



the goodtime hotel





601-685 Washington Ave.  
Miami Beach, FL

## Site Aerial

Historic Preservation Board Modification: Final Revised Submittal / 10 December 2021







601-685 Washington Ave.  
Miami Beach, FL

## Site Aerial Closeup

Historic Preservation Board Modification: Final Revised Submittal / 10 December 2021



# Efforts to Revitalize Washington Avenue

- 2014-2015 Mayor's Blue Ribbon Panel for Washington Avenue
- Applicant was an active participant and a key player in the revitalization, which resulted in the creation of the CD-2 Washington Avenue Regulations.
- the goodtime hotel is catalyst project, one of the first new developments on Washington Avenue



## WASHINGTON AVENUE VISION AND MASTER PLAN



WASHINGTON AVENUE BLUE RIBBON PANEL  
Zoning Incentives Summary Packet  
05.2015

ZYSCOVICH  
ARCHITECTS

The GOALS and OBJECTIVES of the Washington Avenue Master Plan is to:

1. Preserve the historical, architectural and cultural character of Washington Avenue as the City's "Main Street";
2. Provide for redevelopment, adaptive reuse and infill resulting in economic vitality for the betterment of the community and the City as a whole;
3. Create commercial development opportunities that provides quality goods and services to neighborhood residents and tourists alike;
4. Allow for a high level of mobility for pedestrians, cyclists, automobiles and public transit; and
5. Allow for quality public spaces and beach access to capitalize on the corridor's location and surrounding environs.

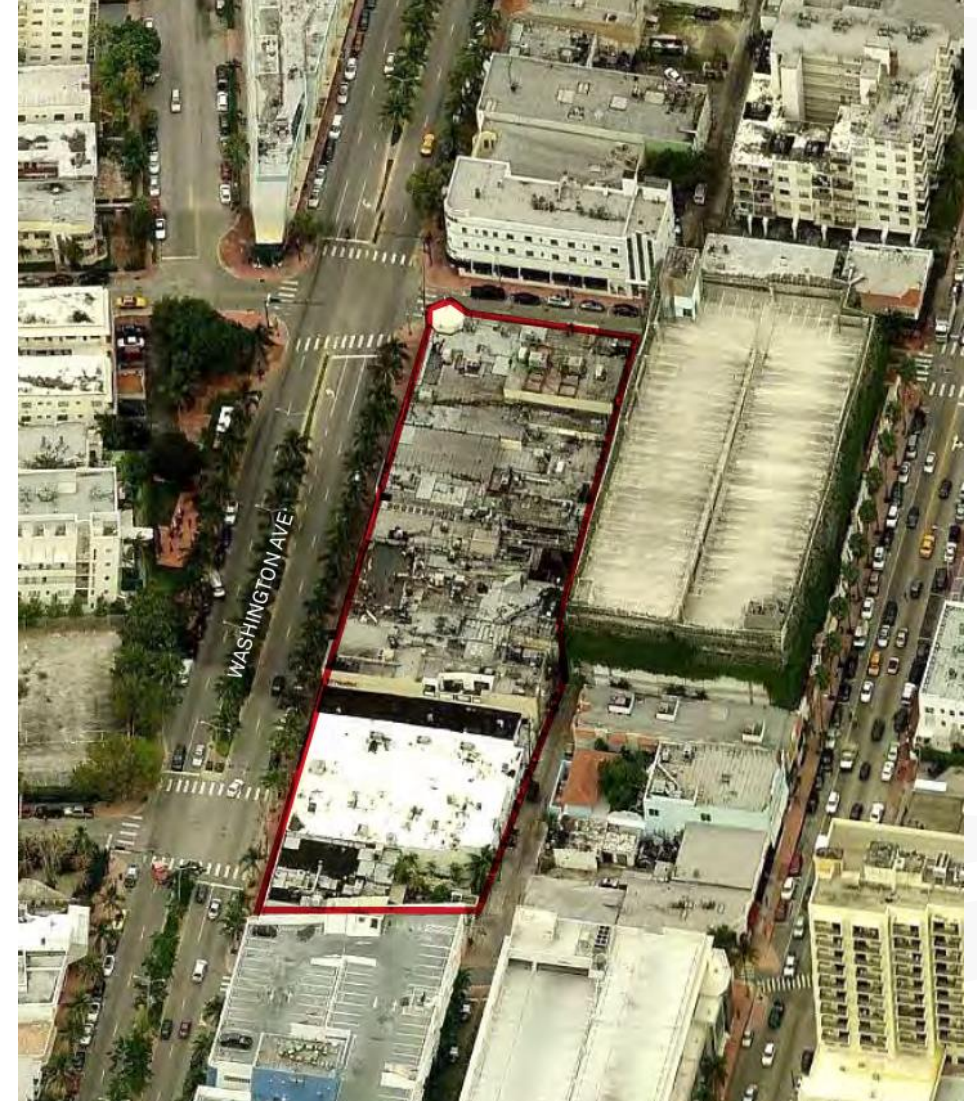
## WASHINGTON AVENUE ZONING INCENTIVES

ORDINANCE NO. 2015-3974

AN ORDINANCE OF THE MAYOR AND CITY COMMISSION OF THE CITY OF MIAMI BEACH, FLORIDA, AMENDING THE LAND DEVELOPMENT REGULATIONS (LDR's) OF THE CITY CODE, BY AMENDING CHAPTER 142, "ZONING DISTRICTS AND REGULATIONS," ARTICLE II, "DISTRICT REGULATIONS," DIVISION 5, "CD-2 COMMERCIAL, MEDIUM INTENSITY DISTRICT," TO ESTABLISH SECTION 13-309, "WASHINGTON AVENUE DEVELOPMENT REGULATIONS AND AREA REQUIREMENTS," TO MODIFY THE DEVELOPMENT REGULATIONS FOR PROPERTIES FRONTING WASHINGTON AVENUE BETWEEN 6<sup>TH</sup> STREET AND LINCOLN ROAD; BY AMENDING CHAPTER 130, "OFF-STREET PARKING," ARTICLE II, "DISTRICTS; REQUIREMENTS," TO ESTABLISH PARKING DISTRICT 7 TO MODIFY THE PARKING REQUIREMENTS FOR THE PROPERTIES FRONTING WASHINGTON AVENUE BETWEEN 6<sup>TH</sup> STREET AND LINCOLN; PROVIDING FOR CODIFICATION; REPEALER; SEVERABILITY; AND AN EFFECTIVE DATE.



# Prior to Construction





# Construction Progress



**G.T. McDONALD ENTERPRISES, INC.**  
General Contractor

601-685 Washington Avenue

Print #190222482  
Date: 02/22/19  
Lat/Lon: 25.776352 -80.133516  
Order No. 65538  
Aerial Photography, Inc. 954-568-0484



**G.T. McDONALD ENTERPRISES, INC.**  
General Contractor

601-685 Washington Avenue

Print #190222483  
Date: 02/22/19  
Lat/Lon: 25.776352 -80.133516  
Order No. 65538  
Aerial Photography, Inc. 954-568-0484



# Construction Completed



**G.T. McDONALD ENTERPRISES, INC.**  
General Contractor

601-685 Washington Avenue

Print #201222261  
Date: 12/22/20  
Lat/Lon: 25.776352 -80.133516  
Order No. 65538  
Aerial Photography, Inc. 954-568-0484



**G.T. McDONALD ENTERPRISES, INC.**  
General Contractor

601-685 Washington Avenue

Print #201222262  
Date: 12/22/20  
Lat/Lon: 25.776352 -80.133516  
Order No. 65538  
Aerial Photography, Inc. 954-568-0484



