10 CENTURY LANE RESIDENCE

10 CENTURY LANE MIAMI BEACH, FL 33139



DRB22-0847 - FIRST SUBMITTAL AUGUST 8TH. 2022

SCOPE OF WORK

NEW FIVE- STORY SINGLE FAMILY HOME

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A5-2 RENDERING - NORTHWEST- 8 CENTURY

A5-3 RENDERING - NORTHEAST - THE STANDARD

A6-1 MATERIALS & FINISHES

ROHITST

Pedro G. Suarez, RA

10342 S.W. 113th Street Miami, FL 33176-4028 Telephone: (305) 443-2713 email: Psuarez@pgsarchitects.com



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Project Title

10 CENTURY LANE

PROPOSED NEW SINGLE FAMILY RESIDENCE FOR

MR. MICHAEL SAIGER

10 CENTURY LANE MIAMI BEACH, FL 33139

Issued for:

DRB FINAL SUBMITTAL

Sheet Title:

PROPOSED SITE PLAN

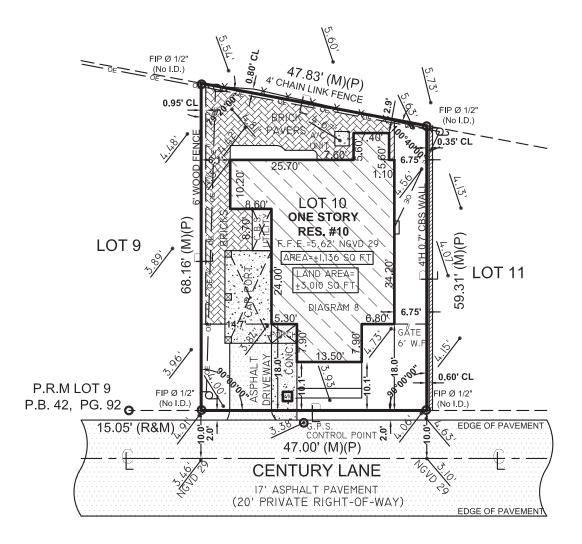
Project No. 2203

2203
Date 08/08/2022
Drawn By A.S./M.G.

Reviewed By PGS Sheet 1 of 26

15. THE F TUT





PROPERTY ADDRESS:

10 CENTURY LANE, Miami Beach, Fl. 33139 (FOLIO No. 02-3233-002-0100)

DESCRIPTION

Lot 10, of "BELLE ISLE VILLAS" according to the Plat thereof as recorded in Plat Book 42, Page 92 of the Public Records of Miami-Dade County, Florida.

There may be legal restrictions on the subject property that are not shown on the Map of Survey that may be found in the Public Records of Miami-Dade County, or the records of any other public and private entities as their jurisdictions may appear.

The Map of Survey is intended to be displayed at the stated graphic scale in English units of measurement. Attention is brought to the fact that said drawing may be altered in scale by the reproduction process.

This Survey was conducted for the purpose of a BOUNDARY SURVEY only and is not intended to delineate the regulatory jurisdiction of any federal, state, regional or local agency board, commission or other entity.

Legal description was furnished by the client.

The elevations of well-identified features as depicted on this survey and map were measured to an estimated vertical positional accuracy of 1/10 foot for natural ground surfaces and 1/100 foot for hardscape surfaces, including pavements, curbs and other man-made features as may exist.

Well-identified features as depicted on this survey and map were measured to an estimated horizontal positional accuracy of 1/10 foot unless otherwise shown.

Legal Description subject to any dedications, limitations, restrictions, reservations or recorded

Sketch of Survey cannot be used for construction purposes. Surveyor not responsible for third party

LIST OF POSSIBLE ENCROACHMENT: N/A



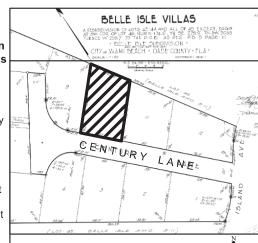
AERIAL MAP (NOT TO SCALE)

FLOOD ZONE INFORMATION: Community No. 120651 Panel No. 0317

Suffix: L FIRM Date: 09-11-2009 Flood Zone: AE=9.00'

BENCH MARK USED

BM # D-168 Elevation = 7.75' converted to NGVD 1929.



OCATION MAP (NOT TO SCALE)

If shown elevations are referred to N.G.V.D. of 1929

The surveyor makes no representation as to ownership, possession or occupation of the subject property by any entity or individual.

Subsurface improvements and/or encroachments within, upon, across, abutting or adjacent to the subject property were not located and are not shown.

Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper. Additions and deletions to this Map of Survey by other than the signing party are prohibited without the written consent of the signing party.

This Map of Survey has been prepared for the exclusive use of the entities named herein and the certification does not extend to any unnamed party

10 CENTURY LN LLC.

SURVEYOR'S CERTIFICATION:

I hereby certify: That this "BOUNDARY SURVEY" and the Map of Survey resulting there from was performed under my direction and is true and correct to the best of my knowledge and belief and further, that said "BOUNDARY SURVEY" meets the intent of the "Minimum Technical Standards for Land Surveying in the State of Florida", pursuant to Rule 5J17 of the Florida Administrative Code and its implementing Rule, Survey is not covered by Chapter 472.027 of the Florida Statutes.

> ORIGINAL 03-30-2021 10-12-2021 REVISIONS:

RVEY

S

06-16-2022 Armando Garcia, P.L.S. Registered Surveyor and Mapper No. 3109 State of Florida

CBS SERVICES Land Surveyors & Mapper CARLOS@CBSSERVICESMIAMI.COM 8765 CORAL WAY, MIAMI, FL. 33155 (786) 290-4184

DRAWN ___J.V. SHEET No. 1/1

Proffesional Liability Insurance.

06-16-2022

JOB No.:

03-190-21-B



AERIAL VIEW OF BELLE ISLE & VENETIAN CROSSWAY

10342 S.W. 113th Street Miami, FL 33176-4028 Telephone: (305) 443-2713 email: Psuarez@pgsarchitects.com



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asturm@archi-consulting.com 13164 NW 18th Street Pembroke Pines . FL 33028 Phone: 786.671.3132

Project Title

10 CENTURY LANE

PROPOSED NEW SINGLE FAMILY RESIDENCE FOR

MR. MICHAEL SAIGER

10 CENTURY LANE MIAMI BEACH, FL 33139

Issued for:

DRB FINAL SUBMITTAL

Sheet Title:

CONTEXT LOCATION PLAN

Project No. 2203

Date __08/08/2022_ Drawn By A.S./M.G.

