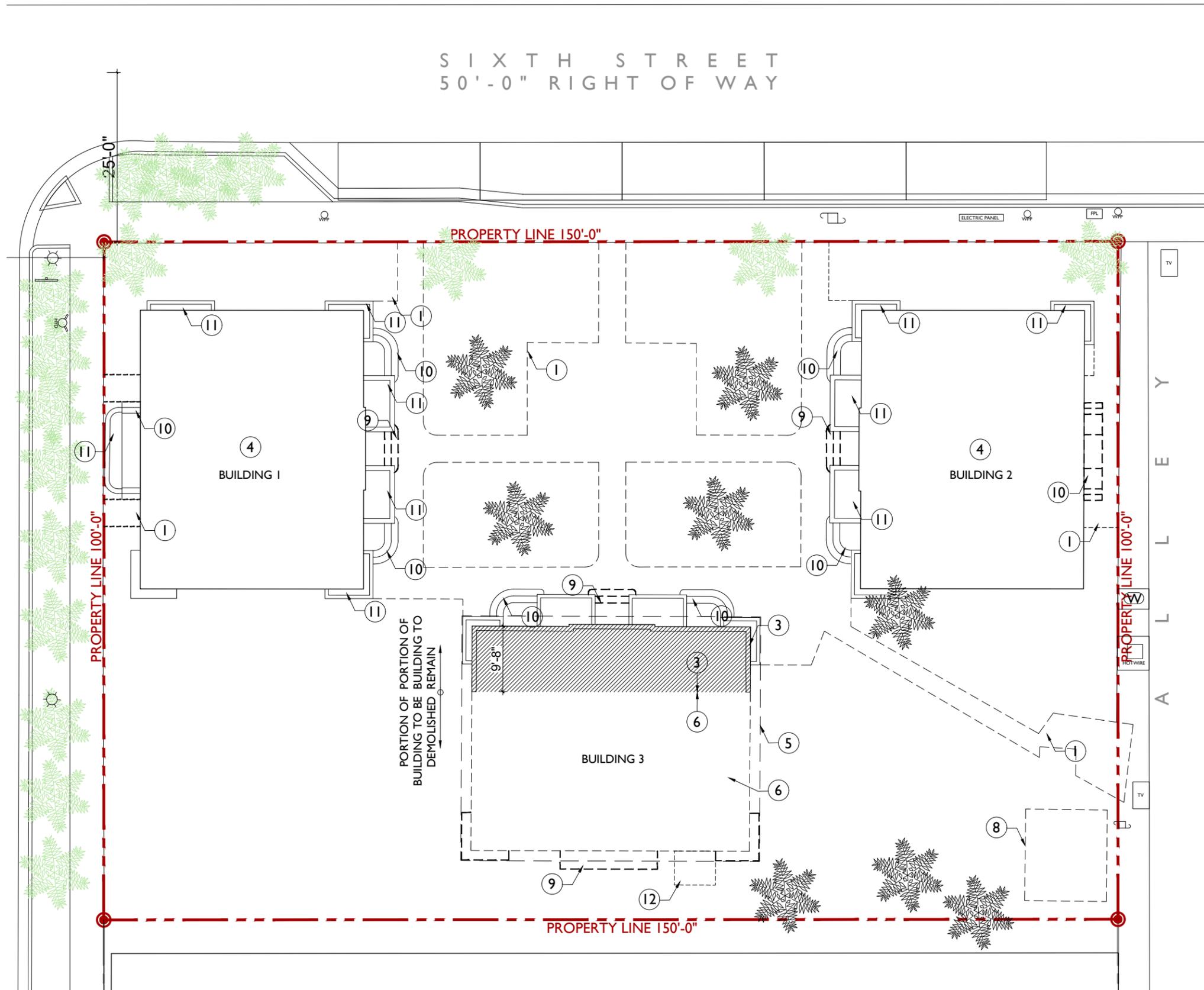


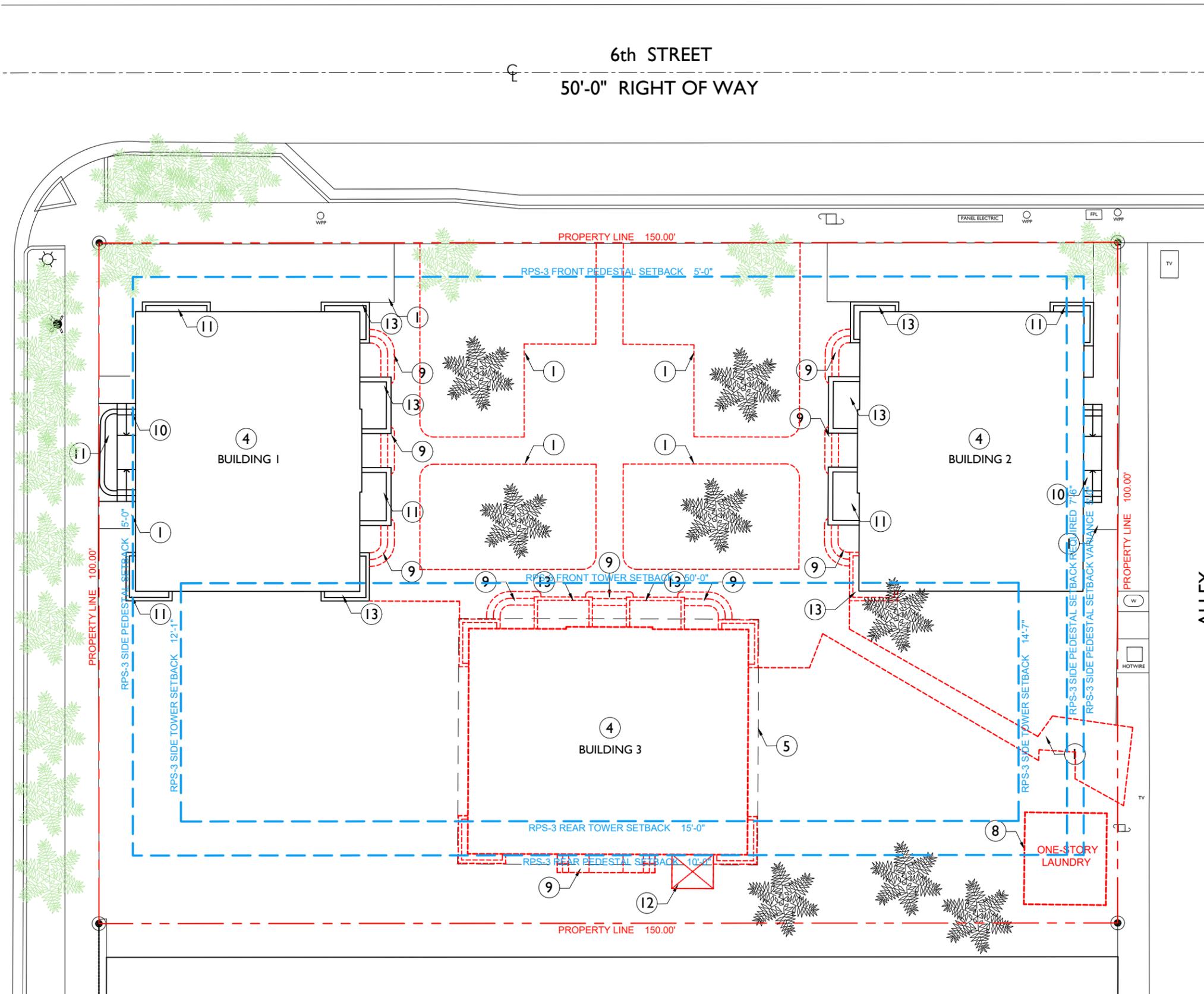
DEMOLITION LEGEND

- ① HARDSCAPE TO BE REMOVED
- ② (LEFT BLANK)
- ③ PORTION OF EXISTING BUILDING TO REMAIN (SHADED)
- ④ BUILDING TO REMAIN
- ⑤ ROOF ABOVE TO BE REMOVED
- ⑥ PORTION OF EXISTING BUILDING TO BE REMOVED
- ⑦ (LEFT BLANK)
- ⑧ LAUNDRY ROOM STRUCTURE TO BE REMOVED
- ⑨ STAIRS TO BE REMOVED
- ⑩ STAIRS TO REMAIN, REPAIR AS NEEDED
- ⑪ PLANTER TO REMAIN, REPAIR AS NEEDED
- ⑫ UTILITY BOX/SHED TO BE REMOVED