# Street Frontage Comparison



1  
617-625 WASHINGTON AVE



2  
633-637 WASHINGTON AVE



3  
637-647 WASHINGTON AVE



4  
657-665 WASHINGTON AVE



**Before Construction**

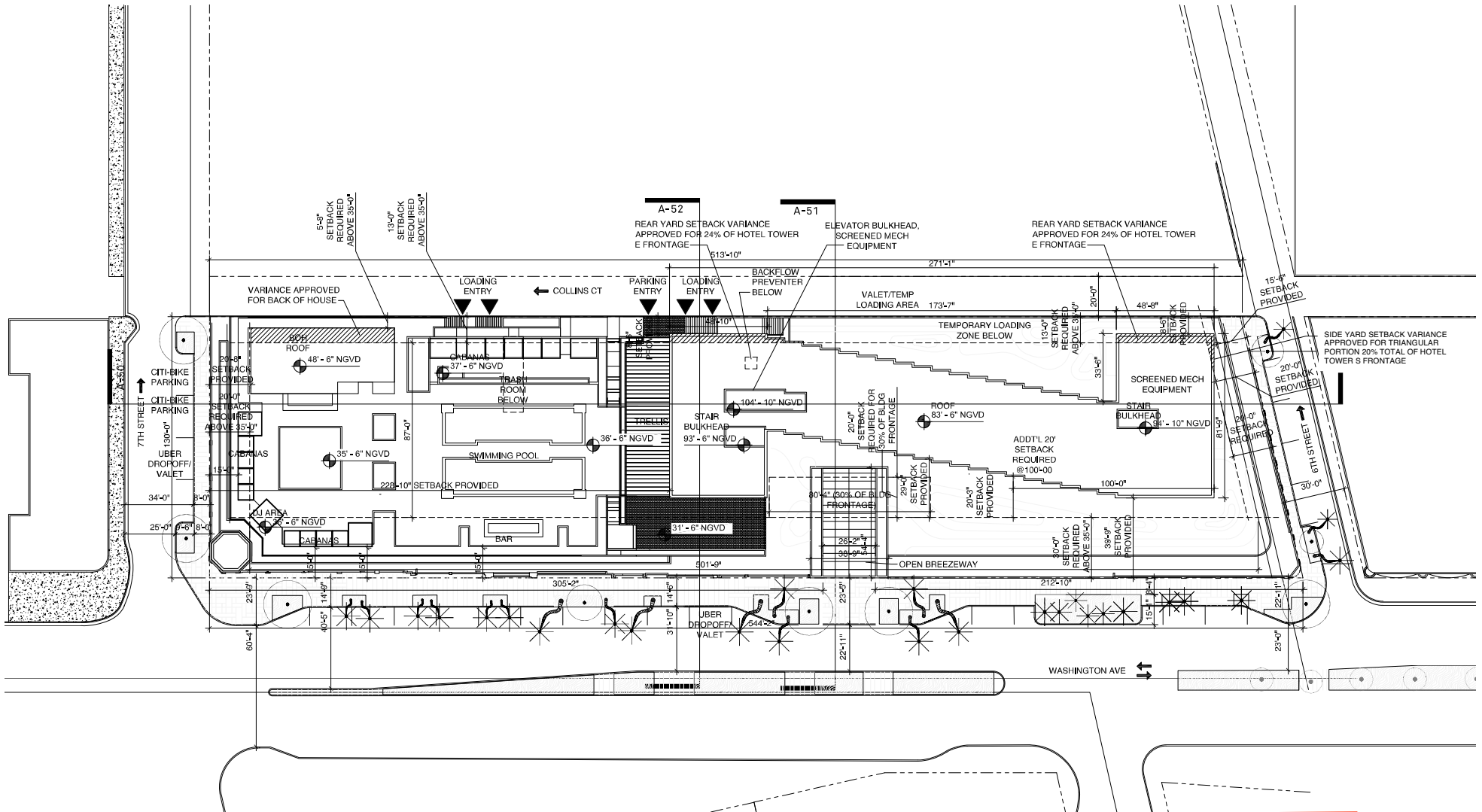


**After Construction**



# Construction Completed





Morris Adjmi Architects  
www.ma.com  
O'Brien Lighting Inc

Washington  
Squared LLC  
Ken Fulk

Raymond Jungles  
Inc.  
Nichols Brosch  
Wurst Wolfe &  
Associates

601-685 Washington Ave.  
Miami Beach, FL

## Proposed Site Plan

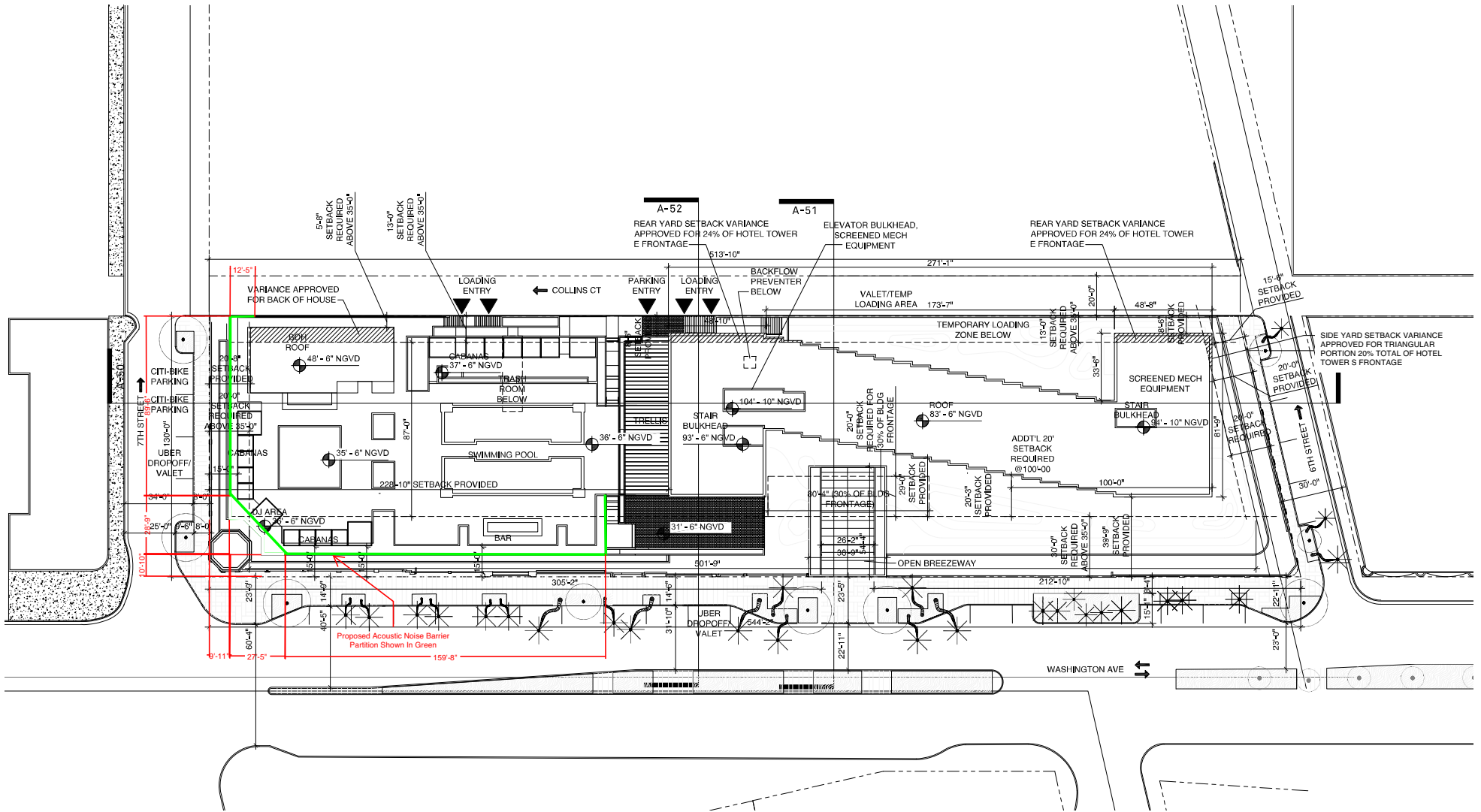
Historic Preservation Board Modifications: First Submittal / 16 August 2021

Approved

0' 10' 20' 50' 100'







Morris Adjmi Architects  
www.ma.com  
O'Brien Lighting Inc

Washington  
Squared LLC  
Ken Fulk

Raymond Jungles  
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Nichols Brosch  
Wurst Wolfe &  
Associates

601-685 Washington Ave.  
Miami Beach, FL

## Proposed Site Plan

Historic Preservation Board Modifications: First Submittal / 16 August 2021

**Proposed**

0' 10' 20' 50' 100'




Owner:  
Washington Squared Owner, LLC  
Dreamscape Companies LLC  
c/o Washington Squared Owner LLC  
PO box 468  
Hasbrouck Heights, NJ 07604

**Juan Alayo** Digitally signed by Juan Alayo  
Date: 2021.12.03 14:57:23 -05'00'



**PROJECT:**  
601 Washington Ave. Noise Barrier  
  
601-685 Washington Avenue  
Miami Beach, FL 33139

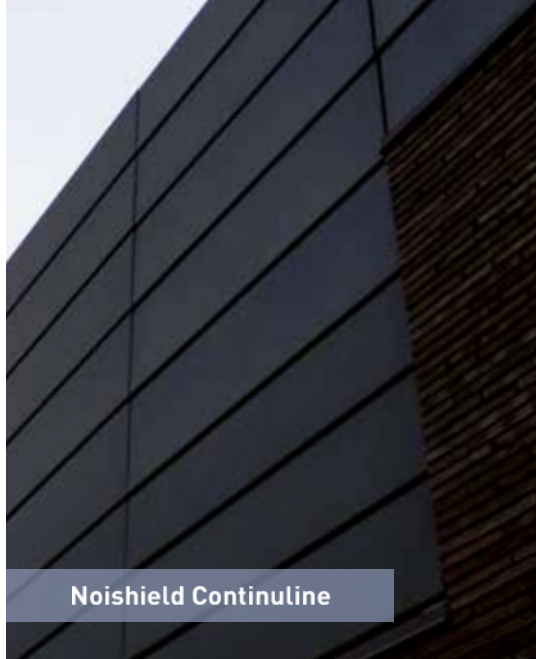
SEAL & SIGNATURE:	DATE: 09/07/2021
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	FULL SCALE:
	SHEET SIZE:
	DRAWING NO.:
	A-302
	PAGE NO.:



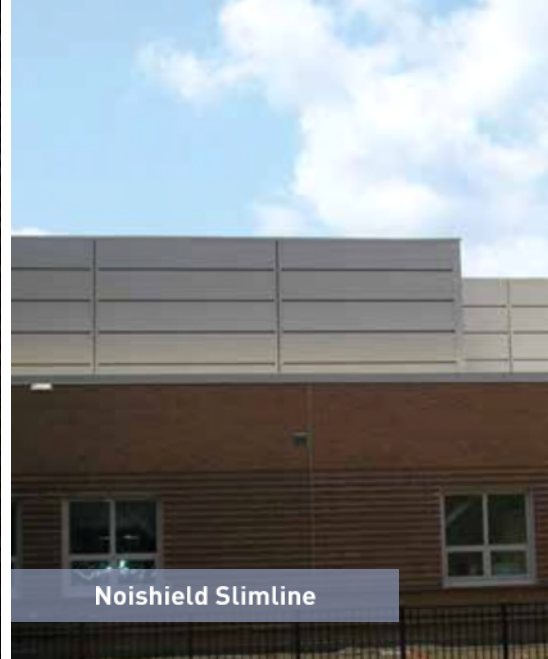




Noishield Continuline



Noishield Continuline



Noishield Slimline


## Noishield Continuline Detail for Concealed Columns

IAC's Continuline is more aesthetically pleasing than a traditional barrier wall — it allows architects and customers to conceal their structural members. The Continuline panels are the same construction as the standard FS panels. The key difference is the endcap — the endcap wraps the column; leaving an architecturally pleasing reveal that mimics the horizontal reveal already prevalent in the system. Continuline's primary applications include rooftop systems, train/rail and ground mounted.