Reviewed By PGS Sheet 2 of 26



SOUTHWEST AERIAL VIEW OF BELLE ISLE & VENETIAN CROSSWAY



AERIAL VIEW OF SITE & SURROUNDINGS



AERIAL VIEW OF SITE & SURROUNDING PROPERTIES

A R C H I T E C T

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Sheet Title:

CONTEXT AERIAL IMAGES

Project No. 2203

A0-

Date <u>08/08/2022</u>
Drawn By A.S./M.G.
Reviewed By PGS

Reviewed By PGS Sheet 3 of 26



KEY DIRECTIONAL PLAN



AERIAL SITE VIEW 02



AERIAL SITE VIEW 011



AERIAL SITE VIEW 🕦

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10 CENTURY LANE MIAMI BEACH, FL 33139

DRB FINAL SUBMITTAL

Sheet Title:

CONTEXT **AERIAL IMAGES**

Project No. 2203

Date __08/08/2022_ Drawn By A.S./M.G.
Reviewed By PGS Sheet 4 of 26

NOTE: REFER TO KEY DIRECTIONAL PLAN ON SHEET A0-5



7 CENTURY LANE | NEXT DOOR & VIEW OF CENTURY LN FROM SITE 014



1 CENTURY LANE | ACROSS THE STREET 000



11 CENTURY LANE | NEXT DOOR 05



VENETIAN WAY CORNER VIEW FROM SITE 000

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Sheet Title:

PROJECT SITE SURROUNDINGS

Project No. 2203

Date __08/08/2022 Drawn By A.S./M.G.

Reviewed By PGS Sheet 5 of 26



KEY DIRECTIONAL PLAN



EXISTING STRUCTURES (18)



EXISTING STRUCTURES (19)



EXISTING STRUCTURES 110

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Sheet Title:

PROJECT SITE IMAGES

Project No. 2203

Date __08/08/2022_ Drawn By A.S./M.G.
Reviewed By PGS Sheet 6 of 26

DEMOLITION GENERAL NOTES

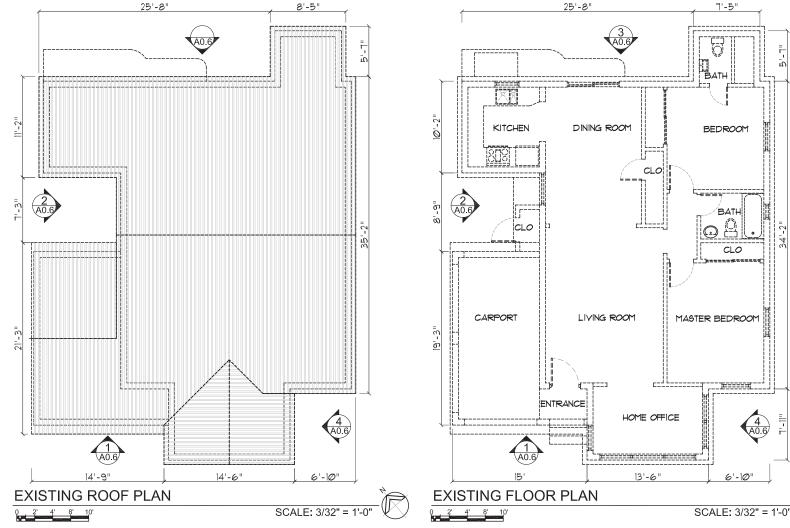
DEMOLITION LEGEND

NORTHEAST ELEVATION

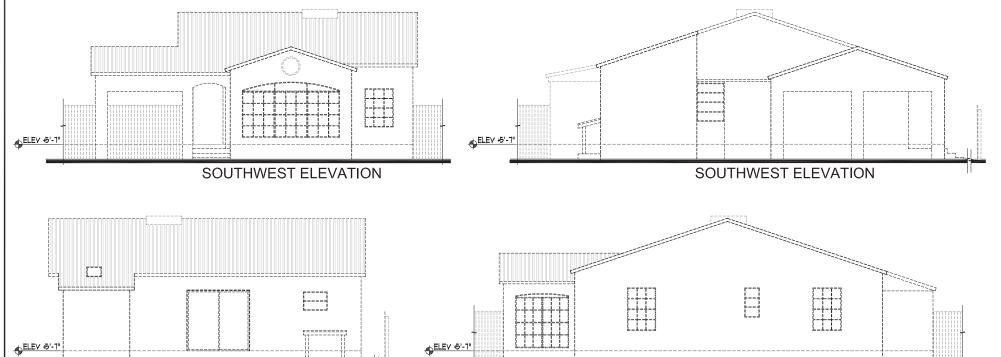
----- EXIST'G CONSTRUCTION TO

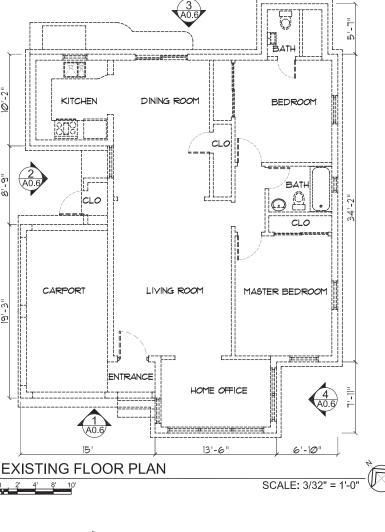
- 1. ALL WORK 15 TO BE DONE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2020 1TH EDITION, AND LOCAL ORDINANCES REQUIREMENTS. THE CONTRACTOR IS TO BID THE WORK TO CONFORM WITH THIS CODE.
- 2. INTENT OF THESE DRAWINGS IS THAT THE CONTRACTOR'S WORK WILL CONSIST OF FURNISHING ALL DEMOLITION, LABOR MATERIALS, EQUIPMENT AND DEBRIS REMOVAL NECESSARY TO COMPLETE THE SCOPE OF WORK INDICATED ON THESE
- OBTAIN CLARIFICATION AND INTERPRETATION OF DRAWINGS
 AND SPECIFICATIONS, INCLUDING ADDITIONAL DETAILS, DIRECTLY FROM THE ARCHITECT.
- 4. DEMOLITION SHALL BE SELECTIVE AS INDICATED ON THESE DRAWINGS. REFER TO DEMOLITION SCOPE OF WORK.
- 5. DEMOLITION WORK TO INCLUDE REMOVAL OF EXISTING COMPONENTS, NECESSARY AND INCIDENTAL TO COMPLETE SCOPE OF WORK. REFER TO DRAWINGS FOR LOCATION OF
- 6. SCOPE OF WORK TO INCLUDE TOTAL DEMOLITION OF EXISTING BUILDING AND SITE CONSTRUCTION OF ANY KIND. REMOVE EXISTING PAYING, LANDSCAPING AND FENCE.
- 1. EXECUTION OF DEMOLITION AND ALTERATION WORK SHALL PROGRESS IN SUCH A MANNER AS NOT TO INTERFERE WITH SAFETY AND CONVENIENCE OF THOSE OCCUPYING AND/OR EMPLOYED IN AND ABOUT PREMISES. SAFETY, FEATURES FOR PROTECTION OF EMPLOYEES AND THE PUBLIC SHALL COMPLY WITH MINIMUM STANDARDS OF THE FLORIDA INDUSTRIAL
- 8. COORDINATE WITH APPLICABLE UTILITY COMPANIES FOR UTILITY LINE REMOVAL, IF ANY, AND RELATED CAPPING AND UTILITY SHUTDOWN IF NECESSARY BY SUCH DEMOLITION WORK.
- 9. DEMOLITION AND REMOVAL OPERATIONS SHALL BE CONDUCTED IN AN EXPEDIENT MANNER, WITH PRECAUTIONS TAKEN TO PREVENT DEMOLITION SITE FROM DISRUPTING NORMAL SITE AND ADJACENT SITES ACTIVITIES.

- 10. REMOVE ALL MECHANICAL, PLUMBING AND WATER PIPING BACK TO THEIR SOURCE AND CAP AS REQUIRED.
- TRANSPORT DEBRIS MATERIAL IN AN ACCEPTABLE MANNER AS TO PRE- VENT SPILLAGE ON TO STREETS.
- 12. DEMOLITION AND TRANSPORTATION OR DEBRIS SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS GOVERNING THESE OPERATIONS. THE DEMOLITION CONTRACTOR SHALL PAY ALL FEES FOR RUBBISH DISPOSAL.
- 13. WASTE MATERIAL AND RUBBISH FROM DEMOLITION AND ALTERATION OPERATION SHALL BE REMOVED FROM SITE AS RAPIDLY AS POSSIBLE AND SHALL NOT BE ALLOWED TO ACCUMULATE ON PREMISES. DISPOSAL OF MATERIAL WILL BE AT THE DISCRETION OF THE CONTRACTOR OPEN FIRES WILL NOT BE PERMITTED FOR DISPOSING OF WASTE. CONTRACTOR SHALL PROVIDE AN EXTERIOR AREA TO COLLECT ALL DEMOLISHED MATERIAL NOT TO BE REUSED. THIS AREA SHALL BE SAFE AND UNOBSTRUCTING TO BUILDING FUNCTIONS.
- I4. CONDUCT REMOVAL OPERATIONS SO THAT TRAFFIC IS MAINTAINED ALONG EXISTING STREETS AND WALKS. KEEP PAVED STREETS AND WALKWAYS FREE OF DEBRIS. REMOVE MATERIAL AND OTHER MATTER TRACKED OR FALLEN ONTO TRAFFIC SURFACES.
- 15. CONTROL THE AMOUNT OF DUST RESULTING FROM CONSTRUCTION OR DEMOLITION TO PREVENT SPREAD OF DUST TO OTHER BUILDINGS AND TO AVOID CREATING A NUISANCE IN SURROUNDING AREAS, AVOID THE USE OF WATER TO CONTROL DUST WHEN IT WILL CREATE OBJECTIONABLE CONDITIONS SUCH
- 16. EXISTING PAVING, LANDSCAPING OR OTHER EXISTING WORK NOT SPECIFIED FOR REMOVAL WHICH IS TEMPORARILY REMOVED, DAMAGED, EXPOSED OR IN ANY WAY DISTURBED OR ALTERED BY REMOVAL WORK SHALL BE REPAIRED, PATCHED OR REPLACED WITH NO ADDITIONAL COST TO



SOUTHEAST ELEVATION





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HRFH CONSULTING Harold Hovte, RLA

2222 Discovery Circle

Landscape Consultant

Pedro G Suarez

Design Consultant

10 CENTURY LANE

PROPOSED NEW SINGLE FAMILY RESIDENCE FOR

MR. MICHAEL SAIGER

10 CENTURY LANE MIAMI BEACH, FL 33139

DRB FINAL SUBMITTAL

Sheet Title:

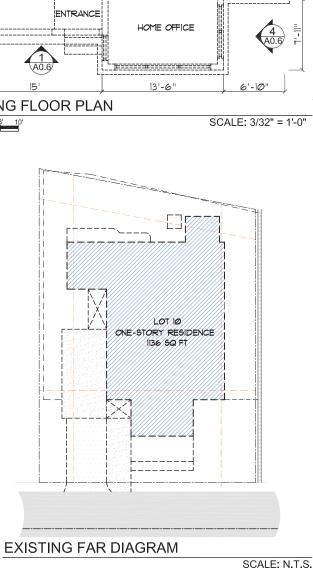
EXISTING CONDITIONS DEMOLITION PLAN

Project No. 2203

Reviewed By PGS

Date __08/08/2022 Drawn By A.S./M.G.

