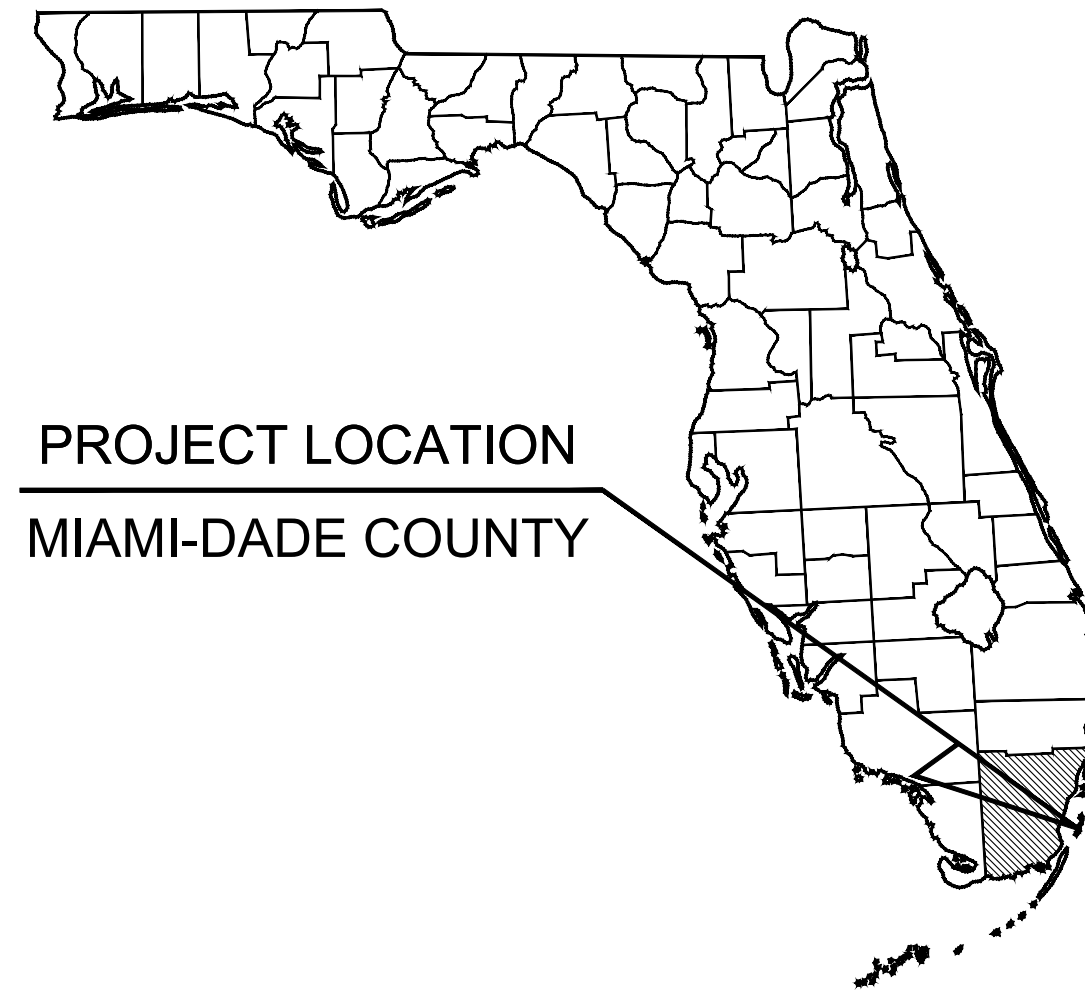


1920 ALTON ROAD



LOCATION
1920 ALTON ROAD
MIAMI BEACH, FLORIDA 33139



VICINITY MAP
1"=150'



Sheet List Table	
Sheet Number	Sheet Title
C000	COVER SHEET
C100	GENERAL NOTES AND SPECS
C101	GENERAL NOTES AND SPECS
C200	EROSION CONTROL PLAN
C201	EROSION CONTROL DETAILS AND NOTES
C202	EROSION CONTROL DETAILS AND NOTES
C203	EROSION CONTROL DETAILS AND NOTES
C300	DEMOLITION PLAN
C301	DEMOLITION NOTES
C400	SITE PLAN
C500	PAVING GRADING AND DRAINAGE PLAN
C501	PAVING GRADING AND DRAINAGE DETAILS
C600	WATER AND SEWER PLAN
C601	WATER AND SEWER NOTES
C602	COMB STANDARD DETAILS
L-100	TREE DISPOSITION PLAN
L-150	TREE DISPOSITION DETAILS
L-200	HARDSCAPE PLAN
L-220	HARDSCAPE PLAN LVL. 3 AMENITY
L-240	HARDSCAPE PLAN LVL. 6 AMENITY
L-250	HARDSCAPE DETAILS
L-251	LANDSCAPE SECTIONS
L-300	LANDSCAPE PLAN
L-320	LANDSCAPE PLAN LVL. 3 AMENITY
L-340	LANDSCAPE PLAN LVL. 6 AMENITY
L-350	LANDSCAPE DETAILS
L-351	LANDSCAPE SPECIFICATIONS

PROJECT TEAM

CLIENT
ALTON OFFICE HOLDINGS II, LLC
(561) 716-5852
CONTACT: JORDAN BARGAS

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
8201 PETERS ROAD, SUITE 2200
PLANTATION, FLORIDA 33324
(954) 535-5100
CONTACT: CARLOS FLORIAN, P.E.

SURVEYOR
SCHWEBKE - SHISKIN & ASSOCIATES, INC.
3240 CORPORATE WAY
MIRAMAR, FLORIDA 33025
(954) 435-7010
CONTACT: MARK S. JOHNSON

ARCHITECT
GENSLER
545 NW 26TH STREET, SUITE 250
MIAMI, FLORIDA 33127
(305) 350-7078
CONTACT: BRYAN ALZATI

MANAGEMENT GROUP
PRIME GROUP MANAGEMENT, LLC
3250 NE 1ST AVENUE, SUITE 305
MIAMI, FLORIDA 33137
(305) 281-7383
CONTACT: RICK PENA

PREPARED BY:
Kimley»Horn

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON BASED NGVD 1929.



Kimley»Horn
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
8201 PETERS ROAD, SUITE 2200, PLANTATION, FL 33324
PHONE: 954-535-5100 FAX: 954-739-2247
WWW.KIMLEY-HORN.COM REGISTRY No. 35106

LICENSED PROFESSIONAL
CARLOS H. FLORIAN
FLORIDA LICENSE NUMBER
80500
DATE: 10/6/2022

KHA PROJECT
143589001
DATE
SEPT 2022
SCALE AS SHOWN
DESIGNED BY JAC
DRAWN BY JAC
CHECKED BY CF

1920 ALTON ROAD

1920 ALTON ROAD
PREPARED FOR
ALTON OFFICE
HOLDINGS II, LLC.
CITY OF MIAMI BEACH FLORIDA

SHEET NUMBER
C000

No.	REVISIONS	DATE	BY
1	CITY COMMENTS	09/12/2022	JAC
2	CITY COMMENTS	10/06/2022	JAC

Plotted By: Collie, Jimmy - Sheet Set: 1920 ALTON ROAD - LOYDULECID - GENERAL NOTES AND SPECS - October 05, 2022 - 03:52:46pm - K:\VIT-civil\143_003\143589001.mb-1920_alton_road\CAD\plant\sheet\C100 - General Notes and Specs.dwg
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

GENERAL NOTES:

1. ALL APPLICABLE PERMITS MUST BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. ALL MATERIALS AND CONSTRUCTION UNDER THIS PROJECT SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF MIAMI BEACH, PUBLIC WORKS DEPARTMENT.
3. THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THE APPROVED PLANS ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER OF ANY DISCREPANCY OR VARIATION FROM THE APPROVED DRAWINGS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION FOR THE PROTECTION OF EXISTING AND NEWLY INSTALLED UTILITIES AND IMPROVEMENTS FROM DAMAGE, DISRUPTION OF SERVICE, OR DESTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING NECESSARY MEASURES TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK SITE.
5. THE CONTRACTOR SHALL MAINTAIN A CURRENT APPROVED SET OF CONSTRUCTION PLANS ON SITE. THE PLANS ARE TO BE MADE AVAILABLE TO THE ENGINEERING INSPECTOR OF THE CITY OF MIAMI BEACH OR HIS DESIGNEE UPON REQUEST.
6. THE CONTRACTOR SHALL PROVIDE ACCESS AND ASSISTANCE TO THE CITY ENGINEER OR HIS DESIGNEE TO MAKE INSPECTIONS, AS NECESSARY, DURING CONSTRUCTION.
7. NO DEVIATION FROM APPROVED PLANS SHALL BE PERMITTED WITHOUT THE WRITTEN CONSENT OF THE CITY ENGINEER OR HIS DESIGNEE.
8. CONTRACTOR MUST CALL CITY OF MIAMI BEACH, PUBLIC WORKS DEPARTMENT TO OBTAIN A RIGHT OF WAY PERMIT AND ARRANGE A PRE-CONSTRUCTION MEETING 48 HOURS PRIOR TO START OF CONSTRUCTION.
9. ENGINEERING PERSONNEL WILL INSPECT ALL FACILITIES APPROVED BY THEIR OFFICE. ALL OTHER REQUIREMENTS OF THE PERMITTING AGENCIES SHALL BE IN ACCORDANCE WITH THEIR STANDARDS.
10. TRENCH EXCAVATIONS IN EXCESS OF 5 FEET DEEP SHALL COMPLY WITH THE TRENCH SAFETY ACT AS PER O.S.H.A. STANDARD 29 CFR 1926.856 SUBPART P IN STATUTES. THE TRENCHES AND DITCHES SHALL BE PROTECTED IN ACCORDANCE WITH RULE 38c 43.02 FAC AND 6A-1.095(2).
11. ERECTION OR INSTALLATION OF APPROPRIATE SAFETY AND WARNING DEVICES SHALL BE REQUIRED DURING THE COURSE OF CONSTRUCTION. SAID DEVICES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION'S "MANUAL ON TRAFFIC CONTROL AND SAFETY PRACTICES" AND THE MIAMI-DADE COUNTY PUBLIC WORKS MANUAL.
12. PLANS AND SPECIFICATIONS REQUIRE THAT COMPACTED BACKFILL BE PLACED ALONGSIDE OF AND OVER ALL UTILITIES. THE CITY ENGINEER REQUIRES THAT COMPACTION TESTS BE TAKEN TO VERIFY BACKFILL COMPACTION. THE COST OF SUCH COMPACTION TESTS WILL BE BORNE BY THE CITY. THE RETESTING COST, DUE TO FAILURE OF THE COMPACTION TEST, WILL BE PAID BY THE CONTRACTOR.
13. WORK PERFORMED UNDER THIS PROJECT WILL NOT BE CONSIDERED COMPLETE UNTIL THE FOLLOWING DOCUMENTS ARE RECEIVED BY THE CITY OF MIAMI BEACH, PUBLIC WORKS DEPARTMENT:
A. CONTRACTOR'S, SUBCONTRACTOR'S AND SUPPLIER'S WAIVER AND RELEASE OF LIEN.
B. CONTRACTOR'S LETTER OF WARRANTY (I.E. LETTER OF AGREEMENT).
C. "AS-BUILT" - FOUR (4) ORIGINALS 22"x34" & 11"x17" SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR SHOWING SPECIFIC LOCATION, DEPTH, ETC. OF ALL CITY FACILITIES TOGETHER WITH A DIGITAL COPY IN AUTOCAD LAST VERSION 2011 OF THE "AS-BUILT" DRAWINGS USING STATE PLANE FLORIDA EAST FIPS 0901 FEET MAP 1983 (FEET).
14. THESE PLANS ARE PREPARED FROM UTILITY INFORMATION OF PREVIOUS AND RECENT AVAILABLE RECORDS. THE DESIGNER IS NOT LIABLE FOR ANY UTILITY CONFLICTS AND UNKNOWN THAT ARE DISCOVERED DURING CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY EXISTING UTILITIES. IN CASE THAT A CONFLICT ARISES, THE ENGINEER OF RECORDS OR HIS DESIGNEE SHALL BE INFORMED TO MAKE THE APPROPRIATE DESIGN CHANGES.

	APPROVED	REVISION	TITLE	GENERAL NOTES	GN1a
	10/05/2022	10/05/2022			

GENERAL NOTES:

15. FOR SPECIFICATIONS, PLEASE REFER TO THE CITY OF MIAMI BEACH PUBLIC WORKS MANUAL.
16. DUE TO SOIL CONDITIONS, HIGH WATER TABLE AND PROTECTION OF ROADWAY, UTILITIES AND EXISTING LANDSCAPING, SHORING WILL BE REQUIRED FOR TRENCH AND STRUCTURE CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT THE PROPOSED METHOD OF CONSTRUCTION TO THE ENGINEER FOR APPROVAL AT THE PRECONSTRUCTION MEETING. THE COST OF SHORING WILL BE INCLUDED IN THE COSTS OF STRUCTURE AND PIPES. DEWATERING MAY BE REQUIRED AND SHALL BE INCLUDED IN THE COSTS OF STRUCTURES AND PIPES.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING TURBIDITY BARRIER AT ALL OUTFALLS SUBJECT TO POTENTIAL DISCHARGE DURING CONSTRUCTION. SEE FOOT INDEX NO 104. CONTRACTOR SHALL BE RESPONSIBLE FOR FULL KNOWLEDGE OF ALL APPLICABLE REGULATORY REQUIREMENTS AND CORRECT ANY SILTATION OR OTHER DAMAGE TO THE DRAINAGE SYSTEM.
18. CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC DURING CONSTRUCTION IN ACCORDANCE WITH ALL STATE, COUNTY AND LOCAL REQUIREMENTS.
19. WHEN POWER POLES ARE ADJACENT TO ANY PROPOSED UTILITY, THE CONTRACTOR SHALL PROVIDE PROPER SHORING OR OTHER SUITABLE SUPPORT DURING CONSTRUCTION. THE SHORING AND SUPPORT METHODS SHALL BE APPROVED BY THE UTILITY COMPANY ENGINEERING DEPARTMENT.
20. ALL DEFECTIVE WORK NOT ACCEPTED BY THE CITY ENGINEER OR HIS DESIGNEE, OR BY ANY GOVERNMENT PERMITTING AGENCY SHALL BE IMMEDIATELY REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
21. CONTRACTOR SHALL CONTACT PWD TO INSPECT METERS AND BOXES AHEAD OF CONSTRUCTION TO DETERMINE WHETHER REPLACEMENT IS NECESSARY.
22. ELEVATIONS ARE REFERRED TO NAVD 88, BASED ON A _____ BENCH MARK
NO. _____ ELEVATION: _____ (NGV DATUM) = _____ (NAVD 88) LOCATOR: _____
NAME: _____ ELEVATION: _____
LOCATED AT: _____
23. PROVIDE RESTRAINING BY THE USE OF FIELD LOCK GASKET ON TYTON JOINT PIPE AND AS MANUFACTURED BY U.S. PIPE OR EQUAL.
24. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING UNINTERRUPTED WATER SERVICE DURING THE CONSTRUCTION OF THE TIE-IN CONNECTION OF ALL PROPOSED WATER SYSTEMS TO ANY EXISTING WATER SERVICE LINES. ABANDONMENT SHALL NOT OCCUR UNTIL THE PROPOSED WORK HAS BEEN APPROVED AND ACCEPTED FOR OPERATION BY THE ENGINEER OF RECORD AND THE CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENT. WATER DIVISION, CONTRACTOR SHALL REQUEST FROM QMB 48 HOURS PRIOR FOR WATER MAIN SHUTDOWN.
25. ALL WATER METER BOXES DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH CITY ISSUED WATER METER BOXES AND PAID FOR BY CONTRACTOR.
26. ALL PROPOSED WATER METERS SHOULD BE A MINIMUM OF A 2-INCH SERVICE.
27. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE ACTUAL NUMBER OF EXISTING WATER SERVICES TO BE CONNECTED TO THE PROPOSED WATER MAIN.
28. ALL DUCTILE IRON PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ANSI/AWWA C 600 LATEST REVISIONS WITH A DETECTOR TAPE. DETECTOR TAPE SHALL BE 3" WIDE BLUE TAPE FOR WATER MAIN WITH A METALLIC FOL CORE LAMINATED BETWEEN TWO LAYERS OF PLASTIC FILM. THE WORKS CAUTION WATER LINE BURIED BELOW ON THE UPPER SIDE OF THE PIPE SHALL BE PRINTED AT 30" INTERVALS ALONG THE TAPE. TAPE SHALL BE PLACED 18" BELOW GRADE ABOVE ALL WATER MAINS AND SERVICES OR AS RECOMMENDED BY MANUFACTURER NON-METALLIC TAPE SHALL BE USED ABOVE DUCTILE IRON PIPE.

	APPROVED	REVISION	TITLE	GENERAL NOTES	GN1b
	10/05/2022	10/05/2022			

GENERAL NOTES:

30. CONTRACTOR WILL BE RESPONSIBLE TO COORDINATE WITH HRS (DEPT. OF HEALTH) THE WATER SAMPLING AND BACTERIOLOGICAL TESTS AND FINAL CERTIFICATION FROM HRS.
31. TAPPING SLEEVE VALVE TO BE PRESSURE TESTED AT 125 PSI FOR TWO (2) HOURS BEFORE TAPPING.
32. THRUST BLOCK NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE CITY ENGINEER. USE MEGALUGS OR CLASS 318 STAINLESS STEEL RESTRAINING RODS.
33. CONTRACTOR SHALL EXERCISE CARE WHEN WORKING NEAR EXISTING CLAY PIPING.
34. EXISTING FIRE HYDRANTS SHALL REMAIN IN SERVICE UNTIL THE NEW MAIN IS PLACED IN SERVICE. ONCE THE NEW MAIN IS IN SERVICE, THE OLD HYDRANT SHALL BE COVERED AND TAGGED WITH A SIGN INDICATING "OUT OF SERVICE" UNTIL IT IS REMOVED BY THE CONTRACTOR.
35. NPDES BMP FOR SEDIMENTATION AND EROSION WORK MUST BE STRICTLY FOLLOWED DURING AND AFTER CONSTRUCTION.
36. PIPES SHALL BE INSTALLED IN THE DRY.
37. ALL D.I. PIPE SHALL BE THICKNESS CLASS 52 AND SHALL BE POLYWRAPPED AS PER W57.
38. ALL RELATED HARDWARE FOR RESTRAINING RODS TO BE STAINLESS STEEL CLASS 316.
39. A CONCRETE SLAB SHALL BE INSTALLED OVER ANY PIPE INSTALLED WITH LESS THAN 30" OF COVER AS PER STANDARD DETAIL SES1.
40. ELEVATIONS ON PLANS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
41. THE CONTRACTOR SHALL BE GOVERNED BY THE LATEST APPLICABLE PORTIONS OF THE F.D.O.T. DESIGN STANDARDS, AND THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND SUPPLEMENTS THERE TO IF NOTED IN THE SPECIAL PROVISIONS FOR THIS PROJECT.
42. THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES IN THE PROJECT AREA BEFORE THE START OF CONSTRUCTION. SEE THE UTILITY CONTACT INFORMATION TABLE FOR CONTACT NUMBERS.
43. ANY DAMAGED PUBLIC OR PRIVATE PROPERTY BY THE CONTRACTOR SHALL BE RESTORED TO PREEXISTING CONDITIONS OR BETTER AT NO EXPENSE TO THE OWNER.
44. ALL CONSTRUCTION DEBRIS SHALL BE PROPERLY DISPOSED OF OFFSITE AT THE CONTRACTOR'S EXPENSE.
45. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COMPLY WITH FLORIDA STATUTE 553.851 FOR THE PROTECTION OF UNDERGROUND GAS LINES.
46. ERECTION OR INSTALLATION OF APPROPRIATE SAFETY AND WARNING DEVICES SHALL BE REQUIRED DURING THE COURSE OF CONSTRUCTION. SAID DEVICES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION'S "MANUAL OF TRAFFIC CONTROL AND SAFETY PRACTICES" AND THE MIAMI-DADE COUNTY PUBLIC WORKS MANUAL.
47. ALL EXISTING UTILITIES, MAN HOLE COVERS, ELECTRICAL BOXES, VALVE BOXES, METER BOXES, DRAINAGE STRUCTURES, ETC. WITHIN PROPOSED AREAS OF IMPROVEMENTS SHALL BE ADJUSTED TO GRADE ELEVATION, UNLESS OTHERWISE NOTED.
48. CONTRACTOR SHALL REPLACE ALL UTILITY BOXES/COVERS DAMAGED DURING CONSTRUCTION. CONTRACTOR SHALL NOTE THE CONDITION OF WATER METER BOXES BEFORE STARTING WORK. IF EXISTING WATER METER BOXES ARE DAMAGED, CONTACT THE CITY OF MIAMI BEACH FOR REPLACEMENT.
49. CONTRACTOR SHALL USE A STREET SWEEPER (USING WATER) OR OTHER EQUIPMENT CAPABLE OF CONTROLLING AND REMOVING DUST. THE WORK OF THE USE OF SUCH EQUIPMENT IS CONTINGENT UPON ITS DEMONSTRATED ABILITY TO DO THE WORK.