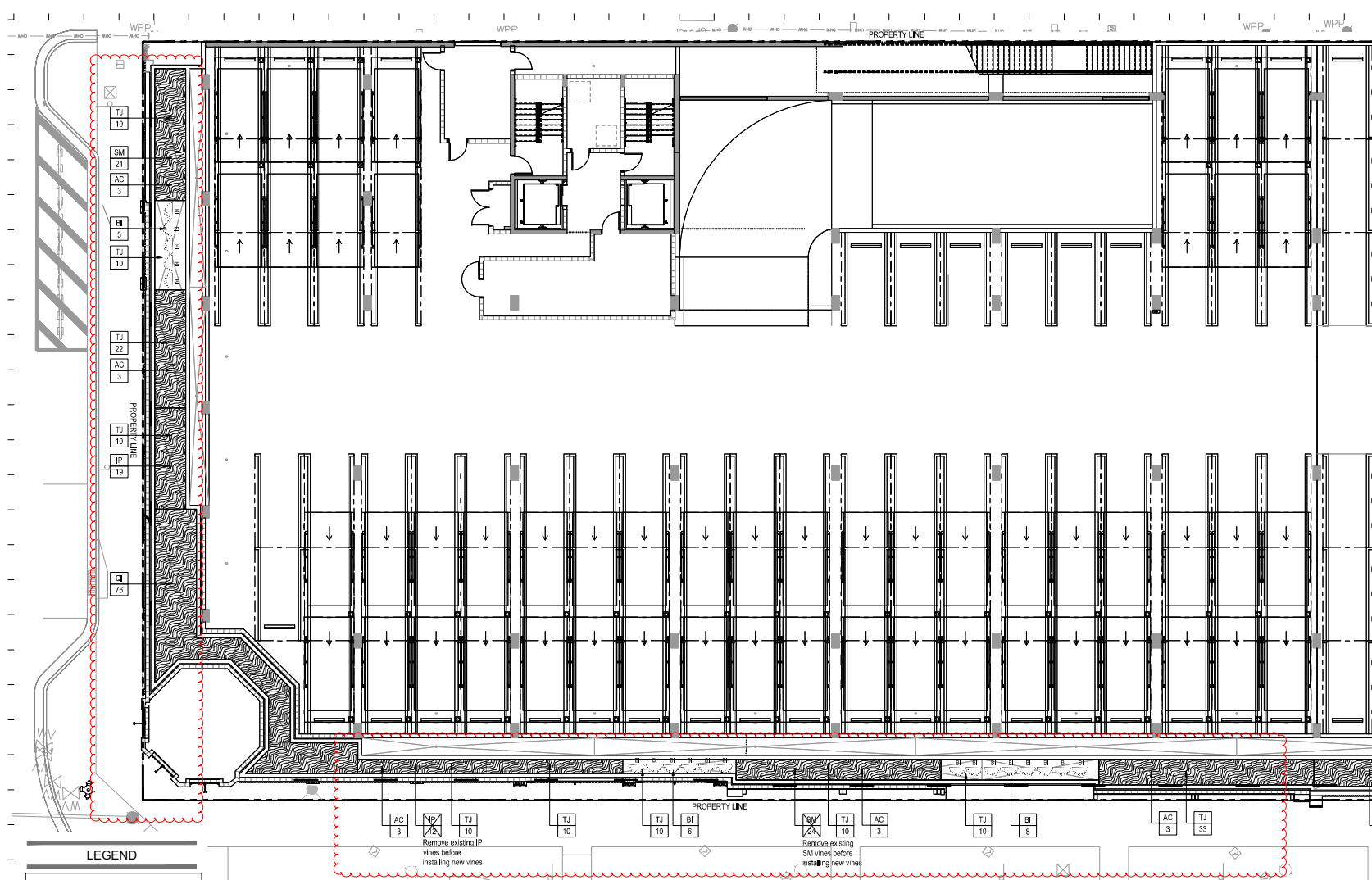
- Superior aesthetic
- Special slotted end-caps
- Solid front face of panel conceals the column
- Acoustic & architectural screen in a single assembly & installation

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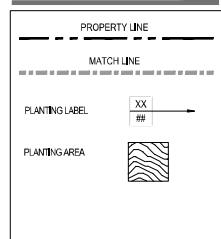
## Noishield Slimline Detail for Surface Mounting

- Face or rear applied
  - Reduced thickness of 2.5"
  - Secured with Z & Hat channel
  - Hat channel edge trim between adjacent panel stacks
  - Z channel edge trim at end of panel stack
- 





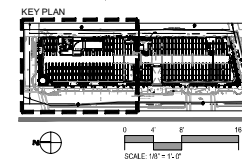
### LEGEND



### PLANT SCHEDULE

VINES	QTY	ABBR.	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
25	BI		Bougainvillea	Bougainvillea "Barbara Karst"	15 GAL., 8' ht., 36" O.C., Contractor to remove wood trellis and train vines to wire trellis
55	IP		Ipomoea pes-caprae	Railroad Vine	7 GAL., @ 24" O.C.
76	QI		Quisqualis indica	Rangoon Creeper	15 GAL., 8' ht., 24" O.C., Contractor to remove wood trellis and train vines to wire trellis
45	SM		Solandra maxima	Chalice Vine	15 GAL., 8' ht., 24" O.C., Contractor to remove wood trellis and train vines to wire trellis
135	TJ		Trachelospermum jasminoides	Confederate Jasmine	15 GAL., 8' ht., 24" O.C., Contractor to remove wood trellis and train vines to wire trellis
15	AC		Allamanda cathartica	Allamanda Vine (Yellow Flowering)	15 GAL., 8' ht., 24" O.C., Contractor to remove wood trellis and train vines to wire trellis

Proposed



No.	Date	Revision

Owner:  
Washington Squared Owner, LLC  
Owenscape Companies LLC  
c/o Washington Squared Owner LLC  
PO Box 468  
Hoboken Heights, NJ 07604

Architect:  
Algoe Architects PC  
2307 Douglas Road  
Miami, FL 33157  
License# AB0016549

Landscape Architect:  
Raymond Jungles, Inc.  
2844 Aviation  
Miami, FL 33133  
License# LC0000856

KEY PLAN:

PROJECT:  
601 Washington Ave. Noise Barrier  
601-685 Washington Avenue  
Miami Beach, FL 33139

Drawing Title

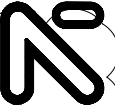
PLANTING  
UNDERSTORY PLAN  
LEVEL 2 NORTH

SEAL & SIGNATURE:

	DATE:
	PROJECT NO.:
	DRAWN BY:
	FULL SCALE:
	SHEET SIZE:
DRAWING NO.:	
PAGE NO.:	

LP.202





**NICHOLS  
BROSCH  
WURST  
WOLFE  
& ASSOCIATES, INC.**  
Architecture & Planning

161 Alameda Avenue  
Coral Gables, FL 33134  
(305) 448-5295  
(305) 448-5271  
AEC 000000

ARCHITECT OF RECORD  
ARCHITECT OF RECORD

OWNER / DEVELOPER:  
**WASHINGTON SQUARED OWNER LLC**  
888 7th Avenue, 27th Floor  
New York, NY 10019  
(212) 894-7990

CONSULTANT:  
**JUNGLES**  
2964 Foster Avenue  
Coral Gables, FL 33134  
P: 305.456.5777 FAX: 305.763.0382  
www.junglesinc.com

**601 WASHINGTON AVE MIXED USE - HOTEL**  
601-685 WASHINGTON AVENUE, MIAMI BEACH, FL

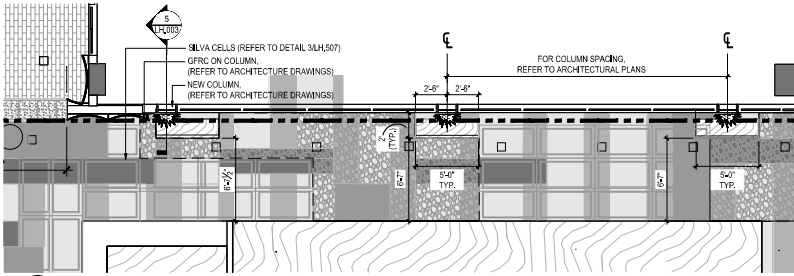
SUBMITTAL HISTORY:

Revisions		
#	Description	Date
1	Revisions 1	01-10-18
2	Revisions 2	04-02-18
3	Revisions 3	04-27-18
4	Revisions 4	07-03-18
5	Revisions 5	07-12-18

