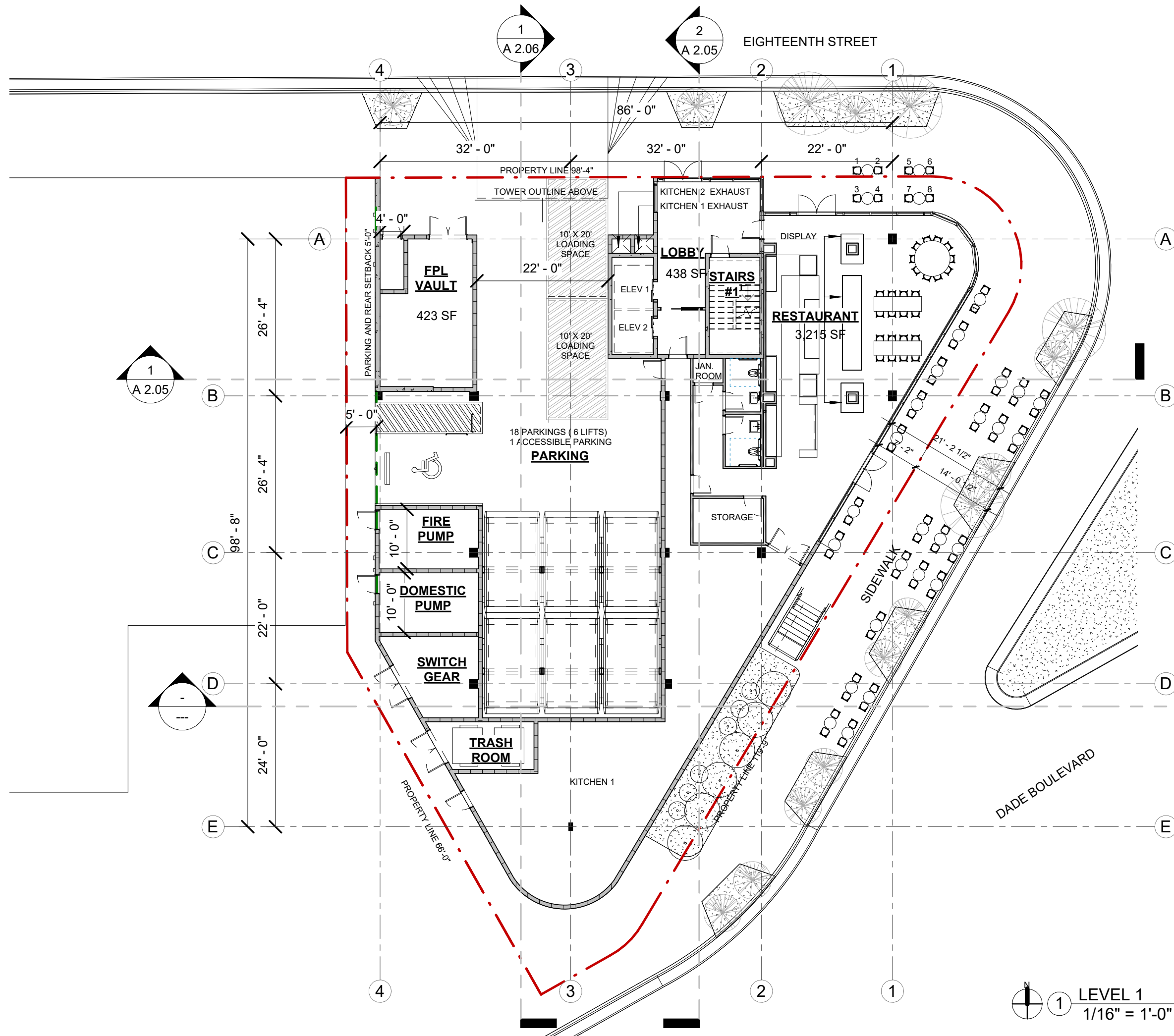
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A 1.00



1 SITE PLAN
1/16" = 1'-0"



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DESIGNER
GEK ARCHITECTURE

CONCEPT DESIGN

PROPOSED
LEVEL I



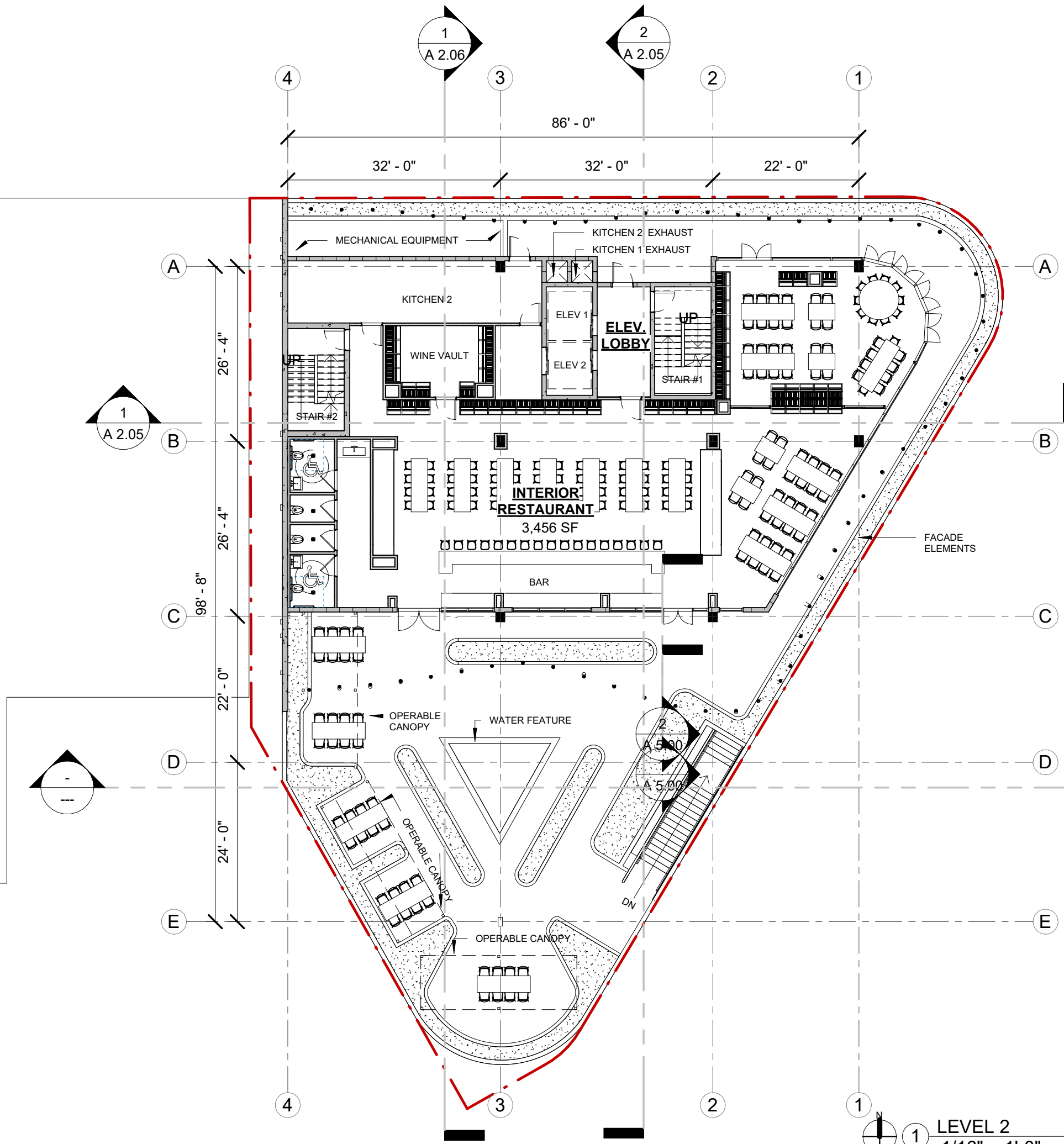
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SHEET NUMBER