Sheet 7 of 26





CONTEXTUAL ELEVATION SKETCH - CENTURY LANE

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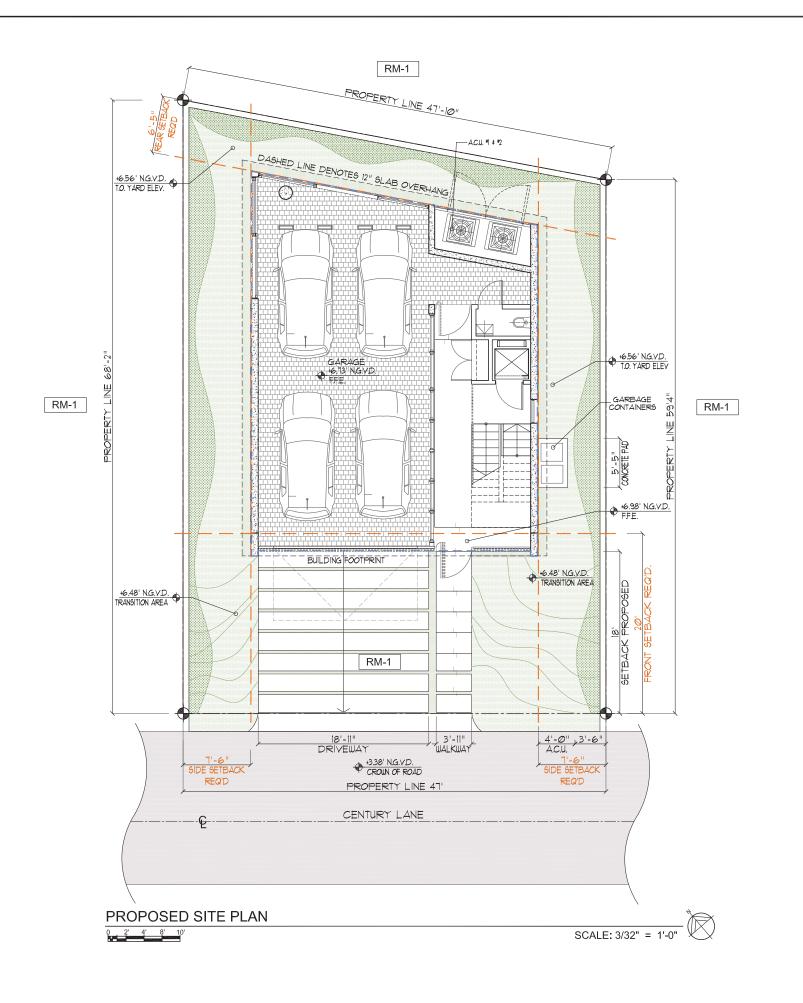
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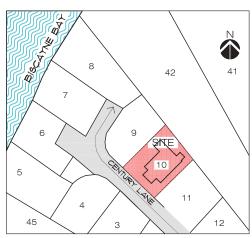
CONTEXTUAL **ELEVATION**

Project No. 2203

Sheet No.

Date __08/08/2022_ Drawn By A.S./M.G. Reviewed By PGS Sheet 8 of 26





NOT TO SCALE NOTE: EXISTING ONE STORY RESIDENCE.

LOCATION MAP

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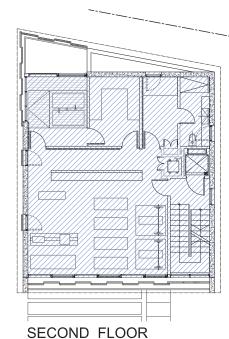
PROPOSED SITE PLAN

Project No. 2203

Sheet No Date __08/08/2022

Drawn By A.S./M.G.

Reviewed By PGS Sheet 9 of 26



FAR CALCULATIONS

FAR GROUND FLOOR	323.87 Sq. Ft.
FAR SECOND FLOOR	1086.79 Sq. Ft.
FAR THIRD FLOOR	1086.79 Sq. Ft.
FAR FOURTH FLOOR	1075.49 Sq. Ft.
FAR ROOFTOP	113.08 Sq. Ft.
TOTAL FAR PROPOSED	3686.02 Sq. Ft.
TOTAL FAR ALLOWED	3762.50 Sq. Ft.

ZONING DATA SHEET

MIAMIBEACH

Planning Department, 1700 Convention Center Drive, 2nd Floor Miami Beach, Florida 33139, www.miamibeachfl.gov 305.673.7550

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

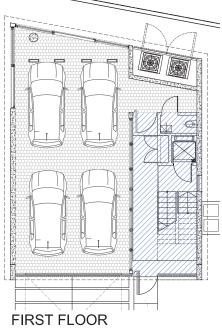
ITEM #	Project Information					
1	Address:	10 Century Lane, Miami Beach, FL 33139				
2	Board and file numbers :	DRB22-0847				
3	Folio number(s):	02-3233-002-0100				
4	Year constructed:	1941 Zoning District: RM-1				
5	Based Flood Elevation:	9.00 NGVD - AE ZONE	Grade value in NGVD:	3.39'		
6	Adjusted grade (Flood+Grade/2):	6.19' NGVD	Lot Area:	3010 Sq Ft		
7	Lot width:	47.00' 47.83'	Lot Depth:	68.16' 59.31'		
8	Minimum Unit Size	550 Sq Ft	Average Unit Size	N/A		
9	Existing use:	Single Family Residence	Proposed use:	Single Family Residence		
	Zoning Information / Calculations	Maximum	Existing	Proposed	Deficiencies	
10	Height	55 Ft		50 Ft 1in		
11	Number of Stories	5		5		
12	FAR	3762.50 Sq Ft		3686.02 Sq Ft		
13	Gross square footage	N/A				
14	Square Footage by use	N/A				
15	Number of units Residential	N/A				
16	Number of units Hotel	N/A				
17	Number of seats	N/A				
	Occupancy load	N/A				
	Setbacks	Required	Existing	Proposed	Deficiencies	
	Subterranean:					
19	Front Setback:					
20	Side Setback:					
21	Side Setback:					
22	Side Setback facing street:					
23	Rear Setback:					
	At Grade Parking:					
24	Front Setback:	20'-0"		18'-0"		
25	Side Setback:					
26	Side Setback:					
27	Side Setback facing street:					
28	Rear Setback:					
	Pedestal:					
29	Front Setback:	20'-0"		18'-0"		
30	Side Setback: West	7'-6"		7'-6"		

7'-6"

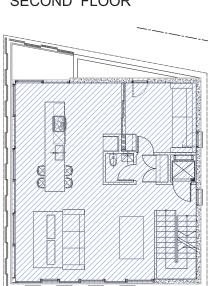
6'-5"