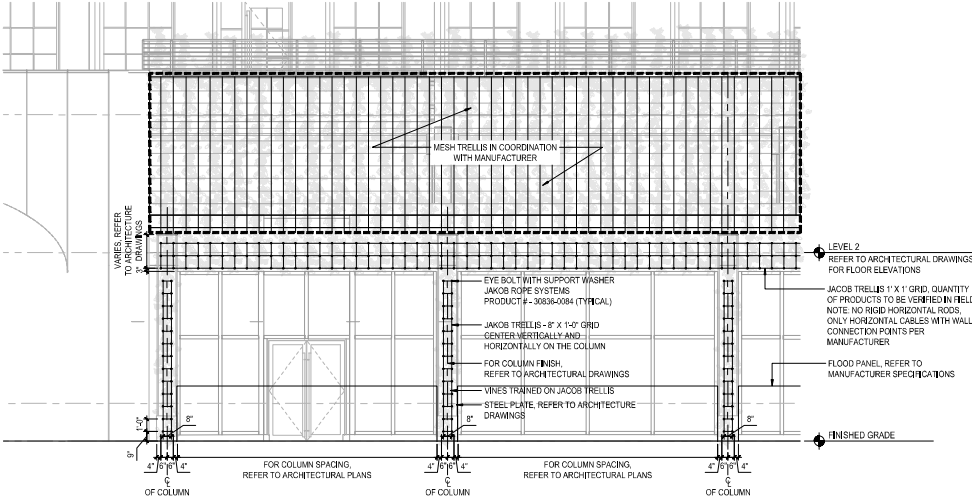
NON-HISTORIC FACADE  
PLANTING DETAILS

14040

LH-509



**1 VINE PLANTER - PLAN**  
Scale: 1/4" = 1'-0"

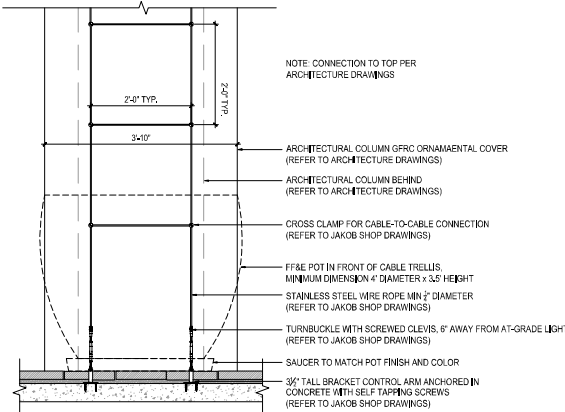


**3 NON-HISTORIC FACADE - ELEVATION**  
Scale: 1/4" = 1'-0"

**NOTES:**

- CONTRACTOR SHALL SUBMIT SAMPLES OF MATERIAL FOR APPROVAL BY LANDSCAPE ARCHITECT, PRIOR TO PROCUREMENT, FABRICATION, AND INSTALLATION.
- CONTRACTOR SHALL PROVIDE DETAILED SHOP DRAWINGS OF THE ENTIRE SYSTEM, INCLUDING EVERY PIECE, CONNECTION, AND CONDITION, FOR APPROVAL BY THE LANDSCAPE ARCHITECT, PRIOR TO PROCUREMENT, FABRICATION, AND INSTALLATION. CONTRACTOR SHALL FIELD VERIFY AS BUILT DIMENSIONS, AND PROVIDE DETAILED ENGINEERED LAYOUT DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT, INCLUDING ALL CONNECTIONS AND COMPONENTS.
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**6 BREEZEWAY VINE CABLE ELEVATION**  
Scale: 1" = 1'-0"



NOTE: CONNECTION TO TOP PER ARCHITECTURE DRAWINGS

ARCHITECTURAL COLUMN GFRG ORNAMENTAL COVER (REFER TO ARCHITECTURE DRAWINGS)

ARCHITECTURAL COLUMN BEHIND (REFER TO ARCHITECTURE DRAWINGS)

CROSS CLAMP FOR CABLE-TO-CABLE CONNECTION (REFER TO JAKOB SHOP DRAWINGS)

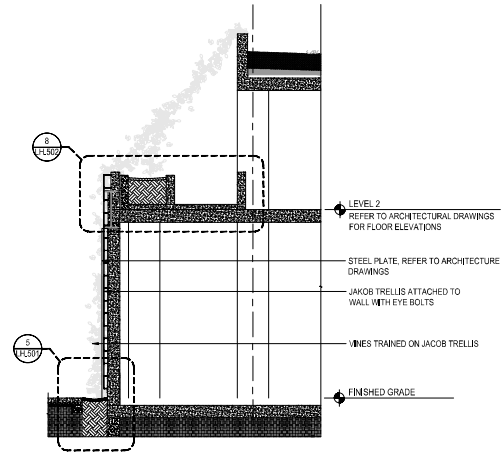
FFEE POT IN FRONT OF CABLE TRELLIS (MINIMUM DIMENSION 4" DIAMETER x 3.5' HEIGHT)

STAINLESS STEEL WIRE ROPE MIN 2" DIAMETER (REFER TO PLANTING SPECIFICATIONS)

TURNBUCKLE WITH SCREWED CLEVIS, 8" AWAY FROM AT-GRADE LIGHT (REFER TO JAKOB SHOP DRAWINGS)

SAUCER TO MATCH POT FINISH AND COLOR

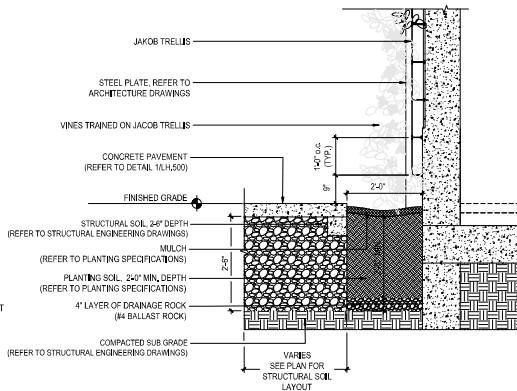
30" TALL BRACKET CONTROL ARM ANCHORED IN CONCRETE WITH SELF TAPPING SCREWS (REFER TO JAKOB SHOP DRAWINGS)



**4 VINE PLANTER - SECTION**  
Scale: 1/4" = 1'-0"

**NOTES:**

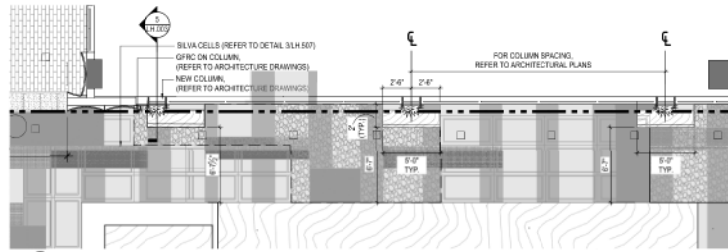
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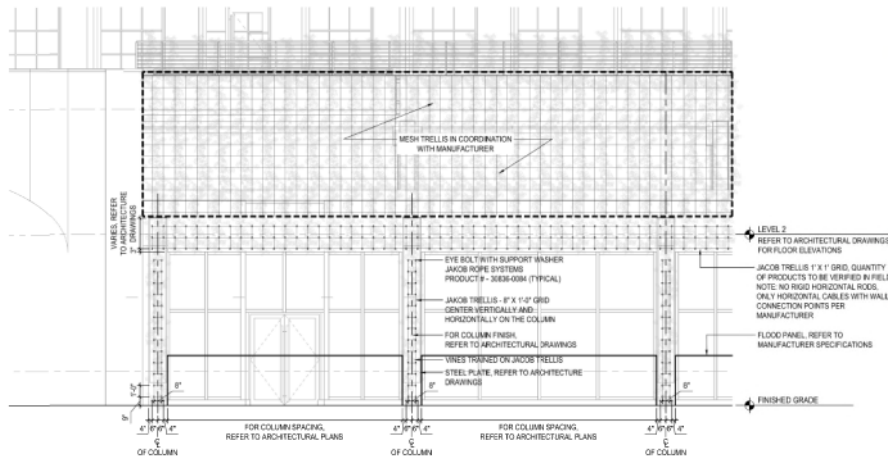
**5 VINE PLANTER - ENLARGEMENT**  
Scale: 3/4" = 1'-0"

Approved





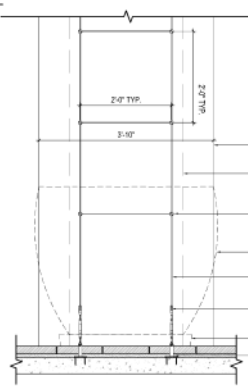
1 VINE PLANTER - PLAN  
Scale: 1/4" = 1'-0"



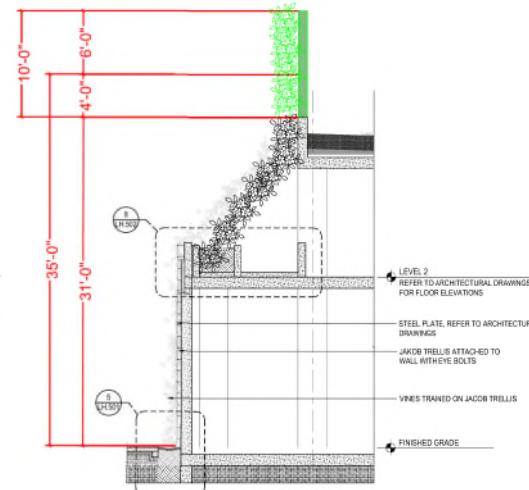
3 NON-HISTORIC FACADE - ELEVATION  
Scale: 1/4" = 1'-0"

