



1. 1590 BAY DR.
2. 1595 BAY DR.
3. 1600 BAY DR.
4. 1605 BAY DR.
5. 1615 BAY DR.
6. 1624 BAY DR.
7. 1625 BAY DR.
8. 1630 BAY DR.
9. 1631 BAY DR.
10. 1635 BAY DR.
11. 1640 BAY DR.
12. 1650 BAY DR.



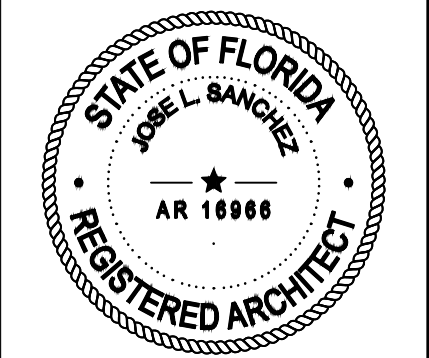
1 AERIAL LOCATION MAP



3 CONTEXTUAL ELEVATION
(SEE SHEETS PH-2.1, PH-2.2 FOR REFERENCE) NOT TO SCALE

2 NEIGHBORHOOD AERIAL MAP

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architecture. design
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P. 305.578.8043 PRAXISARCH.COM
FL LIC. AR 0016946 FL LIC. AA 24000837



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ADDRESS & OWNER

NEW RESIDENCE
1610 BAY DRIVE
MIAMI BEACH, FLORIDA. 33141
OWNER:

REVISION & DATE

1	
2	
3	
4	
5	

DRAWING TITLE

AERIAL/
PROPERTY
MAP

SCALE: AS SHOWN
DATE: 09-26-2021

SHEET NUMBER

PH-2.0

August 22, 2022

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

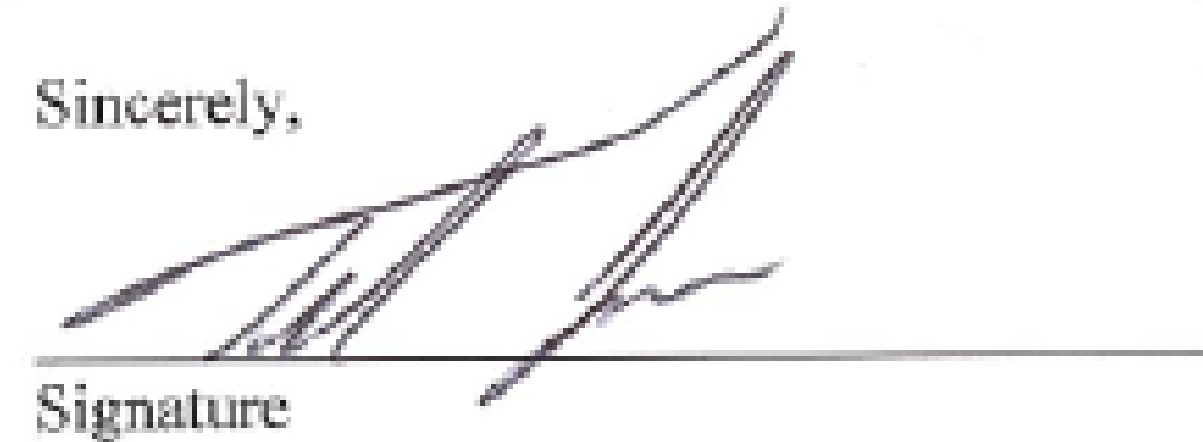
Re: DRB22-0874, 1610 Bay Drive, Miami Beach
Letter of Support

Dear Board Members:

I am the owner of 1600 Bay Drive, Miami Beach, Florida, which is abutting or in close proximity to the above-referenced property. I spoke with the applicants and reviewed the plans, renderings and design requests for the proposed new, two-story single-family residence. The home is beautifully-designed, consistent with the scale of surrounding homes, and will be a welcome addition to the neighborhood. The applicants are not proposing a larger home than permitted and the massing is centrally located on the lot. The generous setbacks and lush landscaping minimize any impacts of the new home.

Based on the foregoing, I fully support the applicants' new home and ask the Design Review Board to grant the design review approval with the associated design waiver.

Sincerely,



Signature

Ted Lucas

Print name

September 6, 2022

James Bodnar, Chair, and Miami Beach Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: DRB22-0874, 1610 Bay Drive, Miami Beach, Miami-Dade County, Florida 33141
Letter of Support

Dear Mr. Bodnar and Miami Beach Design Review Board Members:

I have been the owner of 1624 Bay Drive, Miami Beach, Florida, for more than 33 years, since 1988, which is the property adjacent to on the west side of the above-referenced property. I have communicated with the applicants and reviewed the plans, renderings and design requests for their proposed new, two-story single-family residence to be constructed at 1610 Bay Drive, Miami Beach, FL. In my opinion, the applicant, his wonderful family and the home as shown on the plans I was provided will be a welcome addition to the neighborhood.

I was informed that a variance or waiver is being requested for the second story on the east side of the new house to be constructed from 60 foot to a requested 65 feet. I have no objections to this variance or waiver.

Based on the foregoing, I fully support the applicants' new home as shown on the plans I was provided and respectfully request the Design Review Board grant the design review approval with the above-stated design waiver or variance for the applicants' new home at 1610 Bay Drive, Miami Beach, Florida.

Yours truly,



Jeff Cynamon
1624 Bay Drive
Miami Beach, Florida 33141





NEIGHBORHOOD CONTEXTUAL VIEW



FRONT VIEW RENDERING 1



SIDE VIEW / 3D PERSPECTIVE



SIDE VIEW / 3D PERSPECTIVE



FRONT VIEW RENDERING 2

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FL LIC: AA 24000837

STATE OF FLORIDA

JOSE L. SANCHEZ

AR 16966

REGISTERED ARCHITECT

Jose L Sanchez

Digitally signed by Jose L Sanchez

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ADDRESS & OWNER

NEW RESIDENCE

1610 BAY DRIVE

MIAMI BEACH, FLORIDA. 33141

OWNER:

REVISION & DATE

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DRAWING TITLE

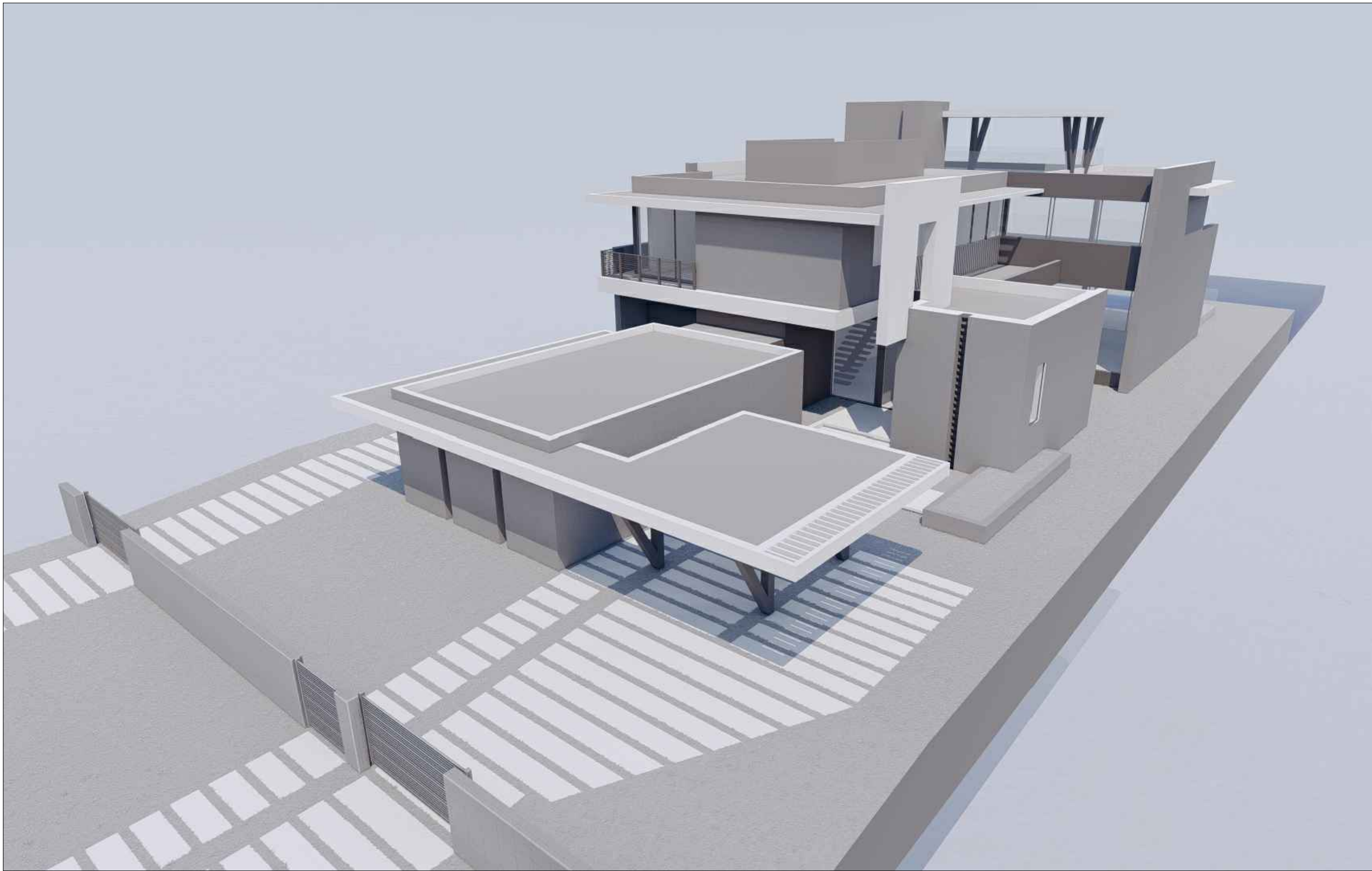
CONTEXTUAL/
PERSPECTIVE
VIEWS

SCALE: AS SHOWN

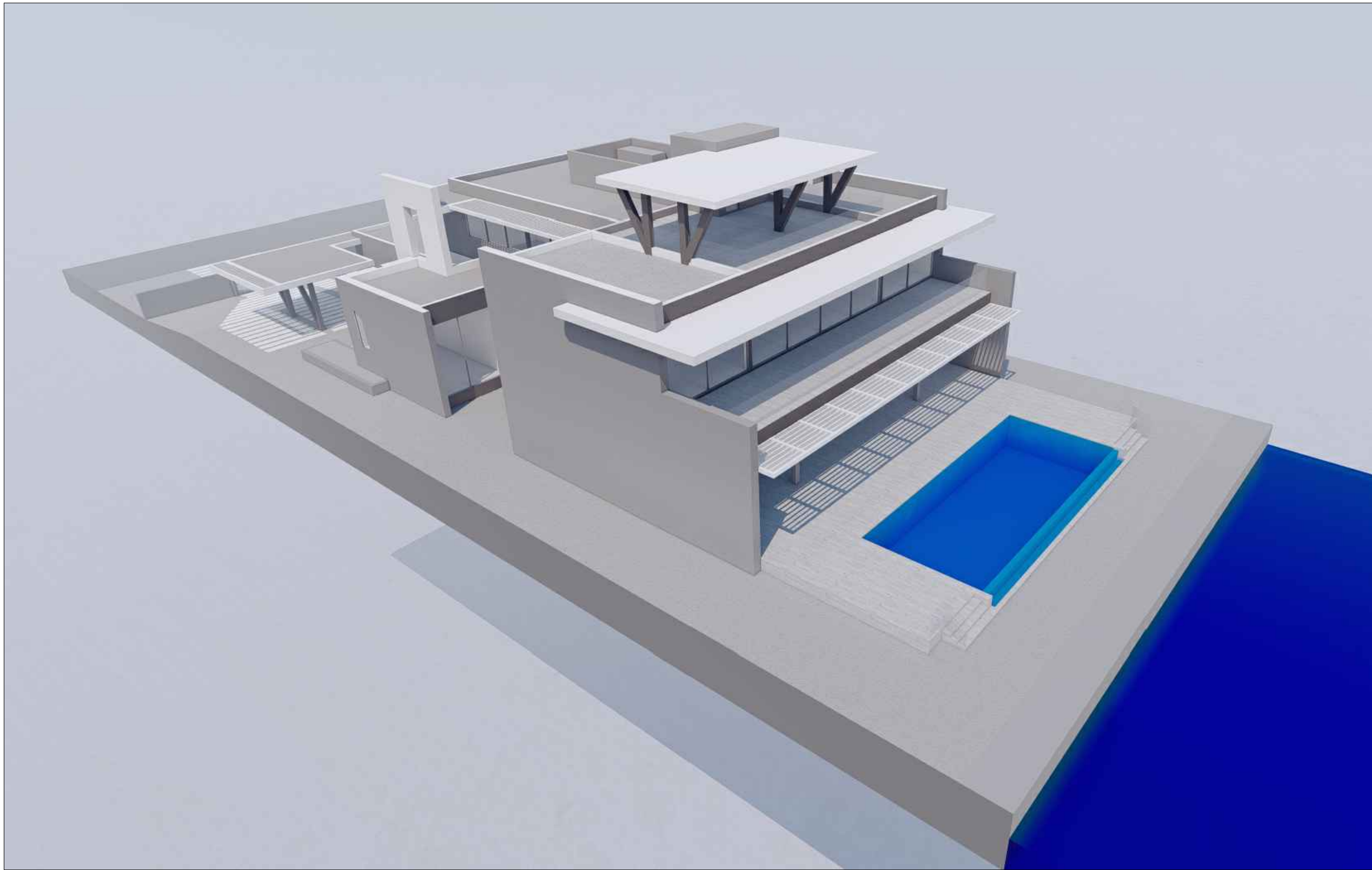
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SHEET NUMBER

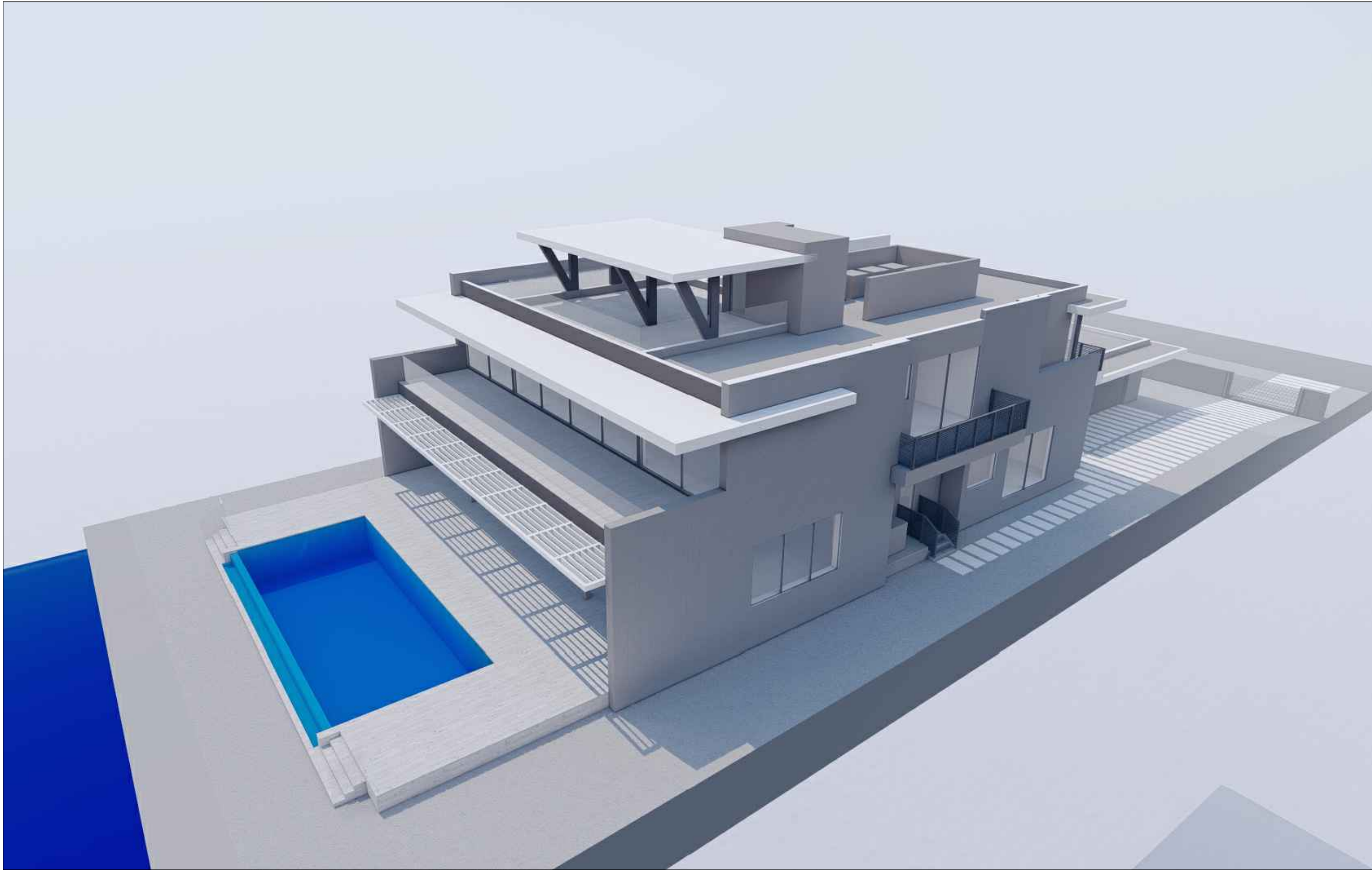
3D-1.0



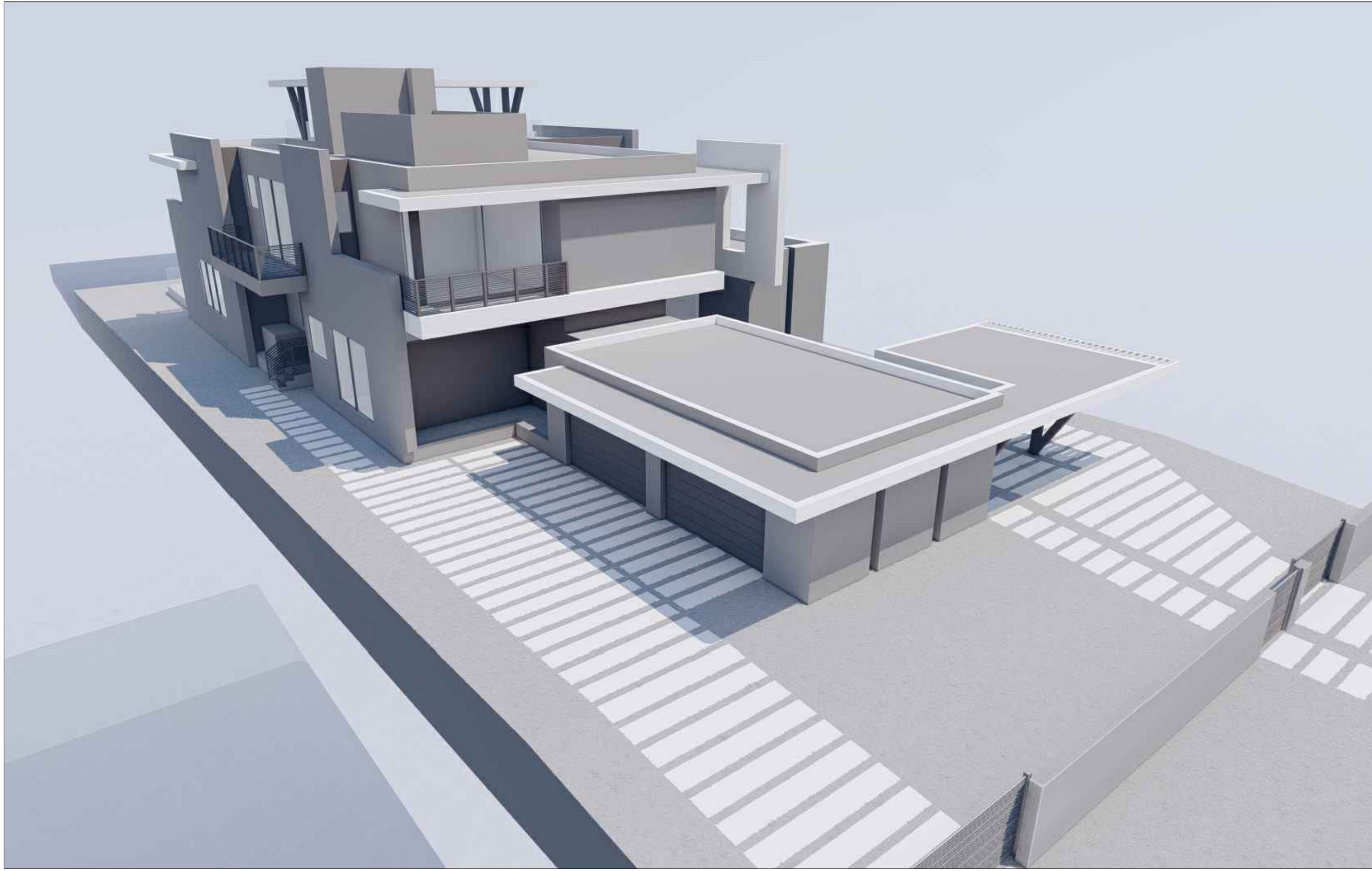
PERSPECTIVE VIEW 1 - SIDE/FRONT



PERSPECTIVE VIEW 2 - SIDE/REAR

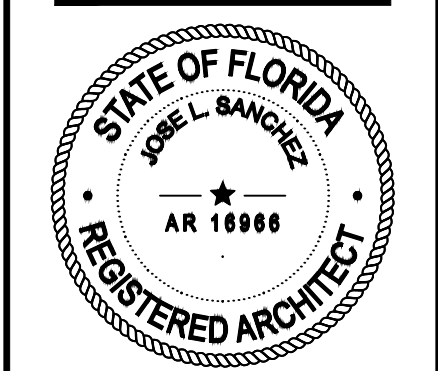


PERSPECTIVE VIEW 3 - SIDE/REAR



PERSPECTIVE VIEW 4 - SIDE/FRONT

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WITH WORK.