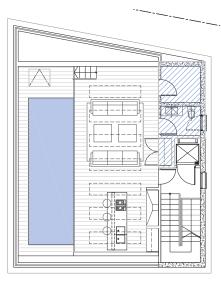
7'-6"

6'-5"



THIRD FLOOR





31 Side Setback: East

33 Rear Setback:

32 Side Setback facing street:

FOURTH FLOOR

ROOFTOP

PROPOSED FAR SHADED DIAGRAMS

SCALE: 1/16" = 1'-0"



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Project Title

10 CENTURY LANE

PROPOSED NEW SINGLE FAMILY RESIDENCE FOR

MR. MICHAEL SAIGER

10 CENTURY LANE MIAMI BEACH, FL 33139

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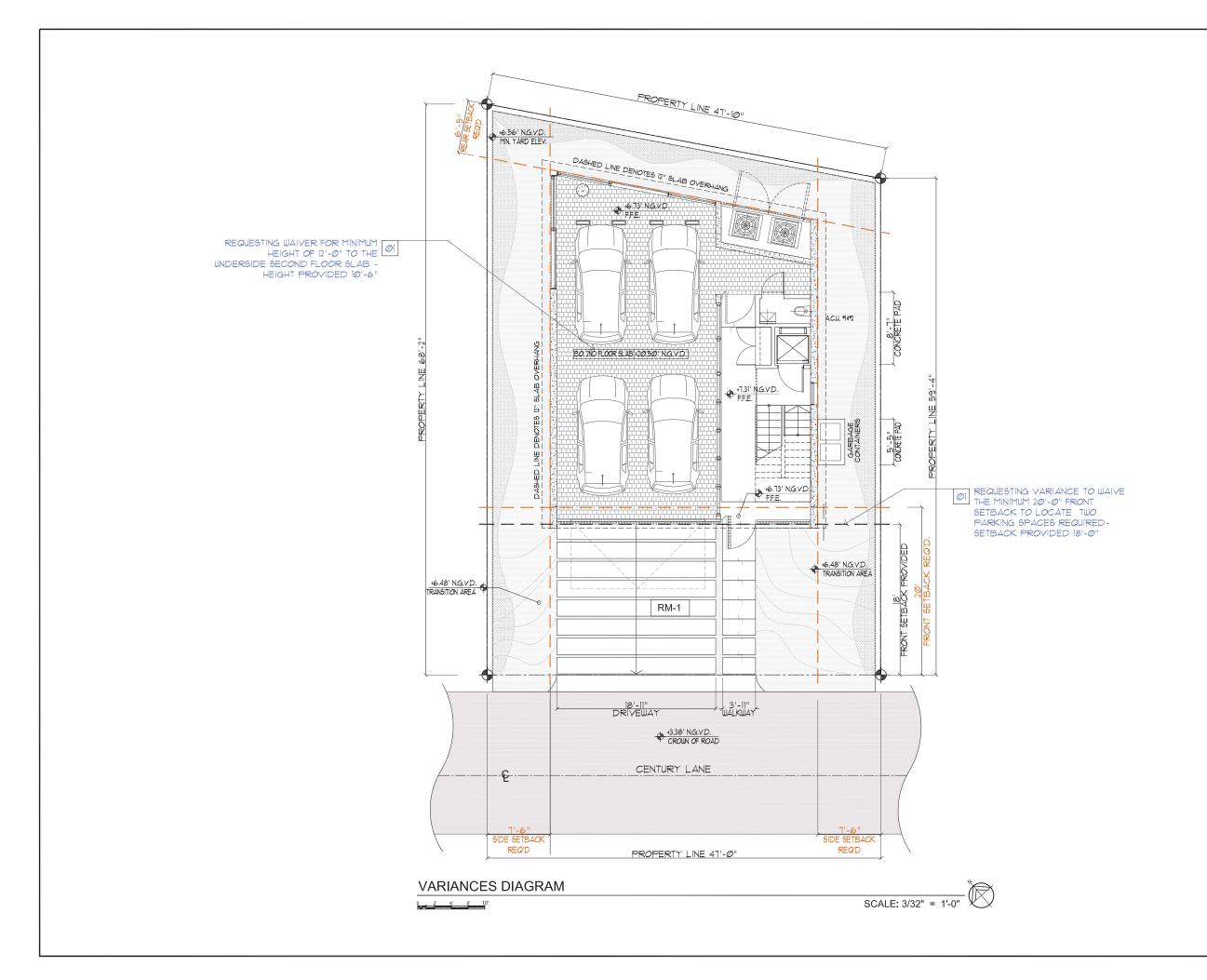
Sheet Title:

ZONING DATA & FAR DIAGRAMS

Project No. 2203

Sheet No.

Date __08/08/2022_ Drawn By A.S./M.G. Reviewed By PGS Sheet 10 of 26



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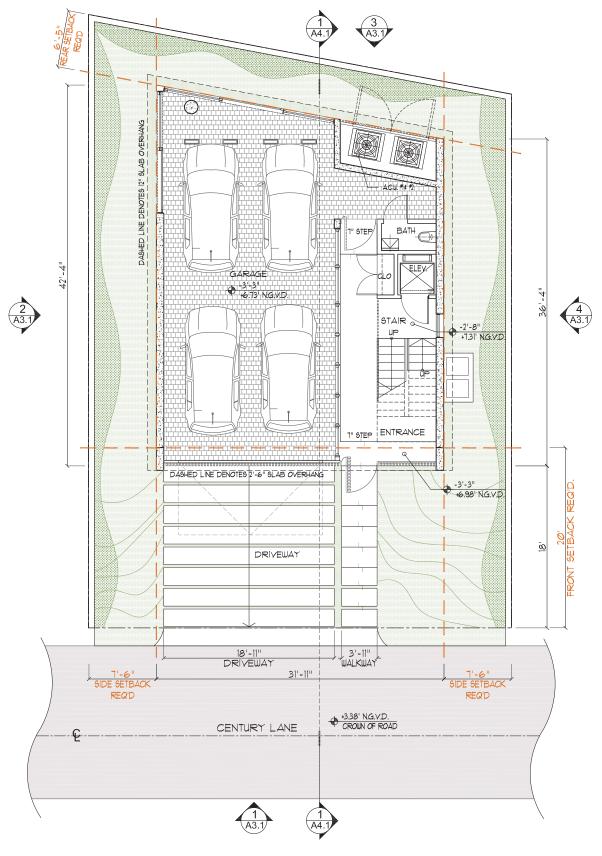
VARIANCES DIAGRAM

