

 **SURVEY**  
SCALE:  $\frac{1}{8}$ " = 1'-0"

**NOTE:**

SURVEY PROVIDED FOR REFERENCE AND INFORMATIONAL PURPOSES ONLY. A SIGNED & SEAL VERSION FROM THE PROFESSIONAL SURVEYOR SHALL BE MADE AVAILABLE UPON REQUEST.

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**A-0.1**

REFERENCE SURVEY

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REVISIONS:

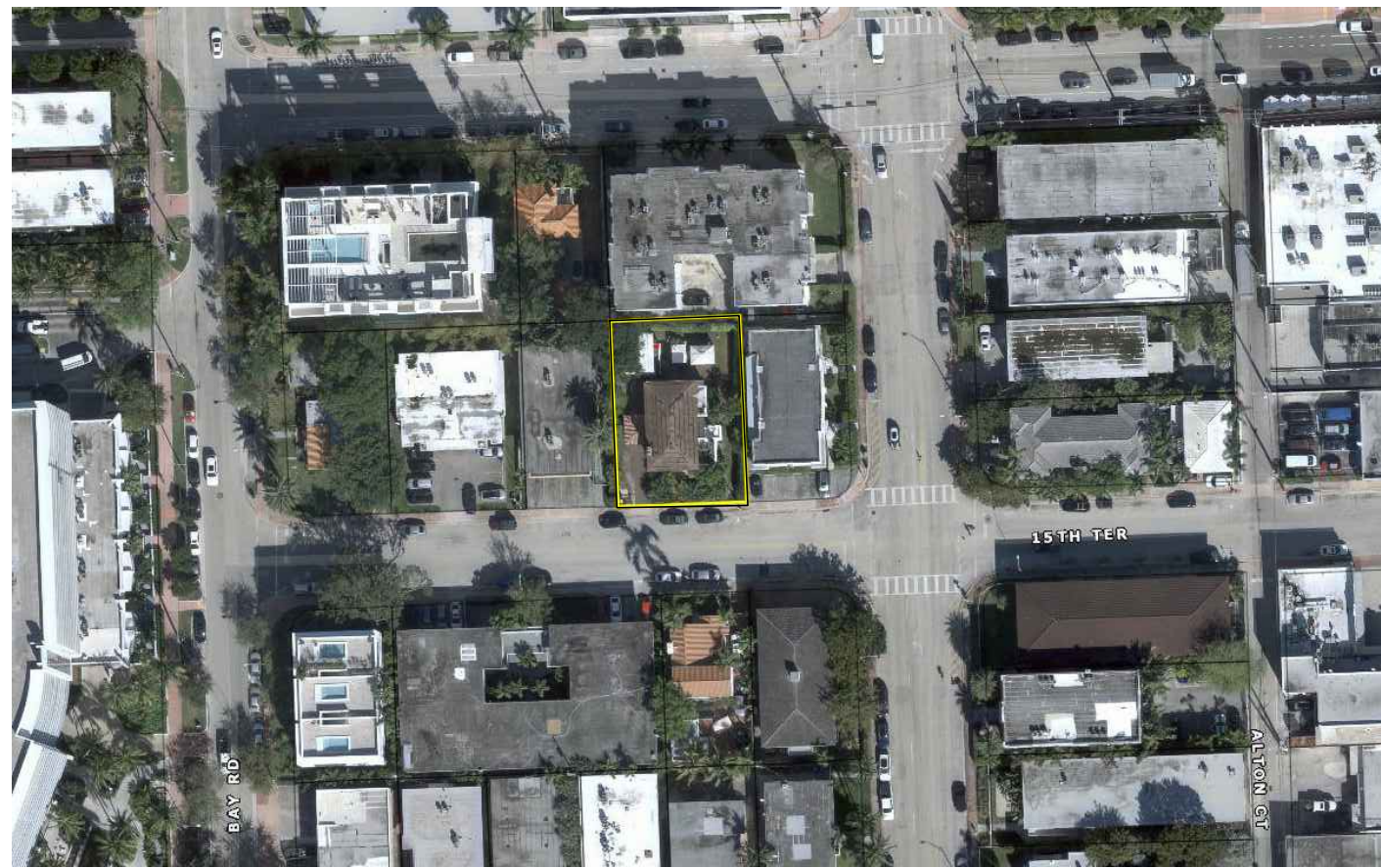
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ANTHONY LEON  
0006/62

**3 DESIGN**  
ARCHITECTURE

3260 NW 7TH ST, Miami, FL 33126  
P: 305.438.9377 | F: 305.438.9379

MULTI-FAMILY UNITS  
1311 15th TER  
MIAMI BEACH, FL 33139





 **LOCATION**  
SCALE N.T.S



**STREET VIEW 15 TER**  
SCALE N.T.S



**STREET VIEW 15 TER**  
SCALE N.T.S



**DRIVEWAY EXISTING**  
SCALE N.T.S



**SIDEYARD EXISTING**  
SCALE N.T.S



**BUILDING EXISTING**  
SCALE N.T.S



**BUILDING EXISTING**  
SCALE N.T.S



**BUILDING EXISTING**  
SCALE N.T.S



**REAR YARD EXISTING**  
SCALE N.T.S



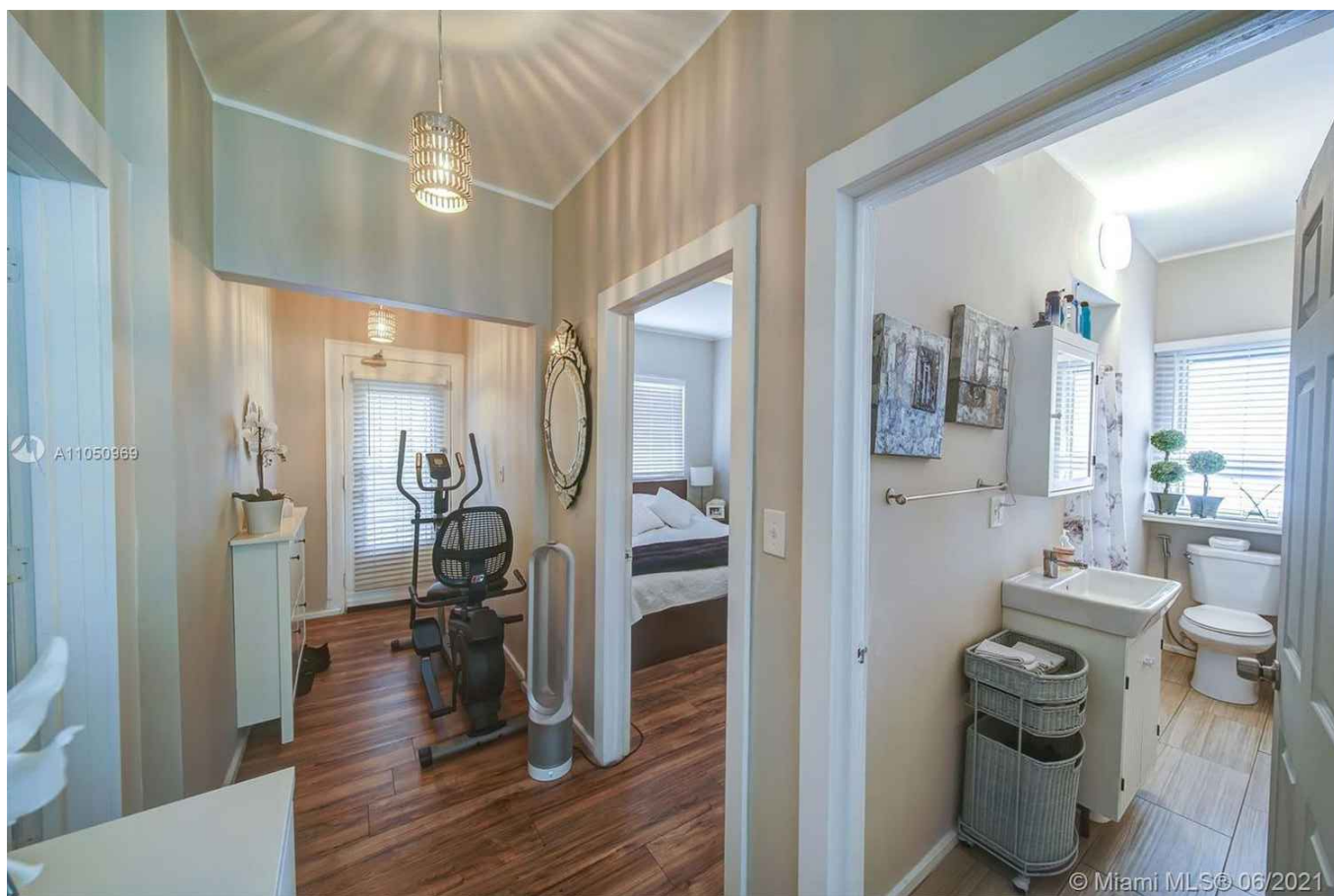
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SCALE N.T.S