	APPROVED	REVISION	TITLE	GENERAL NOTES	GN1c
	10/05/2022	10/05/2022			

GENERAL NOTES:

50. THE COLOR OF THE DETECTABLE WARNINGS ON CONCRETE OF COLORS OTHER THAN MIAMI BEACH RED, COORDINATE WITH THE PUBLIC WORKS DEPARTMENT FOR APPROPRIATE COLOR AND CONTRAST.
51. ALL SIGNING AND PAVEMENT MARKINGS INSTALLED AS PART OF THESE PLANS SHALL CONFORM TO THE LATEST EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS. ALL SIGN PANELS SHALL BE FABRICATED TO COMPLY WITH THE LATEST EDITION OF THE FEDERAL HIGHWAY AND ADMINISTRATION STANDARD HIGHWAY SIGNS.
52. MATCH EXISTING PAVEMENT MARKINGS AT THE BEGINNING AND THE END OF THE PROJECT WITHOUT JOGS OR OFFSETS.
53. INCORRECTLY PLACED (THERMOPLASTIC OR) PAINT MARKINGS OVER ASPHALT PAVEMENT WILL BE REMOVED BY MILLING AND REPLACING THE ASPHALT PAVEMENT A MINIMUM WIDTH IS IN AT THE CONTRACTOR'S EXPENSE. THE ENGINEER MAY APPROVE AN ALTERNATE METHOD IF IT CAN BE DEMONSTRATED TO COMPLETELY REMOVE THE MARKINGS WITHOUT DAMAGING THE ASPHALT.

	APPROVED	REVISION	TITLE	GENERAL NOTES	GN1d
	10/05/2022	10/05/2022			

DERM NOTES ON WATER-SEWER INSTALLATION:

1. A HORIZONTAL DISTANCE OF AT LEAST 6 FEET, AND PREFERABLY 10 FEET (OUTSIDE TO OUTSIDE), SHALL BE MAINTAINED BETWEEN GRAVITY OR PRESSURE SEWER PIPES AND WATER PIPES. THE MINIMUM HORIZONTAL SEPARATION CAN BE REDUCED TO 3 FEET FOR VACUUM-TYPE SEWERS OR FOR GRAVITY SEWERS WHERE THE BOTTOM OF THE SEWER PIPE IS AT LEAST 6 INCHES BELOW THE BOTTOM OF THE WATER PIPE.
WHEN THE ABOVE SPECIFIED HORIZONTAL DISTANCE CRITERIA CANNOT BE MET DUE TO AN EXISTING UNDERGROUND FACILITY CONFLICT, SMALLER SEPARATIONS ARE ALLOWED IF:
a- THE SEWER PIPES ARE DESIGNED AND CONSTRUCTED EQUAL TO THE WATER PIPE AND PRESSURE TESTED AT 150 PSI.
b- THE SEWER IS ENCASED IN A WATERTIGHT CARRIER PIPE OR CONCRETE.
c- THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER PIPE.
2. A VERTICAL DISTANCE OF AT LEAST 12 INCHES (OUTSIDE TO OUTSIDE) SHALL BE MAINTAINED BETWEEN ANY WATER AND SEWER MAINS WITH SEWER PIPES PREFERABLY CROSSING UNDER WATER MAINS. THE MINIMUM VERTICAL SEPARATION CAN BE REDUCED TO 6 INCHES FOR VACUUM-TYPE SEWERS OR FOR GRAVITY SEWERS WHERE THE SEWER PIPE IS BELOW THE WATER MAIN. THE CROSSING SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST 6 FEET FROM ALL JOINTS IN GRAVITY AND PRESSURE SEWER PIPES. THE DISTANCE CAN BE REDUCED TO 3 FEET FOR VACUUM-TYPE SEWERS. WHEN THE ABOVE SPECIFIED VERTICAL DISTANCE CRITERIA CANNOT BE MET DUE TO AN EXISTING UNDERGROUND FACILITY CONFLICT, SMALLER SEPARATIONS ARE ALLOWED IF:
a- THE SEWER PIPES ARE DESIGNED AND CONSTRUCTED EQUAL TO THE WATER PIPE AND PRESSURE TESTED AT 150 PSI.
b- THE SEWER IS ENCASED IN A WATERTIGHT CARRIER PIPE OR CONCRETE.
3. IN HIGHLY CONGESTED AREAS, WHERE EITHER WATER OR SEWER FACILITIES ARE EXISTING AND THE SEPARATION REQUIREMENTS CANNOT BE MET, SPECIAL CONSIDERATION MAY BE GIVEN SUBJECT TO SUBMITTAL OF DOCUMENTATION SHOWING THAT THE PROPOSED ALTERNATIVE WILL RESULT IN AN EQUIVALENT LEVEL OF RELIABILITY AND PUBLIC HEALTH PROTECTION.
4. THE CONTRACTOR SHALL VERIFY NATURE, DEPTH, AND CHARACTER OF EXISTING UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
5. ALL OTHER PUBLIC OR PRIVATE UTILITY FACILITIES SHALL BE CONSTRUCTED AT LEAST 5 FEET FROM ANY WATER AND SEWER MAIN AS MEASURED FROM THE OUTSIDE BELL OF THE WATER OF THE UTILITY PIPE.
6. WHEN THE 5 FEET SEPARATION BETWEEN PROPOSED AND EXISTING LINE IS NOT POSSIBLE, THE CONTRACTOR SHALL HAND DIG OR EXPOSE THE WATER AND SEWER PIPES BEFORE PROCEEDING WITH POWER EQUIPMENT EXCAVATION.
IN NO CASE SHALL A CONTRACTOR INSTALL UTILITY PIPES, CONDUITS, CABLES, ETC. IN THE SAME TRENCH PARALLEL AND ABOVE AN EXISTING WATER OR SEWER PIPE EXCEPT WHERE THEY CROSS. ANY DEVIATION FROM NOTES 6, 7 AND 8 SHALL BE APPROVED IN WRITING BY THE RESPONSIBLE WATER AND SEWER UTILITY.
8. A NON-RESETTABLE ELAPSED TIME METER SHALL BE INSTALLED AT EACH PUMP TO RECORD THE TOTAL NUMBER OF OPERATING HOURS OF THE STATION.

	APPROVED	REVISION	TITLE	DERM NOTES	GN1e
	10/05/2022	10/05/2022			

ENGINEER'S NOTES:

1. EXISTING UNDERGROUND UTILITIES: INFORMATION SHOWN ON THE DRAWINGS AS TO THEIR LOCATION AND CHARACTER HAS BEEN PREPARED FROM THE MOST RELIABLE DATA AVAILABLE TO THE ENGINEER. THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED. THE CONTRACTOR SHALL CONTACT SUNSHINE STATE ONE CALL OF FLORIDA, INC. (1-800-432-4770) TWO (2) BUSINESS DAYS PRIOR TO ANY EXCAVATION TO DETERMINE SAID LOCATIONS AND THE LOCATIONS OF RECENT ADDITIONS TO THE SYSTEMS NOT SHOWN. EXTREME CAUTION SHALL BE EXERCISED BY THE CONTRACTOR TO ELIMINATE ANY POSSIBILITY OF DAMAGE TO UTILITIES DURING CONSTRUCTION. THE LOCATION AND CHARACTER OF ALL UTILITIES SHALL BE VERIFIED AND THE OWNER'S REPRESENTATIVE NOTIFIED OF ANY CONFLICT THAT MIGHT OCCUR.
2. ALL EXISTING GRASSED AREAS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE SODDED COMPLETELY AS DIRECTED BY THE CONSTRUCTION MANAGER AT NO ADDITIONAL COST TO THE OWNER.
3. PROTECT MATERIALS AND EQUIPMENT ON SITE FROM WEATHER, DUST, AND DEBRIS AT ALL TIMES, AND AVOID THE CREATION OF NUISANCE OR HAZARD IN THE SURROUNDING AREA.
4. UNSCHEDULED ITEMS SHALL BE RESTORED TO THEIR ORIGINAL DESIGN AND FUNCTION AT CONTRACTOR'S EXPENSE.
5. WHERE PAVEMENT DEMOLITION IS REQUIRED, THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION TO PROTECT AND PREVENT DAMAGE TO ADJACENT STRUCTURES AND PAVEMENTS TO REMAIN. LIMITS OF PAVEMENT DEMOLITION SHALL BE PERFORMED IN A NEAT, STRAIGHT LINE BY SAW CUTTING.
6. EXISTING BENCHMARKS LOCATED WITHIN THE LIMITS OF CONSTRUCTION SHALL NOT BE DISTURBED. IN THE EVENT THAT THE BENCHMARKS ARE DISTURBED OR DESTROYED, THEY SHALL BE REPLACED UPON COMPLETION OF THE PROJECT.
7. ADJUSTMENT AND CLEANING: CLEAN DEBRIS FROM AREAS OF DEMOLITION LEAVING AREA SUITABLE FOR WORK.
8. FALL MATERIALS RESULTING FROM DEMOLITION WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR. REMOVE FROM SITE AND DISPOSE OF THESE MATERIALS IN A MANNER AND LOCATION APPROVED BY MIAMI-DADE COUNTY REGULATIONS.

	APPROVED	REVISION	TITLE	ENGINEER'S NOTES	GN1f
	10/05/2022	10/05/2022			

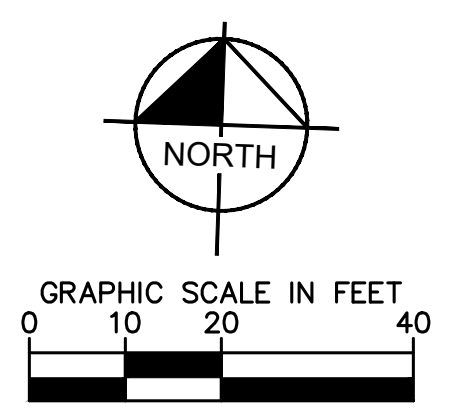
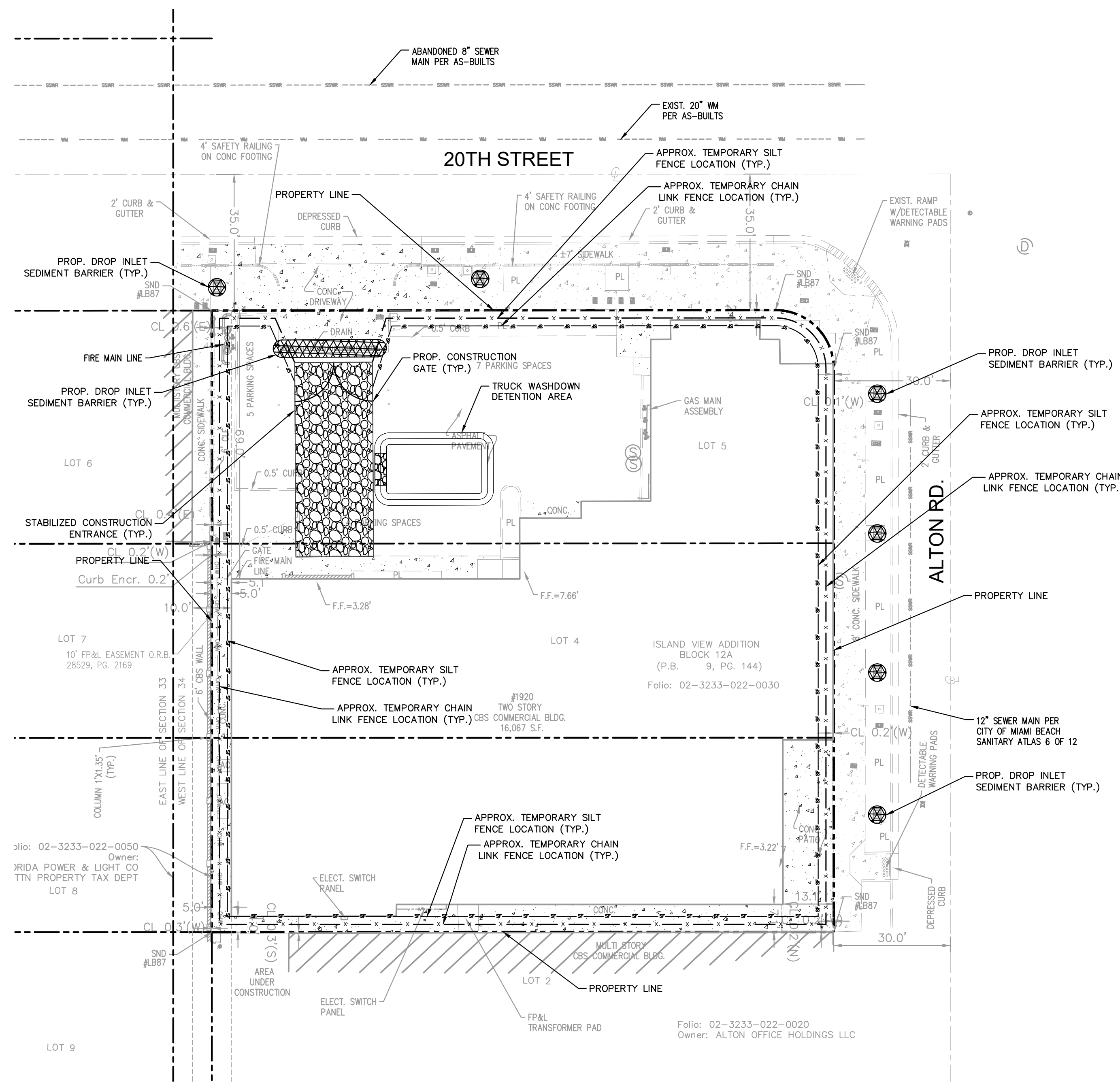
THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON BASED NGVD 1929.

811 KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG
It's fast. It's free. It's the law.
www.callsunshine.com

1920 ALTON ROAD PREPARED FOR ALTON OFFICE HOLDINGS II, LLC. CITY OF MIAMI BEACH FLORIDA	GENERAL NOTES AND SPECS	KHA PROJECT 143589001 DATE SEPT 2022 SCALE AS SHOWN DESIGNED BY JC DRAWN BY JC CHECKED BY CT DATE: 10/6/2022	LICENSED PROFESSIONAL CARLOS H. FLORIAN FLORIDA LICENSE NUMBER 80500	KIMLEY-HORN & ASSOCIATES, INC. 8201 PETERS ROAD, SUITE 2200, PLANTATION, FL 33324 PHONE: 954-535-5100 FAX: 954-739-2247 WWW.KIMLEY-HORN.COM REGISTRY No. 35106	NO. _____	REVISIONS	DATE
							BY

Plotted By: Collie, Jimmy - Sheet Set: 1920 ALTON ROAD - Layout: C200 - EROSION CONTROL PLAN - October 06, 2022 - 03:52:56pm - K:\VH\civ\143\jobs\143589001.mb 1920 alton road\CAD\plansheets\C200 Erosion Control Plan.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND	
---	PROPERTY LINE
---	EXISTING WATER
---	EXISTING SANITARY SEWER
---	EXISTING STORM SEWER
---	EXISTING OVERHEAD WIRE
---	EXISTING COMMUNICATION LINE
---	EXISTING NATURAL GAS LINE
⊠	EXISTING CATCH BASIN
⊗	EXISTING WATER VALVE
⊕	EXISTING FIRE HYDRANT
⊖	EXISTING WATER METER
⊙	EXISTING SANITARY SEWER MANHOLE
⊚	EXISTING STORM SEWER MANHOLE
---	PROPOSED CHAIN LINK CONSTRUCTION FENCE
---	PROPOSED SILT FENCE
---	PROPOSED TEMPORARY STABILIZED CONSTRUCTION ENTRANCE
---	PROPOSED DROP INLET SEDIMENT BARRIER

NO.	REVISIONS	DATE	BY

Kimley»Horn
 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 8201 PETERS ROAD, SUITE 2200, PLANTATION, FL 33324
 PHONE: 954-535-5100 FAX: 954-739-2247
 WWW.KIMLEY-HORN.COM REGISTRY No. 35106

LICENSED PROFESSIONAL	CARLOS H. FLORIAN
KHA PROJECT	143589001
DATE	SEPT 2022
SCALE	AS SHOWN
DESIGNED BY	JAC
DRAWN BY	JAC
CHECKED BY	CF
DATE:	10/6/2022

EROSION CONTROL PLAN

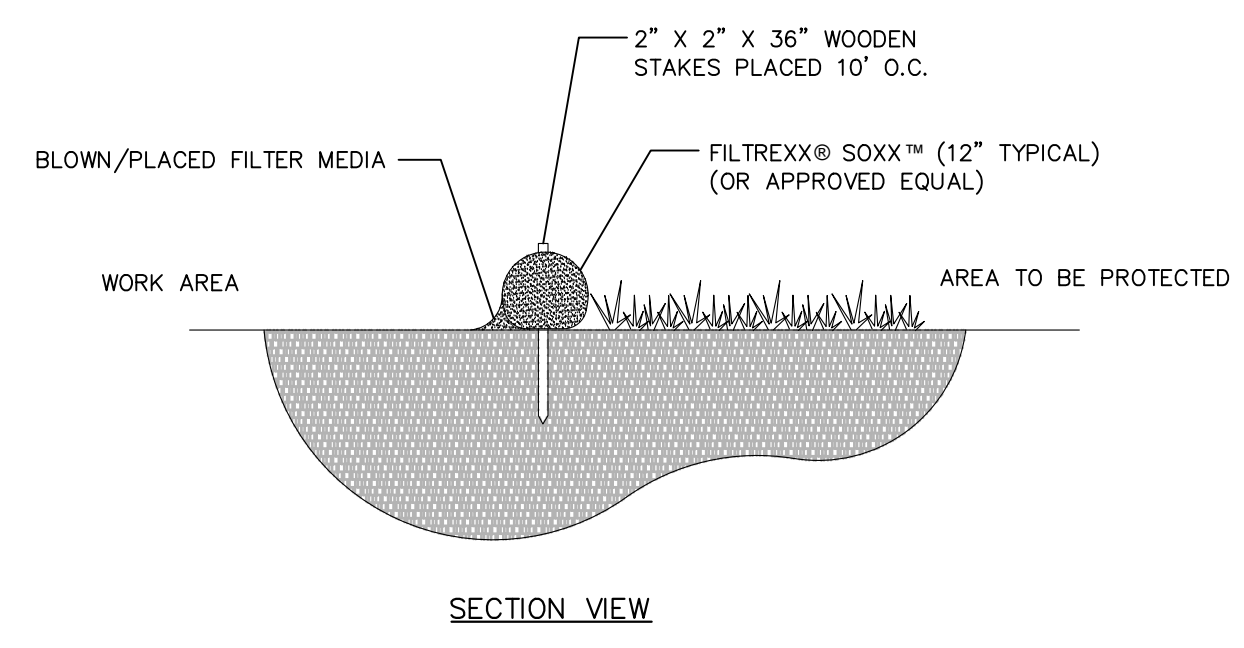
1920 ALTON ROAD
 PREPARED FOR
ALTON OFFICE HOLDINGS II, LLC.
 CITY OF MIAMI BEACH, FLORIDA

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

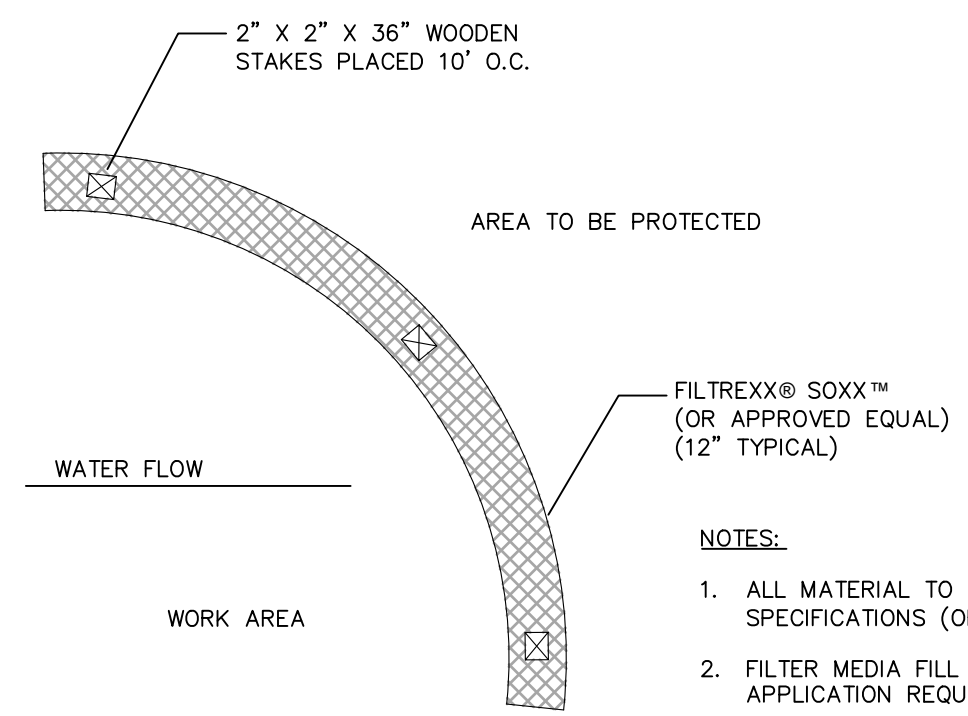
ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON BASED NGVD 1929.