A 1.01

LEVEL 1
1/16" = 1'-0"



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PROJECT NAME

1790 ALTON RD.

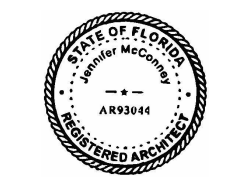
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DESIGNER
GEK ARCHITECTURE

CONCEPT DESIGN

PROPOSED
LEVEL 2

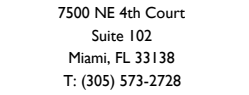


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SHEET NUMBER

A 1.02

LEVEL 2
1/16" = 1'-0"



PROJECT NUMBER

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OWNER

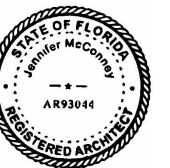
FINVARB
GROUP

DESIGNER

GEK ARCHITECTURE

CONCEPT DESIGN

PROPOSED LEVEL 3 & 5



STUDIO MC+G ARCHITECTURE
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SCALE: $1/16" = 1'-0"$

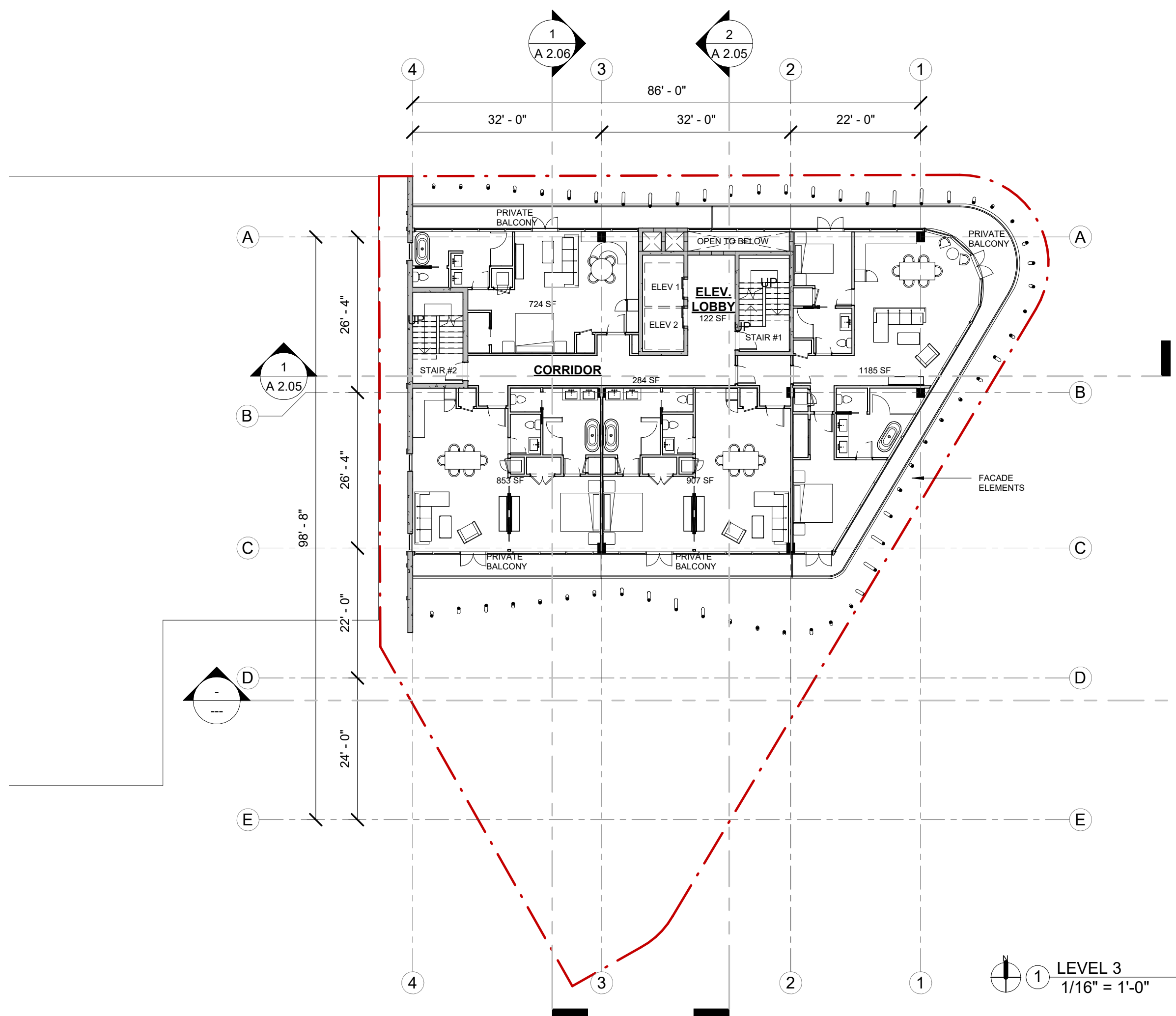
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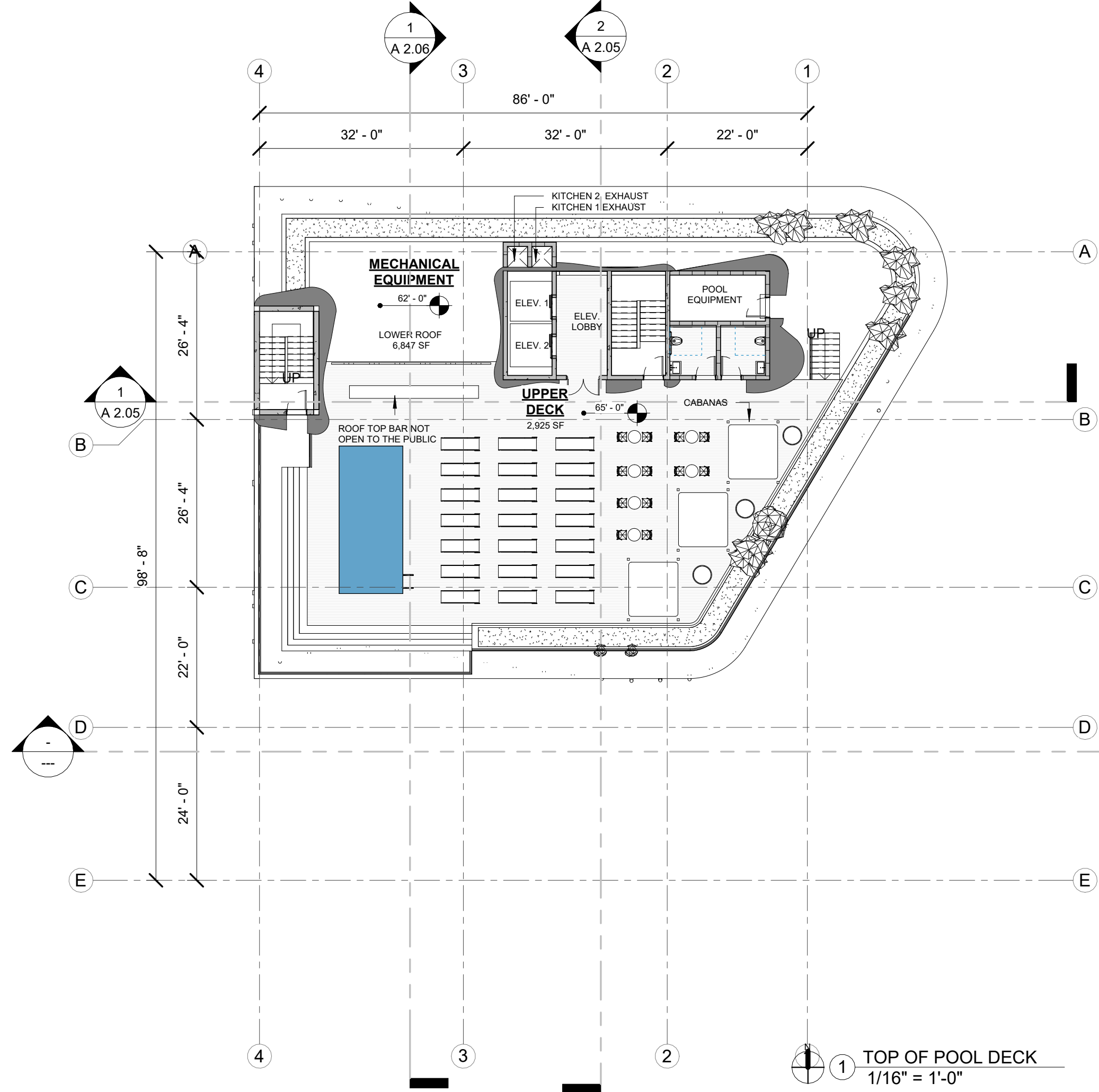
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DATE 11/07/2022