Project No. 2203

A1-2

Date <u>08/08/2022</u> Drawn By <u>A.S./D.S.</u> Reviewed By <u>PGS</u>

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PROPOSED FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"



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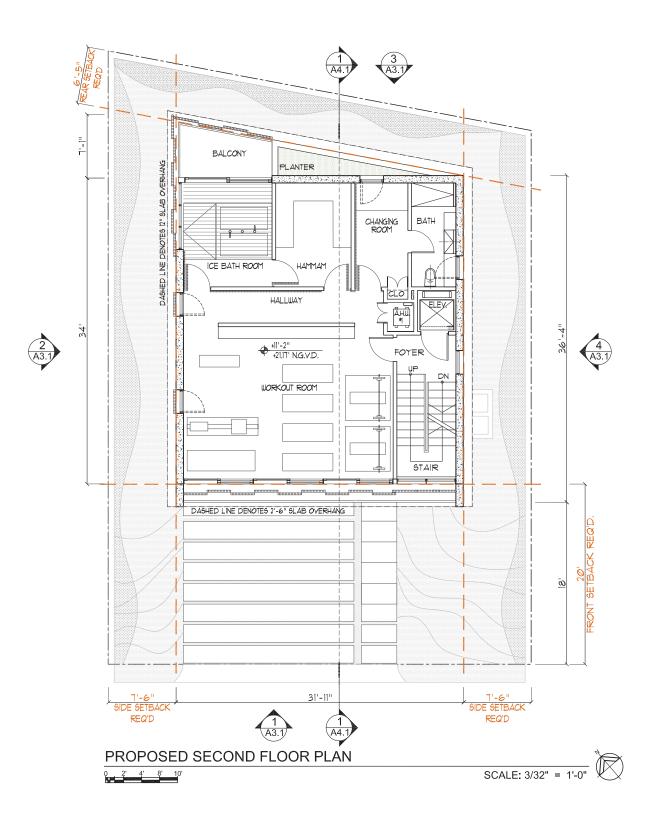
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PROPOSED FIRST FLOOR PLAN

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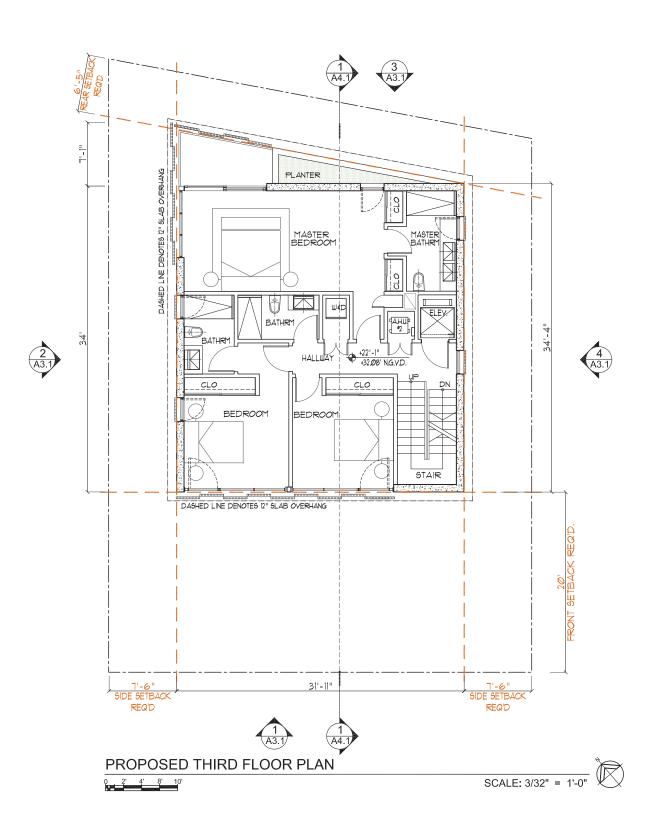
PROPOSED SECOND FLOOR PLAN

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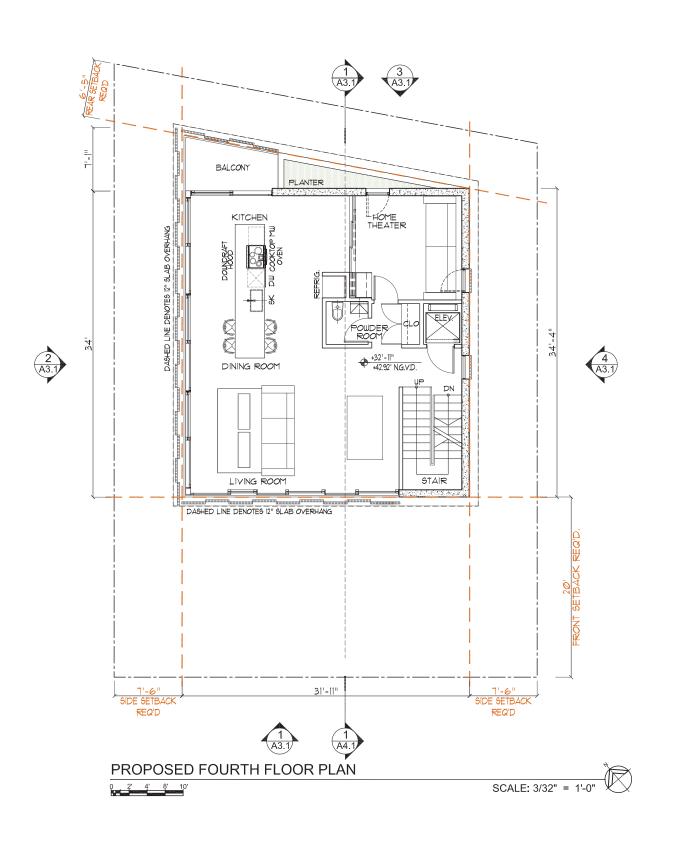
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PROPOSED THIRD FLOOR PLAN