811 KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG
 It's fast. It's free. It's the law.
 www.callsunshine.com

Plotted By: Collin, Jimmy - Sheet Set: 1920 ALTON ROAD - Layout: C203 EROSION CONTROL DETAILS AND NOTES - October 06, 2022 - 03:53:08pm - K:\VU-civil\143 jobs\143589001.mxd - 1920 alton road\CAD\plansheets\C203 Erosion Control Details.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



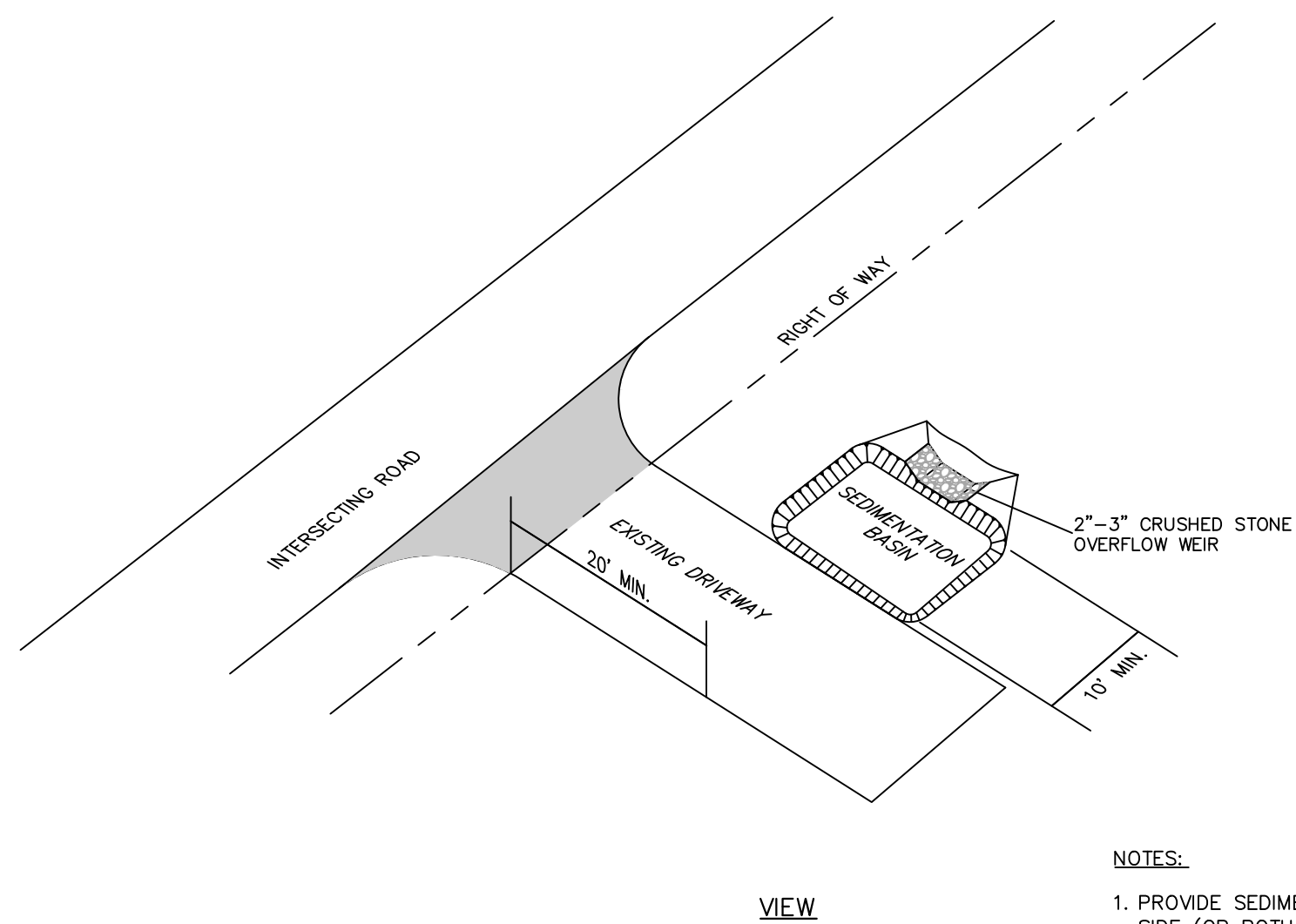
SECTION VIEW



PLAN VIEW

1 FILTREXX® SEDIMENT CONTROL (OR APPROVED EQUAL)
N.T.S.

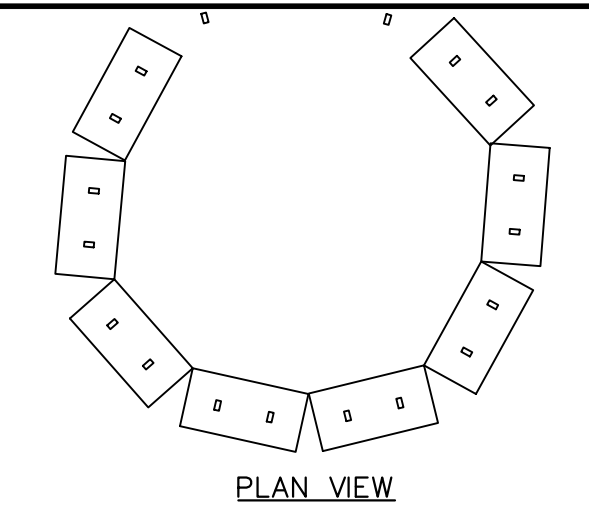
- NOTES:
1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS (OR APPROVED EQUAL).
 2. FILTER MEDIA FILL TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.



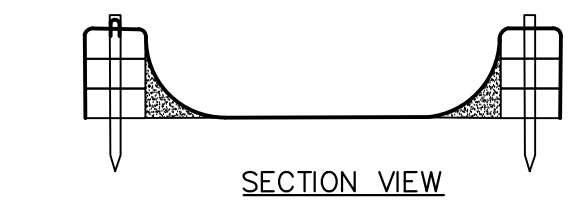
VIEW

2 TRUCK WASHDOWN AREA
N.T.S.

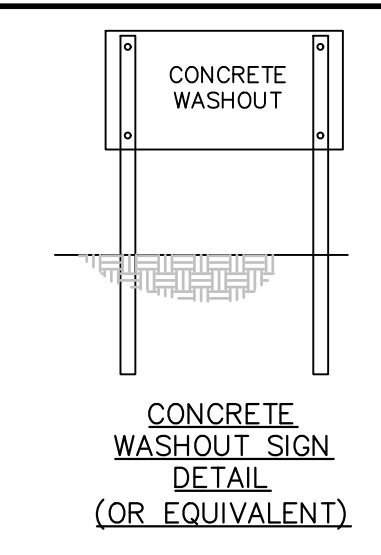
- NOTES:
1. PROVIDE SEDIMENT TRAP ON DOWN GRADIENT SIDE (OR BOTH SIDES) AS REQUIRED.
 2. PLACEMENT OF SEDIMENT TRAP SHALL BE AT LEAST THE MINIMUM DISTANCE FROM THE RIGHT OF WAY AS REQUIRED BY LOCAL JURISDICTION.



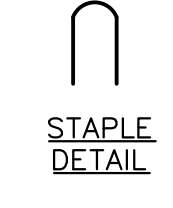
PLAN VIEW



SECTION VIEW



CONCRETE WASHOUT SIGN DETAIL (OR EQUIVALENT)

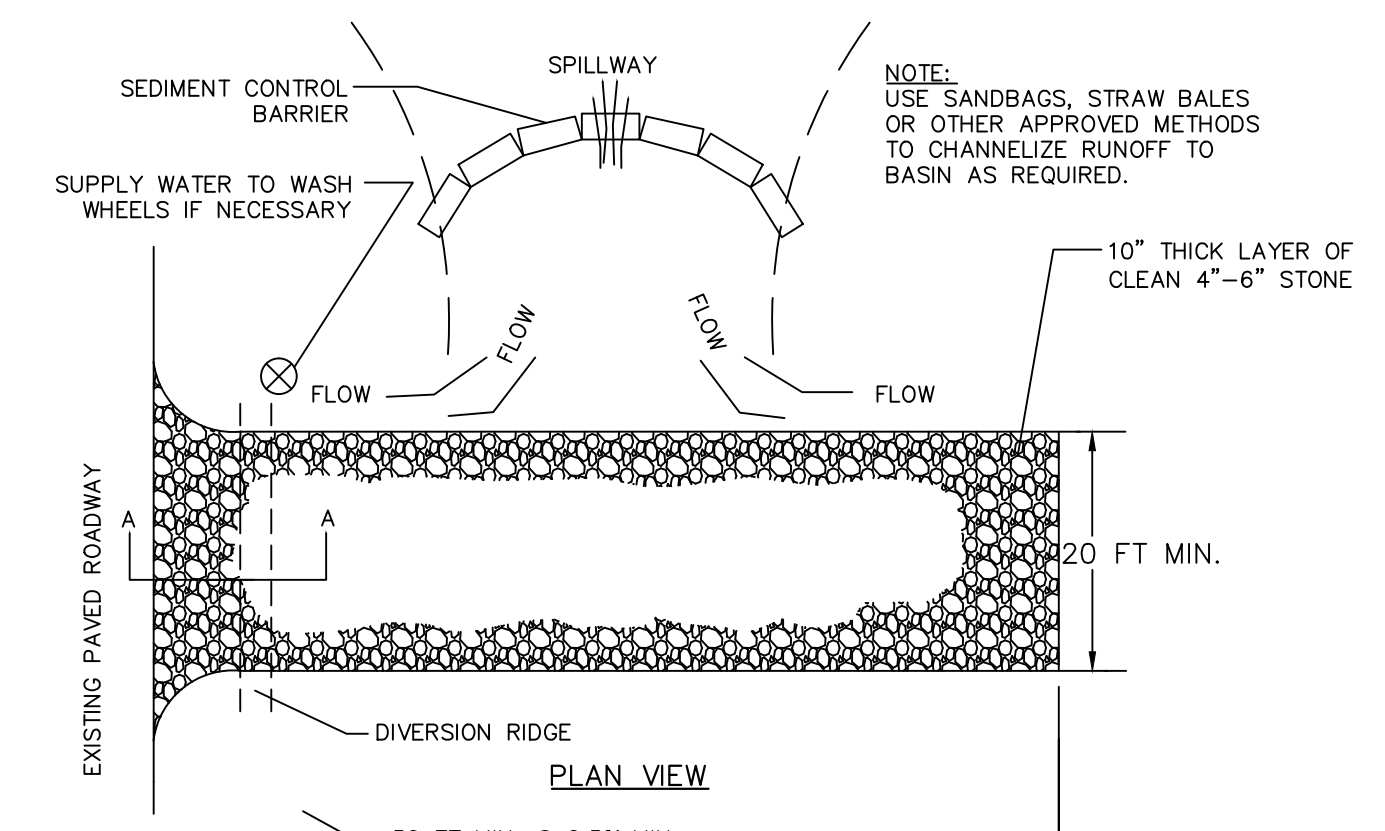


STAPLE DETAIL

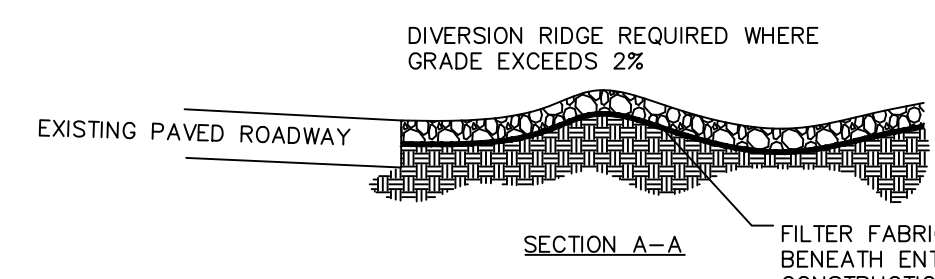
NOTES:

1. ACTUAL LAYOUT TO BE DETERMINED IN FIELD.
2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
3. WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE SHOULD BE REMOVED AND DISPOSED OF AT AN APPROVED FACILITY.
4. PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.
5. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM FREEBOARD OF 4 INCHES.
6. WASHOUT FACILITIES MUST BE CLEANED, OR NEW FACILITIES MUST BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75 PERCENT FULL.
7. HOLES, DEPRESSIONS, OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITY SHALL BE BACKFILLED AND REPAIRED.

3 TEMPORARY CONCRETE WASHOUT FACILITY
N.T.S.



PLAN VIEW

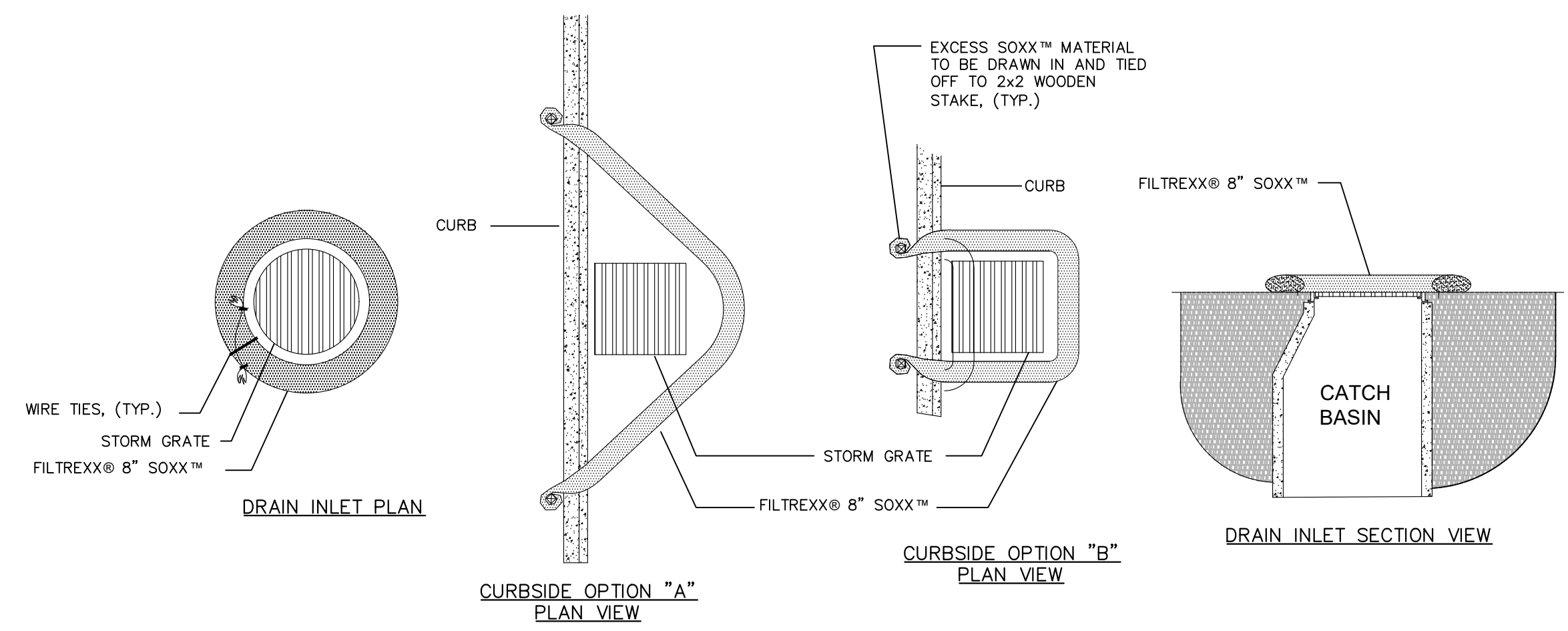


SECTION A-A

NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

6 STABILIZED CONSTRUCTION ENTRANCE
N.T.S.



DRAIN INLET PLAN

CURBSIDE OPTION "A" PLAN VIEW

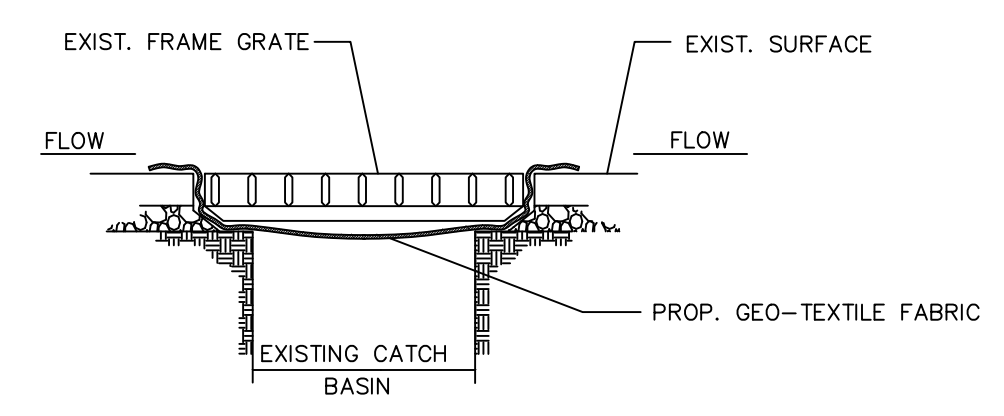
CURBSIDE OPTION "B" PLAN VIEW

DRAIN INLET SECTION VIEW

CURBSIDE INLET SECTION VIEW

5 FILTREXX® INLET PROTECTION (OR APPROVED EQUAL)
N.T.S.

- NOTES:
1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
 2. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.



NOTES:

1. CONTRACTOR SHALL PERFORM DAILY INSPECTIONS OF GEO-TEXTILE FABRIC BARRIER AND AS NECESSARY REPLACE OR REPAIR AS REQUIRED, SPECIFICALLY AFTER STORM EVENTS AND LARGE RAINFALL EVENTS.
2. SEDIMENTATION AND DEBRIS THAT ARE REMOVED FROM BARRIERS SHALL BE LEGALLY DISPOSED OF AT AN AUTHORIZED OFF-SITE DISPOSAL FACILITY.

4 DROP INLET SEDIMENT BARRIER
N.T.S.

NO.	REVISIONS	DATE	BY

Kimley»Horn
 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 8201 PETERS ROAD, SUITE 2200, PLANTATION, FL 33324
 PHONE: 954-535-5100 FAX: 954-739-2247
 WWW.KIMLEY-HORN.COM REGISTRY No. 35106

LICENSED PROFESSIONAL	CARLOS H. FLORIAN
KHA PROJECT	143589001
DATE	SEPT 2022
SCALE	AS SHOWN
DESIGNED BY	JAC
DRAWN BY	JAC
CHECKED BY	CF
DATE:	10/6/2022

EROSION CONTROL DETAILS AND NOTES

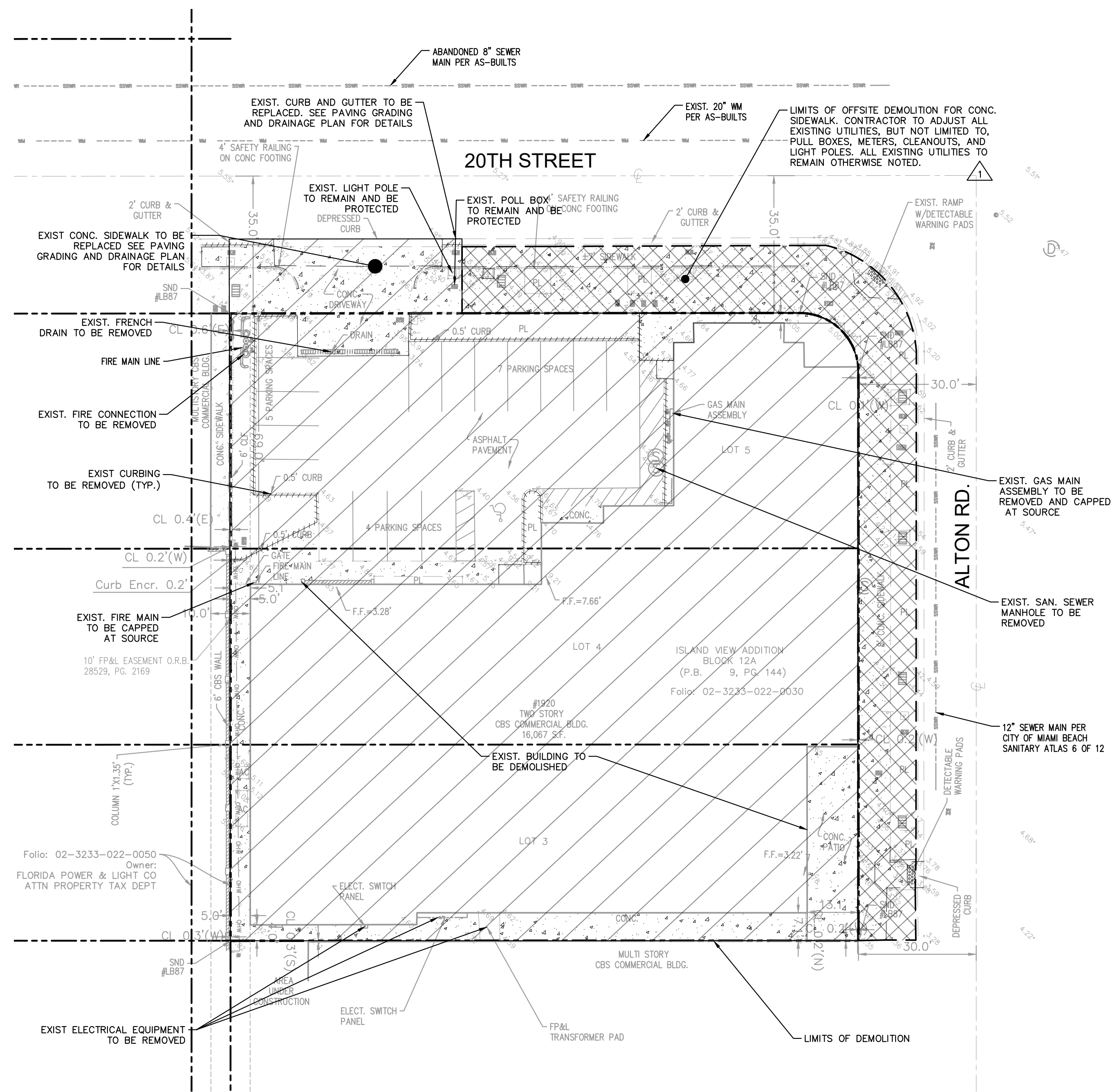
1920 ALTON ROAD
 PREPARED FOR
 ALTON OFFICE
 HOLDINGS II, LLC.
 CITY OF MIAMI BEACH FLORIDA

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON BASED NGVD 1929.