SHEET NUMBER

A 1.03





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PROJECT NUMBER
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PROJECT NAME

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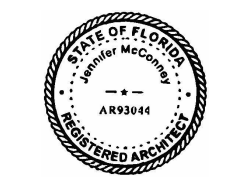
1790 ALTON ROAD
MIAMI BEACH, FL 33141
OWNER



DESIGNER
GEK ARCHITECTURE

CONCEPT DESIGN

PROPOSED
POOL DECK

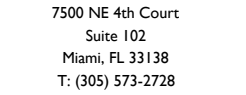


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SCALE: 1/16" = 1'-0"
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SHEET NUMBER

A 1.04



PROJECT NUMBER
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PROJECT NAME

1790 ALTON ROAD
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CONCEPT DESIGN

PROPOSED ROOF PLAN



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SCALE: $1/16" = 1'-0"$

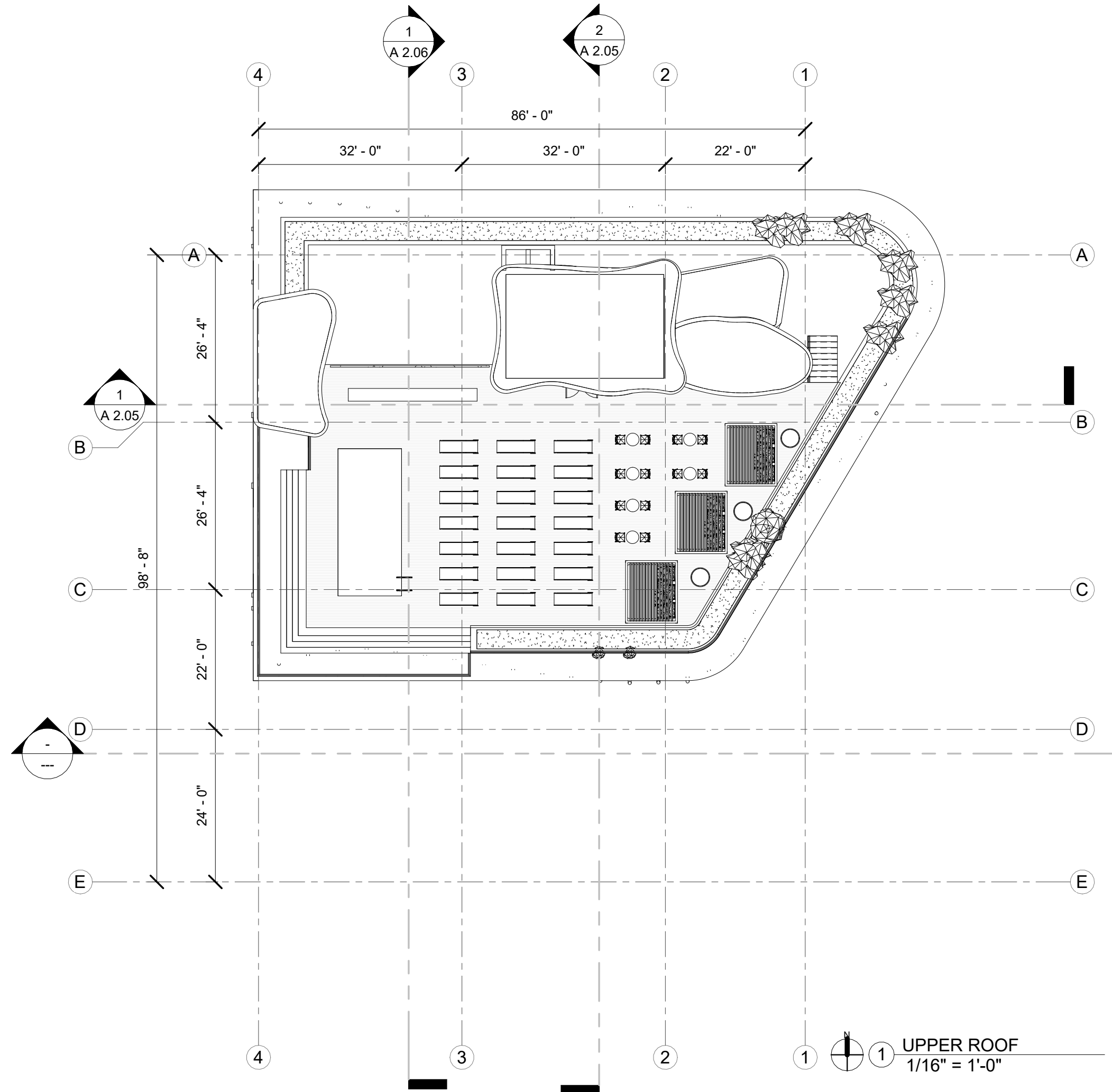
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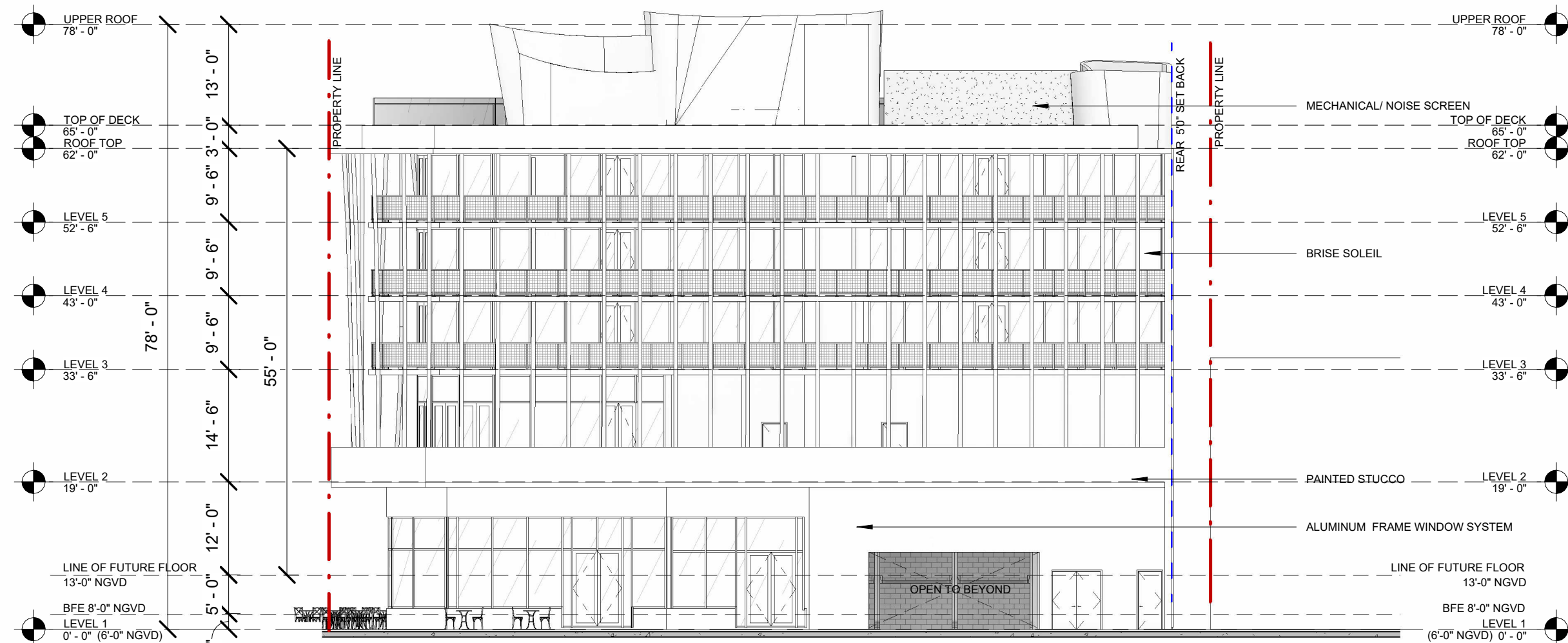
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DATE 11/07/2022