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REVISION & DATE

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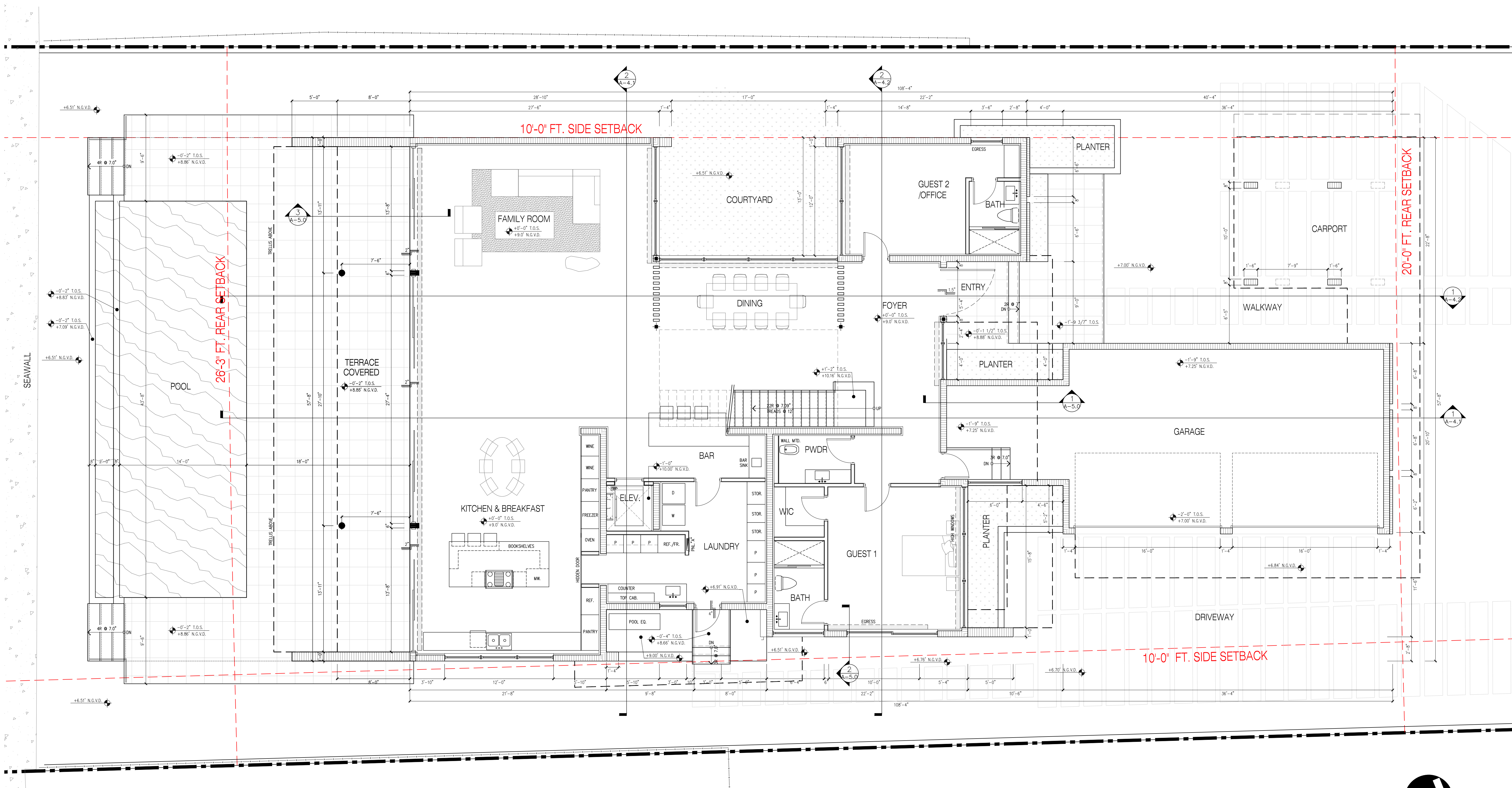
DRAWING TITLE

VOLUMETRIC
PERSPECTIVES

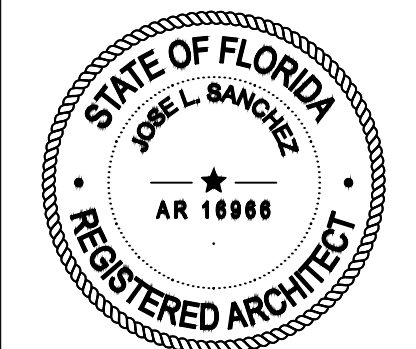
SCALE: AS SHOWN
DATE: 09-26-2021

SHEET NUMBER

3D-1.1



1 FIRST FLOOR
3/16"=1'-0"



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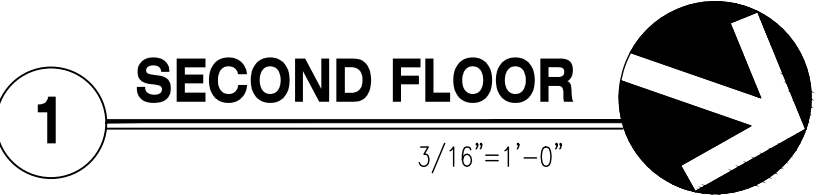
DRAWING TITLE

FIRST
FLOOR PLAN

SCALE: AS SHOWN
DATE: 09-26-2021

SHEET NUMBER

A-2.1





A-2.3



ELEVATIONS KEYNOTES / SPECIFICATIONS

1. PARAPET WALL (SEE ROOF PLAN FOR HEIGHT)
2. STAINLESS IN GREY COLOR IN PROPORTION OF STACKED BOND CMU 8 X 18.
3. ALUMINUM GUARDRAIL
4. GALVANIZED STEEL COLUMN W/ALUMINUM BREAK METAL ENCLOSURE (BY WINDOW DOWR MANUFACTURER) TO MATCH THE WINDOWS. W/ ELECTRO-MATIC PAINTING
5. CONCRETE EMBROW W/SEALOFLEX WATERPROOFING AND DRIP EDGE.
6. GLASS/ALUMINUM GUARDRAIL (42" A.F.F.)
7. DADE COUNTY APPROVED ALUM./IMPACT GLASS WINDOWS (IMPACT, BRONZE FINISH). REFER TO ENERGY CALCULATIONS FOR SHADING COEFFICIENT AND U FACTOR REQUIRED. PROVIDE FLUID APPLIED WATERPROOFING ON THE INSIDE FACE OF THE ROUGH OPENING. (TYP)
8. DECORATIVE ALUMIN. LOUVERS – SPACING BETWEEN LOUVERS SHALL REDUCE A 4" SPHERE WHEN ADJACENT TO A WALKING SURFACE.
9. AIR-SEAL GREEN EXTERIOR FOR CONDENSING UNITS – PAINT CMU SKEEN & GATE SAME COLOR AS THE HOUSE.
10. HYDROSTATIC TESTS TYP- SMART VENTS MODEL 1540-510, EACH CERTIFIED TO COVER 200 S.F.
11. OVERHEAD GARAGE DOOR (COLOR TO MATCH ADJACENT WALL)



MATERIAL LEGEND

- 1



1. STONE TILE IN GREY COLOR IN PROPORTION OF STACKED BOND CMU 8 X 18.

2



2. MATTE FINISHED IONIZED ALUMINUM.

3

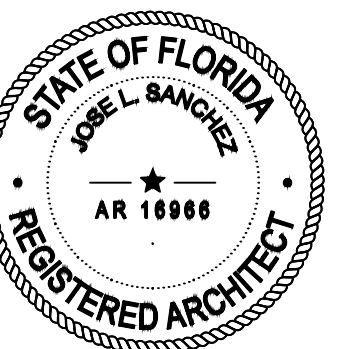


3. WHITE SMOOTH STUCCO

4



4. DARK-BROWN PAINT OVER SMOOTH STUCCO



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1610 BAY DRIVE
MIAMI BEACH, FLORIDA. 33141
OWNER:

REVISION & DATE	
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DRAWING TITLE

NORTH
ELEVATION
(FRONT)

SCALE:	AS SHOWN
DATE:	09-26-2021

SHEET NUMBER

A-3.1



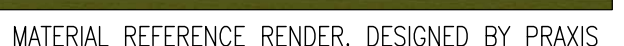
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NOT TO SCALE



ELEVATIONS KEYNOTES / SPECIFICATIONS

1. PARAPET WALL (SEE ROOF PLAN FOR HEIGHT)
2. STONE TILE IN GREY COLOR IN PROPORTION OF STACKED BOND CMU 8 X 18.
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8. DECORATIVE ALUMIN. LOUVERS – SPACING BETWEEN LOUVERS SHALL REJECT A 4" SPHERE WHEN ADJACENT TO A WALKING SURFACE..
9. ALUM SCREEN ENCLOSURE FOR CONDENSING UNITS – MATCH WINDOW SCREEN FRAME COLORS AS THE HOUSE.
10. HYDROSTATIC VENTS TYP--SMART VENTS MODEL 1540-510, EACH CERTIFIED TO COVER 200 S.F.
11. OVERHEAD GARAGE DOOR (COLOR TO MATCH ADJACENT WALL)



①



Professional Seal of Jose L. Sanchez, Registered Architect, State of Florida, AR 16966.

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OWNER:

REVISION & DATE	
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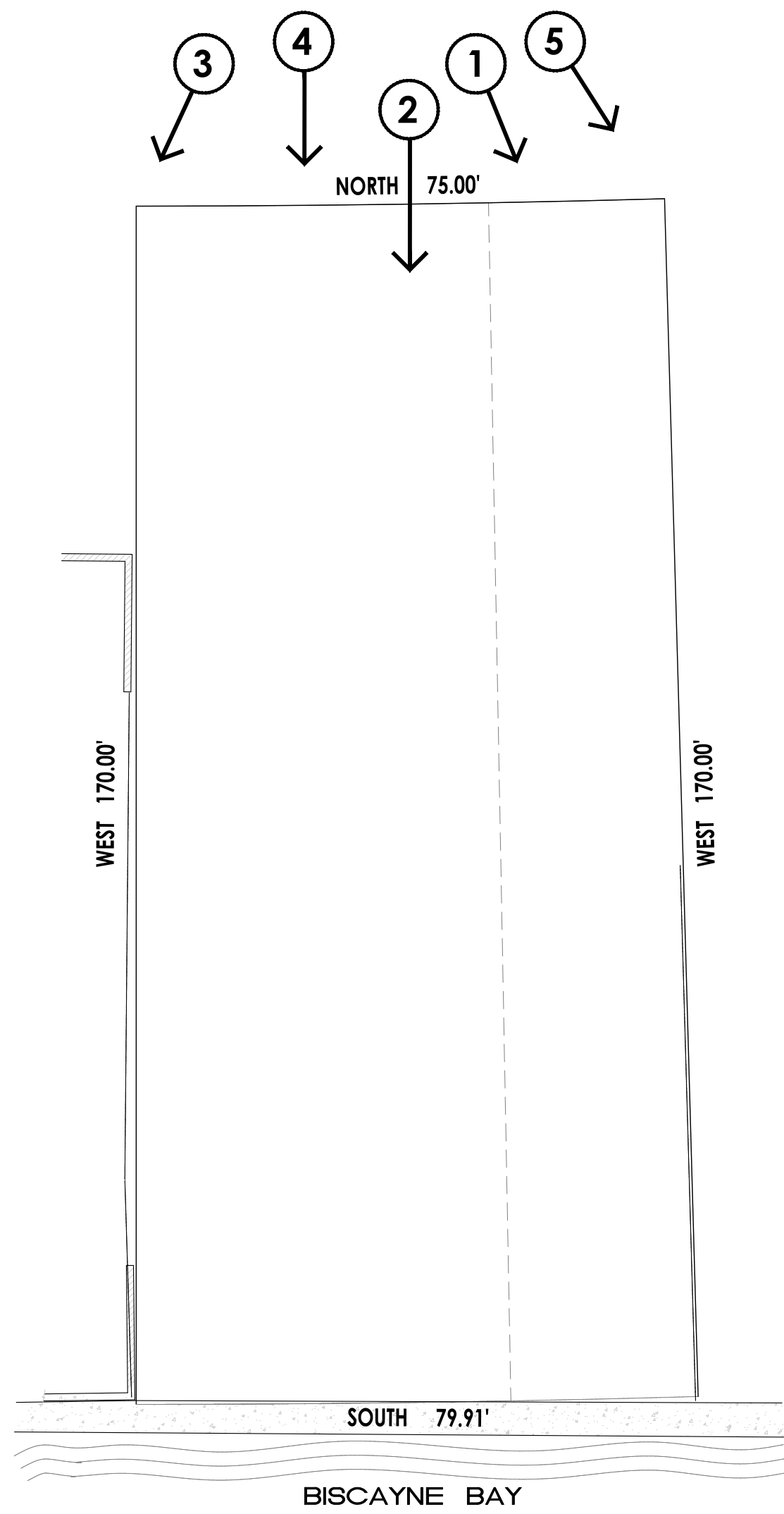
DRAWING TITLE

EAST
ELEVATION
(SIDE)

SCALE: AS SHOWN
DATE: 09-26-2021

A-3.4





KEY PLAN - VIEWS



1 EXISTING LOT - FRONT



2 EXISTING LOT - FRONT



3 EXISTING LOT - FRONT



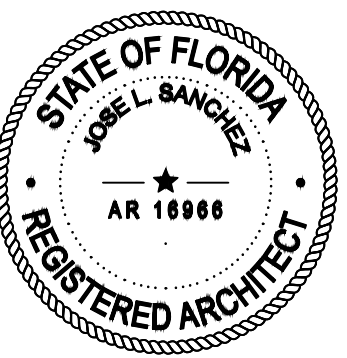
4 EXISTING LOT - FRONT



5 EXISTING LOT - FRONT (EAST)

(VACANT LOT. NO DEMOLITION PLAN NEEDED)

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NEW RESIDENCE
1610 BAY DRIVE
MIAMI BEACH, FLORIDA. 33141
OWNER:

REVISION & DATE

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DRAWING TITLE

**EXISTING LOT
PHOTOS**

SCALE: AS SHOWN
DATE: 09-26-2021

SHEET NUMBER

PH-1.0



RESIDENCE 1



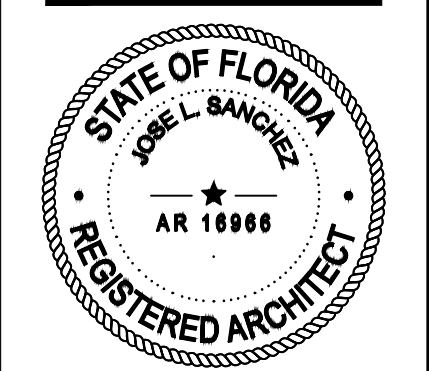
RESIDENCE 2



RESIDENCE 3



RESIDENCE 4



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MIAMI BEACH, FLORIDA. 33141
OWNER:

REVISION & DATE

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DRAWING TITLE

SURROUNDING
PROPERTY
PHOTOS

SCALE: AS SHOWN
DATE: 09-26-2021

SHEET NUMBER

PH-2.1



RESIDENCE 5



RESIDENCE 6



RESIDENCE 7



RESIDENCE 8

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STATE OF FLORIDA

JOSE L. SANCHEZ

AR 18888

REGISTERED ARCHITECT

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ADDRESS & OWNER

NEW RESIDENCE

1610 BAY DRIVE

MIAMI BEACH, FLORIDA. 33141

OWNER:

REVISION & DATE

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DRAWING TITLE

SURROUNDING PROPERTY PHOTOS

SCALE: AS SHOWN

DATE: 09-26-2021

SHEET NUMBER

PH-2.2



RESIDENCE 9



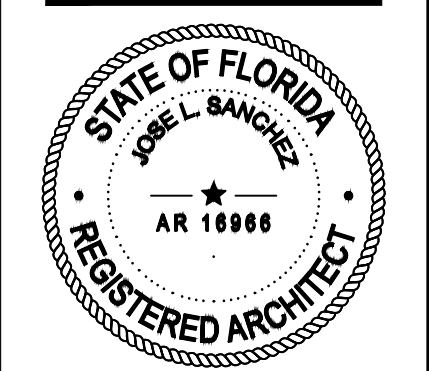
RESIDENCE 10



RESIDENCE 11



RESIDENCE 12



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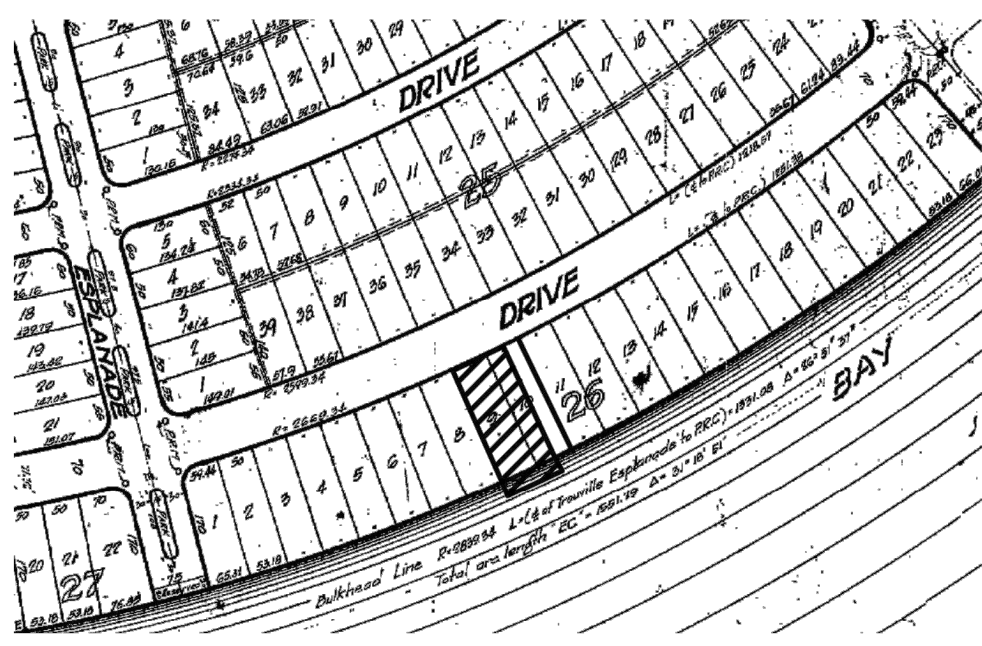
DRAWING TITLE

SURROUNDING
PROPERTY
PHOTOS

SCALE: AS SHOWN
DATE: 09-26-2021

SHEET NUMBER

PH-2.3



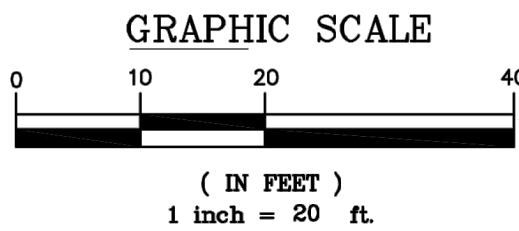
SURVEYOR'S NOTES:

- 1) The above captioned Property was surveyed and described based on the above Legal Description: Provided by Client.
- 2) All bearings and distances shown hereon are recorded and measured unless otherwise shown.
- 3) The lands shown hereon were not abstracted for easements or other recorded encumbrances not shown on the plat and the same, if any may not be shown on this section.
- 4) Foundations and/or footings that may cross beyond the boundary lines of the parcel herein described are not shown
- 5) Elevation is based on the National Geodetic Vertical Datum 1929, and North American Vertical Datum 1988.
- 6) Fence ties are to be the center line of the fence.
- 7) Wall ties are to face of the wall.
- 8) Ownership subject to opinion of the Title.
- 9) Underground utilities are not depicted hereon.
- 10) Zoning and Setbacks are not verified by this survey.
- 11) Benchmark :N-313 USCG, Elevation=3.78' N.G.V.D. 1929.
- 12) The Canal width was obtained on site using Global Positioning System (GPS)

SURVEYOR'S CERTIFICATE:

I hereby certify that this survey meets the minimum technical standards as set forth by the Florida Board of Surveyors and Mappers in Chapter 5J-17 Florida Administrative Code, pursuant to section 472.027, Florida Statutes. And is true and correct to the best of my knowledge and belief.