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A2-3

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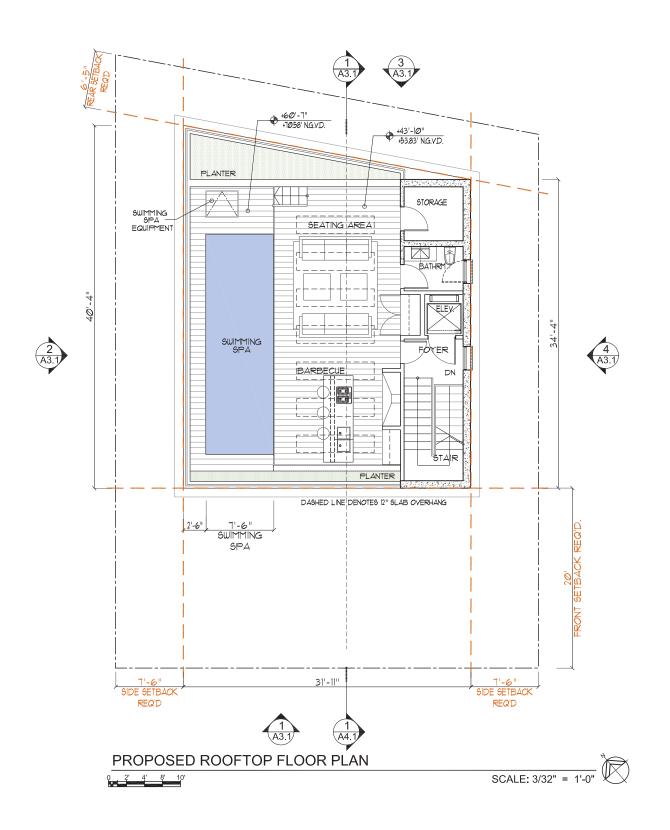
Sheet Title:

PROPOSED FOURTH FLOOR PLAN

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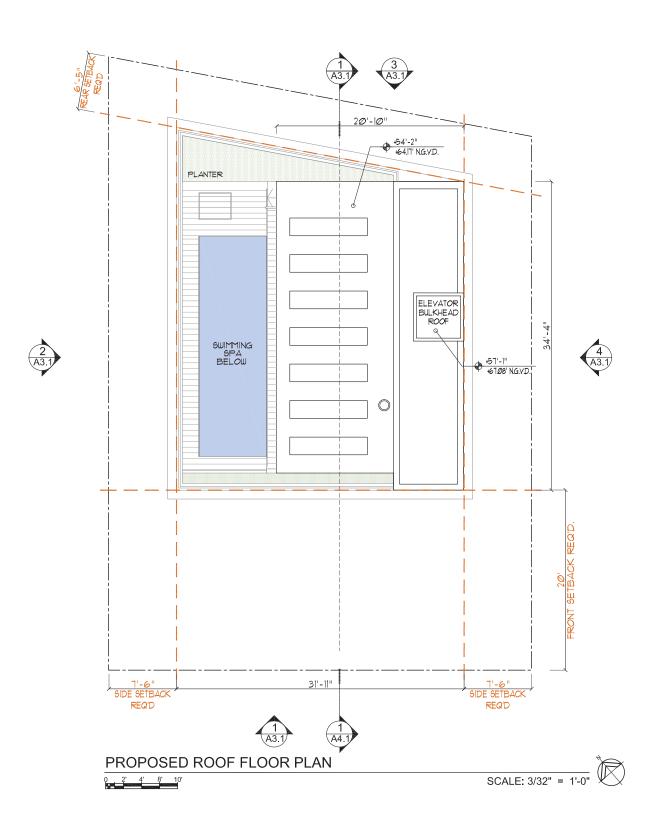
Sheet Title:

PROPOSED ROOFTOP FLOOR PLAN

Project No. 2203

Sheet No. Date __08/08/2022_

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PROPOSED ROOF FLOOR PLAN

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SCALE: 3/32" = 1'-0"

SOUTHWEST ELEVATION

1 A3.1

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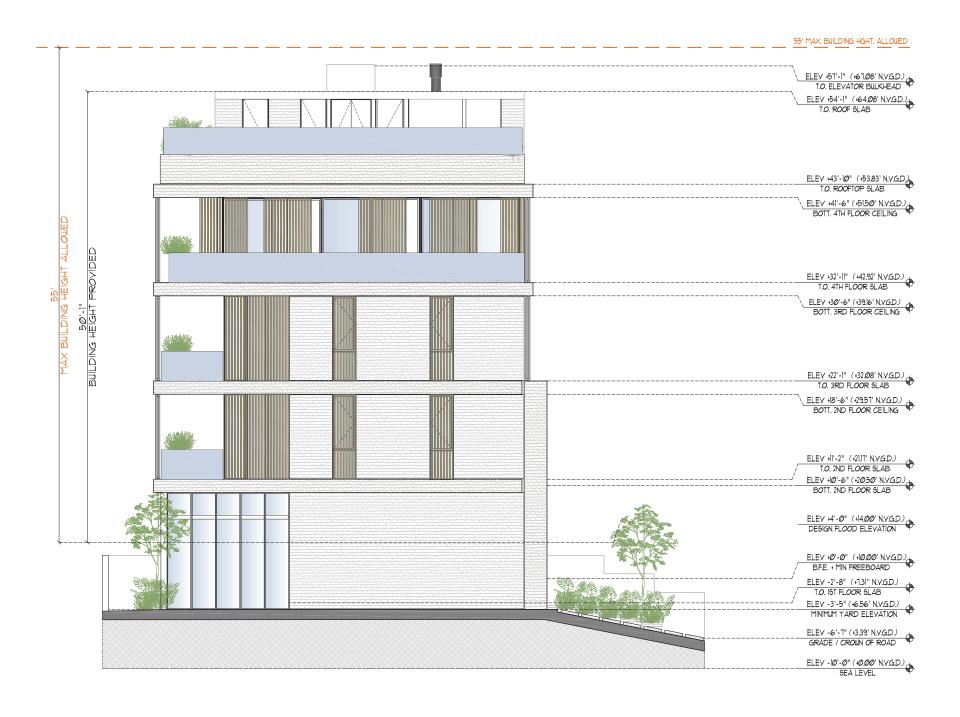
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SOUTHWEST **ELEVATION**

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Date __08/08/2022 Drawn By A.S./M.G. Reviewed By PGS Sheet 18 of 26