SHEET NUMBER

A 1.05





STUDIO
McG
ARCHITECTURE

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PROJECT NAME

ELEVATION KEY PLAN

1790 ALTON RD.

1790 ALTON ROAD
MIAMI BEACH, FL 33141
OWNER

FINVARB
GROUP

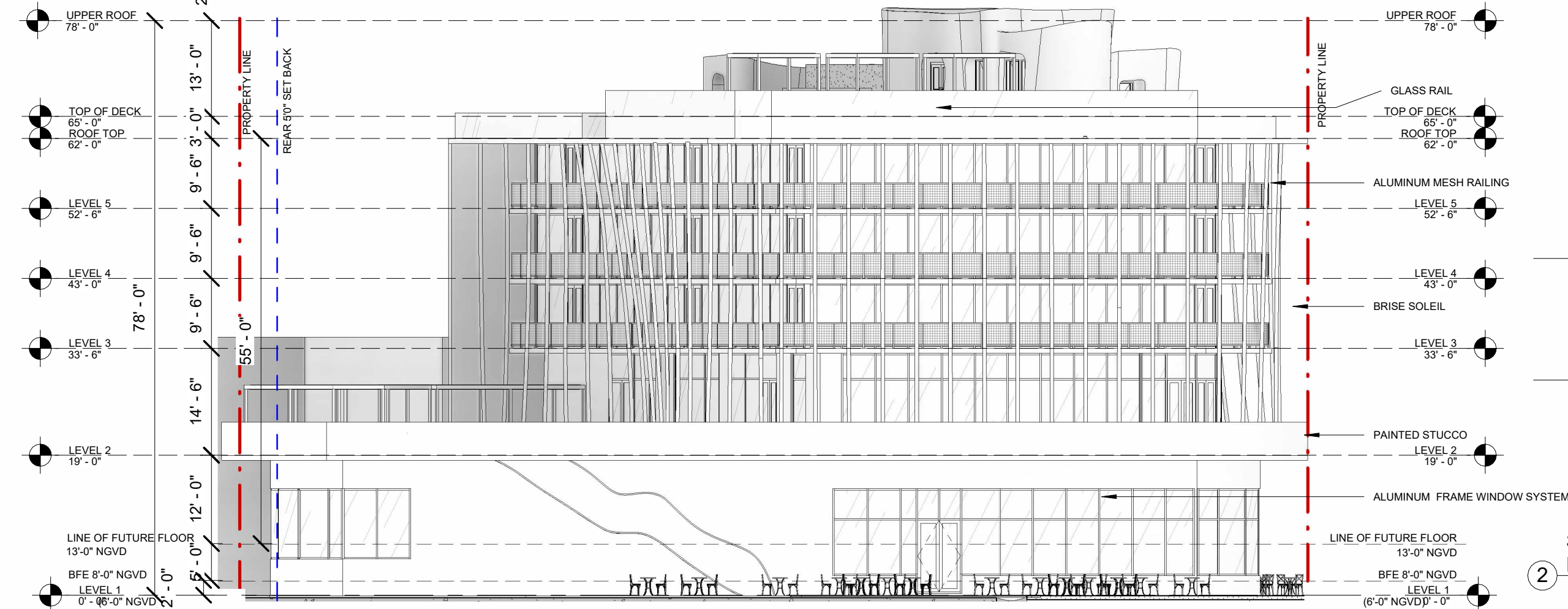
DESIGNER

GEK ARCHITECTURE

CONCEPT DESIGN

1 NORTH
ELEVATION (18TH ST.)
1/16" = 1'-0"

PROPOSED
ELEVATIONS



ELEVATION KEY PLAN

STATE OF FLORIDA
JENNIFER McConney
AR93044
REGISTERED ARCHITECT

STUDIO MCG ARCHITECTURE
JENNIFER McCONNEY FLORIDA LIC# AR93044

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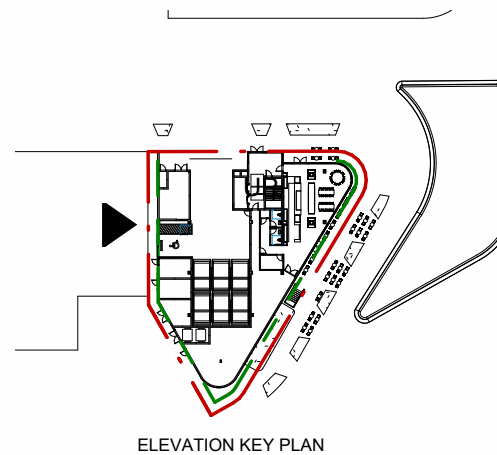