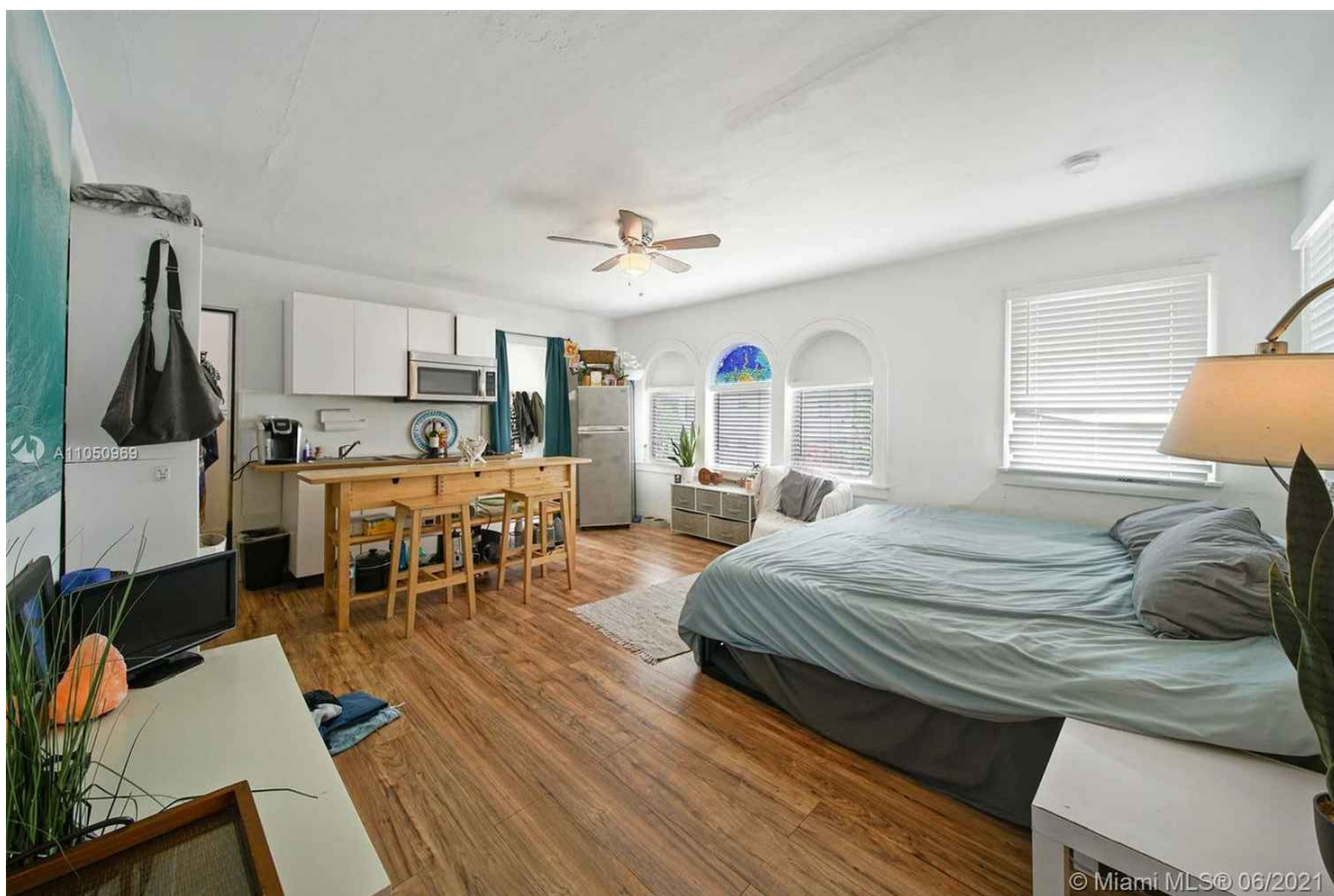
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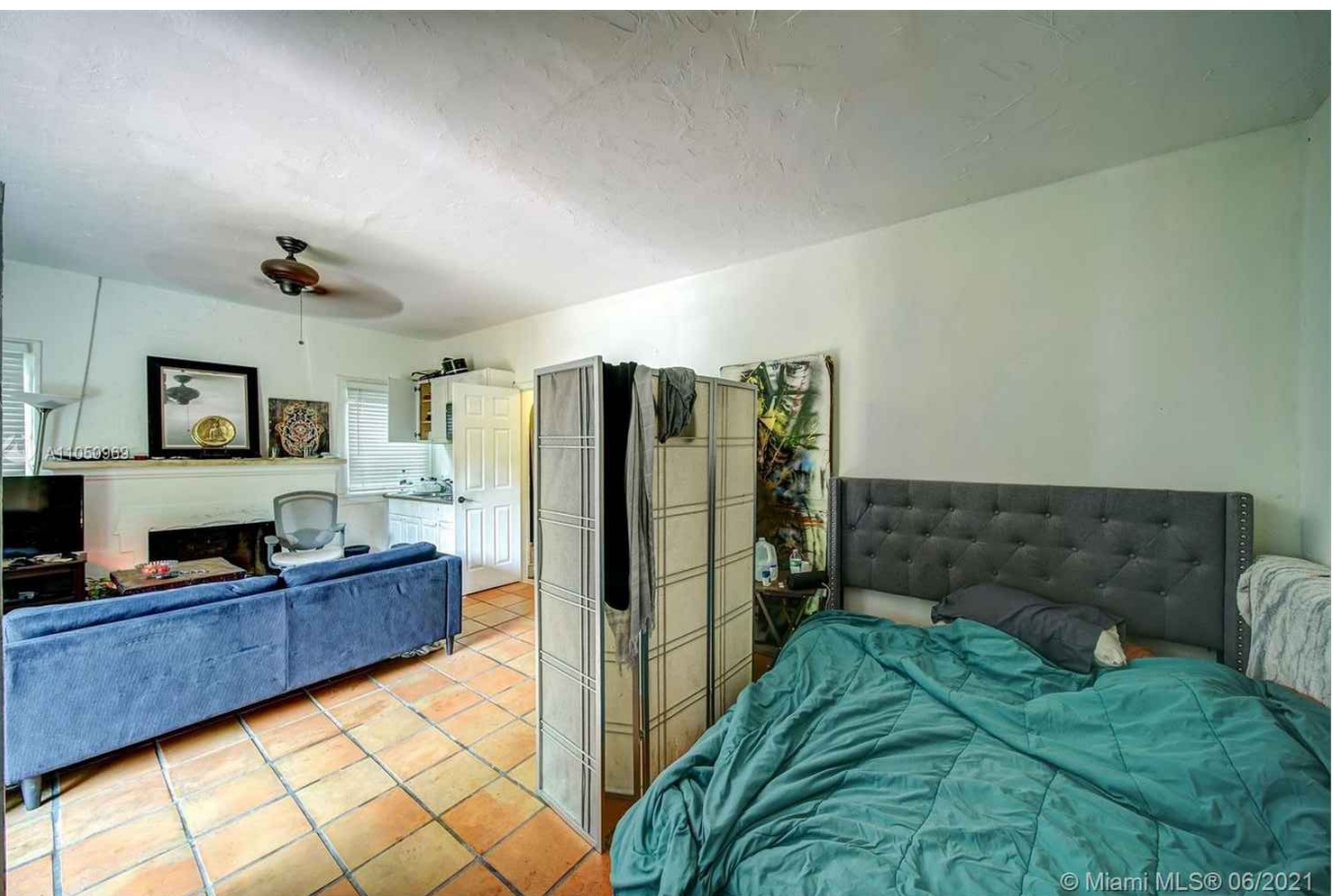
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SCALE N.T.S