NORTHWEST ELEVATION

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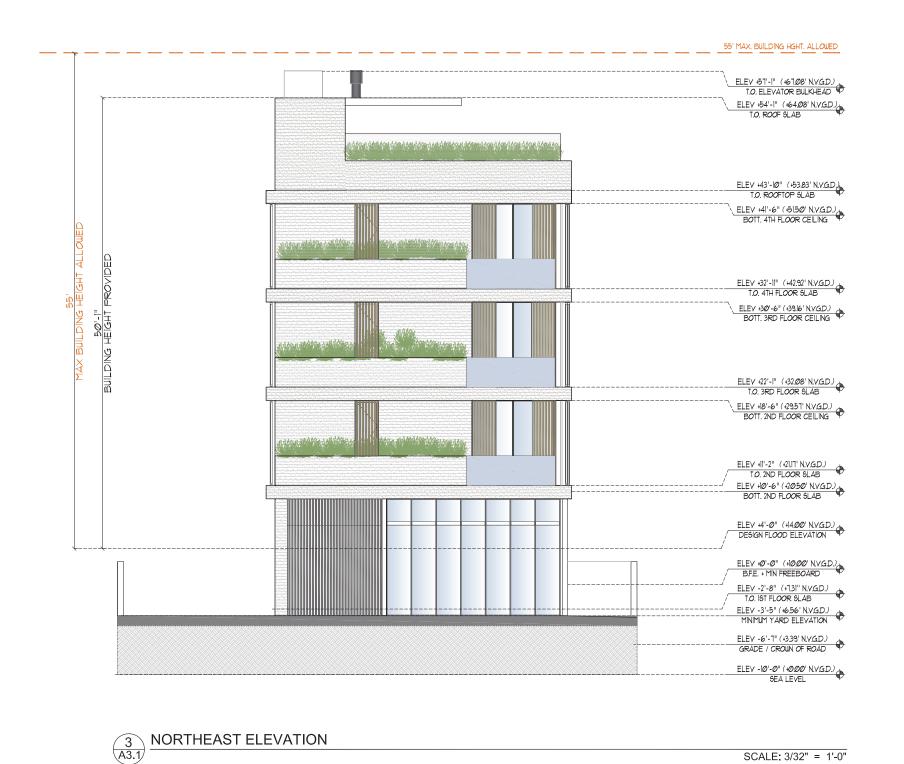
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NORTHWEST ELEVATION

Project No. 2203

Sheet No.

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Project Title

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NORTHEAST ELEVATION

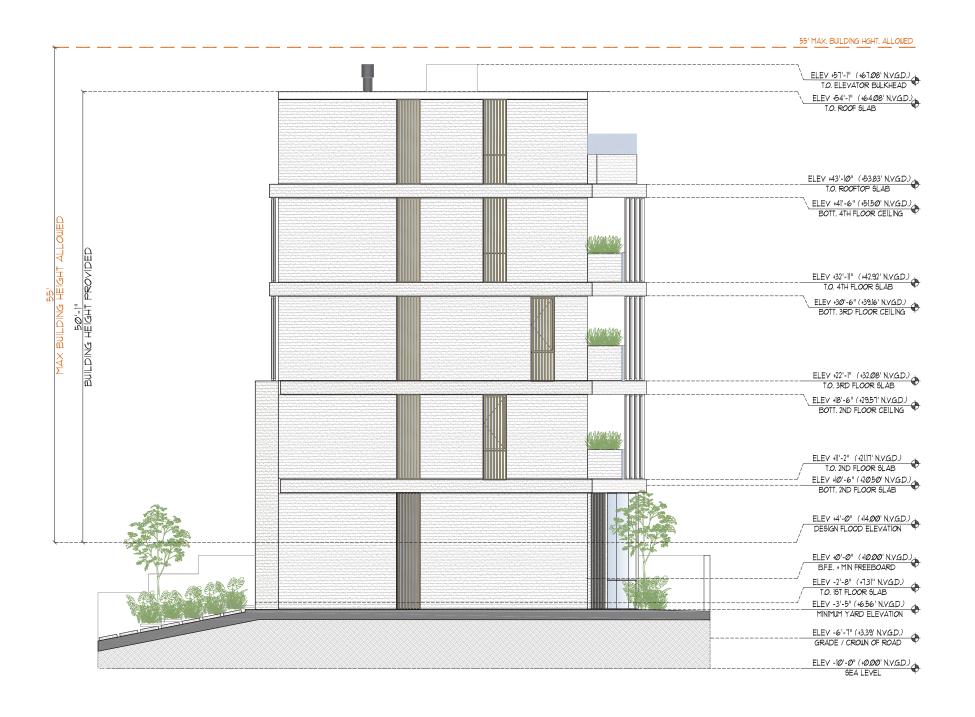
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A3-3

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SOUTHEAST ELEVATION

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SOUTHEAST ELEVATION

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BUILDING SECTION 1

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Sheet No.

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3D RENDERING FACING SOUTHWEST - CENTURY LANE



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3D RENDERING FACING NORTHWEST - 8 CENTURY



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3D RENDERING FACING NORTHEAST - THE STANDARD HOTEL



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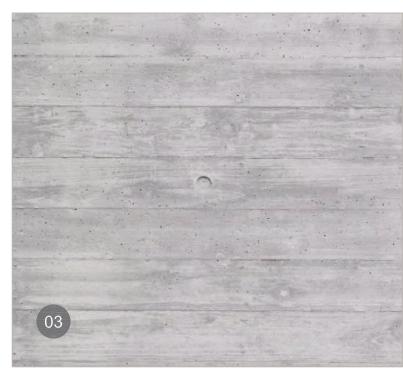
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VERTICAL THERMALLY MODIFIED WOOD LOUVER @ LOUVERED PANELS

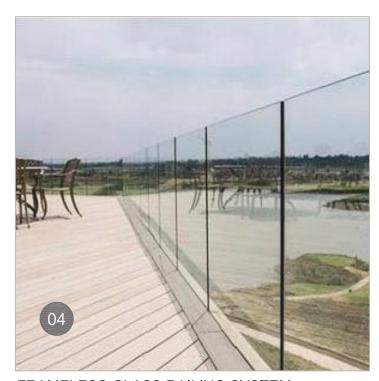


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