NOTES:

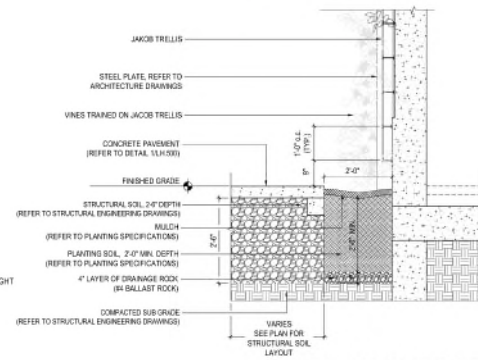
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6 BREEZEWAY VINE CABLE ELEVATION  
Scale: 1" = 1'-0"



4 VINE PLANTER - SECTION  
Scale: 1/4" = 1'-0"



5 VINE PLANTER - ENLARGEMENT  
Scale: 3/4" = 1'-0"

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**NICHOLS  
BROSCH  
WURST  
WOLFE**  
& ASSOCIATES, INC.  
Architecture & Planning

181 Alexander Avenue  
Coral Gables, FL 33134  
(305) 443-3225  
(305) 443-0815  
FAX (305) 443-0815

DAVID J. WURST  
Principal  
(305) 443-3225  
dwur@nicholsbrosch.com

DESIGN / DEVELOPER  
WASHINGTON REHABILITATION COMPANY LLC  
808 7th Avenue, 7th Floor  
New York, NY 10019  
(212) 685-1990

GENERAL CONTRACTOR  
**ANGLES**  
2800 South Federal Highway  
Coral Gables, FL 33133  
(305) 345-7777  
www.anglesinc.com

601 WASHINGTON AVE MIXED USE - HOTEL  
601-685 WASHINGTON AVENUE, MIAMI BEACH, FL

SUBMITTAL HISTORY

Revisions		
#	Description	Date
1	Revised 5	05/11/16
2	Revised 6	06/10/16
3	Revised 6	06/10/16
4	Revised 6	06/10/16
5	Revised 6	06/10/16
6	Revised 6	06/10/16

NON-HISTORIC FACADE  
PLANTING DETAILS

14040

LH-509

Proposed













Existing





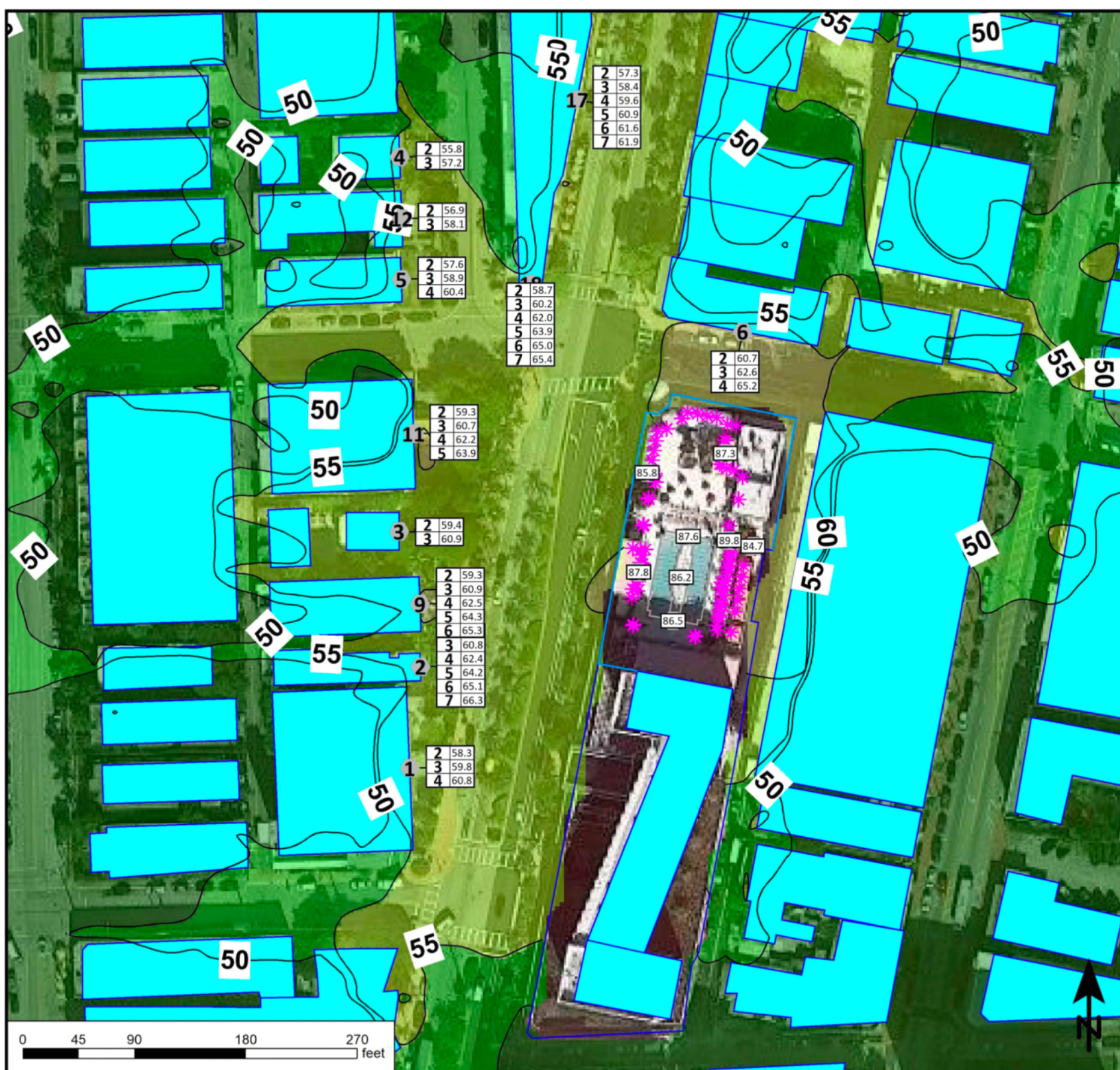
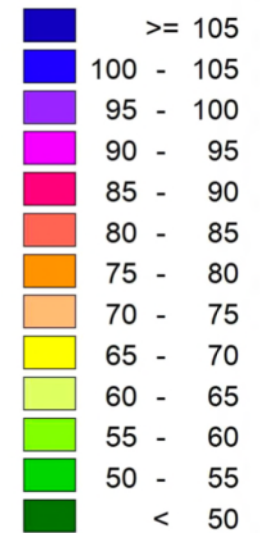
Proposed



# Pool Audio Model w/ 10' Wall

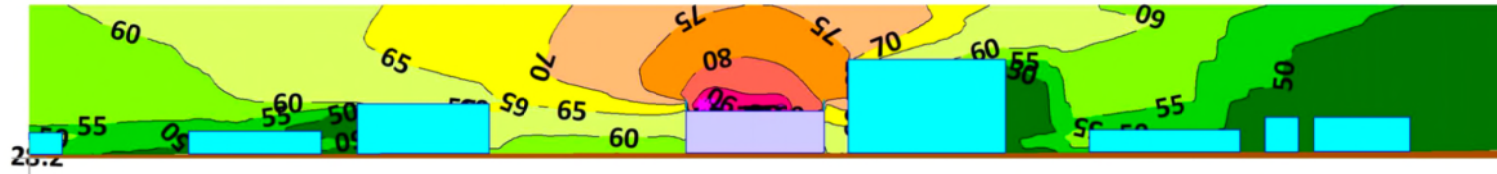
Date: 11/29/21

Noise level  
Leq  
in dB(A)

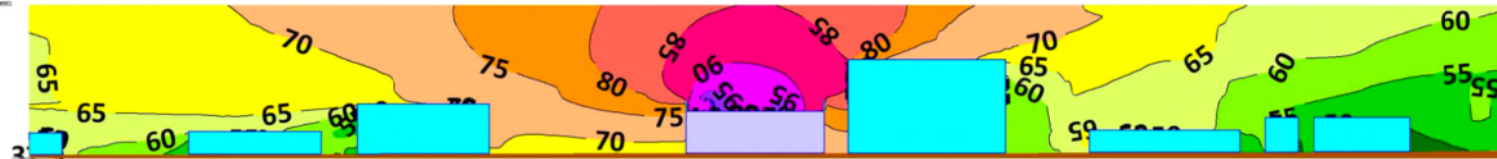


# SECTION VIEW OF MODELED SOUND LEVELS

Cross Section West - East - dBA



Cross Section West - East - dBC



Cross Section South - North - dBA



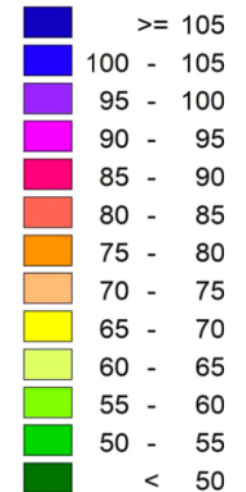
Cross Section South - North - dBC



## Pool Audio Model

Date: 11/29/21

Noise level  
Leq  
in dB (See Chart)