811 KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG
 It's fast. It's free. It's the law.
 www.callsunshine.com

Plotted By: Collin, Jimmy - Sheet Set: 1920 ALTON ROAD - Layout: C300 - DEMOLITION PLAN - October 06, 2022 - 03:53:19pm - K:\VH-chin\143_soba\143889001.mxd - 1920 alton road CAD\plan sheets\C300 - Demolition Plan.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND	
---	PROPERTY LINE
---	EXISTING WATER
---	EXISTING SANITARY SEWER
---	EXISTING STORM SEWER
---	EXISTING OVERHEAD WIRE
---	EXISTING COMMUNICATION LINE
---	EXISTING NATURAL GAS LINE
---	EXISTING GRADE
---	EXISTING CATCH BASIN
---	EXISTING WATER VALVE
---	EXISTING FIRE HYDRANT
---	EXISTING WATER METER
---	EXISTING SANITARY SEWER MANHOLE
---	EXISTING STORM SEWER MANHOLE
---	EXISTING CONCRETE TO BE REMOVED
---	EXISTING CURB TO BE REMOVED
---	LIMITS OF DEMOLITION - ONSITE
---	LIMITS OF DEMOLITION - OFFSITE

NOTE:
 CONTRACTOR TO REMOVE UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON BASED NGVD 1929.



NO.	REVISIONS	DATE	BY
1	CITY COMMENTS	09/12/2022	JAC

Kimley»Horn
 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 8201 PETERS ROAD, SUITE 2200, PLANTATION, FL 33324
 PHONE: 954-535-5100 FAX: 954-739-2247
 WWW.KIMLEY-HORN.COM REGISTRY No. 35106

LICENSED PROFESSIONAL
 CARLOS H. FLORIAN
 FLORIDA LICENSE NUMBER
 80500
 DATE: 10/6/2022

KHA PROJECT 143589001	DATE SEPT 2022
SCALE AS SHOWN	DESIGNED BY JC
	DRAWN BY JC
	CHECKED BY CF

DEMOLITION PLAN

1920 ALTON ROAD
 PREPARED FOR
 ALTON OFFICE
 HOLDINGS II, LLC.
 CITY OF MIAMI BEACH
 FLORIDA

SHEET NUMBER
C300

Plotted By: Collie, Jimmy - Sheet Set: 1920 ALTON ROAD - Layout: C301 DEMOLITION NOTES - October 06, 2022 - 03:53:20pm - K:\19-civil\143-Jobs\143589001.mbx-1920_alton_road\CAD\plan\sheet\C301 Erosion Control Details.dwg
 This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

CIVIL RELATED DEMOLITION NOTES AND SPECIFICATIONS

SHOULD ANY SECTION OF THESE DEMOLITION NOTES BE IN DIRECT CONFLICT WITH THE PROVISIONS OR TECHNICAL SPECIFICATIONS CONTAINED IN THE CONTRACT DOCUMENT FOR THIS PROJECT, THE INTENT OF THE CONTRACT DOCUMENT SHALL GOVERN.

I. GENERAL

FOR THIS PROJECT, "OWNER" SHALL MEAN MONAD TERRACE PROPERTY OWNER, LLC, "SURVEY" SHALL MEAN THE BOUNDARY SURVEY PREPARED BY LONGITUDE SURVEYORS, LLC. ON 02/26/2016 FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: LB-7335 AND "ENGINEER" SHALL MEAN THE ENGINEER OF RECORD.

1. EXISTING CONDITIONS, UTILITIES, STRUCTURES AND OTHER IMPROVEMENTS, AS SHOWN ON THE DEMOLITION DRAWINGS, WERE TAKEN FROM THE SURVEY, APPROVED MONAD TERRACE DEMOLITION PLAN AND FROM INFORMATION PROVIDED BY UTILITY COMPANIES. AN ATTEMPT HAS BEEN MADE TO SHOW ALL EXISTING STRUCTURES, UTILITIES, DRIVES, WALKS, ETC., IN THEIR APPROXIMATE LOCATION. OTHERS MAY EXIST AND MAY BE FOUND UPON VISITING THE SITE. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ACCURATELY LOCATE ALL FACILITIES AND TO DETERMINE THEIR EXTENT. IF SUCH FACILITIES OBSTRUCT THE PROGRESS OF THE WORK AND ARE NOT INDICATED TO BE REMOVED OR RELOCATED, THEY SHALL BE REMOVED OR RELOCATED ONLY AS DIRECTED BY THE OWNER OR ENGINEER OF RECORD, AT NO ADDITIONAL COST TO THE OWNER.
2. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
3. ORGANIZE AND PERFORM DEMOLITION WORK TO AVOID DAMAGE TO CONSTRUCTION INTENDED TO REMAIN, INCLUDING TREES (SEE LANDSCAPE PLANS FOR DETAILS).
4. DEMOLITION AND REMOVAL OPERATIONS SHALL BE CONDUCTED IN AN EXPEDIENT MANNER, WITH PRECAUTIONS TAKEN TO PREVENT THE DEMOLITION SITE FROM BEING A NUISANCE.
5. PERFORM REMOVAL AND DEMOLITION IN ACCORDANCE WITH DEMOLITION SCHEDULE (REFER TO SECTION IV.) AND TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING ADJACENT BUILDINGS, FURNISHINGS, AND EQUIPMENT. NOTIFY THE ENGINEER OF ANY CONDITIONS THAT MAY AFFECT THE SAFETY OF OCCUPANTS OF ADJACENT BUILDINGS, THE NORMAL USE OF THESE FACILITIES, OR THE PHYSICAL CONDITION OF THE STRUCTURES.
6. ALL EXISTING UTILITIES OUTSIDE THE PROPERTY BOUNDARIES ARE TO REMAIN, UNLESS OTHERWISE NOTED.
7. PRIOR TO DEMOLITION ACTIVITIES, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL AFFECTED UTILITY COMPANIES IN ORDER TO COORDINATE THE DEACTIVATION OF ALL EXISTING UTILITY LINES WITHIN THE PROPERTY, ONCE ALL ONSITE UTILITIES HAVE BEEN DEACTIVATED, ALL LINES SHALL BE CUT AND CAPPED INSIDE THE PROPERTY LINE, AND REMOVED (UNLESS OTHERWISE INDICATED).
8. THE CONTRACTOR SHALL USE EXTREME CAUTION IN REMOVING ANY STRUCTURES AND UTILITIES ABOVE AND BELOW GRADE TO PREVENT DAMAGE TO EXISTING UTILITIES WHICH ARE TO REMAIN IN SERVICE. ANY DAMAGE TO EXISTING PIPELINES, UTILITIES, ETC., CAUSED BY THE CONTRACTOR SHALL BE REPAIRED, AT THE CONTRACTOR'S EXPENSE, IN A MANNER ACCEPTABLE TO THE PARTY IN OWNERSHIP OF THE DAMAGED PROPERTY. THE CONTRACTOR SHALL REPORT ANY EXISTING DAMAGE PRIOR TO BEGINNING WORK. IN THE EVENT OF ACCIDENTAL DISRUPTION OF UTILITIES OR THE DISCOVERY OF PREVIOUSLY UNKNOWN UTILITIES, STOP WORK IMMEDIATELY AND NOTIFY THE AFFECTED UTILITY COMPANY AND THE ENGINEER. DO NOT CONTINUE WORK UNTIL THE UTILITY COMPANY, ENGINEER, AND CONTRACTOR AGREE ON A PLAN TO CORRECT THE SITUATION OR IDENTIFY THE UTILITY SERVICE LINE.
9. EXISTING WORK NOT SPECIFIED FOR REMOVAL WHICH IS TEMPORARILY REMOVED, DAMAGED, EXPOSED, OR IN ANY WAY DISTURBED OR ALTERED BY THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED, PATCHED OR REPLACED, SOLELY AT THE CONTRACTOR'S EXPENSE, TO THE ENGINEER'S AND OWNER'S SATISFACTION.
10. TITLE AND RESPONSIBILITY TO MATERIALS AND EQUIPMENT TO BE REMOVED, EXCEPT SALVAGEABLE EQUIPMENT TO BE RETAINED BY THE OWNER, IS VESTED TO THE CONTRACTOR UPON RECEIPT OF NOTICE TO PROCEED. THE OWNER WILL NOT BE RESPONSIBLE FOR THE CONDITION, LOSS OR DAMAGE TO SUCH MATERIALS AND EQUIPMENT AFTER THE ISSUANCE OF THE NOTICE TO PROCEED.
11. IT IS THE CONTRACTOR'S RESPONSIBILITY TO:
 - A. PROTECT ALL EXISTING STRUCTURAL AND VEGETATIVE ELEMENTS TO REMAIN DURING DEMOLITION UNLESS OTHERWISE SPECIFIED.
 - B. IF APPLICABLE, PATCH AND REPAIR ALL SURFACES WITHIN THE PUBLIC R/W AFFECTED BY DEMOLITION.
 - C. SAW-CUT IN NEAT, STRAIGHT LINES, EXISTING CONC. OR ASPHALT PAVEMENT.
 - D. REMOVE ALL EXISTING IRRIGATION LINES WITHIN THE LIMITS OF DEMOLITION UNLESS OTHERWISE NOTED.
 - E. ALL EXISTING CHAIN LINK FENCES AND CBS WALLS ALONG THE PERIMETER OF THE PROPERTY SHALL REMAIN, UNLESS OTHERWISE SPECIFIED.
 - F. NO ELECTRIC POLES, STREET LIGHTS, WATER METERS/VALVES, FIRE HYDRANTS ETC. WILL BE REMOVED WITHIN THE ROADWAY RIGHT-OF-WAY, UNLESS OTHERWISE NOTED ON THE DEMOLITION PLANS.
 - G. REFER TO LANDSCAPE PLANS FOR VERIFICATION OF ALL EXISTING TREES TO BE REMOVED, RELOCATED OR TO REMAIN.
 - H. MAINTAIN ALL EXISTING SURVEY REFERENCES AND MARKERS IN PLACE, OTHERWISE THEY SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

II. DESCRIPTION

1. PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SERVICES, ETC., NECESSARY AND INCIDENTAL TO THE COMPLETION OF ALL SITE DEMOLITION AND CLEARING WORK AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN, INCLUDING THE LEGAL TRANSPORT AND OFF-SITE DISPOSAL OF DEMOLITION DEBRIS.
2. ALL SITE WORK INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:
 - A. FULL-DEPTH REMOVAL OF EXISTING SIDEWALKS, DRIVES, CURBS, AND PAVEMENT.
 - B. FULL DEPTH REMOVAL OF EXISTING BUILDING FOUNDATIONS, UNDERGROUND UTILITIES AND RELATED STRUCTURES.
 - C. CLEARING SITE OF VEGETATION AND TREES AS NOTED ON THE LANDSCAPE PLANS.
 - D. CLEARING SITE OF DEMOLITION DEBRIS.
 - E. REMOVAL FROM SITE AND DISPOSAL OF ALL EXCESS AND UNUSABLE MATERIAL.
 - F. COORDINATION WITH ALL UTILITY COMPANIES/OWNERS PRIOR TO DEACTIVATION OF EXISTING UTILITIES.

III. APPLICABLE CODES

1. DEMOLITION AND TRANSPORTATION OF DEBRIS SHALL COMPLY WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS GOVERNING THESE OPERATIONS. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ANY PERMITS, BONDS, LICENSES, ETC., REQUIRED FOR DEMOLITION AND CLEARING WORK.
2. ANY WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENT, AND OTHER GOVERNMENTAL AGENCIES WHO MAY HAVE JURISDICTION OF THE PUBLIC RIGHT-OF-WAY. SAID WORK SHALL NOT BEGIN UNTIL THE CONTRACTOR HAS OBTAINED ALL PERMITS AND NOTIFIED ALL THE GOVERNING AUTHORITIES.

IV. SEQUENCING AND SCHEDULING

1. AREAS ADJACENT TO DEMOLITION AND REMOVAL WORK MAY BE OCCUPIED AND THEIR ACTIVITIES CANNOT BE INTERRUPTED OR DISTURBED DURING NORMAL WORKING HOURS. DEMOLITION SCHEDULE SHALL BE COORDINATED WITH ALL ADJACENT PROPERTY OWNERS AND ANY OTHER PARTIES WHOSE DAILY ACTIVITIES WOULD BE AFFECTED BY THE DEMOLITION WORK.
2. COORDINATE WITH APPLICABLE UTILITY COMPANIES FOR UTILITY LINE REMOVAL, CAPPING AND UTILITY SHUTDOWNS NECESSITATED BY REMOVAL WORK.

V. ENVIRONMENTAL PROTECTION

1. CONTROL AMOUNT OF DUST RESULTING FROM CONSTRUCTION OR DEMOLITION TO PREVENT SPREAD OF DUST TO OTHER BUILDINGS AND TO AVOID CREATION OF A NUISANCE IN SURROUNDING AREAS. USE OF WATER TO CONTROL DUST WILL NOT BE PERMITTED WHEN IT WILL RESULT IN, OR CREATE, HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING.
2. NOISE PRODUCING ACTIVITIES SHALL BE HELD TO A MINIMUM. INTERNAL COMBUSTION ENGINES AND COMPRESSORS, ETC., SHALL BE EQUIPPED WITH MUFFLERS TO REDUCE NOISE TO A MINIMUM. CONTRACTOR SHALL COMPLY WITH ALL NOISE ABATEMENT ORDINANCES.
3. THE USE OF EXPLOSIVES WILL NOT BE PERMITTED.
4. DISPOSITION OF DEMOLISHED MATERIALS BY BURNING IS NOT PERMITTED.
5. ALL CLEARING SHALL BE PERFORMED IN A MANNER SUCH AS TO PREVENT ANY WASH-OFF OF SOILS AND DEBRIS FROM THE SITE INTO PUBLIC RIGHT-OF-WAY WATER BODIES, AND/OR STORM DRAINAGE SYSTEMS. APPROPRIATE SEDIMENTATION PONDS, DIKES, COLLARS, AND FILTER MEDIA SHALL BE EMPLOYED TO ENSURE COMPLIANCE WITH THESE REQUIREMENTS. WHERE A SPECIFIC STATUTE GOVERNS THESE PROCEDURES, SUCH STATUTE SHALL BE COMPLIED WITH IN ITS ENTIRETY.
6. AT ALL TIMES DURING THE CLEARING OPERATION, THE EXPOSED AREAS OF SUBGRADE SHALL BE MAINTAINED IN A CONDITION COMPATIBLE WITH POSITIVE DRAINAGE OF THE WORK AREA. NO WATER WILL BE PERMITTED TO STAND IN OPEN EXCAVATIONS. ALL STORMWATER RUNOFF SHALL BE CONTAINED WITHIN THE SITE. FAILURE TO MAINTAIN SUCH DRAINAGE SHALL BE CONSIDERED ADEQUATE CAUSE TO ORDER TEMPORARY SUSPENSION OF THE WORK.
7. IF IT SHOULD BECOME NECESSARY TO STOP WORK FOR INDEFINITE PERIODS, THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PREVENT DAMAGE OR DETERIORATION OF THE WORK ALREADY PERFORMED, PROVIDE SUITABLE AND FUNCTIONAL DRAINAGE BY OPENING DITCHES, FILTER DRAINS, TEMPORARY CUT-OFF LINES, ETC., AND ERECT TEMPORARY PROTECTIVE STRUCTURES WHERE NECESSARY. ALL EMBANKMENTS SHALL BE BACK-BLADED AND SUITABLY SEALED TO PROTECT AGAINST ADVERSE WEATHER CONDITIONS.
8. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS WHEN REMOVING ABANDONED AND DE-ENERGIZED MATERIALS. IF ASBESTOS PIPES ARE ENCOUNTERED, THE CONTRACTOR WILL TAKE ALL NECESSARY ABATEMENT STEPS AS REQUIRED BY GOVERNING REGULATIONS TO SAFELY REMOVE AND DISPOSE OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY OF SAID MATERIALS.
9. THE CONTRACTOR SHALL SECURE THE WORK AREA WITH FENCING OR OTHER MEANS AS APPROVED BY THE OWNER.

VI. TRAFFIC MAINTENANCE

1. THE CONTRACTOR SHALL FOLLOW FDOT MAINTENANCE OF TRAFFIC PROCEDURES DURING CONSTRUCTION IN PUBLIC RIGHT-OF-WAYS AND PRIVATE DRIVEWAYS, PEDESTRIAN PATHS, AND ROADWAYS (INDEX 600 SERIES), AND PREPARE AND OBTAIN APPROVAL OF SUCH MAINTENANCE OF TRAFFIC PLAN FROM THE APPROPRIATE REGULATORY AGENCY.
2. THE CONTRACTOR SHALL PROVIDE ADEQUATE BRACING, SHORING, TEMPORARY CROSSOVER FOR PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING GUARDRAILS, LAMPS, WARNING SIGNS AND FLAGS AS REQUIRED BY AGENCIES HAVING JURISDICTION, AND SHALL NOT REMOVE THESE UNTIL THE NEED FOR PROTECTION CEASES.
3. THE CONTRACTOR MAY NOT CLOSE ANY SIDEWALKS WITHOUT PROVIDING ALTERNATE ROUTES IN ACCORDANCE WITH FDOT INDEX 660 AND OBTAINING APPROVAL AND PERMIT FROM THE GOVERNING JURISDICTIONAL AGENCY.
4. THE CONTRACTOR SHALL CONDUCT CONSTRUCTION OPERATIONS SO THAT TRAFFIC IS MAINTAINED ALONG EXISTING STREETS AND WALKS. ALL PUBLIC PAVED STREETS AND WALKWAYS MUST BE KEPT FREE OF DEBRIS. THE CONTRACTOR MUST REMOVE MATERIAL AND OTHER MATTER TRACKED OR FALLEN ONTO TRAFFIC SURFACES.

VII. CLEAN UP

1. REMOVE DEMOLISHED CONSTRUCTION MATERIALS AND RELATED DEBRIS FROM THE SITE ON A REGULAR BASIS. ACCUMULATION OF DEBRIS ON THE SITE WILL NOT BE PERMITTED. SELLING OF SALVAGEABLE MATERIALS IS NOT PERMITTED AT THE SITE.
2. REMOVE MATERIALS, INCLUDING DEBRIS AND DUST, AND DISPOSE OF LEGALLY OFF SITE. NO DEBRIS SHALL BE BURNED OR BURIED ON THE SITE AS A MEANS OF DISPOSAL. USE METHODS APPROVED BY THE REGULATORY AGENCIES PRIOR TO BEGINNING CLEANUP OPERATIONS. USE OF BLOWERS TO DISTRIBUTE DUST WILL NOT BE PERMITTED.
3. MATERIAL DESIGNATED FOR REMOVAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND ANY SALVAGE VALUE THERE FROM WILL ACCRUE TO THE CONTRACTOR.