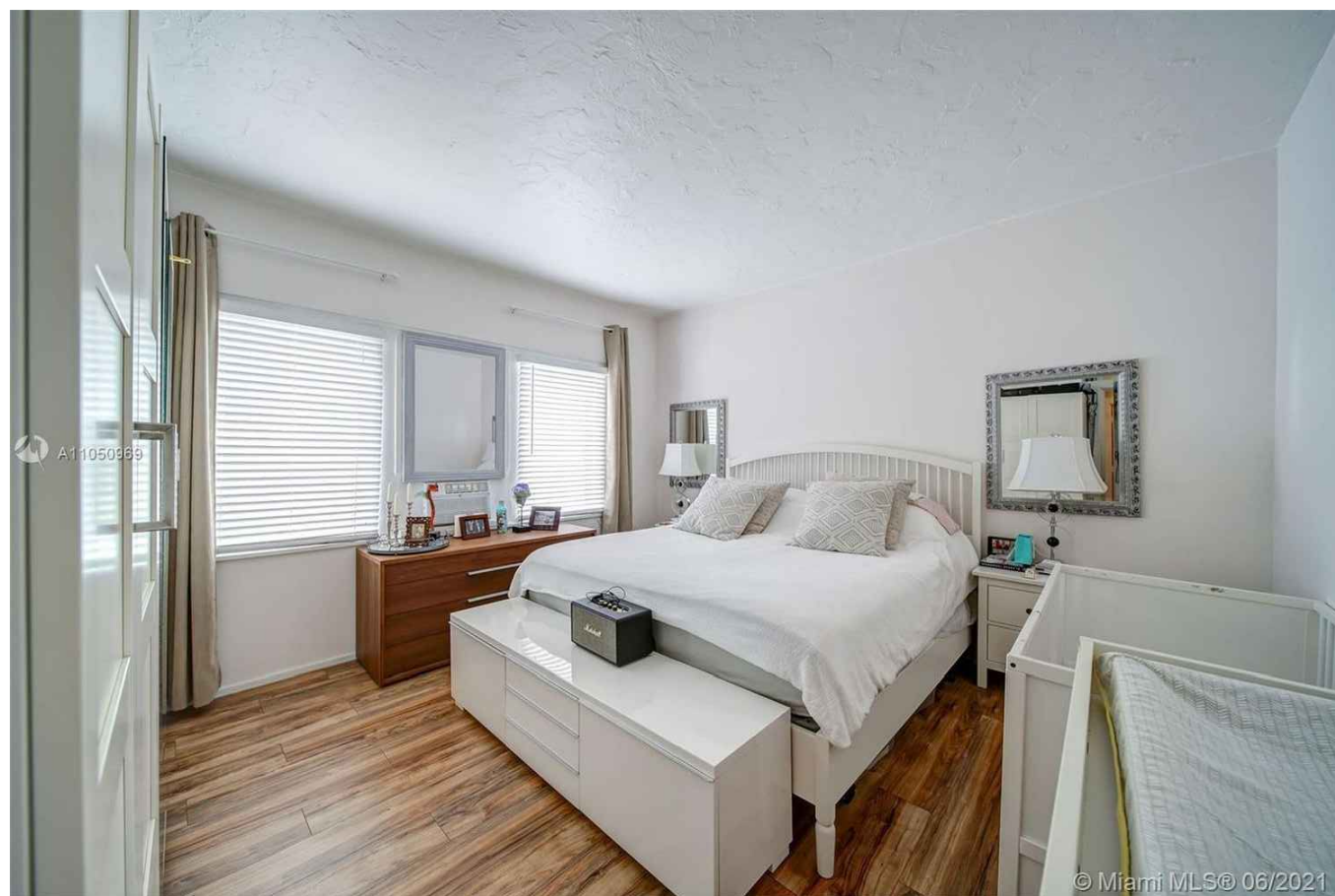
**BATHROOM & BEDROOM EXISTING**  
SCALE N.T.S



**STUDIO EXISTING**  
SCALE N.T.S



**STUDIO EXISTING**  
SCALE N.T.S



**BEDROOM EXISTING**  
SCALE N.T.S

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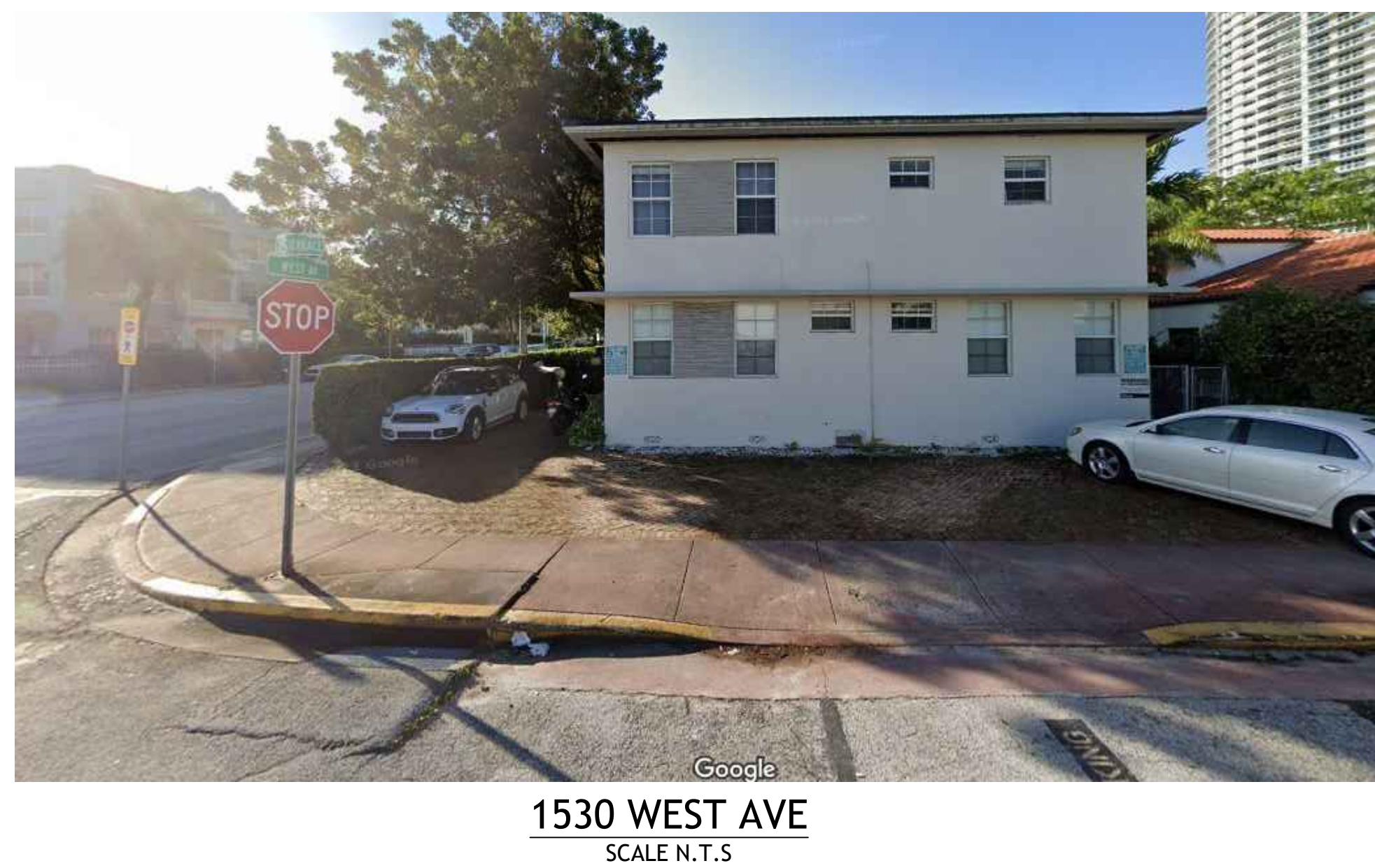
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BUILDING EXISTING





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T APPROVALS ARE OBTAINED.

# A-0.4

## CONTEXT PICTURES





LOCATION  
SCALE N.T.S.



1560 WEST AVE  
SCALE N.T.S.



1501 BAY RD  
SCALE N.T.S.



1335 15 TER  
SCALE N.T.S.



1577 BAY RD  
SCALE N.T.S.



1501 BAY RD  
SCALE N.T.S.



1445 WEST AVE  
SCALE N.T.S.



1535 WEST AVE  
SCALE N.T.S.

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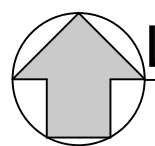
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CONTEXT PICTURES







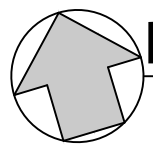
# MIAMI BEACH

ITEM #	PROJECT INFORMATION				
1	ADDRESS:	1311 15 TER, MIAMI BEACH, FL 33139			
2	FOLIO NUMBER:	02-3233-016-0050			
3	BOARD AND FILE NUMBER:				
4	YEAR BUILT:	N/A	ZONING DISTRICT:	RM-1	
5	BASE FLOOD ELEVATION:	8'	GRADE VALUE IN NGVD:	4.17' NGVD	
6	ADJUSTED GRADE (FLOOD+GRADE/2):	5.62' NGVD	FREE BOARD:	1'	
7	LOT AREA:	7,500 SQ FT			
8	LOT WIDTH:	75'	LOT DEPTH:	100'	
9	MINIMUM UNIT SIZE:	550 SQ FT	AVERAGE UNIT SIZE:	1300 SQ FT	
9	EXISTING USE:	30 - MULTI-FAMILY, LOW-DENSITY	PROPOSE USE: 0803 MULTIFAMILY 2-9 UNITS : MULTIFAMILY 3 OR MORE UNITS. SEC 142-152 (3)		
	ZONING INFORMATION/ CALCULATIONS	REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
10	MAX LOT COVERAGE FT 45 %:	3,375 SF (45%)		3,205.73 S.F. (42.74%)	
11	HEIGHT	55'	+25'-0"	+52.7'	
12	# OF STORIES		2 STORIES	5 STORIES	
13	FAR	(1.25) 9,375 SQ FT	N/A	9,162.33 SQ FT	
14	GROSS SQUARE FOOTAGE		3,216 SQ FT	17,897.46 SQ FT	
15	SQUARE FOOTAGE BY USE	N/A	N/A	*****	
16	# OF UNITS RESIDENTIAL	LOW DENSITY	7	6	
17	# OF UNITS HOTEL	N/A			
18	# OF SEATS	N/A			
19	OCCUPANCY LOAD			R-1	
20					
	SETBACKS	REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
	SUBTERRANEAN				
21	FRONT SETBACK	20 FT		N/A	
22	SIDE SETBACK	10 FT		N/A	
23	SIDE SETBACK	10 FT		N/A	
24	SITE SETBACK FACING STREET	10 FT		N/A	
25	REAR SETBACK	10% = 10%		N/A	
26	AT GRADE PARKING				
27	FRONT SETBACK	20 FT		20.00'	
28	SIDE SETBACK	10 FT		10.00'	
29	SIDE SETBACK	10 FT		10.00'	
30	SITE SETBACK FACING STREET	10 FT or 8%			
31	REAR SETBACK	10%=10 ft		10.00'	
	PEDESTAL				
32	FRONT SETBACK	20 FT		20.00'	
33	SIDE SETBACK	10 FT		10.00'	
34	SIDE SETBACK	10 FT		10.00'	
35	SITE SETBACK FACING STREET	N/A		N/A	
36	REAR SETBACK	10 FT		10.00'	
	TOWER				
37	FRONT SETBACK	20 FT		20'	
38	SIDE SETBACK	25%		14.62'	
	PARKING	REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
39	PARKING DISTRICT	1	1	1	
40	# OF PARKING SPACES:	6	5	5 + ADA	
41	# OF PARKING SPACES PER USE:	N/A	N/A	N/A	
42	(PROVIDE SEPARATE CHART FOR A BREAKDOWN CALCULATION)				
43	# OF PARKING SPACES PER LEVEL:	N/A	N/A	N/A	
44	PARKING SPACE DIMENSION:	8'-6" x 18'-0"		8'-6" x 16'-10"	VARIANCE
45	PARKING SPACE CONFIG.: (45°-90°-90°-PARALLEL)	N/A		90°	
46	ADA SPACES:	1		1	VARIANCE
47	TANDEM SPACES:	0		0	
48	DRIVE AISLE WIDTH:	0		21'-0" Two way traffic	VARIANCE
49	VALET DROP OFF AND PICK UP	NONE	NONE	NONE	
50	LOADING ZONE AND TRASH			ENCLOSED: 4'-2" x 8'-8"	
51	COLLECTION AREAS				
52	RACKS	0	0	0	

**WALL LEGEND (PLAN)**

	NEW CONCRETE WALL
	NEW STUD PARTITION WALL

**DIMENSION LINES ARE FROM FACE TO FACE  
OF METAL STUD WALL AND/OR CMU &/OR  
CONCRETE WALL (U.O.N.)**



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**A-1.0**

**DATA-SITE PLAN**

3  
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MULTI-FAMILY UNITS  
1311 15th TER  
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LOT COVERAGE