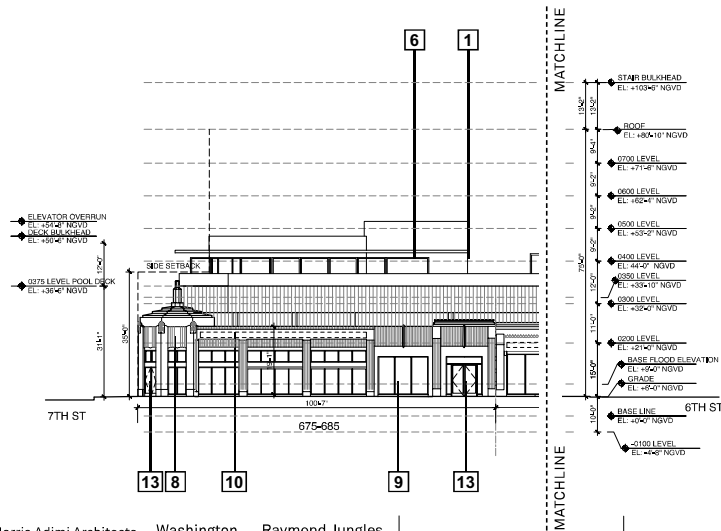
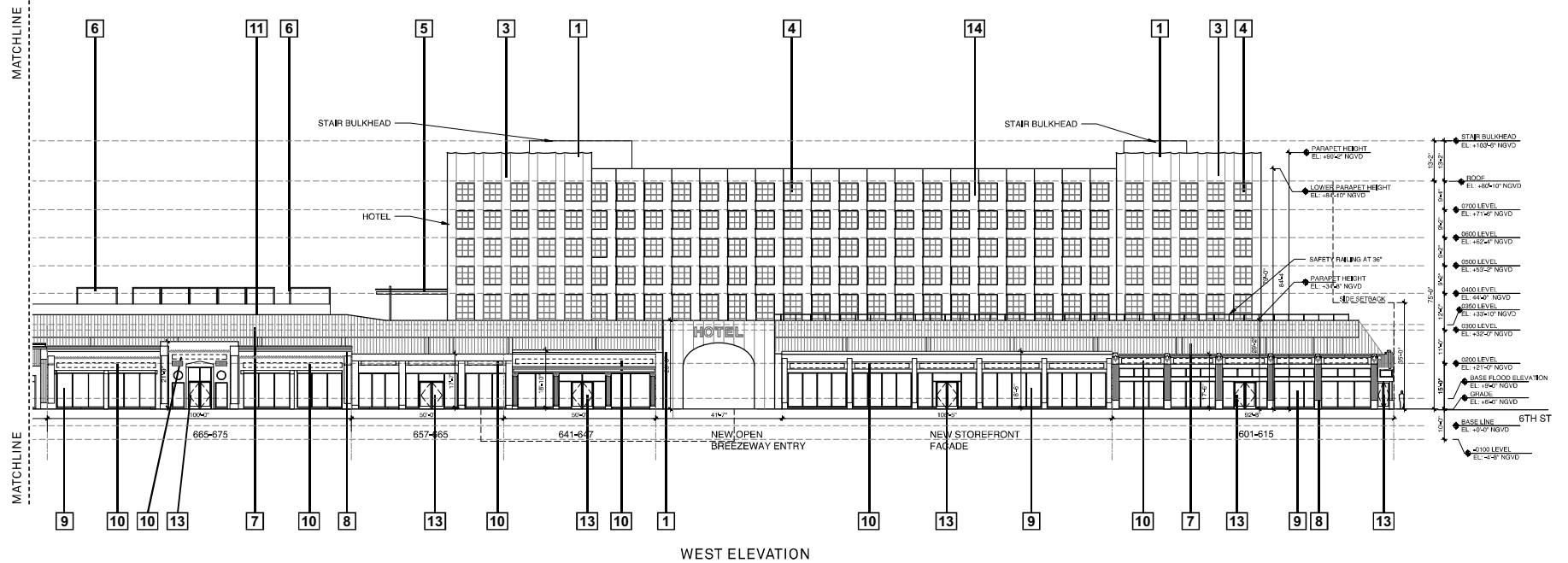




Arcadia House Condo,  
west balconies

Outdoor Venue

Washington Ave.



### LEGEND

- |  |  |   |
|--|--|---|
| 1. MASONRY - CMU OR QP SUBSTRATE W/ SMOOTH STUCCO FINISH. CUSTOM COLOR TO BE SELECTED BY ARCHITECT.                                  | 5. PRE-ENGINEERED CANOPY WITH TENSILE FABRIC   | 10. AREA OF SIGNAGE INDICATED W/ DASHED LINE. SIGNAGE TO BE METAL HELD OFF HISTORIC FACADE AND BACKLIT.   |
| 2. LOUVER ASSEMBLY WITH INSET SCREENS IN EXTRUDED ALUMINUM FRAME   | 6. TRELLIS WITH FABRIC COVERING  | 11. CABLE RAILING   |
| 3. WALL CONSTRUCTION - GFRP PANELS OVER HEAVY GAUGE METAL FRAMING. GFRP PANELS TO HAVE CUSTOM COLOR AND FINISH SELECTED BY ARCHITECT | 7. WIRE SCREEN WITH PLANTINGS  | 12. STEEL STAIR ASSEMBLY WITH CABLE GUARDRAILS  |
| 4. ALUMINUM FRAME WINDOWS WITH CUSTOM KYNAR FINISH. SIMULATED DIVIDED LITES, CLEAR GLASS   | 8. EXISTING STUCCO AND CAST ELEMENTS TO BE RESTORED AND PAINTED  | 13. NEW ALUMINUM DOUBLE DOOR WITHIN RECESSED NICHE FINISH TO MATCH STOREFRONT MULLIONS. FINISH COLOR TO MATCH GFRP FACADE OF BUILDING BOOKENDS. |
|  | 9. ALUMINUM STOREFRONT ASSEMBLY WITH KYNAR FINISH AND TINTED CLEAR GLASS WITHIN EXISTING MASONRY OPENINGS, TO MEET WIND LOAD REQUIREMENTS. | 14. MASONRY - CMU SUBSTRATE W/ SMOOTH STUCCO, FINISH COLOR TO MATCH GFRP FACADE OF BUILDING BOOKENDS.   |



Morris Adjmi Architects  
www.ma.com  
O'Brien Lighting Inc

Washington Squared LLC  
Ken Fulk

Raymond Jungles Inc.  
Nichols Brosch  
Wurst Wolfe &  
Associates

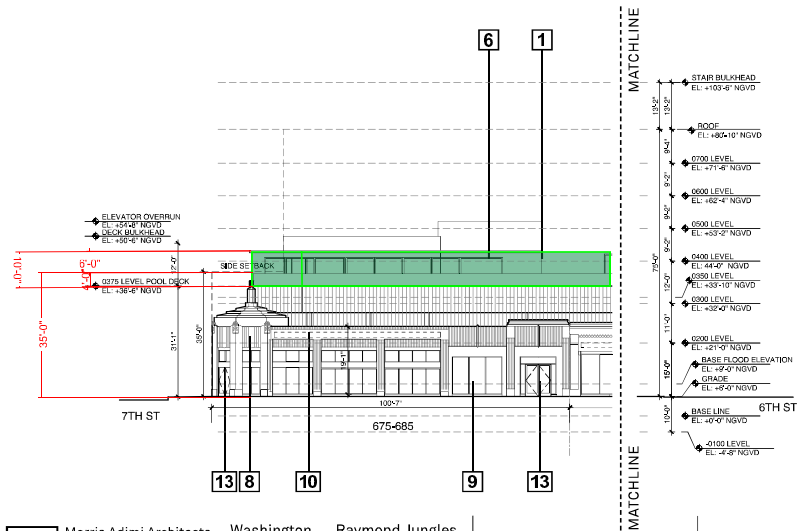
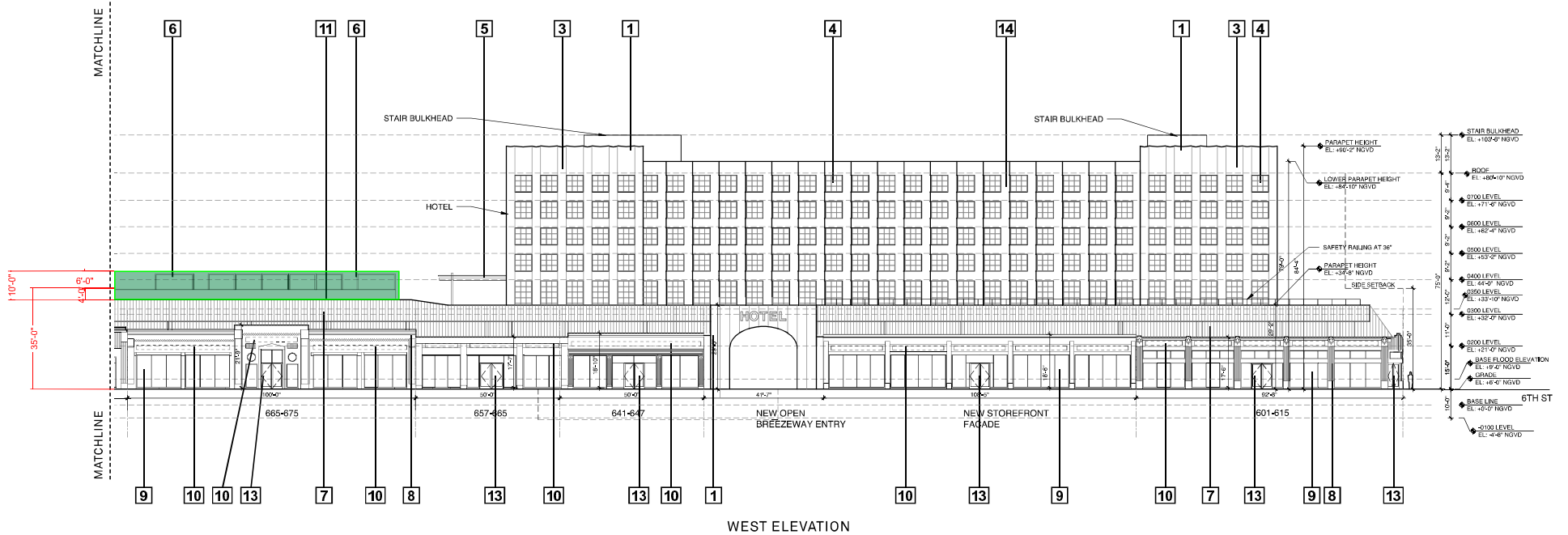
601-685 Washington Ave.  
Miami Beach, FL

