

10 CENTURY LANE RESIDENCE

10 CENTURY LANE MIAMI BEACH, FL 33139



DRB22-0847 - FIRST SUBMITTAL
AUGUST 8TH, 2022

SCOPE OF WORK
NEW FIVE- STORY SINGLE FAMILY HOME

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PGS
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ou=Pedro, c=US
Date: 2022.08.08 17:38:01 -0400

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Project Title

10 CENTURY LANE

PROPOSED NEW SINGLE
FAMILY RESIDENCE FOR
MR. MICHAEL SAIGER

10 CENTURY LANE
MIAMI BEACH, FL 33139

Issued for:

DRB FINAL SUBMITTAL

Sheet Title:

PROPOSED SITE PLAN

Project No. 2203	Sheet No. A0-1
Date 08/08/2022	
Drawn By A.S./M.G.	
Reviewed By PGS	Sheet 1 of 26

[illegible]

Q.P. = CONC. LIGHT POLE CON.C = CONCRETE ▲ = CENTRAL ANGLE E = ELECTRIC SERVICE BOX EM = ELECTRIC METER (CAN) F.D.H. = FOUND DRILL HOLE F.H. = FIRE HYDRANT F.I.P. = FOUND IRON PIPE F.R. = FOUND REBAR F.N. = FOUND NAIL G. = GAS METER L. = LIGHT POLE	LEGEND OF SURVEY ABBREVIATIONS	MH = MAN HOLE (M) = MEASURED MIL = MONUMENT LINE N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM N.T.S. = NOT TO SCALE OE = OVERHEAD ELECTRIC LINES PL = PLAT BOOK P.M. = PERMANENT CONTROL POINT P.C.P. = PARKWAY PRKW. = PARKWAY P.R.M. = PERMANENT REFERENCE MONUMENT P.L. = PROPERTY LINE (R) = RECORDED R = RADIUS RES. = RESIDENCE RW = RIGHT OF WAY S = SEWER MAIN/PIPE SEC. = SECTION S.I.P. = SET IRON PIPE NAIL SIL = SET BACK LINE STY STORY = STORY
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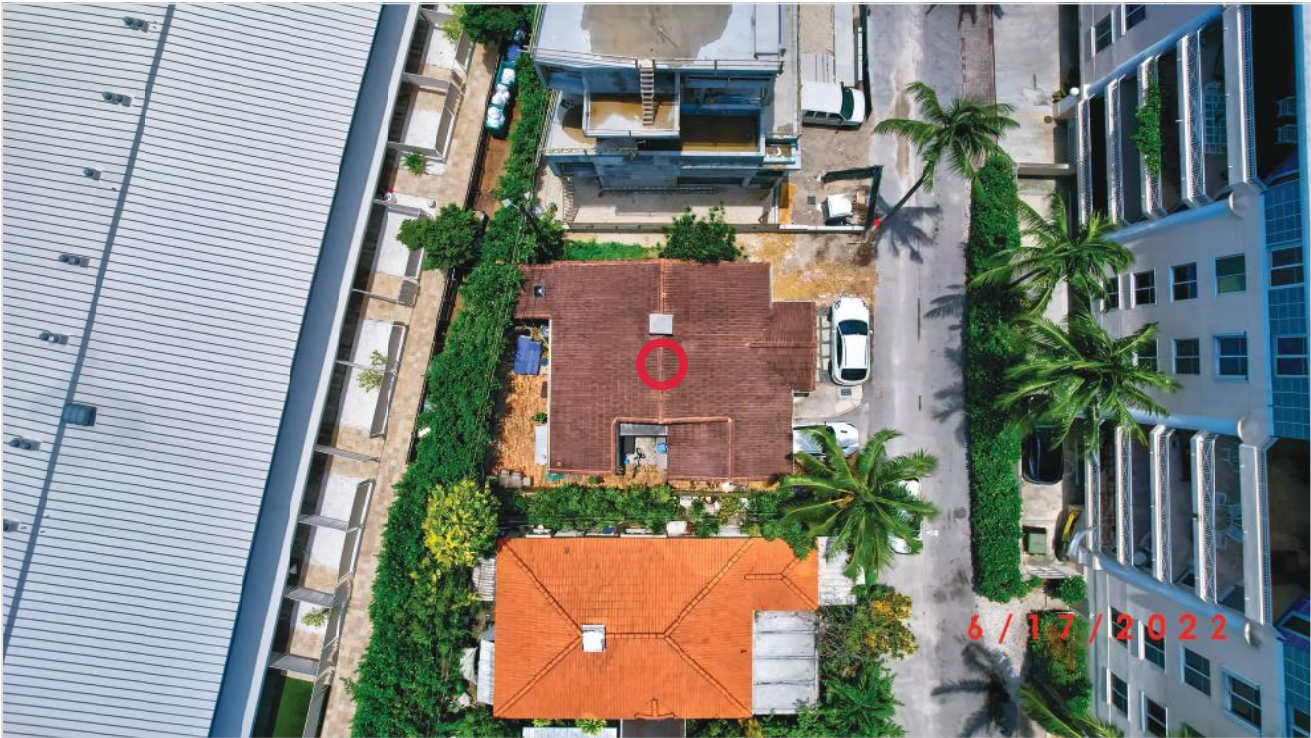
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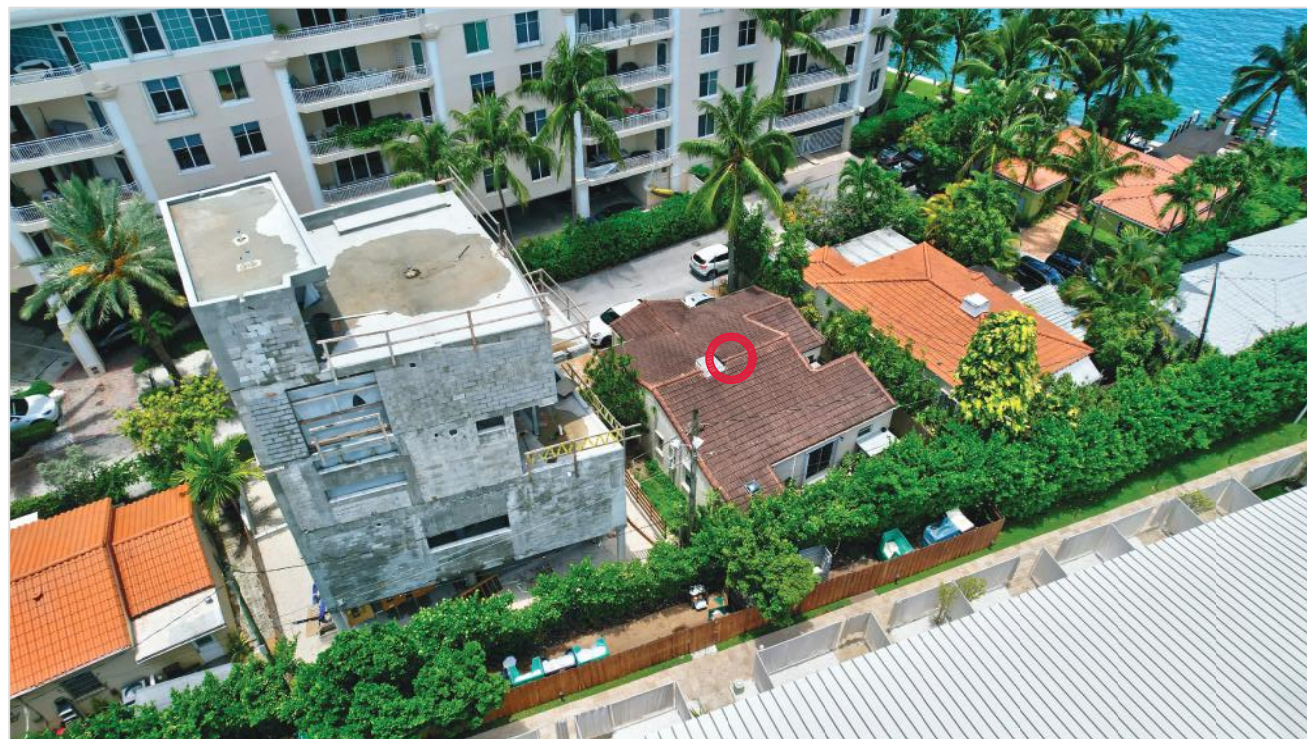
SOUTHWEST AERIAL VIEW OF BELLE ISLE & VENETIAN CROSSWAY



AERIAL VIEW OF SITE & SURROUNDINGS



AERIAL VIEW OF SITE & SURROUNDING PROPERTIES



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Issued for:

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CONTEXT
AERIAL IMAGES

Project No. _____

2203

Date 08/08/2022

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Sheet No.

A0-4

Sheet 4 of 26

NOTE: REFER TO KEY DIRECTIONAL PLAN ON SHEET A0-5

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PROJECT SITE
SURROUNDINGS

Project No.

2203

Date 08/08/2022

Drawn By A.S./M.G.

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Sheet No.