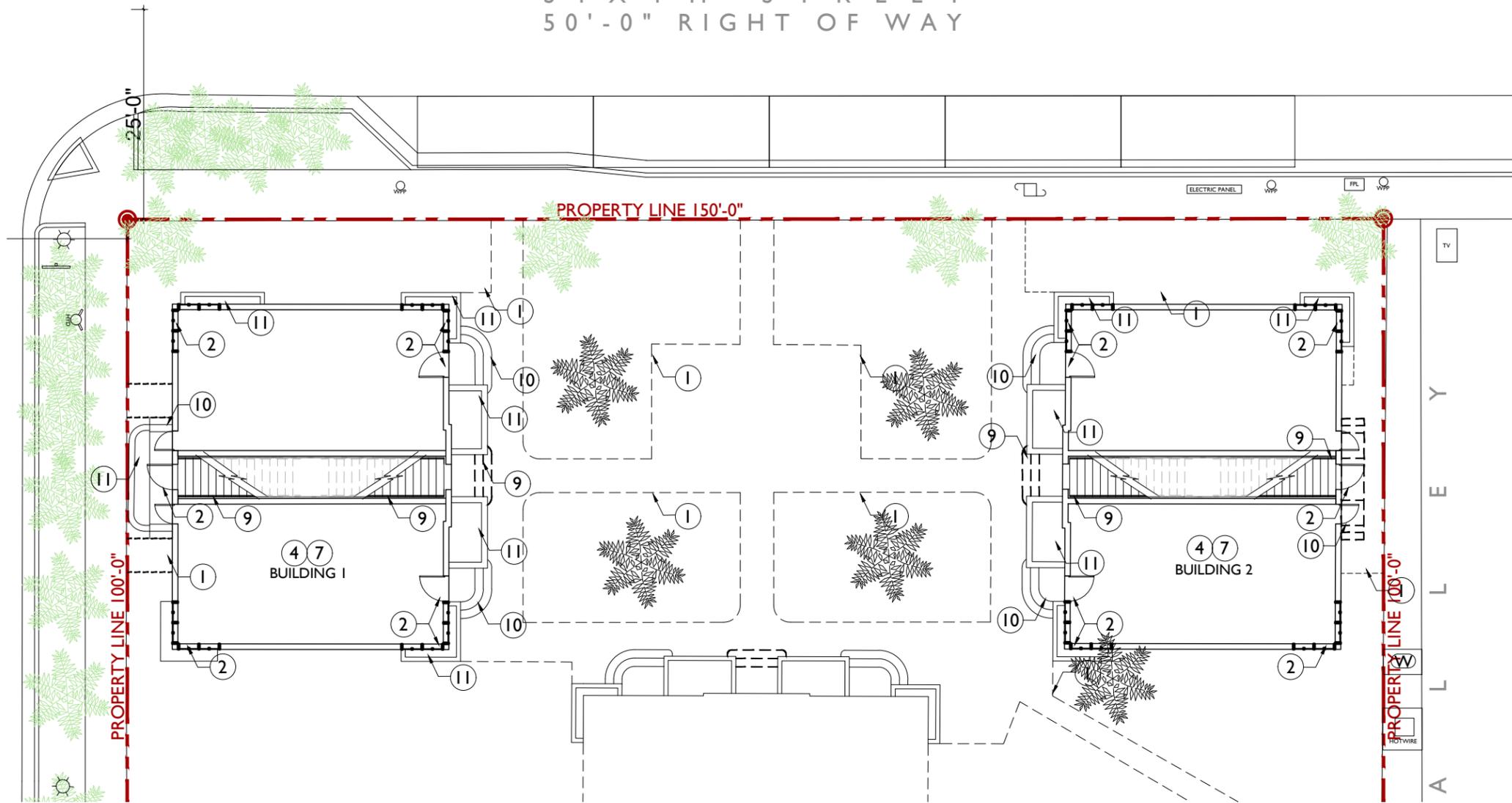
DEMOLITION LEGEND:-

- ① HARDSCAPE TO BE REMOVED
- ② (LEFT BLANK)
- ③ (LEFT BLANK)
- ④ BUILDING TO BE REMOVED
- ⑤ ROOF ABOVE TO BE REMOVED
- ⑥ (LEFT BLANK)
- ⑦ (LEFT BLANK)
- ⑧ LAUNDRY ROOM STRUCTURE TO BE REMOVED
- ⑨ STAIRS TO BE REMOVED
- ⑩ STAIRS TO REMAIN, REPAIR AS NEEDED
- ⑪ PLANTER TO REMAIN, REPAIR AS NEEDED
- ⑫ UTILITY BOX/SHED TO BE REMOVED
- ⑬ PLANTER TO BE REMOVED

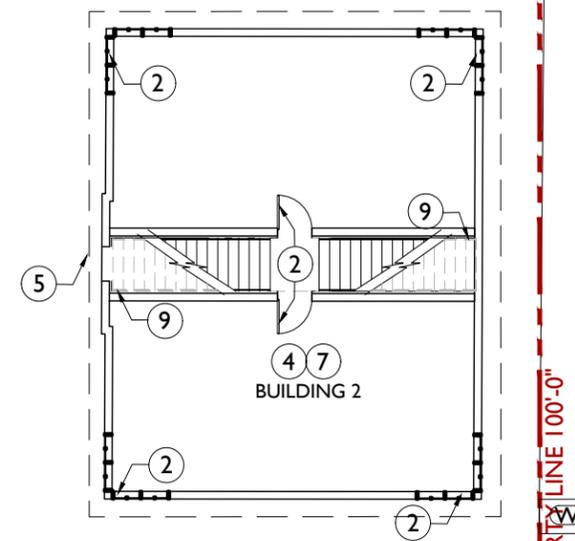
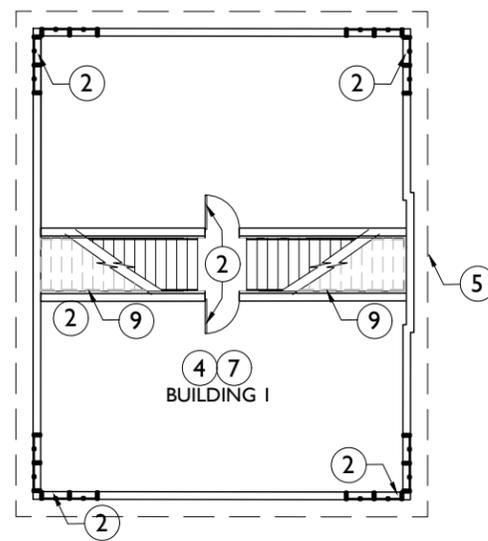


AIIFY

6th STREET
50'-0" RIGHT OF WAY



DEMOLITION PLAN 1ST FLOOR BUILDINGS 1 AND 2
1/16" = 1'-0"



DEMOLITION PLAN 2ND FLOOR BUILDINGS 1 AND 2
1/16" = 1'-0"

DEMOLITION LEGEND

- ① HARDSCAPE TO BE REMOVED
- ② NON-HISTORIC WINDOWS AND DOORS TO BE REMOVED
- ③ PORTION OF EXISTING BUILDING TO REMAIN (SHADED)
- ④ BUILDING TO REMAIN
- ⑤ ROOF ABOVE TO BE REMOVED
- ⑥ PORTION OF EXISTING BUILDING TO BE REMOVED
- ⑦ INTERIOR WALLS AND FLOORS TO BE REMOVED
- ⑧ LAUNDRY ROOM STRUCTURE TO BE REMOVED
- ⑨ STAIRS TO BE REMOVED
- ⑩ STAIRS TO REMAIN, REPAIR AS NEEDED
- ⑪ PLANTER TO REMAIN, REPAIR AS NEEDED
- ⑫ UTILITY BOX/SHED TO BE REMOVED

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SCALE: 1/32" = 1'-0"
CHECK: JMcG
DATE: 12/14/2020
SHEET NUMBER

2' CONC. CURB. & GUTTER

DEMOLITION
PLANS
BUILDINGS 1-2

DEMOLITION LEGEND:-

- ① HARDSCAPE TO BE REMOVED
- ② NON-HISTORIC WINDOWS TO BE REMOVED AND REPLACED
- ③ NON-HISTORIC DOORS TO BE REMOVED AND/OR REPLACED, EXCEPT AS NOTED
- ④ PORTION OF EXISTING BUILDING TO REMAIN (SHADED)
- ⑤ BUILDING TO REMAIN
- ⑥ ROOF ABOVE TO BE REMOVED AND REPLACED
- ⑦ PORTION OF EXISTING BUILDING TO BE REMOVED
- ⑧ INTERIOR WALLS AND FLOORS TO BE REMOVED
- ⑨ LAUNDRY ROOM STRUCTURE TO BE REMOVED
- ⑩ STAIRS TO BE REMOVED
- ⑪ STAIRS TO REMAIN, REPAIR AS NEEDED
- ⑫ PLANTER TO REMAIN, REPAIR AS NEEDED
- ⑬ UTILITY BOX/SHED TO BE REMOVED
- ⑭ PLANTER TO BE REMOVED

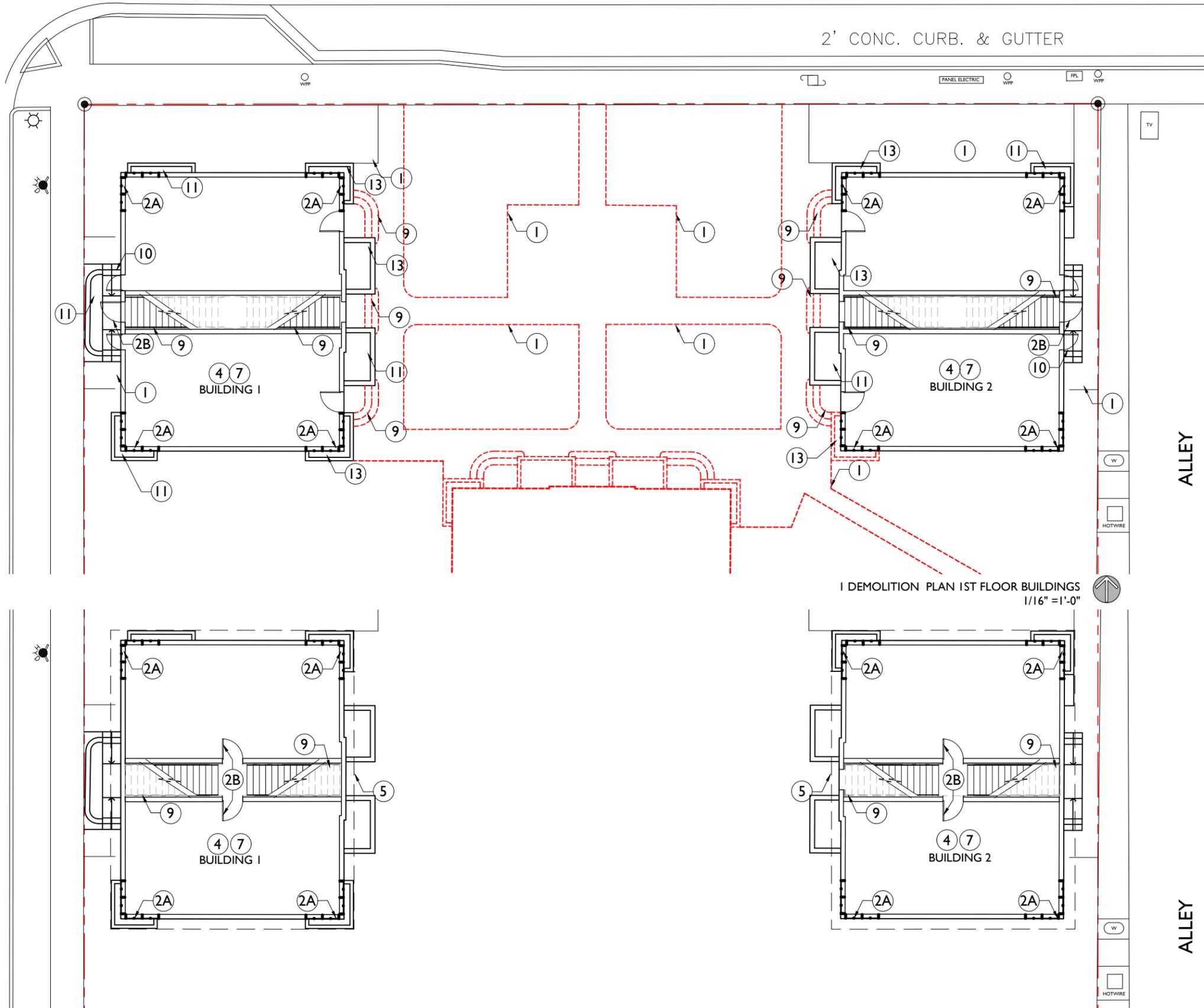
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ARCHITECTURE, INC. (S) 2022