## Building Elevation

Historic Preservation Board Modification: Final Revised Submittal / 10 December 2021

Approved





### LEGEND

- |  |  |   |
|--|--|---|
| 1. MASONRY - CMU OR QIP SUBSTRATE W/ SMOOTH STUCCO FINISH CUSTOM COLOR TO BE SELECTED BY ARCHITECT.                                  | 5. PRE-ENGINEERED CANOPY WITH TENSILE FABRICS  | 10. AREA OF SIGNAGE INDICATED W DASHED LINE SIGNAGE TO BE METAL HELD OFF HISTORIC FACADE AND BACKLIT. |
| 2. LOUVER ASSEMBLY WITH INSET SCREENS IN EXTRUDED ALUMINUM FRAME   | 6. TRELLIS WITH FABRIC COVERING  | 11. CABLE RAILING   |
| 3. WALL CONSTRUCTION - GFRG PANELS OVER HEAVY GAUGE METAL FRAMING, GFRG PANELS TO HAVE CUSTOM COLOR AND FINISH SELECTED BY ARCHITECT | 7. WIRE SCREEN WITH PLANTINGS  | 12. STEEL STAIR ASSEMBLY WITH CABLE GUARDRAILS  |
| 4. ALUMINUM FRAME WINDOWS WITH CUSTOM KYNAR FINISH, SIMULATED DIVIDED LITES, CLEAR GLASS   | 8. EXISTING STUCCO AND CAST ELEMENTS TO BE RESTORED AND PAINTED  | 13. NEW ALUMINUM DOUBLE DOOR WITHIN RECESSED NICHE FINISH TO MATCH STOREFRONT MULLIONS.               |
|  | 9. ALUMINUM STOREFRONT ASSEMBLY WITH KYNAR FINISH AND TINTED CLEAR GLASS WITHIN EXISTING MASONRY OPENINGS, TO MEET WIND LOAD REQUIREMENTS. | 14. MASONRY - CMU SUBSTRATE W/ SMOOTH STUCCO, FINISH COLOR TO MATCH GFRG FACADE OF BUILDING BOOKENDS. |



Morris Adjmi Architects  
www.ma.com  
O'Brien Lighting Inc

Washington Squared LLC  
Ken Fulk

Raymond Jungles Inc.  
Nichols Brosch  
Wurst Wolfe &  
Associates

601-685 Washington Ave.  
Miami Beach, FL

## Building Elevation

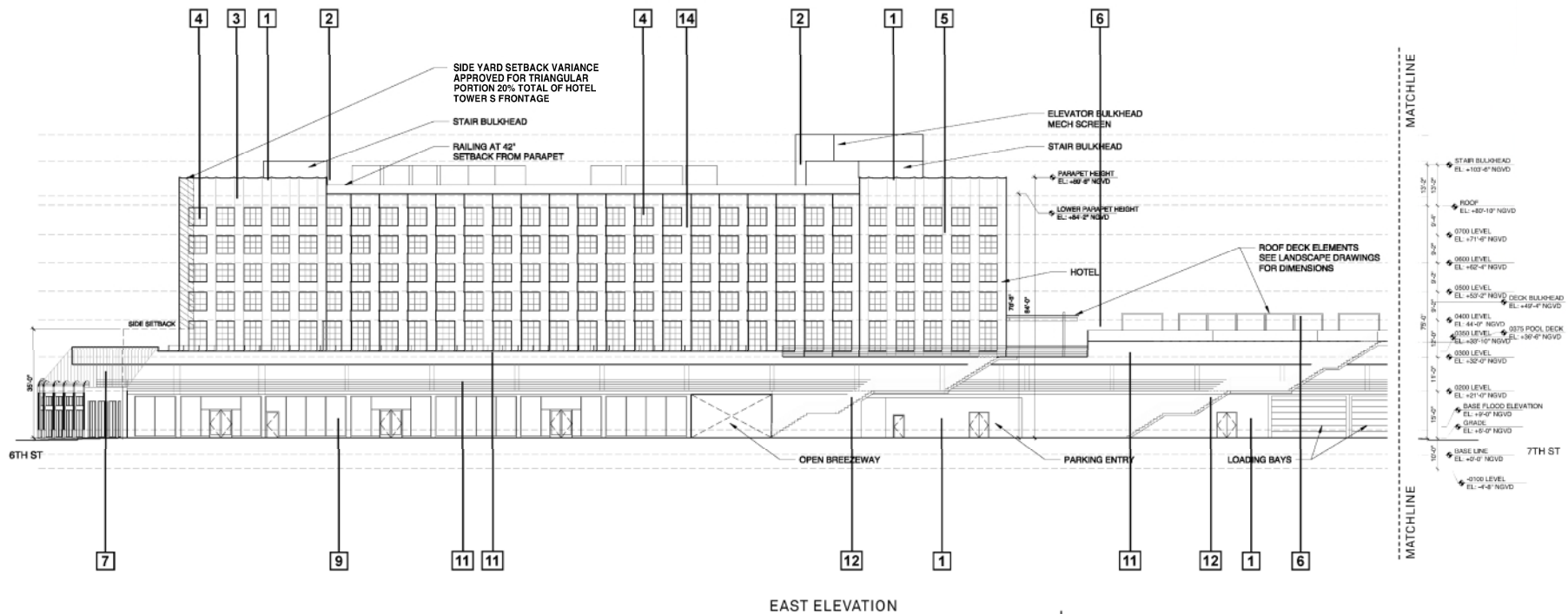
Historic Preservation Board Modification: Final Revised Submittal / 10 December 2021

**Proposed**



Approved

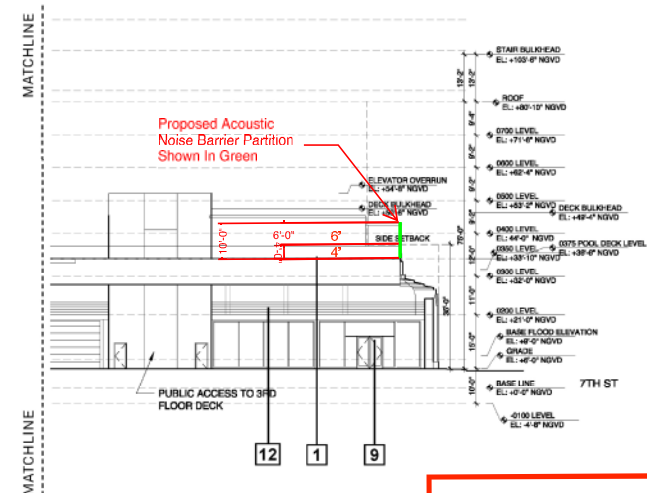




EAST ELEVATION

# LEGEND

- |  |  |  |
|--|--|--|
| 1. MASONRY - CMU OR CIP SUBSTRATE W/ SMOOTH STUCCO FINISH. CUSTOM COLOR TO BE SELECTED BY ARCHITECT.                                 | 5. PRE-ENGINEERED CANOPY WITH TENSILE FABRICS  | 10. AREA OF SIGNAGE INDICATED W DASHED LINE. SIGNAGE TO BE METAL HELD OFF HISTORIC FACADE AND BACKLIT. |
| 2. LOUVER ASSEMBLY WITH INSET SCREENS IN EXTRUDED ALUMINUM FRAME   | 6. TRELLIS WITH FABRIC COVERING  | 11. CABLE RAILING  |
| 3. WALL CONSTRUCTION - GFRC PANELS OVER HEAVY GAUGE METAL FRAMING. GFRC PANELS TO HAVE CUSTOM COLOR AND FINISH SELECTED BY ARCHITECT | 7. WIRE SCREEN WITH PLANTINGS  | 12. STEEL STAIR ASSEMBLY WITH CABLE GUARDRAILS TO BE RESTORED AND PAINTED                              |
| 4. ALUMINUM FRAME WINDOWS WITH CUSTOM KYNAR FINISH. SIMULATED DIVIDED LITES, CLEAR GLASS   | 8. EXISTING STUCCO AND CAST ELEMENTS TO BE RESTORED AND PAINTED  | 13. NEW ALUMINUM DOUBLE DOOR WITHIN RECESSED NICHE FINISH TO MATCH STOREFRONT MULLIONS.                |
|  | 9. ALUMINUM STOREFRONT ASSEMBLY WITH KYNAR FINISH AND TINTED CLEAR GLASS WITHIN EXISTING MASONRY OPENINGS. TO MEET WIND LOAD REQUIREMENTS. | 14. MASONRY - CMU SUBSTRATE W/ SMOOTH STUCCO, FINISH COLOR TO MATCH GFRC FACADE OF BUILDING BOOKENDS.  |