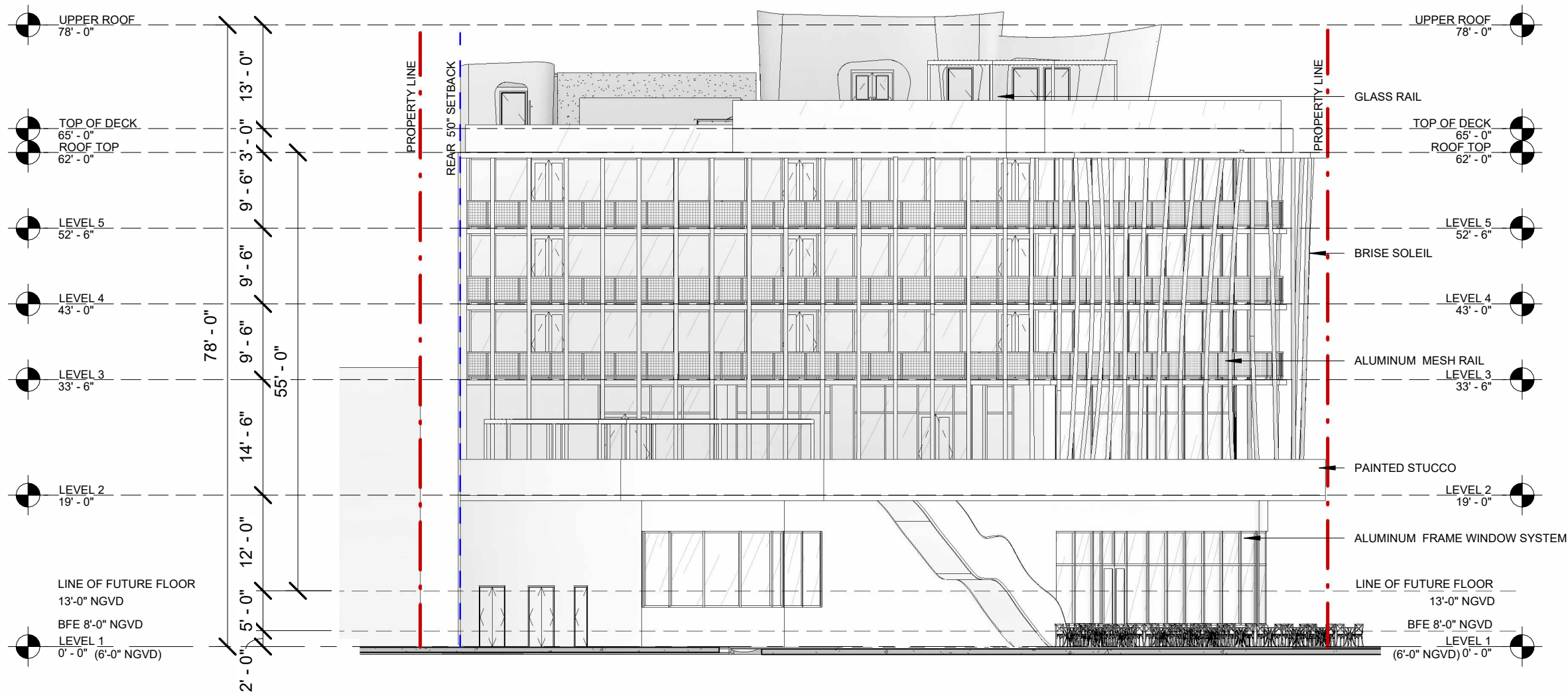
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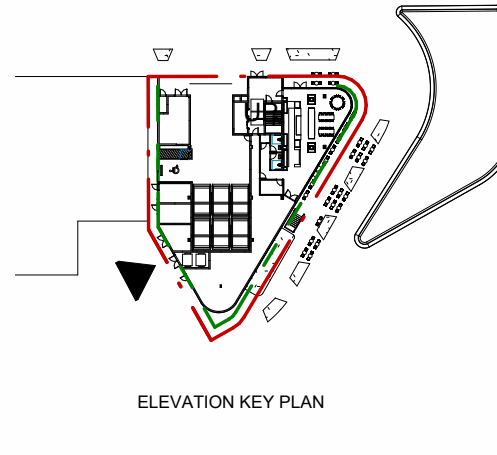
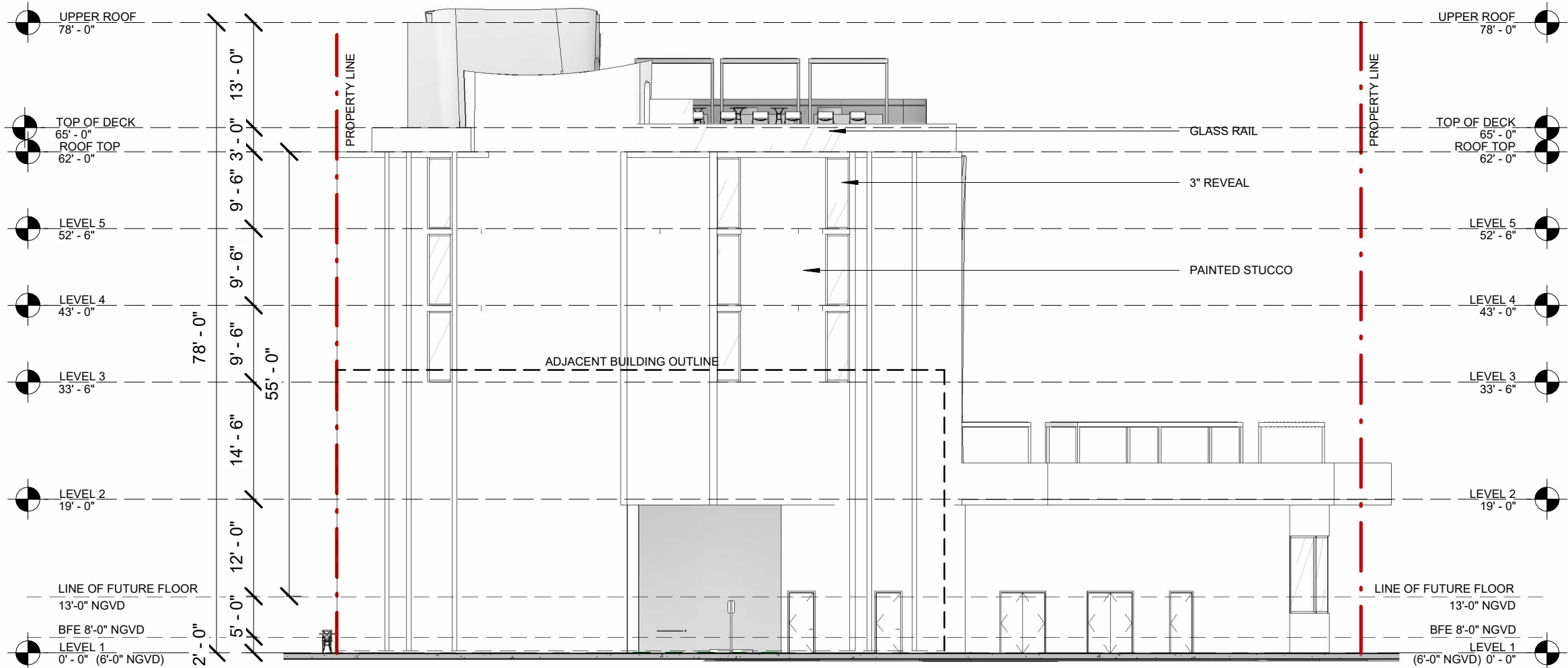
DATE 11/07/2022

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2 SOUTH/EAST
ELEVATION
1/16" = 1'-0"



1 SOUTH/WEST ELEVATION
1/16" = 1'-0"



2 WEST ELEVATION
1/16" = 1'-0"



1 RENDERED NORTH ELEVATION (18TH ST.)
1/16" = 1'-0"

2 RENDERED SOUTH/EAST ELEVATION
1/16" = 1'-0"



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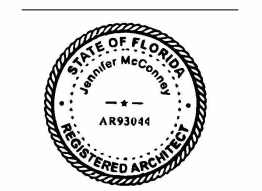
1790 ALTON ROAD
MIAMI BEACH, FL 33141
OWNER