OPEN SPACE AREA

GREENSPACE AREA

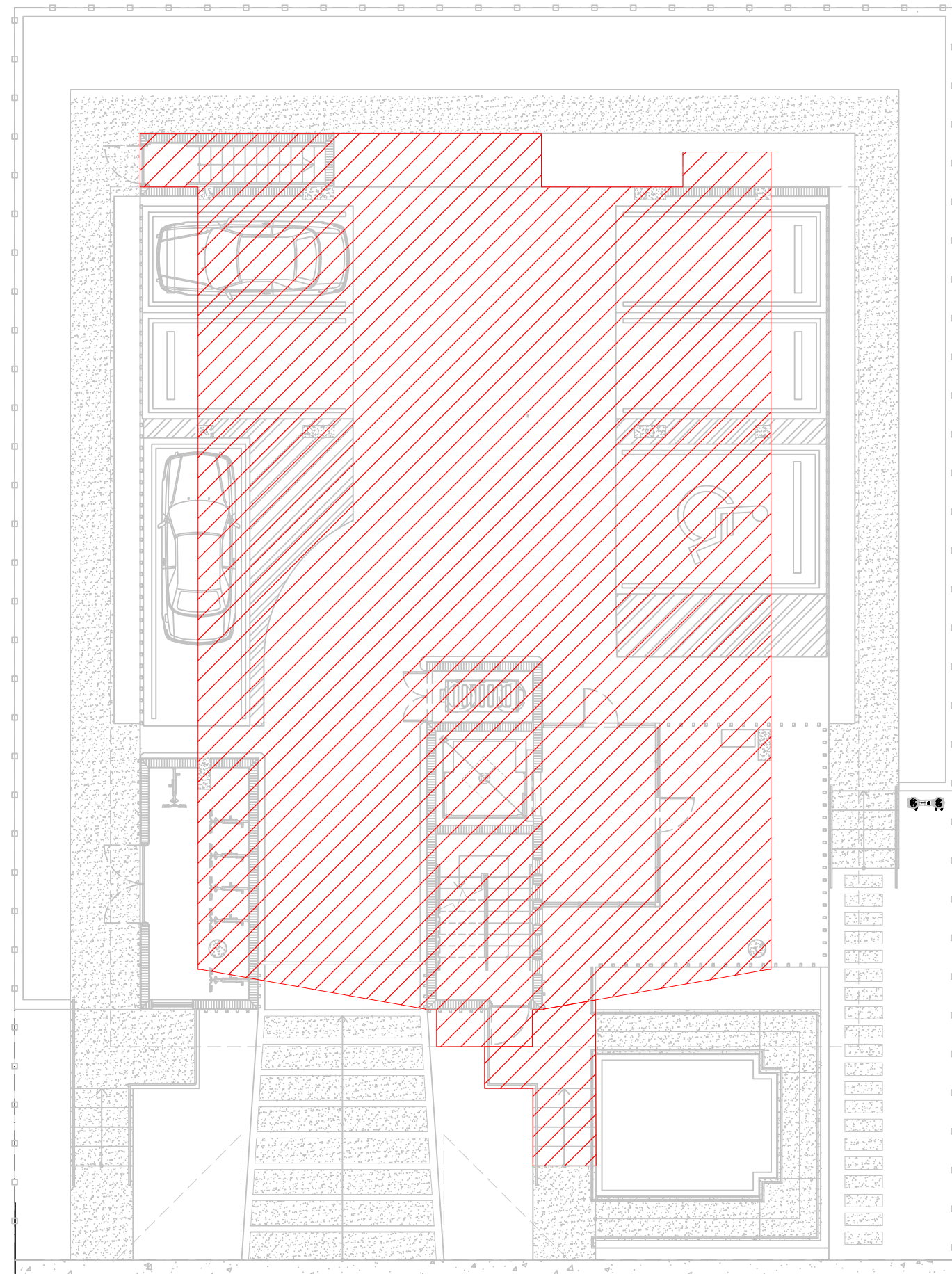
F.A.R

PERMEABLE AREA PROPOSED

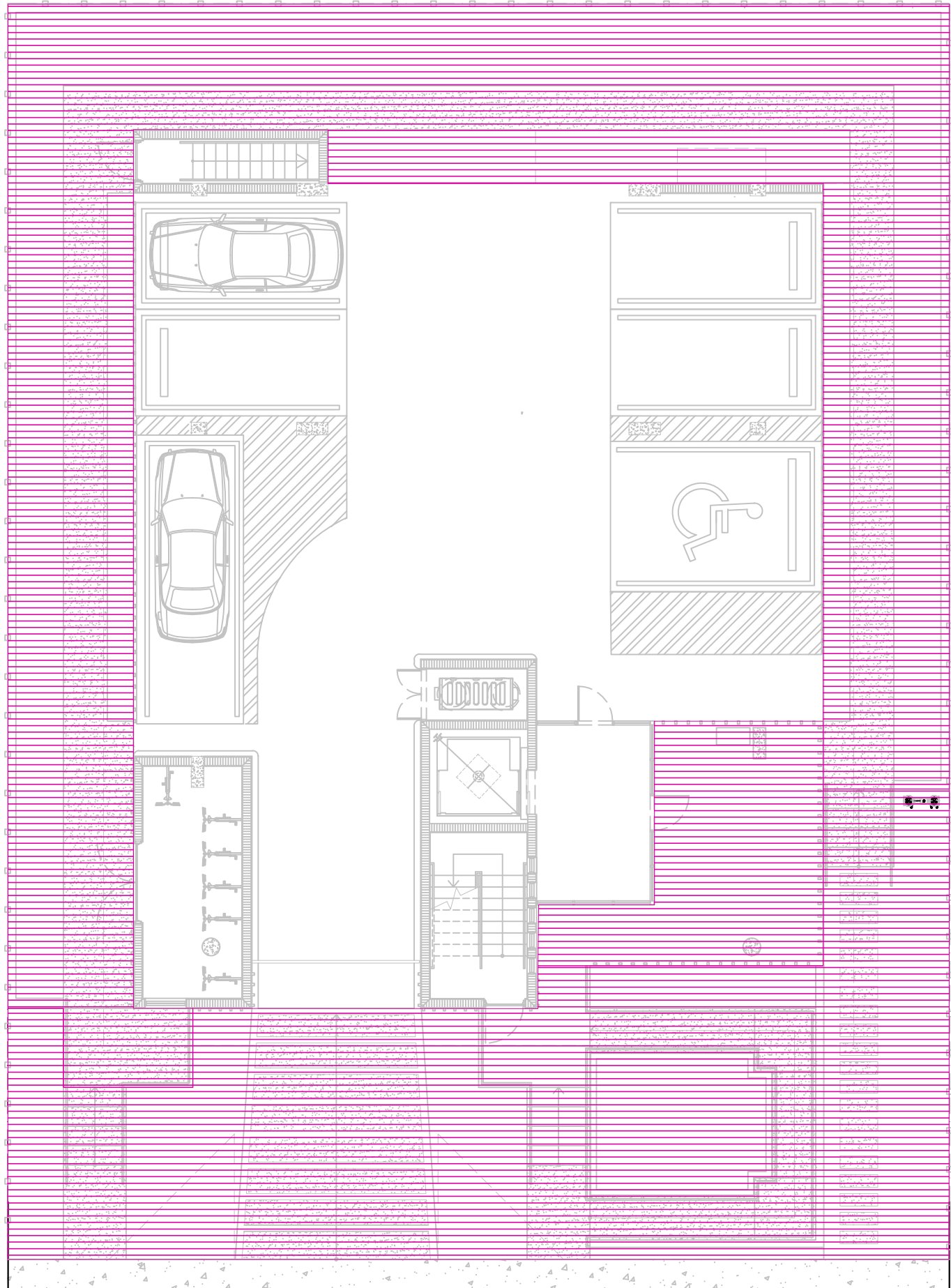
FLOOR AREA RATIO:

FAR ALLOWED RM-1:  
1.25 X 7,500 SF = 9,375 SF

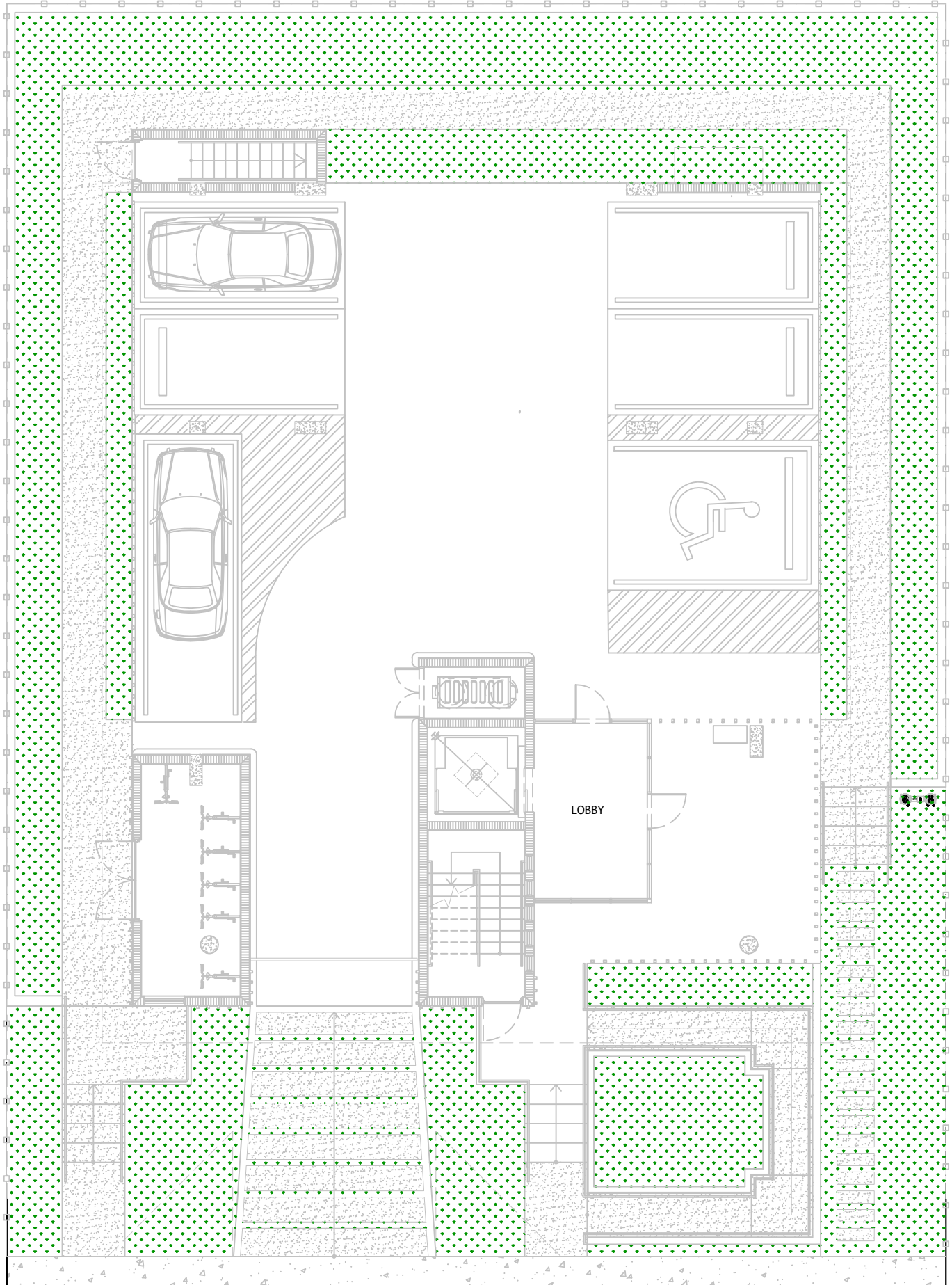
FAR PROVIDED:  
UNITS 1,310.58 SF X 6 = 7,999.19 SF  
STAIRS, ELEVATOR AND HALLWAYS: 1,163.14 SF  
TOTAL 9,162.62 SF