A0-5

Sheet 5 of 26



7 CENTURY LANE | NEXT DOOR & VIEW OF CENTURY LN FROM SITE 04



11 CENTURY LANE | NEXT DOOR 05



1 CENTURY LANE | ACROSS THE STREET 06



VENETIAN WAY CORNER VIEW FROM SITE 07



KEY DIRECTIONAL PLAN



EXISTING STRUCTURES 08



EXISTING STRUCTURES 09



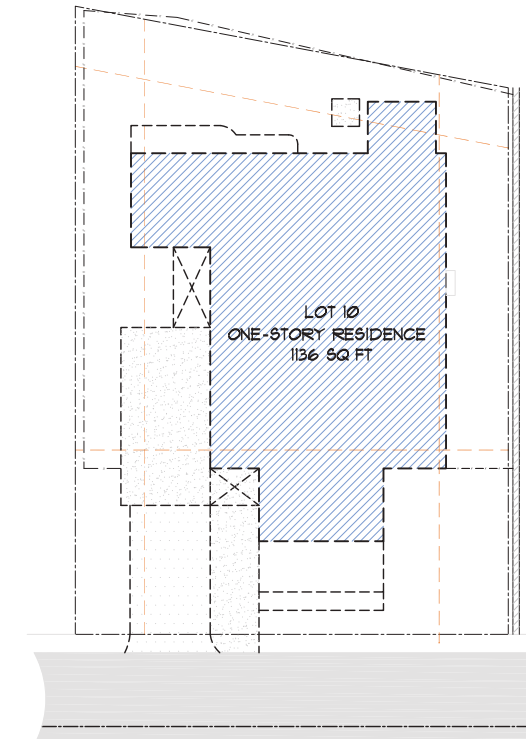
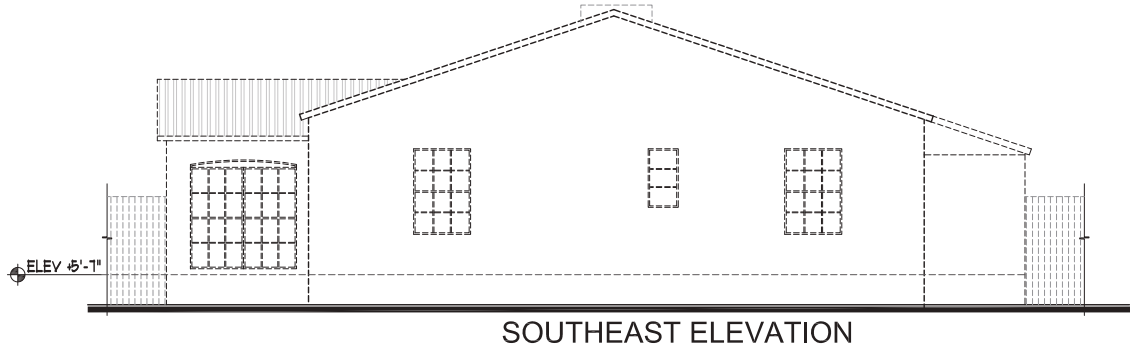
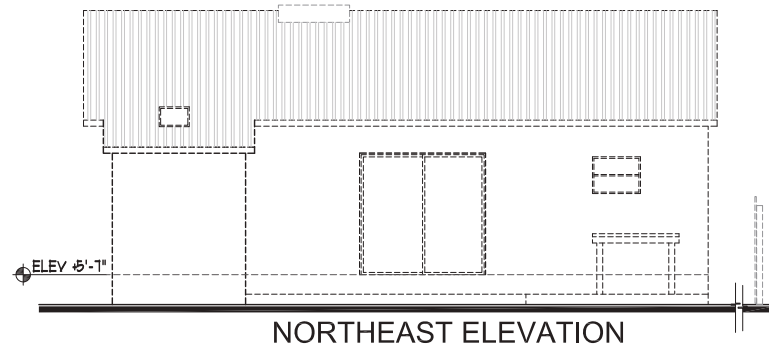
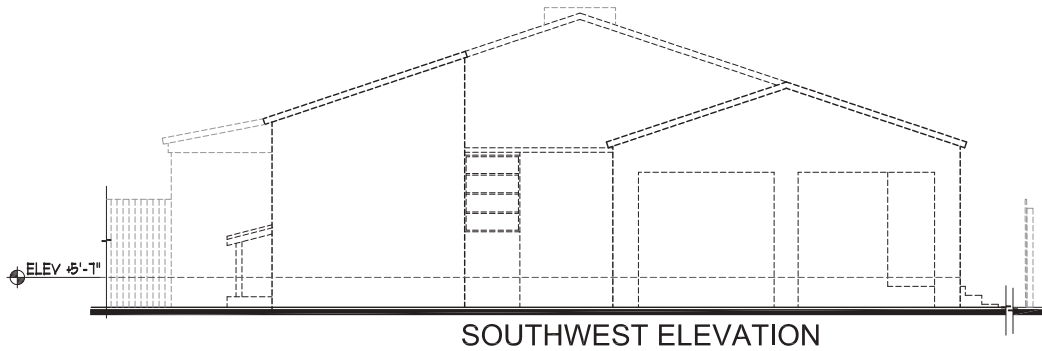
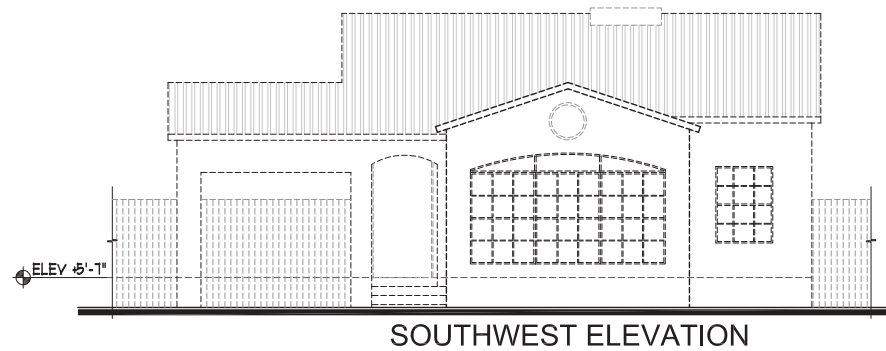
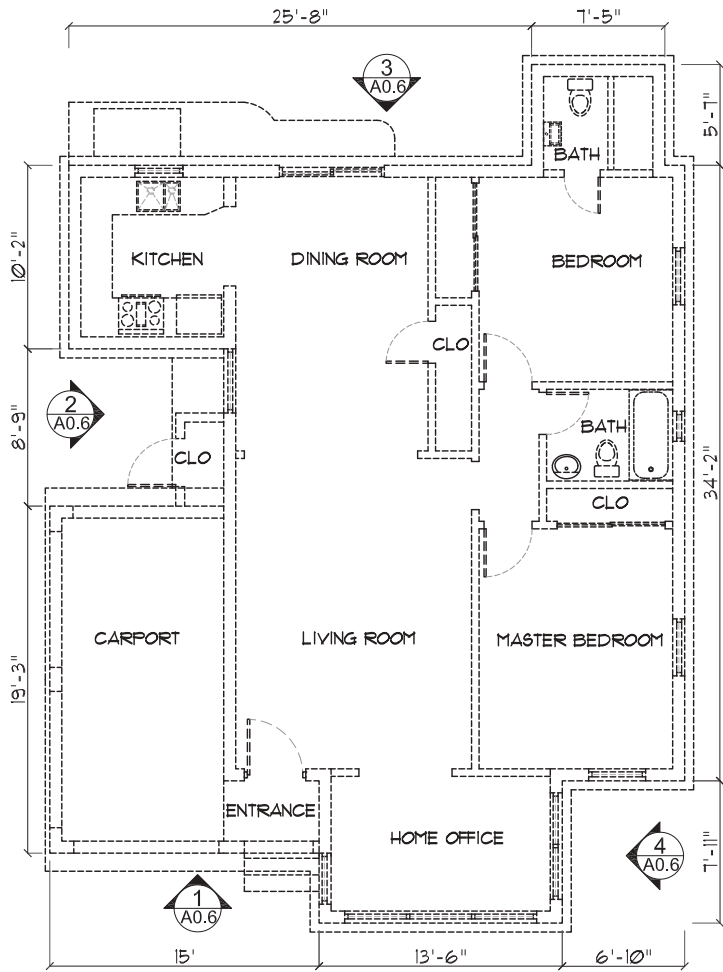
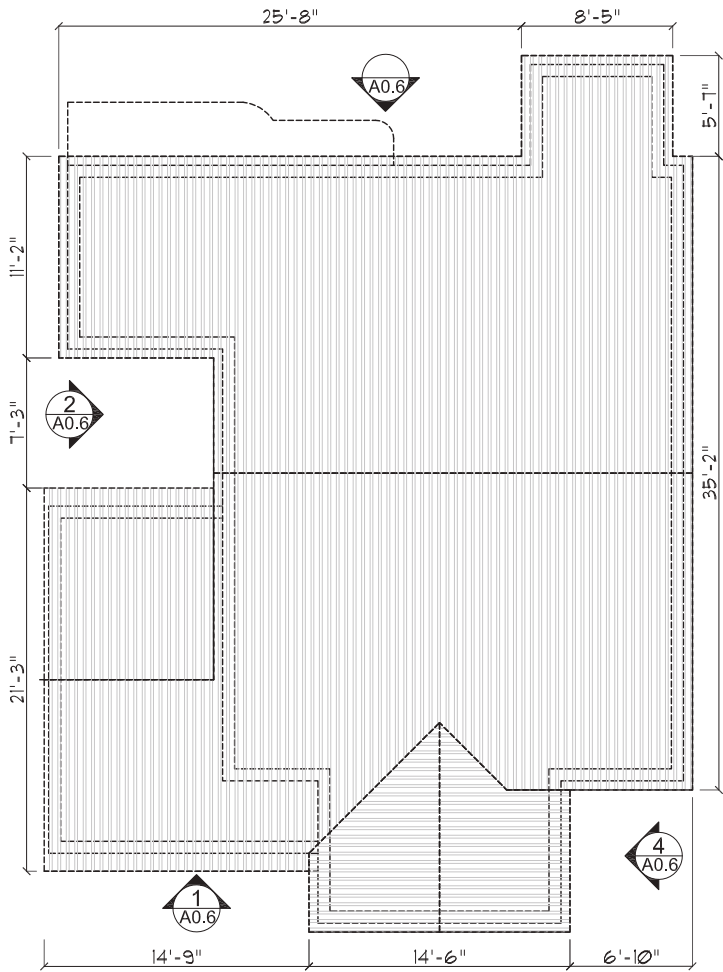
EXISTING STRUCTURES 10

