

# REQUEST FOR DRB APPROVAL FOR:

110 N HIBISCUS DRIVE



OCTOBER 10, 2022  
DRB - SECOND SUBMITTAL

MIAMI BEACH, FLORIDA

#### CLIENT

ROSARIA VARRA  
110 N HIBISCUS DR.  
MIAMI BEACH, FL. 33139

#### ARCHITECT

CHOEFF LEVY FISCHMAN  
8425 BISCAYNE BLVD. STE 201  
MIAMI, FL 33138  
(305) 434-8338

#### LANDSCAPE

CHRISTOPHER CAWLEY  
LANDSCAPE ARCHITECTURE, LLC  
780 NE 69TH STREET, SUITE 1106  
MIAMI, FL 33138  
(305) 979-1585

#### SCOPE OF WORK

- REQUEST FOR DRB APPROVAL FOR THE PROPERTY LOCATED AT 110 N HIBISCUS DR. MIAMI BEACH, FL.
- **WAIVER #1:** WAIVER TO FOREGO THE ADDITIONAL 5'-0" SETBACK AT 50% OF THE SECOND FLOOR FACING A SIDE STREET
- **WAIVER #2:** WAIVER TO FOREGO THE ADDITIONAL OPEN SPACE REQUIREMENT AT THE SIDE YARD SETBACK
- **WAIVER #3:** WAIVER TO ALLOW PROPOSED LOCATION OF ELEVATOR

HIBISCUS ISLAND RESIDENCE  
110 N HIBISCUS DR.  
MIAMI BEACH, FL 33139

seal

Ralph Choeff  
registered architect  
AR0009679  
AA26003009

comm no.  
**2032**

date:  
11-03-2020

revised:

sheet no.

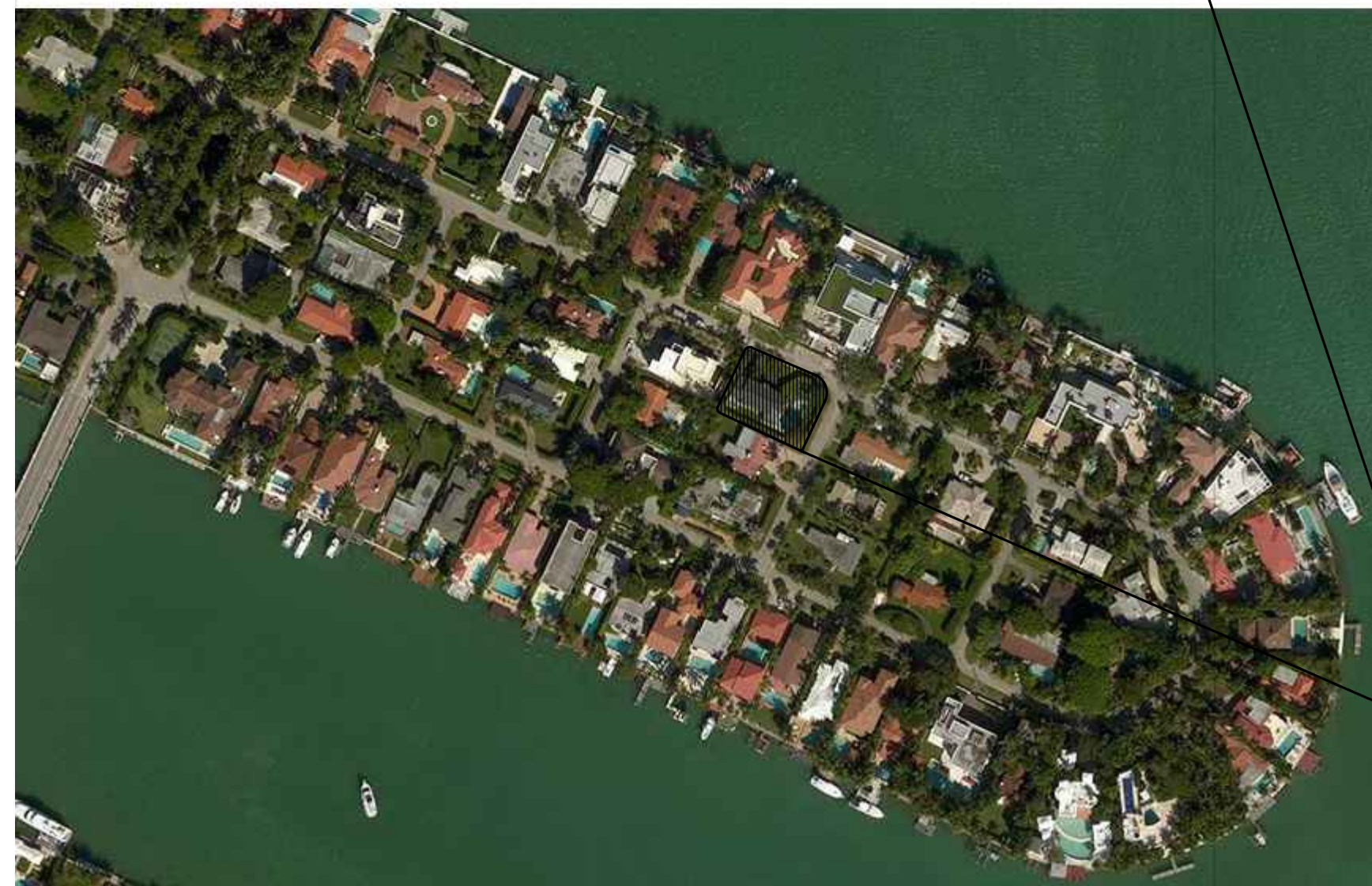
A-0.0



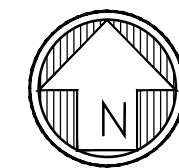
# REQUEST FOR DRB APPROVAL FOR:

110 N HIBISCUS DRIVE

MIAMI BEACH, FLORIDA



110 N HIBISCUS DR.  
MIAMI BEACH, FL 33139



## COVER PAGES / CONTEXT

A-0.0	COVER SHEET
A-0.1	INDEX OF DRAWINGS / LOCATION MAP
A-0.3	SURVEY
C-4.1	EXISTING CONDITIONS PHOTOGRAPHS
C-4.2	EXISTING CONDITIONS PHOTOGRAPHS
C-3.1	NEIGHBOR PHOTOGRAPHS
C-3.2	CONTEXT RENDERING & MASSING STUDIES
C-3.3	CONTEXT RENDERING & MASSING STUDIES

## PROPOSED ARCHITECTURAL DRAWINGS

A-0.5	AREA CALCULATIONS (PROPOSED)
A-0.4	SITE PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	ROOF PLAN
A-3.1	FRONT & REAR ELEVATIONS
A-3.2	SIDE ELEVATIONS
B-1.1	ORIGINAL FRONT RENDERING
B-1.2	ORIGINAL SIDE RENDERING
C-1.1	FRONT RENDERING
C-1.2	SIDE RENDERING
C-2.1	COLORED ELEVATION
C-2.2	COLORED ELEVATION
C-2.3	COLORED ELEVATION
C-2.4	COLORED ELEVATION

## LANDSCAPE

L-0	COVER
L-1	GENERAL + LANDSCAPE NOTES
L-2	EXISTING TREE SURVEY & DISPOSITION
L-3	EXISTING TREE CHART + MITIGATION SUMMARY
L-4	LANDSCAPE PLAN
L-5	PLANT LIST, LANDSCAPE CODE + DETAILS
L-6	IRRIGATION PLAN



DESIGN REVIEW BOARD  
City of Miami Beach, Florida

MEETING DATE: April 5, 2016  
FILE NO.: 23245  
PROPERTY: 110 North Hibiscus Drive  
APPLICANTS: Ross Marchetta and Mary Vaccaro  
LEGAL: Lot 6, Block 1, of "Re-Subdivision of Block 'C' and 'D' of Hibiscus Island", according to Plat thereof, recorded in Plat Book 34, at Page 87, Public Records of Miami-Dade County, Florida.  
IN RE: The Application for Design Review Approval for the construction of a new two-story home to replace an existing one-story home including variances to exceed the maximum allowed projection within required yards, to exceed the maximum allowed elevation within required yards, to exceed the maximum area allowed for an accessible roof deck and to reduce its minimum required side setback.

ORDER

The City of Miami Beach Design Review Board makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the record for this matter:

I. Design Review

- A. The Board has jurisdiction pursuant to Section 118-252(a) of the Miami Beach Code. The property is not located within a designated local historic district and is not an individually designated historic site.
- B. Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is inconsistent with Design Review Criteria 2, 3, 5-8, and 12 in Section 118-251 of the Miami Beach Code.
- C. The project would be consistent with the criteria and requirements of Section 118-251 if the following conditions are met:
  - 1. Revised elevation, site plan, and floor plan drawings for the proposed new home at 110 N Hibiscus Drive shall be submitted, at a minimum, such drawings shall incorporate the following:
    - a. The 70% limitation for the second floor volume shall be waived as proposed.

*[Handwritten signature]*

- structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district;
- That the special conditions and circumstances do not result from the action of the applicant;
- That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, buildings, or structures in the same zoning district;
- That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this Ordinance and would work unnecessary and undue hardship on the applicant;
- That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;
- That the granting of the variance will be in harmony with the general intent and purpose of this Ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare; and
- That the granting of this request is consistent with the comprehensive plan and does not reduce the levels of service as set forth in the plan.
- C. The Board imposes the following conditions based on its authority in Section 118-354 of the Miami Beach City Code:
  - 1. Substantial modifications to the plans submitted and approved as part of the application, as determined by the Planning Director or designee, may require the applicant to return to the Board for approval of the modified plans, even if the modifications do not affect variances approved by the Board.

The decision of the Board regarding variances shall be final and there shall be no further review thereof except by resort to a court of competent jurisdiction by petition for writ of certiorari.

III. General Terms and Conditions applying to both 'I. Design Review Approval and II. Variances' noted above.

- A. During Construction of the new home, the Applicant will maintain gravel at the front of the construction site within the first 15'-0" of the required front yard to mitigate disturbance of soil and mud by related personal vehicles existing and entering the site and with an 8'-0" high fence with a wind resistant green mesh material along the front of the property line. All construction materials, including dumpsters and portable toilets, shall be located behind the construction fence and not visible from the right-of-way. All construction vehicles shall either park on the private property or at

*[Handwritten signature]*

- alternate overflow parking sites with a shuttle service to and from the property. The Applicant shall ensure that the contractor(s) observe good construction practices and prevent construction materials and debris from impacting the right-of-way.
- B. A Construction Parking and Traffic Management Plan (CPTMP) shall be approved by the Parking Director pursuant to Chapter 106, Article II, Division 3 of the City Code, prior to the issuance of a Building Permit.
- C. The final building plans shall meet all other requirements of the Land Development Regulations of the City Code.
- D. The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to the issuance of a Building Permit.
- E. Satisfaction of all conditions is required for the Planning Department to give its approval on a Certificate of Occupancy, a Temporary Certificate of Occupancy or Partial Certificate of Occupancy may also be conditionally granted Planning Departmental approval.
- F. The Final Order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.
- G. The conditions of approval herein are binding on the applicant, the property's owners, operators, and all successors in interest and assigns.
- H. Nothing in this order authorizes a violation of City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code.

IT IS HEREBY ORDERED, based upon the foregoing findings of fact, the evidence, information testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analysis, which are adopted herein, including the staff recommendations, which were amended and adopted by the Board, that the Application for Design Review approval and Variances II.A.1A, II.A.1B and II.A.2 as noted above, is GRANTED and that the Application for Variances II.A.3 and II.A.4 as noted above, is DENIED for the above-referenced project subject to those certain conditions specified in Paragraph I, II, III of the Finding of Fact, to which the applicant has agreed.

PROVIDED, the applicant shall build substantially in accordance with the plans, entitled "110 N Hibiscus Dr.", as prepared by Choeff Levy Fischman P.A. signed, sealed and dated February 12, 2016, and as approved by the Design Review Board, as determined by staff.

When requesting a building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the

*[Handwritten signature]*

*[Handwritten signature]*

- b. The side open space requirement shall be waived as proposed.
- c. The location of the elevator shall be permitted as proposed.
- d. Hardwired speakers shall not be permitted on the roof deck.
- e. All roof top lighting shall be located below the parapet level, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- f. The final Design details of the exterior materials and finishes shall be submitted, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- g. A copy of all pages of the recorded Final Order shall be scanned into the plans submitted for building permit, and shall be located immediately after the front cover page of the permit plans.
- h. Prior to the issuance of a Certificate of Occupancy, the project Architect shall verify, in writing, that the subject project has been constructed in accordance with the plans approved by the Planning Department for Building Permit.
- 2. A revised landscape plan, and corresponding site plan, shall be submitted to and approved by staff. The species, type, quantity, dimensions, spacing, location and overall height of all plant material shall be clearly delineated and subject to the review and approval of staff. At a minimum, such plan shall incorporate the following:
  - a. Prior to the issuance of a building permit, the applicant shall submit a tree protection plan for all trees to be retained on site. Such plan shall be subject to the review and approval of staff, and shall include, but not be limited to a sturdy tree protection fence installed at the dripline of the trees prior to any construction.
  - b. In order to identify, protect and preserve mature trees on site, which are suitable for retention and relocation, a Tree Report prepared by a Certified Tree Arborist shall be submitted for the mature trees on site.
  - c. Any tree identified to be in good overall condition shall be retained, and protected in their current location if they are not in conflict with the proposed home, or they shall be relocated on site, if determined feasible, subject to the review and approval of staff. A tree care and watering plan also prepared by a Certified Arborist shall be submitted prior to the issuance of a Building Permit or Tree Removal/Relocation Permit. Subsequent to any approved relocation, a monthly report prepared by a

- Certified Arborist shall be provided to staff describing the overall tree performance and adjustments to the maintenance plan in order to ensure survivability, such report shall continue for a period of 18 months unless determined otherwise by staff.
- d. Existing trees to be retained on site shall be protected from all types of construction disturbance. Root cutting, storage of soil or construction materials, movement of heavy vehicles, change in drainage patterns, and wash of concrete or other materials shall be prohibited.
- e. In the required yards the walkways shall be reduced to 44" in width except for landing were a 5'-0" turning radius is required, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- f. Street trees shall be required within the swale at the front of the property if not in conflict with existing utilities, in a manner to be reviewed and approved by the Public Works Department.
- g. Any existing plant material within the public right-of-way may be required to be removed, as the discretion of the Public Works Department.
- h. A fully automatic irrigation system with 100% coverage and an automatic rain sensor in order to render the system inoperative in the event of rain. Right-of-way areas shall also be incorporated as part of the irrigation system.
- i. The utilization of root barriers and/or Silva Cells, as applicable, shall be clearly delineated on the revised landscape plan.
- j. The applicant shall verify, prior to the issuance of a Building Permit, the exact location of all backflow preventors and all other related devices and fixtures. The location of backflow preventors, Siamese pipes or other related devices and fixtures, if any, and how they are screened with landscape material from the right-of-way, shall be clearly indicated on the site and landscape plans, and shall be subject to the review and approval of staff.
- k. The applicant shall verify, prior to the issuance of a Building Permit, the exact location of all applicable FPL transformers or vault rooms. The location of any exterior transformers and how they are screened with landscape material from the right of wall shall be clearly indicated on the site and landscape plans and shall be subject to the review and approval of staff.
- l. Prior to the issuance of a Certificate of Occupancy, the Landscape Architect or the project architect shall verify, in writing, that the project is

*[Handwritten signature]*

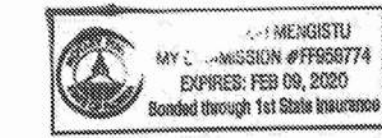
consistent with the site and landscape plans approved by the Planning Department for Building Permit.