+JMJ+

No.	Date:	Revision:

Owner:  
Washington Squared Owner, LLC  
Charmstrong Companies LLC  
60 Washington Squared Owner LLC  
PO Box 488  
Hoboken Heights, NJ 07034

Architect:  
Alayo Architects PC  
2307 Douglas Road  
Miami, FL 33157  
License# AR0016049

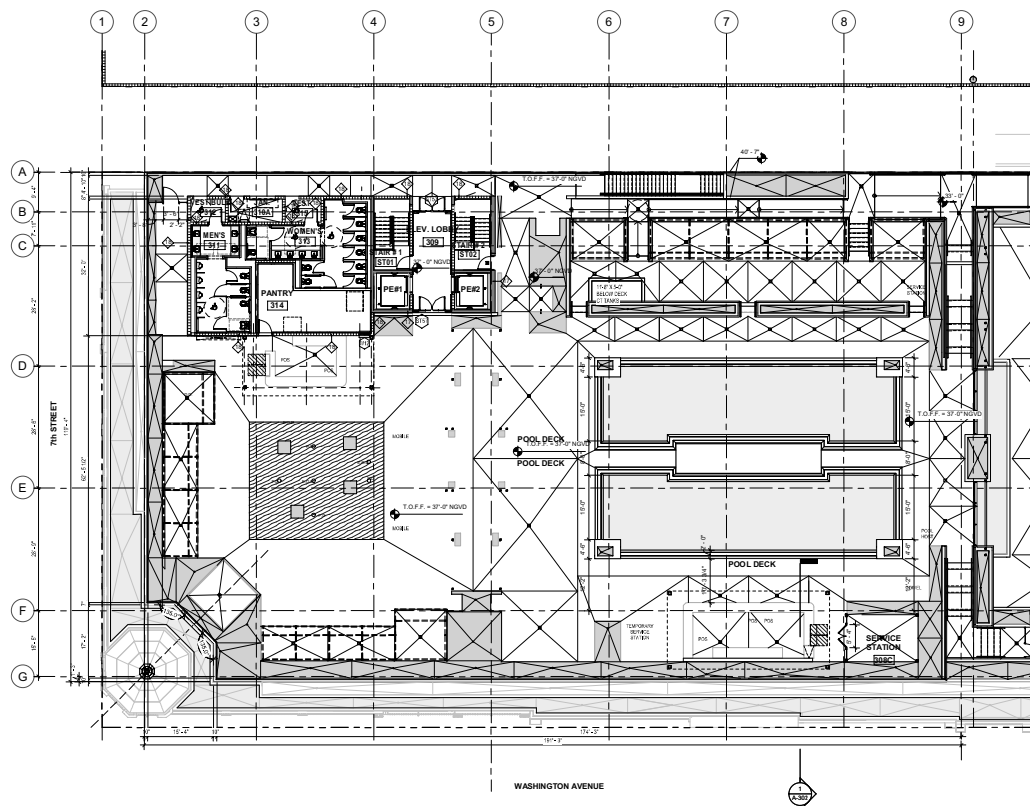
KEY PLAN:



PROJECT:  
601 Washington Ave. Noise Barrier  
601-685 Washington Avenue  
Miami Beach, FL 33139

Existing Pool Deck Plan

SEAL & SIGNATURE:	DATE: 09/07/2021
	PROJECT NO.:
	DRAWN BY: GA
	FILED SCALE:
	SHEET SIZE:
	DRAWING NO.:
	A-101
	PAGE NO.:



1  
A-101  
0300 LEVEL PARTIAL PLAN-1  
3/32" = 1'-0"

No.	Date:	Revision:
0.1	11.24.21	Revision


Owner:  
Washington Squared Owner, LLC  
Charmstrong Companies LLC  
c/o Washington Squared Owner LLC  
PO Box 488  
Hobbsburg Heights, NJ 07804

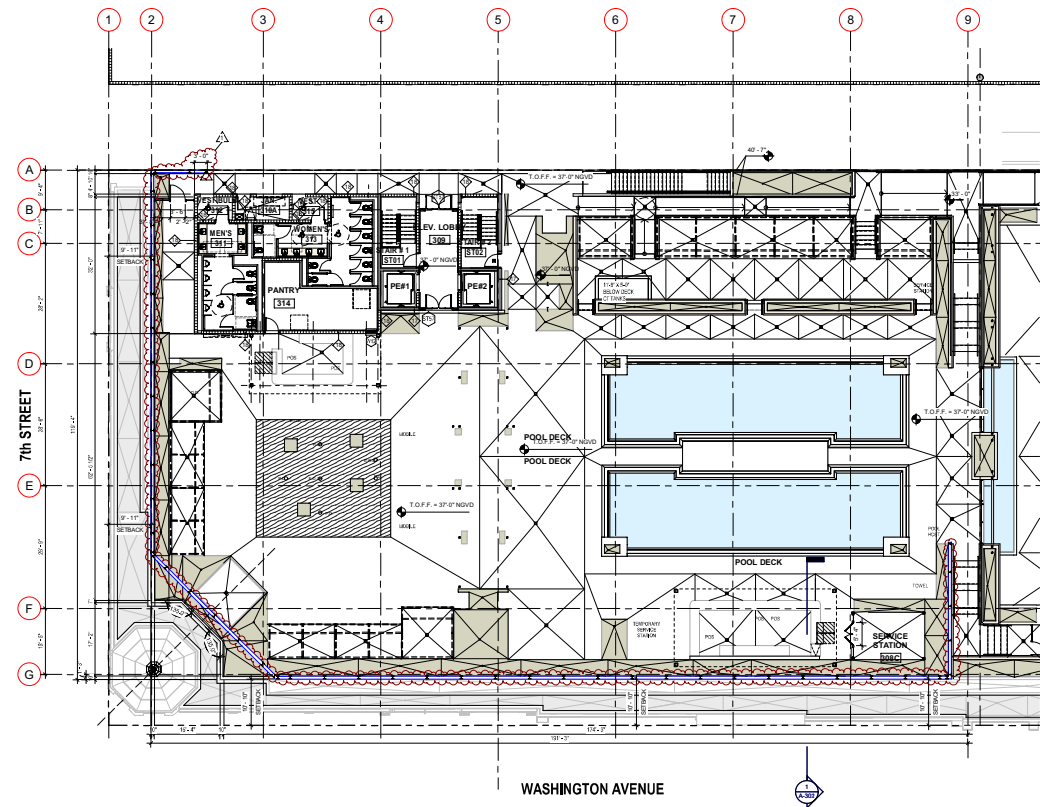
Architect:  
Alayo Architects PC  
2307 Douglas Road  
Miami, FL 33157  
License# AR0016049

KEY PLAN:

PROJECT:  
601 Washington Ave. Noise Barrier  
601-685 Washington Avenue  
Miami Beach, FL 33139

Pool Deck Plan

SEAL & SIGNATURE:	DATE: 08/07/2021
	PROJECT NO.:
	DRAWN BY: GA
	FULL SCALE:
	SHEET SIZE:
DRAWING NO.:	A-102
PAGE NO.:	



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A-102  
0300 LEVEL PARTIAL PLAN-1  
3/32" = 1'-0"

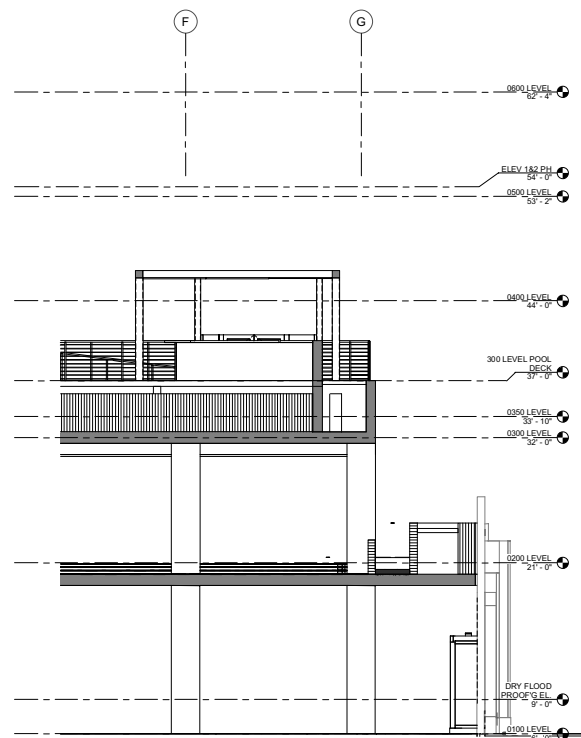


+JMU+

No.	Date:	Revision:

Owner:  
Washington Squared Owner, LLC  
Charmstrong Companies LLC  
c/o Washington Squared Owner LLC  
PO Box 488  
Hoboken Heights, NJ 07804

Architect:  
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2307 Douglas Road  
Miami, FL 33157  
License# AR0016549



KEY PLAN:

PROJECT:  
601 Washington Ave. Noise Barrier

601-685 Washington Avenue  
Miami Beach, FL 33139

Existing Section View and  
Detail

SEAL & SIGNATURE:	DATE: 09/07/2021
	PROJECT NO.:
	DRAWN BY: GA
	FILE SCALE:
	SHEET SIZE:
	DRAWING NO.:
	A-301
	PAGE NO.:

1  
A-301  
Section at Proposed Acoustic Noise Barrier Partition Existing  
1/8" = 1'-0"