DEMOLITION GENERAL NOTES

1. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2020 1TH EDITION, AND LOCAL ORDINANCES REQUIREMENTS. THE CONTRACTOR IS TO BID THE WORK TO CONFORM WITH THIS CODE.
2. INTENT OF THESE DRAWINGS IS THAT THE CONTRACTOR'S WORK WILL CONSIST OF FURNISHING ALL DEMOLITION, LABOR MATERIALS, EQUIPMENT AND DEBRIS REMOVAL NECESSARY TO COMPLETE THE SCOPE OF WORK INDICATED ON THESE DRAWINGS.
3. OBTAIN CLARIFICATION AND INTERPRETATION OF DRAWINGS AND SPECIFICATIONS, INCLUDING ADDITIONAL DETAILS, DIRECTLY FROM THE ARCHITECT.
4. DEMOLITION SHALL BE SELECTIVE AS INDICATED ON THESE DRAWINGS. REFER TO DEMOLITION SCOPE OF WORK.
5. DEMOLITION WORK TO INCLUDE REMOVAL OF EXISTING COMPONENTS, NECESSARY AND INCIDENTAL TO COMPLETE SCOPE OF WORK. REFER TO DRAWINGS FOR LOCATION OF WORK.
6. SCOPE OF WORK TO INCLUDE TOTAL DEMOLITION OF EXISTING BUILDING AND SITE CONSTRUCTION OF ANY KIND. REMOVE EXISTING PAVING, LANDSCAPING AND FENCE.
7. EXECUTION OF DEMOLITION AND ALTERATION WORK SHALL PROGRESS IN SUCH A MANNER AS NOT TO INTERFERE WITH SAFETY AND CONVENIENCE OF THOSE OCCUPYING AND/OR EMPLOYED IN AND ABOUT PREMISES. SAFETY FEATURES FOR PROTECTION OF EMPLOYEES AND THE PUBLIC SHALL COMPLY WITH MINIMUM STANDARDS OF THE FLORIDA INDUSTRIAL COMMISSION.
8. COORDINATE WITH APPLICABLE UTILITY COMPANIES FOR UTILITY LINE REMOVAL, IF ANY, AND RELATED CAPPING AND UTILITY SHUTDOWN IF NECESSARY BY SUCH DEMOLITION WORK.
9. DEMOLITION AND REMOVAL OPERATIONS SHALL BE CONDUCTED IN AN EXPEDIENT MANNER WITH PRECAUTIONS TAKEN TO PREVENT DEMOLITION SITE FROM DISRUPTING NORMAL SITE AND ADJACENT SITES ACTIVITIES.
10. REMOVE ALL MECHANICAL, PLUMBING AND WATER PIPING BACK TO THEIR SOURCE AND CAP AS REQUIRED.
11. TRANSPORT DEBRIS MATERIAL IN AN ACCEPTABLE MANNER AS TO PRE-VENT SPILLAGE ON TO STREETS.
12. DEMOLITION AND TRANSPORTATION OR DEBRIS SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS GOVERNING THESE OPERATIONS. THE DEMOLITION CONTRACTOR SHALL PAY ALL FEES FOR RUBBISH DISPOSAL.
13. WASTE MATERIAL AND RUBBISH FROM DEMOLITION AND ALTERATION OPERATION SHALL BE REMOVED FROM SITE AS RAPIDLY AS POSSIBLE AND SHALL NOT BE ALLOWED TO ACCUMULATE ON PREMISES. DISPOSAL OF MATERIAL WILL BE AT THE DISCRETION OF THE CONTRACTOR. OPEN FIRES WILL NOT BE PERMITTED FOR DISPOSING OF WASTE. CONTRACTOR SHALL PROVIDE AN EXTERIOR AREA TO COLLECT ALL DEMOLISHED MATERIAL NOT TO BE REUSED. THIS AREA SHALL BE SAFE AND UNOBSTRUCTING TO BUILDING FUNCTIONS.
14. CONDUCT REMOVAL OPERATIONS SO THAT TRAFFIC IS MAINTAINED ALONG EXISTING STREETS AND WALKS. KEEP PAVED STREETS AND WALKWAYS FREE OF DEBRIS. REMOVE MATERIAL AND OTHER MATTER TRACKED OR FALLEN ONTO TRAFFIC SURFACES.
15. CONTROL THE AMOUNT OF DUST RESULTING FROM CONSTRUCTION OR DEMOLITION TO PREVENT SPREAD OF DUST TO OTHER BUILDINGS AND TO AVOID CREATING A NUISANCE FOR SURROUNDING AREAS. AVOID THE USE OF WATER TO CONTROL DUST WHEN IT WILL CREATE OBJECTIONABLE CONDITIONS SUCH AS FLOODING.
16. EXISTING PAVING, LANDSCAPING OR OTHER EXISTING WORK NOT SPECIFIED FOR REMOVAL WHICH IS TEMPORARILY REMOVED, DAMAGED, EXPOSED OR IN ANY WAY DISTURBED OR ALTERED BY REMOVAL WORK SHALL BE REPAIRED, PATCHED OR REPLACED WITH NO ADDITIONAL COST TO OWNER.

DEMOLITION LEGEND

--- EXIST'G CONSTRUCTION TO BE REMOVED



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ARCHITECT

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MR. MICHAEL SAIGER

10 CENTURY LANE
MIAMI BEACH, FL 33139

Issued for:

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Sheet Title:

EXISTING CONDITIONS
DEMOLITION PLAN

Project No.
2203

Date 08/08/2022
Drawn By A.S./M.G.
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Sheet No.

A0-7

Sheet 7 of 26



CONTEXTUAL ELEVATION SKETCH - CENTURY LANE



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CONTEXTUAL
ELEVATION

Project No. 2203	Sheet No. A0-8
Date 08/08/2022	
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Sheet Title:
PROPOSED SITE PLAN

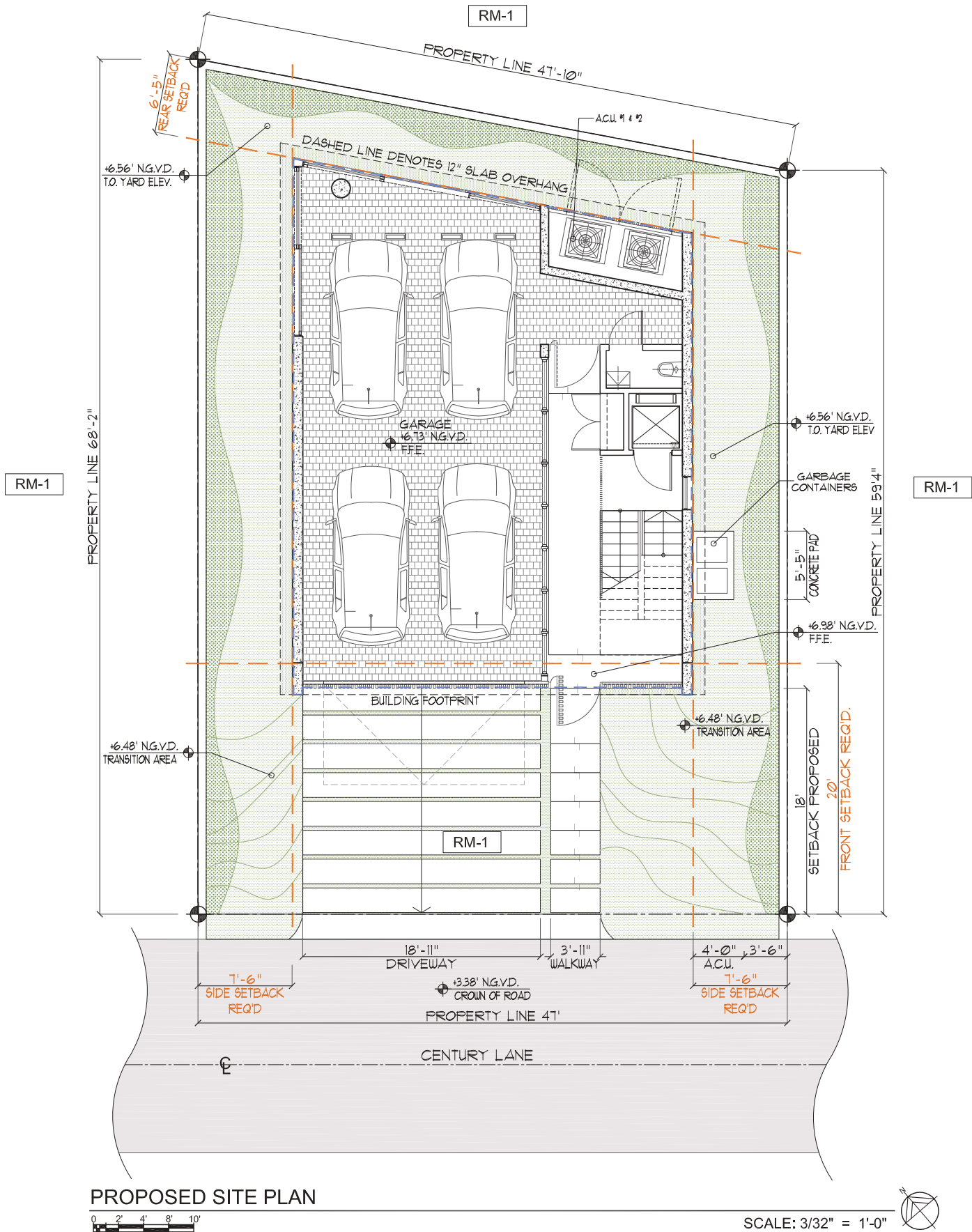
Project No.
2203

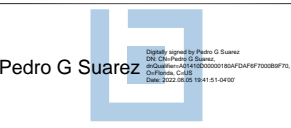
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Sheet No.