In accordance with Section 118-262, the applicant, or the city manager on behalf of the city administration, or an affected person, Miami Design Preservation League or Dade Heritage Trust may seek review of any order of the Design Review Board by the City Commission, except that orders granting or denying a request for rehearing shall not be reviewed by the Commission.

II. Variance(s)

- A. The applicant filed an application with the Planning Department for the following variance(s):
    - A. A variance to exceed by 28.3% (4'-3") the maximum allowable projection of 25% (3'-9") of the required street side setback of 15'-0" in order to construct an accessibility ramp and railings with 53.3% (8'-0") of encroachment into the street side yard, facing North Hibiscus Drive.
    - A. A variance to exceed by 7.5% (1'-6") the maximum allowable projection of 25% (5'-0") of the required rear setback of 20'-0" in order to construct an accessibility ramp and railings with 32.5% (6'-6") of encroachment into the rear yard.
    - A variance to exceed by 1'-4" the maximum permitted elevation of +8.67' NGVD within the required rear yard in order to construct the pool and pool deck at +10.00' NGVD (Base Flood Elevation) within the required rear yard.
    - A variance to exceed by 10.2% (235.75 SF) the maximum allowed accessible roof deck area of 25% (577.25 SF) of the enclosed floor area below (2,309 SF) in order to construct a roof deck with 35.2% (813 SF) of the enclosed floor area below.
    - A variance to reduce all minimum required setback of 10'-0" from the side exterior outer walls to a roof deck in order to construct a roof deck at 0'-0" setback from the exterior walls below.
  - B. The applicant has submitted plans and documents with the application that satisfy Article 1, Section 2 of the Related Special Acts, allowing the granting of a variance if the Board finds that practical difficulties exist with respect to implementing the proposed project at the subject property.
- The applicant has submitted plans and documents with the application that also indicate the following, as they relate to the requirements of Section 118-353(d), Miami Beach City Code:
- That special conditions and circumstances exist which are peculiar to the land,

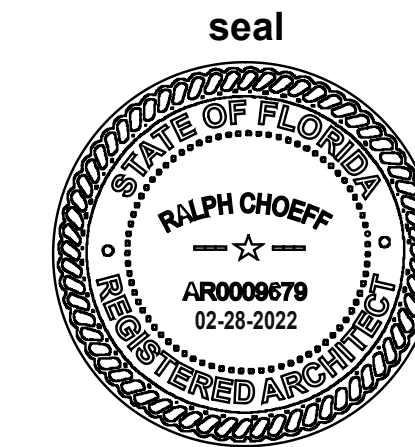
*[Handwritten signature]*



NOTARY PUBLIC  
Miami-Dade County, Florida  
My commission expires: 02-28-2022

Approved As To Form: *[Signature]*  
City Attorney's Office: *[Signature]*  
Filed with the Clerk of the Design Review Board on *[Signature]*

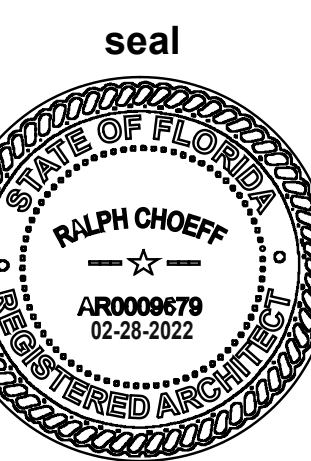
F:\PLAN\DRB\DRB10\04-05-2016\APR16 Final Orders\DRB 23245 110 N Hibiscus Dr APR16.fb.docx



Ralph Choeff  
registered architect  
AR0009679  
AA26003009

comm no.  
**2032**  
date:  
11-03-2020  
revised:



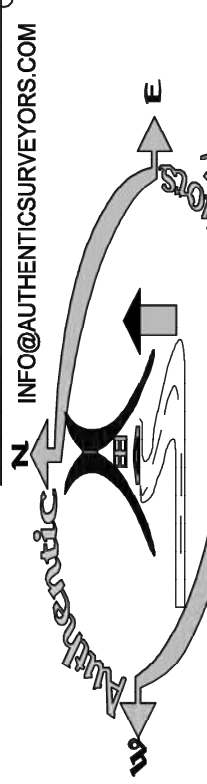


Ralph Choeff  
registered architect  
AR0009679  
AA26003009  
comm no.  
**2032**  
date:  
11-03-2020  
revised:

- 1. 04-06-2021 BLDG DEPT COMMENTS
- 2. 08-18-2021 BLDG DEPT COMMENTS
- 3. 10-13-2021 BLDG DEPT COMMENTS

RECORD OF REVISION		SCALE:	DATE:	DESCRIPTION
NO.	DATE	1"=20'	10/05/2015	BOUNDARY SURVEY
1	01/08/2016			GRADE ELEVATIONS & LOCATE TREES
2	08/16/2016			UP-DATE 08/16/2016
3	06/20/2018			UP-DATE & RE CERTIFY 06-15-2018
4	12/04/2020			NEW GRADE ELEV. (ASPHALT PAVING RESURFACE) ADD UTILITIES
				SHEET: 1 of 1 SHEETS

**AUTHENTIC SURVEYORS, INC.**  
LAND SURVEYORS • LAND PLANNERS • MAPPERS LB # 7555  
110 S.W. 8th Avenue  
Miami, Florida 33135  
PHONE (305) 970-6200  
FAX (305) 514-0087



**CERTIFY TO:**  
A) ROSARIA VARRA  
B) NEW PENN FINANCIAL LLC., ISAOA/ATIMA  
C) FREDERIC BARTHE, P.A.  
D) OLD REPUBLIC NATIONAL TITLE INSURANCE CO.

**FOLIO NO.**  
02-3232-005-0160

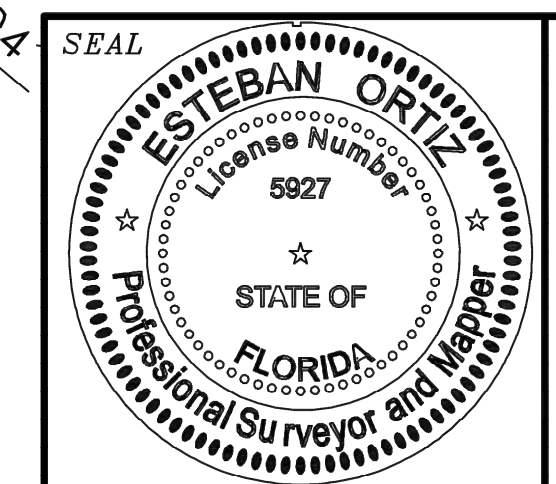
**LEGAL DESCRIPTION**  
Lot 6, in Block 1 of "RE-SUBDIVISION OF BLOCKS "C" AND "D" OF HIBISCUS ISLAND" according to the Plat hereof recorded at Plat Book 34, Page 87 of the Public Records Records of MIAMI-DADE County, Florida

**FLOOD ELEVATION INFORMATION**  
This property appears to be located in Flood Zone AE Base Flood Elevation 10.00' as per Federal Emergency Management Agency (FEMA) Community-Panel Number 120651 (CITY OF MIAMI BEACH), 12086 C Map No. 0316 Suffix L, Effective Date: September 11, 2009

**SURVEYOR'S NOTES:**

- The above captioned property was surveyed and based on the above legal description provided by the client.
- Foundations and/or footings that may cross the boundary line of the parcel herein described are not shown. Underground utilities are not depicted hereon.
- The lands shown hereon were not abstracted for easement or other recorded encumbrances not shown on the plat and the same if any may not be shown on this section
- Wall ties are to face to the wall
- Ownership subject to opinion of the Title.
- Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.
- Elevations shown hereon are based on a closed level loop using third order procedures and are relative to the National Geodetic Vertical Datum 1929.
- Survey map and report copies thereof are not valid without the signature and raised seal of the Florida Licensed Surveyor.
- The surveyor does not determine Ownership of fences or/and walls.
- This survey has been prepared for the exclusive use of entities named hereon this Certification does not extend to any unnamed party or parties.
- The purpose of this survey is for use in obtaining Title Insurance and Financing and should not be used for Construction.

**SURVEYOR'S CERTIFICATE:**  
I HEREBY CERTIFY THAT THE ATTACHED BOUNDARY SURVEY OF THE ABOVE DESCRIBED PROPERTY IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED UNDER MY DIRECTION, ALSO THAT THERE ARE NO VISIBLE ENCROACHMENTS UNLESS SHOWN, AND THIS SURVEY MEETS THE STANDARDS OF PRACTICE SET BY THE FLORIDA BOARD OF LAND SURVEYORS, AS SET FORTH IN CHAPTER 472.027 (F.S.) AND CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE. THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.



ESTEBAN ORTIZ  
PROFESSIONAL LAND SURVEYOR  
STATE OF FLORIDA  
NO. 5927  
NOTE: NOT VALID UNLESS SIGNED AND SEALED

**ABBREVIATIONS AND LEGEND**

A	ARC
A/C	AIR CONDITIONER
BM	BENCHMARK
BRG	BEARING
(C)	CALCULATED
C.G	CONCRETE GUTTER OR VALLEED GUTTER
C&G	CURB & GUTTER
CH	CHORD
CHBRG	CHORD BEARING
C.M.E.	CANAL MAINTENANCE EASEMENT
C.N.A.	CORNER NOT ACCESSIBLE
CONC.	CONCRETE
Δ	DELTA
D.E.	DRAINAGE EASEMENT
E.O.P.	EDGE OF PAVEMENT
F.C.	FENCE CORNER
F.D.H.	FOUND DRILL HOLE
F.E.	FENCE ENDS
F.F.E.	FINISHED FLOOR ELEVATION

F.I.P./F.I.R.	FOUND IRON PIPE/ROD
F.N.	FOUND NAIL
F.N&D.	FOUND NAIL AND DISC
F.P.K.N.	FOUND PARKER KALON NAIL
GAR.	GARAGE
I.D.	SURVEYOR'S IDENTIFICATION
L	LENGTH
L.A.E.	LIMITED ACCESS EASEMENT
L.M.E.	LAKE MAINTENANCE EASEMENT
(M)	MEASURED
O/S	OFFSET
(P)	PLATTED
P.C.	POINT OF CURVATURE
P.C.C.	POINT OF COMPOUND CURVATURE
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT
P.R.C.	POINT OF REVERSE CURVATURE
P.R.M.	PERMANENT REFERENCE MONUMENT
P.T.	POINT OF TANGENCY

R	RADIUS
(R)	RECORD
R/W	RIGHT-OF-WAY
R.E.E.	ROOF ENCROACHMENT EASEMENT
S.I.R./S.I.P.	SET 1/2" IRON ROD/PIPE
S.N.D.	SET NAIL AND DISC
TAN	TANGENT
(TYP.)	TYPICAL
U.E.	UTILITY EASEMENT
W.E.	WATER'S EDGE

—	OVERHEAD WIRE LINE
—	WOOD FENCE
—	CHAIN LINK FENCE
—	IRON/ALUMINUM FENCE
—	MONUMENT LINE
—	CENTERLINE
—	PROPERTY LINE
—	STRUCTURE LINE

□	AIR CONDITIONER
○	BELLSOUTH BOX
□	CABLE BOX
□	CATCH BASIN
□	CONTROL VALVE BOX
□	ELECTRIC BOX
□	ELECTRIC METER
□	ELECTRIC SERVICE BOX
○	EXISTING ELEVATIONS
○	FIRE HYDRANT
□	FLORIDA POWER & LIGHT BOX
□	HANDICAP SPACE
□	INLET
○	LIGHT POLE
○	METAL LIGHT POLE
○	SANITARY MANHOLE
○	SATELLITE DISH
□	WATER METER
□	WATER VALVE
○	WOOD POLE

—	UTILITY EASEMENT (U.E.)
---	-------------------------

**GRAPHIC SCALE**  
(IN FEET)  
1 inch = 20' ft.

**NORTH**  
SCALE: 1"=20'

**VICINITY MAP**  
Hibiscus Island

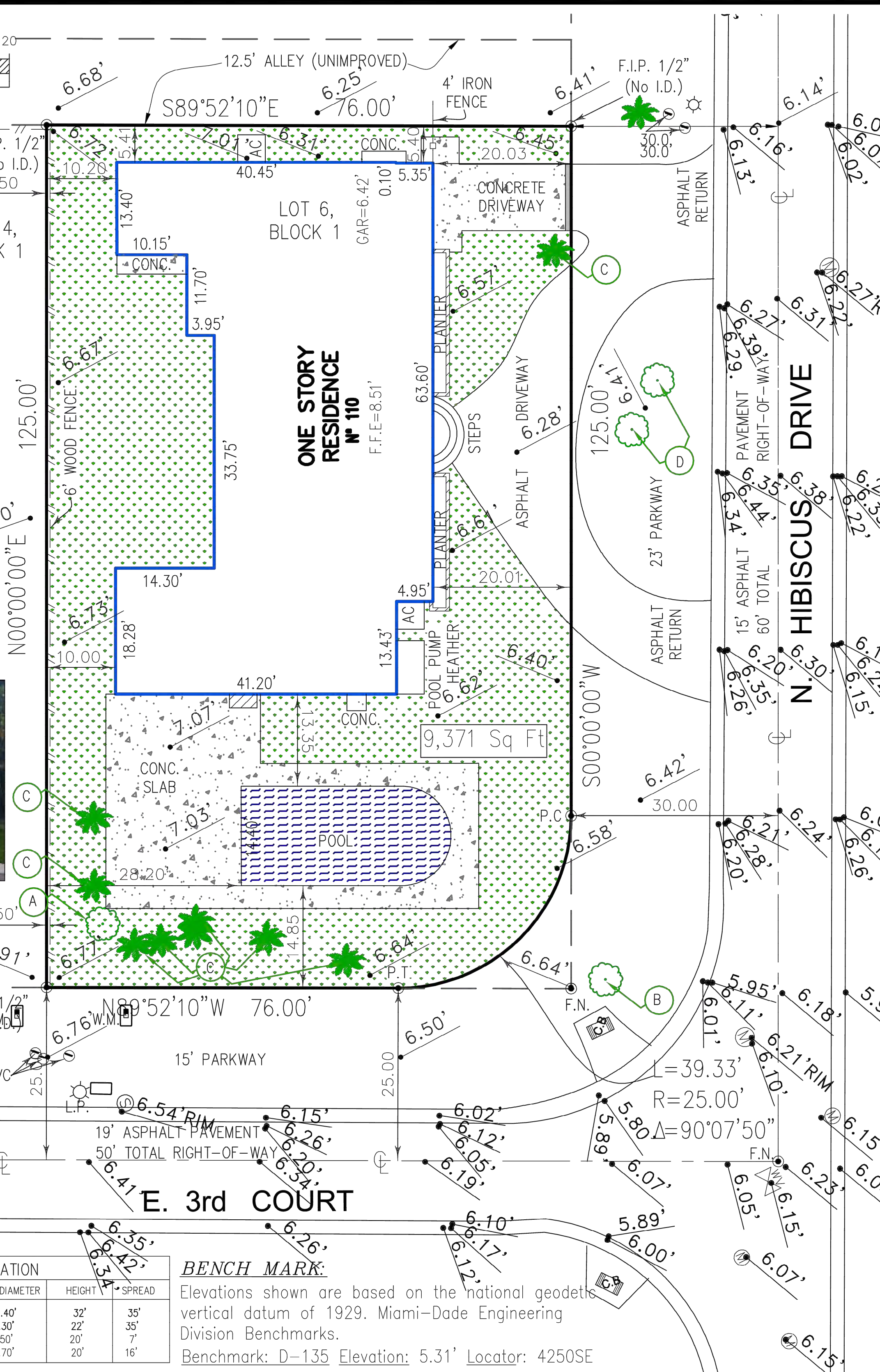
**FRONT VIEW**  
FRONT BUILDING

**ROAD CROSS SECTION DETAIL**

**TREE TABULATION**

LETTER	COMMON NAME	DIAMETER	HEIGHT	SPREAD
A	UNKNOWN TREE	1.40'	32'	35'
B	FRAMBOLLAN	1.30'	22'	35'
C	PALM	.50'	20'	7'
D	BOTTLEBRUSH TREE	.70'	20'	16'