SCALE: 1/32"=1'-0"

CHECK: JMcG

DATE: 08/08/2022

SHEET NUMBER



1 DEMOLITION PLAN 1ST FLOOR BUILDINGS
1/16" = 1'-0"

2 DEMOLITION PLAN 2ND FLOOR BUILDINGS
1/16" = 1'-0"

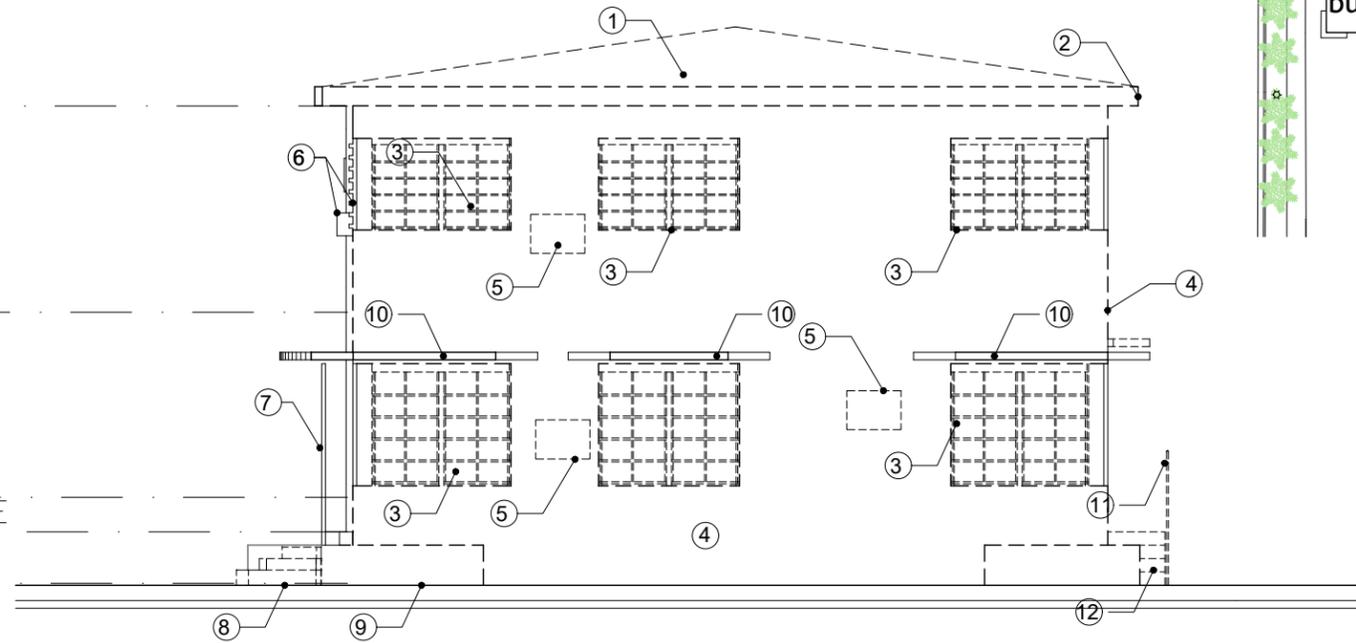
T.O. ROOF TIE BEAM EXISTING
EL. + 16'-1"

LEVEL 2 EXISTING (T.O.S)
EL. + 7'-1"

BASE FLOOD ELEVATION
EL. -1'-0" (+8'-0" NGVD)

GROUND LEVEL, EXISTING BUILDING FFE
EL. -2'-6" (+6'-6" NGVD)

GRADE
EL. -4'-9" (+4'-3" NGVD)



1. BUILDING 1 NORTH AND BUILDING 2 SOUTH DEMOLITION ELEVATIONS 1/8" = 1'-0"

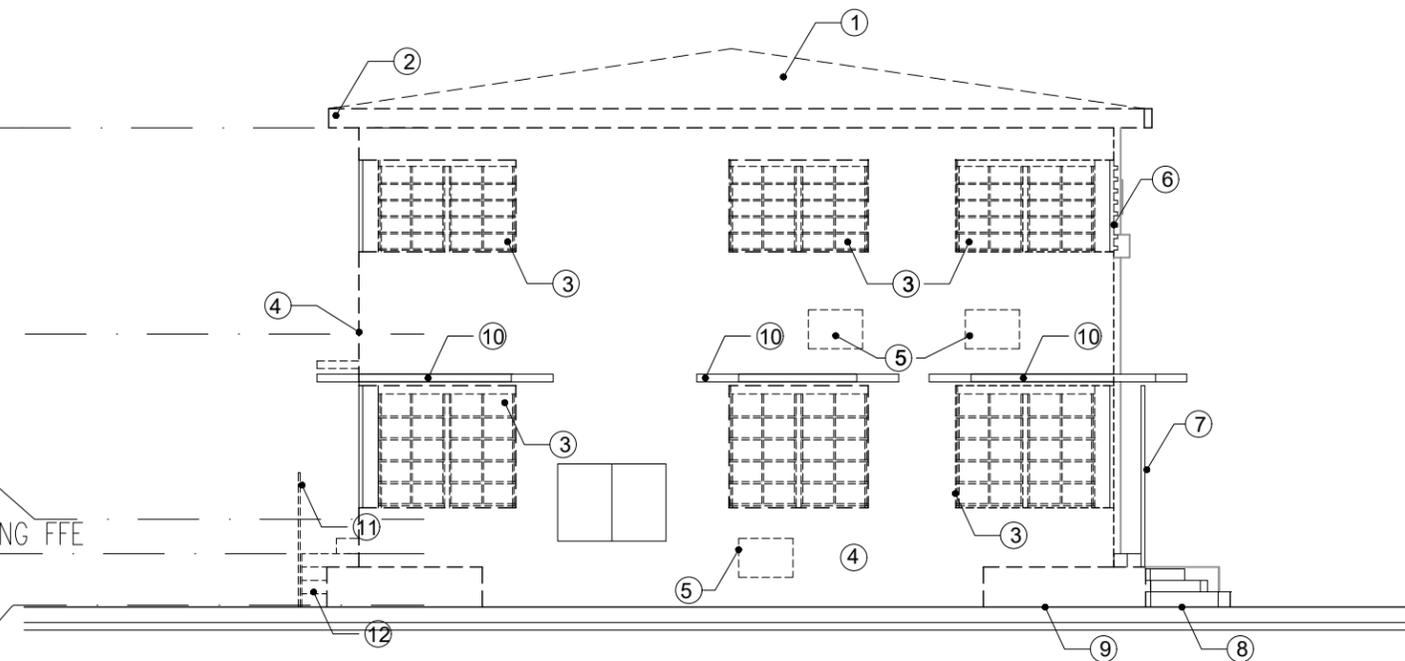
T.O. ROOF TIE BEAM EXISTING
EL. + 16'-1"

LEVEL 2 EXISTING (T.O.S)
EL. + 7'-1"

BASE FLOOD ELEVATION
EL. -1'-0" (+8'-0" NGVD)

GROUND LEVEL, EXISTING BUILDING FFE
EL. -2'-6" (+6'-6" NGVD)

GRADE
EL. -4'-9" (+4'-3" NGVD)



2. BUILDING 1 SOUTH AND BUILDING 2 NORTH DEMOLITION ELEVATIONS 1/8" = 1'-0"

DEMOLITION LEGEND:

① REMOVE EXISTING ASPHALT TILES. REMOVE PLYWOOD. REMOVE AND REPAIR ANY DAMAGED ROOF TRUSSES. ROOF TO BE REPLACED TO MATCH HISTORIC PHOTOS.