NOT VALID UNLESS SEALED AND EMBOSSED WITH SURVEYOR'S SEAL
Date of Field Work: 02-14-2022



Address: 13801 SW 10th Terrace
Miami, FL 33184
Phone: (305) 345-9083
Fax: (305) 820-3558

Digitally signed by Efrain Lopez
Date: 2022.02.15
11:20:29 -0500'

A circular blue seal for a Professional Surveyor and Mapper in the State of Florida. The outer ring contains the text "EFRAIN LOPEZ" at the top and "PROFESSIONAL SURVEYOR AND MAPPER" at the bottom, separated by two stars. The inner circle contains the text "STATE OF FLORIDA" and "No. PSM 6792", also separated by two stars.

EFRAIN LOPEZ

Professional Surveyor and Mapper # 6792
State of Florida.

LEGAL DESCRIPTION:

All of Lot 9 and the Southwesterly 1/2 of Lot 10, in Block 26, of "TROUVILLE SECTION 15 OF NORMANDY", according to the Plat thereof, recorded in Plat Book 25 of Page 56 of the Public Records of Miami-Dade County, Florida; together with all common law and statutory riparian rights and water privileges appurtenant and adjacent or belonging thereto;

Also that part of a 5 foot strip of land conveyed by the Trustees of the Internal Improvement Fund of the State of Florida to Jessie L. Pape, a widow by deed, dated October 2, 1936 and recorded in Deed Book 1742, Page 102, of the Public Records of Miami-Dade County, Florida, lying Southeasterly and contiguous to the Southeasterly boundary of Lot 9 and the Southwesterly 1/2 of Lot 10, in Block 26, of Trouville Section of Isle of Normandy, according to the plat thereof recorded in Plat Book 25 at page 56 of the Public Records of Miami-Dade County, Florida, said 5 foot strip being of uniform width and lying between Westerly line of said Lot 9 and the Easterly line of said Southwesterly 1/2 of Lot 10 extended into Biscayne Bay; together with all riparian rights, appurtenant, adjacent or belonging thereto.

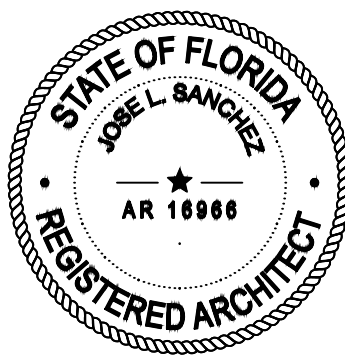
It is intended to convey hereby all of Lot 9, and that portion of Lot 10 lying between said Lot 9 and a straight line extending from mid-point of the northerly line of Lot 10 on Bay Drive to the mid-point of the southerly line of Lot 10 on Biscayne Bay and thence continuing into Biscayne Bay to include 5 foot strip above described.

Lopez PSM
ENGINEERS - SURVEYORS
PLANNERS - DESIGNS
email:lopezefr@hotaill.com
305-345-9083

SHEET 1		COMMUNITY NUMBER : 120651		PANEL NUMBER : 0307		DATE OF FIRM : 09-11-2009		RECORD OF REVISIONS:	
								DATE	DESCRIPTION
SUFFIX : L		FIRM ZONE : AE		BASE FLOOD ELEVATION : 8'		SCALE : 1"=20'			
DRAWN BY : M.M.		DATE: 02-14-2022		REVISED : E.L.		JOB No. 18-1016			



JOSE L. SANCHEZ, AIA, LEED AP
278 NW 37TH ST. MIAMI, FL 33127
P 305 576 8063 PRAXISARCH.COM
FL. LIC: AR 0016966 FL. LIC: AA 2600083



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ADDRESS & OWNER

NEW RESIDENCE

1610 BAY DRIVE
MIAMI BEACH, FLORIDA 33141

OWNER:

REVISION & DATE	
1	
2	
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4	
5	

DRAWING TITLE

SURVEY

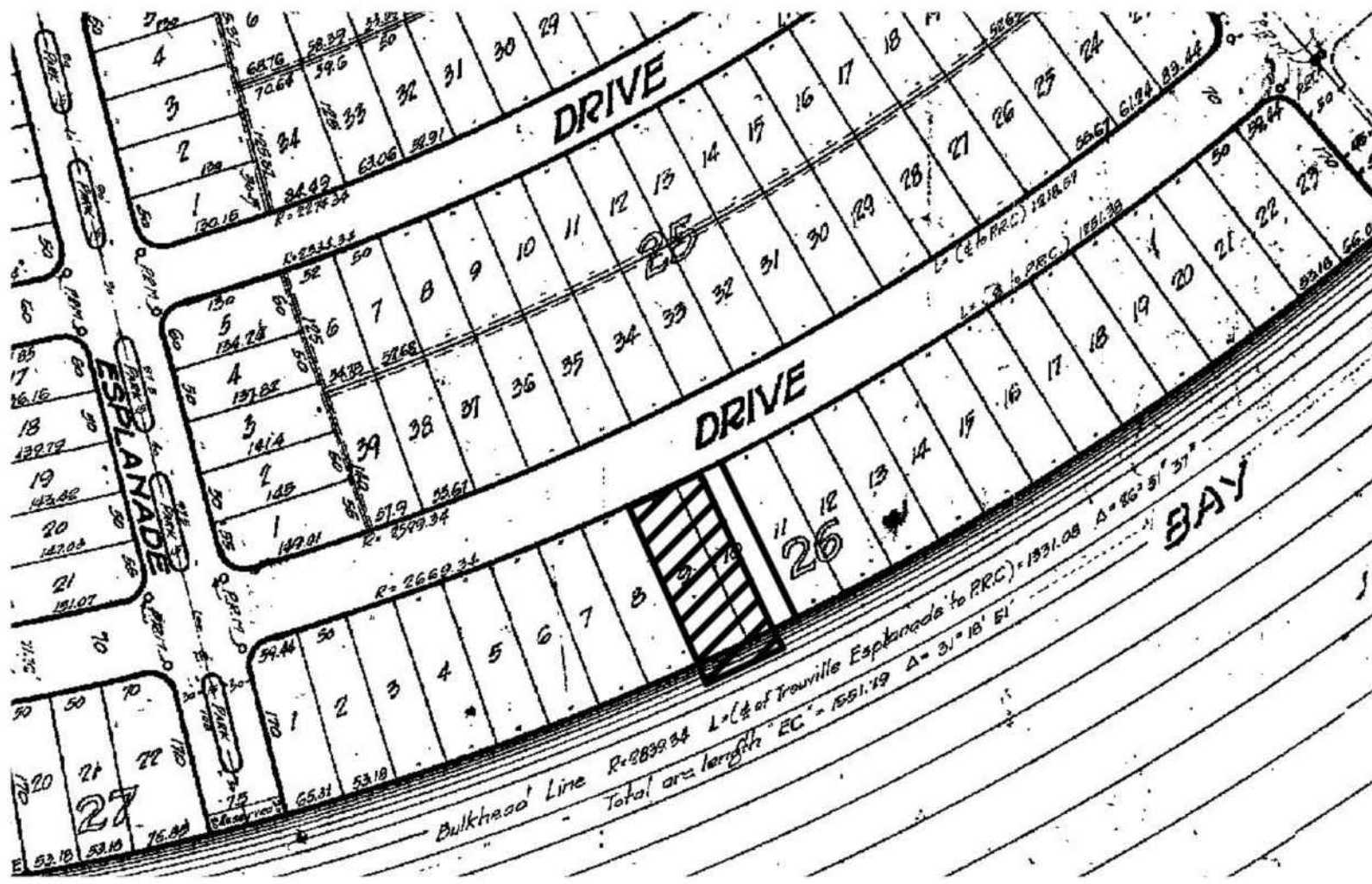
SCALE: AS SHOWN
DATE: 09-26-2021

SHEET NUMBER

SURVEY

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEMS#	ZONING INFORMATION				
1	ADDRESS:	1610 BAY DR. MIAMI BEACH. 33141			
2	FOLIO NUMBER(S):	02-3210-001-1020			
3	BOARD AND FILE NUMBERS:	DRB22-0874			
4	YEAR BUILT:	VACANT	ZONING DISTRICT:	RS-4	
5	BASED FLOOD ELEVATION:	+8.0' NGVD	GRADE VALUE IN N.G.V.D:	+4.04' NGVD	
6	ADJUSTED GRADE (FLOOD+GRADE/2)	+6.02' NGVD	FREE BOARD:	+9.0' NGVD (+1')	
7	LOT AREA:	13,555 S.F.			
8	LOT WIDTH:	75'-6"	LOT DEPTH:	175'-0"	
9	MAX. LOT COVERAGE SF AND %:	4,067 SF (30%)	PROPOSED LOT COVERAGE SF AND %:	4,046 SF (29.84%)	
10	EXISTING LOT COVERAGE SF AND %:	N/A	LOT COVERAGE DEDUCTED (GARAGE-STORAGE) SF:	N/A	
11	FRONT YARD OPEN SPACE SF AND %:	845 SF (56.10%)	REAR YARD OPEN SPACE SF AND %:	1,467 SF (70.25%)	
12	MAX. UNIT SIZE SF AND %:	6,778 SF (50%)	PROPOSED UNIT SIZE SF AND %:	6,549 SF (48.31%)	
13	EXISTING FIRST FLOOR UNIT SIZE%:	N/A	PROPOSED FIRST FLOOR UNIT SIZE:	3,148 SF (23.22%)	
14	EXISTING SECOND FLOOR UNIT SIZE:	N/A	PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE SF AND % (NOTE : TO EXCEED 70% OF THE FIRST FLOOR OF THE MAIN HOME REQUIRE DRB):	N/A	
15			PROPOSED SECOND FLOOR UNIT SIZE SF AND %:	2,924 SF (21.57%)	
16			PROPOSED ROOF DECK AREA SF AND % (NOTE: MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):	729 SF (24.93%)	
		REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17	HEIGHT:	24 FT.		24'-0"	SEE ELEVATION SHEETS
18	SETBACKS:				
19	FRONT FIRST LEVEL:	20 FT.	N/A	20'-0"	
20	FRONT SECOND LEVEL:	20 FT.	N/A	57'-3"	
	SIDEYARDS:				
21	SIDE 1 - EAST:	THE SUM OF THE REQUIRED SIDE YARDS SHALL BE AT LEAST 25% OF LOT WIDTH (75.5' X 25% = 18.875')		10'-3"	
22	SIDE 2 - WEST:			10'-0"	
23	REAR: 15% OF 175 FT	26'-3"		48'-3"	
24	ACCESSORY STRUCTURE SIDE 1:	N/A	N/A	N/A	
25	ACCESSORY STRUCTURE SIDE 2 OR (FACING STREET):	N/A	N/A	N/A	
26	ACCESSORY STRUCTURE REAR:	N/A	N/A	N/A	
27	LOCATED WITHIN A LOCAL HISTORIC DISTRICT?	NO			
28	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE?	NO			
29	DETERMINE TO BE ARCHITECTURALLY SIGNIFICANT?	NO			



1

LOCATION PLAN

NOT TO SCALE

SCOPE OF WORK

- NEW SINGLE FAMILY RESIDENCE

APPLICABLE CODES

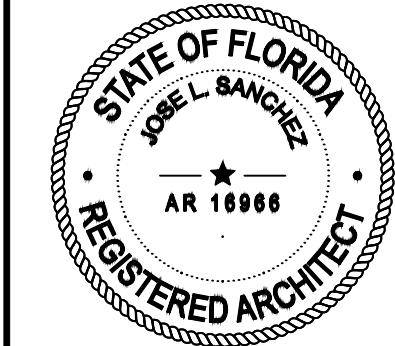
- FLORIDA BUILDING CODE 2020 7TH EDITION, RESIDENTIAL
- FLORIDA BUILDING CODE 2020 7TH EDITION, MECHANICAL
- FLORIDA BUILDING CODE 2020 7TH EDITION, PLUMBING
- NATIONAL ELECTRICAL CODE (NEC) 2017
- CITY OF MIAMI BEACH LOCAL ORDINANCE (RS-4)

LEGAL DESCRIPTION

ALL OF LOT 9 AND THE SOUTHWESTERLY 1/2 OF LOT 10, IN BLOCK 26, OF "TROUVILLE SECTION ISLE OF NORMANDY", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 25 AT PAGE 56 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; TOGETHER WITH ALL COMMON LAW AND STATUTORY RIPARIAN RIGHTS AND WATER PRIVILEGES APPURTENANT AND ADJACENT OR BELONGING THERETO;

ALSO THAT PART OF A 5 FOOT STRIP OF LAND CONVEYED BY THE TRUSTEES OF THE INTERNAL IMPROVEMENT FUND OF THE STATE OF FLORIDA TO JESSIE L. PAPE, A WIDOW BY DEED, DATED OCTOBER 2, 1936 AND RECORDED IN DEED BOOK 1742, PAGE 102, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LYING SOUTHEASTERLY AND CONTIGUOUS TO THE SOUTHEASTERLY BOUNDARY OF LOT 9 AND THE SOUTHWESTERLY 1/2 OF LOT 10, IN BLOCK 26, OF TROUVILLE SECTION OF ISLE OF NORMANDY, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 25 AT PAGE 56 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, SAID 5 FOOT STRIP BEING OF UNIFORM WIDTH AND LYING BETWEEN WESTERLY LINE OF SAID LOT 9 AND THE EASTERLY LINE OF SAID SOUTHWESTERLY 1/2 OF LOT 10 EXTENDED INTO BISCAYNE BAY; TOGETHER WITH ALL RIPARIAN RIGHTS, APPURTENANT, ADJACENT OR BELONGING THERETO.

IT IS INTENDED TO CONVEY HEREBY ALL OF LOT 9, AND THAT PORTION OF LOT 10 LYING BETWEEN SAID LOT 9 AND A STRAIGHT LINE EXTENDING FROM MID-POINT OF THE NORTHERLY LINE OF LOT 10 ON BAY DRIVE TO THE MID-POINT OF THE SOUTHERLY LINE OF LOT 10 ON BISCAYNE BAY AND THENCE CONTINUING INTO BISCAYNE BAY TO INCLUDE 5 FOOT STRIP ABOVE DESCRIBED.



Jose L Sanchez

Digitally signed by Jose L. Sanchez, DN: cn=Jose L. Sanchez, o=US, email=jlsanchez@praxisarch.com, c=US, Date: 2022.09.12 17:31:56 -0400

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ADDRESS & OWNER

NEW RESIDENCE

1610 BAY DRIVE

MIAMI BEACH, FLORIDA. 33141

OWNER:

REVISION & DATE

1	
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4	
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DRAWING TITLE