A1-0

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Sheet Title:
**ZONING DATA &
FAR DIAGRAMS**

Project No.
2203
Date 08/08/2022
Drawn By A.S./M.G.
Reviewed By PGS
Sheet No.
A1-1
Sheet 10 of 26

FAR CALCULATIONS

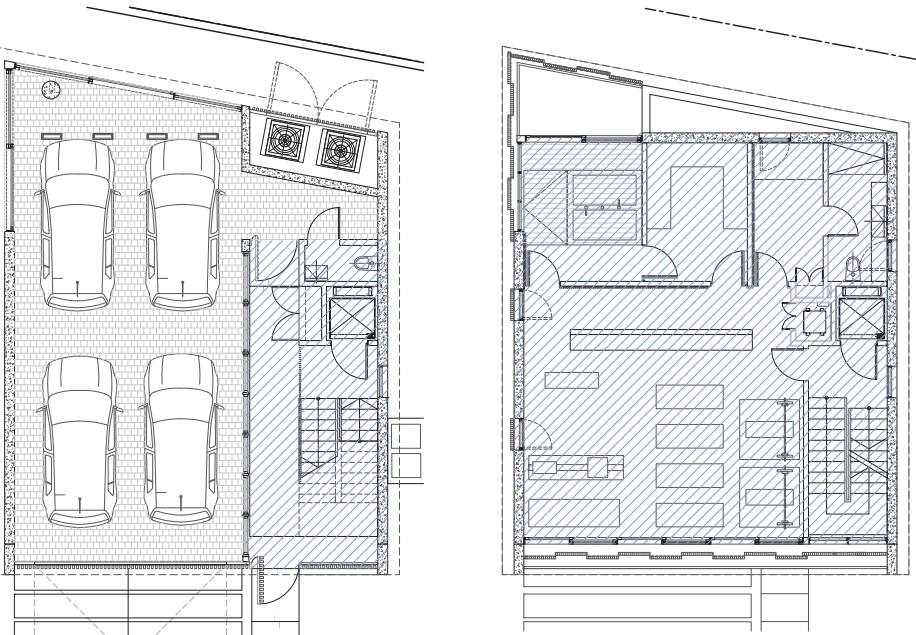
FAR GROUND FLOOR	323.87 Sq. Ft.
FAR SECOND FLOOR	1086.79 Sq. Ft.
FAR THIRD FLOOR	1086.79 Sq. Ft.
FAR FOURTH FLOOR	1075.49 Sq. Ft.
FAR ROOFTOP	113.08 Sq. Ft.
TOTAL FAR PROPOSED	3686.02 Sq. Ft.
TOTAL FAR ALLOWED	3762.50 Sq. Ft.

ZONING DATA SHEET

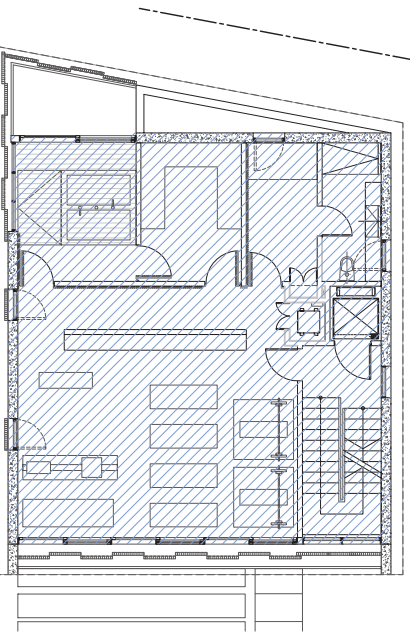
MIAMI BEACH
Planning Department, 1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

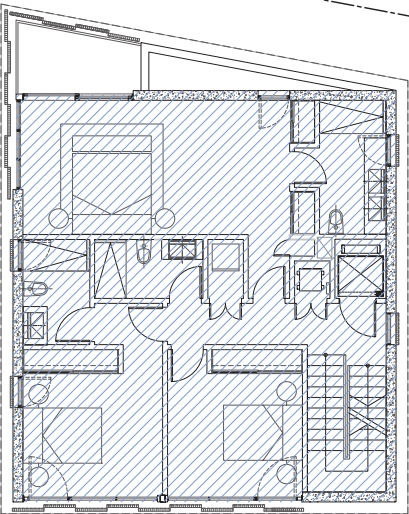
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1	Address:		10 Century Lane, Miami Beach, FL 33139			
2	Board and file numbers :		DRB22-0847			
3	Folio number(s):		02-3233-002-0100			
4	Year constructed:	1941	Zoning District:	RM- 1		
5	Based Flood Elevation:	9.00 NGVD - AE ZONE	Grade value in NGVD:	3.39'		
6	Adjusted grade (Flood+Grade/2):	6.19' NGVD	Lot Area:	3010 Sq Ft		
7	Lot width:	47.00' 47.83'	Lot Depth:	68.16' 59.31'		
8	Minimum Unit Size	550 Sq Ft	Average Unit Size	N/A		
9	Existing use:	Single Family Residence	Proposed use:	Single Family Residence		
	Zoning Information / Calculations		Maximum	Existing	Proposed	Deficiencies
10	Height		55 Ft		50 Ft 1in	
11	Number of Stories		5		5	
12	FAR		3762.50 Sq Ft		3686.02 Sq Ft	
13	Gross square footage		N/A			
14	Square Footage by use		N/A			
15	Number of units Residential		N/A			
16	Number of units Hotel		N/A			
17	Number of seats		N/A			
18	Occupancy load		N/A			
	Setbacks		Required	Existing	Proposed	Deficiencies
	Subterranean:					
19	Front Setback:					
20	Side Setback:					
21	Side Setback:					
22	Side Setback facing street:					
23	Rear Setback:					
	At Grade Parking:					
24	Front Setback:		20'-0"		18'-0"	
25	Side Setback:					
26	Side Setback:					
27	Side Setback facing street:					
28	Rear Setback:					
	Pedestal:					
29	Front Setback:		20'-0"		18'-0"	
30	Side Setback: West		7'-6"		7'-6"	
31	Side Setback: East		7'-6"		7'-6"	
32	Side Setback facing street:					
33	Rear Setback:		6'-5"		6'-5"	