**BENCH MARK:**  
Elevations shown are based on the national geodetic vertical datum of 1929. Miami-Dade Engineering Division Benchmarks.  
Benchmark: D-135 Elevation: 5.31' Locator: 4250SE







01



02





03



04





Residence ①



Residence ②



Residence ③



Subject Property [110 N Hibiscus Dr.]



Residence ④



Residence ⑤

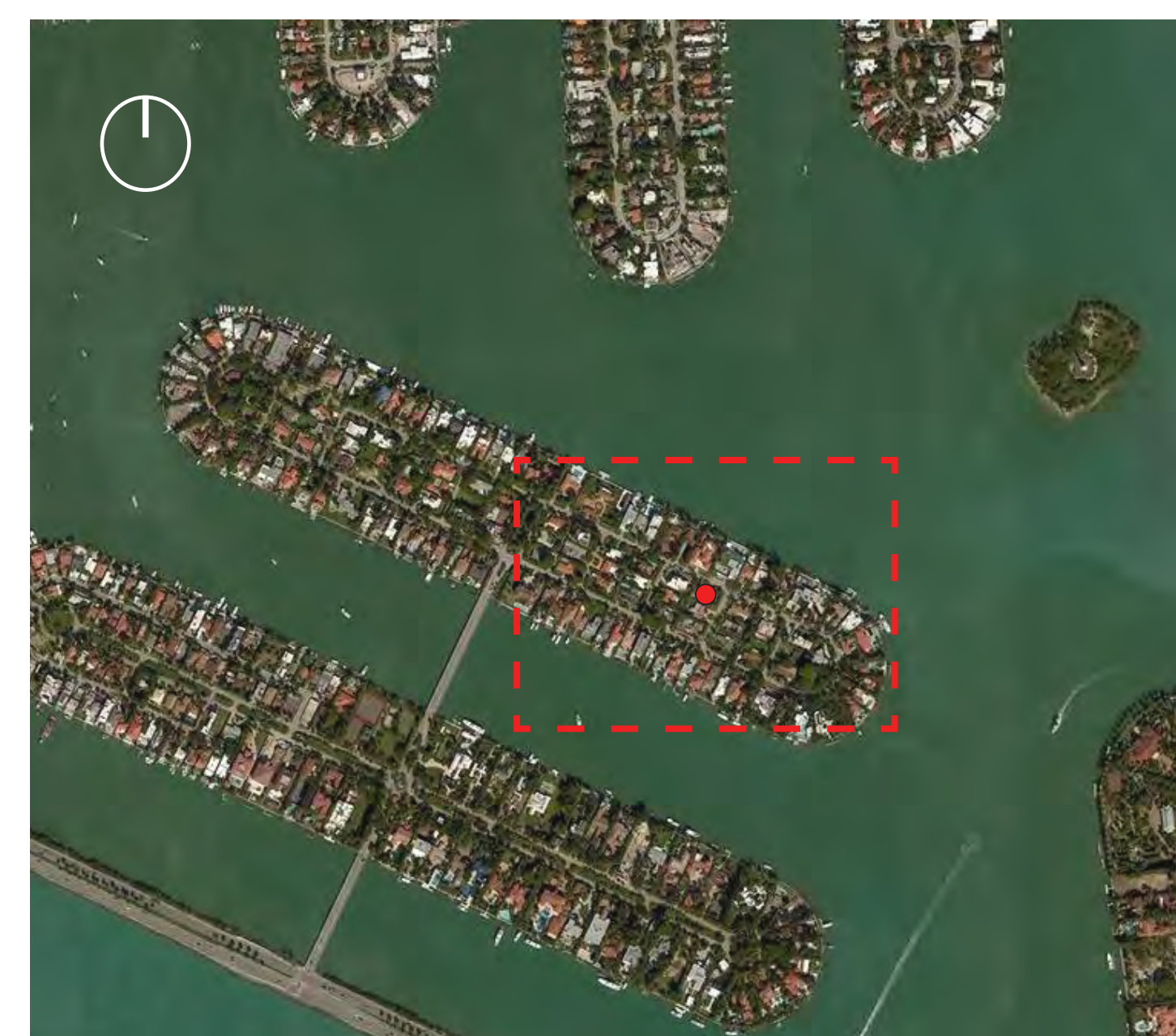
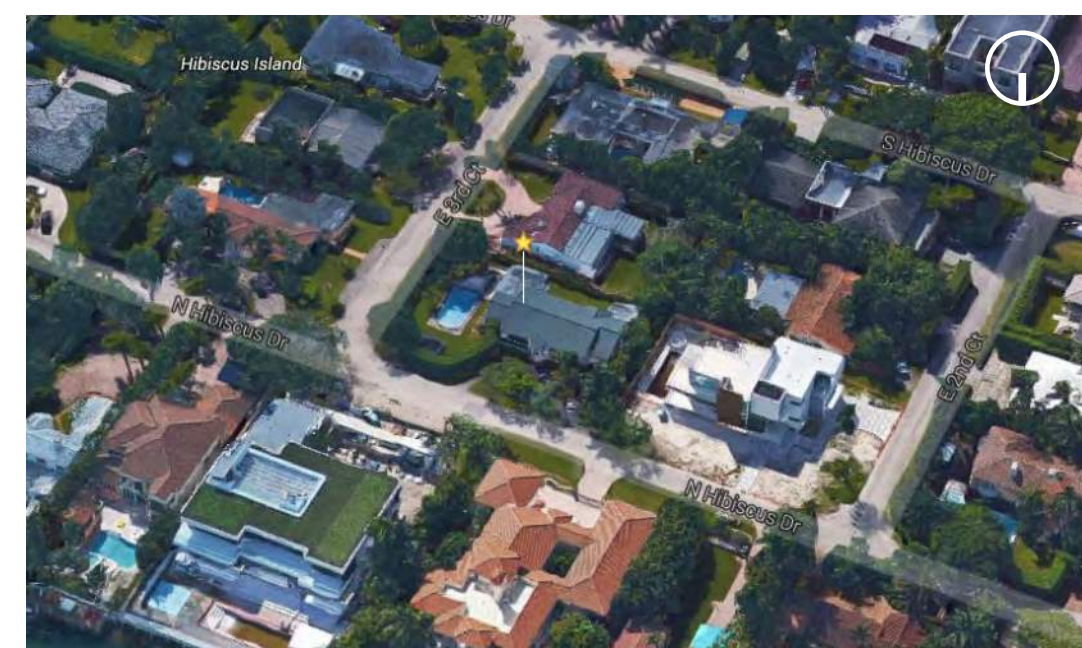


Residence ⑥



Residence ⑦

Aerial Photographs







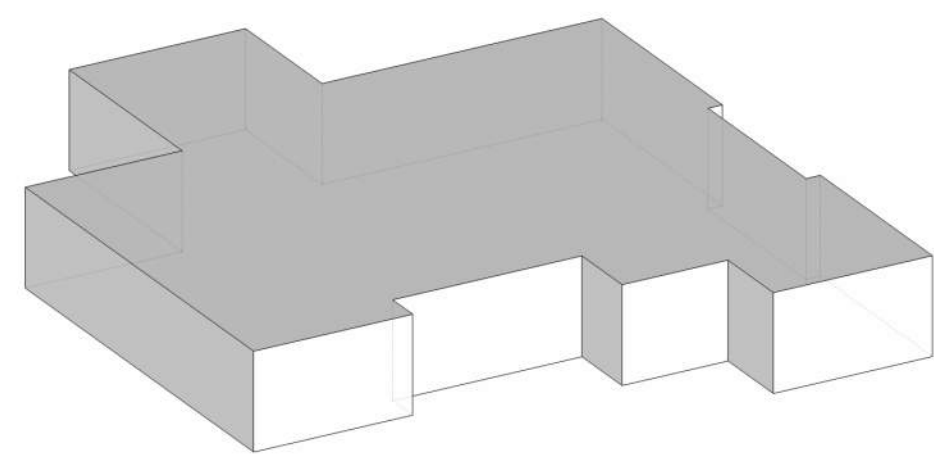
Front Context - E. 3rd Ct.



Side Context - N. Hibiscus Dr.

118 E. 3rd Ct.

Adjacent Property  
 Approx. Lot Coverage: 34.2%  
 Approx. First-Second Ratio: N/A

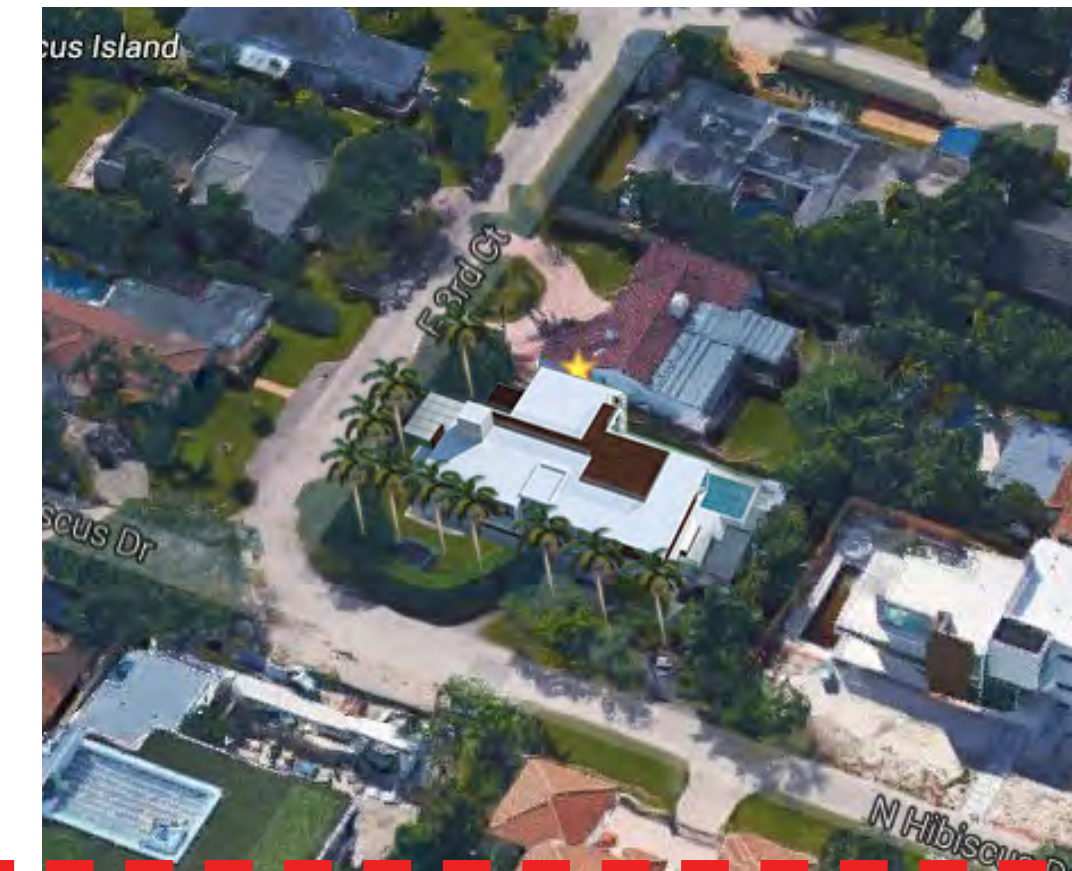
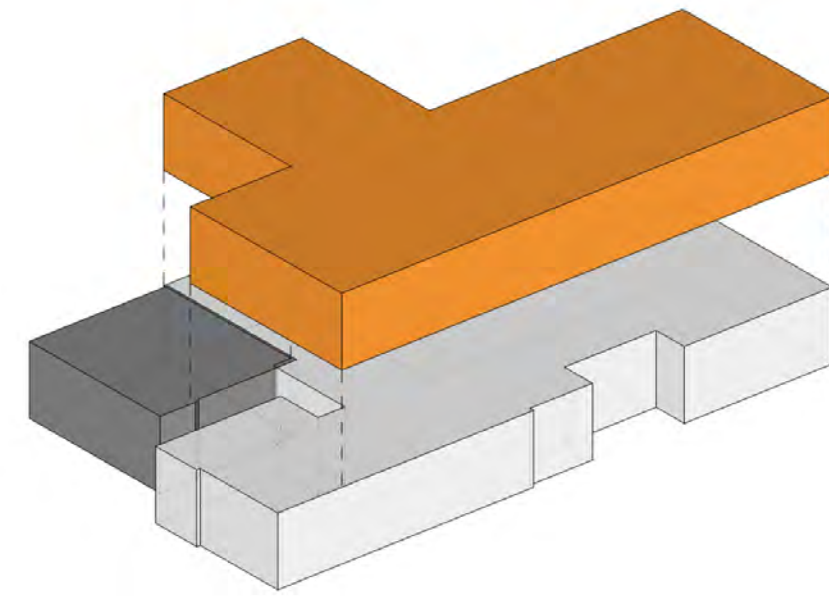