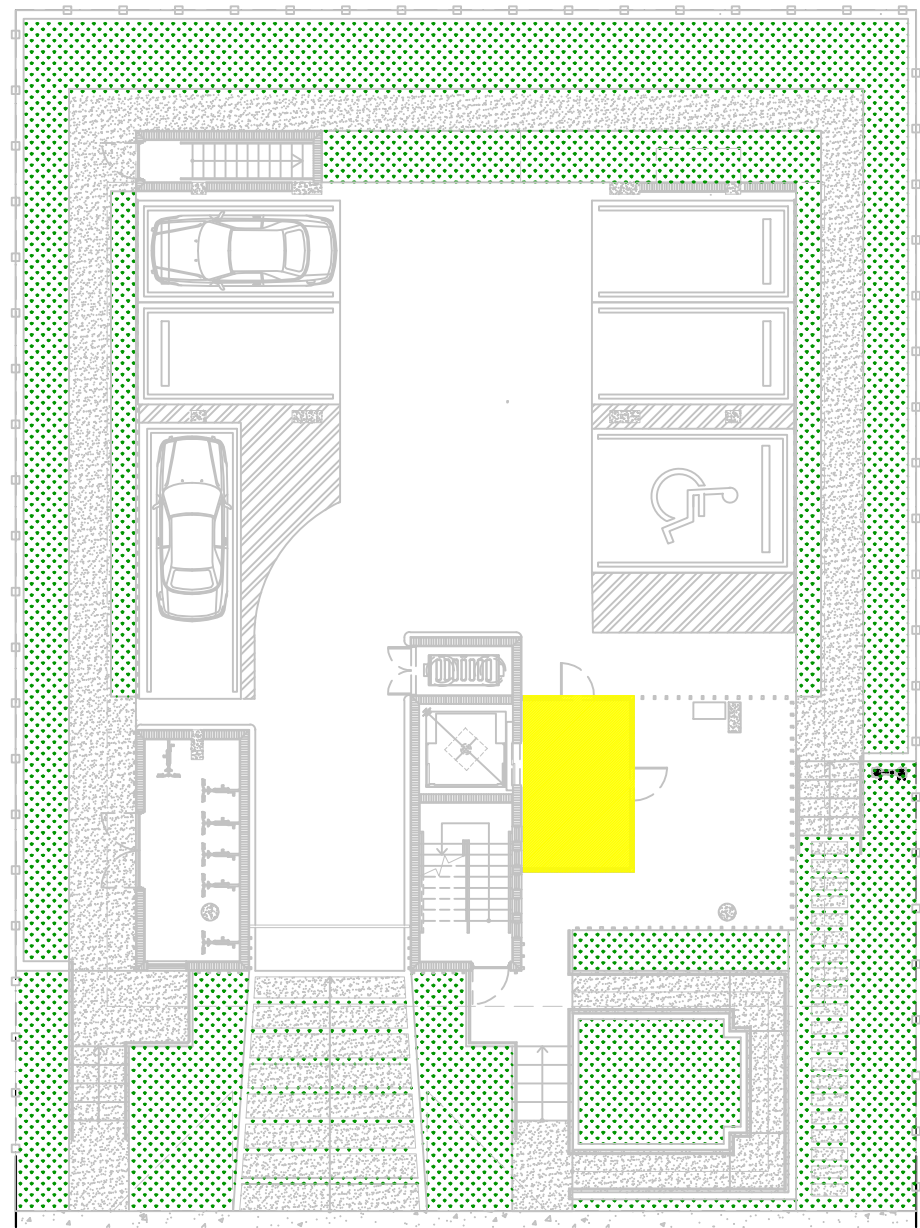
LOT COVERAGE: SCALE: 3/32" - 1'-0"  
ZONING DISTRICT: RM-1  
LOT AREA: 7,500 SF (75'x100')  
MAX. LOT COVERAGE 45%: 3,375 SF  
LOT COVERAGE PROPOSED 42.74%: 3,205.73 SF  
RAMP, DRIVEWAYS, WALKWAYS WILL BE PERMEABLE BY WAIVER.



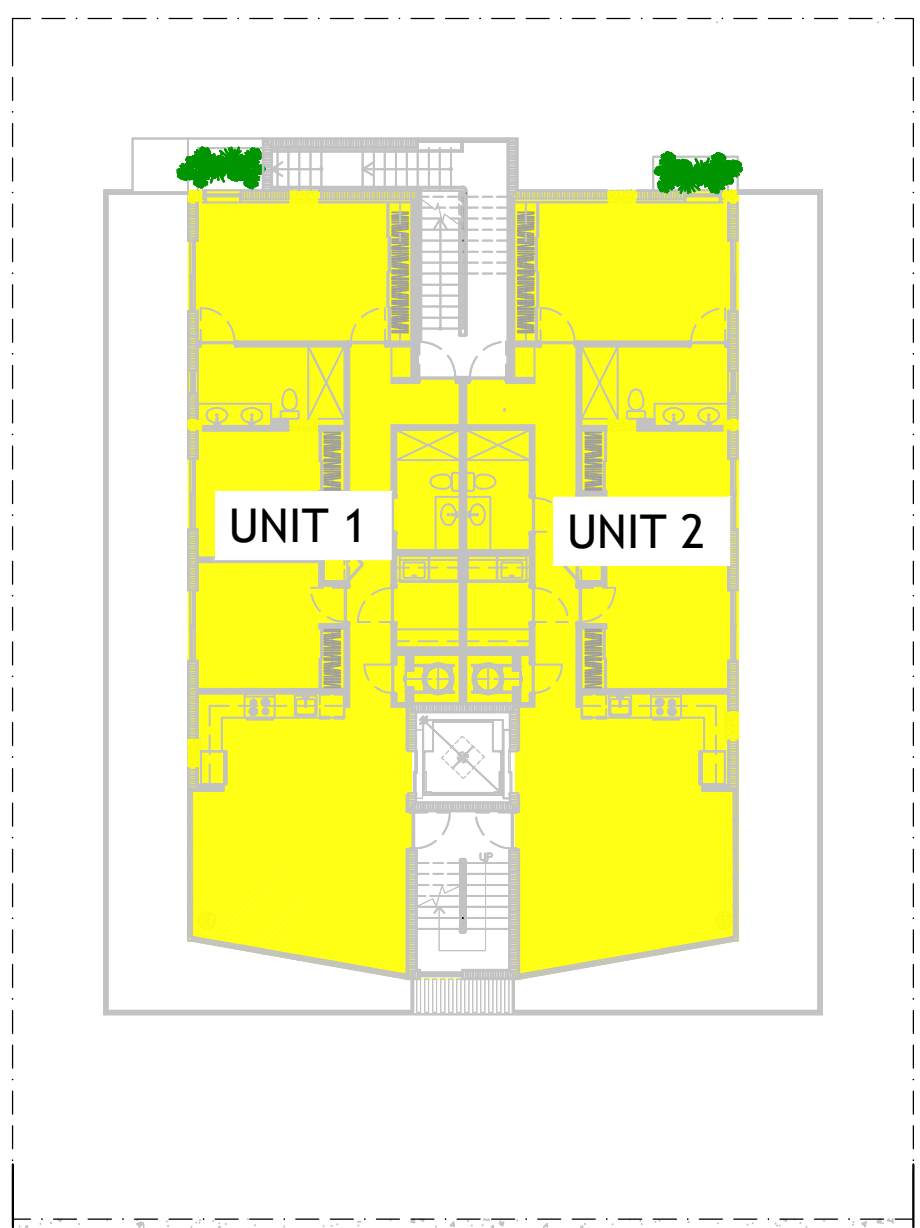
OPEN SPACE AREA: SCALE: 3/32" - 1'-0"  
LOT AREA: 7,500 SF (75'x100')  
MAX. LOT COVERAGE 45%: 3,375 SF  
OPEN SPACE REQUIRED 55%: 4,125 SF  
OPEN SPACE PROPOSED 56%: 4,206.76 SF