DESIGNER
GEK ARCHITECTURE

CONCEPT DESIGN

PROPOSED
RENDERED
ELEVATIONS



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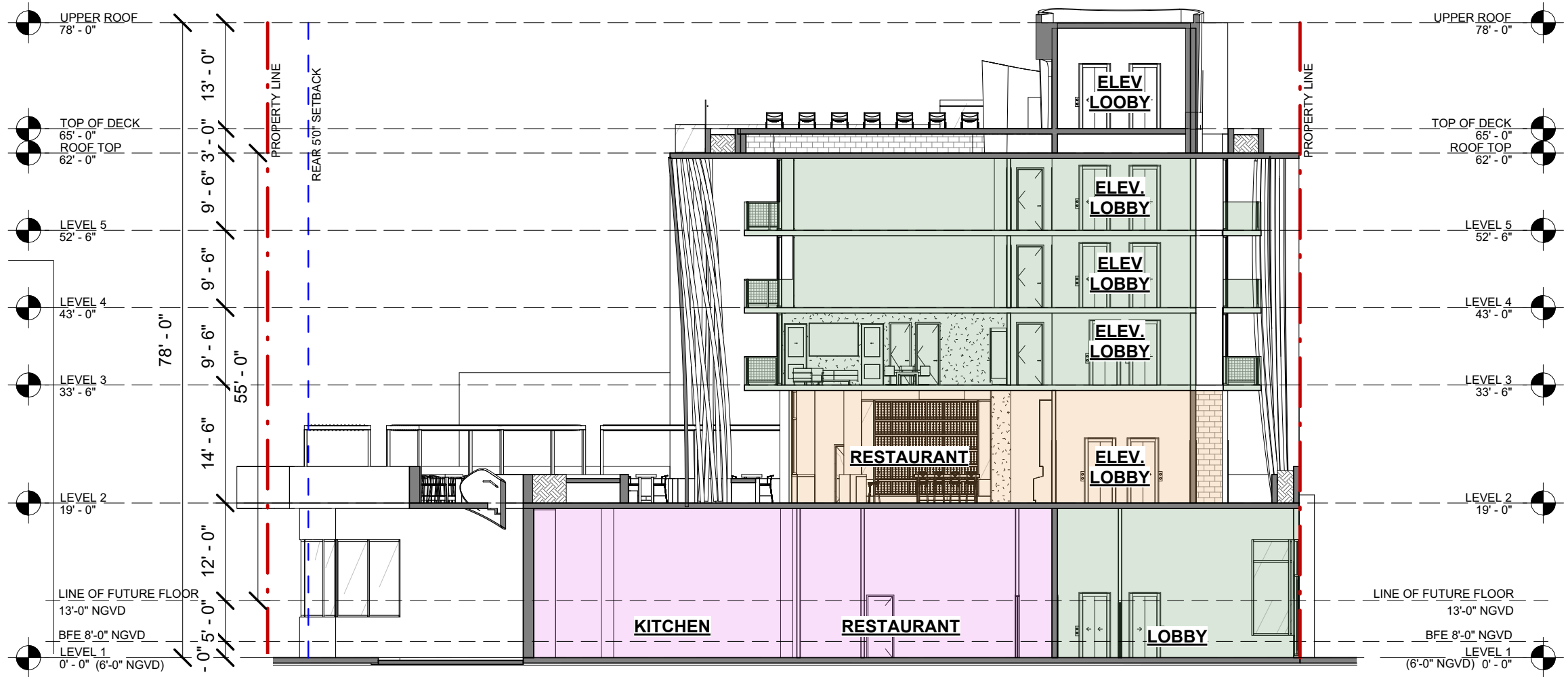
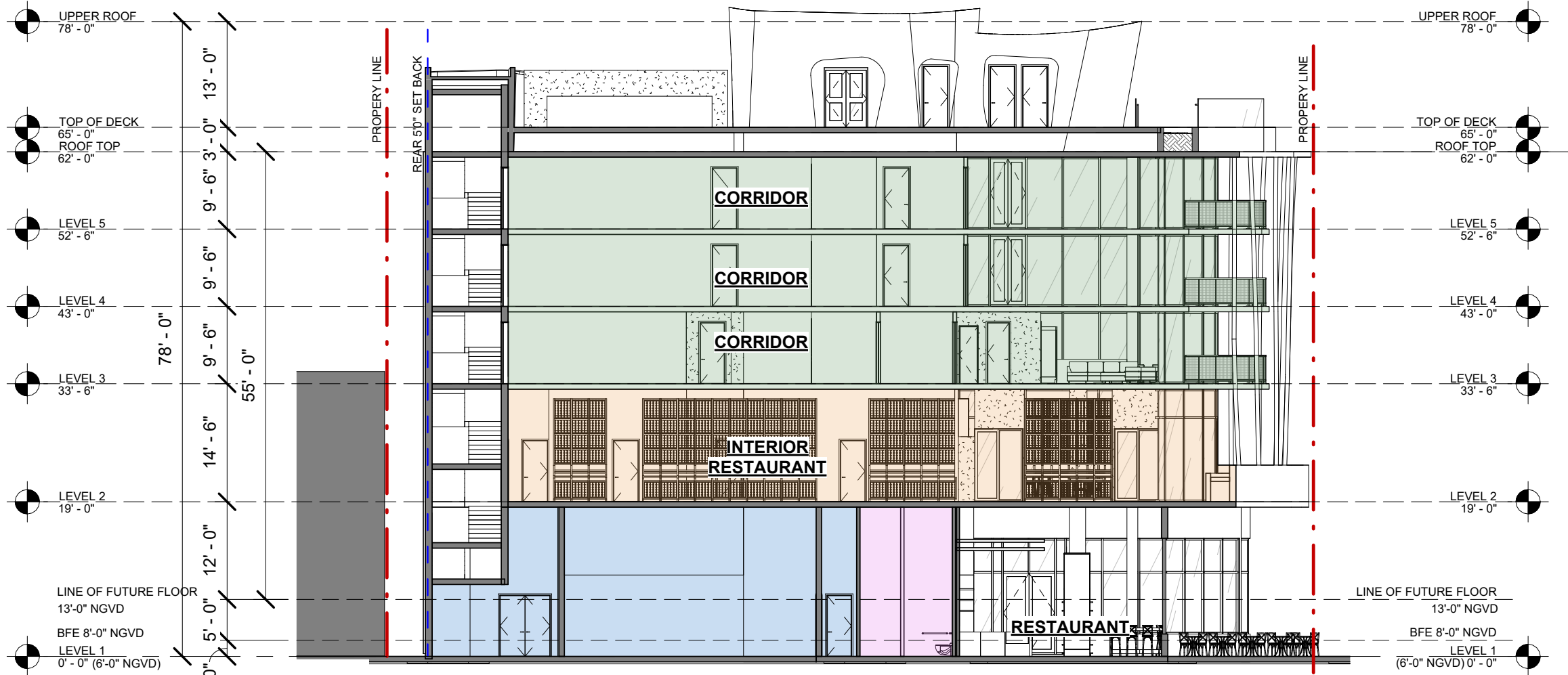
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A 2.03



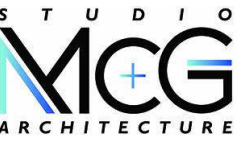
1 REDENRED
SOUTH/WEST ELEVATION
1/16" = 1'-0"