Kimley»Horn

© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 8201 PETERS ROAD, SUITE 2200, PLANTATION, FL 33324
 PHONE: 954-535-5100 FAX: 954-739-2247
 WWW.KIMLEY-HORN.COM REGISTRY No. 35106

LICENSED PROFESSIONAL

CARLOS H. FLORIAN

FLORIDA LICENSE NUMBER

80500

DATE: 10/6/2022

KHA PROJECT

143589001

DATE

SEPT 2022

SCALE AS SHOWN

DESIGNED BY JC

DRAWN BY JC

CHECKED BY CF

DEMOLITION NOTES

1920 ALTON ROAD
 PREPARED FOR
ALTON OFFICE
HOLDINGS II, LLC.

FLORIDA
 CITY OF MIAMI BEACH

SHEET NUMBER
C301

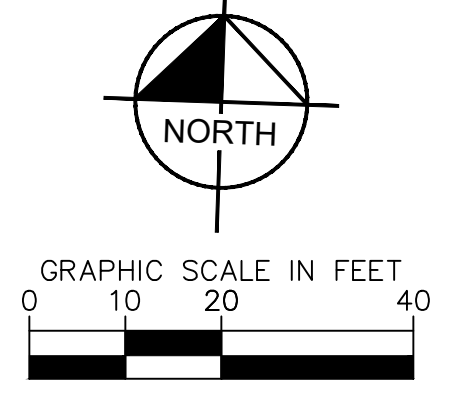
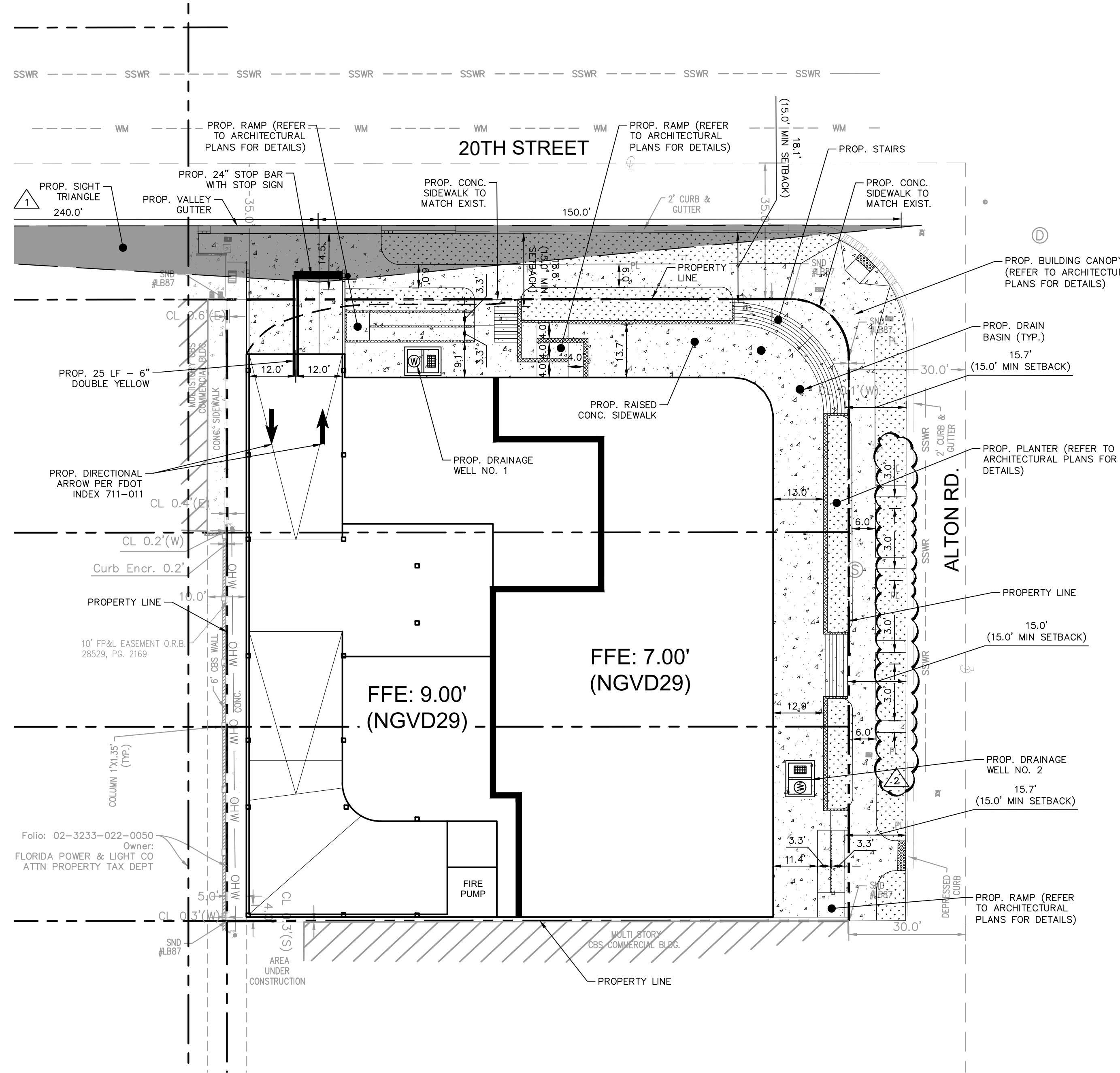
THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON BASED NGVD 1929.



No.	REVISIONS	DATE	BY

Plotted By: Collin, Jimmy - Sheet Set: 1920 ALTON ROAD - Layout: C400 - SITE PLAN - October 06, 2022 - 08:53:30pm - K:\In-Civil\143-Jobs\143589001.mbx-1920-alton-road\CAD\plan\sheet\C400_Site_Plan.dwg
 This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND	
	PROPERTY LINE
	PROPOSED CONCRETE PAVEMENT
	EXISTING CONCRETE PAVEMENT
	PROPOSED DETECTABLE WARNING

Follow: 02-3233-022-0050
 Owner:
 FLORIDA POWER & LIGHT CO
 ATTN: PROPERTY TAX DEPT

FFE: 9.00'
 (NGVD29)

FFE: 7.00'
 (NGVD29)

CITY COMMENTS	DATE	
	JAC	JAC
1	09/12/2022	JAC
2	10/06/2022	JAC

Kimley»Horn
 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 8201 PETERS ROAD, SUITE 2200, PLANTATION, FL 33324
 PHONE: 954-535-5100 FAX: 954-739-2247
 WWW.KIMLEY-HORN.COM REGISTRY No. 35106

LICENSED PROFESSIONAL	CARLOS H. FLORIAN
KHA PROJECT	143589001
DATE	SEPT 2022
SCALE	AS SHOWN
DESIGNED BY	JAC
DRAWN BY	JAC
CHECKED BY	CF
DATE:	10/6/2022

SITE PLAN

1920 ALTON ROAD
 PREPARED FOR
 ALTON OFFICE
 HOLDINGS II, LLC.
 CITY OF MIAMI BEACH FLORIDA

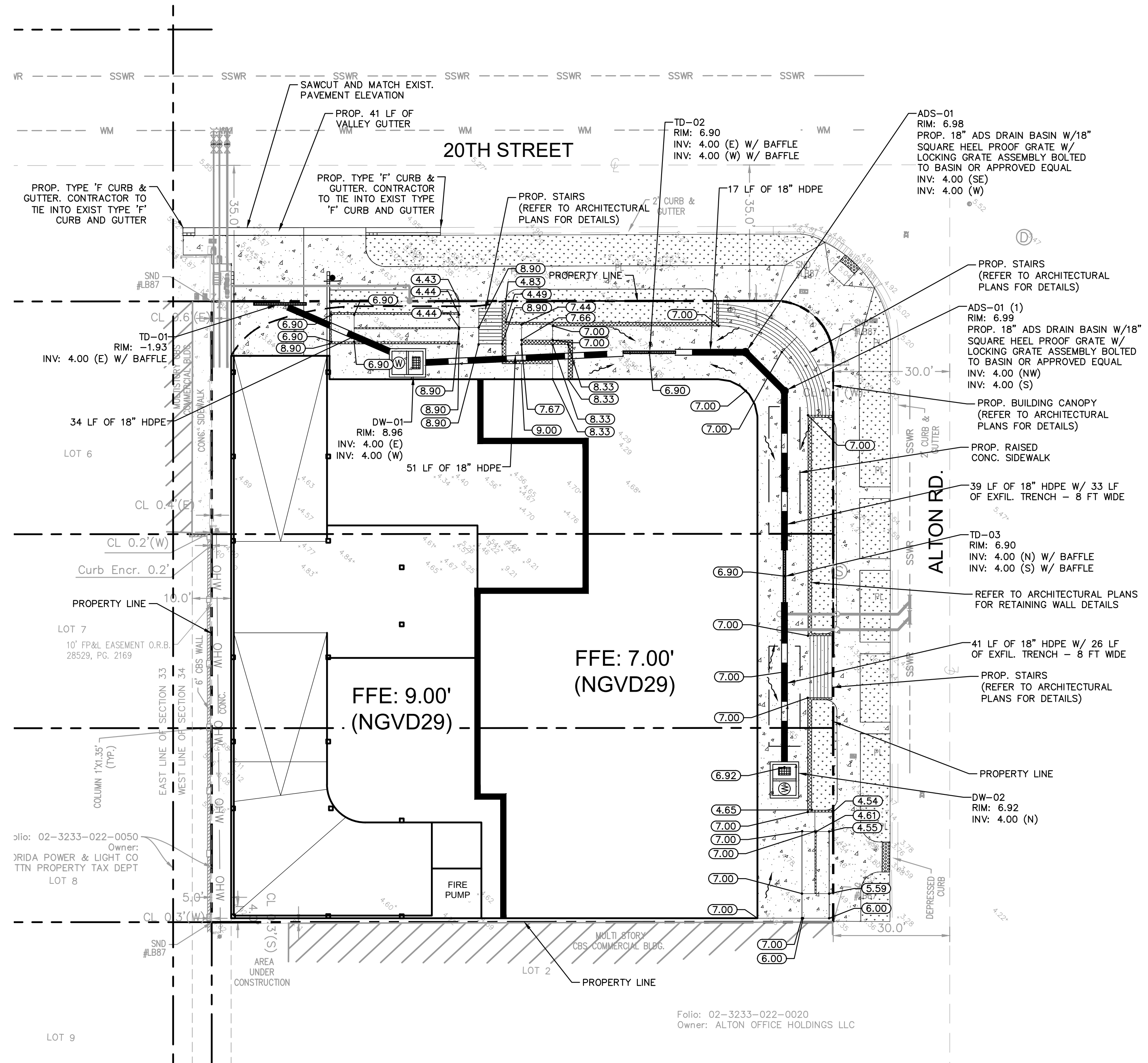
THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON BASED NGVD 1929.

811 KNOW WHAT'S BELOW
 ALWAYS CALL 811
 BEFORE YOU DIG
 It's fast. It's free. It's the law.
 www.callsunshine.com

SHEET NUMBER
C400

Plotted By: Collin, Jimmy - Sheet Set: 1920 ALTON ROAD - PAVING GRADING AND DRAINAGE PLAN - October 06, 2022 - 03:53:38pm - K:\1\civil\143\Jobs\143589001.mxd - 1920 alton road\CAD\plansheets\C400_Paving Grading and Drainage.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



- GENERAL NOTES:**
- PLEASE REFER TO LANDSCAPE AND ARCHITECTURAL PLANS FOR GRADING WITHIN THE HARDSCAPE AREAS.
 - ALL ELEVATIONS LISTED ON PLANS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29).
 - CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES. PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR TO NOTIFY ENGINEER OF ANY CONFLICTS.
 - IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.
 - CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH PPL ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND POWER LINES.
 - CONTRACTOR SHALL VERIFY PROPER CLEARANCE BELOW EXISTING OVERHEAD POWER LINES PRIOR TO WORKING WITHIN THE VICINITY OF THE POWER LINES.
 - CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
 - THE CONTRACTOR SHALL CONTACT THE SITE ENGINEER REGARDING ANY GRADING REVISIONS PRIOR TO CONSTRUCTION OF THE PAVEMENT AREAS.
 - CONTRACTOR TO ADJUST ANY MANHOLE RIMS AND VALVE LIDS TO MATCH PROPOSED GRADES.
 - IF ANY EXISTING STORM DRAINAGE STRUCTURES AND PIPES TO REMAIN IN SERVICE ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR THOSE STRUCTURES TO PRIOR CONDITION, OR BETTER, OR TO REPLACE THEM, AS NECESSARY.
 - ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING FRAME AND COVER.
 - ALL MAXIMUM SLOPES ARE ABSOLUTE AND SUPERSEDE CONSTRUCTION TOLERANCES STATED IN THE PROJECT SPECIFICATIONS. THE CONTRACTOR HAS THE OPTION OF ADJUSTING GRADES TO ALLOW FOR CONSTRUCTION TOLERANCES BUT SHALL NOT EXCEED MAXIMUMS SPECIFIED ABOVE BY ANY AMOUNT. PAVEMENT SLOPES WILL BE REVIEWED AFTER CONSTRUCTION AND ANY SLOPES FOUND TO EXCEED THE MAXIMUM SPECIFIED ABOVE WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
 - LEVEL CHANGES BETWEEN GROUND SURFACE MATERIALS MUST NOT EXCEED 1/4 INCH HIGH. IF A LEVEL CHANGE DOES EXCEED 1/4 INCH HIGH IT MUST BE BEVELED WITH A SLOPE THAT DOES NOT EXCEED 1/4 (V:H) FOR A LEVEL CHANGE UP TO 1/2 INCH HIGH. IF THE CHANGE IS MORE THAN 1/2 INCH THE CHANGE MUST BE RAMPED AND NOT TO EXCEED A SLOPE OF 1/4 (V:H).
 - ALL PROPOSED AND EXISTING DRAINAGE INFRASTRUCTURE SHALL BE CLEANED/INSPECTED FROM WORK AREA TO OUTFALL AS PART OF THIS PROJECT.

- ADA NOTES:**
- ALL WALKWAYS SHALL HAVE A SLOPE LESS THAN 2% PERPENDICULAR TO THE DIRECTION OF TRAVEL AND LESS THAN 5% IN THE DIRECTION OF TRAVEL.
 - ALL WALKWAYS NEAR BUILDING ENTRANCES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION FOR A MINIMUM OF 60 INCHES, MEASURED PERPENDICULAR TO THE FACE OF THE DOOR.
 - CLEAR WIDTH OF ACCESSIBLE ROUTE MUST BE A MINIMUM OF 36 INCHES.
 - RUNNING SLOPE OF RAMPS AND CURB RAMPS CANNOT EXCEED 8.33% IF VERTICAL RISE IS LESS THAN 6 INCHES, HANDRAILS ARE NOT REQUIRED.
 - SLOPES AT INTERSECTIONS OF ACCESSIBLE ROUTES MUST NOT EXCEED 2%, MEASURED IN ANY DIRECTION.
 - SLOPES OF CLEAR FLOOR SPACES AT FIXTURES AND CONTROLS MUST NOT EXCEED 2%, MEASURED IN ANY DIRECTION. THE 30X48 INCH CLEAR FLOOR SPACE PROVIDED AT THE CONTROL MUST BE FLUSH WITH THE CONTROL.
 - GAPS OR OPENINGS ALONG THE ACCESSIBLE ROUTE MUST NOT EXCEED 1/2 INCH WIDTH, PERPENDICULAR TO THE PREDOMINATE FLOW OF PEDESTRIAN TRAFFIC.

LEGEND	
	PROPERTY LINE
	EXISTING WATER
	EXISTING SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED EXFILTRATION TRENCH
	EXISTING STORM SEWER
	EXISTING OVERHEAD WIRE
	EXISTING COMMUNICATION LINE
	EXISTING NATURAL GAS LINE
	PROPOSED CATCH BASIN
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM MANHOLE
	PROPOSED ASPHALT PAVEMENT
	PROPOSED ASPHALT RESTORATION
	PROPOSED CONCRETE PAVEMENT
	EXISTING CONCRETE PAVEMENT
	PROPOSED CONCRETE PAVERS
	PROPOSED GRADE
	MATCH EXISTING GRADE
	PROPOSED SIDEWALK GRADE
	EXISTING GRADE
	FLOW ARROW

NO.	REVISIONS	DATE

Kimley»Horn
 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 8201 PETERS ROAD, SUITE 2200, PLANTATION, FL 33324
 PHONE: 954-535-5100 FAX: 954-739-2247
 WWW.KIMLEY-HORN.COM REGISTRY No. 35106

LICENSED PROFESSIONAL	CARLOS H. FLORIAN
KHA PROJECT	143589001
DATE	SEPT 2022
SCALE	AS SHOWN
DESIGNED BY	###
DRAWN BY	JC
CHECKED BY	CF
DATE:	10/6/2022

PAVING GRADING AND DRAINAGE PLAN

1920 ALTON ROAD
 PREPARED FOR
ALTON OFFICE HOLDINGS II, LLC.
 CITY OF MIAMI BEACH FLORIDA

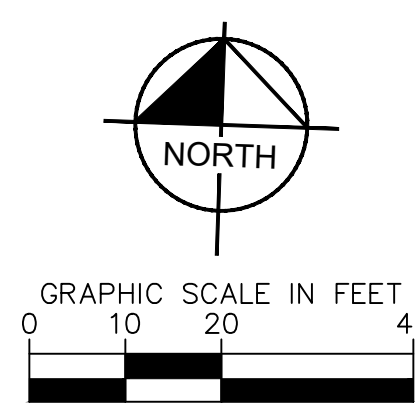
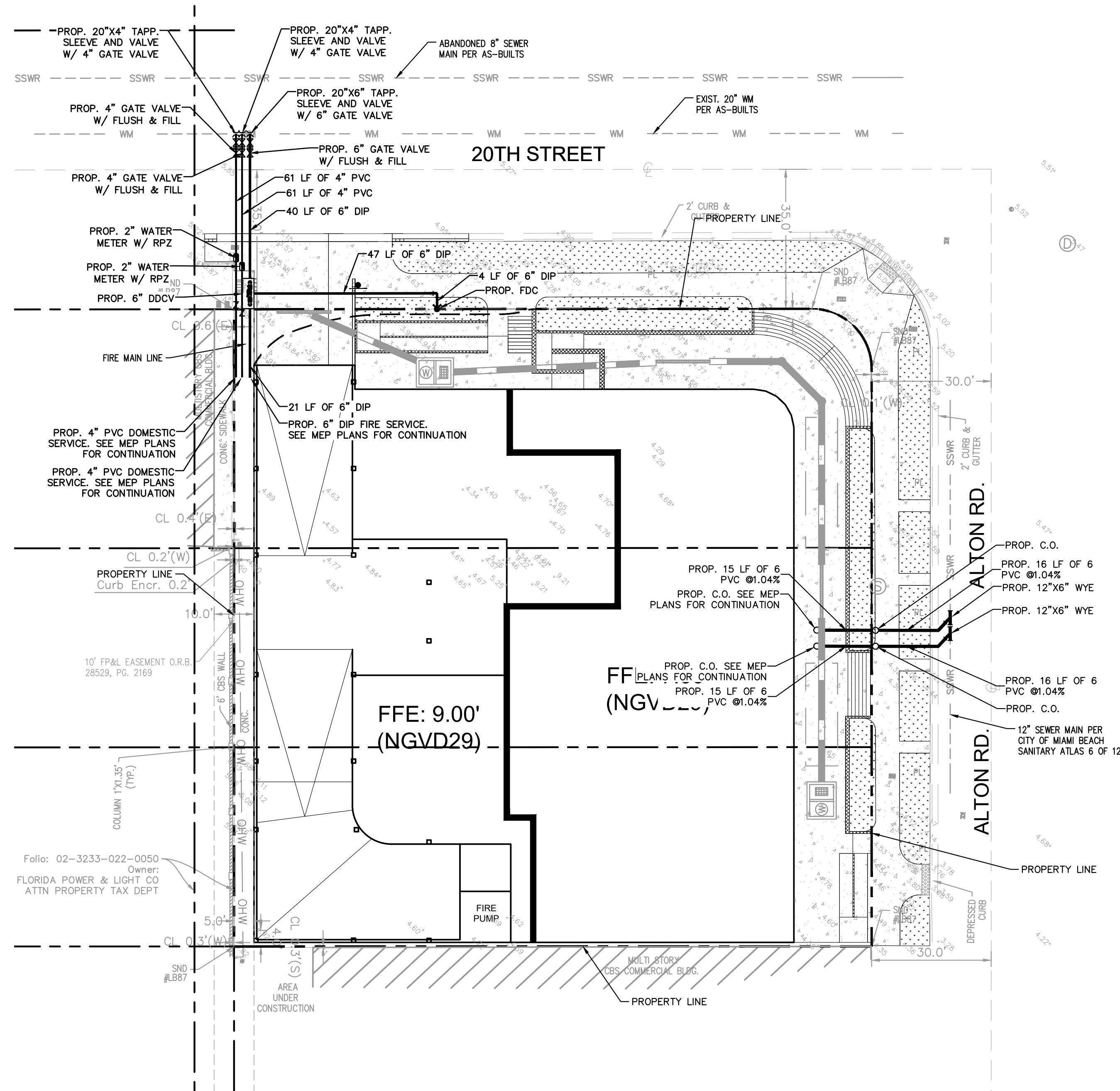
SHEET NUMBER
C500

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON NGVD 1929.

811 KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG
 It's fast. It's free. It's the law.
 www.callsunshine.com

Plotted By: Collin, Jimmy - Sheet Set: 1920 ALTON ROAD - Layout: C600 - WATER AND SEWER PLAN - October 06, 2022 - 03:54:00pm - K:\1920 ALTON ROAD - Layout: C600 - WATER AND SEWER PLAN - October 06, 2022 - 03:54:00pm - This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND	
	PROPERTY LINE
	PROPOSED WATER
	PROPOSED WATER VALVE
	PROPOSED TAPPING SLEEVE
	PROPOSED WATER METER AND RPZ
	PROPOSED DDCV
	PROPOSED FDC AND FIRE HYDRANT
	EXISTING WATER
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER
	EXISTING FORCE MAIN

NO.	REVISIONS	DATE	BY

Kimley-Horn
 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 8201 PETERS ROAD, SUITE 2200, PLANTATION, FL 33324
 PHONE: 954-535-5100 FAX: 954-739-2247
 WWW.KIMLEY-HORN.COM REGISTRY No. 35106

LICENSED PROFESSIONAL
 CARLOS H. FLORIAN
 FLORIDA LICENSE NUMBER
 80500
 DATE: 10/6/2022

KHA PROJECT
 143589001
 DATE
 SEPT 2022
 SCALE AS SHOWN
 DESIGNED BY JAC
 DRAWN BY JAC
 CHECKED BY CF

**WATER AND SEWER
 PLAN**

1920 ALTON ROAD
 PREPARED FOR
 ALTON OFFICE
 HOLDINGS II, LLC.
 CITY OF MIAMI BEACH FLORIDA

SHEET NUMBER
C600

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON BASED NGVD 1929.