② REMOVE AND REPLACE FASCIA

③ REMOVE AND REPLACE NON-HISTORIC WINDOWS AND DOORS. NEW WINDOWS AND DOORS TO MATCH HISTORIC CONFIGURATION

④ ALL STUCCO TO BE PATCHED AND REPAIRED

⑤ REMOVE THRU-WALL A/C UNITS

⑥ STUCCO ORNAMENTAL REVEALS TO BE REPAIRED TO MATCH ORIGINAL

⑦ ORNAMENTAL SCREEN TO BE REPAIRED OR REPLACED TO MATCH ORIGINAL

⑧ PORTIONS OF STAIRS TO BE REMOVED OR BURIED DUE TO RAISING OF COURTYARD

⑨ STUCCO PLANTER TO BE REPAIRED

⑩ STUCCO EYEBROW TO BE REPAIRED

⑪ STEEL GUARDRAILS TO BE REPLACED TO MEET CODE

⑫ CONCRETE STAIRS TO BE REPAIRED

⑬ BREEZEBLOCK TO BE REPLACED OR REPAIRED TO MATCH EXISTING

⑭ ORNAMENTAL MEDALLION TO BE REPAIRED

NOTES:

PREPARE FACADES FOR PAINTING, PRESSURE CLEANING, WATERPROOFING AROUND WINDOWS, AND FOR ANY REPAIR OF LOOSE STUCCO

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SCALE: 1/32" = 1'-0"

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DATE: 12/14/2020

SHEET NUMBER

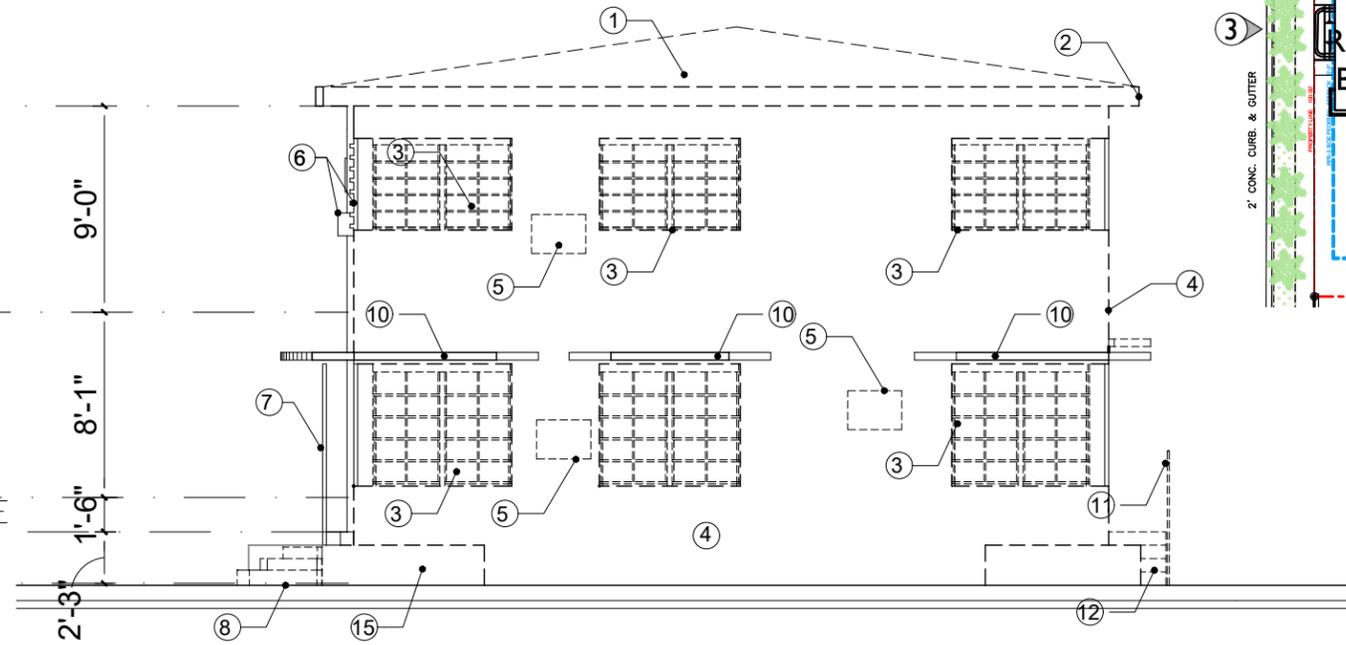
T.O. ROOF TIE BEAM EXISTING
EL. + 16'-1"

LEVEL 2 EXISTING (T.O.S)
EL. + 7'-1"

BASE FLOOD ELEVATION
EL. -1'-0" (+8'-0" NGVD)

GROUND LEVEL, EXISTING BUILDING FFE
EL. -2'-6" (+6'-6" NGVD)

GRADE
EL. -4'-9" (+4'-3" NGVD)



1. BUILDING 1 NORTH AND BUILDING 2 SOUTH DEMOLITION ELEVATIONS 1/8" = 1'-0"

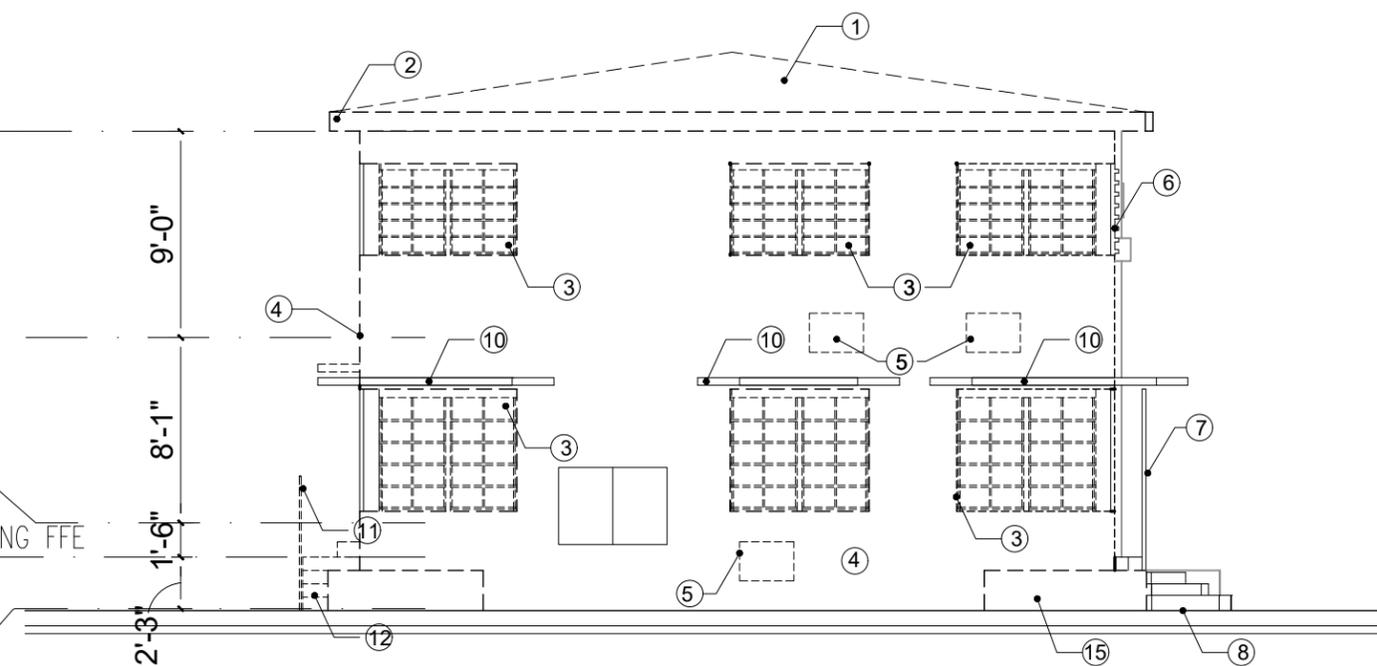
T.O. ROOF TIE BEAM EXISTING
EL. + 16'-1"

LEVEL 2 EXISTING (T.O.S)
EL. + 7'-1"

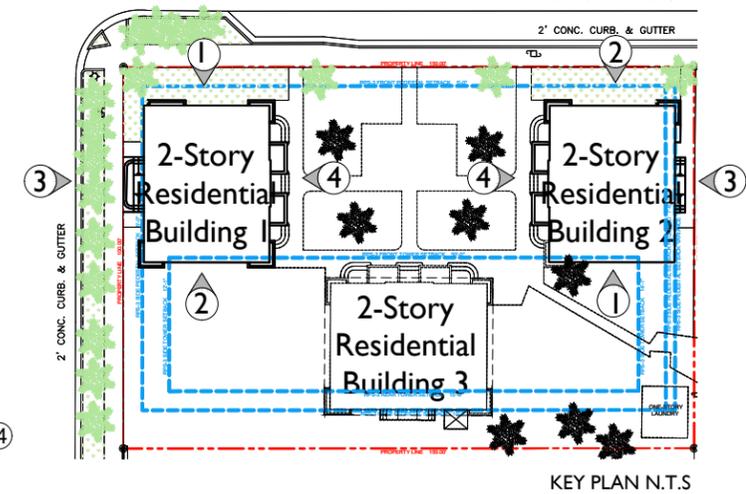
BASE FLOOD ELEVATION
EL. -1'-0" (+8'-0" NGVD)

GROUND LEVEL, EXISTING BUILDING FFE
EL. -2'-6" (+6'-6" NGVD)

GRADE
EL. -4'-9" (+4'-3" NGVD)



2. BUILDING 1 SOUTH AND BUILDING 2 NORTH DEMOLITION ELEVATIONS 1/8" = 1'-0"



DEMOLITION LEGEND:

- ① REMOVE EXISTING ASPHALT TILES. REMOVE PLYWOOD. REMOVE AND REPAIR ANY DAMAGED ROOF TRUSSES. ROOF TO BE REPLACED TO MATCH HISTORIC PHOTOS.
- ② REMOVE AND REPLACE FASCIA
- ③ REMOVE AND REPLACE NON-HISTORIC WINDOWS AND DOORS.
- ④ ALL STUCCO TO BE PATCHED AND REPAIRED
- ⑤ REMOVE THRU-WALL A/C UNITS
- ⑥ STUCCO ORNAMENTAL REVEALS TO BE REPAIRED TO MATCH ORIGINAL
- ⑦ ORNAMENTAL SCREEN TO BE REPAIRED OR REPLACED TO MATCH ORIGINAL
- ⑧ PORTIONS OF STAIRS TO BE REMOVED OR BURIED DUE TO RAISING OF COURTYARD
- ⑨ STUCCO PLANTER TO BE REPAIRED
- ⑩ STUCCO EYEBROW TO BE REPAIRED
- ⑪ STEEL GUARDRAILS TO BE REPLACED TO MEET CODE
- ⑫ CONCRETE STAIRS TO BE REPAIRED
- ⑬ BREEZBLOCK TO BE REPLACED OR REPAIRED TO MATCH EXISTING
- ⑭ ORNAMENTAL MEDALLION TO BE REPAIRED
- ⑮ PLANTER TO BE REMOVED

NOTES:

PREPARE FACADES FOR PAINTING, PRESSURE CLEANING, WATERPROOFING AROUND WINDOWS, AND FOR ANY REPAIR OF LOOSE STUCCO

*1 REPLACE WITH NEW IMPACT WINDOW

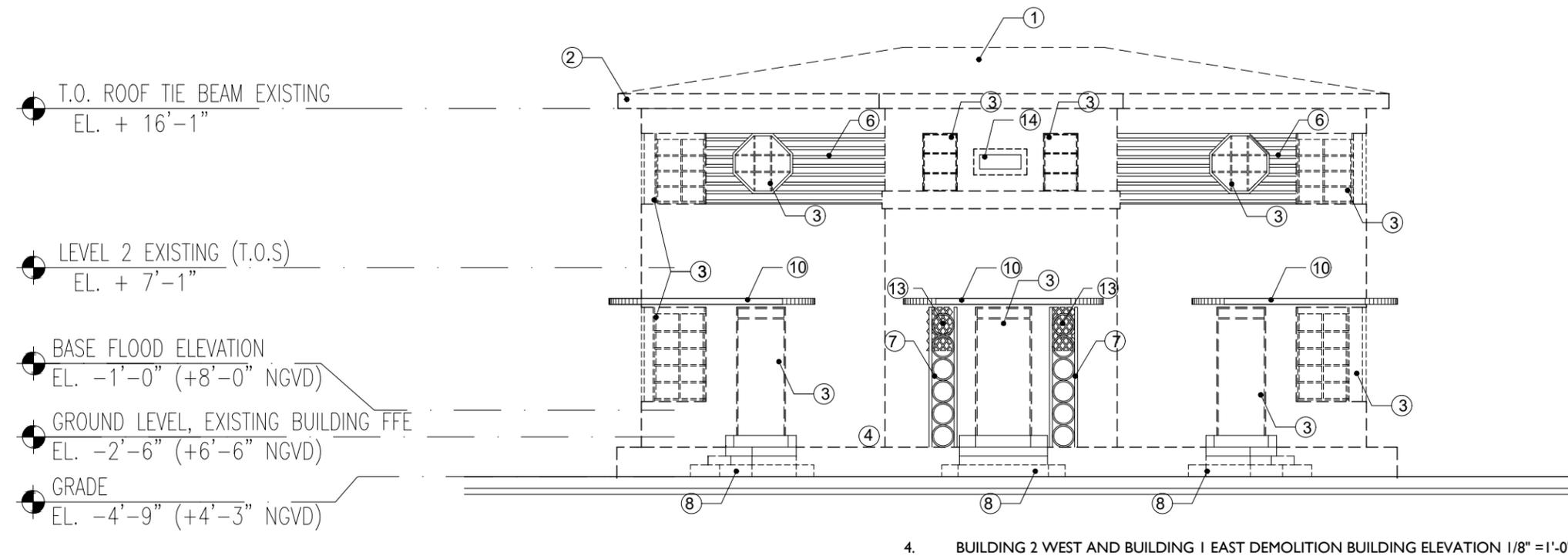
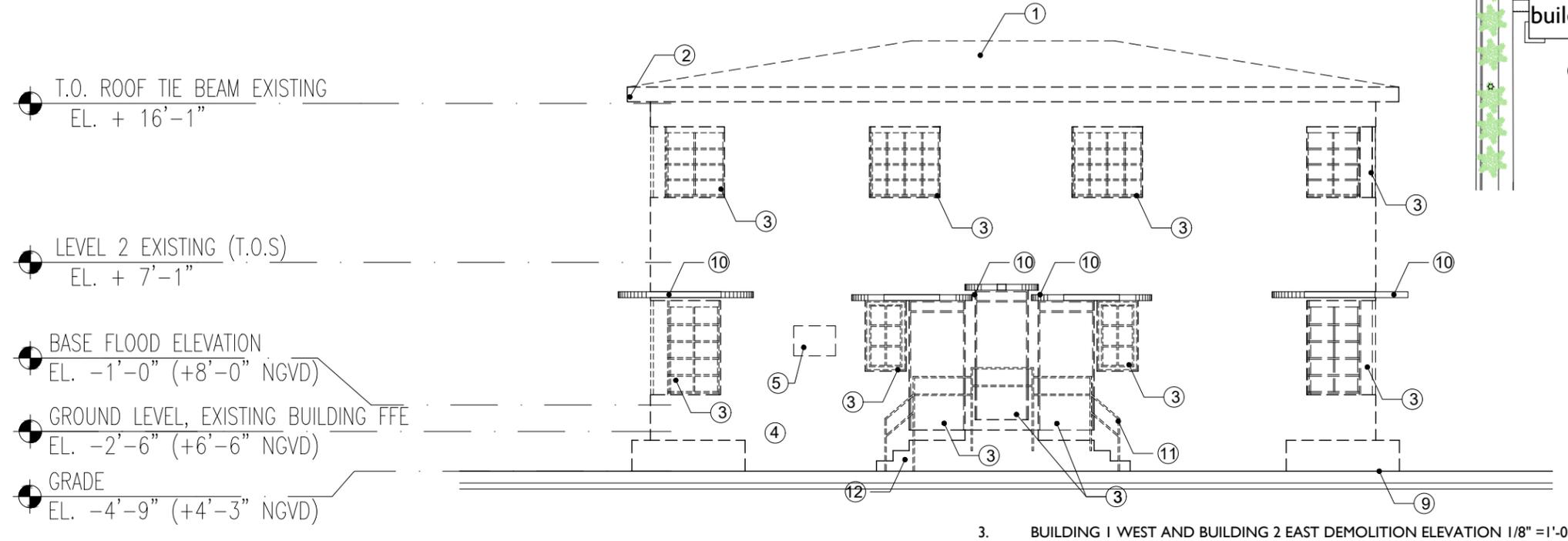
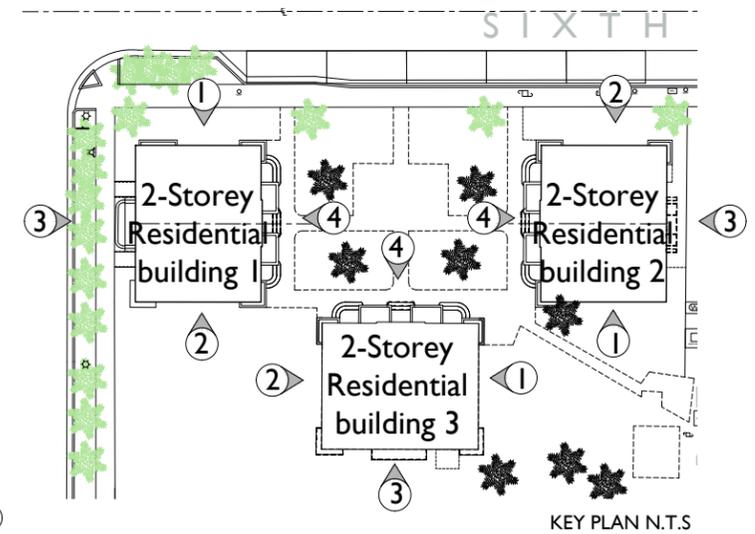
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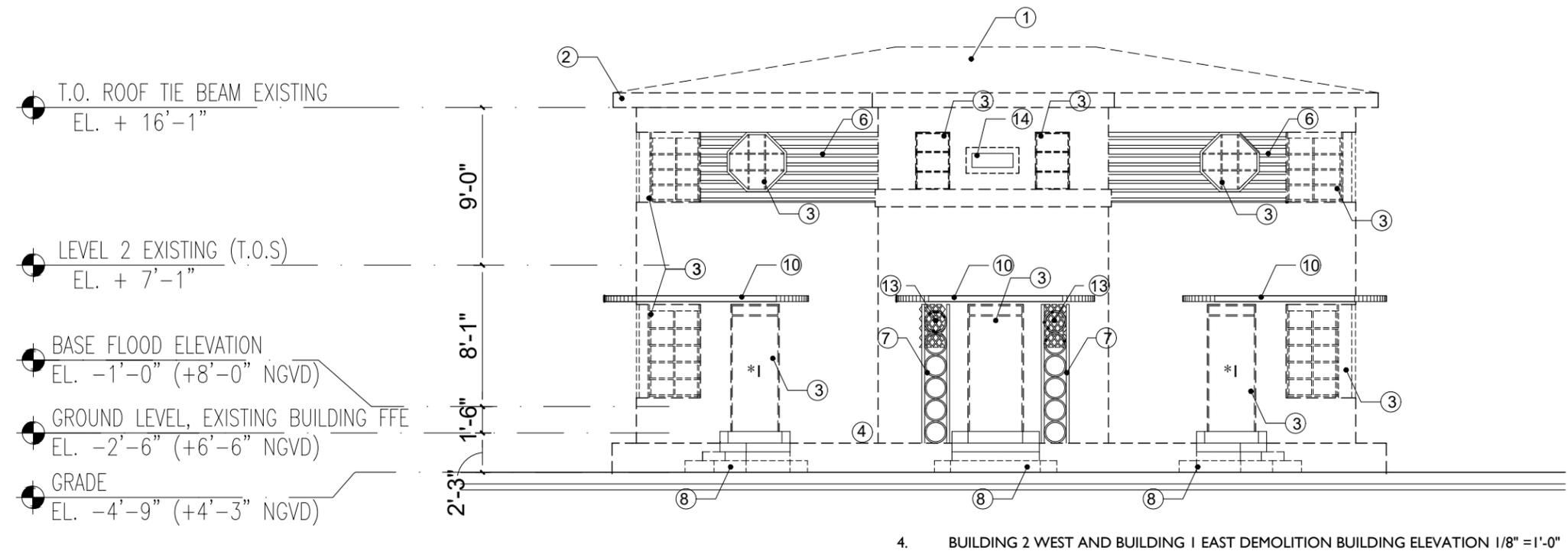
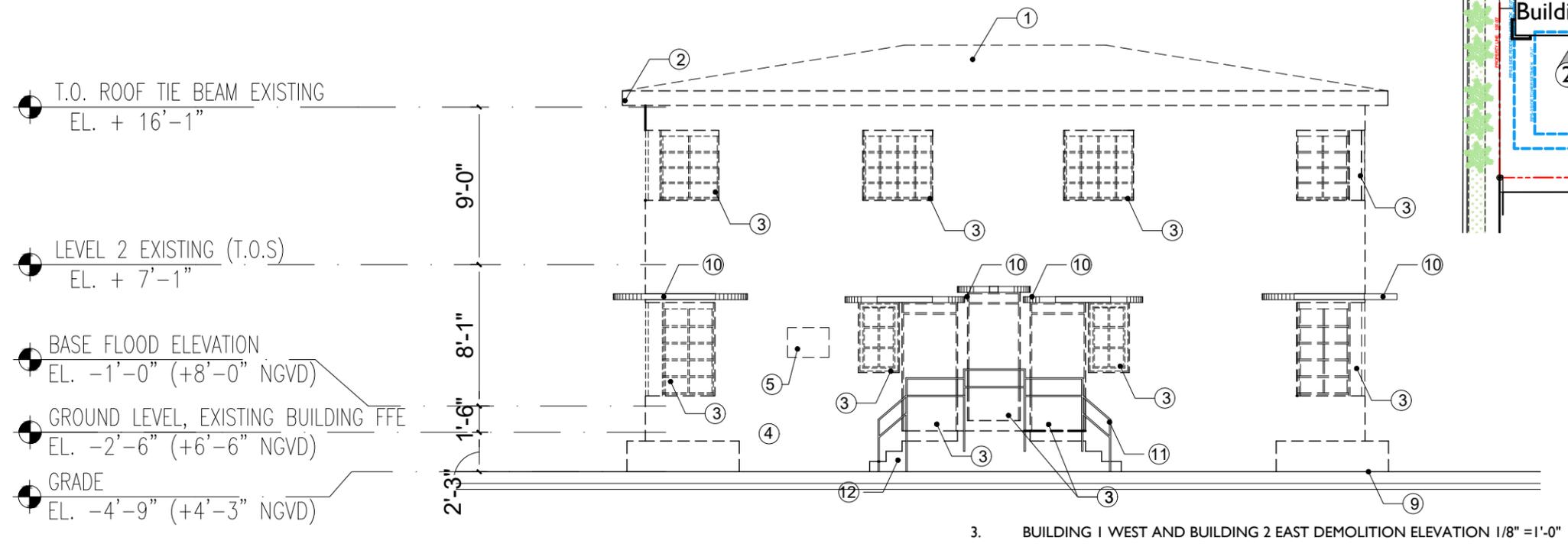
DEMOLITION LEGEND:

- ① REMOVE EXISTING ASPHALT TILES. REMOVE PLYWOOD. REMOVE AND REPAIR ANY DAMAGED ROOF TRUSSES. ROOF TO BE REPLACED TO MATCH HISTORIC PHOTOS.
- ② REMOVE AND REPLACE FASCIA
- ③ REMOVE AND REPLACE NON-HISTORIC WINDOWS AND DOORS. NEW WINDOWS AND DOORS TO MATCH HISTORIC CONFIGURATION
- ④ ALL STUCCO TO BE PATCHED AND REPAIRED
- ⑤ REMOVE THRU-WALL A/C UNITS
- ⑥ STUCCO ORNAMENTAL REVEALS TO BE REPAIRED TO MATCH ORIGINAL
- ⑦ ORNAMENTAL SCREEN TO BE REPAIRED OR REPLACED TO MATCH ORIGINAL
- ⑧ PORTIONS OF STAIRS TO BE REMOVED OR BURIED DUE TO RAISING OF COURTYARD
- ⑨ STUCCO PLANTER TO BE REPAIRED
- ⑩ STUCCO EYEBROW TO BE REPAIRED
- ⑪ STEEL GUARDRAILS TO BE REPLACED TO MEET CODE
- ⑫ CONCRETE STAIRS TO BE REPAIRED
- ⑬ BREEZEBLOCK TO BE REPLACED OR REPAIRED TO MATCH EXISTING
- ⑭ ORNAMENTAL MEDALLION TO BE REPAIRED

NOTES:

PREPARE FACADES FOR PAINTING, PRESSURE CLEANING, WATERPROOFING AROUND WINDOWS, AND FOR ANY REPAIR OF LOOSE STUCCO

**BUILDINGS 1
AND 2
DEMOLITION
ELEVATIONS
AND NOTES**



DEMOLITION LEGEND:

- ① REMOVE EXISTING ASPHALT TILES. REMOVE PLYWOOD. REMOVE AND REPAIR ANY DAMAGED ROOF TRUSSES. ROOF TO BE REPLACED TO MATCH HISTORIC PHOTOS.
- ② REMOVE AND REPLACE FASCIA
- ③ REMOVE AND REPLACE NON-HISTORIC WINDOWS AND DOORS.
- ④ ALL STUCCO TO BE PATCHED AND REPAIRED
- ⑤ REMOVE THRU-WALL A/C UNITS
- ⑥ STUCCO ORNAMENTAL REVEALS TO BE REPAIRED TO MATCH ORIGINAL
- ⑦ ORNAMENTAL SCREEN TO BE REPAIRED OR REPLACED TO MATCH ORIGINAL
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- ⑪ STEEL GUARDRAILS TO BE REPLACED TO MEET CODE
- ⑫ CONCRETE STAIRS TO BE REPAIRED
- ⑬ BREEZEBLOCK TO BE REPLACED OR REPAIRED TO MATCH EXISTING
- ⑭ ORNAMENTAL MEDALLION TO BE REPAIRED
- ⑮ PLANTER TO BE REMOVED

NOTES:

PREPARE FACADES FOR PAINTING, PRESSURE CLEANING, WATERPROOFING AROUND WINDOWS, AND FOR ANY REPAIR OF LOOSE STUCCO

*1 REPLACE WITH NEW IMPACT WINDOW

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SCALE: 1/32" = 1'-0"
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SHEET NUMBER