ZONING
DATA/
LOCATION
PLAN

SCALE: AS SHOWN
DATE: 09-26-2021

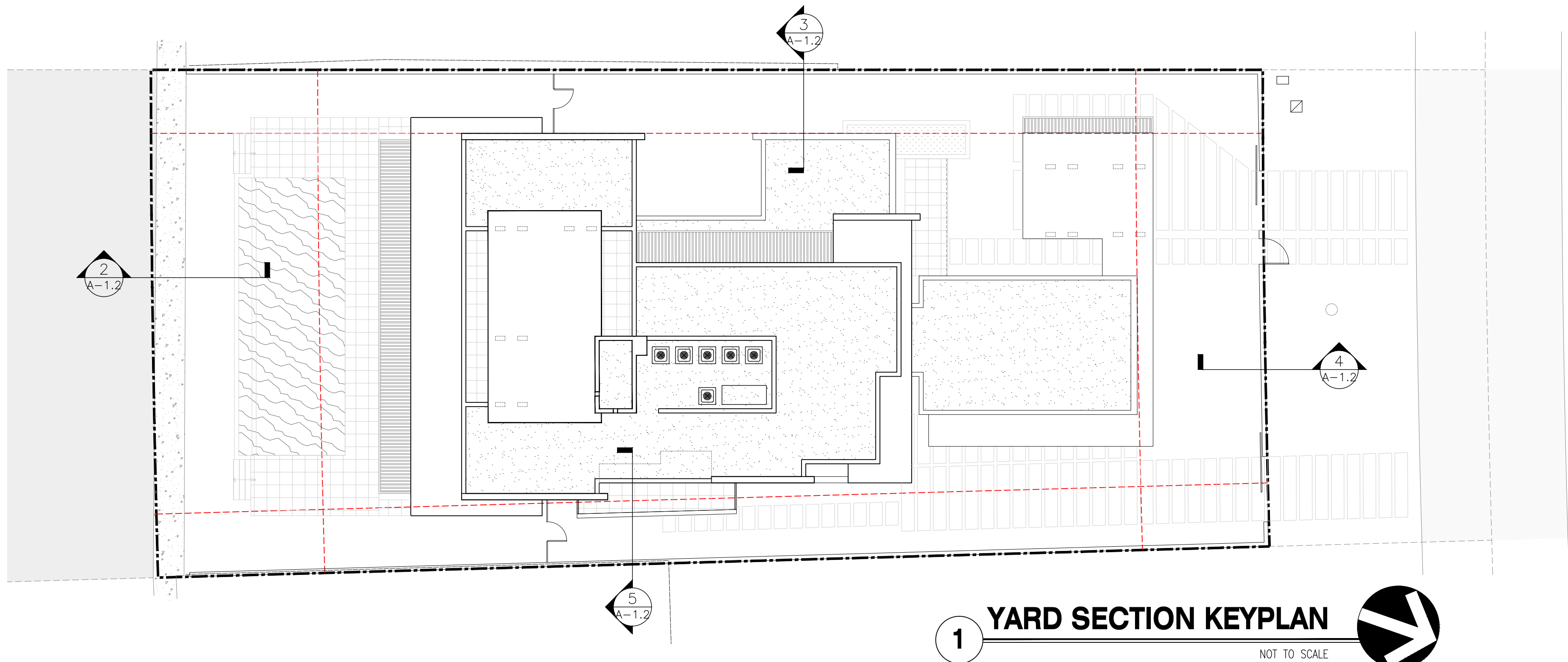
SHEET NUMBER

A-1.0

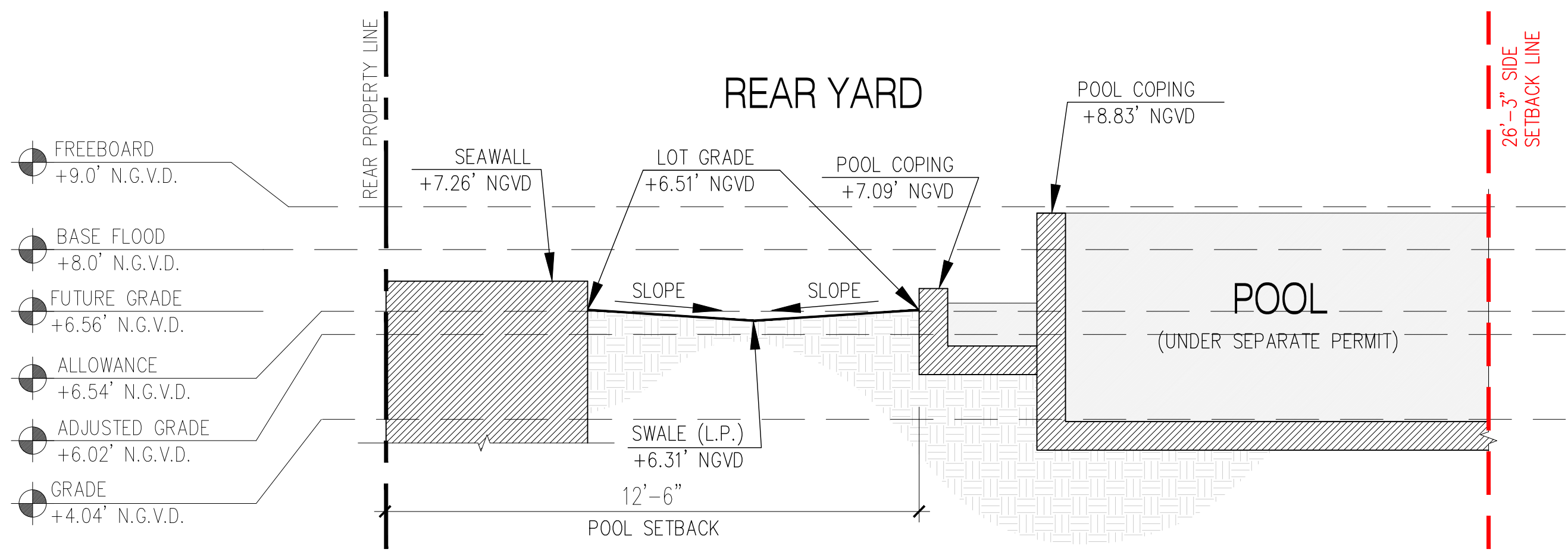
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architecture . design

JOSE L. SANCHEZ, AIA, LEED AP
278 NW 37TH ST. MIAMI, FL 33127
P 305.578.8043 PRAXISARCH.COM

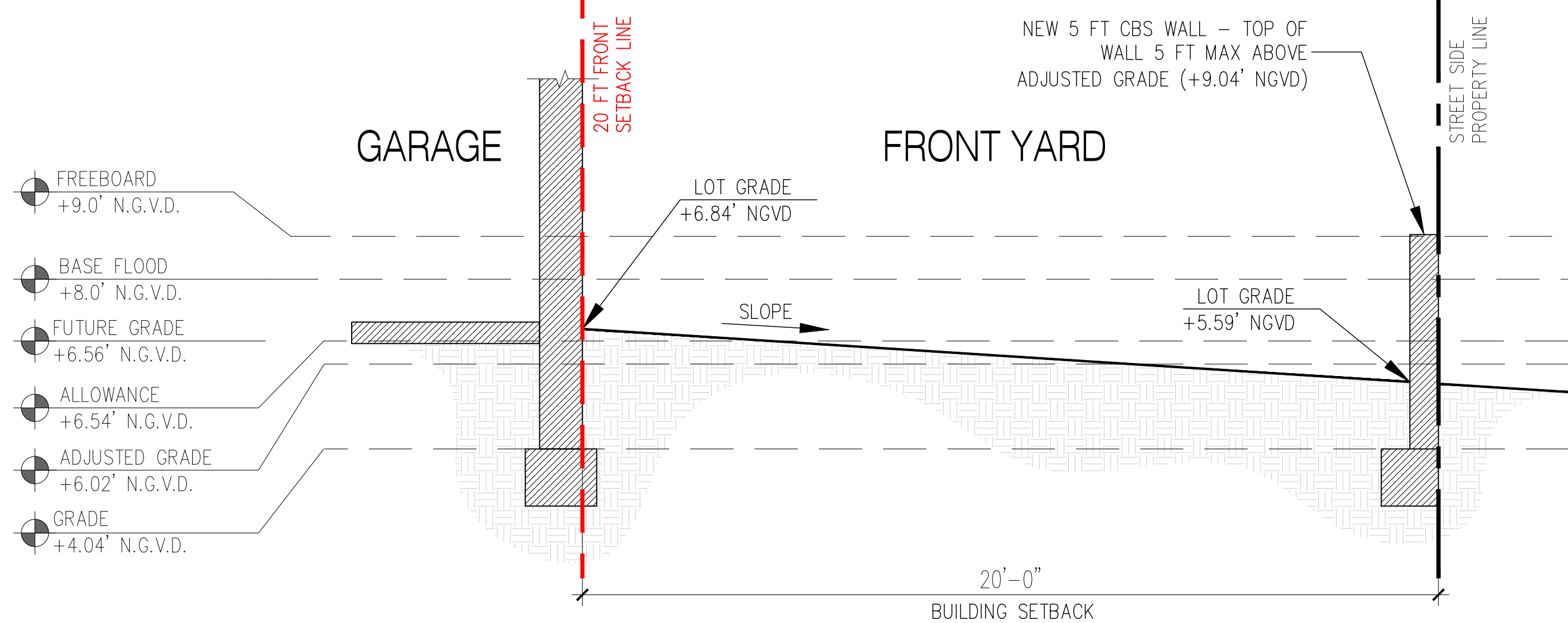
FL LIC: AR 0016966 FL LIC: AA 24000837



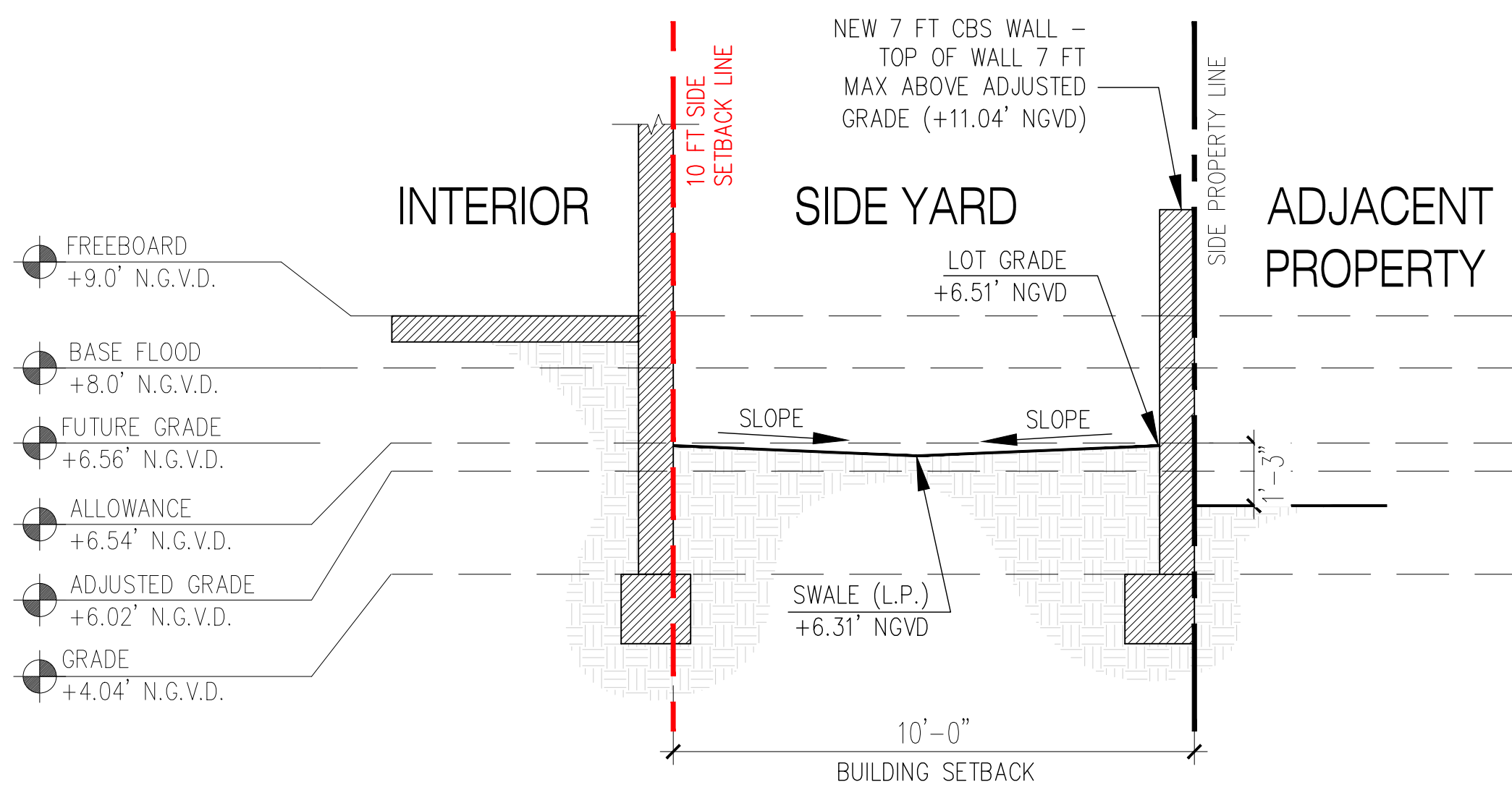
1 YARD SECTION KEYPLAN
NOT TO SCALE



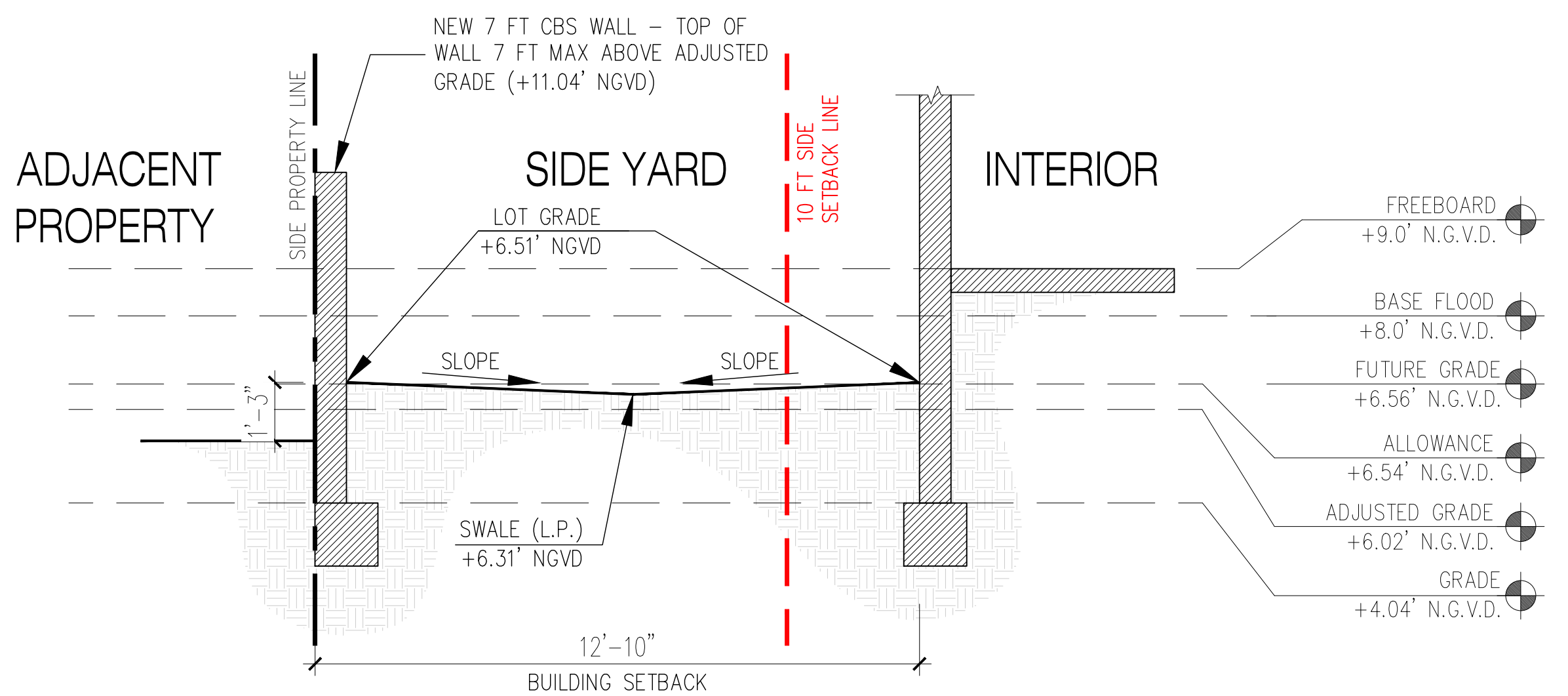
2 REAR YARD SECTION
3/8"=1'-0"



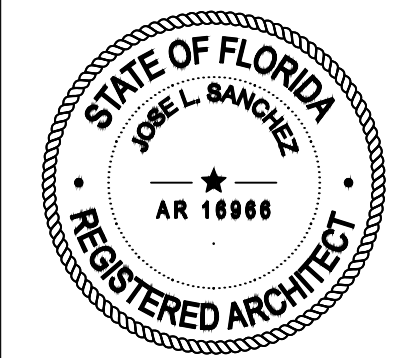
3 FRONT YARD SECTION
3/8"=1'-0"



4 SIDE YARD SECTION
3/8"=1'-0"



5 SIDE YARD SECTION
3/8"=1'-0"



Jose L. Sanchez
Digitally signed by Jose L. Sanchez
DN: cn=Jose L. Sanchez, o=US, email=jlsanchez@praxisarch.com, c=US
Date: 2022.09.12 17:32:37 -0400

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ADDRESS & OWNER

NEW RESIDENCE
1610 BAY DRIVE
MIAMI BEACH, FLORIDA. 33141
OWNER:

REVISION & DATE	
1	
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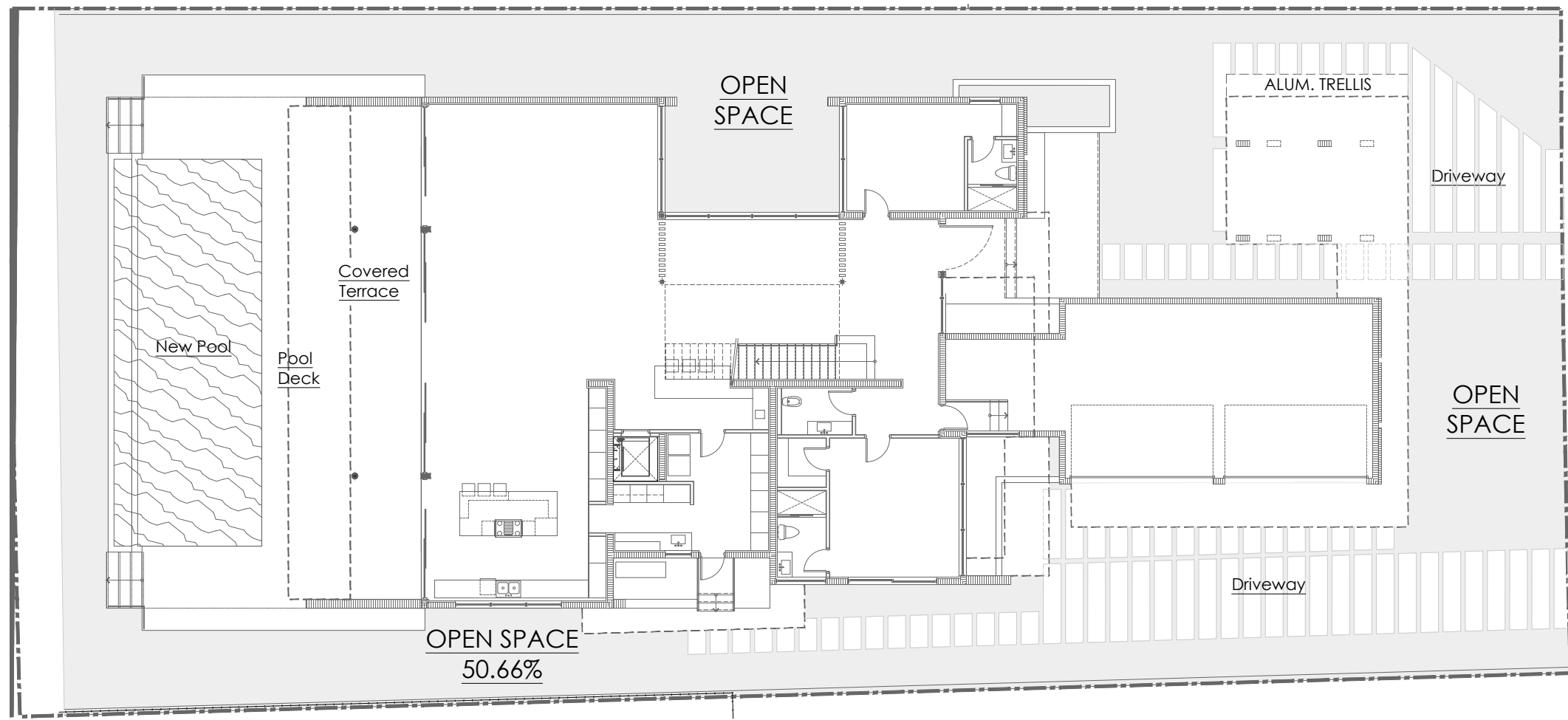
DRAWING TITLE

YARD
SECTIONS

SCALE: AS SHOWN
DATE: 09-26-2021

SHEET NUMBER

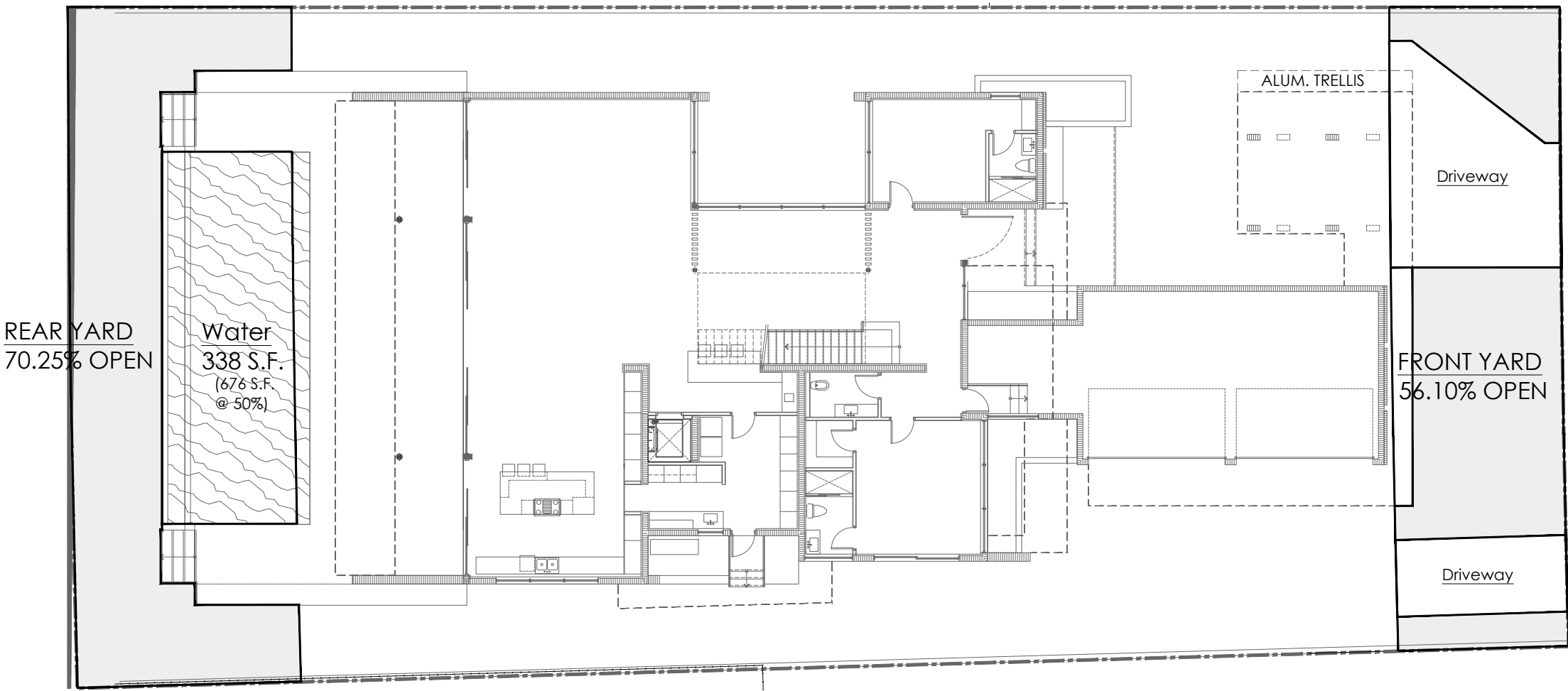
A-1.2



LOT AREA: 13,555 S.F.