Plotted By: Collie, Jimmy - Sheet Set: 1920 ALTON ROAD - LAYOUT: C601 WATER AND SEWER NOTES - October 06, 2022 - 03:54:07pm - K:\1\1-2022\143 Jobs\143589001.mbx - 1920 Alton Road - CAD\1920sheets\C601 Water and Sewer Details.dwg
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

GENERAL NOTES FOR WATER AND SEWER CONSTRUCTION

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF MIAMI BEACH ENGINEERING DIVISION AND THE CITY OF MIAMI BEACH FIRE DEPARTMENT, AND SHALL CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS AVAILABLE AND ON FILE WITH THE CITY OF MIAMI BEACH ENGINEERING DIVISION. AS A MINIMUM REQUIREMENT, THE STANDARDS OF THE AWWA SHALL APPLY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL LOCATIONS, DIMENSIONS, ELEVATIONS AND THE LOCATIONS OF ALL UNDERGROUND STRUCTURES AND UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE LOCATIONS SHOWN ON THE PLANS ARE NOT GUARANTEED ACCURATE OR CORRECT BY THE KNOWN UTILITY COMPANIES.
- THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES AND PLUGS IN ACCORDANCE WITH THE CITY OF MIAMI BEACH STANDARD DETAILS.
- ALL FITTINGS AT REACTION POINTS SHALL BE FITTED WITH MEGALUG RETAINER GLANDS OR APPROVED EQUAL, MEETING THE CITY OF MIAMI BEACH REQUIREMENTS. ALL VALVES ARE TO BE RESTRAINED WITH RETAINER GLANDS.
- PIPE INSTALLATION, CLEANING, FLUSHING, TESTING AND DISINFECTING, SHALL BE PERFORMED AS PER THE CITY OF MIAMI BEACH AND STATE OF FLORIDA DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES STANDARDS FOR THE INSTALLATION OF WATER MAINS FOR CUSTOMER DONATION PROJECTS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COST OF INSPECTIONS FOR ANY CONSTRUCTION ACTIVITIES OCCURRING OUTSIDE NORMAL WORKING HOURS (8:00 A.M. TO 5:00 P.M.) SATURDAYS, SUNDAYS AND HOLIDAYS EXCLUDED. ARRANGEMENTS FOR INSPECTIONS OUTSIDE NORMAL WORKING HOURS MUST BE MADE A MINIMUM OF 48 HOURS IN ADVANCE OF THE CONSTRUCTION ACTIVITY.
- CONTRACTOR TO PERFORM EXFILTRATION OR INFILTRATION TESTS TO TEST FOR LEAKAGE. ENGINEER OF RECORD SHALL BE PRESENT DURING TIME OF TEST. CONTRACTOR TO ENSURE REQUIRED STANDARDS ARE MET.
- SURFACE RESTORATION, PAVEMENT REPLACEMENT, SIDEWALK REPLACEMENT, TRENCH BACKFILLING AND COMPACTION SHALL COMPLY WITH THE APPLICABLE CURRENT CITY OF MIAMI BEACH PUBLIC WORKS AND AASHTO STANDARDS.
- WHERE FIELD CONDITIONS REQUIRE AS DETERMINED BY THE CITY OF MIAMI BEACH, THE WATER MAIN SHALL BE POLYETHYLENE ENCASED IN ACCORDANCE WITH AWWA C-105.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE CITY OF MIAMI BEACH WITH FLORIDA DEPARTMENT OF HEALTH LETTER OF CLEARANCE TO PLACE A PUBLIC DRINKING WATER FACILITY INTO SERVICE. THE CITY OF MIAMI BEACH INSPECTOR SHALL PROVIDE A SIGNED TEST REPORT CERTIFYING PRESSURE TEST RESULTS FOR OFF-SITE INSTALLATION. THE ENGINEER OF RECORD SHALL PROVIDE THE CITY OF MIAMI BEACH WITH A SIGNED AND SEALED PRESSURE TEST REPORT CERTIFYING PRESSURE TEST RESULTS FOR ON-SITE INSTALLATION ONLY. THE CONTRACTOR SHALL PROVIDE PASSING RESULTS FOR 2 BAC-T'S WITHIN 48 HOURS PER FDOH REQUIREMENTS
- CONTRACTOR SHALL PROVIDE VIDEO OF EXISTING SANITARY SEWER ADJACENT TO THE PROPERTY PRIOR TO REMOVAL. IN ADDITION, CONTRACTOR SHALL PROVIDE VIDEO OF SANITARY SEWER ADJACENT TO THE PROPERTY AFTER REMOVAL.

REQUIREMENTS PER DEPARTMENT OF HEALTH

WATER MAIN HORIZONTAL SEPARATIONS:

- SEPARATIONS SHALL BE MEASURED OUTSIDE EDGE TO OUTSIDE EDGE.
- BETWEEN WATER MAINS, STORM SEWERS, STORMWATER FORCE MAINS OR RECLAIMED WATER LINES, CLEARANCE SHALL BE 3 FT. MINIMUM.
- BETWEEN WATER MAINS AND VACUUM TYPE SEWER PREFERABLY 10 FT. AND AT LEAST 3 FT. MINIMUM.
- GRAVITY OR PRESSURE SANITARY SEWERS, WASTEWATER FORCE MAINS OR RECLAIMED WATER PREFERABLY 10 FT. AND AT LEAST 6 FT. MAY BE REDUCED TO 3 FT. WHERE BOTTOM OF WATER MAIN IS AT LEAST 6 INCHES ABOVE TOP OF SEWER.
- 10 FT. SEPARATION REQUIRED FROM ANY PART OF ON-SITE SEWER TREATMENT OR DISPOSAL SYSTEM.

WATER MAIN VERTICAL SEPARATIONS:

- SEPARATIONS BETWEEN WATER MAINS AND GRAVITY SEWER, VACUUM TYPE SEWER, OR STORM SEWERS, TO BE PREFERABLY 12 INCHES, OR AT LEAST 6 INCHES ABOVE, OR AT LEAST 12 INCHES IF BELOW.*
- PRESSURE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR RECLAIMED WATER, AT LEAST 12 INCHES ABOVE OR BELOW.*

* NOTE: CENTER 1 - FULL LENGTH OF WATER MAIN PIPE AT CROSSINGS; ALTERNATIVELY ARRANGE PIPES SO JOINTS ARE AT LEAST 3 FEET FROM JOINTS IN VACUUM, STORM OR STORM FORCE MAINS. AT LEAST 6 FEET FROM JOINTS IN GRAVITY OF PRESSURE SEWERS, WASTEWATER FORCE MAINS OR RECLAIMED WATER.

TRENCH PROTECTION

TRENCH EXCAVATION PROTECTION SHALL BE ACCOMPLISHED AS REQUIRED BY THE PROVISIONS OF, PART 1926, SUBPART P, EXCAVATIONS, TRENCHING AND SHORING OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIONS STANDARDS AND INTERPRETATIONS.

DRER (FORMERLY DERM) NOTES ON WATER-SEWER INSTALLATION

- A HORIZONTAL DISTANCE OF AT LEAST 6 FEET, AND PREFERABLY 10 FEET (OUTSIDE TO OUTSIDE), SHALL BE MAINTAINED BETWEEN GRAVITY OR PRESSURE SEWER PIPES AND WATER PIPES. THE MINIMUM HORIZONTAL SEPARATION CAN BE REDUCED TO 3 FEET FOR VACUUM-TYPE SEWERS OR FOR GRAVITY SEWERS WHERE THE TOP OF THE SEWER PIPE IS AT LEAST 6 INCHES BELOW THE BOTTOM OF THE WATER PIPE. WHEN THE ABOVE SPECIFIED HORIZONTAL DISTANCE CRITERIA CANNOT BE MET DUE TO AN EXISTING UNDERGROUND FACILITY CONFLICT, SMALLER SEPARATIONS ARE ALLOWED IF ONE OF THE FOLLOWINGS IS MET:
 - THE SEWER PIPES ARE DESIGNED AND CONSTRUCTED EQUAL TO THE WATER PIPE AND PRESSURE TESTED AT 150 PSI.
 - THE SEWER IS ENCASED IN A WATERTIGHT CARRIER PIPE OR CONCRETE.
 - THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER PIPE.
- A VERTICAL DISTANCE OF AT LEAST 12 INCHES (OUTSIDE TO OUTSIDE) SHALL BE MAINTAINED BETWEEN ANY WATER AND SEWER MAINS WITH SEWER PIPES PREFERABLY CROSSING UNDER WATER MAINS. THE MINIMUM VERTICAL SEPARATION CAN BE REDUCED TO 6 INCHES FOR VACUUM-TYPE SEWERS OR FOR GRAVITY SEWERS WHERE THE SEWER PIPE IS BELOW THE WATER MAIN. THE CROSSING SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST 6 FEET FROM ALL JOINTS IN GRAVITY AND PRESSURE SEWER PIPES. THE DISTANCE CAN BE REDUCED TO 3 FEET FOR VACUUM-TYPE SEWERS. WHEN THE ABOVE SPECIFIED VERTICAL DISTANCE CRITERIA CANNOT BE MET DUE TO AN EXISTING UNDERGROUND FACILITY CONFLICT, SMALLER SEPARATIONS ARE ALLOWED IF ONE OF THE FOLLOWING IS MET:
 - THE SEWER PIPES ARE DESIGNED AND CONSTRUCTED EQUAL TO THE WATER PIPE AND PRESSURE TESTED AT 150 PSI.
 - THE SEWER IS ENCASED IN A WATERTIGHT CARRIER PIPE OR CONCRETE.
- AIR RELEASE VALVES SHALL BE PROVIDED AT HIGH POINTS OF NEW FORCE MAIN SANITARY SEWER.
- GRAVITY SANITARY SEWERS CONSTRUCTED WITHIN A PUBLIC WELLFIELD PROTECTION AREA SHALL BE C-900 PVC OR DUCTILE IRON PIPE. THE MAXIMUM ALLOWABLE EXFILTRATION RATE OF GRAVITY SEWERS CONSTRUCTED IN A PUBLIC WELLFIELD PROTECTION AREA SHALL BE:
 - Residential Land Uses. Fifty (50) GALLONS PER INCH PIPE DIAMETER PER MILE PER DAY, BASED ON A MINIMUM TWO (2) HOUR TEST HAVING A MINIMUM OF TWO (2) FEET OF POSITIVE HEAD ABOVE THE CROWN OF THE PIPE.
 - NON-RESIDENTIAL LAND USE. TWENTY (20) GALLONS PER INCH PIPE DIAMETER PER MILE PER DAY, BASED ON A MINIMUM TWO (2) HOUR TEST HAVING A MINIMUM OF TWO (2) FEET OF POSITIVE HEAD ABOVE THE CROWN OF THE PIPE.
 - ANY OBSERVED LEAKS OR ANY OBVIOUSLY DEFECTIVE JOINTS OR PIPES SHALL BE REPLACED EVEN WHEN THE TOTAL LEAKAGE IS BELOW THAT ALLOWED.
- THE MAXIMUM ALLOWABLE EXFILTRATION RATE OF GRAVITY SANITARY SEWERS CONSTRUCTED IN A PUBLIC WELLFIELD PROTECTION AREA SHALL BE ONE HUNDRED (100) GALLONS PER INCH PIPE DIAMETER PER MILE PER DAY, BASED ON A MINIMUM TWO (2) HOURS TEST HAVING A MINIMUM OF TWO (2) FEET OF POSITIVE HEAD ABOVE THE CROWN OF THE PIPE. ANY OBSERVED LEAKS OR ANY OBVIOUSLY DEFECTIVE JOINTS OR PIPES SHALL BE REPLACED EVEN WHEN THE TOTAL LEAKAGE IS BELOW THAT ALLOWED.
- FORCE MAIN SEWERS CONSTRUCTED WITHIN A PUBLIC WELLFIELD PROTECTION AREA SHALL BE DUCTILE IRON, C-900 PVC, HDPE OR REINFORCED CONCRETE PRESSURE SEWER PIPES.
- THE MAXIMUM ALLOWABLE EXFILTRATION TRENCH/LEAKAGE RATE OF FORCEMAIN SANITARY SEWER SHALL BE:
 - DUCTILE IRON, C-900 PVC, HDPE AND PVC PIPE. THE ALLOWABLE LEAKAGE RATE SPECIFIED IN AMERICAN WATER WORKS ASSOCIATION STANDARD (AWWAS) C600-82 AT A TEST PRESSURE OF 100 PSI FOR A DURATION OF NOT LESS THAN TWO (2) HOURS.
 - REINFORCED CONCRETE PRESSURE PIPE. HALF (½) THE ALLOWED LEAKAGE RATE SPECIFIED IN AWWA C600-82 AT A TEST PRESSURE OF 100 PSI FOR A DURATION OF NOT LESS THAN TWO (2) HOURS.
 - ANY OBSERVED LEAKS OR ANY OBVIOUSLY DEFECTIVE JOINTS OR PIPES SHALL BE REPLACED EVEN WHEN THE TOTAL LEAKAGE IS BELOW THAT ALLOWED.
- THE CONTRACTOR SHALL VERIFY NATURE, DEPTH, AND CHARACTER OF EXISTING UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
- IN NO CASE SHALL A CONTRACTOR INSTALL UTILITY PIPES, CONDUITS, CABLES ETC. IN THE SAME TRENCH ABOVE AN EXISTING WATER OR SEWER PIPE EXCEPT WHERE THEY CROSS.
- IF ANY AREA OF THE WORK SITE IS FOUND TO CONTAIN BURIED SOLID WASTE AND/OR GROUND OR GROUND WATER CONTAMINATION, THE FOLLOWING SHALL APPLY:
 - ALL WORK IN THE AREA SHALL FOLLOW ALL APPLICABLE SAFETY REQUIREMENTS (E.G., OSHA, ETC.) AND NOTIFICATION MUST BE PROVIDED TO THE APPROPRIATE AGENCIES.
 - IMMEDIATELY NOTIFY THE ENVIRONMENTAL MONITORING AND RESTORATION DIVISION (EMRD). THE EMRD CAN BE CONTACTED AT (305) 372-6700.
 - OF CONTAMINATED SOILS AND/OR BURIED SOLID WASTE MATERIAL IS EXCAVATED DURING CONSTRUCTION, THEN THEY REQUIRE PROPER HANDLING AND DISPOSAL IN ACCORDANCE WITH THE LOCAL, STATE AND FEDERAL REGULATIONS. BE ADVISED THAT THE LANDFILL OWNER/OPERATOR IS THE FINAL AUTHORITY ON DISPOSAL AND MAY HAVE REQUIREMENTS BEYOND THOSE PROVIDED BY HEREIN. IF DISPOSAL WITHIN A MIAMI-DADE COUNTY OWNED LANDFILL (CLASS 1 LANDFILL) IS APPROPRIATE AND SELECTED, PLEASE CONTACT THE MIAMI-DADE COUNTY DEPARTMENT OF SOLID WASTE MANAGEMENT AT (305)594-6666 FOR INFORMATION.
 - THE REUSE OF CONTAMINATED SOILS THAT ARE NOT RETURNED TO THE ORIGINAL EXCAVATION REQUIRES PRIOR APPROVAL OF A SOIL MANAGEMENT PLAN FROM THE ENVIRONMENTAL MONITORING AND RESTORATION DIVISION. THE EMRD CAN BE CONTACTED AT (305) 372-6700.
- THE PUMP MUST COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC) REQUIREMENTS FOR CLASS I, GROUP D, DIVISION 1 LOCATIONS (EXPLOSION PROOF).
- THE CONTRACTOR IS ADVISED THAT A TREE REMOVAL/RELOCATION PERMIT MAY BE REQUIRED PRIOR TO THE REMOVAL AND/OR RELOCATION OF TREE RESOURCES. PRIOR TO REMOVING OR RELOCATING ANY TREES, THE CONTRACTOR SHALL NOTIFY THE TREE AND FOREST RESOURCES SECTION OF DERM AT (305) 372-6574 OR VIA E-MAIL AT: TFRS@MIAMI-DADE.GOV, OR CONTACT THE MUNICIPALITY WITH TREE ORDINANCE JURISDICTION TO OBTAIN ANY REQUIRED PERMITS. THOSE TREES NOT INTERFERING WITH THE CONSTRUCTION SHALL BE PROTECTED IN PLACE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 24-49.5 OF THE MIAMI-DADE CODE.
- PLEASE NOTE THAT DEMOLITION, REMOVAL AND/OR DISTURBANCE OF EXISTING UNDERGROUND UTILITIES THAT CONTAIN ASBESTOS-CEMENT PIPES (ACP) ARE SUBJECT TO THE PROVISIONS OF 40 CFR-61 SUBPART M. THEREFORE, PURSUANT TO THE PROVISIONS OF 40 CFR-61-145, A NOTICE OF DEMOLITION OR ASBESTOS RENOVATION FORM MUST BE FILLED WITH THE AIR QUALITY MANAGEMENT DIVISION (AQMD) OF DERM, AT LEAST TEN (10) WORKING DAYS PRIOR THE STARTING OF ANY WORK. NOTE THAT THE BACKFILLING AND BURIAL OF CRUSHED ACP WOULD CAUSE THESE LOCATIONS TO BE CONSIDERED ACTIVE OPERATING PROCEDURES, AS WELL AS APPLICABLE FEDERAL, STATE AND LOCAL REGULATORY CRITERIA. MUST BE FOLLOWED AND IMPLEMENTED TO MINIMIZE ANY POTENTIAL RELEASE OF FUGITIVE EMISSIONS, ESPECIALLY DURING PROJECT CONSTRUCTION ACTIVITIES. THE AQMD CAN BE CONTACTED VIA EMAIL AT ASBESTOS@MIAMI-DADE.GOV OR (305) 372-6925.

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON BASED NGVD 1929.