2 RENDERED
WEST ELEVATION
1/16" = 1'-0"



1 BUILDING SECTION A
1/16" = 1'-0"

2 BUILDING SECTION B
1/16" = 1'-0"



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DESIGNER

GEK ARCHITECTURE

CONCEPT DESIGN

PROPOSED
SECTIONS



STUDIO MCG ARCHITECTURE
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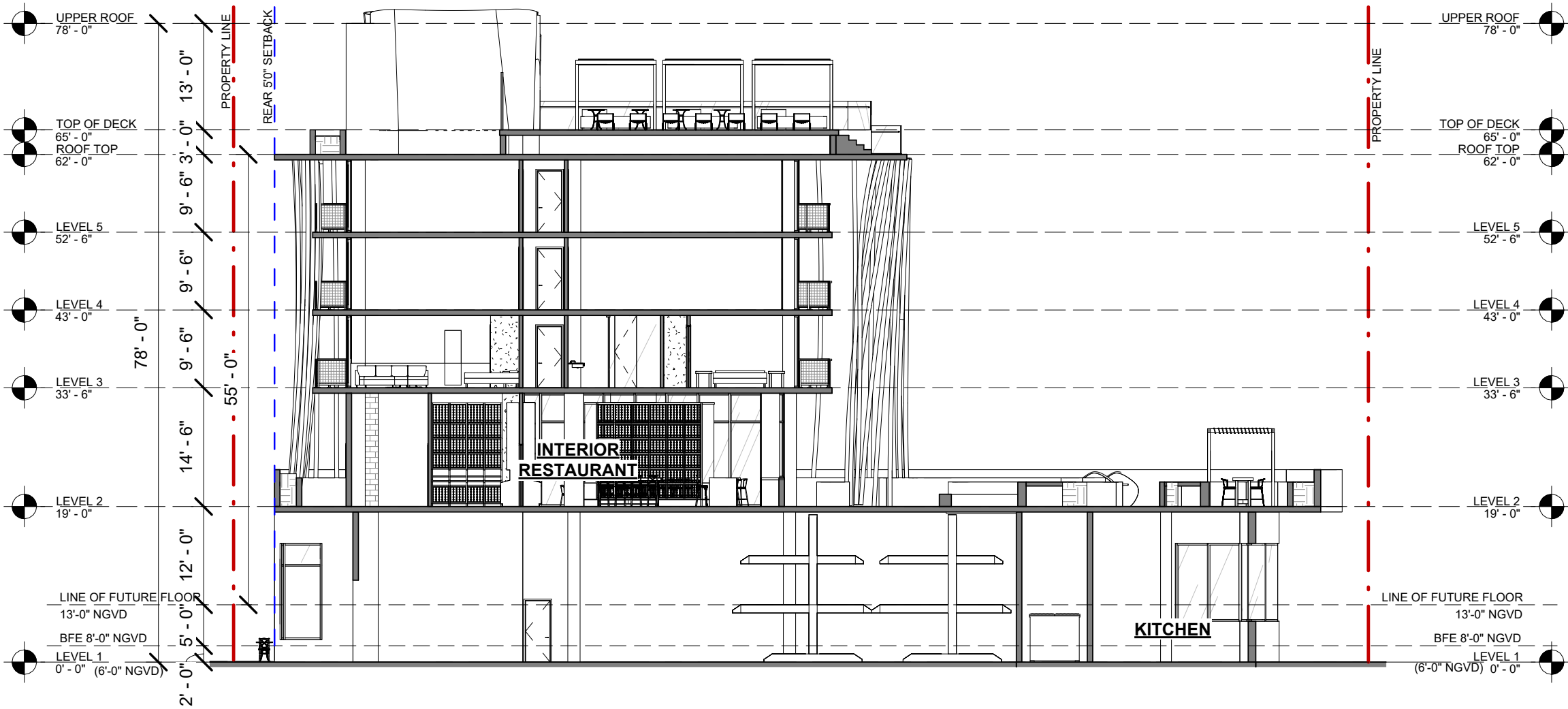
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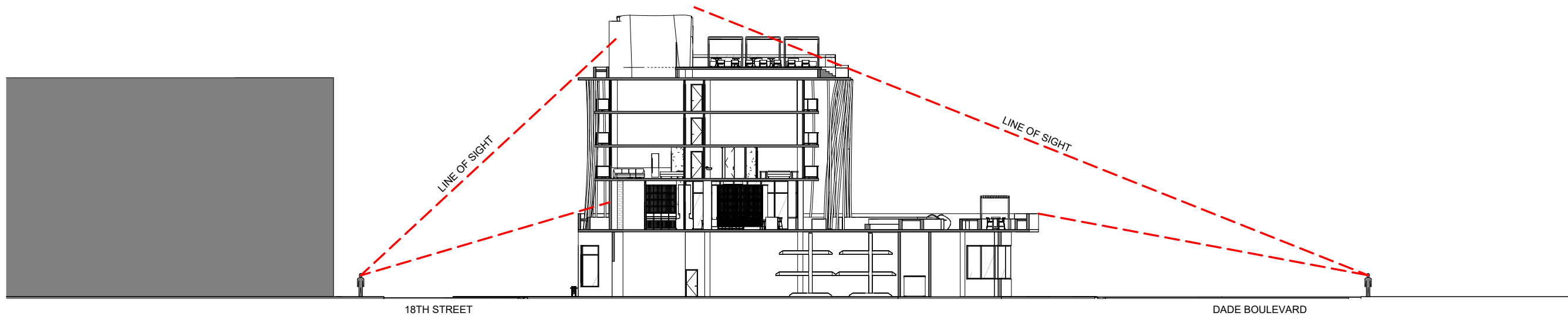
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A 2.05



1 BUILDING SECTION C
1/16" = 1'-0"



2 LINE OF SIGHT
1/32" = 1'-0"

1790 ALTON RD.

1790 ALTON ROAD
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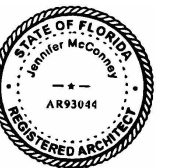
FINVARB
GROUP