COMPLETE SITE OPEN SPACE	
POOL WATER (AT 50%)	338 S.F.
OPEN SPACE	6,530 S.F.
TOTAL OPEN SPACE	6,868 S.F.
	50.66 %

OPEN SPACE (GREEN)

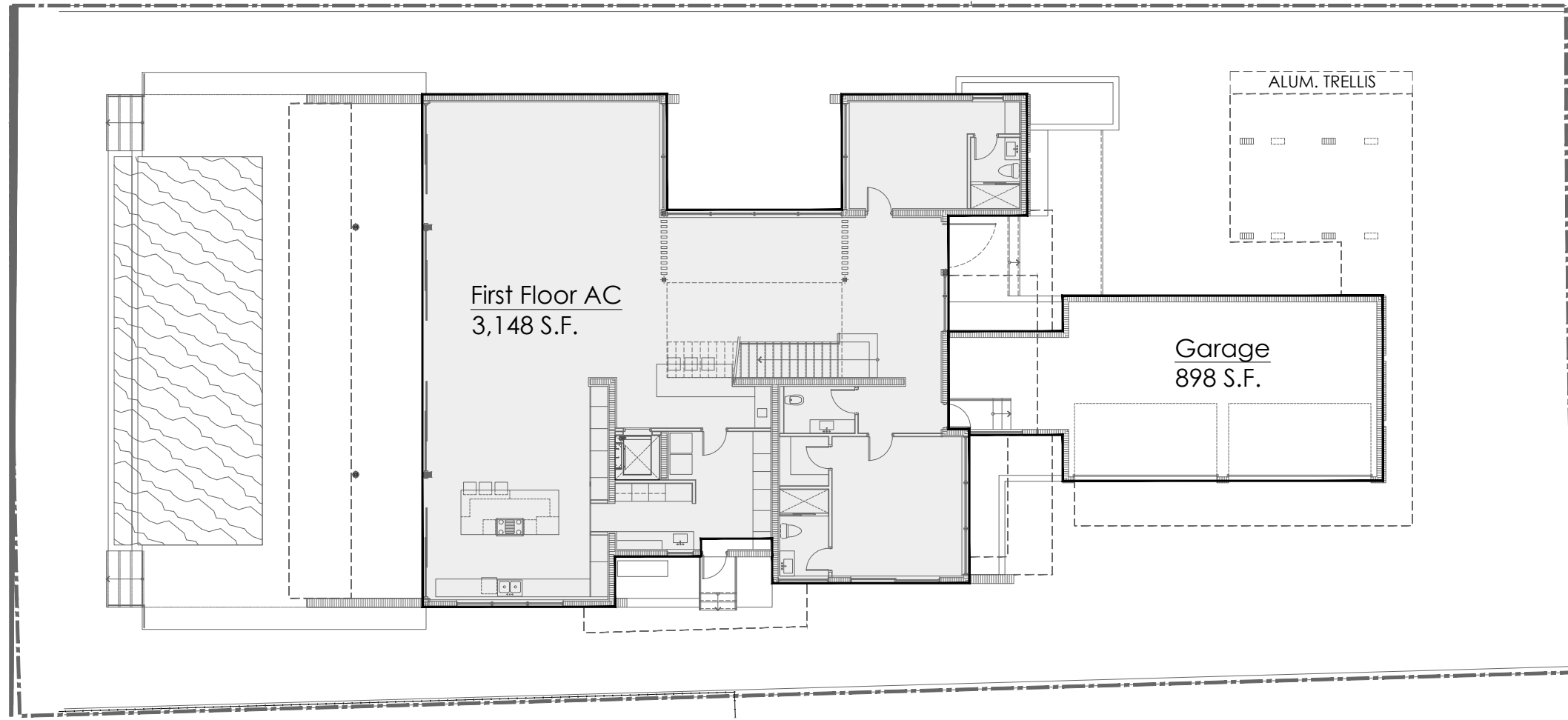


REAR YARD OPEN SPACE	
REAR YARD AREA	2,088 S.F.
MIN. REQUIRED (70%)	1,462 S.F.
GREEN SPACE	1,129 S.F.
POOL WATER	338 S.F.
TOTAL OPEN SPACE	1,467 S.F.
	70.25%

OPEN SPACE (GREEN)

FRONT YARD OPEN SPACE	
FRONT YARD AREA	1,506 S.F.
MIN. REQUIRED (50%)	753 S.F.
TOTAL OPEN SPACE	845 S.F.
	56.10%

2 FRONT/REAR YARD OPEN SPACE
1/16" = 1'-0"



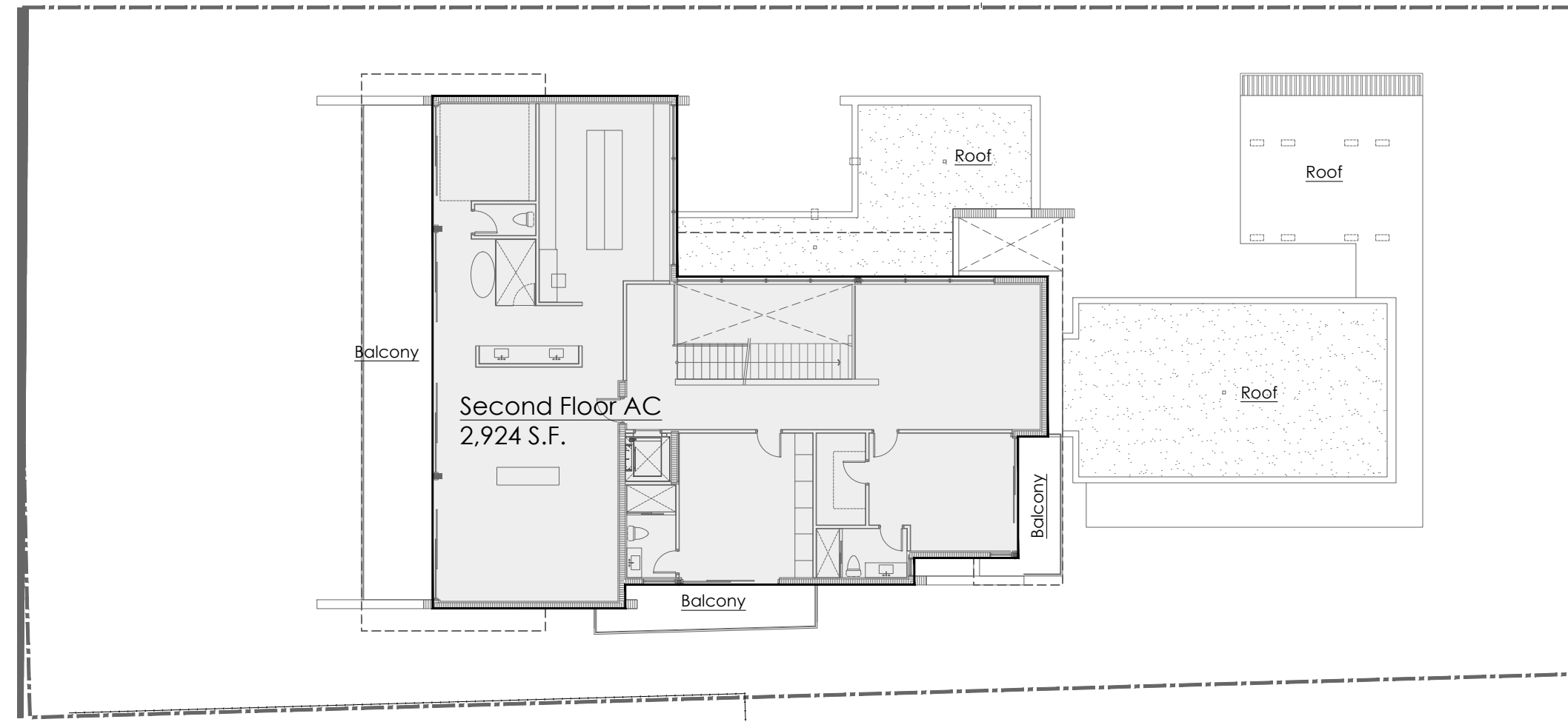
3 FIRST FLOOR UNIT SIZE
1/16" = 1'-0"

LOT AREA: 13,555 S.F.

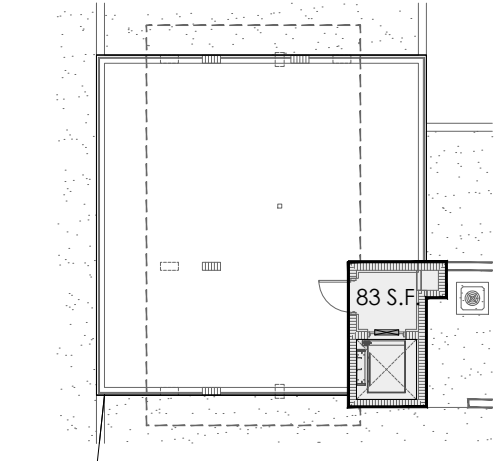
UNIT SIZE	
MAX ALLOWED (50%)	6,778 S.F.
FIRST FL. AC	3,148 S.F.
GARAGE	398 S.F.
SECOND FL. AC	2,924 S.F.
THIRD FL.	79 S.F.
TOTAL	6,549 S.F.
	48.31%

- NOTES:
- GARAGE - EXCLUDING, FIRST 500 S.F.
 - TERRACE (1ST FL) - EXCLUDED, OPEN ON 1 SIDE.
 - BALCONIES - EXCLUDED, UNENCLOSED.
 - TERRACE (2ND FL) - EXCLUDED.

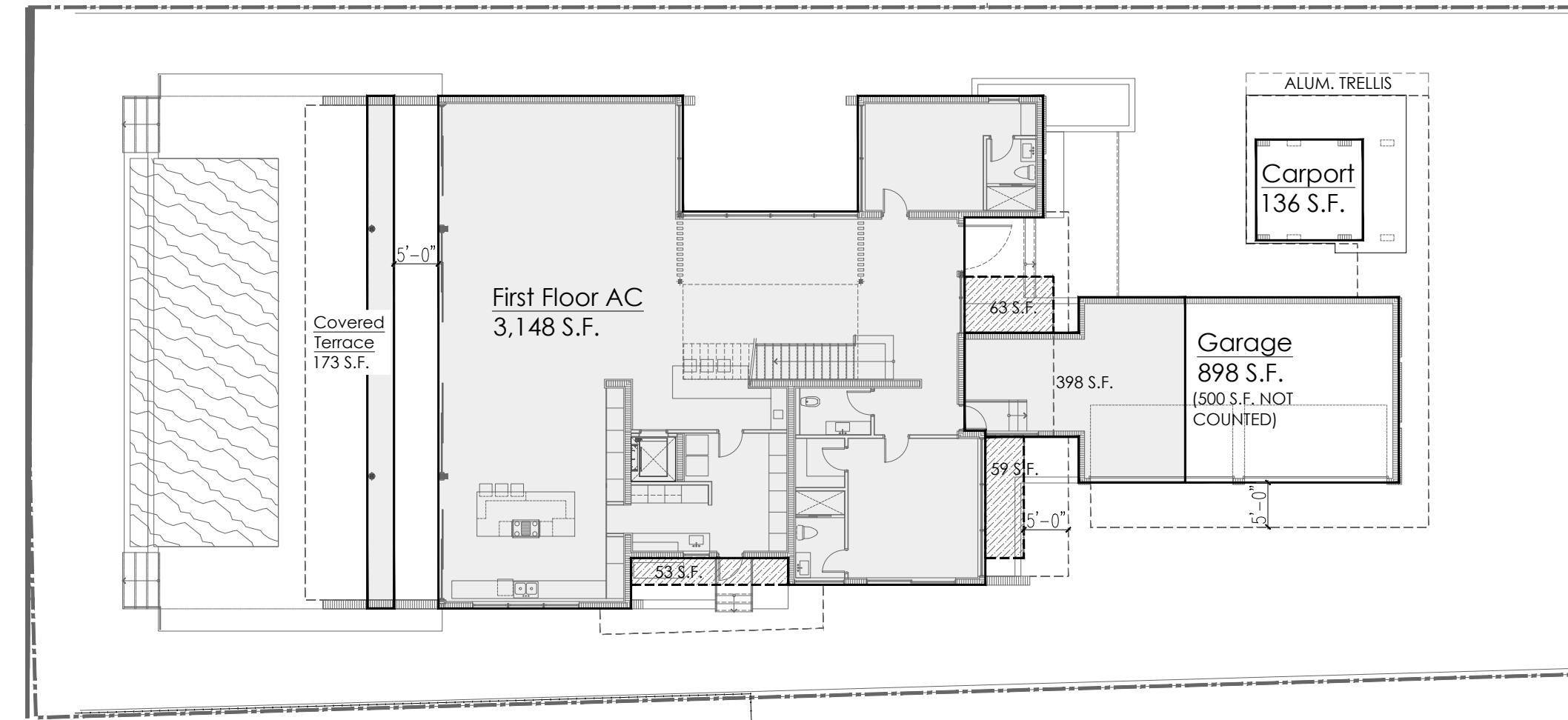
FIRST AND SECOND FL. AREA COUNTED UNIT SIZE
NON-AC AREA COUNTED IN UNIT SIZE



4 SECOND FLOOR UNIT SIZE
1/16" = 1'-0"



5 THIRD FLOOR PARTIAL
1/16" = 1'-0"



6 FIRST FLOOR COVERAGE
1/16" = 1'-0"

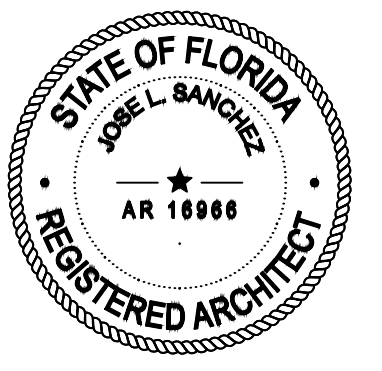
LOT AREA: 13,555 S.F.

LOT COVERAGE	
MAX ALLOWED (30%)	4,067 S.F.
FIRST FL. AC	3,148 S.F.
SECOND FL. PROJEC.	175 S.F.
COVERED TERRACE	173 S.F.
CARPORT & GARAGE	534 S.F.
TOTAL	4,046 S.F.
	29.84%

- NOTES:
- GARAGE - INCLUDING FIRST 500 S.F.
 - TERRACE (1ST FL) - COUNTED AREA COVERED BY ENCLOSED SPACE ABOVE.

FIRST FL. AREA COUNTED COVERAGE
SECOND FL. (AC) PROJECTION COUNTED IN COVERAGE

praxis.
architecture . design
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P. 305.578.8043 PRAXISARCH.COM
FL LIC. AR 0016946 FL LIC. AA 24000837



Jose L. Sanchez
Digitally signed by Jose L. Sanchez
DN: cn=Jose L. Sanchez, c=US,
email=jlsanchez@praxisarch.com,
date=2022.09.26.12:17:32-04', +0400

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ADDRESS & OWNER

NEW RESIDENCE
1610 BAY DRIVE
MIAMI BEACH, FLORIDA. 33141
OWNER:

REVISION & DATE

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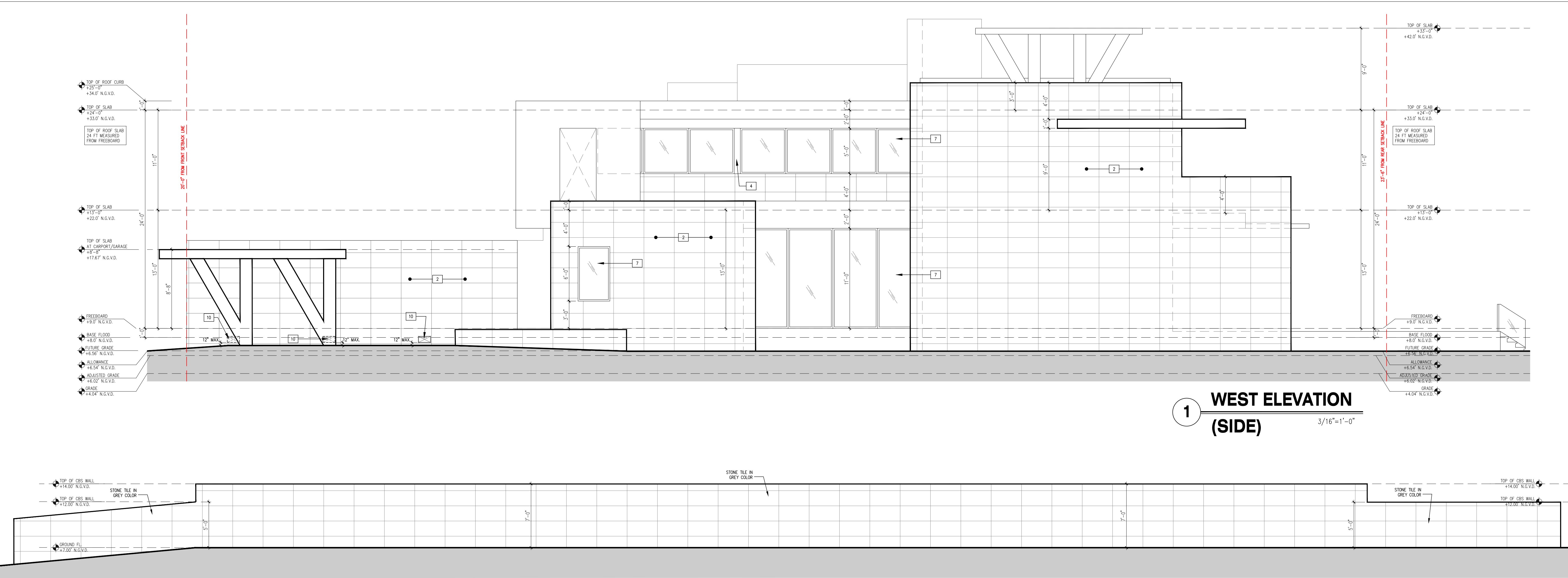
DRAWING TITLE