1920 ALTON ROAD
PREPARED FOR
ALTON OFFICE
HOLDINGS II, LLC.
CITY OF MIAMI BEACH
FLORIDA

SHEET NUMBER
C601

KHA PROJECT
143589001
DATE
SEPT 2022
SCALE AS SHOWN
DESIGNED BY JAC
DRAWN BY JAC
CHECKED BY CF
DATE: 10/6/2022

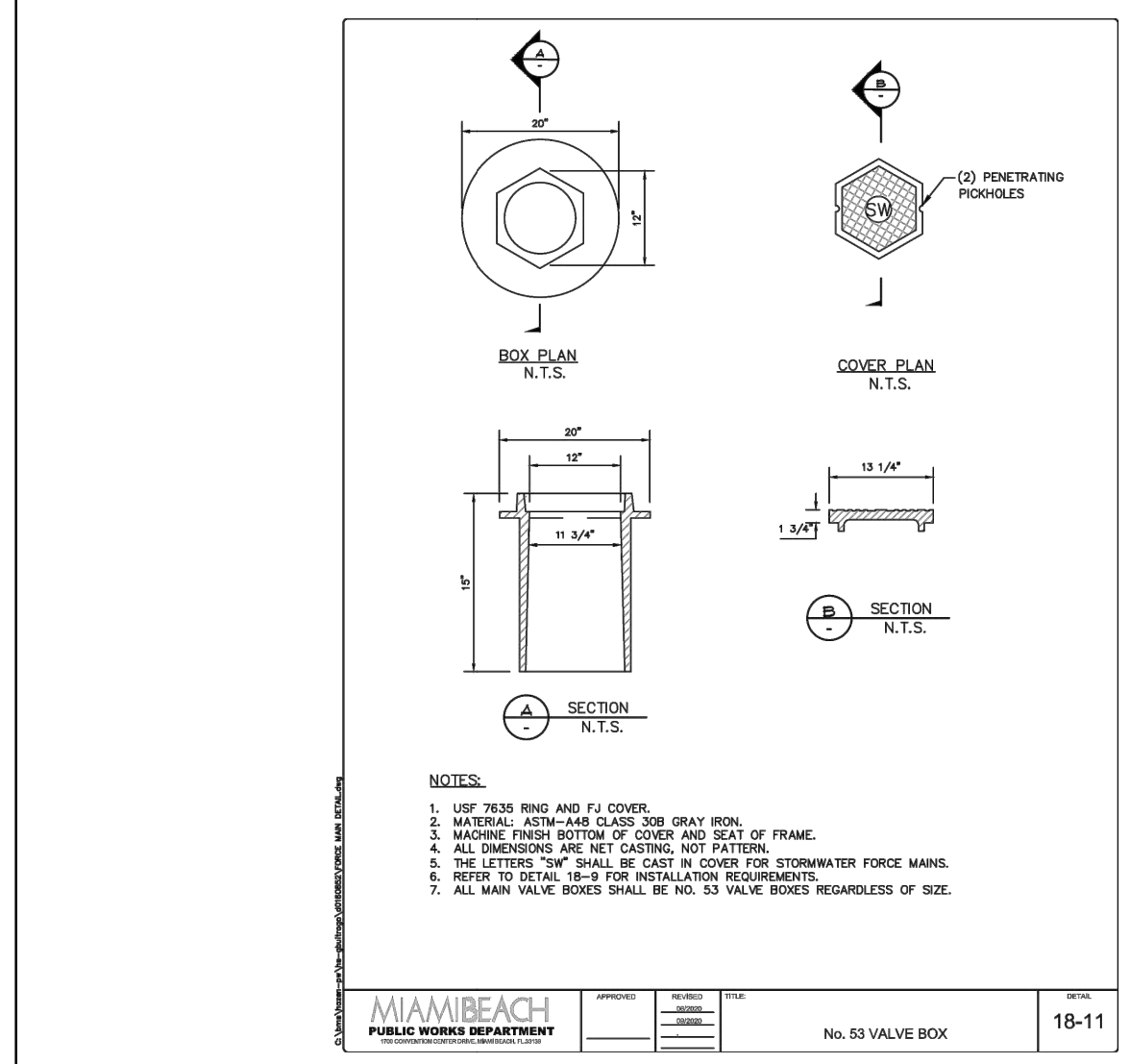
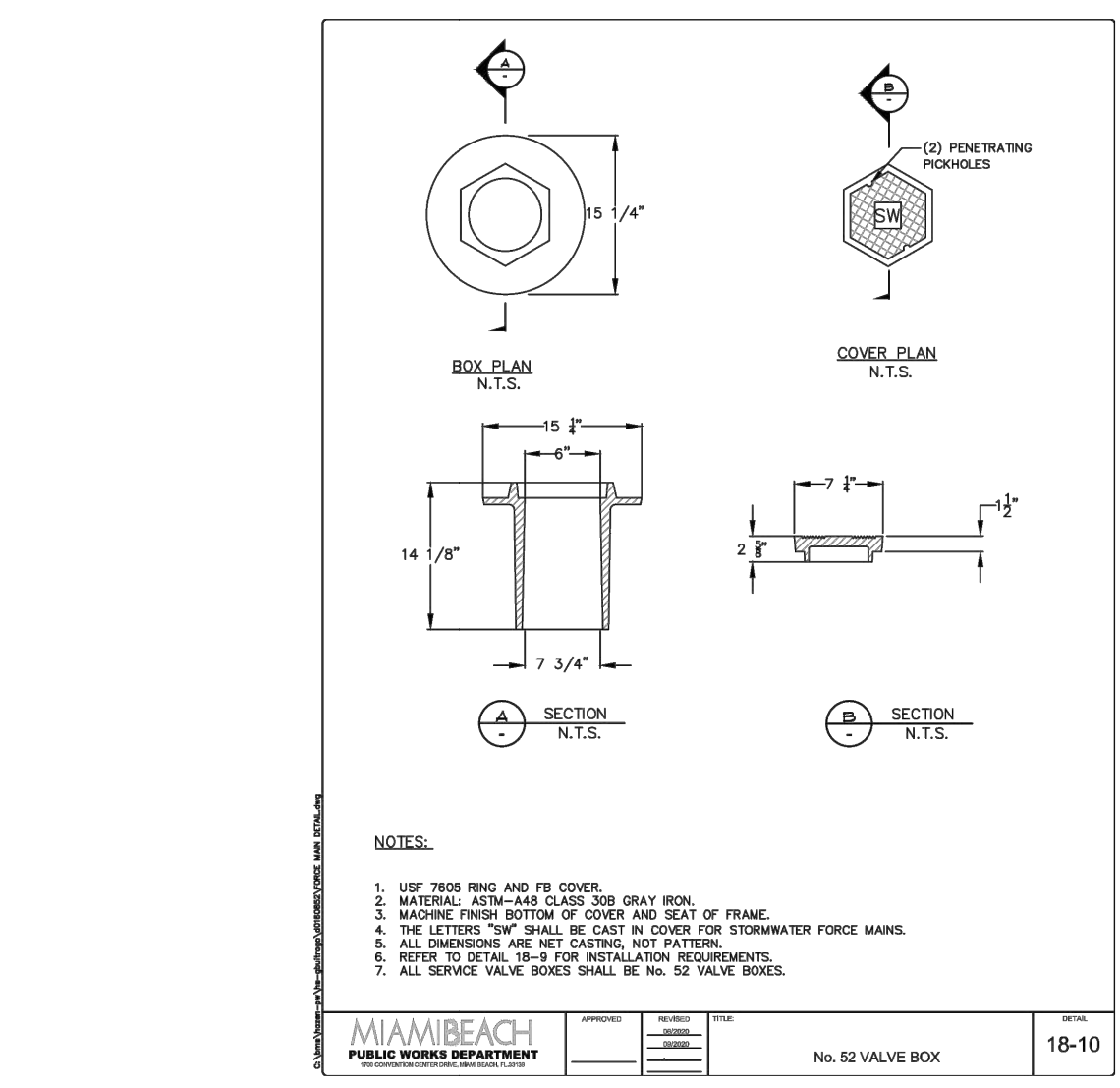
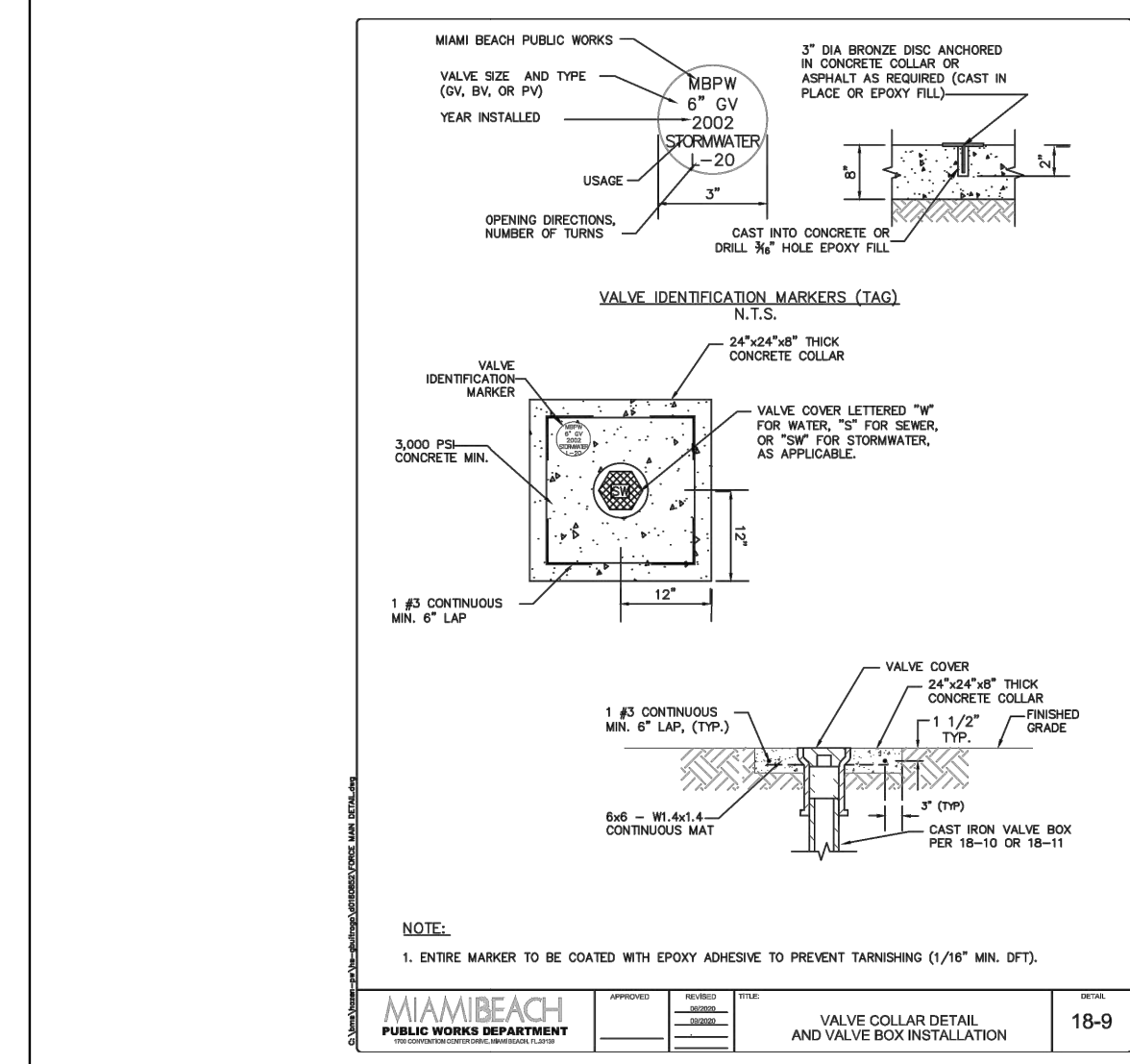
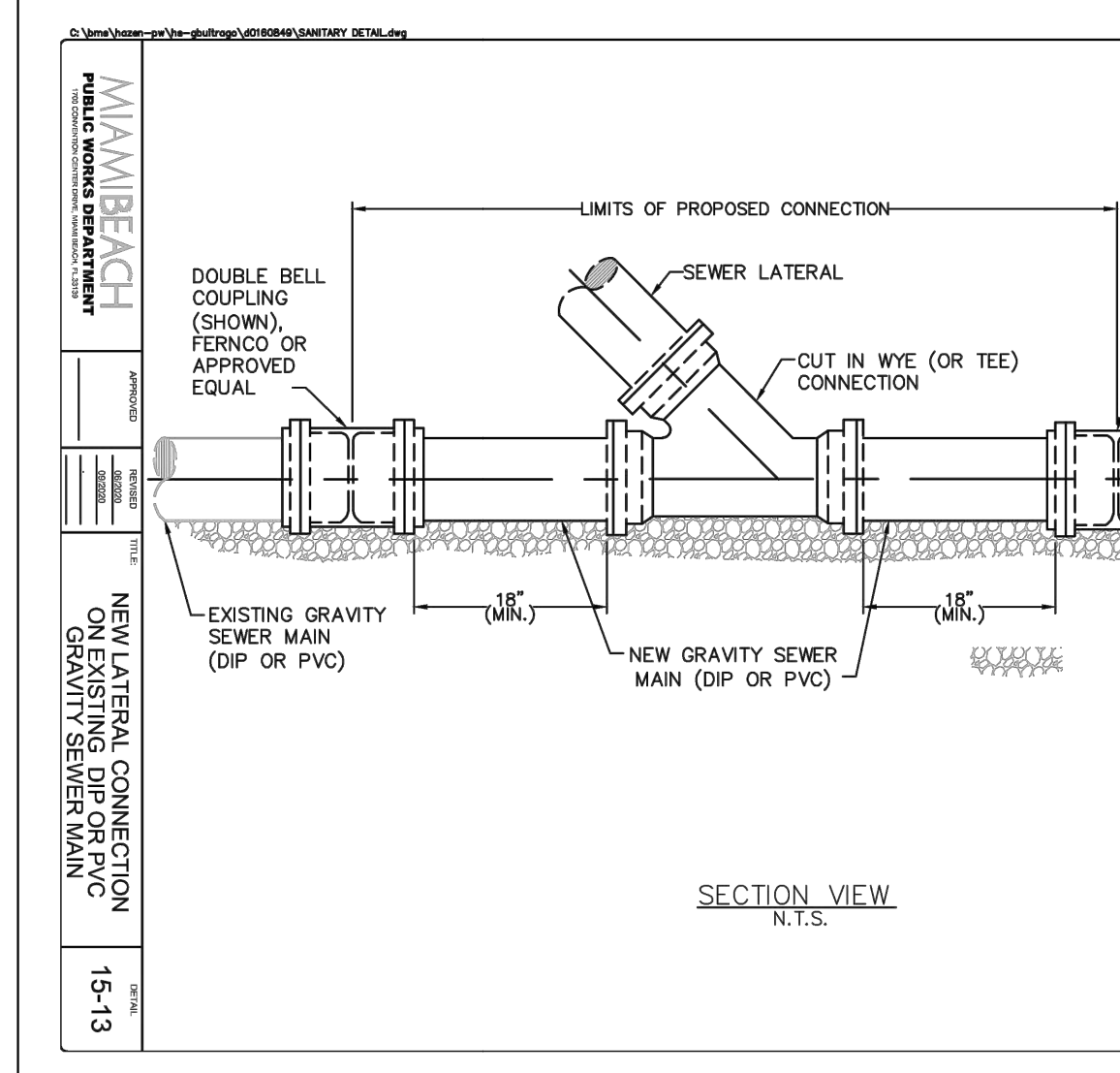
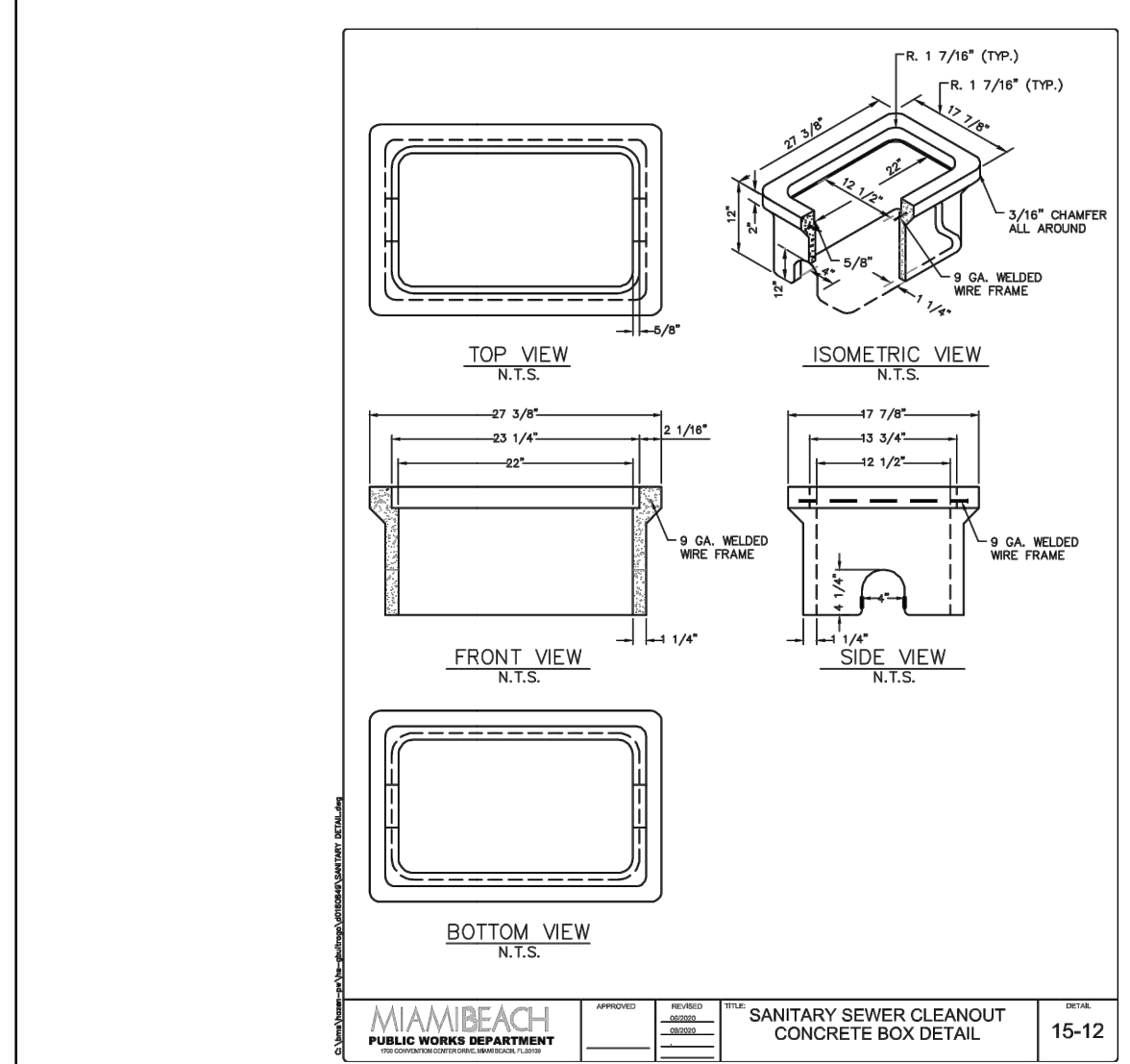
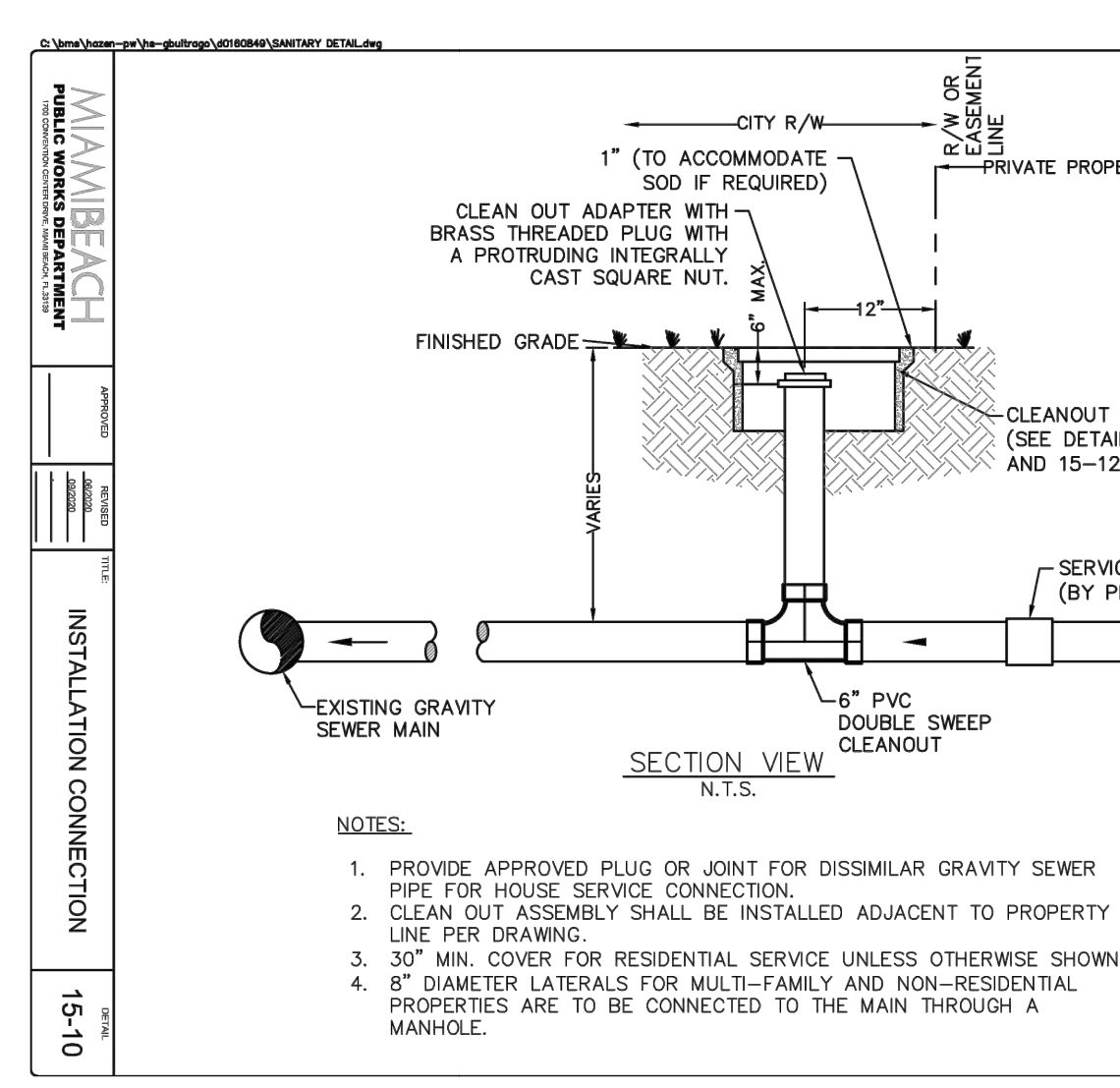
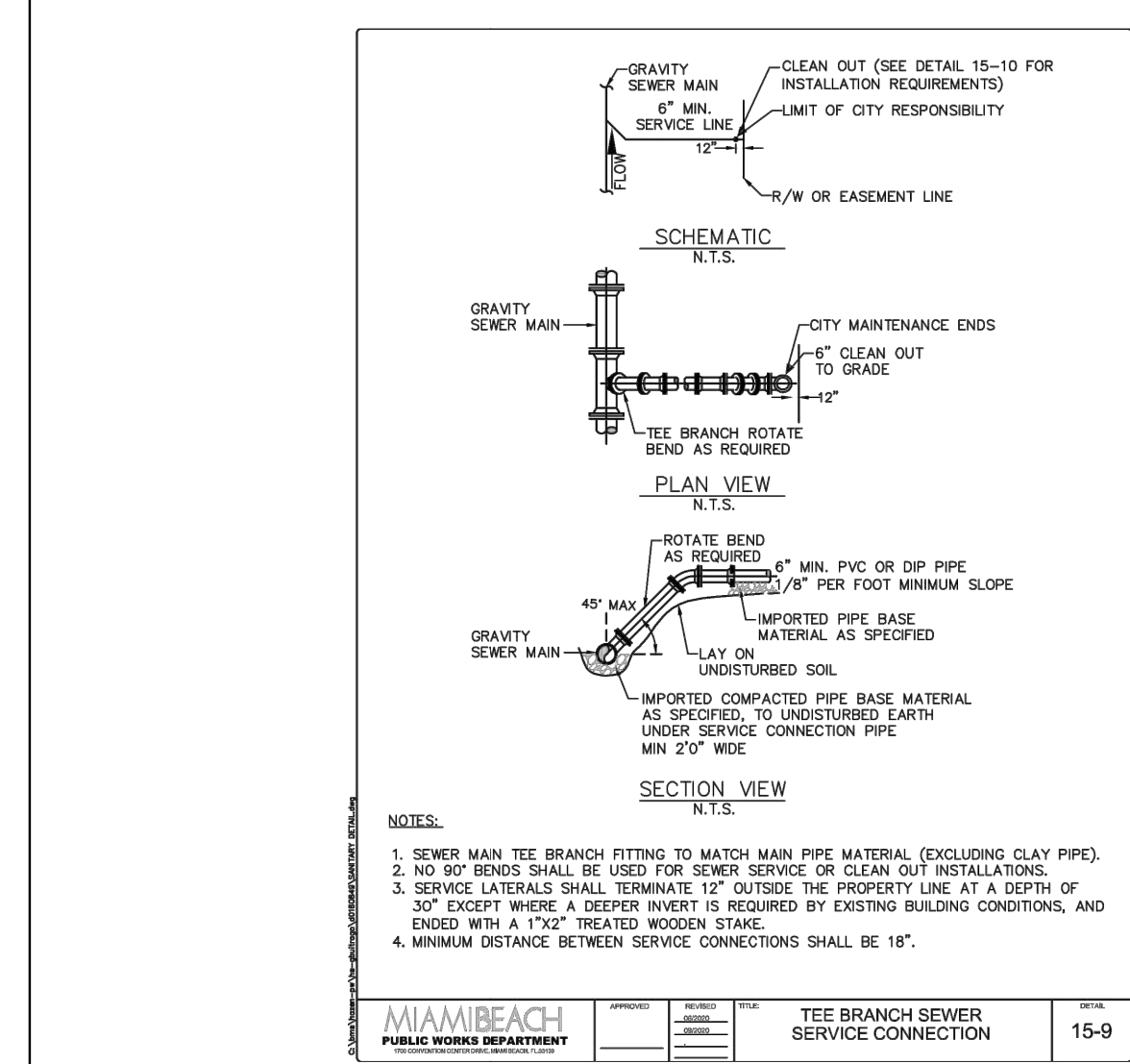
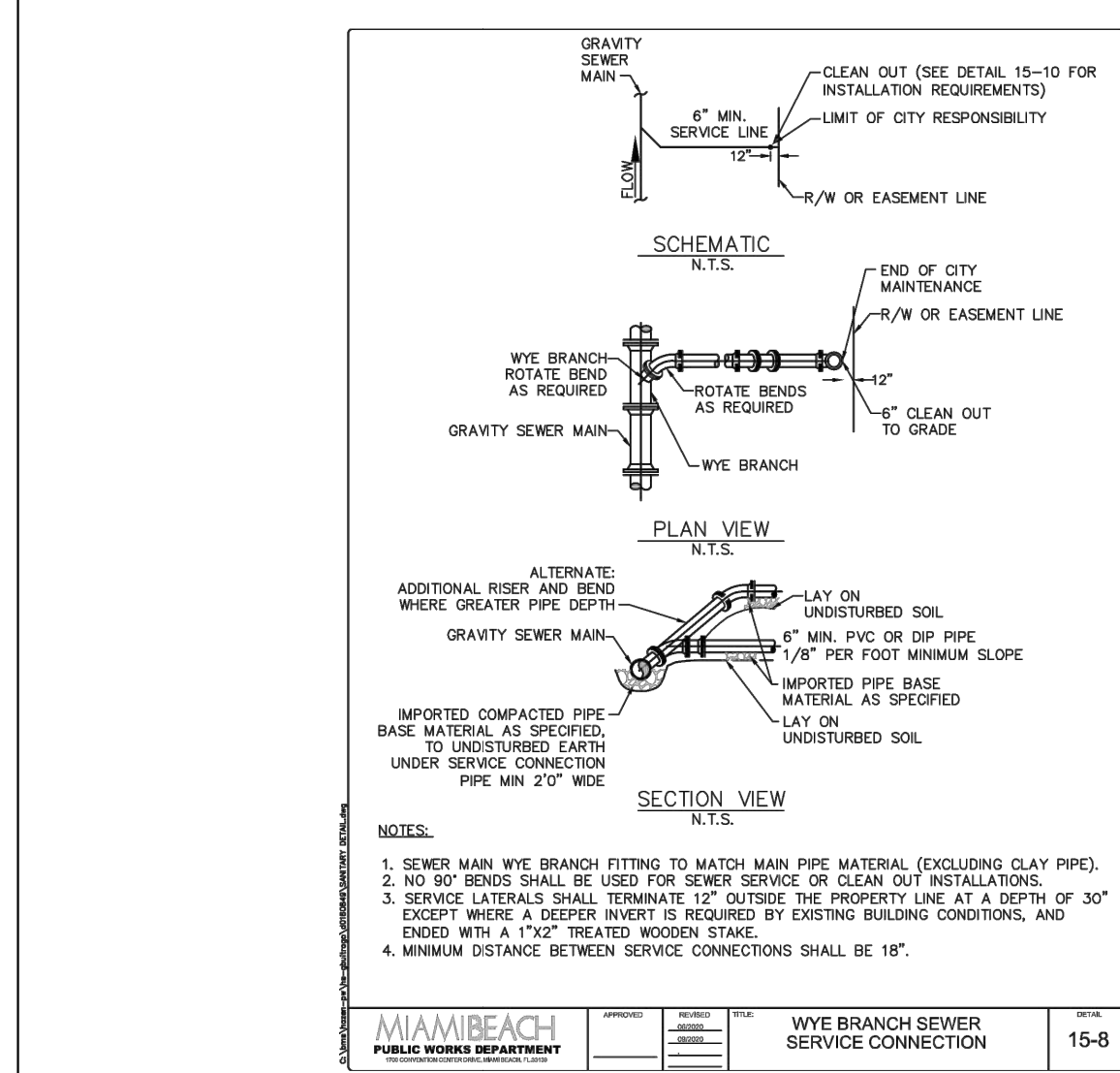
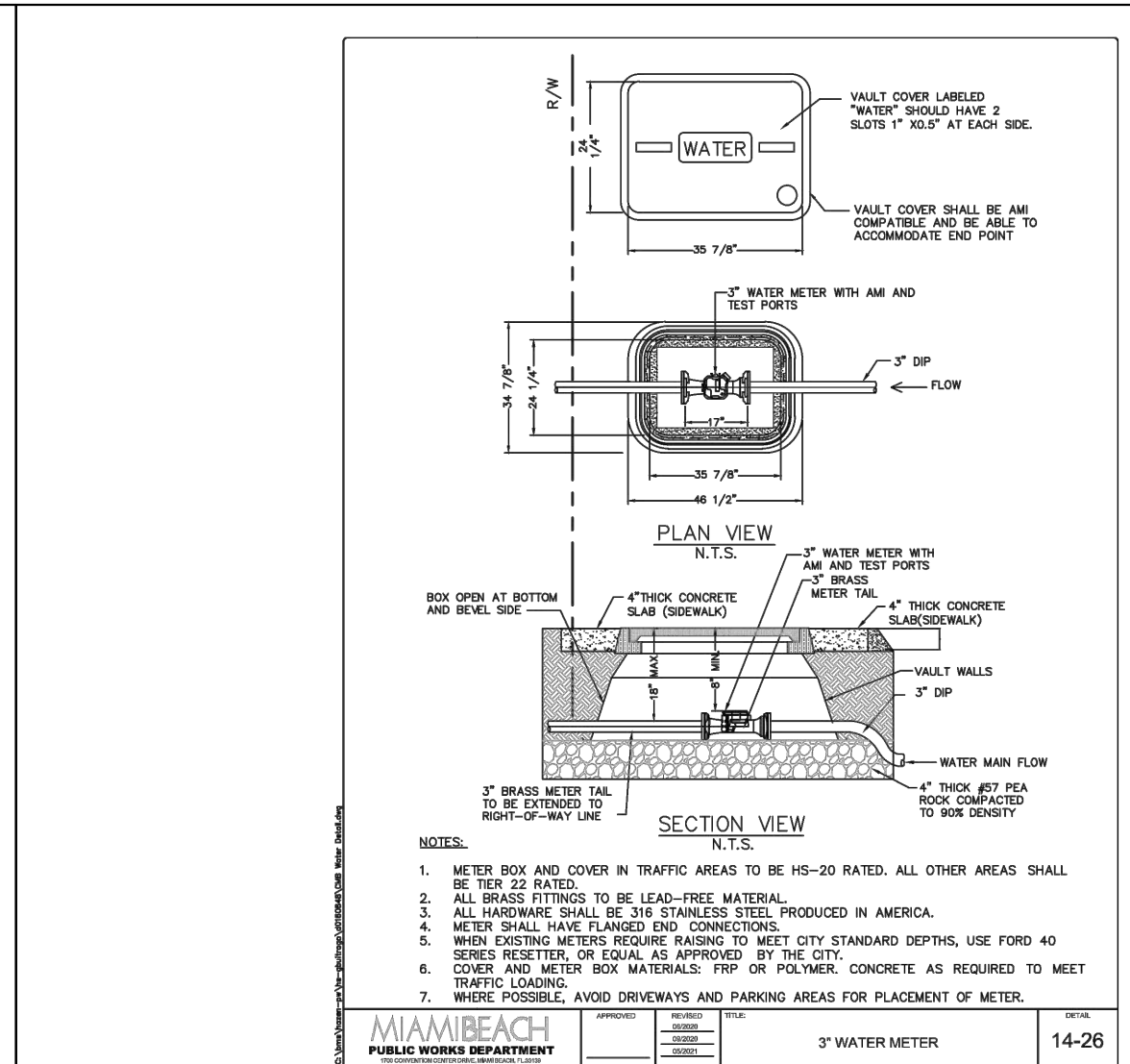
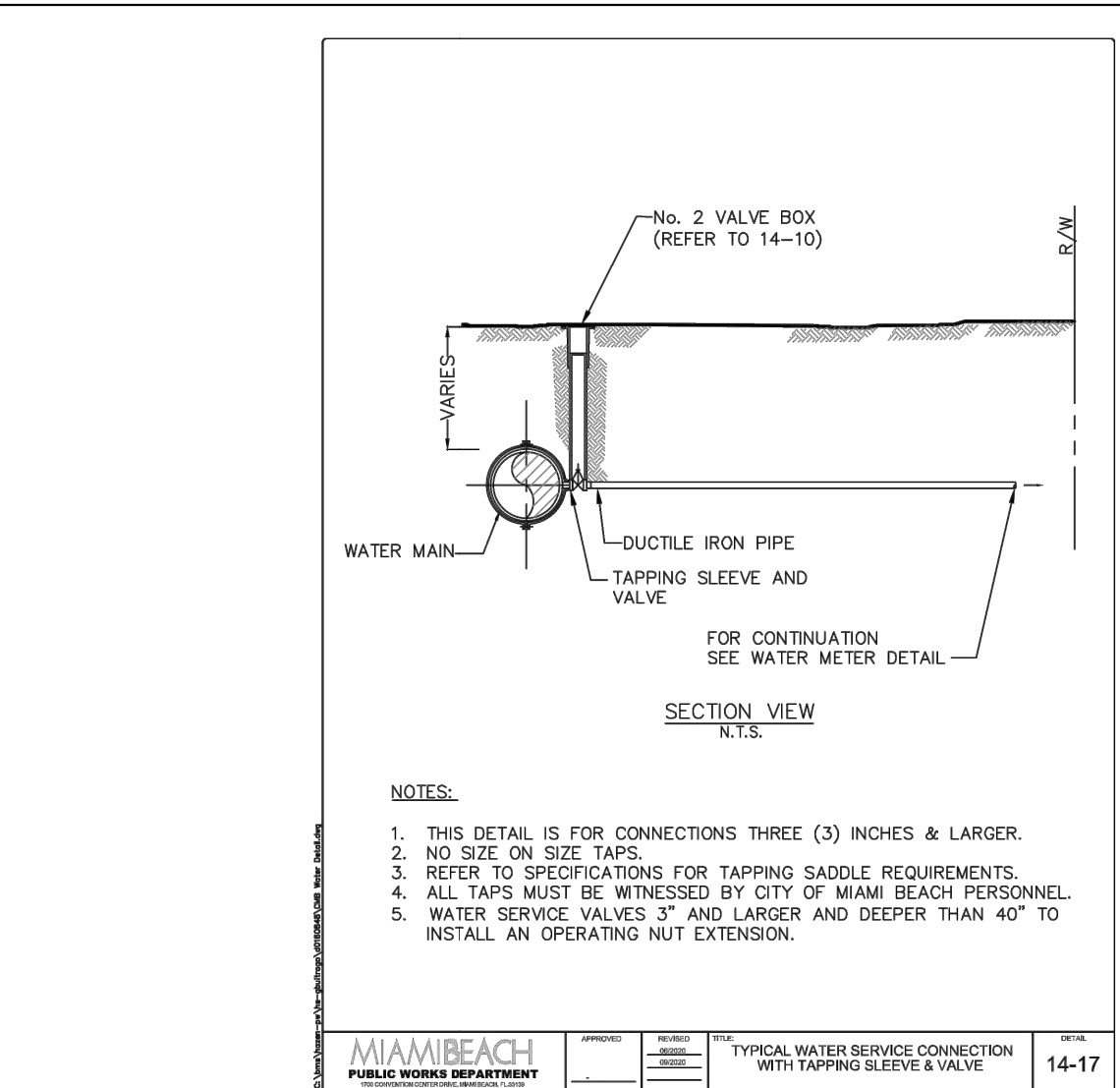
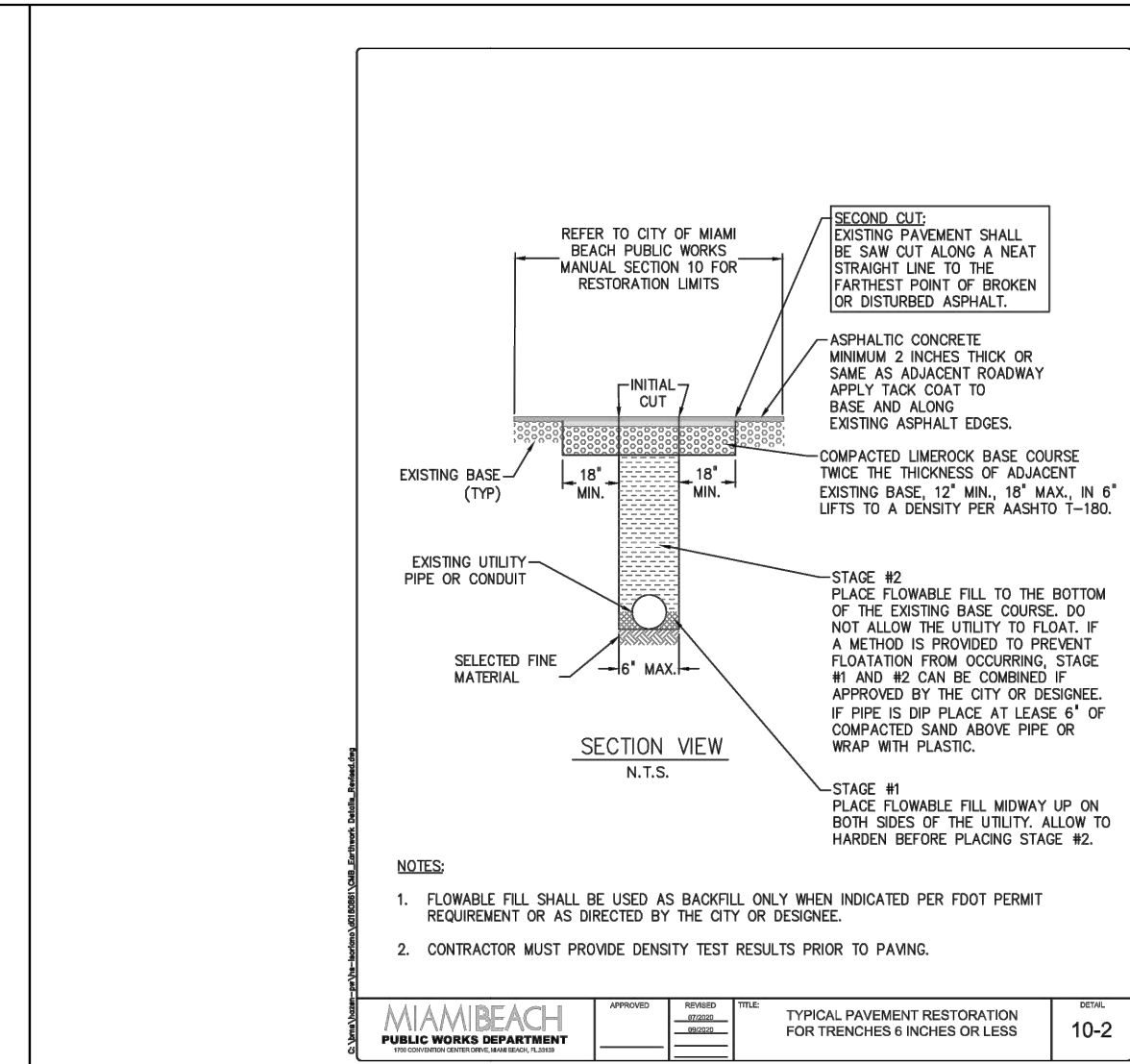
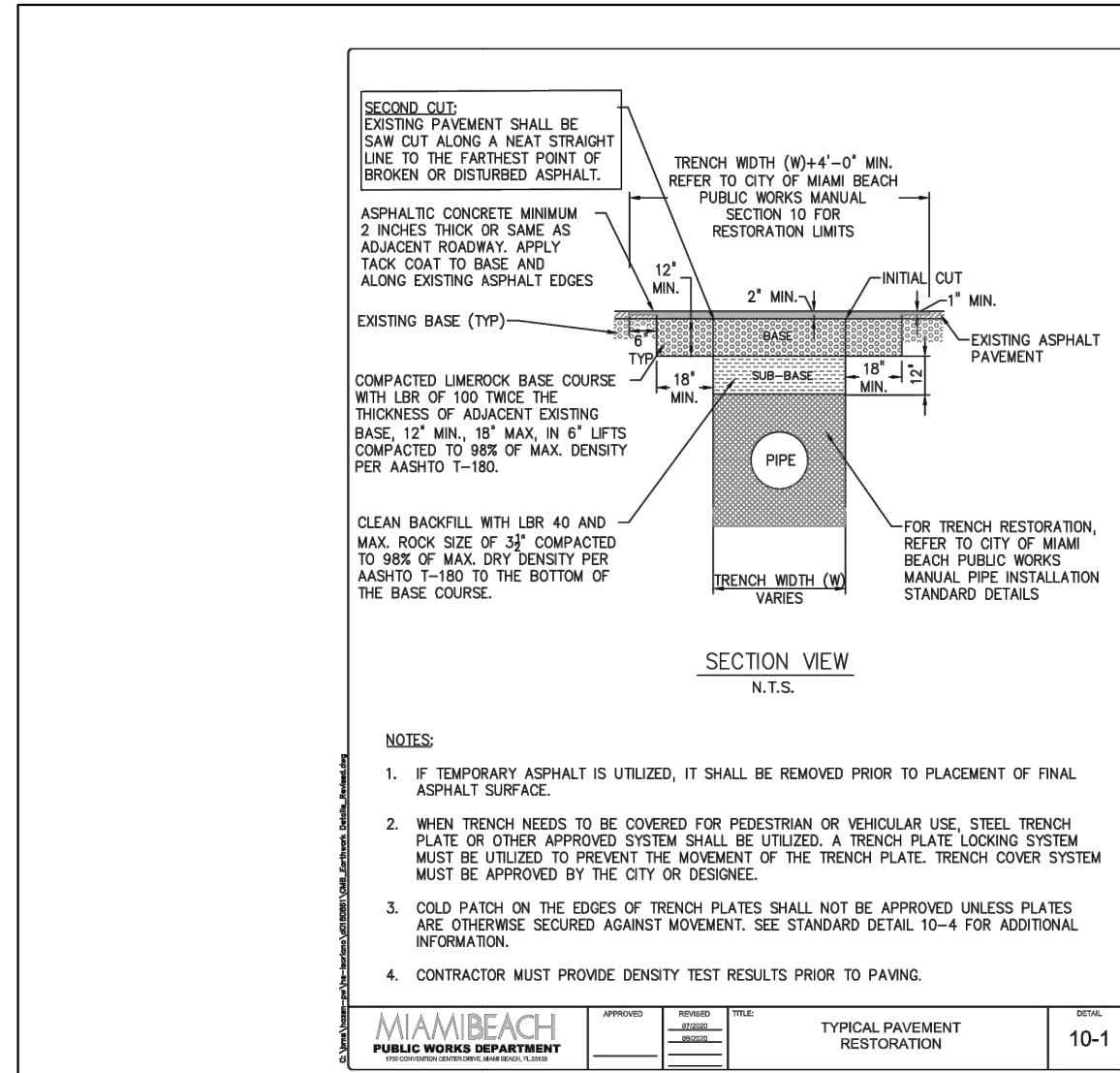
LICENSED PROFESSIONAL
CARLOS H. FLORIAN
FLORIDA LICENSE NUMBER
80500