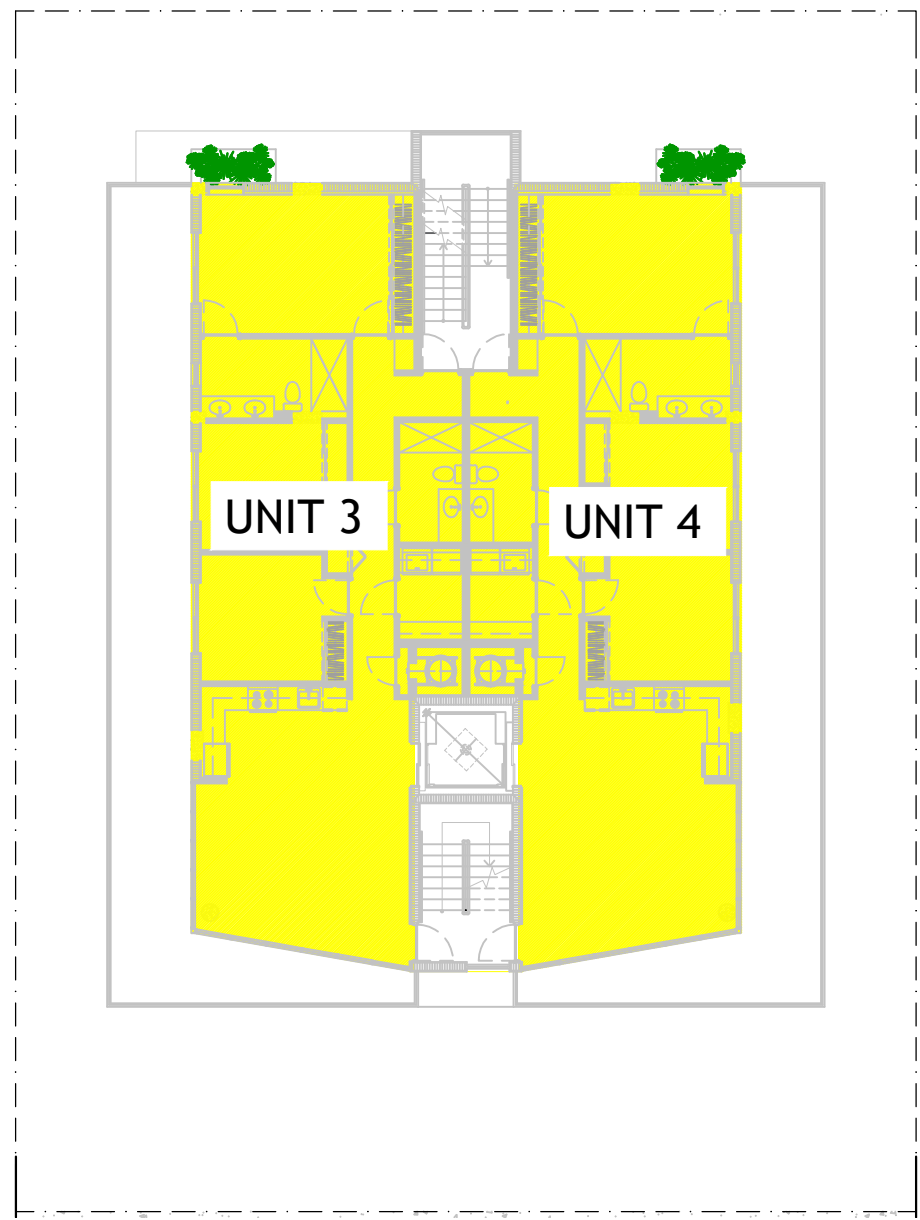
GREEN SPACE AREA: SCALE: 3/32" - 1'-0"  
MAX. LAWN AREA  
% OF REQUIRED OPEN SPACE  
RM-1 30% REQUIRED= 1237.5 SF  
GREENSPACE PROPOSED: 27%= 1,121.37 SF  
PERMEABLE AREA DRIVEWAYS, WALKWAY, RAMP.



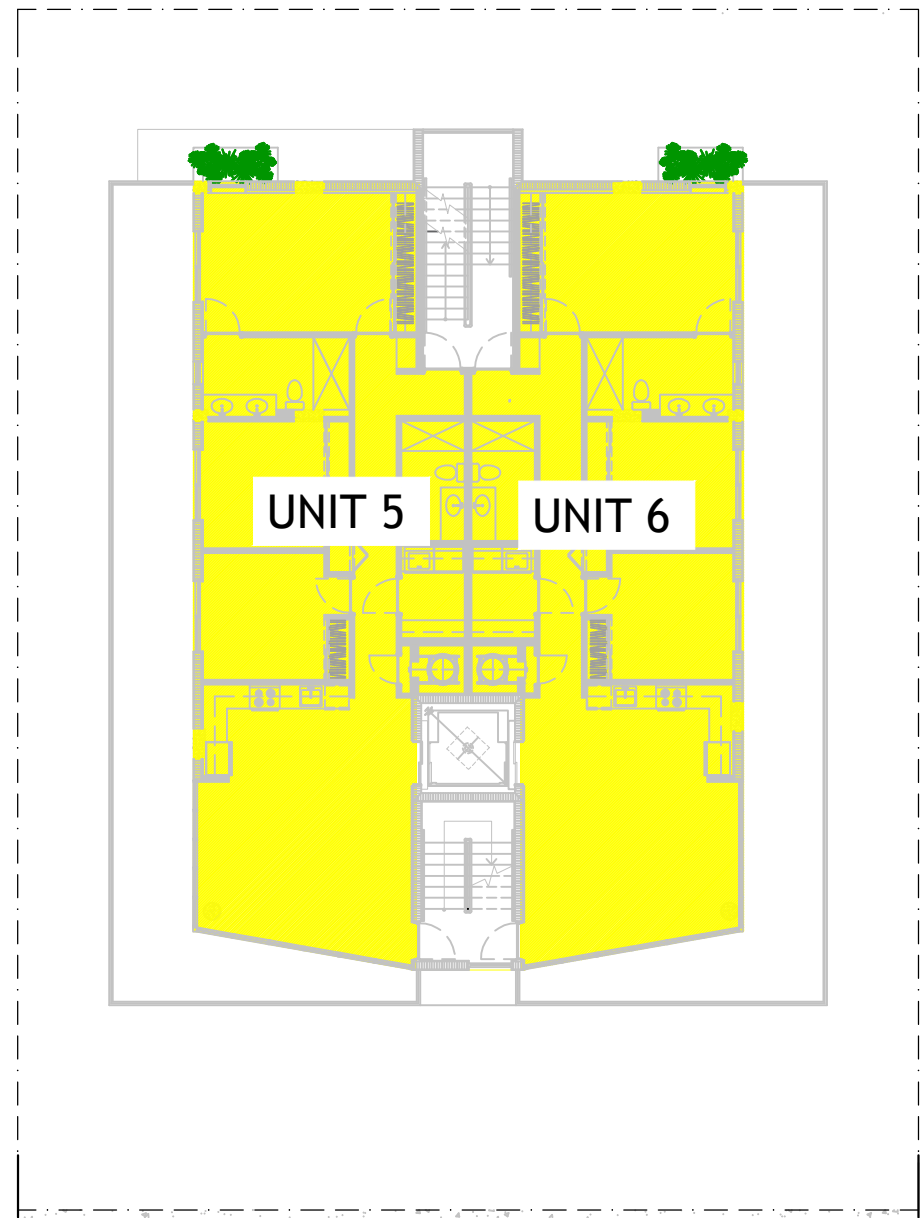
1ST FLOOR F.A.R  
SCALE: 1/16" - 1'-0"



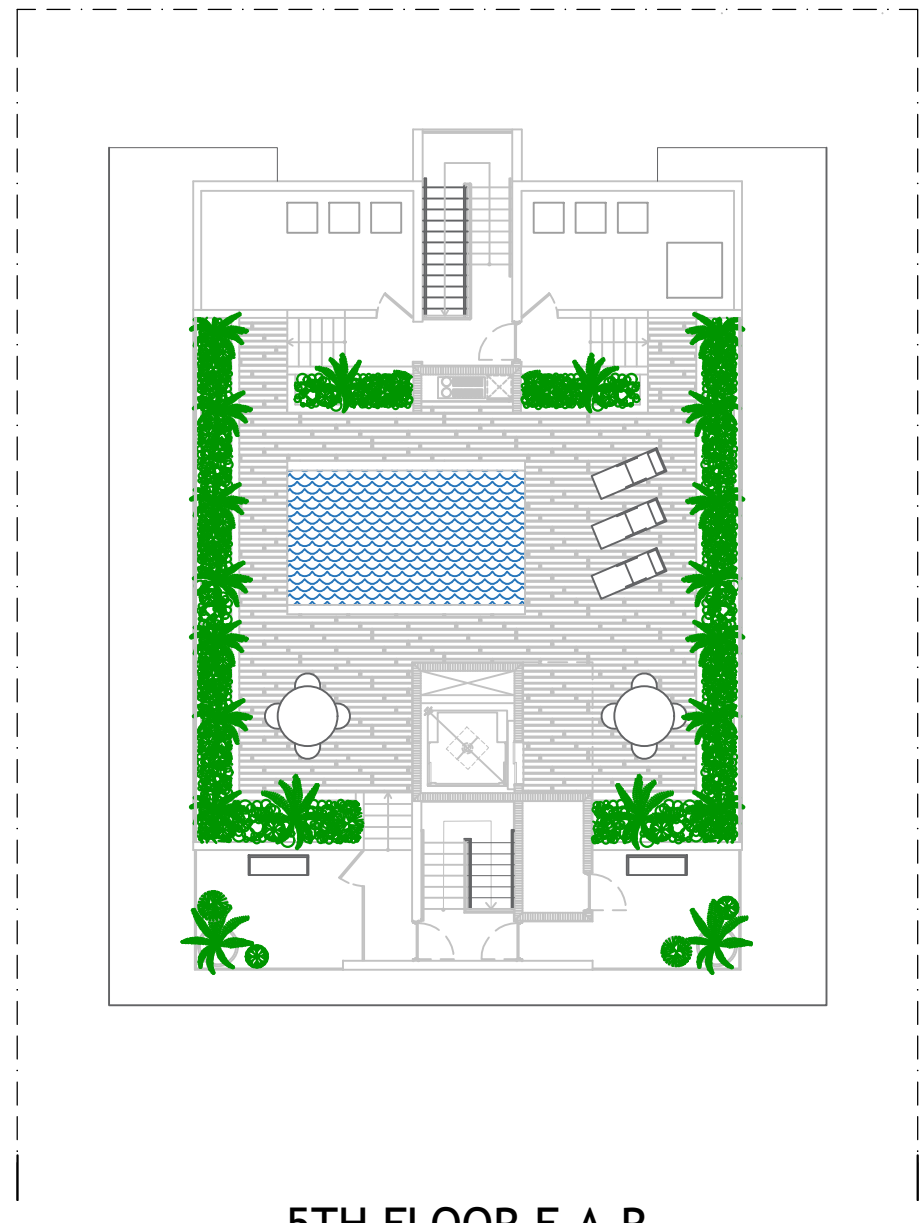
2ND FLOOR F.A.R  
SCALE: 1/16" - 1'-0"



3RD FLOOR F.A.R  
SCALE: 1/16" - 1'-0"



4TH FLOOR F.A.R  
SCALE: 1/16" - 1'-0"



5TH FLOOR F.A.R  
SCALE: 1/16" - 1'-0"

UNDER AC SQ. FT.