3



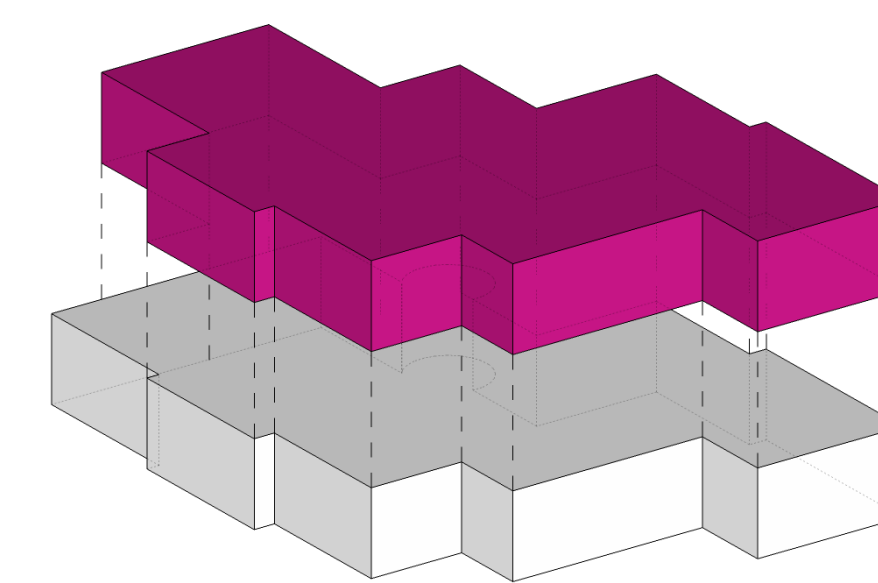
110 N. Hibiscus

Proposed Property  
 Lot Coverage: 28.0%  
 First-Second Ratio: 80.6%

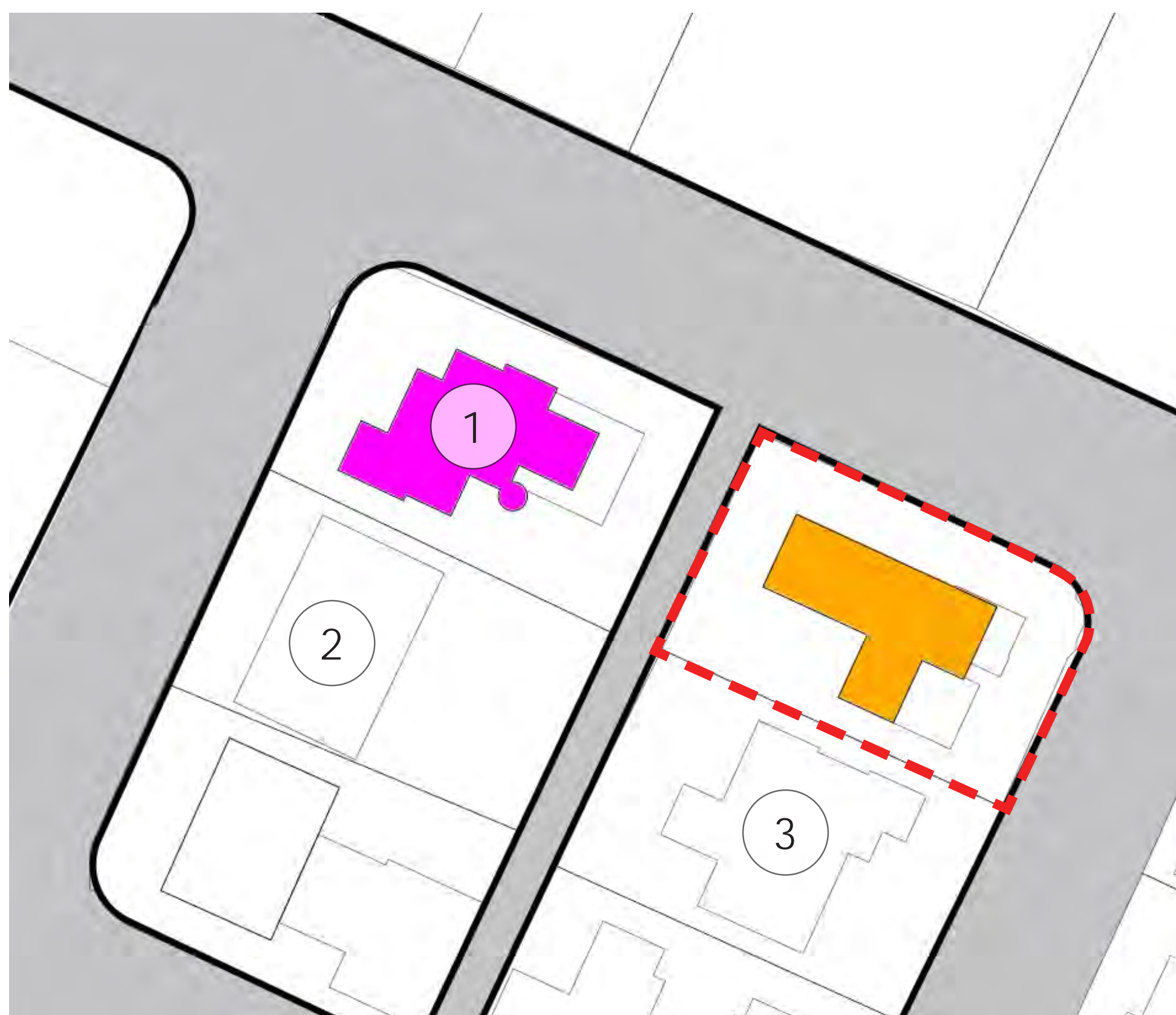


120 N. Hibiscus

Adjacent Property  
 Approx. Lot Coverage: 30%  
 Approx. First-Second Ratio: 89.5%