**EXISTING
BUILDING 3
DEMOLITION
ELEVATIONS
AND NOTES**

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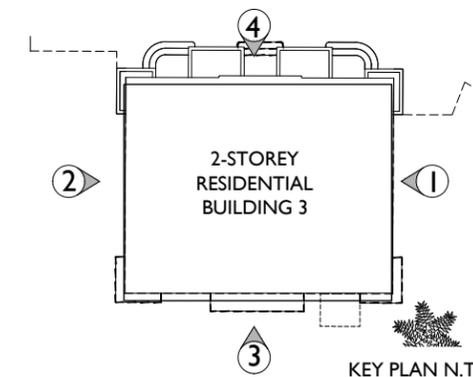
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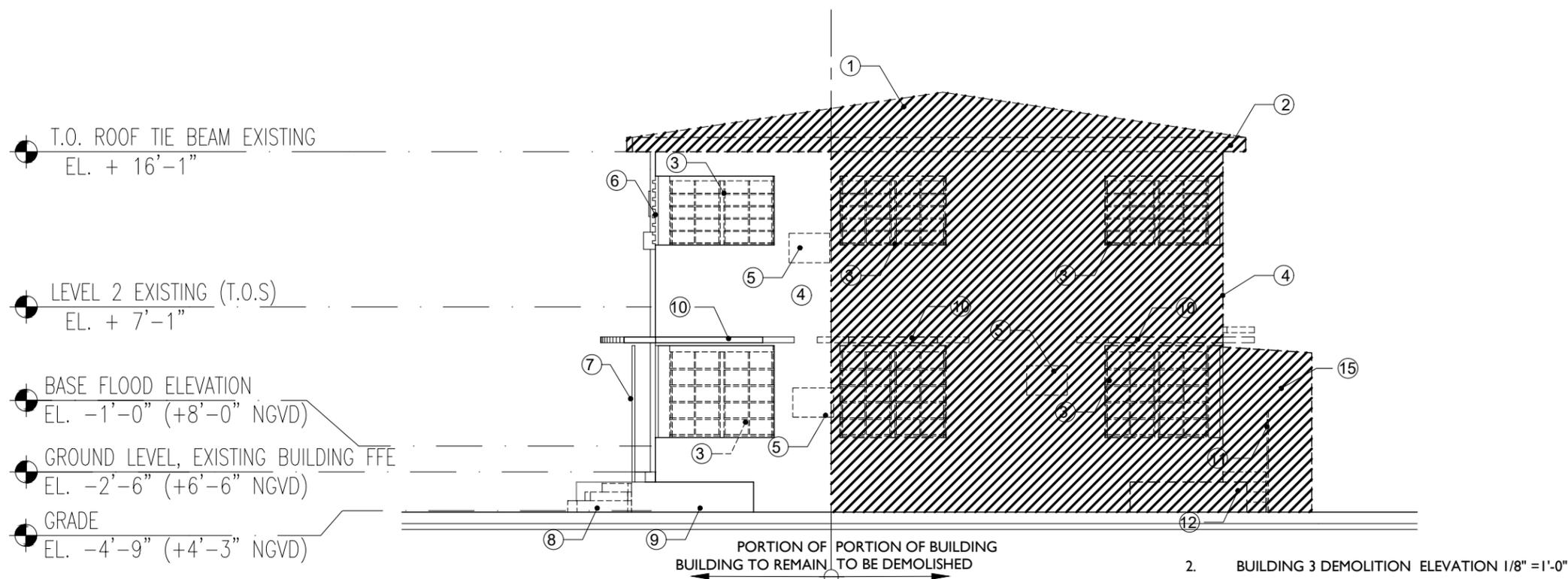
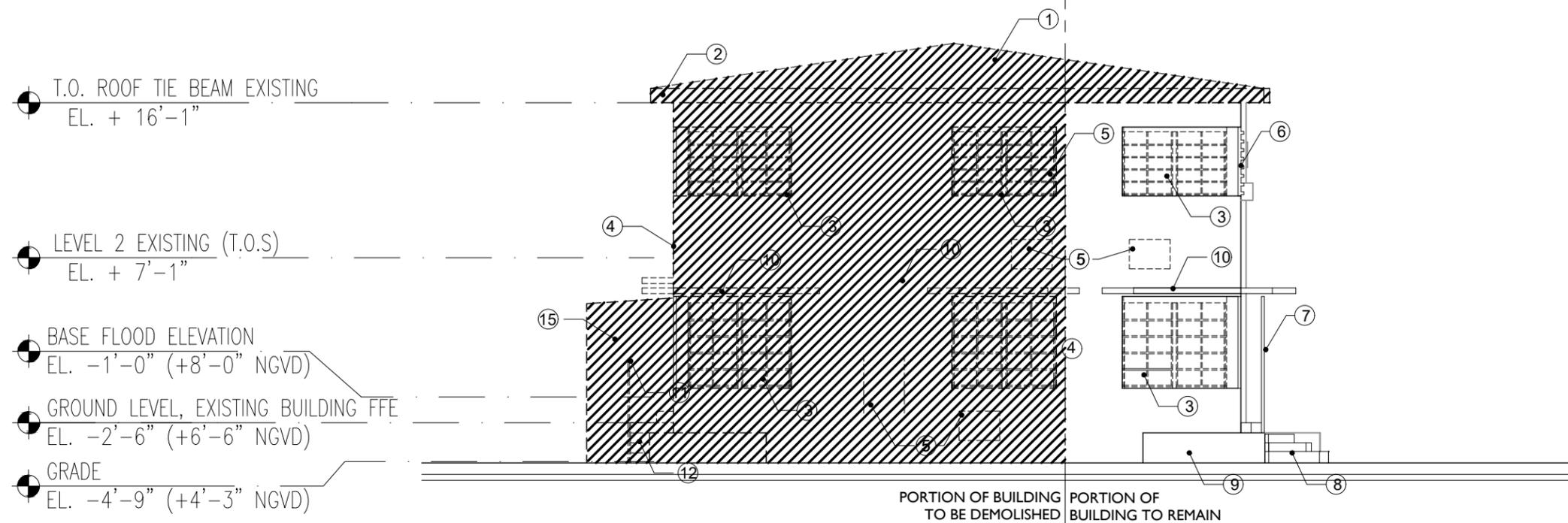


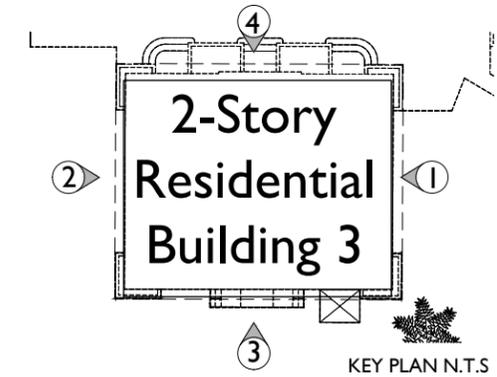
DEMOLITION LEGEND:

- ① REMOVE ROOF
- ② REMOVE AND REPLACE FASCIA PORTION AS DENOTED
- ③ REMOVE AND REPLACE NON-HISTORIC WINDOWS AND DOORS. NEW WINDOWS AND DOORS TO MATCH HISTORIC CONFIGURATION V
- ④ ALL STUCCO TO BE PATCHED AND REPAIRED
- ⑤ REMOVE THRU-WALL A/C UNITS
- ⑥ STUCCO ORNAMENTAL REVEALS TO BE REPAIRED TO MATCH ORIGINAL
- ⑦ ORNAMENTAL SCREEN TO BE REPAIRED OR REPLACED TO MATCH ORIGINAL
- ⑧ PORTIONS OF STAIRS TO BE REMOVED OR BURIED DUE TO RAISING OF COURTYARD
- ⑨ STUCCO PLANTER TO BE REPAIRED / REMOVED AS DENOTED
- ⑩ STUCCO EYEBROW TO BE REPAIRED AS DENOTED
- ⑪ STEEL GUARDRAILS TO BE REMOVED AS DENOTED
- ⑫ CONCRETE STAIRS TO BE REMOVED AS DENOTED
- ⑬ BREEZEBLOCK TO BE REPLACED OR REPAIRED TO MATCH EXISTING
- ⑭ ORNAMENTAL MEDALLION TO BE REPAIRED
- ⑮ UTILITY STRUCTURE TO BE REMOVED

NOTES:
PREPARE FACADES FOR PAINTING, PRESSURE
CLEANING, WATERPROOFING AROUND
WINDOWS, AND FOR ANY REPAIR OF LOOSE
STUCCO

DENOTES PORTION OF BUILDING TO BE DEMOLISHED





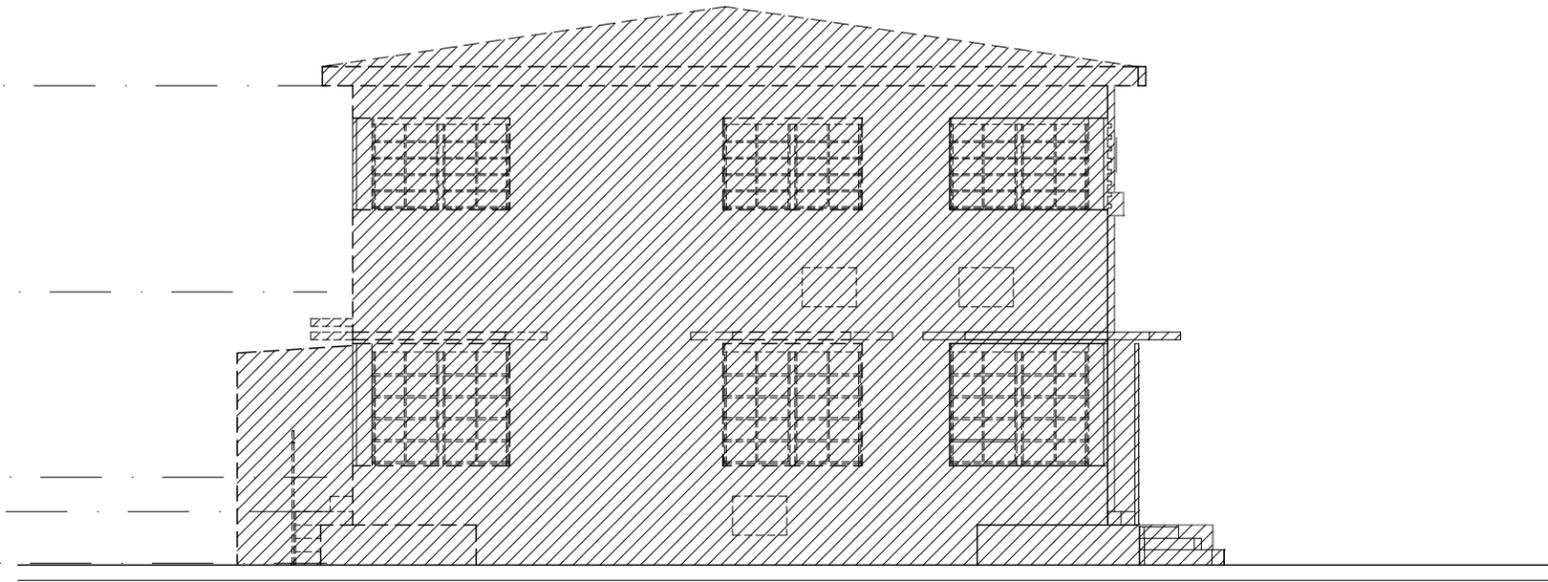
T.O. ROOF TIE BEAM EXISTING
EL. + 16'-1"

LEVEL 2 EXISTING (T.O.S)
EL. + 7'-1"

BASE FLOOD ELEVATION
EL. -1'-0" (+8'-0" NGVD)

GROUND LEVEL, EXISTING BUILDING FFE
EL. -2'-6" (+6'-6" NGVD)

GRADE
EL. -4'-9" (+4'-3" NGVD)