1ST FLOOR	135.71 SF
2nd FLOOR	
UNIT 1	1,310.58 SF
UNIT 2	1,310.58 SF
3rd FLOOR	
UNIT 3	1,310.58 SF
UNIT 4	1,310.58 SF
4th FLOOR	
UNIT 5	1,310.58 SF
UNIT 6	1,310.58 SF
TOTAL	7,999.19 SF

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REVISIONS:

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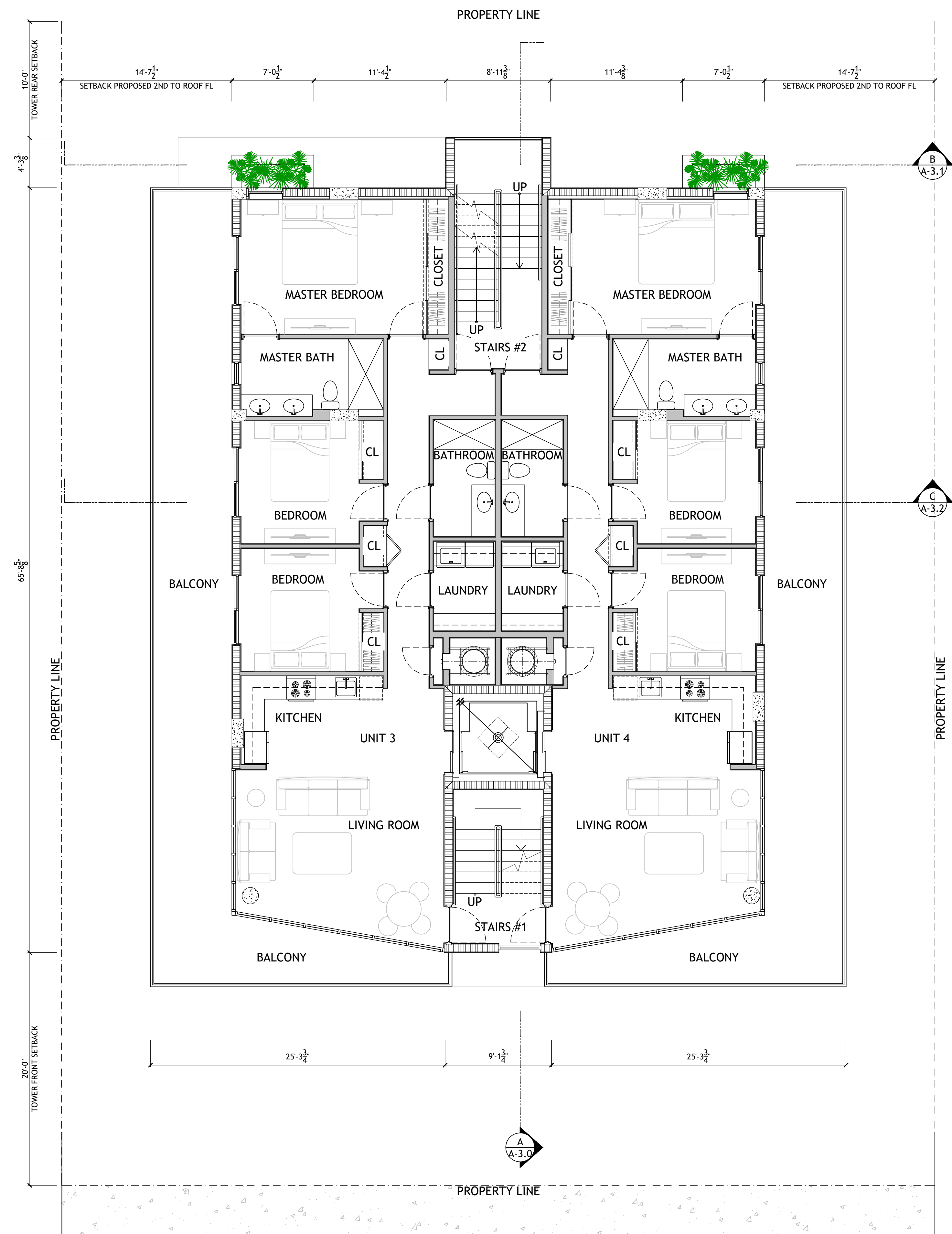
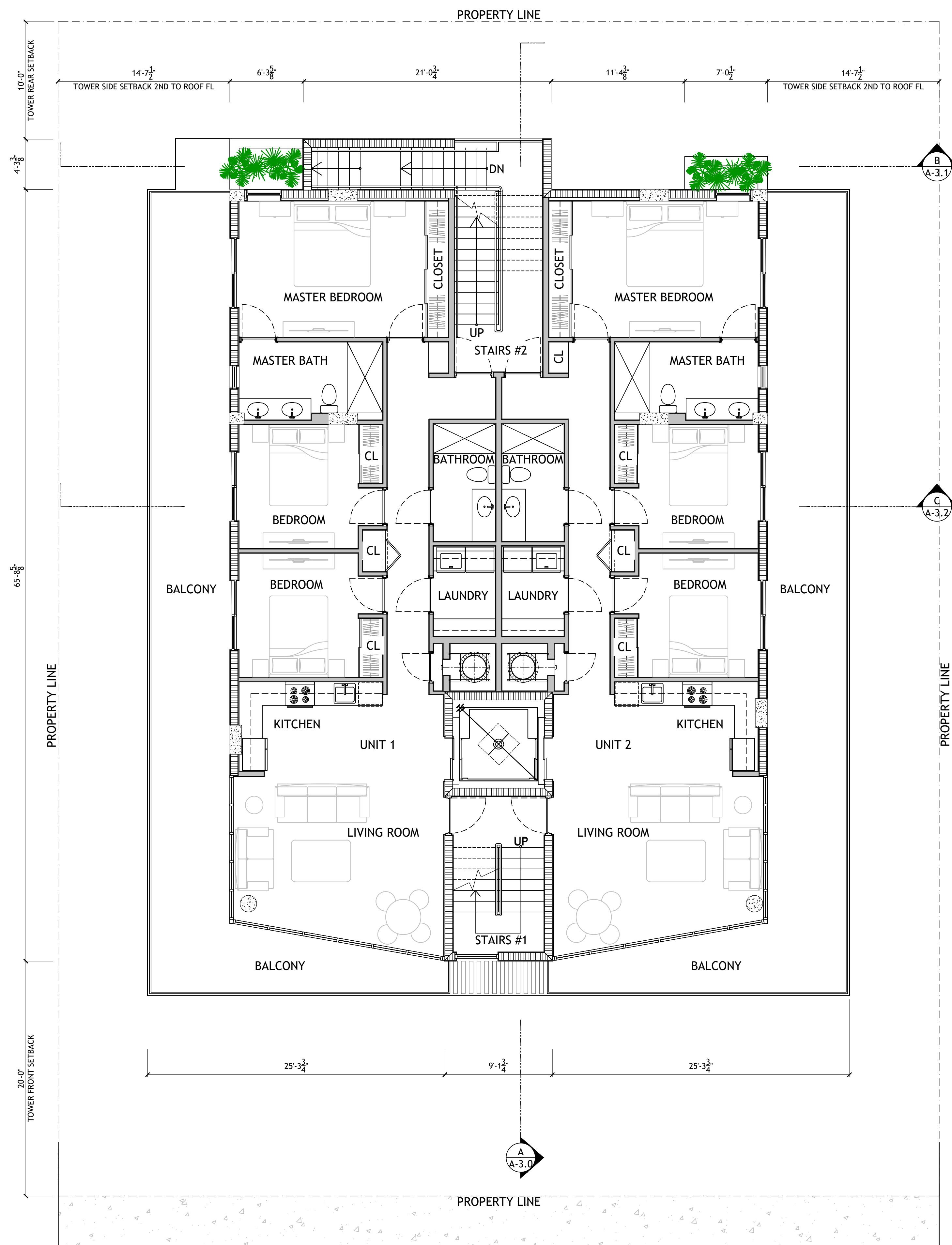
MULTI-FAMILY UNITS  
1311 15th TER  
MIAMI BEACH, FL 33139

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A-1.1

LOT COVERAGE  
UNIT SIZE DIAGRAMS





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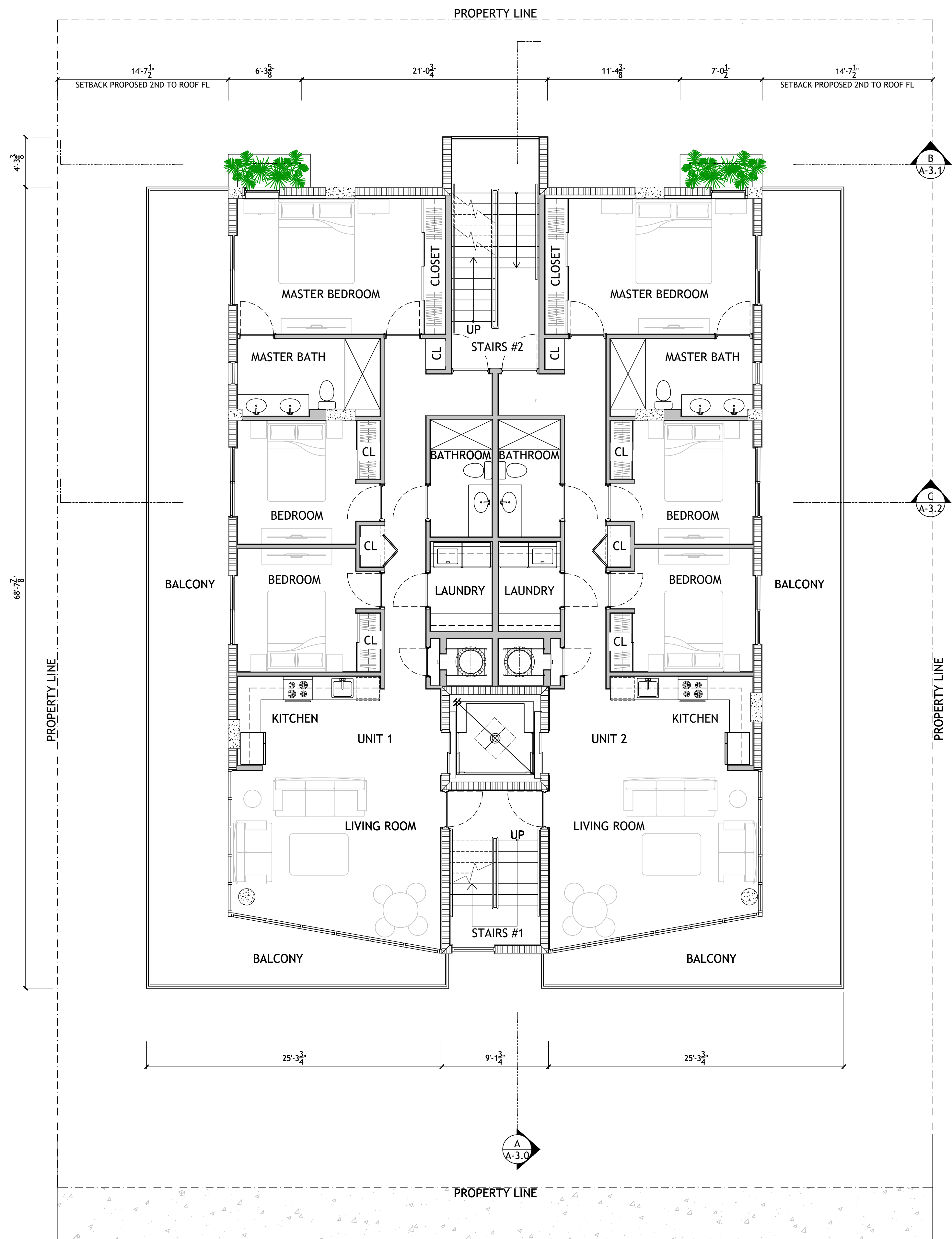
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## A-2.0