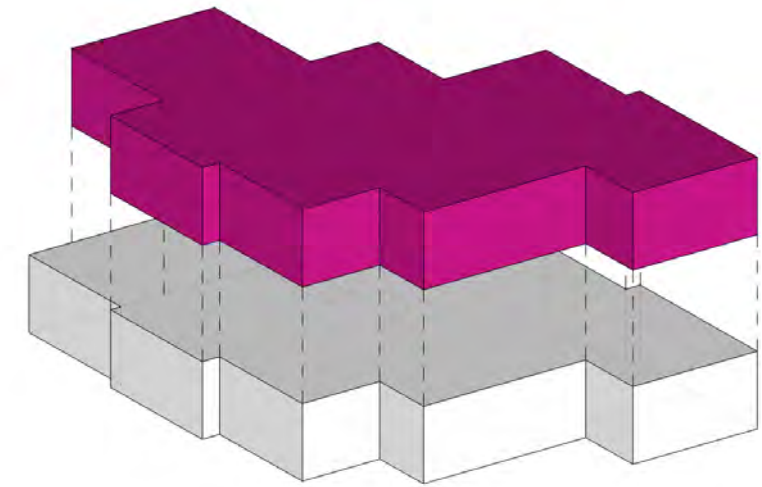
1



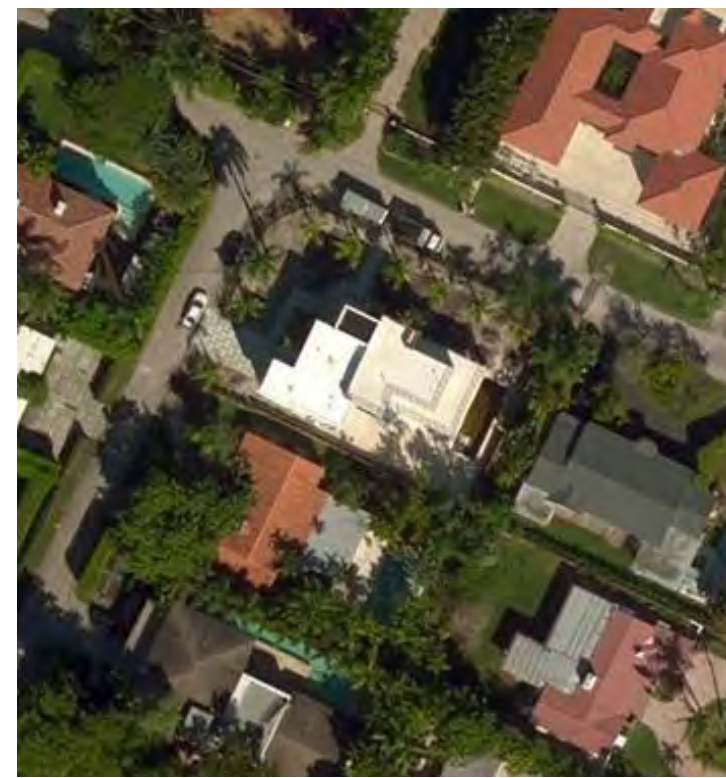




Residence ①



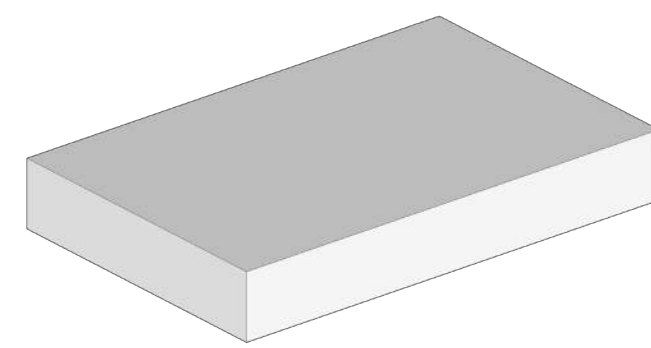
89.5%  
Massing Diagram



Aerial View



Residence ②



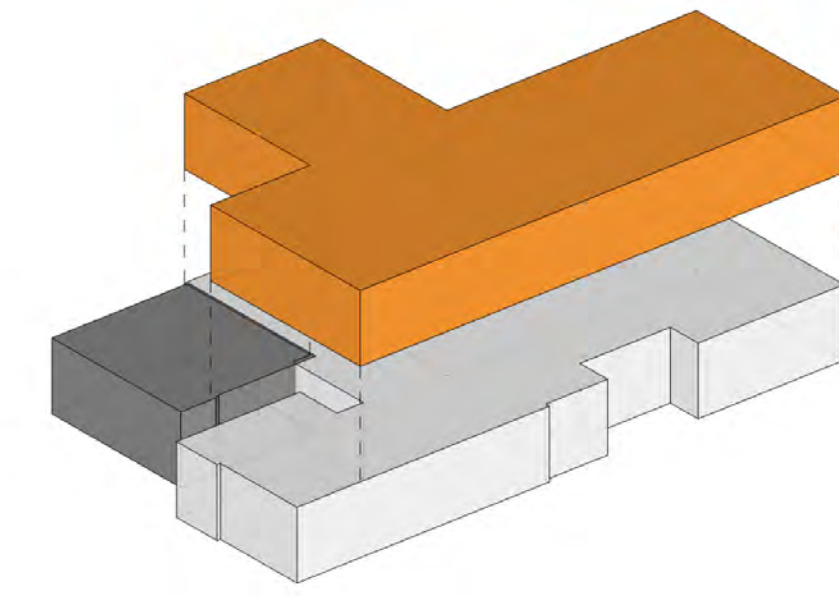
N/A%  
Massing Diagram



Aerial View



Proposed Residence



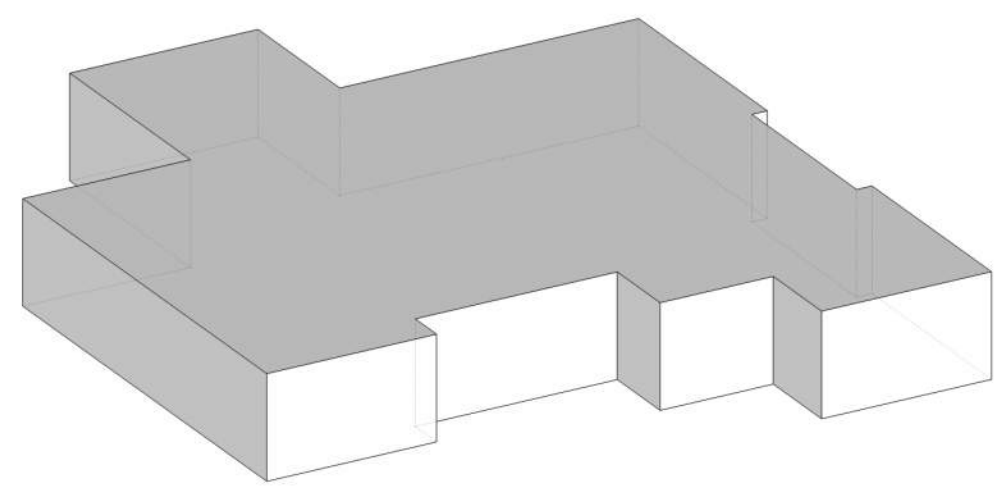
80.6%  
Massing Diagram



Aerial View



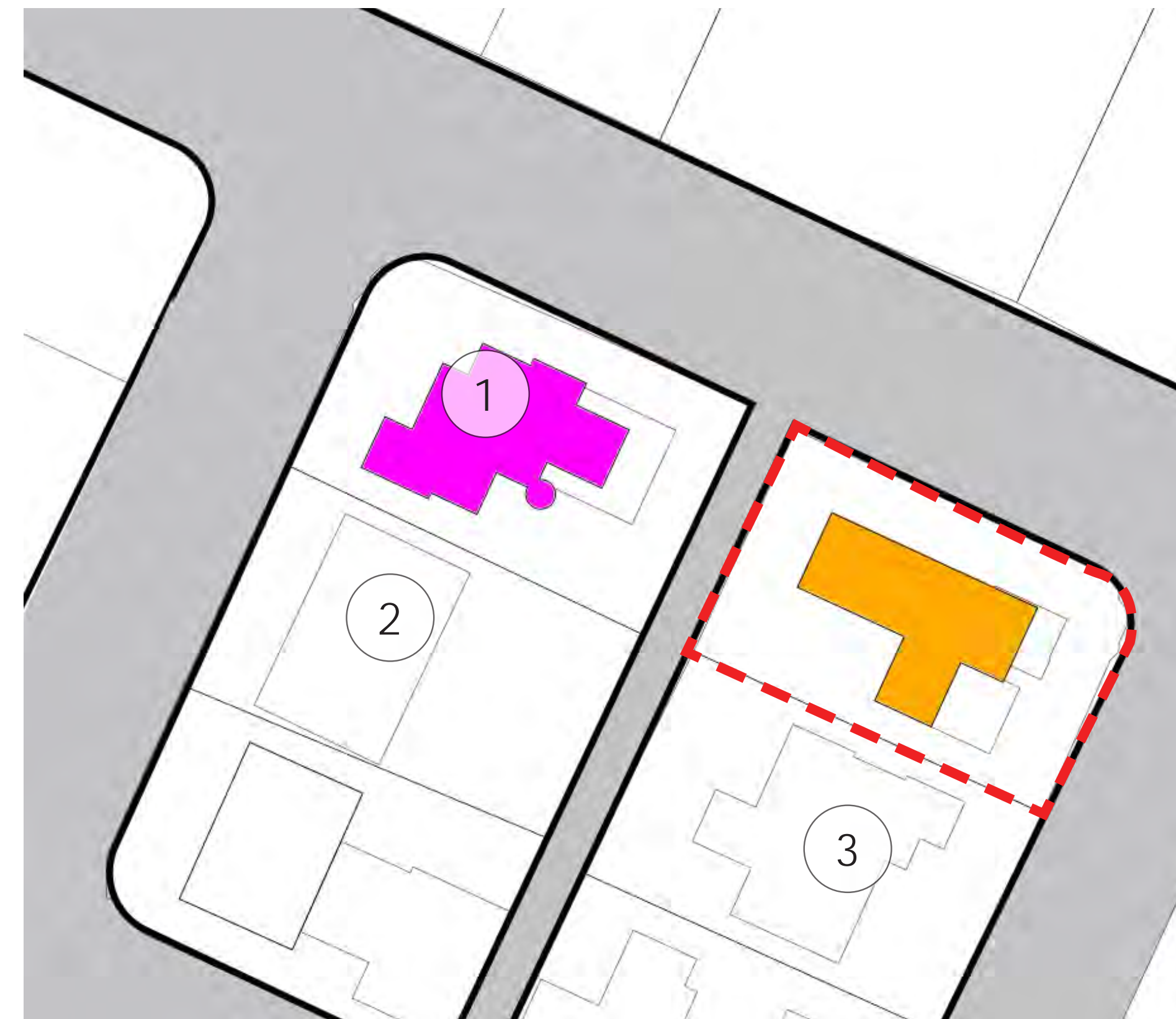
Residence ③



N/A%  
Massing Diagram

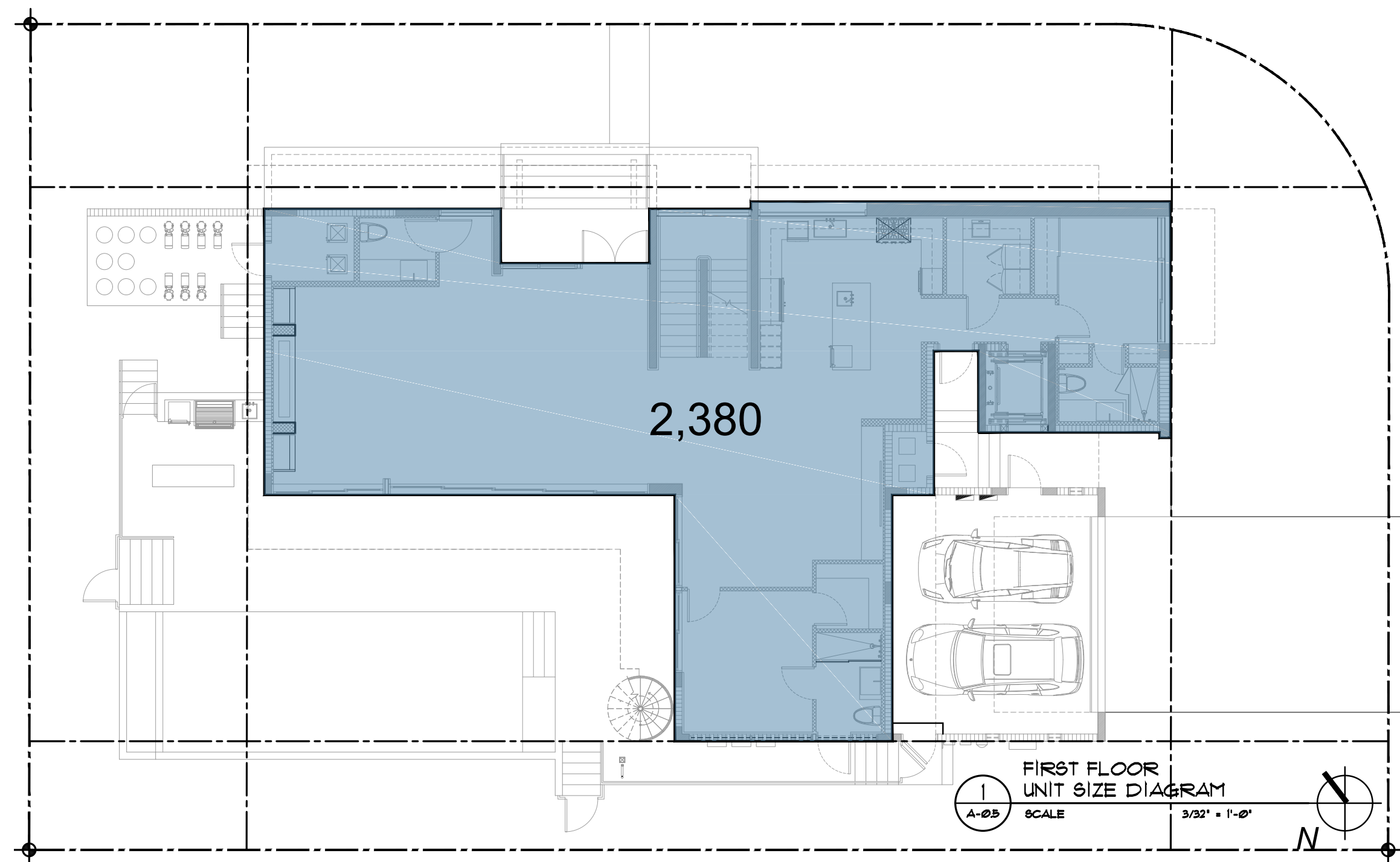


Aerial View



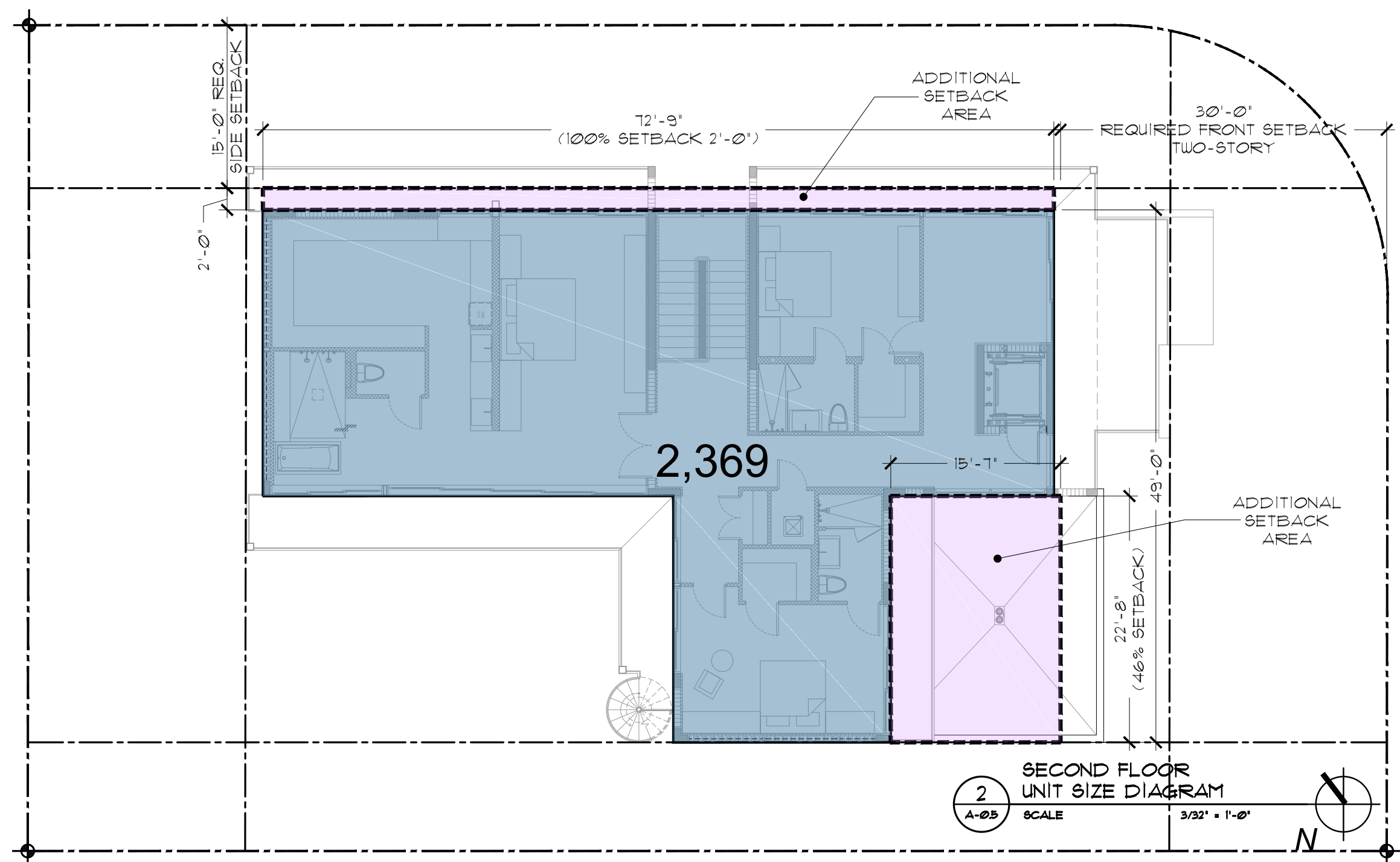
Location Map



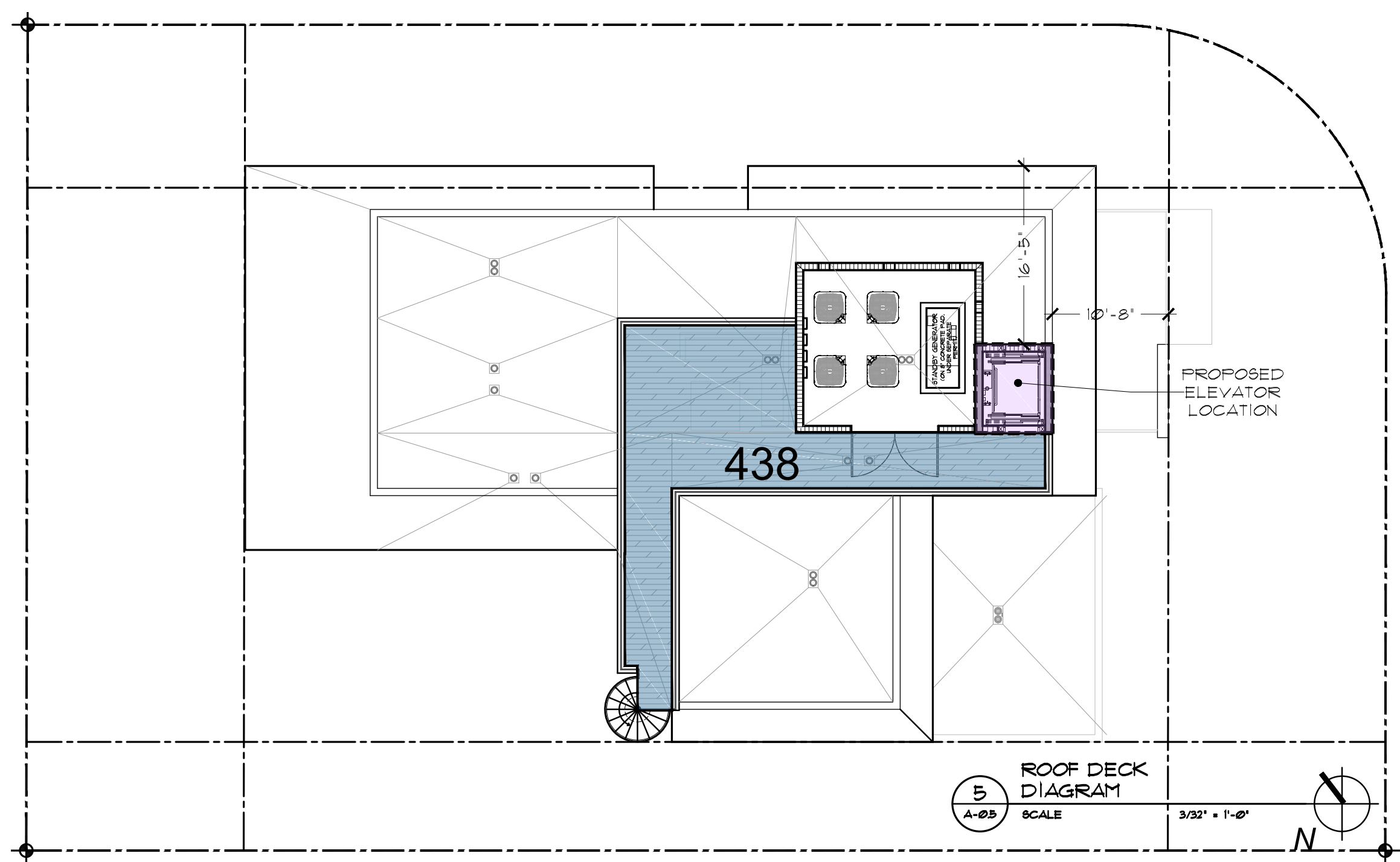


1 FIRST FLOOR UNIT SIZE DIAGRAM  
A-05 SCALE 3/32" = 1'-0"

UNIT SIZE	
LOT SIZE:	9,371 SF
FIRST FLOOR	2,380 SF
SECOND FLOOR	2,305 SF
TOTAL	4,685 SF
UNIT/LOT SIZE	50% (50% MAX)