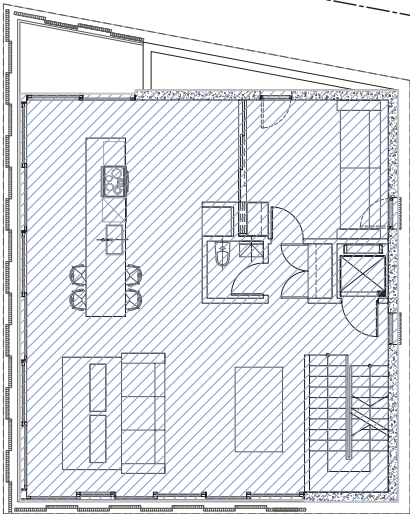
FIRST FLOOR



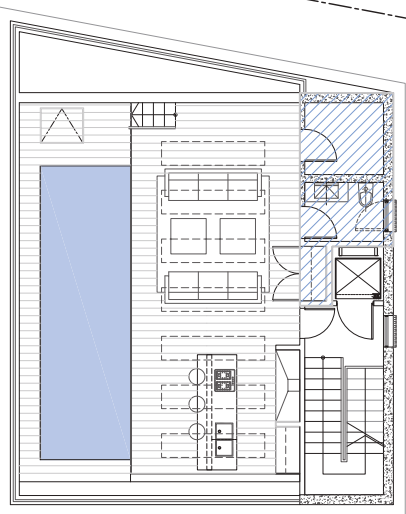
SECOND FLOOR



THIRD FLOOR



FOURTH FLOOR

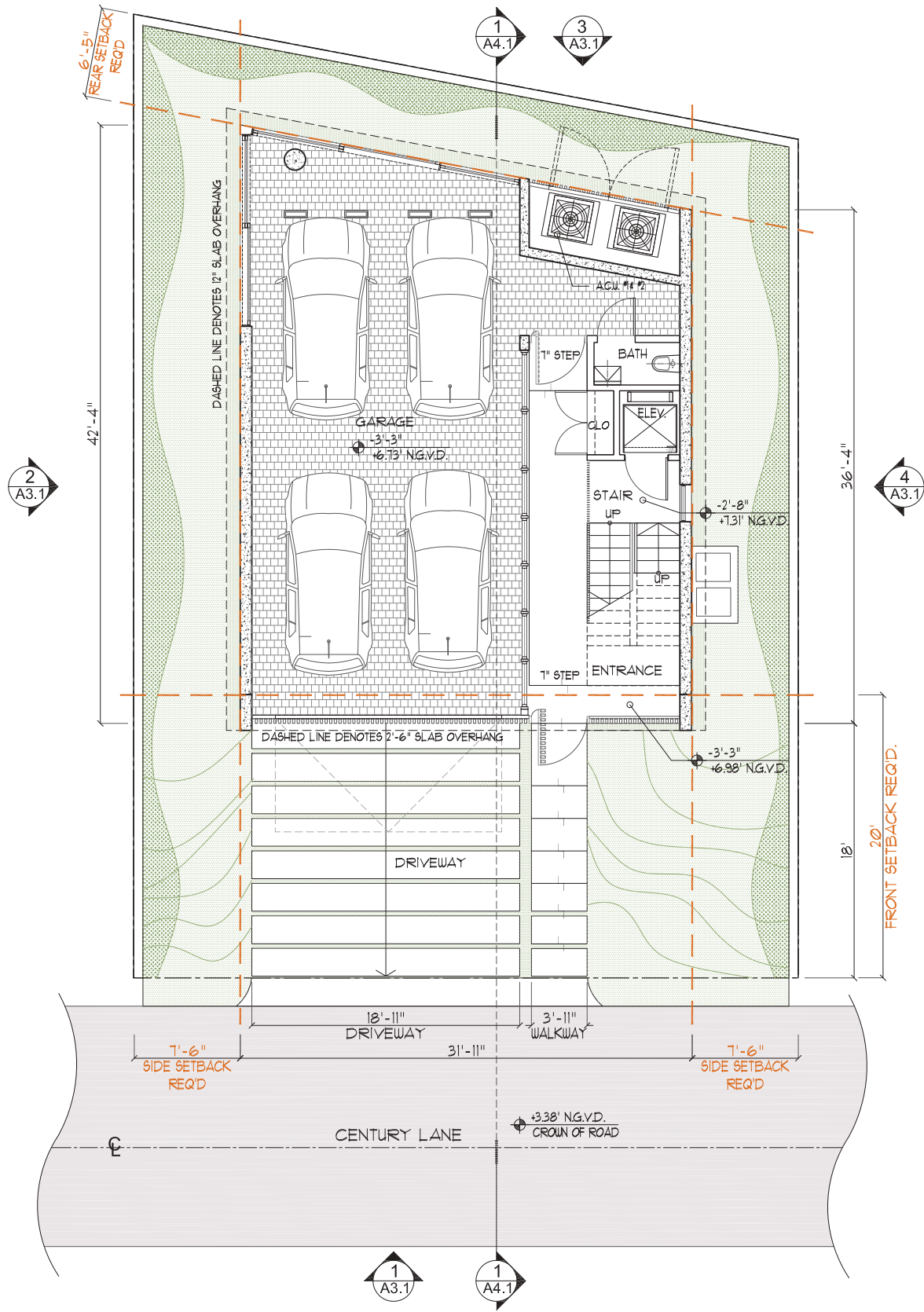


ROOFTOP

PROPOSED FAR SHADED DIAGRAMS

SCALE: 1/16" = 1'-0"





PROPOSED FIRST FLOOR PLAN



SCALE: 3/32" = 1'-0"



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PROPOSED FIRST
FLOOR PLAN

Project No. 2203

Sheet No. A2-1

Date 08/08/2022
Drawn By A.S./M.G.
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Project Title

10 CENTURY LANE

PROPOSED NEW SINGLE
FAMILY RESIDENCE FOR

MR. MICHAEL SAIGER

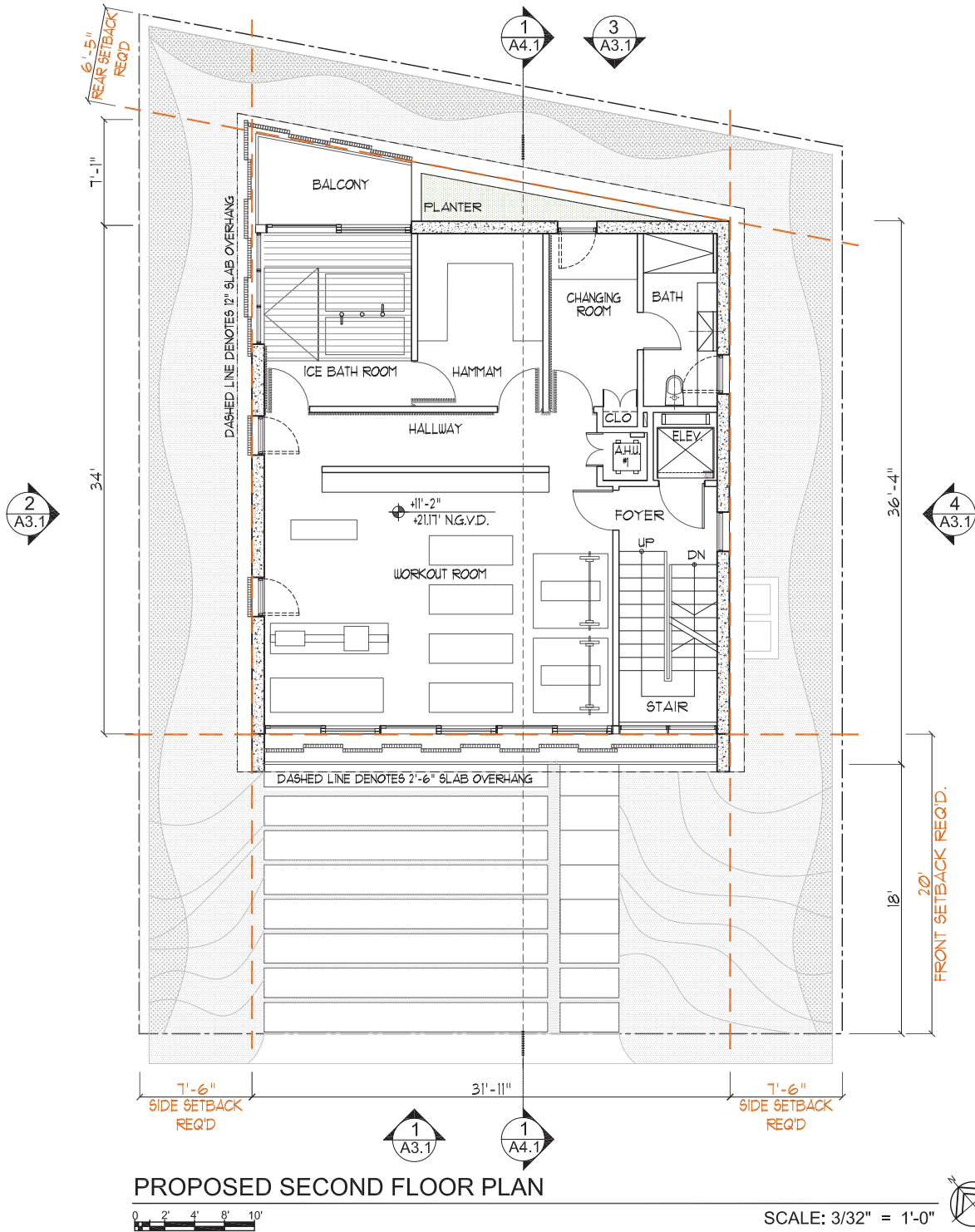
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MIAMI BEACH, FL 33139