COVERAGE & UNIT SIZE DIAGRAM

SCALE: AS SHOWN
DATE: 09-26-2021

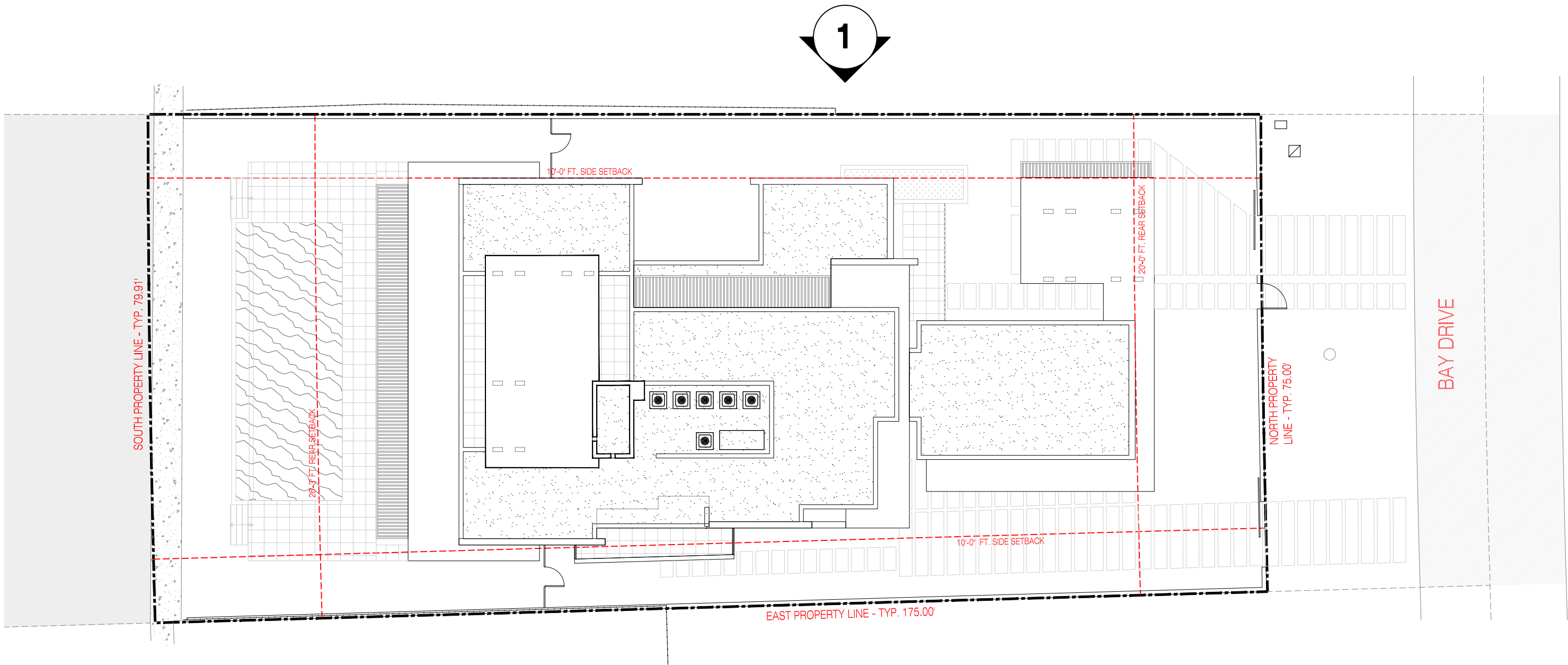
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A-1.3



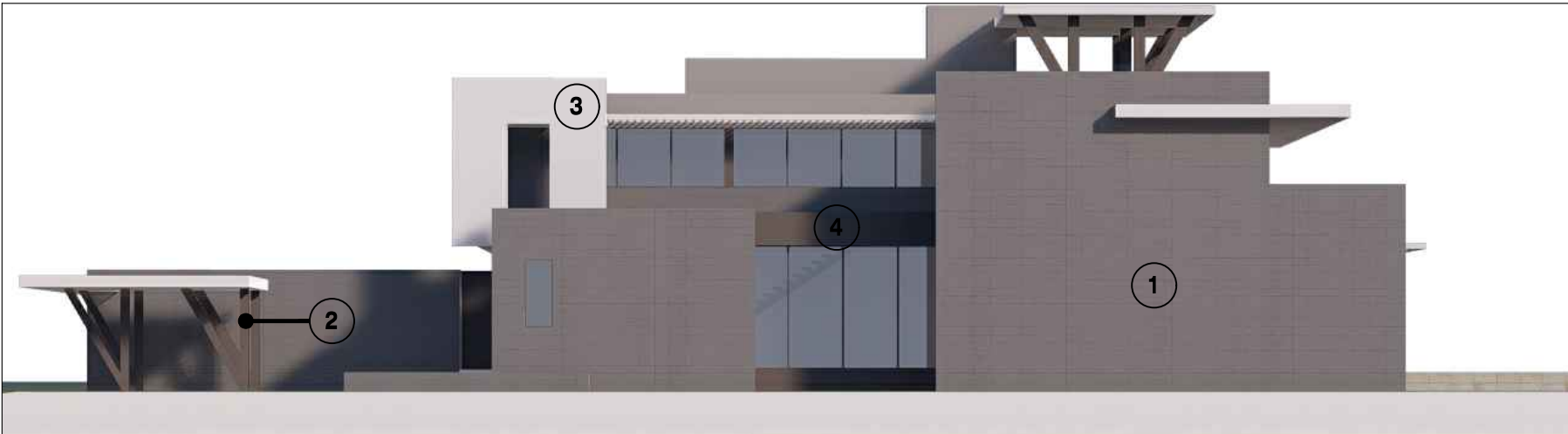
1 WEST ELEVATION (SIDE) 3/16"=1'-0"

2 FENCE ELEVATION (WEST) 3/16"=1'-0"



ELEVATION KEYPLAN NOT TO SCALE

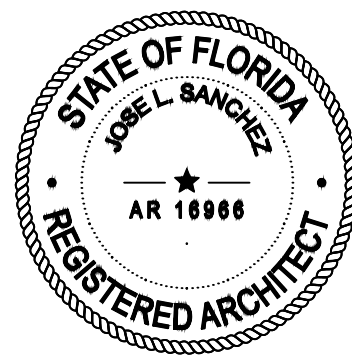
- ELEVATIONS KEYNOTES / SPECIFICATIONS
1. PARAPET WALL (SEE ROOF PLAN FOR HEIGHT)
 2. STONE TILE IN GREY COLOR IN PROPORTION OF STACKED BOND CMU 8 X 18.
 3. ALUMINUM GUARDRAIL
 4. GALVANIZED STEEL COLUMN W/ALUMINUM BREAK METAL ENCLOSURE (BY WINDOW DOOR MANUFACTURER) TO MATCH THE WINDOWS. W/ ELECTRO-MATIC PAINTING
 5. CONCRETE EYEBROW W/SEALOFLEX WATERPROOFING AND DRIP EDGE.
 6. GLASS/ALUMN. GUARDRAIL (42" A.F.F.)
 7. DADE COUNTY APPROVED ALUM./IMPACT GLASS WINDOWS (IMPACT, BRONZE FINISH). REFER TO ENERGY CALCULATIONS FOR SHADING COEFFICIENT AND U FACTOR REQUIRED. PROVIDE FLUID APPLIED WATERPROOFING ON THE INSIDE FACE OF THE ROUGH OPENINGS. (TYP)
 8. DECORATIVE ALUMN. LOUVERS - SPACING BETWEEN LOUVERS SHALL REFLECT A 4" SPHERE WHEN ADJACENT TO A WALKING SURFACE.
 9. ALUM SCREEN ENCLOSURE FOR CONDENSING UNITS - PAINT CMU SCREEN & GATE SAME COLOR AS THE HOUSE.
 10. HYDROSTATIC VENTS TYP.-SMART VENTS MODEL 1540-510, EACH CERTIFIED TO COVER 200 S.F.
 11. OVERHEAD GARAGE DOOR (COLOR TO MATCH ADJACENT WALL)



MATERIAL REFERENCE RENDER. DESIGNED BY PRAXIS

MATERIAL LEGEND

1. STONE TILE IN GREY COLOR IN PROPORTION OF STACKED BOND CMU 8 X 18.
2. MATTE FINISHED IONIZED ALUMINUM.
3. WHITE SMOOTH STUCCO
4. DARK-BROWN PAINT OVER SMOOTH STUCCO



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1610 BAY DRIVE
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OWNER:

REVISION & DATE

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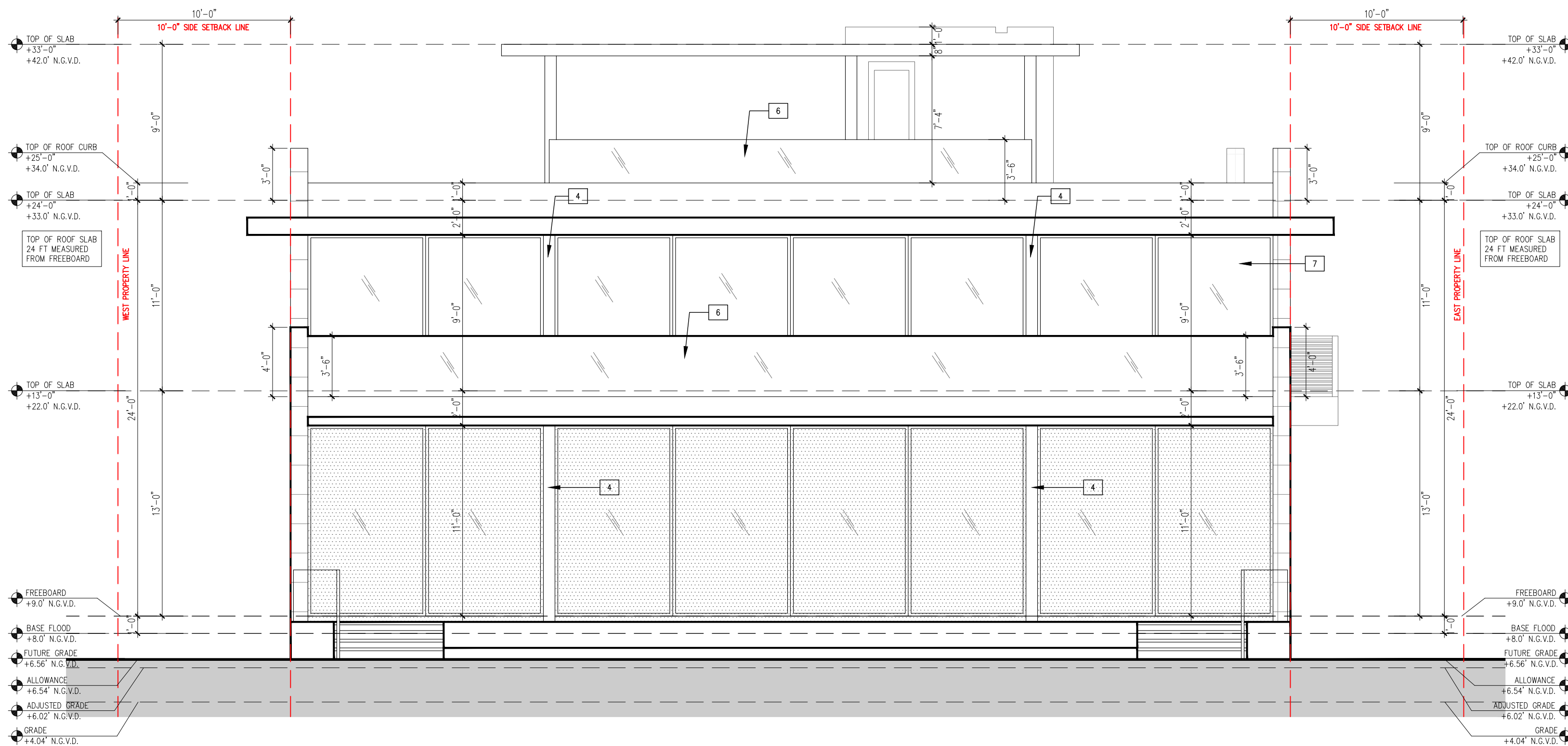
DRAWING TITLE

**WEST
ELEVATION
(SIDE)**

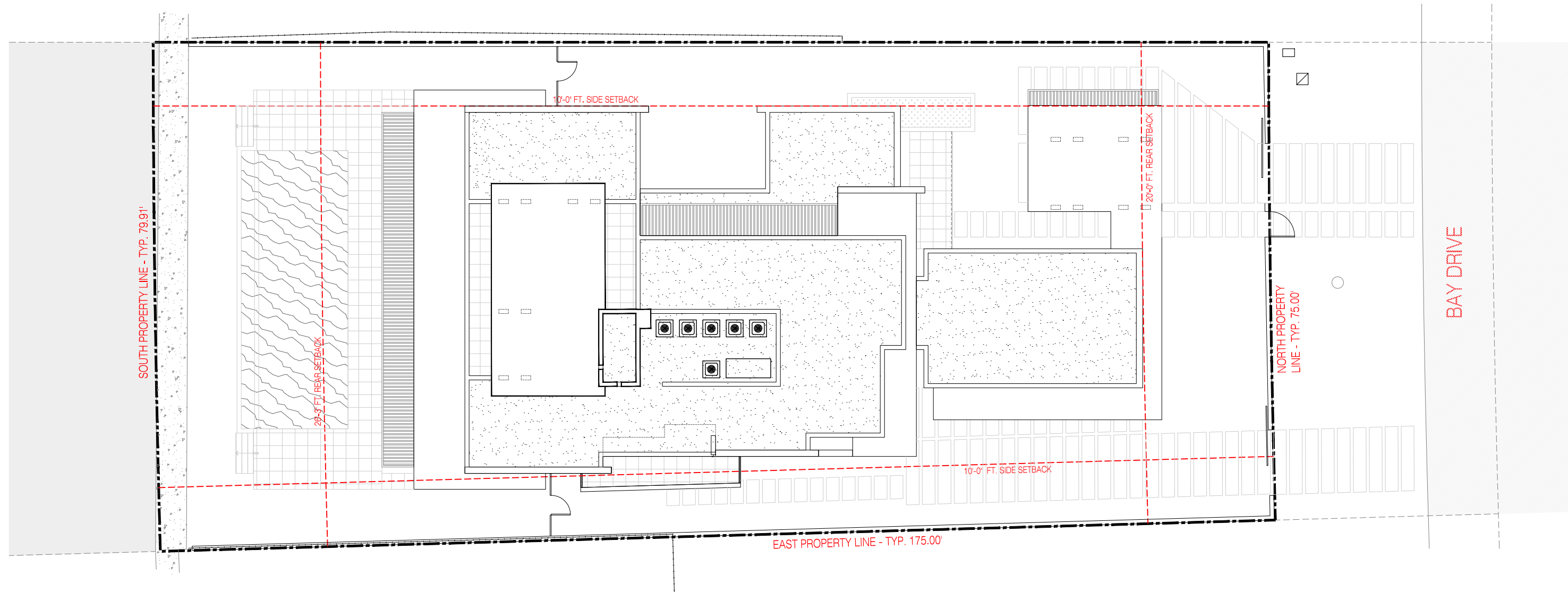
SCALE: AS SHOWN
DATE: 09-26-2021

SHEET NUMBER

A-3.2



1 SOUTH ELEVATION
(REAR)
3/16"=1'-0"



ELEVATION KEYPLAN

NOT TO SCALE

ELEVATIONS KEYNOTES / SPECIFICATIONS

1. PARAPET WALL (SEE ROOF PLAN FOR HEIGHT)
2. STONE TILE IN GREY COLOR IN PROPORTION OF STACKED BOND CMU 8 X 18.
3. ALUMINUM GUARDRAIL
4. GALVANIZED STEEL COLUMN W/ALUMINUM BREAK METAL ENCLOSURE (BY WINDOW DOOR MANUFACTURER) TO MATCH THE WINDOWS. W/ ELECTRO-MATIC PAINTING
5. CONCRETE EYEBROW W/SEALOFLEX WATERPROOFING AND DRIP EDGE.
6. GLASS/ALUMN. GUARDRAIL (42" A.F.F.)
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8. DECORATIVE ALUMN. LOUVERS - SPACING BETWEEN LOUVERS SHALL REJECT A 4" SPHERE WHEN ADJACENT TO A WALKING SURFACE..
9. ALUM SCREEN ENCLOSURE FOR CONDENSING UNITS - PAINT CMU SCREEN & GATE SAME COLOR AS THE HOUSE.
10. HYDROSTATIC VENTS TYP.-SMART VENTS MODEL 1540-510, EACH CERTIFIED TO COVER 200 S.F.
11. OVERHEAD GARAGE DOOR (COLOR TO MATCH ADJACENT WALL)



MATERIAL REFERENCE RENDER. DESIGNED BY PRAXIS

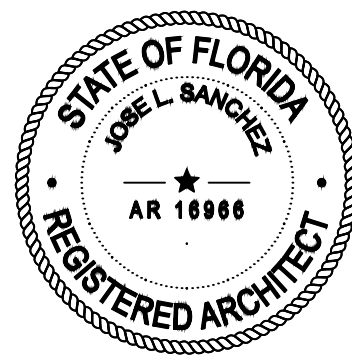
MATERIAL LEGEND

- | | | |
|---|--|---|
| 1 | | 1. STONE TILE IN GREY COLOR IN PROPORTION OF STACKED BOND CMU 8 X 18. |
| 2 | | 2. MATTE FINISHED IONIZED ALUMINUM. |
| 3 | | 3. WHITE SMOOTH STUCCO |
| 4 | | 4. DARK-BROWN PAINT OVER SMOOTH STUCCO |

praxis.
architecture . design

JOSE L. SANCHEZ, AIA, LEED AP
278 NW 37TH ST. MIAMI, FL 33127
P. 305.578.8043 PRAXISARCH.COM

FL. LIC. AR 0016946 FL. LIC. AA 24000837



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ADDRESS & OWNER

NEW RESIDENCE
1610 BAY DRIVE
MIAMI BEACH, FLORIDA. 33141
OWNER:

REVISION & DATE

1
2
3
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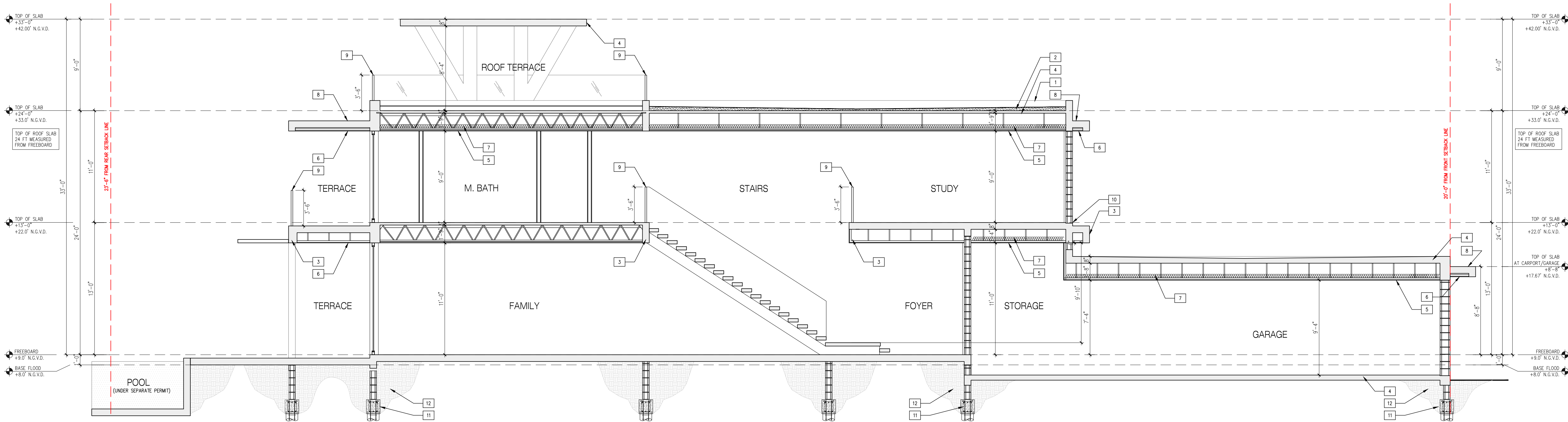
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**SOUTH
ELEVATION
(REAR)**