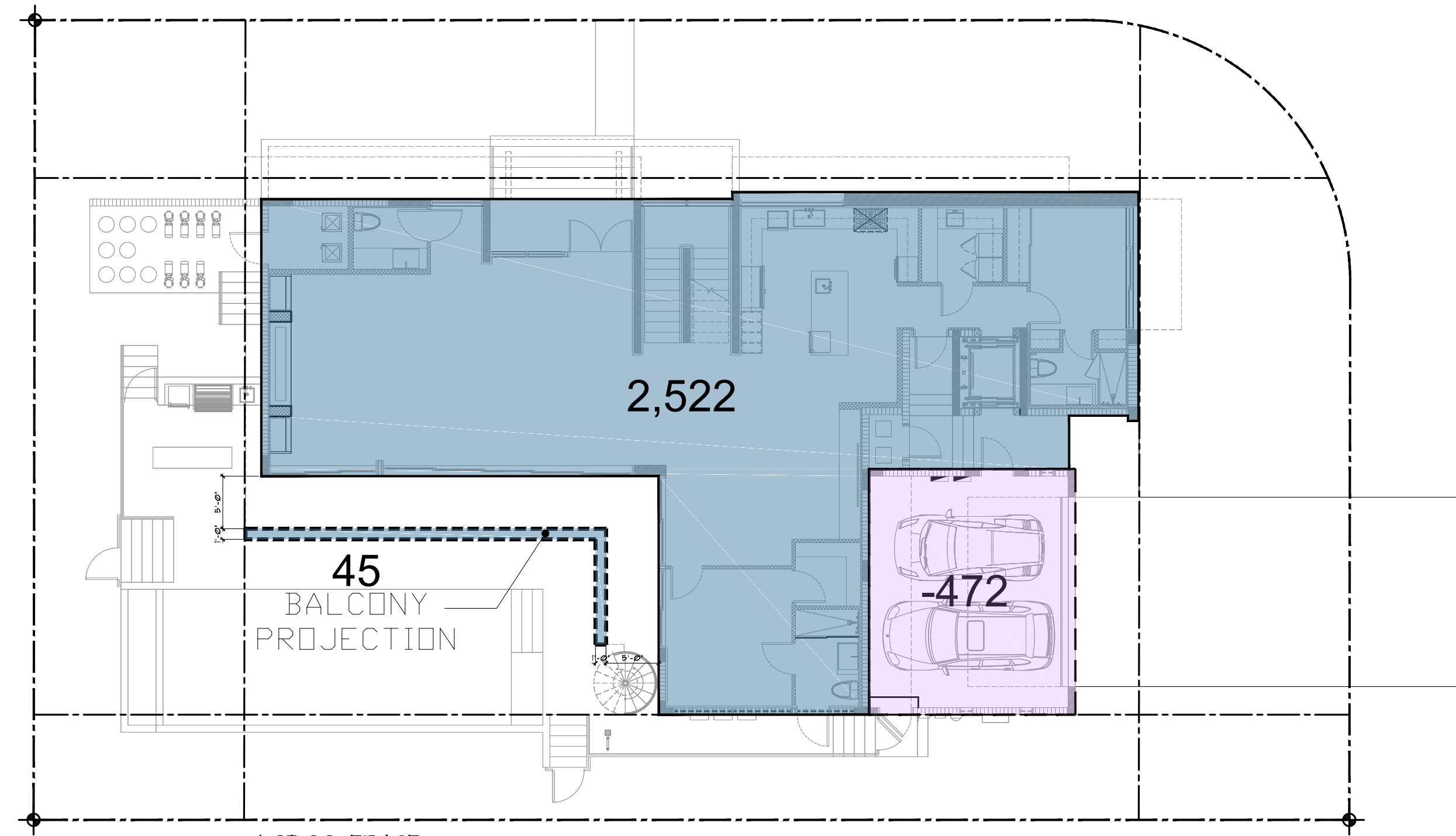


2 SECOND FLOOR UNIT SIZE DIAGRAM  
A-05 SCALE 3/32" = 1'-0"



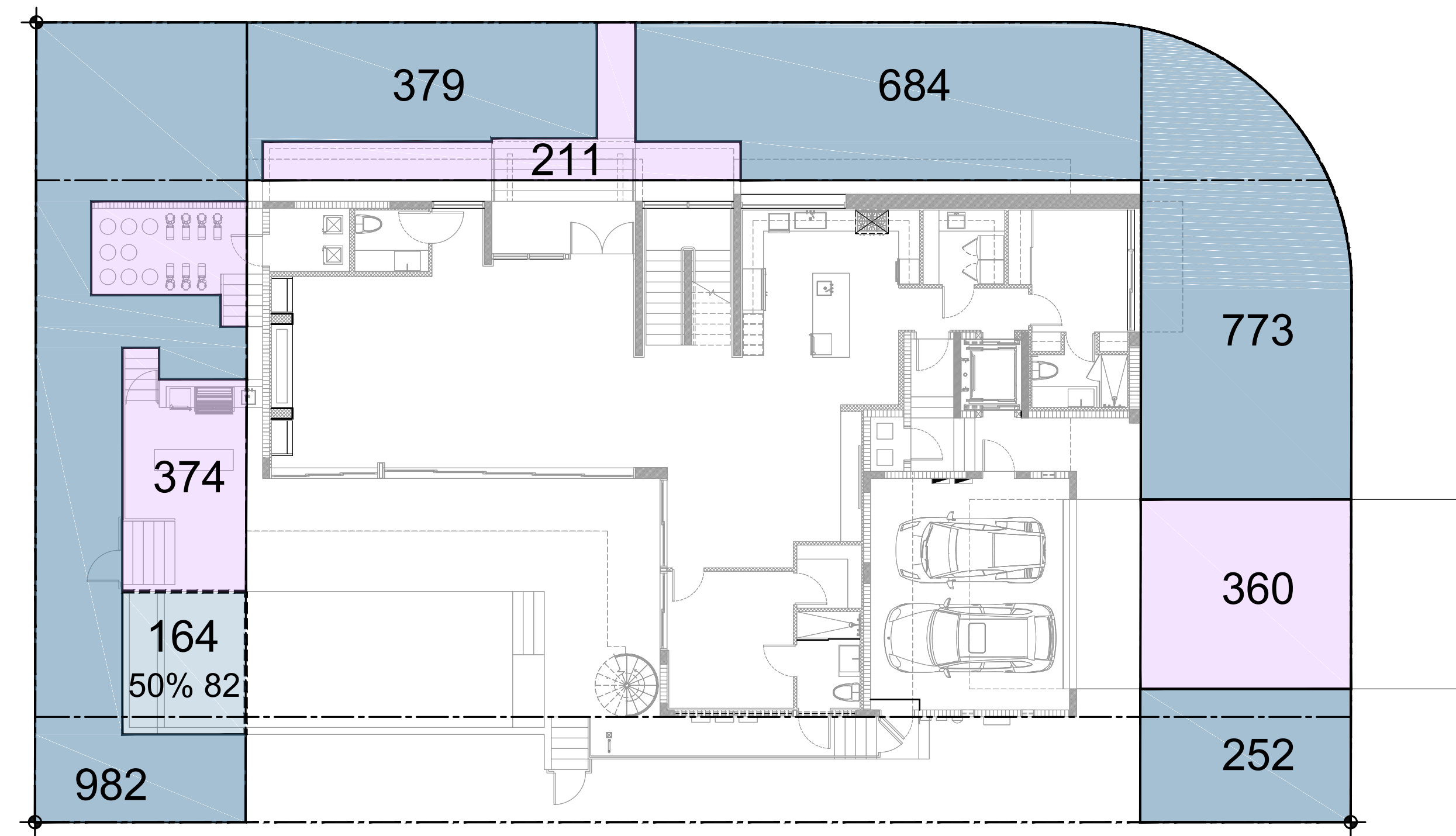
5 ROOF DECK DIAGRAM  
A-05 SCALE 3/32" = 1'-0"

ROOF DECK	
DECK SIZE:	438 SF
SECOND FLOOR BELOW	2,305 SF
DECK / 2ND FLR	19% (25% MAX)



3 LOT COVERAGE DIAGRAM  
A-05 SCALE 3/32" = 1'-0"

LOT COVERED (FOOTPRINT)	
LOT SIZE:	9,371 SF
FIRST FLOOR	2,522 SF
OVERHANGS	45 SF
TOTAL	2,567 SF
UNIT/LOT SIZE	27% (30% MAX)



4 REQUIRED YARDS DIAGRAM  
A-05 SCALE 3/32" = 1'-0"

REAR YARD CALCULATIONS		
AREA:	1,520 SF	100%
IMPERVIOUS AREA	374 SF	24%
PERVIOUS AREA	1,064 SF	70% (70% MIN.)

SIDE YARD - STREET CALCULATIONS		
AREA:	1,274 SF	100%
IMPERVIOUS AREA	211 SF	17%
PERVIOUS AREA	1,063 SF	83% (50% MIN.)

FRONT YARD CALCULATIONS		
AREA:	1,385 SF	100%
IMPERVIOUS AREA	360 SF	26%
PERVIOUS AREA	1,025 SF	74% (50% MIN.)



Ralph Choeff  
registered architect  
AR0009679  
AA26003009

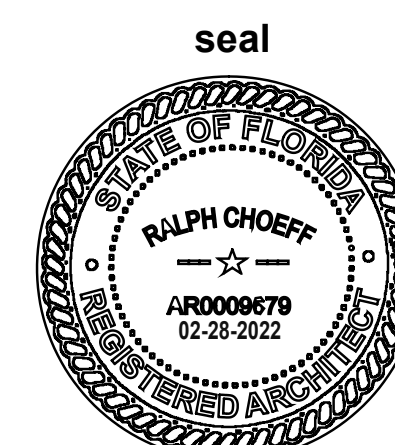
comm no.  
**2032**

date:  
11-03-2020

revised:

- 1 04-06-2021 BLDG DEPT COMMENTS
- 2 08-18-2021 BLDG DEPT COMMENTS
- 3 10-13-2021 BLDG DEPT COMMENTS
- 4 11-24-2021 BLDG DEPT COMMENTS





Ralph Choeff  
 registered architect  
 AR0009679  
 AA26003009

comm no.  
**2032**

date:  
 11-03-2020

revised:

sheet no.

**A-0.4**

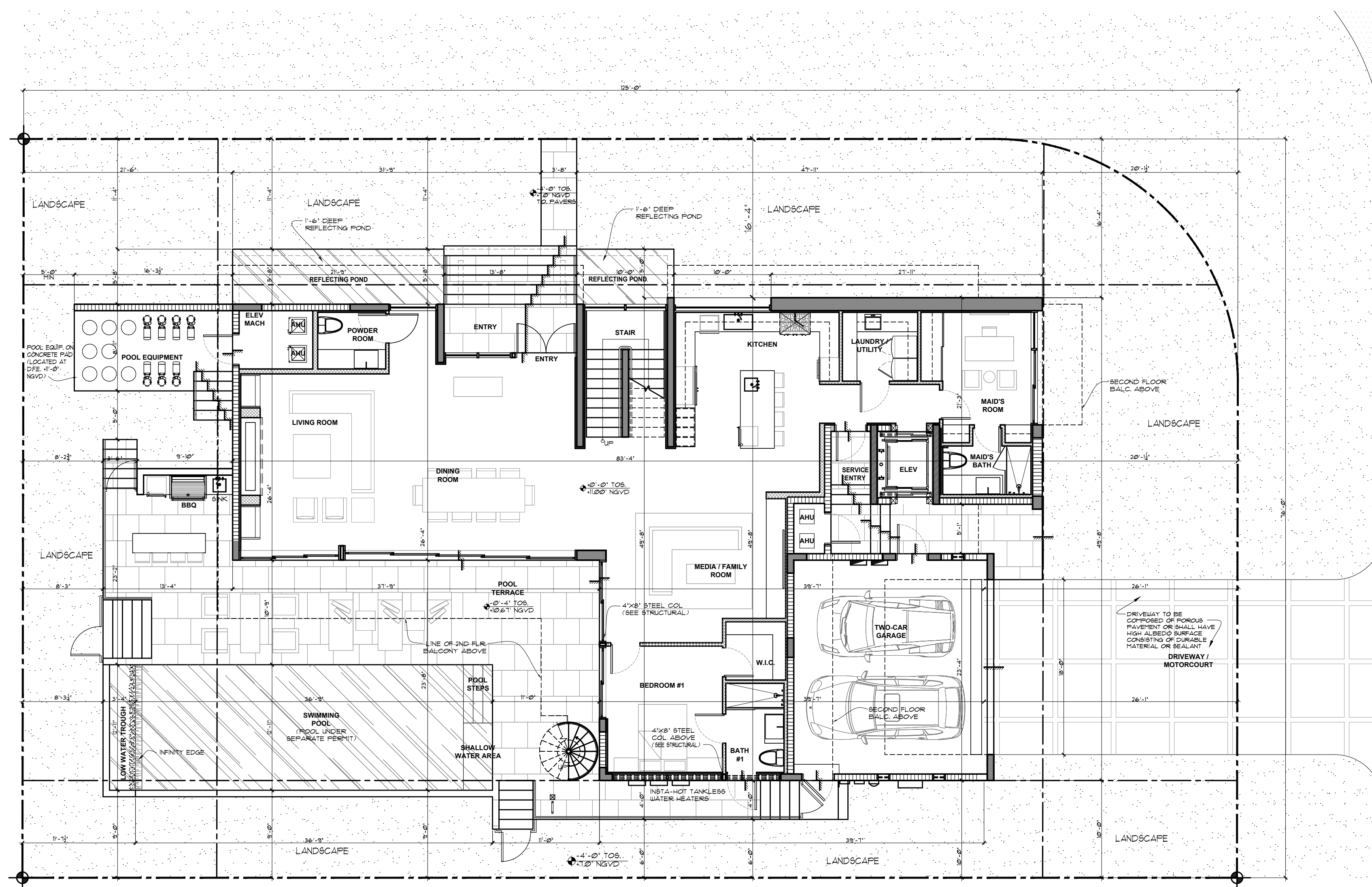
SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET					
ITEM #	Zoning Information				
1	Address:	110 N Hibiscus Dr, Miami Beach, FL 33139			
2	Folio number(s):	02-3232-005-0160			
3	Board and file numbers:	DRB #23245			
4	Year built:	NA	Zoning District:	RS-4	
5	Based Flood Elevation:	10.00' NGVD	Grade value in NGVD:	6.16' NGVD	
6	Adjusted grade (Flood+Grade/2):	8.165' NGVD	Free board:		
7	Lot Area:	9,371 SF			
8	Lot width:	76'-0"	Lot Depth:	125'-0"	
9	Max Lot Coverage SF and %:	2,810 SF (30%)	Proposed Lot Coverage SF and %:	2,567 SF (27.0%)	
10	Existing Lot Coverage SF and %:	3,472 SF (36.5%)	Lot coverage deducted (garage-storage) SF:	472 SF	
11	Front Yard Open Space SF and %:	1,025 SF (74%)	Rear Yard Open Space SF and %:	1,064 SF (70%)	
12	Max Unit Size SF and %:	4,682 SF (50%)	Proposed Unit Size SF and %:	4,685 SF (49.9%)	
13	Existing First Floor Unit Size:	2,884 SF	Proposed First Floor Unit Size:	2,380 SF	
14					
15			Proposed Second Floor Unit Size SF and %:	2,305 SF	
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	438 SF (25%)	
		Required	Existing	Proposed	Deficiencies
17	Height:	24'-0"	15'-0"	24'-0"	
18	Setbacks:				
19	Front First level:	20'-0"	NA	20'-0"	
20	Front Second level:	30'-0"	NA	30'-8"	
21	Side 1:	7'-8"	NA	10'-0"	
22	Side 2 or (facing street):	15'-0"	NA	16'-4"	<50% DEV. WIDTH
23	Rear:	20'-0"	NA	21'-6"	
	Accessory Structure Side 1:	N/A	N/A	N/A	
24	Accessory Structure Side 2 or (facing street):	N/A	N/A	N/A	
25	Accessory Structure Rear:	N/A	N/A	N/A	
26	Sum of Side yard:	22'-8"	NA	26'-4"	
27	Located within a Local Historic District?				Yes or <input type="radio"/>
28	Designated as an individual Historic Single Family Residence Site?				Yes or <input type="radio"/>
29	Determined to be Architecturally Significant?				Yes or <input type="radio"/>
<b>Notes:</b>					