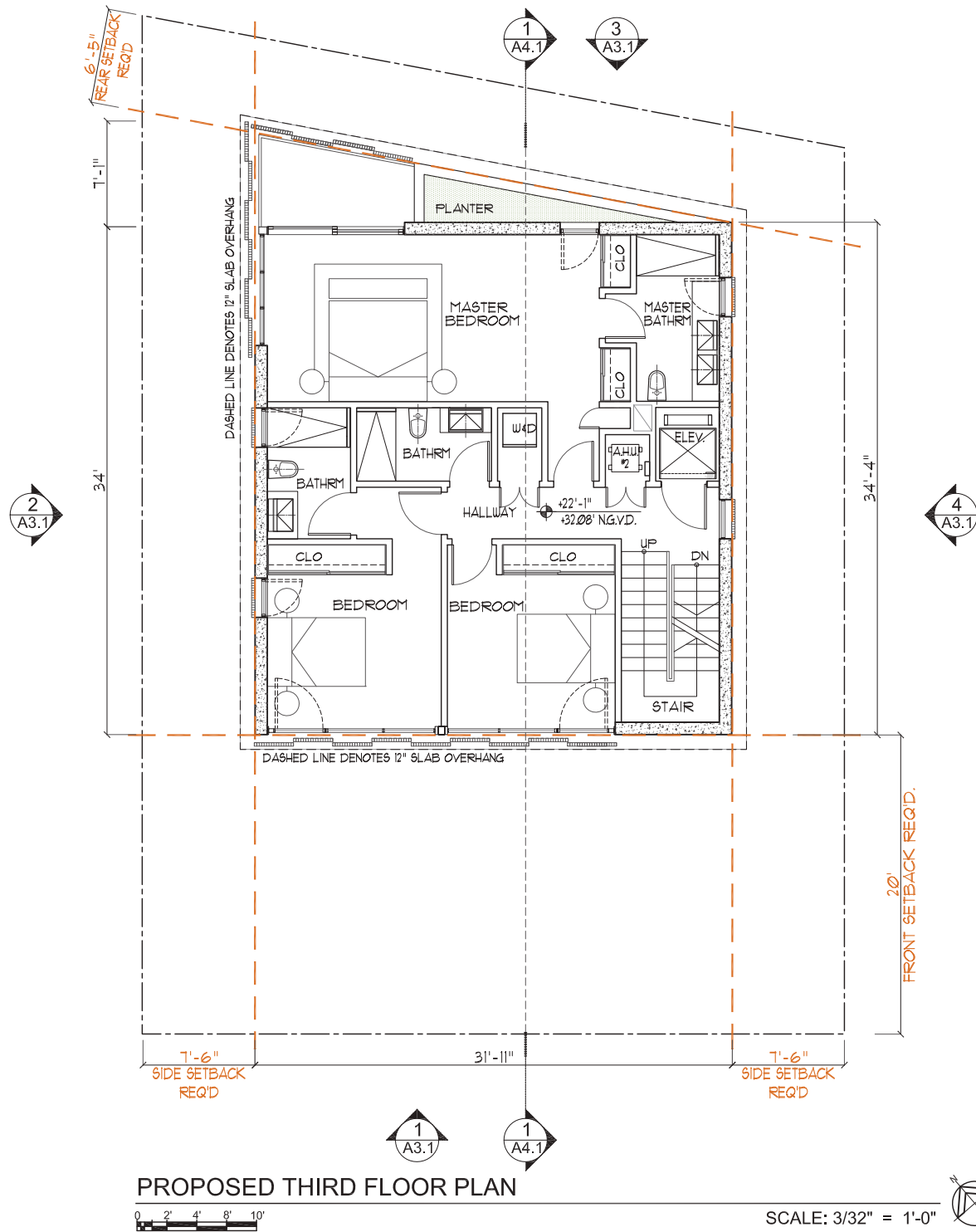
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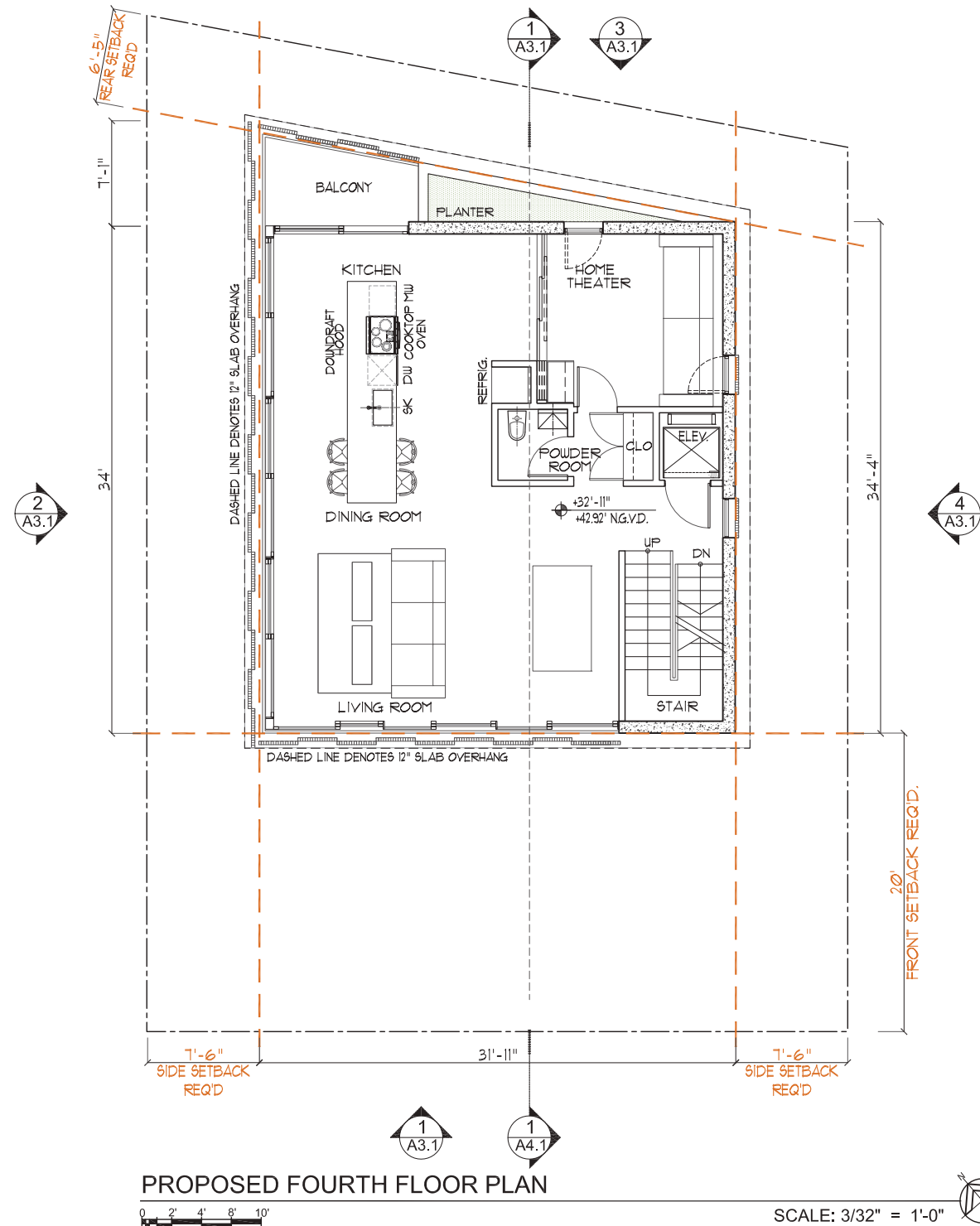
Sheet Title:
PROPOSED SECOND
FLOOR PLAN

Project No. 2203	Sheet No. A2-2
Date 08/08/2022	
Drawn By A.S./M.G.	
Reviewed By PGS	Sheet 13 of 26





Sheet 15 of 26



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Sheet Title:

PROPOSED ROOFTOP
FLOOR PLAN

Project No.

2203

Date

08/08/2022

Drawn By

A.S./M.G.

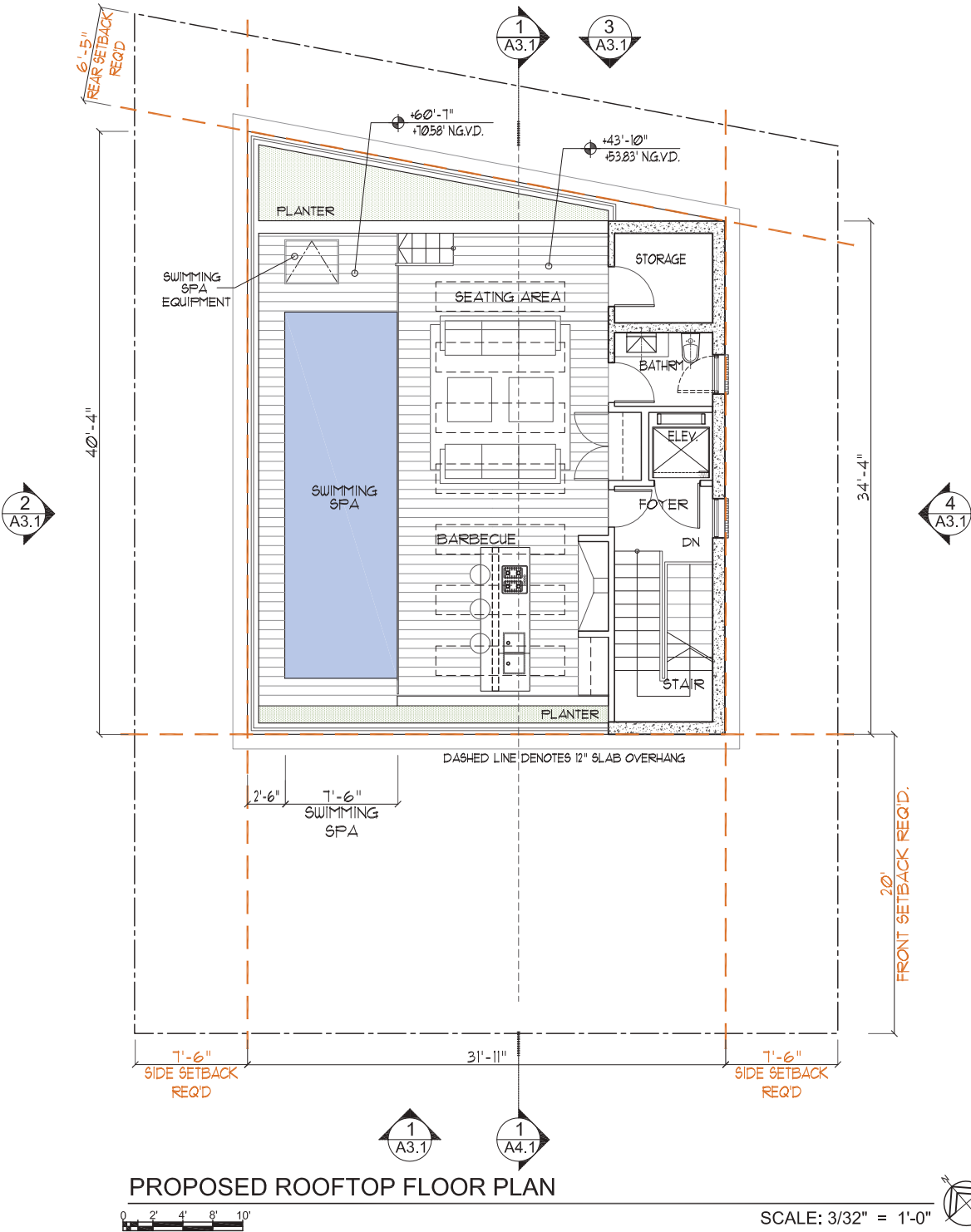
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PGS

Sheet No.