1. BUILDING 3 DEMOLITION ELEVATION 1/8" = 1'-0"

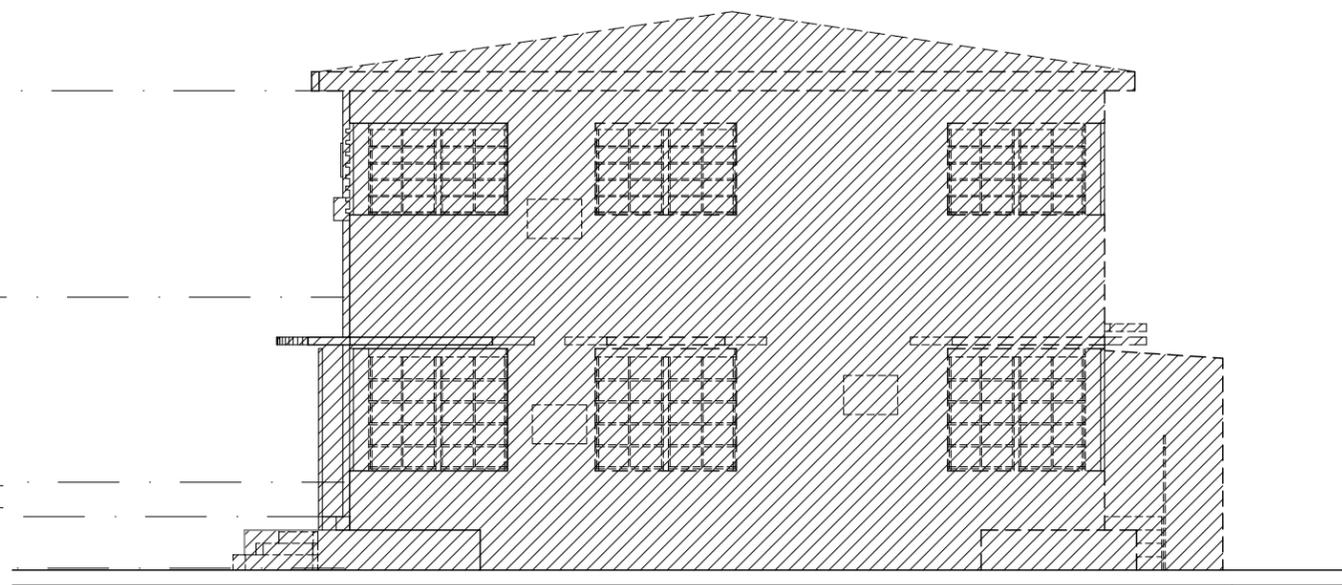
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LEVEL 2 EXISTING (T.O.S)
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BASE FLOOD ELEVATION
EL. -1'-0" (+8'-0" NGVD)

GROUND LEVEL, EXISTING BUILDING FFE
EL. -2'-6" (+6'-6" NGVD)

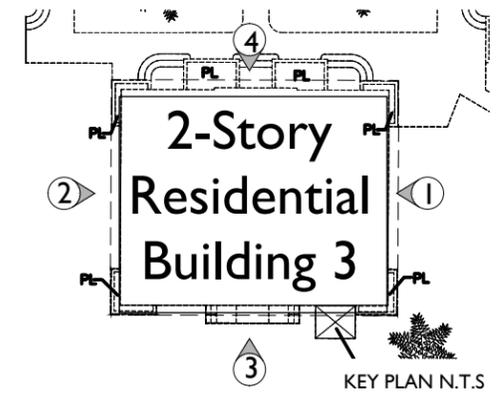
GRADE
EL. -4'-9" (+4'-3" NGVD)



2. BUILDING 3 DEMOLITION ELEVATION 1/8" = 1'-0"



DENOTES PORTION OF BUILDING
TO BE DEMOLISHED



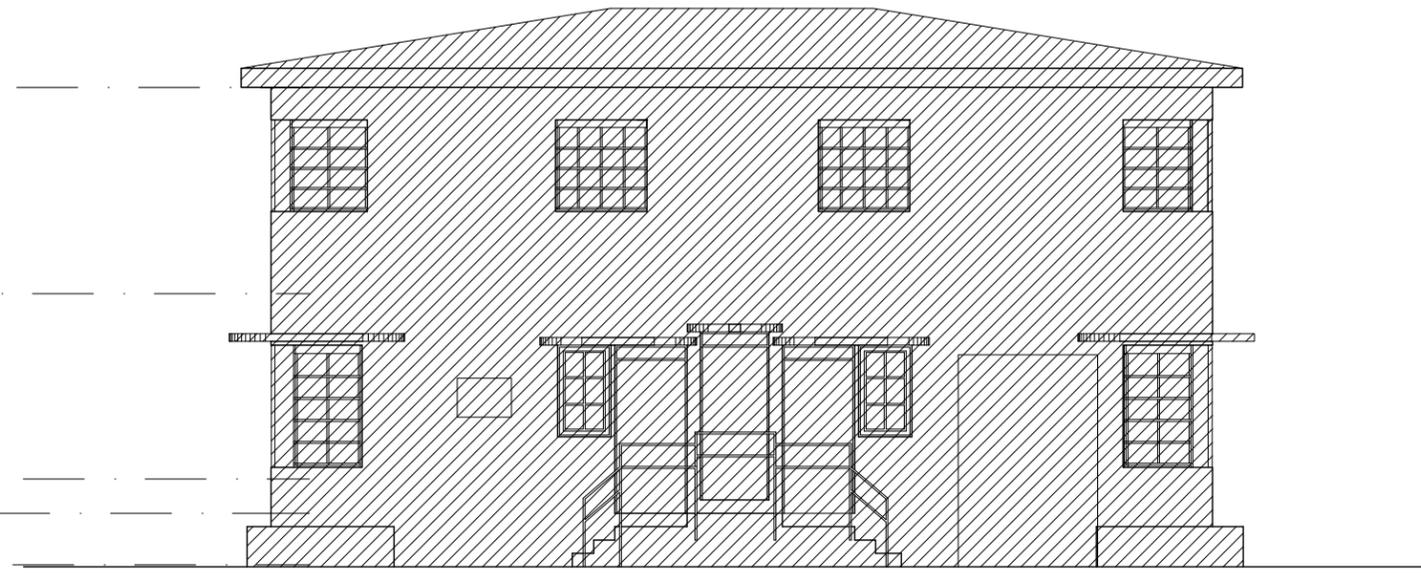
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LEVEL 2 EXISTING (T.O.S)
EL. + 7'-1"

BASE FLOOD ELEVATION
EL. -1'-0" (+8'-0" NGVD)

GROUND LEVEL, EXISTING BUILDING FFE
EL. -2'-6" (+6'-6" NGVD)

GRADE
EL. -4'-9" (+4'-3" NGVD)



3. BUILDING 3 DEMOLITION ELEVATION 1/8" = 1'-0"

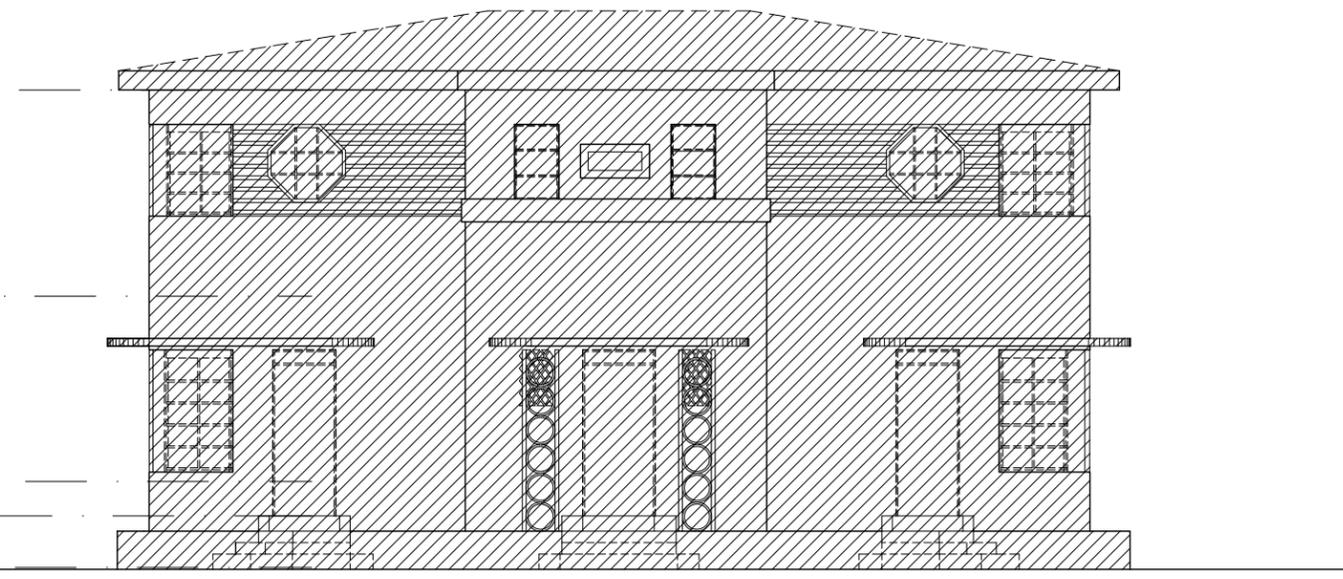
T.O. ROOF TIE BEAM EXISTING
EL. + 16'-1"

LEVEL 2 EXISTING (T.O.S)
EL. + 7'-1"

BASE FLOOD ELEVATION
EL. -1'-0" (+8'-0" NGVD)

GROUND LEVEL, EXISTING BUILDING FFE
EL. -2'-6" (+6'-6" NGVD)

GRADE
EL. -4'-9" (+4'-3" NGVD)



4. BUILDING 3 DEMOLITION ELEVATION 1/8" = 1'-0"



DENOTES PORTION OF BUILDING
TO BE DEMOLISHED

SEE SHEET A.300A FOR RECONSTRUCTED FACADE ELEVATIONS