DESIGNER

GEK ARCHITECTURE

CONCEPT DESIGN

PROPOSED SECTIONS



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FACADE DESIGNER

GEK ARCHITECTURE

CONCEPT DESIGN

ROOM
LAYOUT

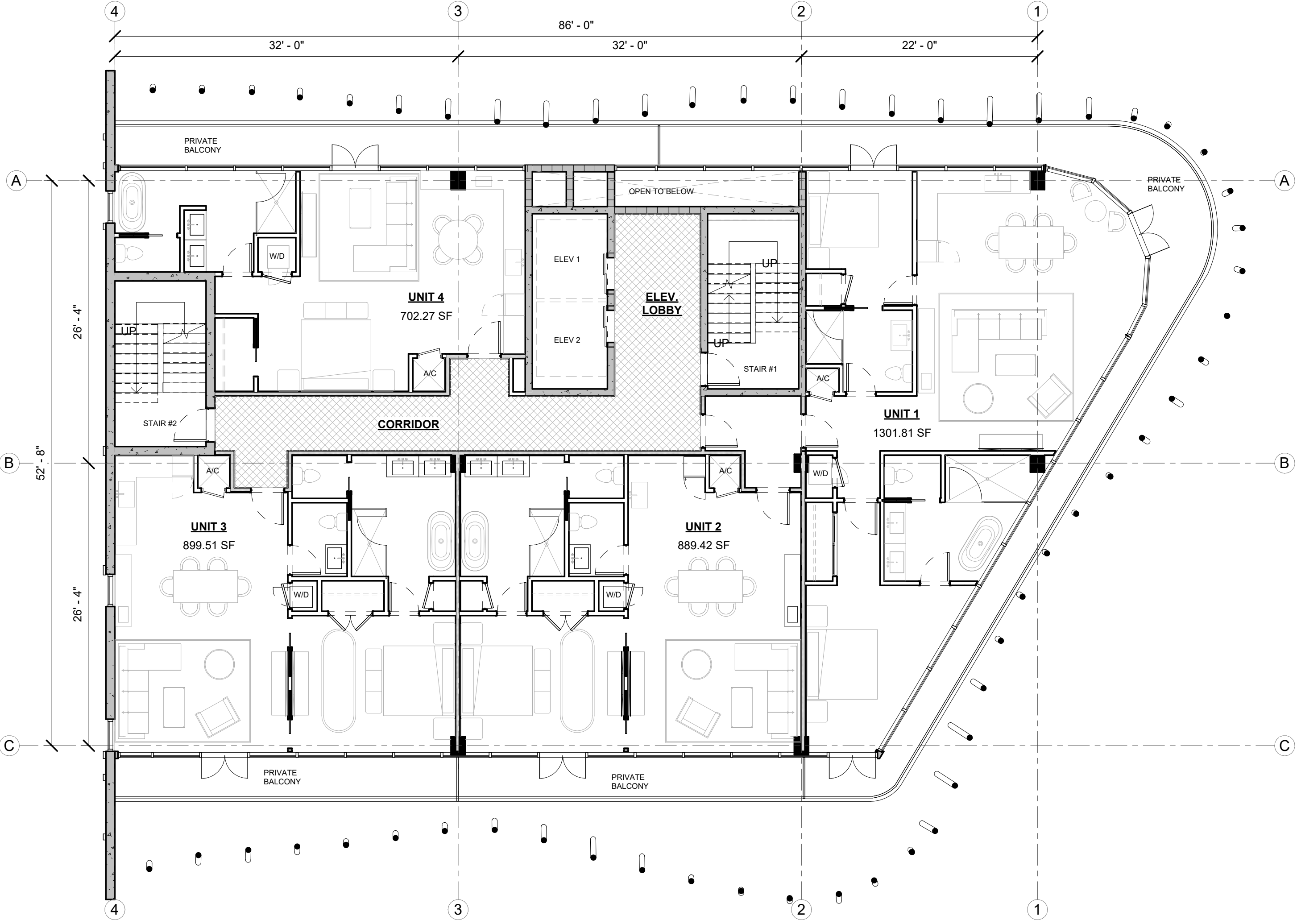
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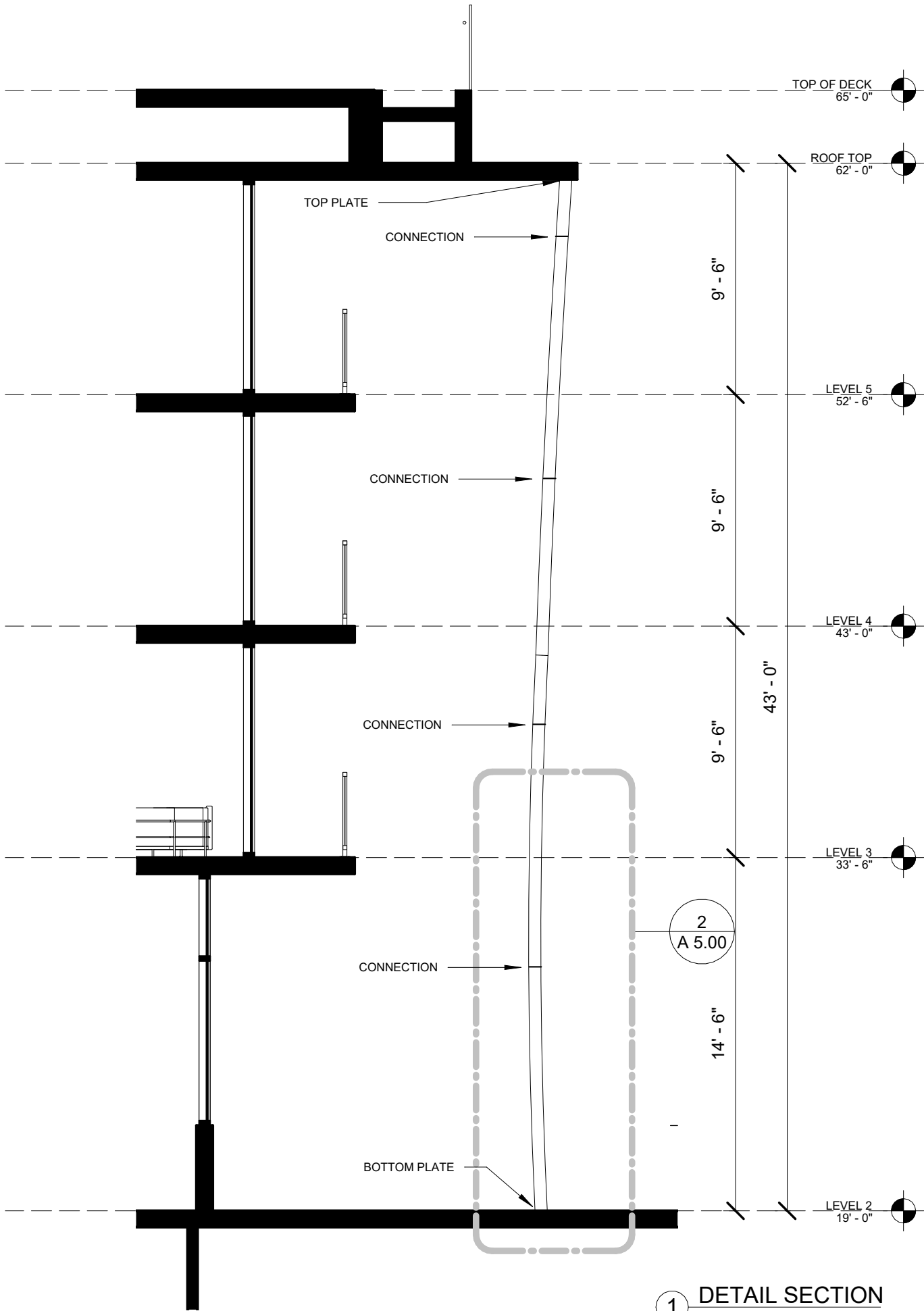
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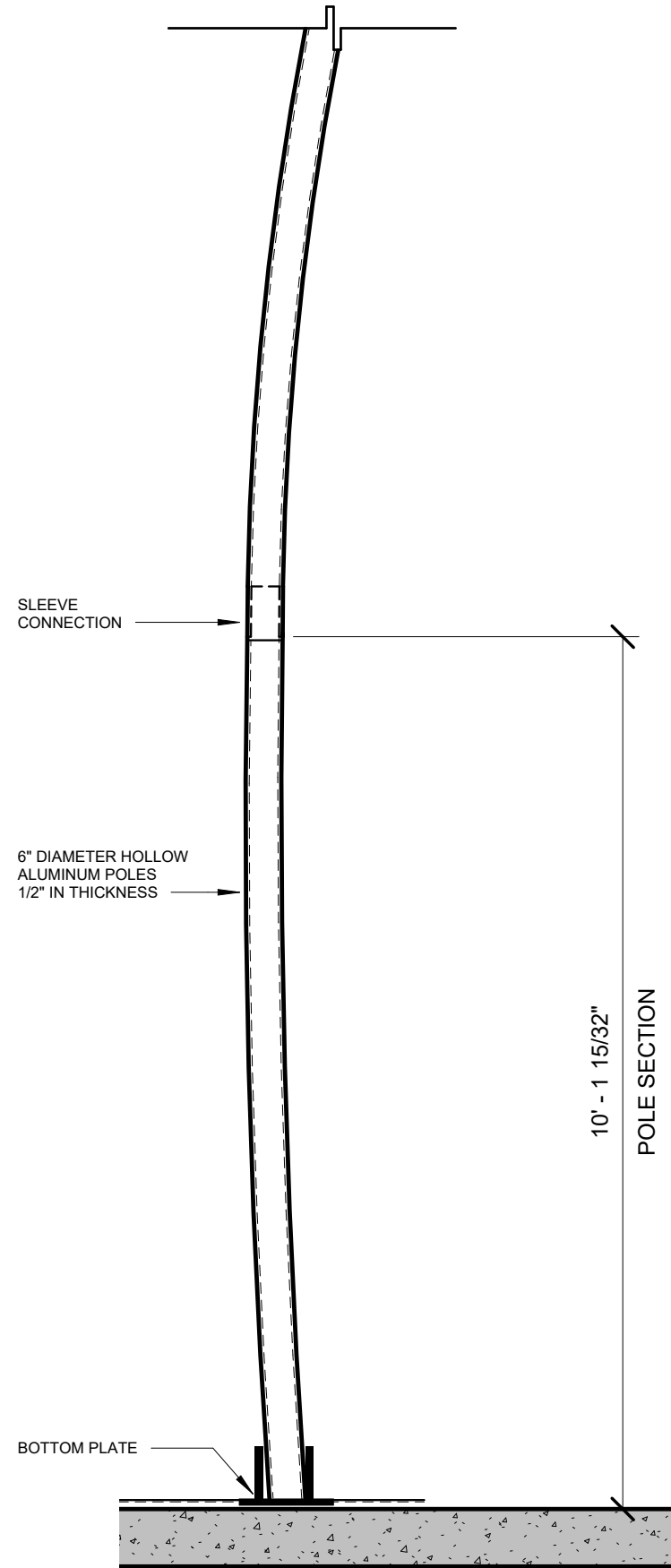
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A 3.00





1 **DETAIL SECTION**
3/16" = 1'-0"



2 **POLE DETAIL**
1/2" = 1'-0"

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FACADE DESIGNER

GEK ARCHITECTURE

CONCEPT DESIGN

DETAILS

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