**WATER AND SEWER
NOTES**

Kimley»Horn
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
8201 PETERS ROAD, SUITE 2200, PLANTATION, FL 33324
PHONE: 954-535-5100 FAX: 954-739-2247
WWW.KIMLEY-HORN.COM REGISTRY No. 35106

REVISIONS
No. DATE BY

Plotted By: Colby, Jimmy - Sheet Set: 1920 ALTON ROAD - Layout: C602 - COMB STANDARD DETAILS - October 05, 2022 - 03:54:09pm - K:\YU-ctul\143 jobs\143589001.mbd - 1920 alton road\CAD\plansheets\C602 Water and Sewer Details.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



NO.	REVISIONS	DATE	BY

Kimley-Horn

© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 8201 PETERS ROAD, SUITE 2200, PLANTATION, FL 33324
 PHONE: 954-535-5100 FAX: 954-739-2247
 WWW.KIMLEY-HORN.COM REGISTRY No. 35106

LICENSED PROFESSIONAL

KHA PROJECT 143589001

DATE: SEPT 2022

SCALE: AS SHOWN

DESIGNED BY: JC

DRAWN BY: JC

CHECKED BY: CF

DATE: 10/6/2022

CARLOS H. FLORIAN
 FLORIDA LICENSE NUMBER 80500

COMB STANDARD DETAILS

1920 ALTON ROAD
 PREPARED FOR
 ALTON OFFICE
 HOLDINGS II, LLC.

CITY OF MIAMI BEACH FLORIDA

SHEET NUMBER
C602

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON BASED NGVD 1929.

811 KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG

It's fast. It's free. It's low.

www.callsunshine.com