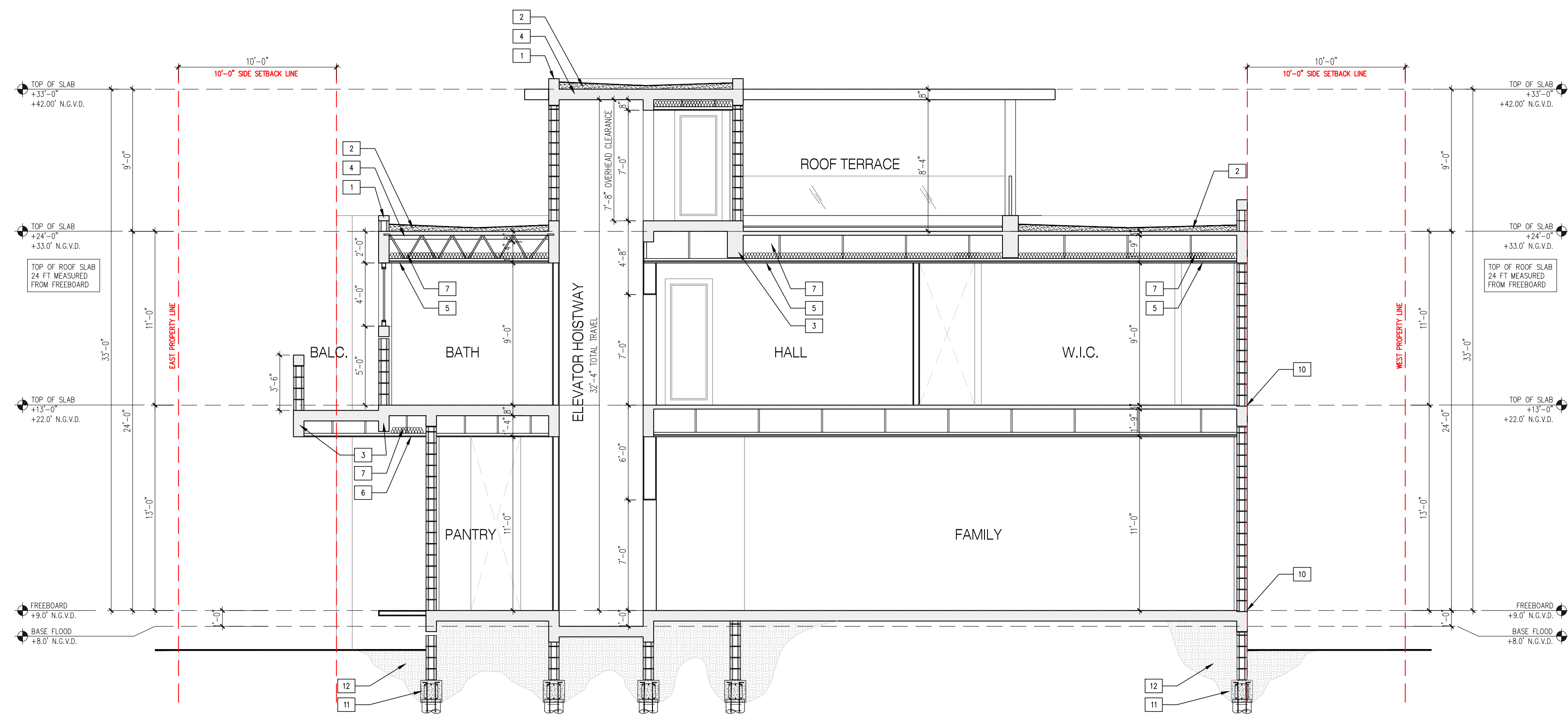
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SHEET NUMBER

A-3.3

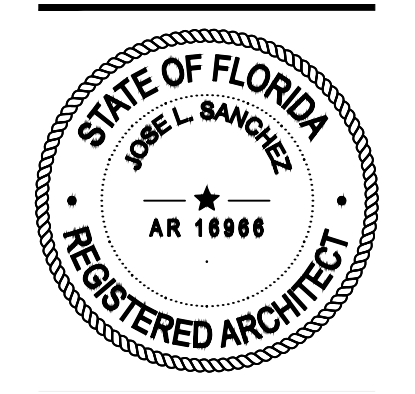


1 SECTIONS
3/16"=1'-0"



2 SECTIONS
3/16"=1'-0"

- SECTION KEYNOTES
1. PARAPET WALL (SEE ROOF PLAN FOR HEIGHT)
 2. PROVIDE 10 YR WARRANTY ROOFING SYSTEM. ROOFING SYSTEM INSTALLATION SHALL BE PERFORMED PER MANUFACTURER'S RECOMMENDATIONS AND PER NATIONAL ROOFING CONTRACTORS ASSOCIATION STANDARD DETAILS.
 3. CONCRETE BEAM (SEE STRUCT. DWGS. FOR REINF.)
 4. CONCRETE SLAB (SEE STRUCT. DWGS. FOR REINF.)
 5. SUSPENDED 5/8" GYPSUM CEILING ON METAL STUD FRAMING. INSTALL AFTER DUCTWORK AND PLUMBING IS IN PLACE.
 6. SMOOTH STUCCO CEILING ON METAL STUD SUBSTRATE. (EXTERIOR CEILING)
 7. R-30 BATT INSULATION OVER GYPSUM CEILING.
 8. SEALOFLEX WATERPROOFING, TYP. AT ALL CANOPIES AND DRIP EDGE.
 9. GLASS GUARDRAIL/HANDRAILS (42" OR 36" HIGH A.F.F.) - PROVIDE SHOP DRAWINGS AND ENGINEERING CALCULATIONS. GUARDRAILS SHALL NOT HAVE POSTS, SHALL BE ST. STEEL "U" CHANNEL TYPE INSTALLATION OR SIDE WALL WITH STAINLESS STEEL BUTTONS TYPE INSTALLATION - UNDER SEPARATE PERMIT
 10. 3/4" RECESS AT ALL SLABS SUPPORTING EXTERIOR WALLS (TYP.)
 11. FOR FOUNDATION (SEE STRUCT. DWGS.)
 12. COMPACTED FILL TO 95% COMPACTION WITH PROCTOR TEST.
 13. EPS BOARD INSULATION UNDER CONCRETE SLAB. (R-5) - CRAWLSPACE
 14. ALUMN. TRELLIS. PROVIDE SHOP DRAWINGS.
- NOTES:
- ALL PLANTERS SHALL RECEIVE WATERPROOFING COATING. SEE STANDARD DETAIL.
 - CEILING HEIGHTS INDICATED IN SECTIONS ARE FOR BIDDING PURPOSES ONLY. THE ACTUAL HEIGHT MAY VARY DEPENDING ON ALL SYSTEMS INSTALLED. THE MEP INSTALLATION SHOULD BE PERFORMED PRIOR TO THE CEILING SYSTEM INSTALLATION. PIPING AND DUCTS SHALL BE INSTALLED AS HIGH AS PRACTICALLY POSSIBLE.



Jose L. Sanchez
Digitally signed by Jose L. Sanchez, DN: cn=Jose L. Sanchez, o=JL Sanchez Architects, ou=Jose L. Sanchez Architects, email=jlsanchez@praxisarch.com, c=US

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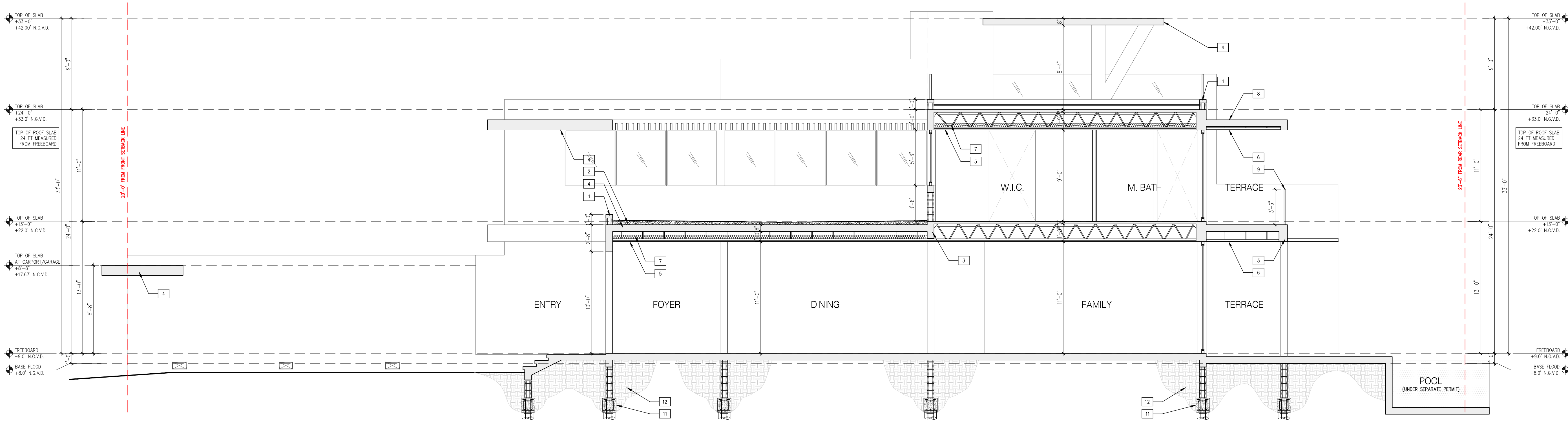
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SECTIONS

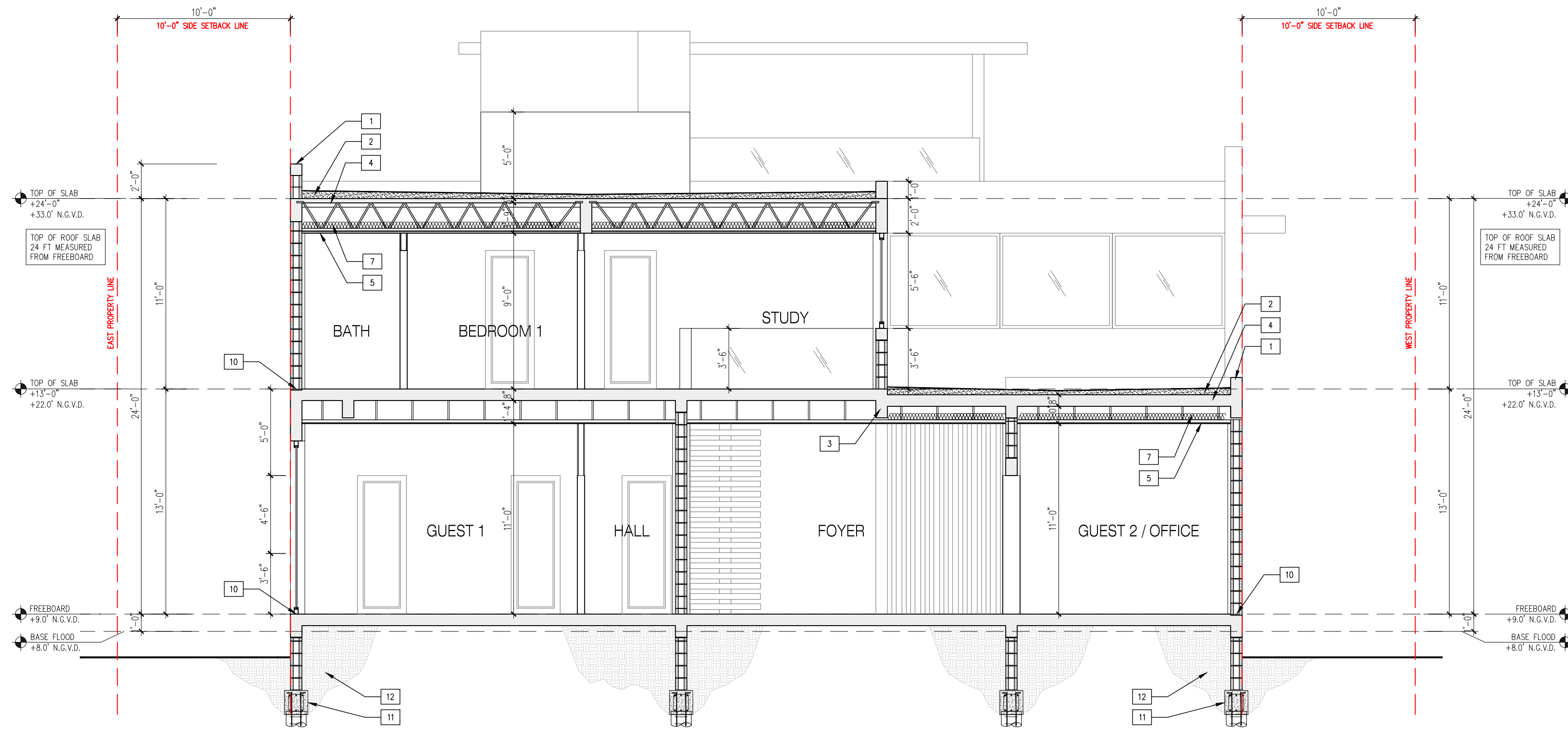
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SHEET NUMBER

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1 SECTIONS
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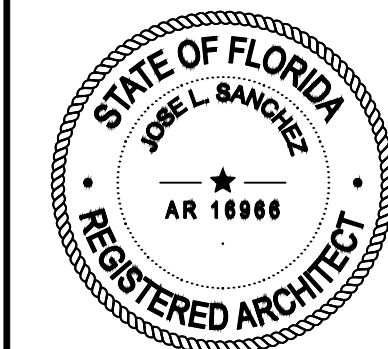


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Jose L. Sanchez
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Date: 2022.09.26 17:42:28 -0400

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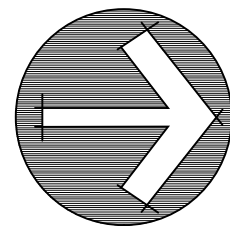
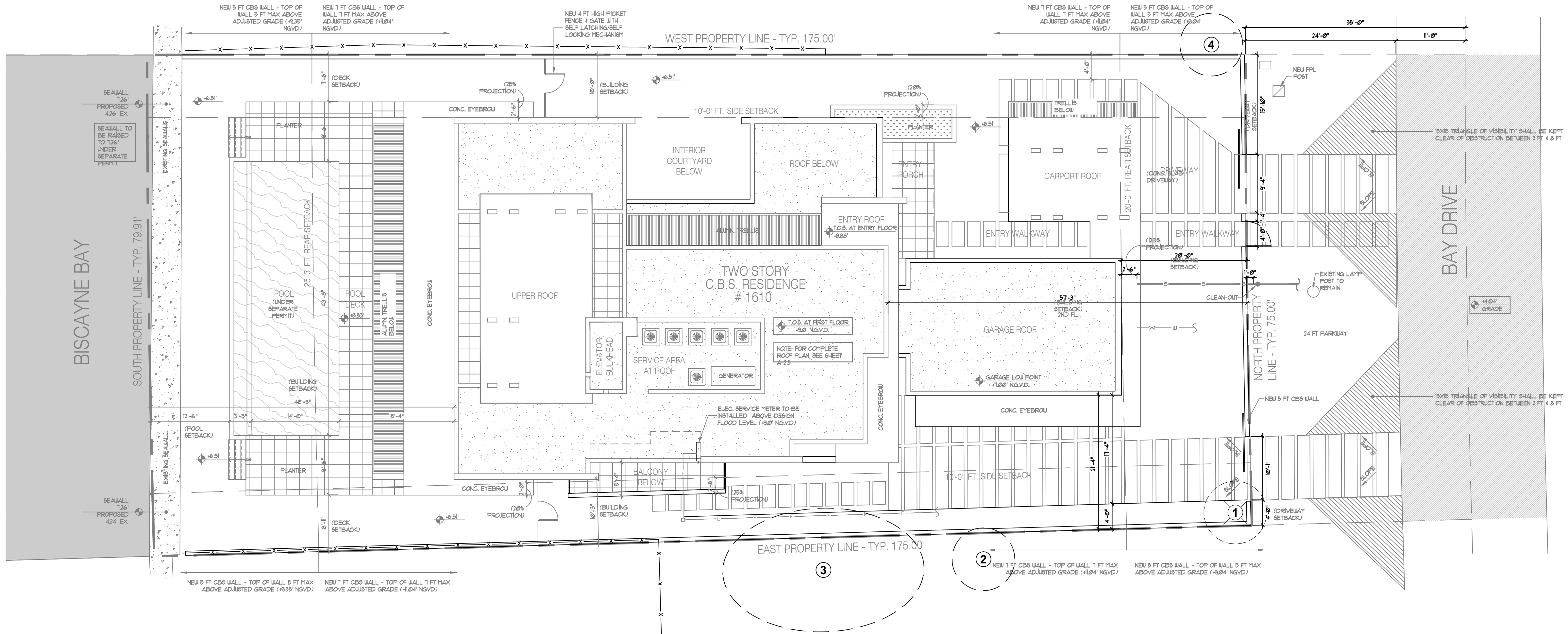
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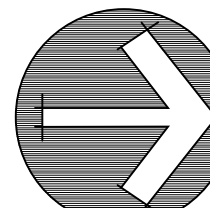
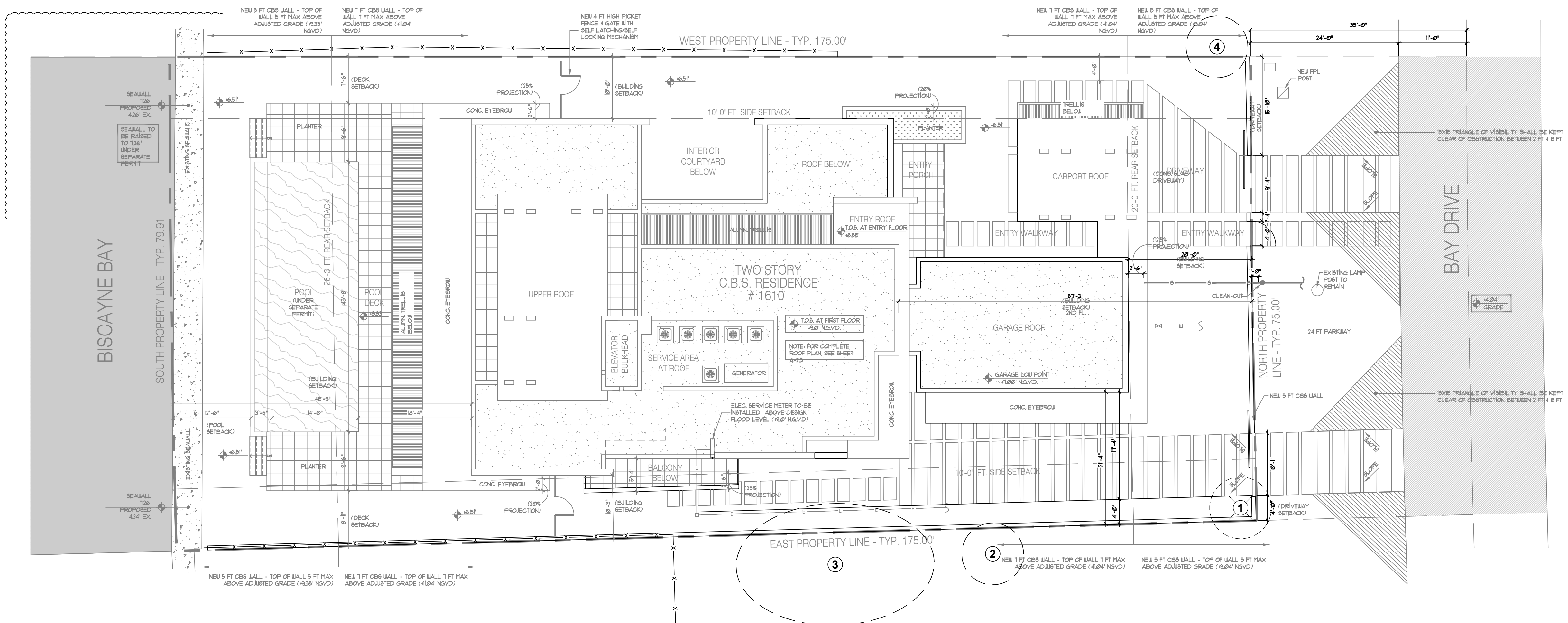