**LEGAL DESCRIPTION:**  
 LOT 6, IN BLOCK 1 OF 'RE-SUBDIVISION OF BLOCKS 'C' AND 'D' OF HIBISCUS ISLAND' ACCORDING TO THE PLAT HEREOF RECORDED AT PLAT BOOK 34, PAGE 81 OF THE PUBLIC RECORDS RECORDS OF MIAMI-DADE COUNTY, FLORIDA

**PROPERTY ADDRESS:**  
 110 N HIBISCUS DR  
 MIAMI BEACH, FL. 33139

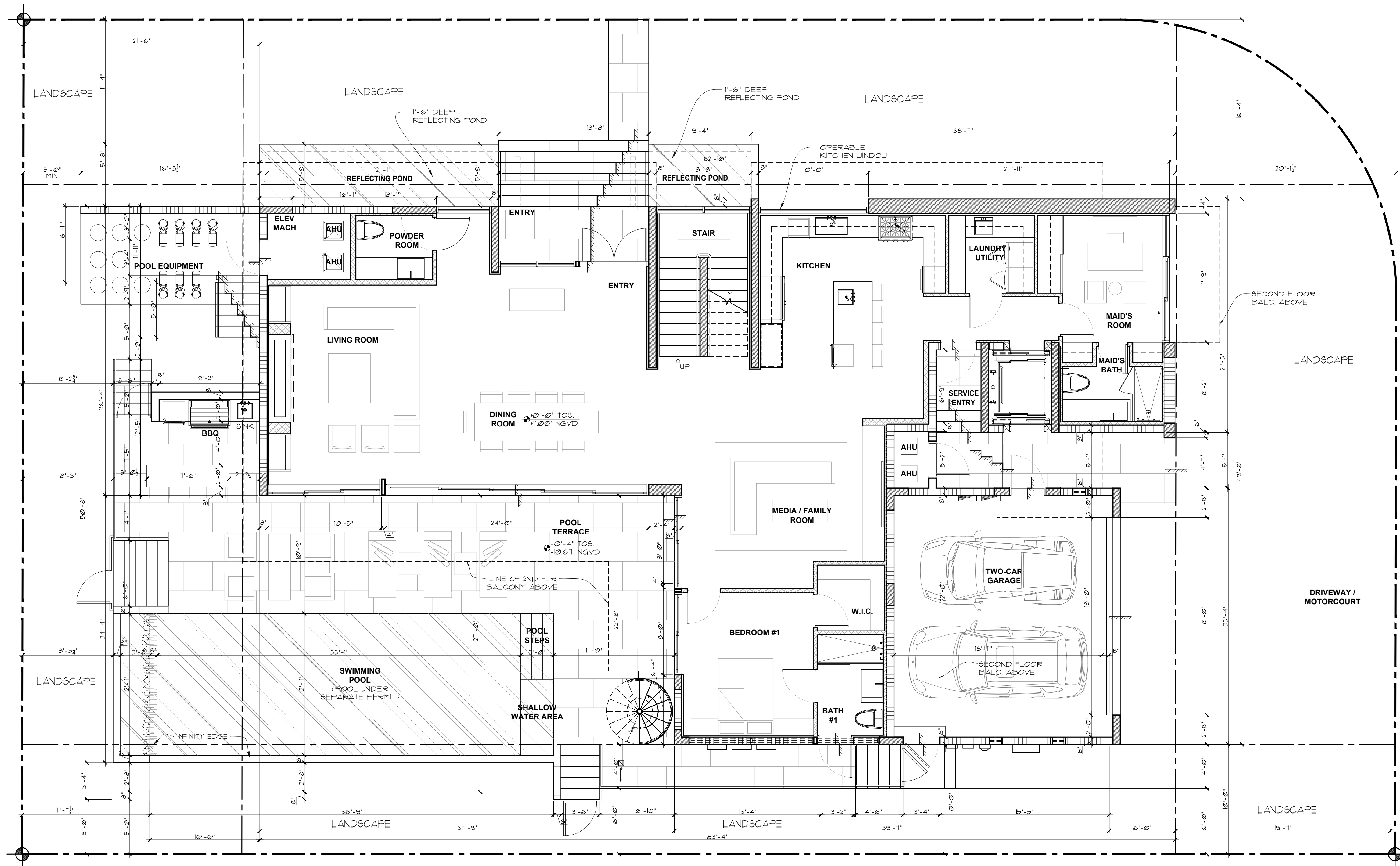
**FOLIO NUMBER:**  
 02-3232-005-0160

ITEM #	New Construction Floodplain Management Data	
1	Flood Zone:	AE +10
2	Base Flood Elevation (BFE):	10.00' NGVD
3	Design Flood Elevation (DFE):	11.00' NGVD
4	Garage Top of Slab elevation: (LP):	8.16' NGVD
5	Garage Top of Slab elevation: (HP):	8.33' NGVD
6	Lowest TOS Elevation of habitable space:	11.00' NGVD
7	Next higher Floor elevation:	23.00' NGVD
8	Lowest Grade Elevation adjacent to the building:	7.00' NGVD
9	Highest Grade Elevation adjacent to the building:	8.08' NGVD
10	Lowest Elevation of Equipment:	11.00' NGVD
11	Building Diagram Number:	1A
12	Crown of Road Elevation:	6.46' NGVD
13	Adjusted Grade Elevation:	8.165' NGVD
14	FIRM Map Number:	12086C0316L

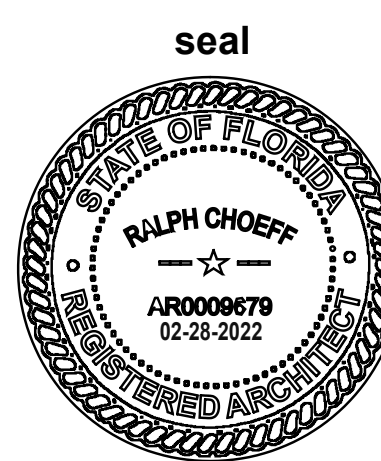


**SITE PLAN**  
 SCALE: 1/8" = 1'-0"





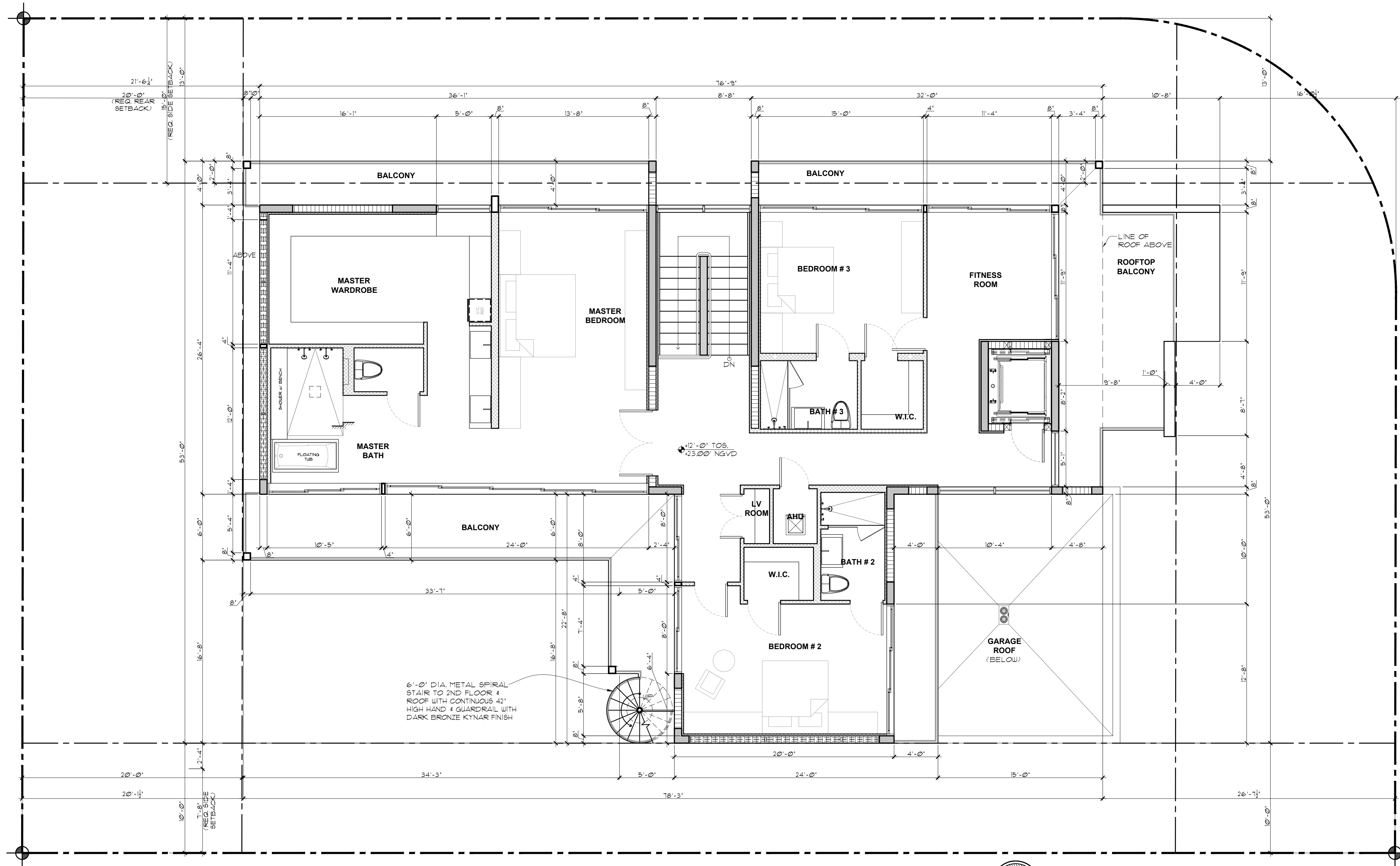
**FIRST FLOOR PLAN**  
SCALE: 3/16"=1'-0"

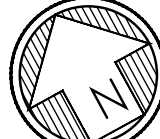


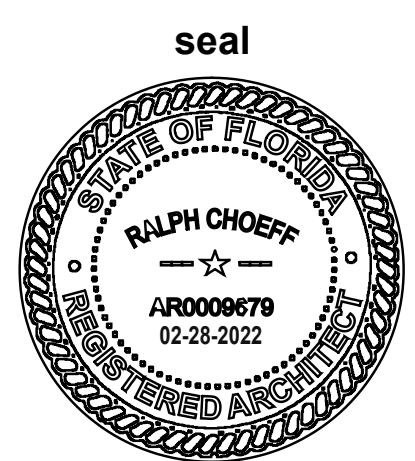
Ralph Choeff  
registered architect  
AR0009679  
AA26003009

comm no.  
**2032**  
date:  
11-03-2020  
revised:





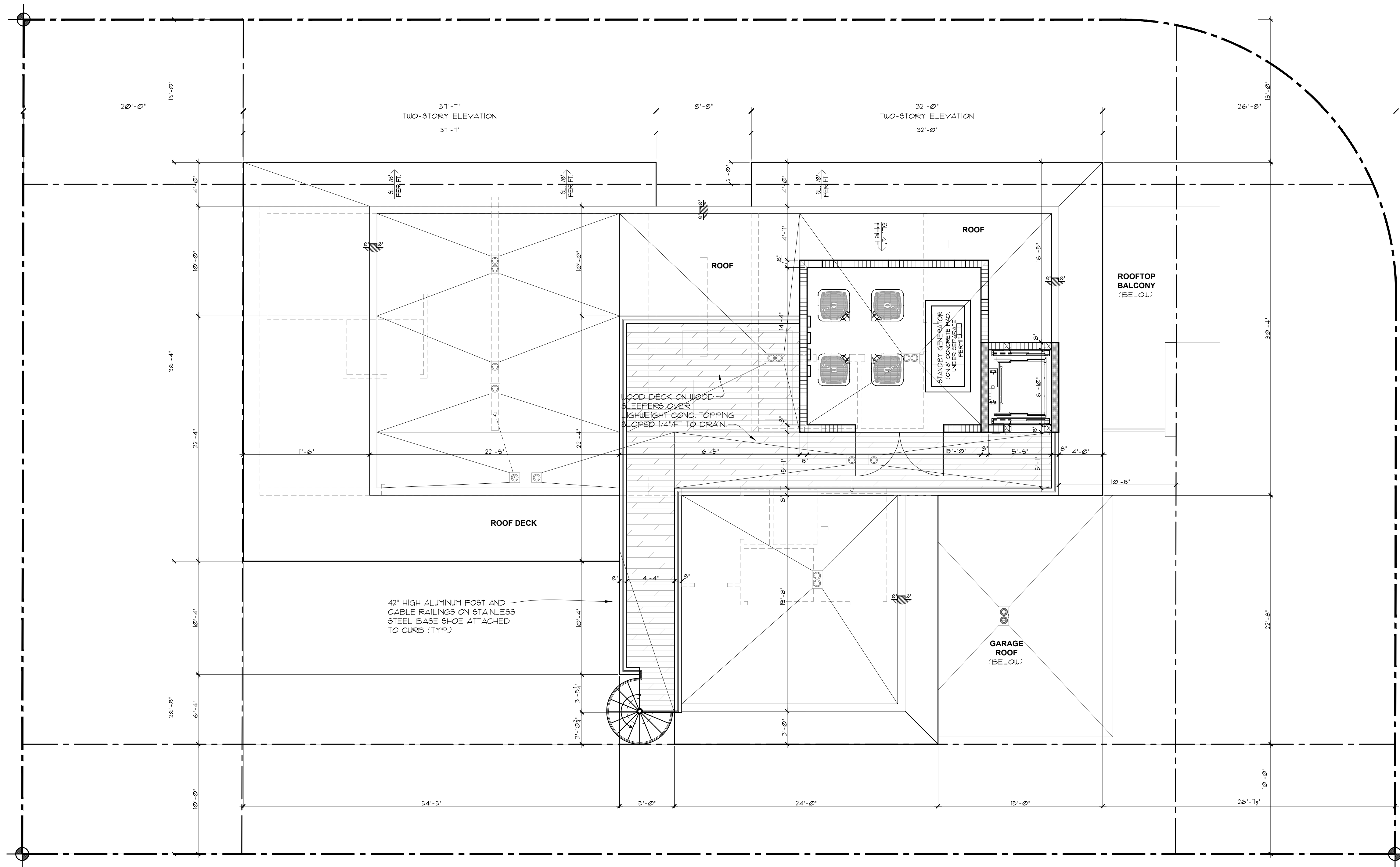

**SECOND FLOOR PLAN**  
 SCALE: 3/16"=1'-0"



Ralph Choeff  
 registered architect  
 AR0009679  
 AA26003009

comm no.  
**2032**  
 date:  
 11-03-2020  
 revised:





**ROOF PLAN**  
SCALE: 3/16"=1'-0"

**HIBISCUS ISLAND RESIDENCE**  
110 N HIBISCUS DR.  
MIAMI BEACH, FL 33139

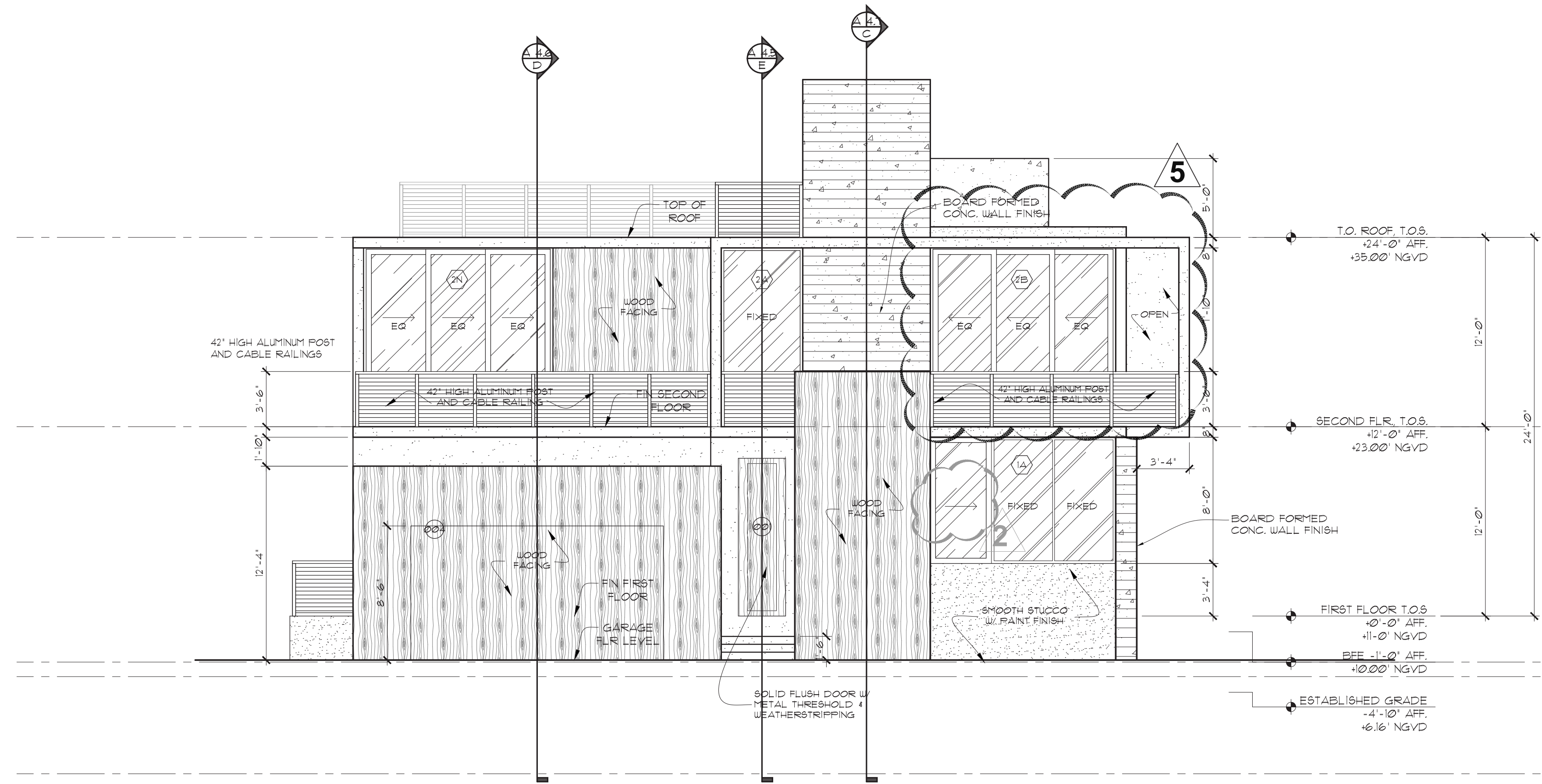


Ralph Choeff  
registered architect  
AR0009679  
AA26003009

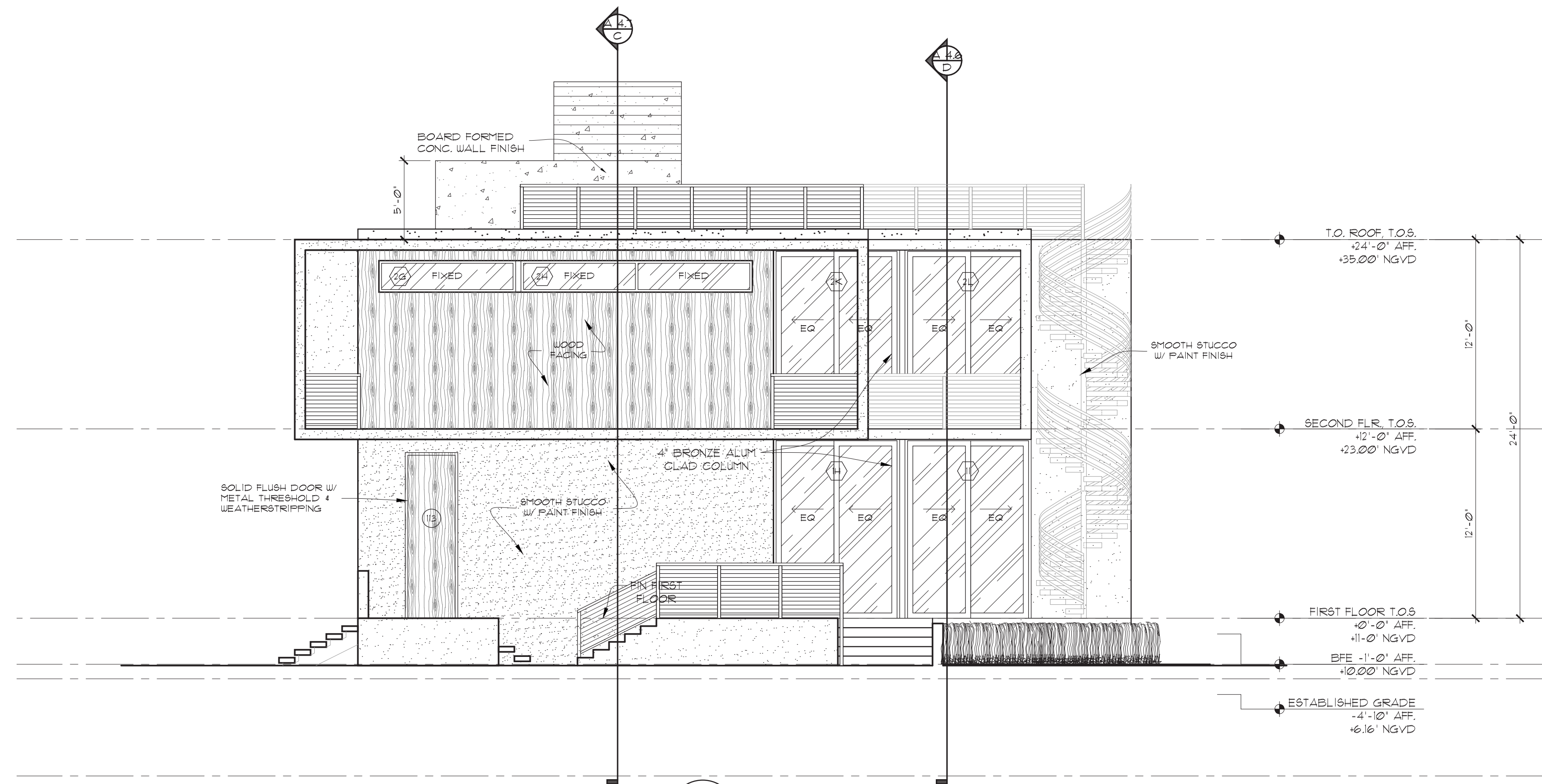
comm no.  
**2032**  
date:  
11-03-2020  
revised:

sheet no.  
**A-1.3**





1 FRONT ELEVATION (EAST)  
A-3.1 SCALE: 3/16"=1'-0"



2 REAR ELEVATION (WEST)  
A-3.1 SCALE: 3/16"=1'-0"



Ralph Choef  
registered architect  
AR0009679  
AA26003009

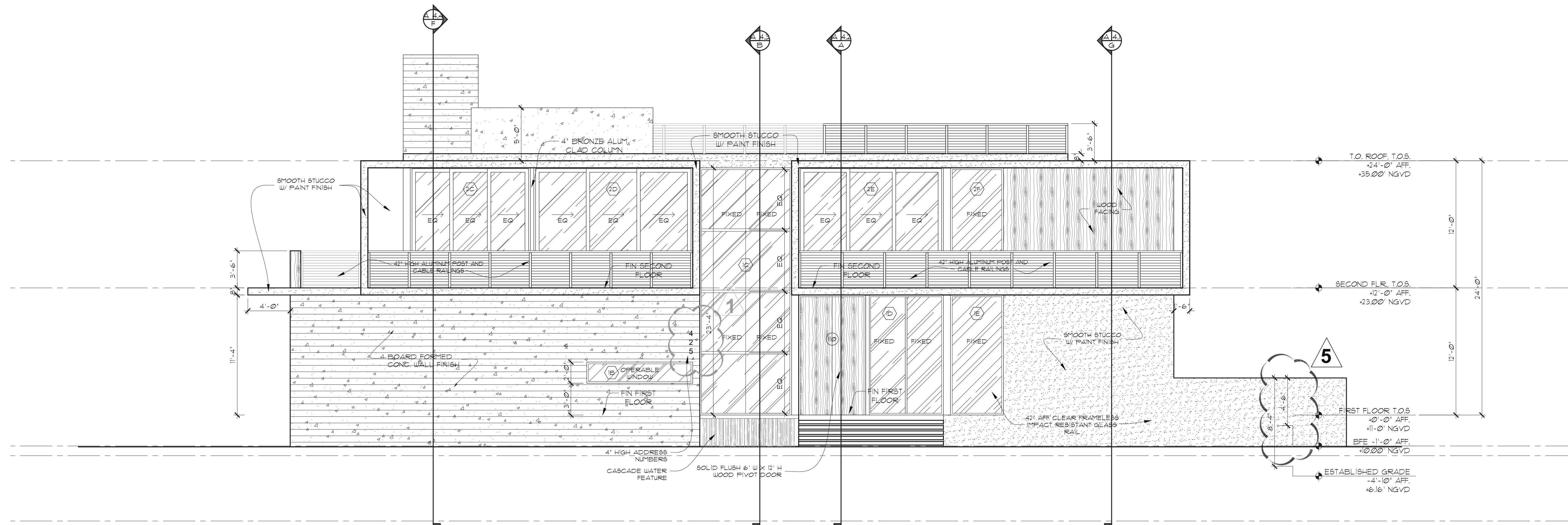
comm no.  
2032

date:  
11-03-2020

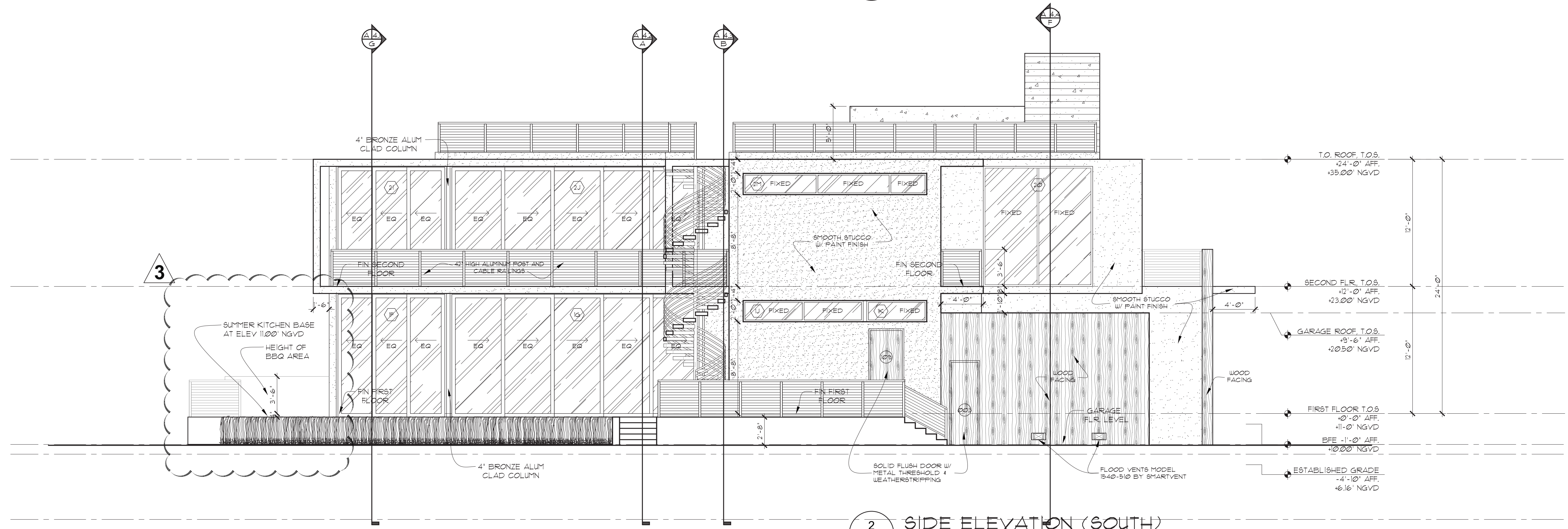
revised:

- A 05-17-2021 OWNER CHANGES
- 5 02-21-2022 BLDG DEPT COMMENTS





1 SIDE ELEVATION (NORTH)  
A-3.2 SCALE: 3/16"=1'-0"



2 SIDE ELEVATION (SOUTH)  
A-3.2 SCALE: 3/16"=1'-0"



Ralph Choeff  
registered architect  
AR0009679  
AA26003009

comm no.  
**2032**

date:  
11-03-2020

revised:

- 1 04-06-2021 BLDG DEPT COMMENTS
- 2 08-18-2021 BLDG DEPT COMMENTS
- 3 10-13-2021 BLDG DEPT COMMENTS
- 4 11-24-2021 BLDG DEPT COMMENTS





Original Approved Front View

sheet no.  
B-1.1





Original Approved Side View

sheet no.  
B-1.2





Front View

sheet no.  
C-1.1





Side View

sheet no.  
C-1.2





FRONTELEVATION(EAST)

Scale: 1/4" = 1'-0"





REARELEVATION(WEST)

Scale: 1/4" = 1'-0"

sheet no.  
C-2.2

**CHOEFF LEVY FISCHMAN**  
ARCHITECTURE + DESIGN





SIDE ELEVATION (NORTH)

Scale: 1/4" = 1'-0"

sheet no.  
C-2.3

**CHOEFF LEVY FISCHMAN**  
ARCHITECTURE + DESIGN





SIDEELEVATION(SOUTH)  
Scale: 1/4" = 1'-0"