A2-5

Sheet 16 of 26



PROPOSED ROOFTOP FLOOR PLAN

SCALE: 3/32" = 1'-0"



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Sheet Title:

PROPOSED ROOF
FLOOR PLAN

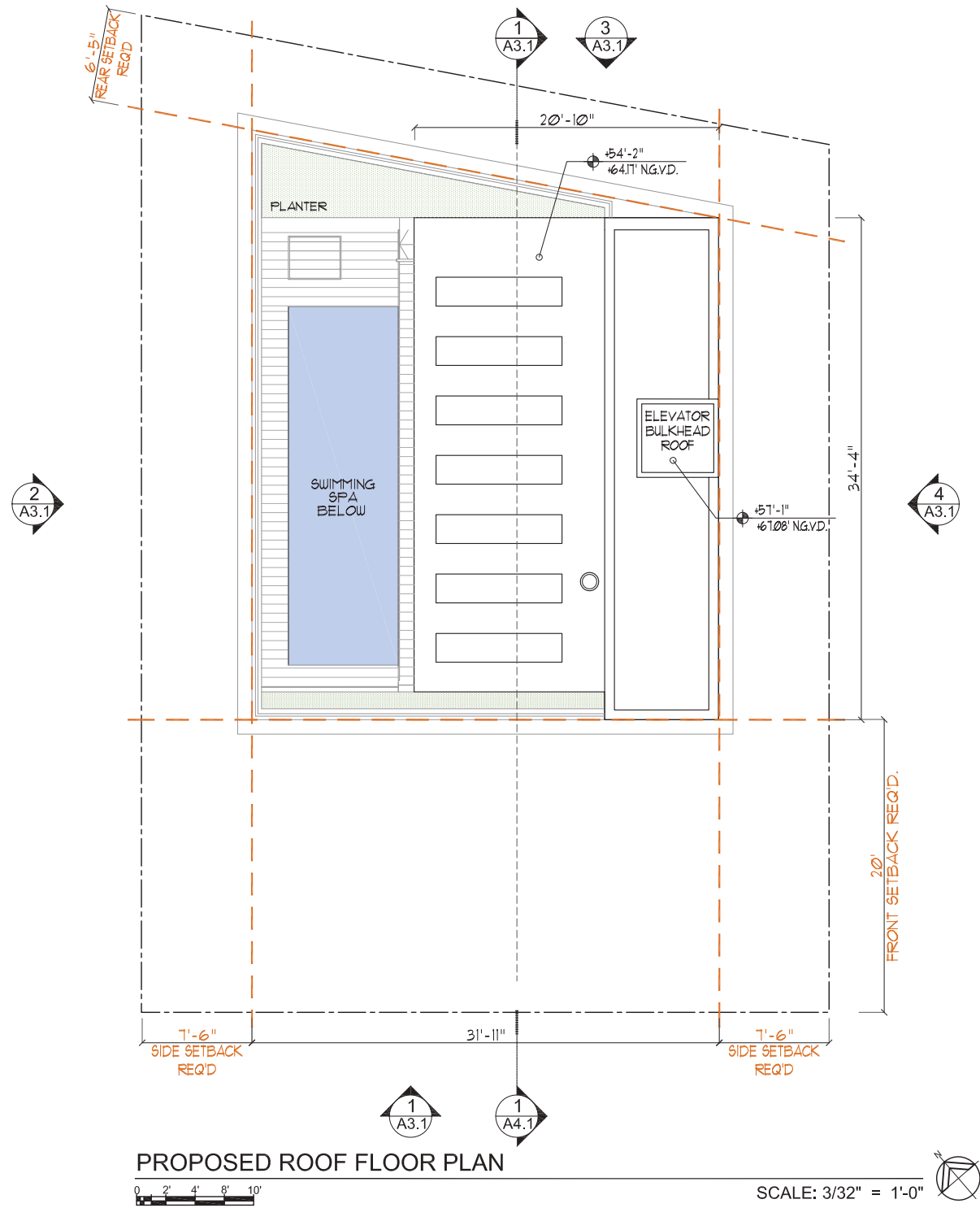
Project No. Sheet No.

2203 A2-6

Date 08/08/2022

Drawn By A.S./M.G.

Reviewed By PGS Sheet 17 of 26



PROPOSED ROOF FLOOR PLAN

SCALE: 3/32" = 1'-0"



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Issued for:
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Sheet Title:
SOUTHWEST
ELEVATION

Project No. 2203	Sheet No. A3-1
Date 08/08/2022	
Drawn By A.S./M.G.	
Reviewed By PGS	Sheet 18 of 26



1 SOUTHWEST ELEVATION
A3.1

SCALE: 3/32" = 1'-0"



2 NORTHWEST ELEVATION
A3.1

SCALE: 3/32" = 1'-0"



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Sheet Title:

NORTHEAST
ELEVATION

Project No.

2203

Date 08/08/2022

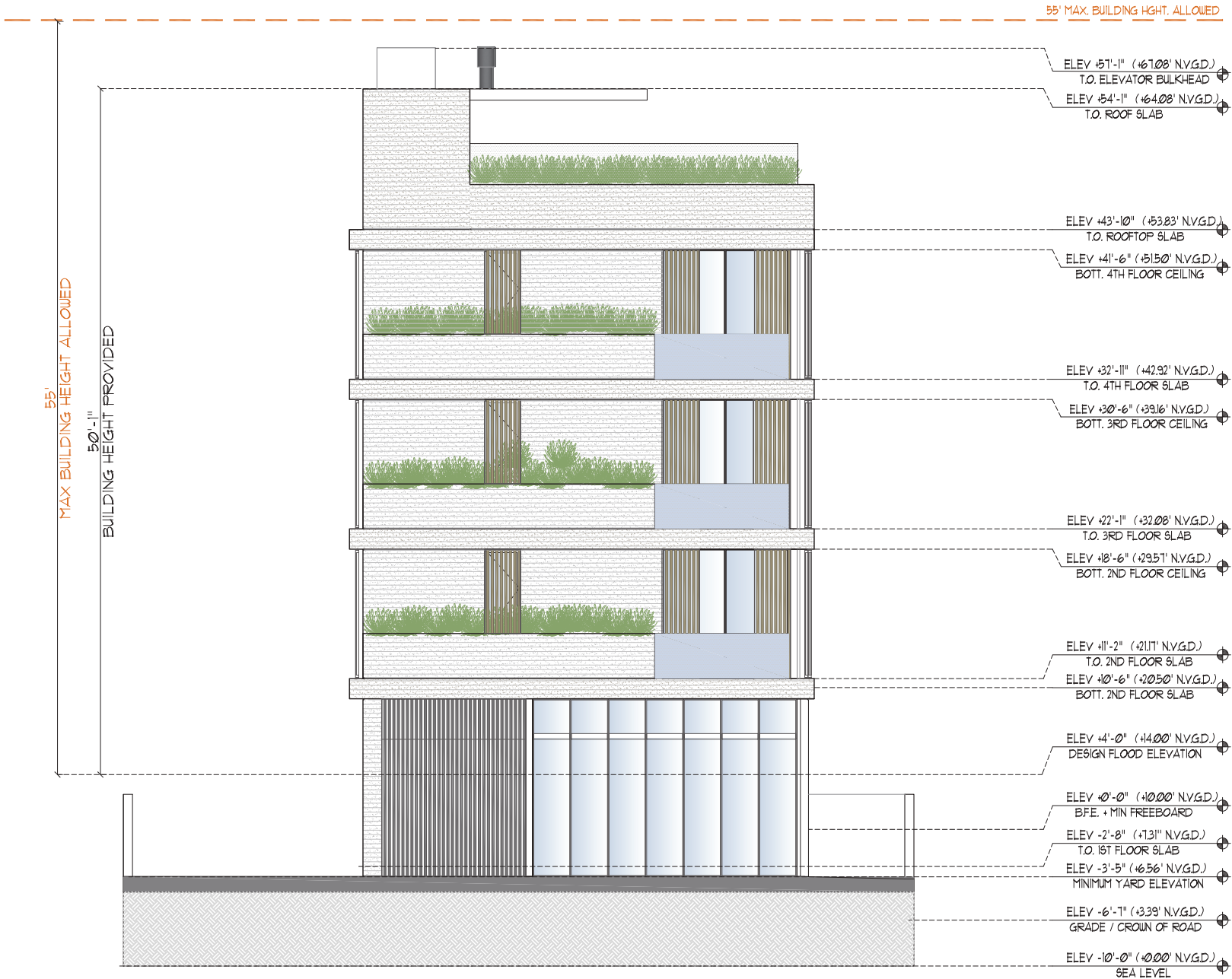
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Sheet No.

A3-3

Sheet 20 of 26



3
A3.1 NORTHEAST ELEVATION

SCALE: 3/32" = 1'-0"