SCALE: 1"=10'-0"

Tree Disposition					
No	Botanical Name	Common Name	DBH (in)	Height (ft)	Spread (ft)
1	Schinus terebinthifolia	Florida Holly	8	14	10
2	Livistona chinensis	Chinese Fan Palm	~10	12	10
3	Schefflera actinophylla	Umbrella Tree	~16	35	30
4	Sabal palmetto	Sabal Palm	~12	20	10

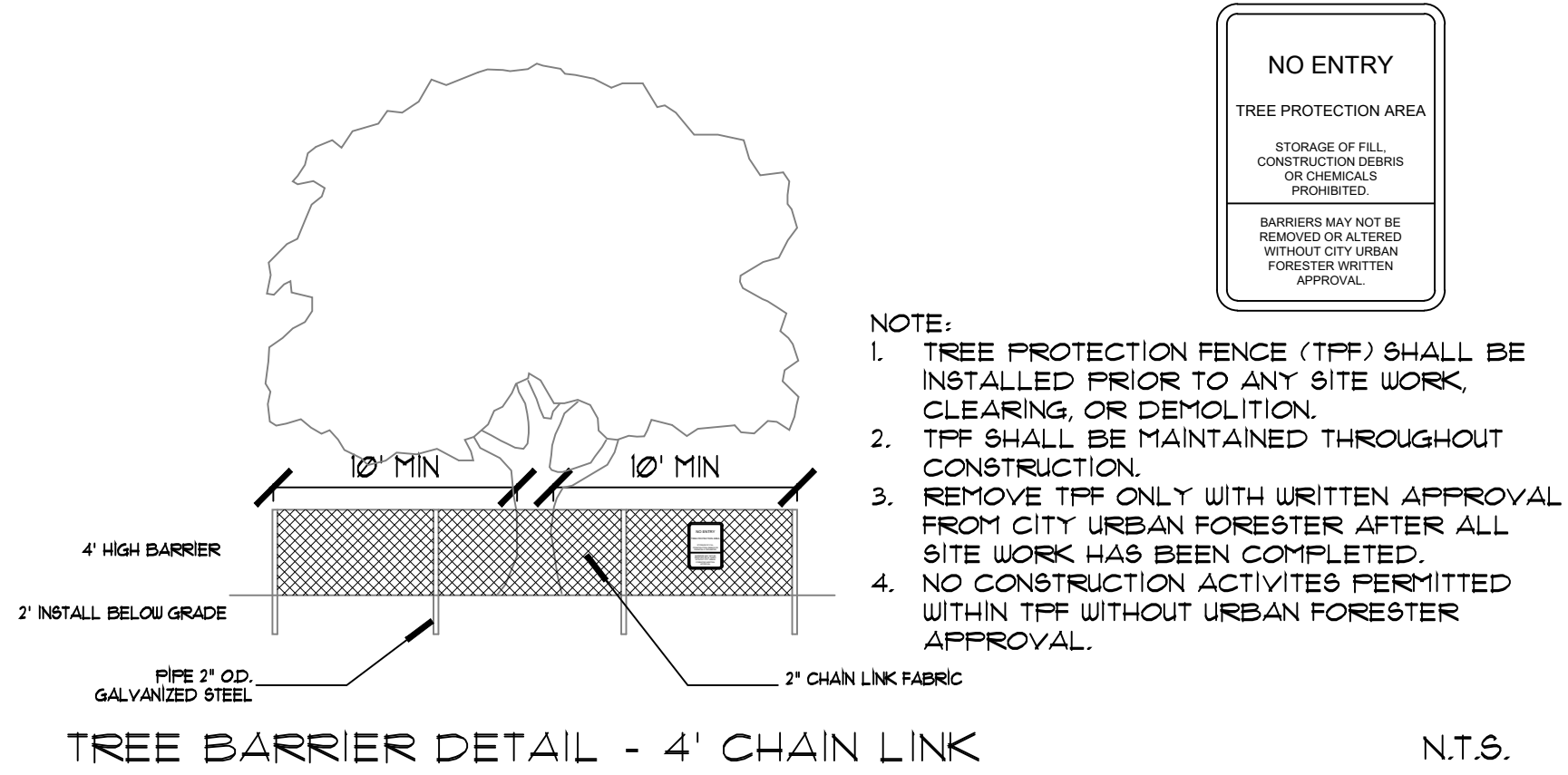
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7/08/22	SITE PLAN
8/14/22	CLIENT COMMENTS
9/11/22	CLIENT COMMENTS

DRAWN BY DV
DATE 4/18/2022
SCALE 1"=10'-0"
DRAWING TITLE TREE SURVEY PLAN
SHEET L100



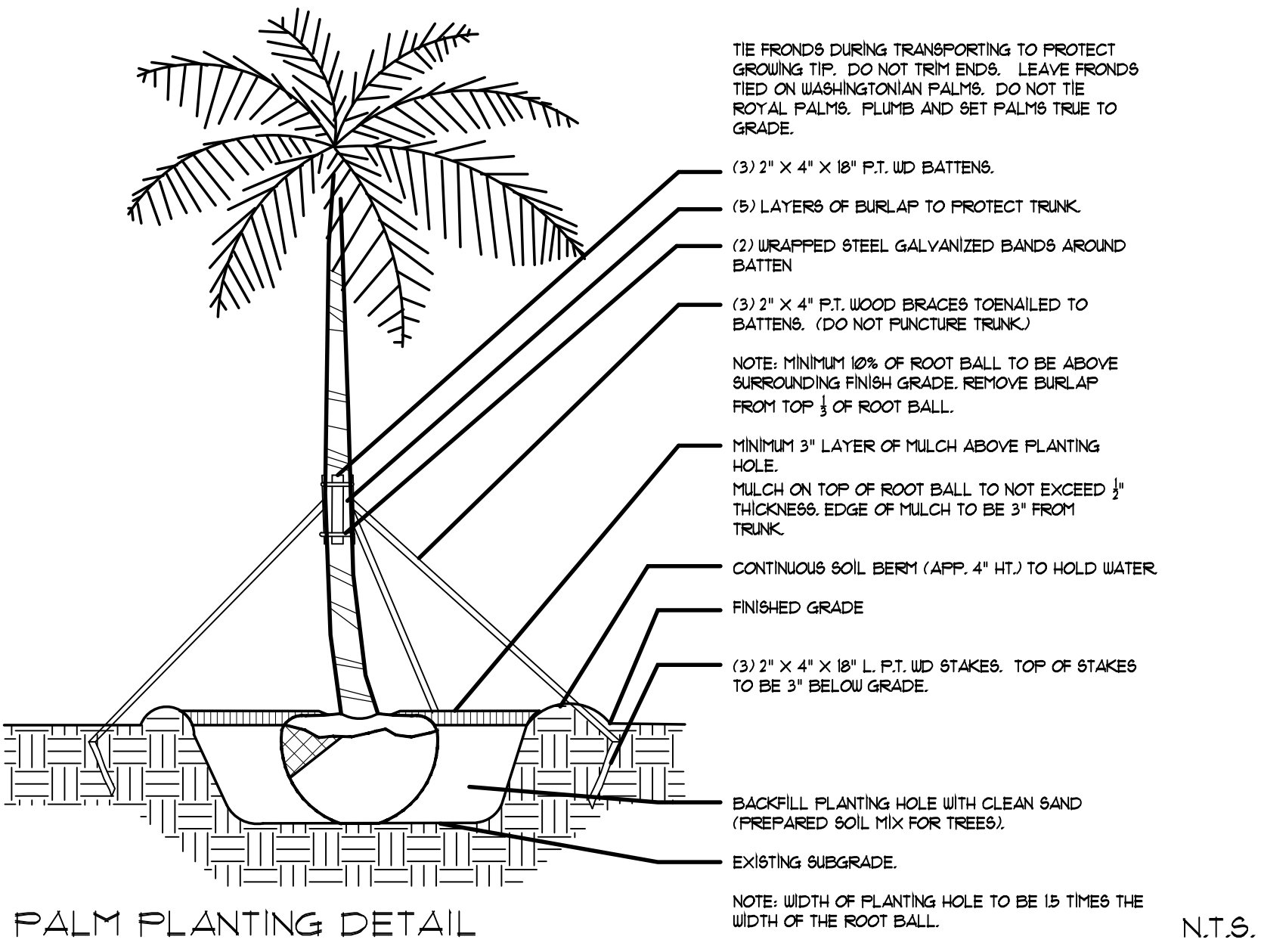
SCALE: 1"=10'-0"

Tree Disposition						
No	Botanical Name	Common Name	DBH (in)	Height (ft)	Spread (ft)	Disposition Remarks
1	Schinus terebinthifolia	Florida Holly	8	14	10	Remove Invasive
2	Livistona chinensis	Chinese Fan Palm	~10	12	10	Remain Neighbor's tree
3	Schefflera actinophylla	Umbrella Tree	~16	35	30	Remain Neighbor's tree
4	Sabal palmetto	Sabal Palm	~12	20	10	Remain Neighbor's tree



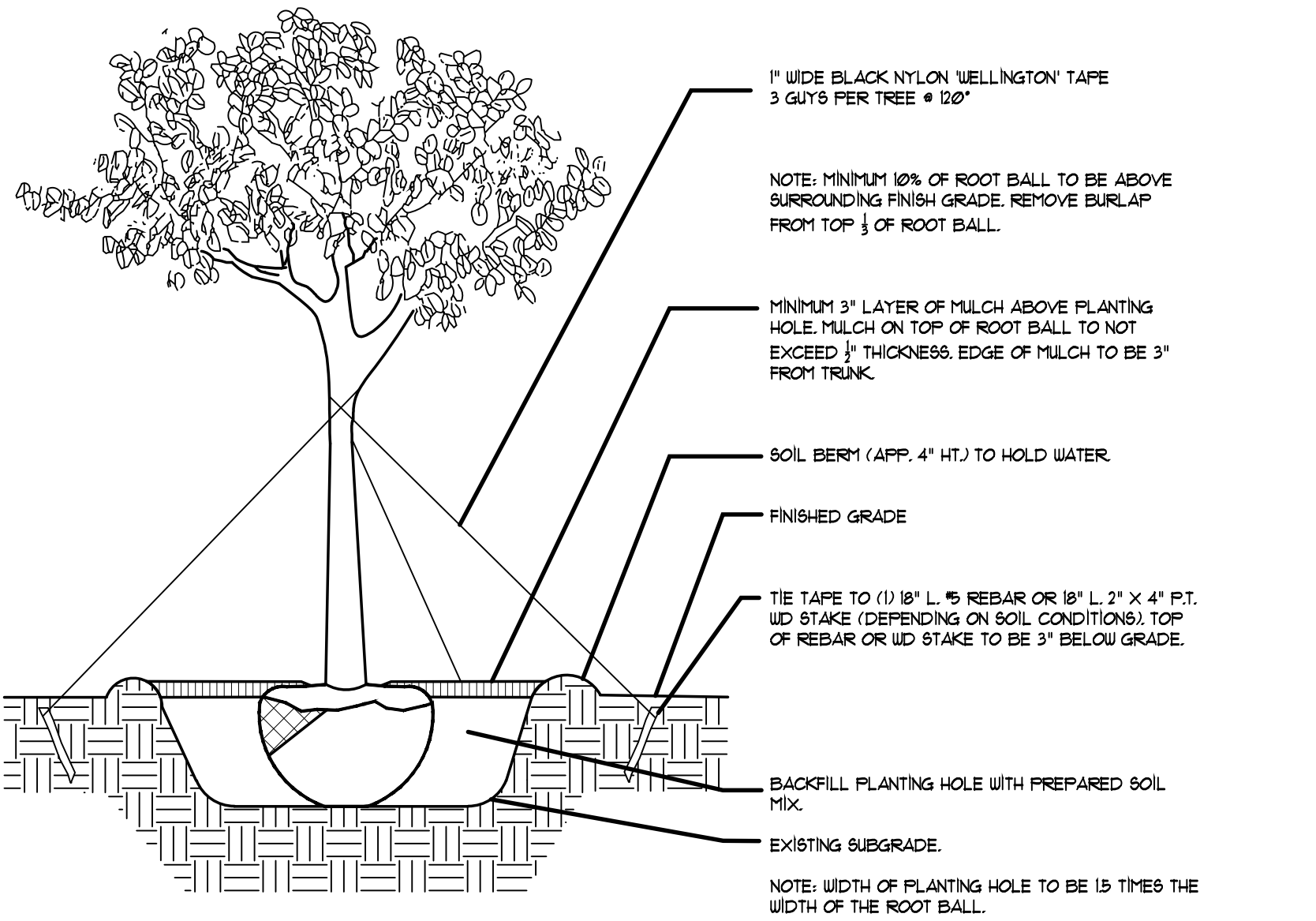
REVISIONS	
7/08/22	SITE PLAN
8/14/22	CLIENT COMMENTS
9/1/22	CLIENT COMMENTS

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DATE 4/18/2022
SCALE 1"=10'-0"
DRAWING TITLE TREE DISPOSITION PLAN
SHEET L101



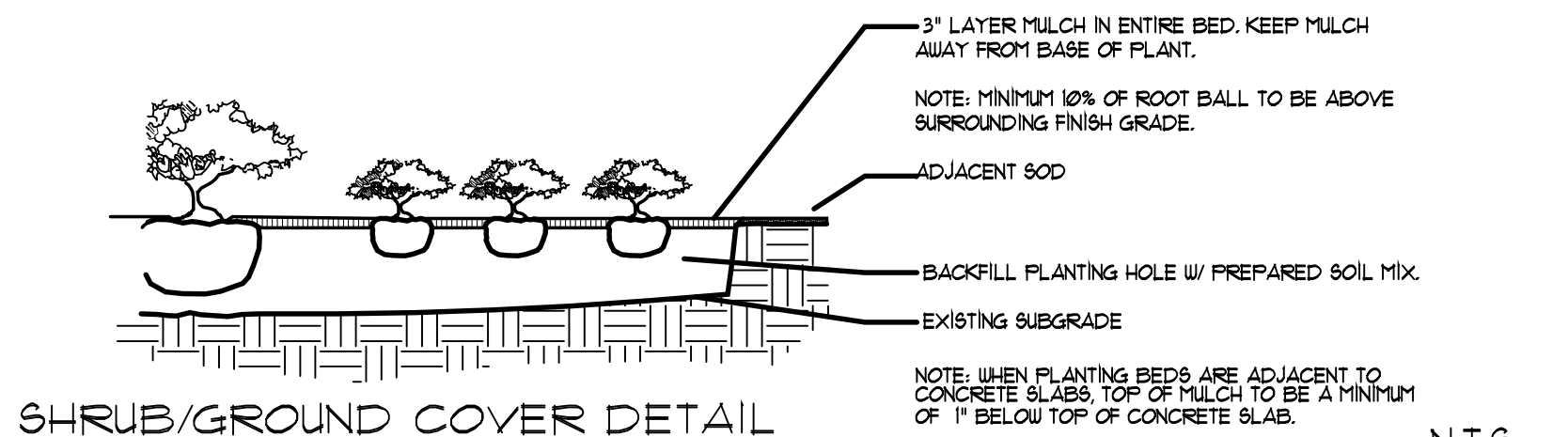
PALM PLANTING DETAIL

LARGE TREE PLANTING DETAIL SIMILAR



TREE PLANTING DETAIL

TREES WITH 3" CALIPER OR LESS



SHRUB/GROUND COVER DETAIL

PLANT NOTES

1. ALL PLANT MATERIAL TO BE FLORIDA NO. 1 OR BETTER FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS: PARTS I AND II, 2ND EDITION; FEBRUARY 1998, RESPECTIVELY.
2. ALL PLANTING BEDS TO BE TOPPED WITH 3" MULCH EXCLUDING TOP OF ROOT BALL (SEE PALM/ TREE PLANTING DETAIL).
3. ALL TREES TO BE STAKED IN A GOOD WORKMANLIKE MANNER, NO NAIL STAKING IN TRUNKS PERMITTED.
4. LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
5. ALL SOD SHALL BE ZOYSIA JAPONICA SOLID SOD, (UNLESS OTHERWISE NOTED) AND LAID WITH ALTERNATING AND ABUTTING JOINTS.
6. ALL PLANTING BEDS TO BE WEED AND GRASS FREE.
7. LANDSCAPE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND PREPARE OWN QUANTITY COUNTS PRIOR TO BID COST AND COMPARE TO ARCHITECT'S PLANT LIST. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ATTAINING ACCURATE COUNT OF PLANT MATERIALS SPECIFIED. IN THE EVENT OF DISCREPANCIES, LANDSCAPE CONTRACTORS SHALL BRING TO THE ATTENTION OF LANDSCAPE ARCHITECT. PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST.
8. LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
9. NO CHANGES SHALL BE MADE WITHOUT THE PRIOR CONSENT OF THE LANDSCAPE ARCHITECT.
10. ALL PLANTED AREAS TO RECEIVE 100% COVERAGE BY AN AUTOMATIC IRRIGATION SYSTEM, WITH A MINIMUM OF 50% OVERLAP. RAIN SENSOR TO BE PROVIDED.

CITY OF MIAMI BEACH

LANDSCAPE LEGEND

INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS
Zoning District: RS-R Lot Area 13,543 S.F. Acres 0.310

OPEN SPACE		REQUIRED/ ALLOWED	PROVIDED
A.	Square feet of required Open Space as indicated on site plan: Lot Area = <u>13,543</u> s.f. x <u>50</u> % = <u>6,771</u> s.f.	6,771	7,739
B.	Square feet of parking lot open space required as indicated on site		
Number of parking spaces _____ x 10 s.f. parking space =		N/A	N/A
C.	Total square feet of landscaped open space required: A+B=	6,771	7,739

LAWN AREA CALCULATION		REQUIRED/ ALLOWED	PROVIDED
A.	Square feet of landscaped open space required	6,771	7739
B.	Maximum lawn area (sod) permitted= <u>50</u> % x <u>7739</u> s.f.	3,870	1,595

TREES		REQUIRED/ ALLOWED	PROVIDED
A.	Number of trees required per lot or net lot acre, less existing number of trees meeting minimum requirements= _____ trees x _____ net lot acres - number of existing trees =	13	13
B.	% Natives required: Number of trees provided x 30% =	3	10
C.	% Low maintenance / drought and salt tolerant required: Number of trees provided x 50%=	5	10
D.	Street Trees (maximum average spacing of 20' o.c.) _____ linear feet along street divided by 20' =	N/A	N/A
E.	Street tree species allowed directly beneath power lines: (maximum average spacing of 20' o.c.): _____ linear feet along street divided by 20' =	4	4

SHRUBS		REQUIRED/ ALLOWED	PROVIDED
A.	Number of shrubs required: Sum of lot and street trees required x 12=	156	302
B.	% Native shrubs required: Number of shrubs provided x 50%=	151	166

LARGE SHRUBS OR SMALL TREES		REQUIRED/ ALLOWED	PROVIDED
A.	Number of large shrubs or small trees required: Number of required shrubs x 10%=	16	21
B.	% Native large shrubs or small trees required: Number of large shrubs or small trees provided x 50%=	11	21