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Project Title

10 CENTURY LANE

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FAMILY RESIDENCE FOR

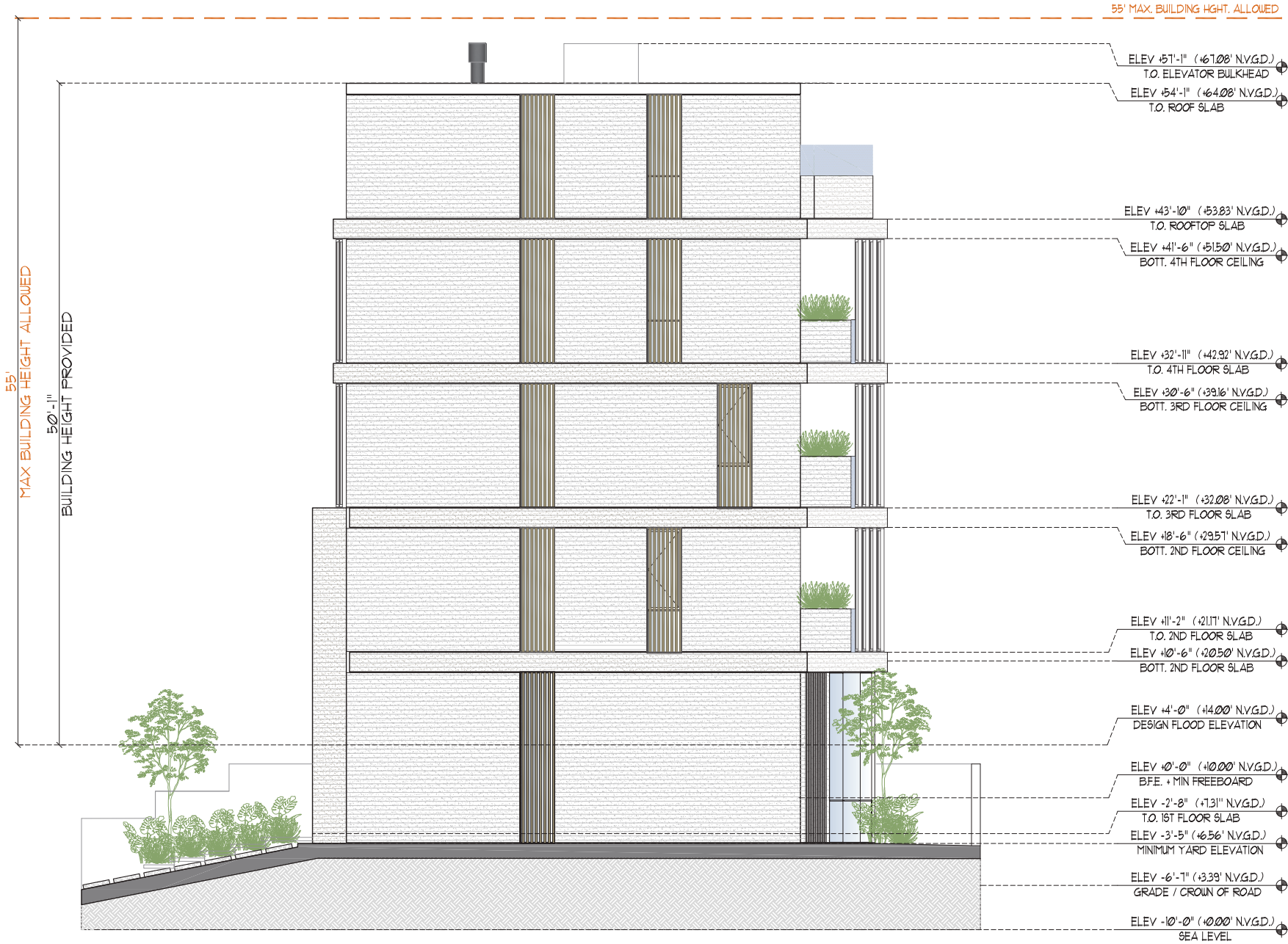
MR. MICHAEL SAIGER

10 CENTURY LANE
MIAMI BEACH, FL 33139

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Sheet Title:
SOUTHEAST
ELEVATION

Project No. 2203	Sheet No. A3-4
Date 08/08/2022	
Drawn By A.S./M.G.	
Reviewed By PGS	Sheet 21 of 26



4 SOUTHEAST ELEVATION
A3.1

SCALE: 3/32" = 1'-0"

Project No. 2203	Sheet No. A4-1
Date <u>08/08/2022</u>	
Drawn By <u>A.S./M.G.</u>	
Reviewed By <u>PGS</u>	Sheet 22 of 26



SCALE: 3/32" = 1'-0"

3D RENDERING FACING SOUTHWEST - CENTURY LANE



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10 CENTURY LANE

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Sheet Title:
3D RENDERING

Project No. 2203	Sheet No. A5-1
Date 08/08/2022	
Drawn By A.S./M.G.	
Reviewed By PGS	Sheet 23 of 26

3D RENDERING FACING NORTHWEST - 8 CENTURY



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3D RENDERING

Project No. 2203	Sheet No. A5-2
Date 08/08/2022	
Drawn By A.S./M.G.	
Reviewed By PGS	Sheet 24 of 26

3D RENDERING FACING NORTHEAST - THE STANDARD HOTEL



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o=Guarantee, ou=1000000180AFDAF7F000B9F70,
ou=Pedro, c=US
Date: 2022.08.08 15:48:00-0400

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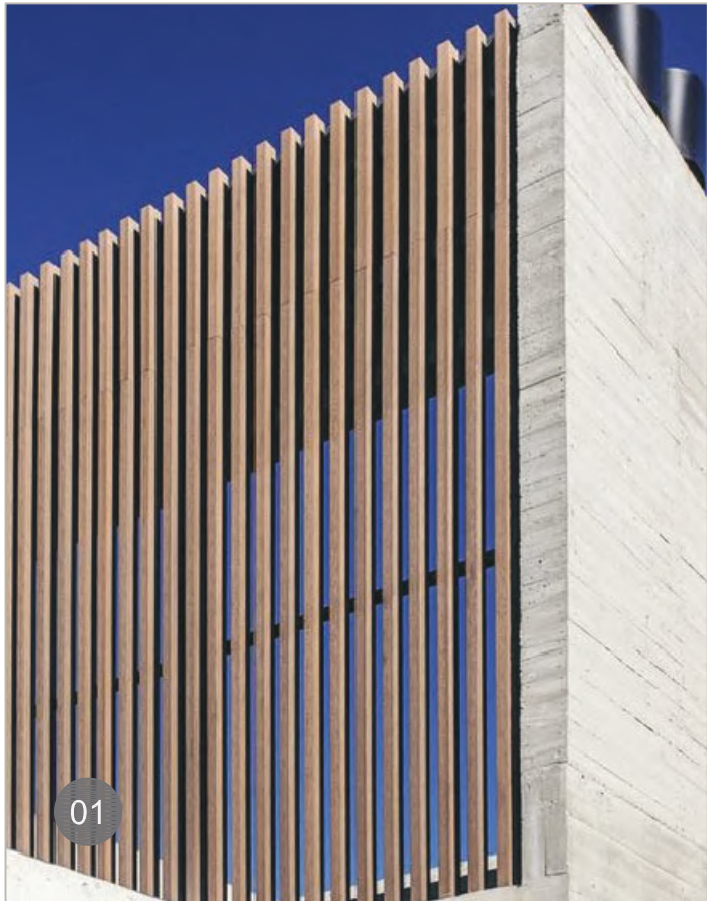
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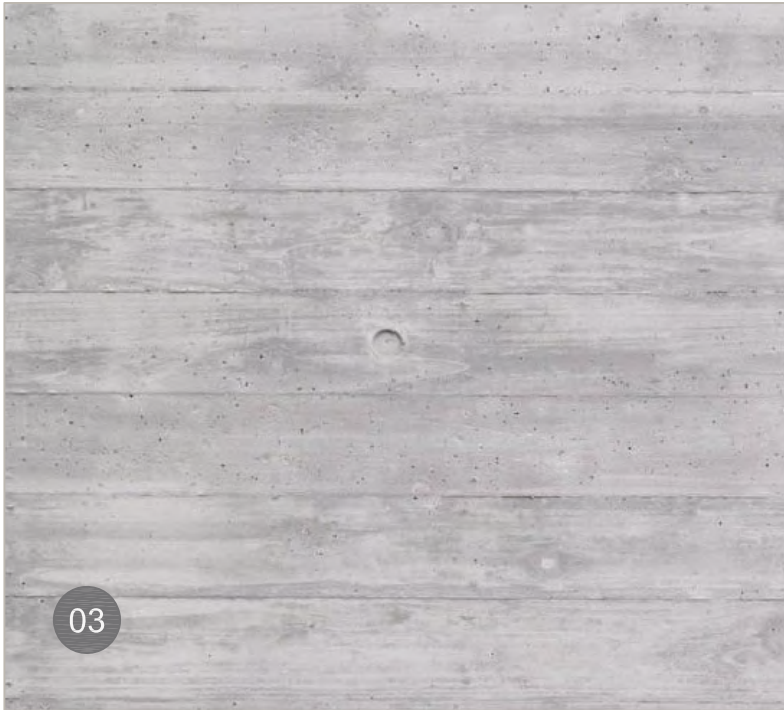
Sheet Title:

3D RENDERING

Project No. 2203	Sheet No. A5-3
Date 08/08/2022	
Drawn By A.S./M.G.	
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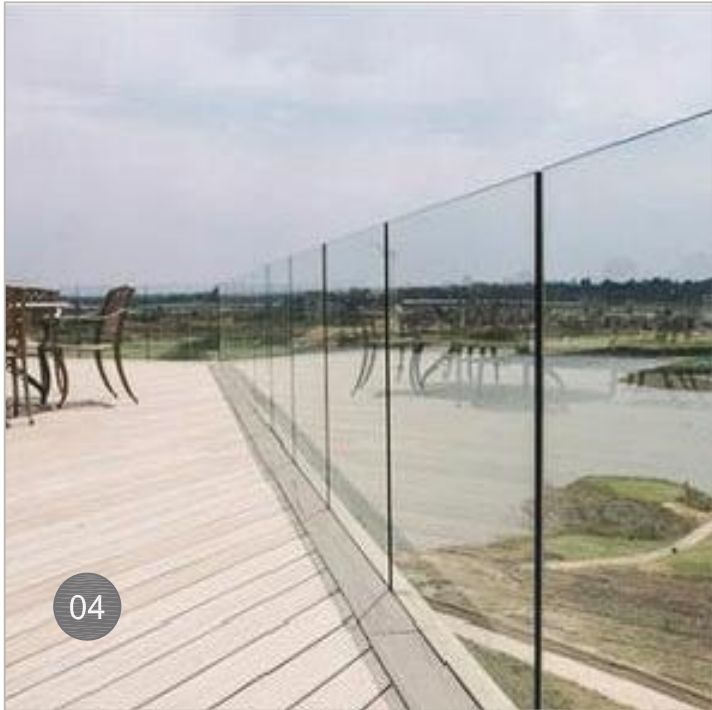
01
VERTICAL THERMALLY MODIFIED WOOD LOUVER
@ LOUVERED PANELS



03
ARCHITECTURAL CONCRETE - BOARD FORMED
@ FACADE TREATMENT



02
ANODIZED ALUMINUM & GLASS SYSTEM - BLACK
@ FENESTRATION



04
FRAMELESS GLASS RAILING SYSTEM
@ SECOND FLOOR BALCONIES & ROOFTOP