2ND FLOOR PROPOSAL  
3RD FLOOR PROPOSAL





LEGEND (PLAN)

NEW CONCRETE WALL

NEW STUD PARTITION WALL

DIMENSION LINES ARE FROM FACE TO FACE OF METAL STUD WALL AND/OR CMU &/OR CONCRETE WALL (U.O.N.)

PROPOSED 4TH FLOOR  
SCALE 3/16" = 1'-0"

PROPOSED ROOF- POOL DECK  
SCALE 3/16" = 1'-0"

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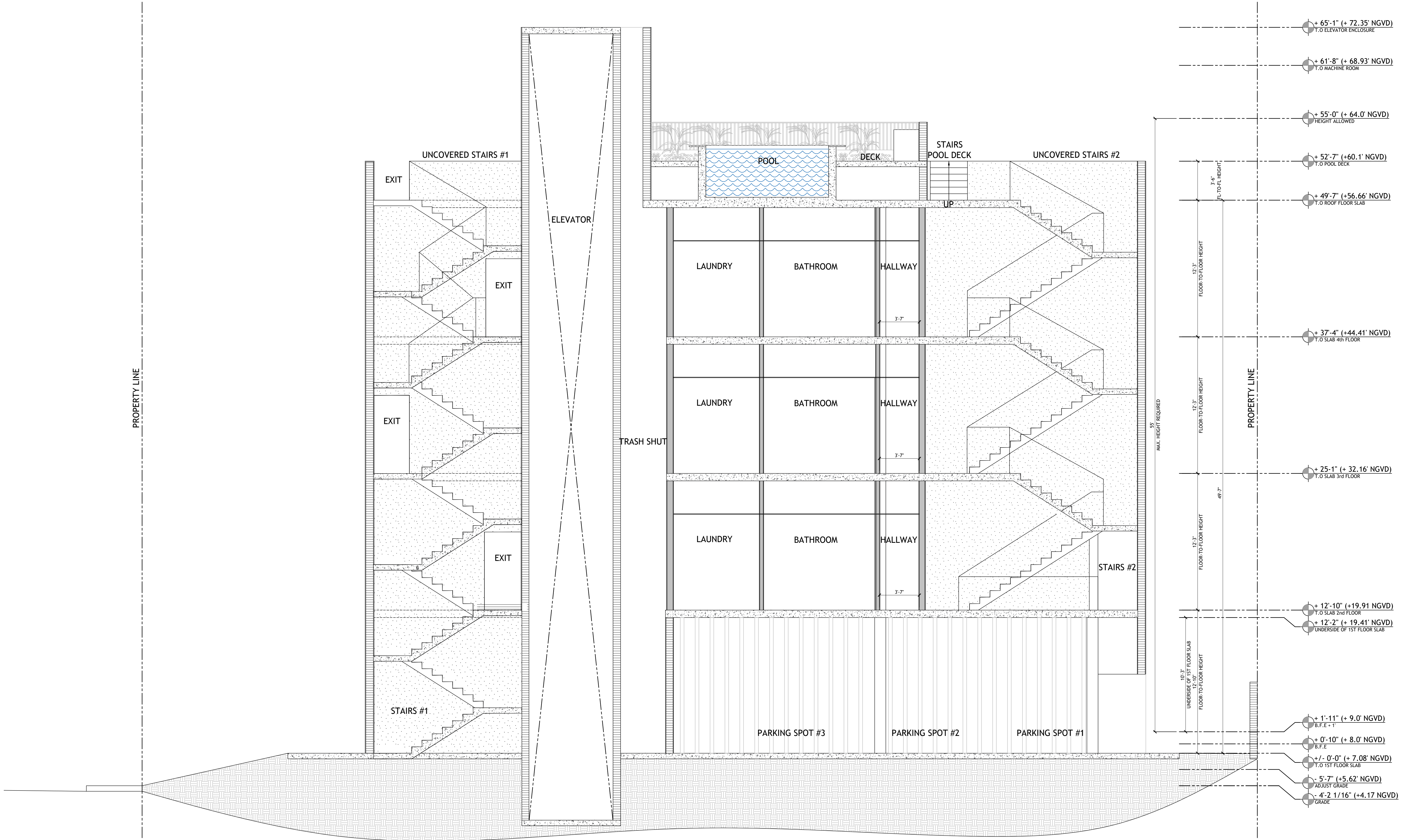
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A-2.1  
4TH FLOOR PROPOSED  
ROOF PLAN





SECTION A  
SCALE 1/4"=1'-0"

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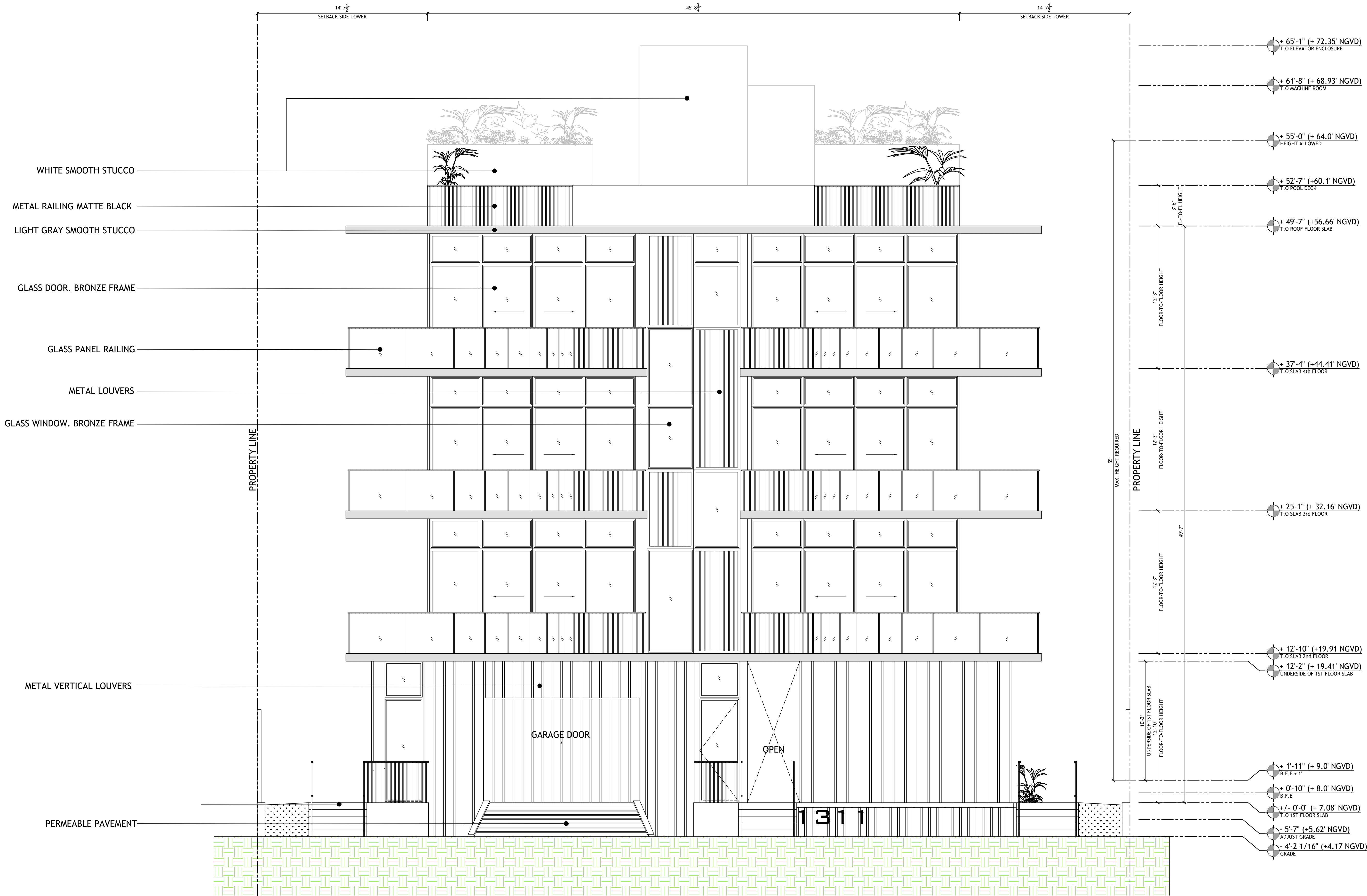
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A-3.0  
SECTIONS





**SOUTH ELEVATION**  
SCALE 1/4"=1'-0"

SUBDIVISION II- RM-1 RESIDENTIAL MULTIFAMILY LOW INTENSITY  
SEC. 142-151 & 142-155

f. Ground floor requirements. When parking or amenity areas are provided at the ground floor level below the first habitable level, the following requirements shall apply:

1. A minimum height of 12 feet shall be provided, as measured from base flood elevation plus minimum freeboard to the underside of the first floor slab. The design review board or historic preservation board, as applicable, may waive this height requirement by up to two feet, in accordance with the design review of certificate of appropriateness criteria, as applicable.

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**A-4.0**  
SOUTH  
ELEVATION





EAST ELEVATION  
SCALE 1/4"=1'-0"

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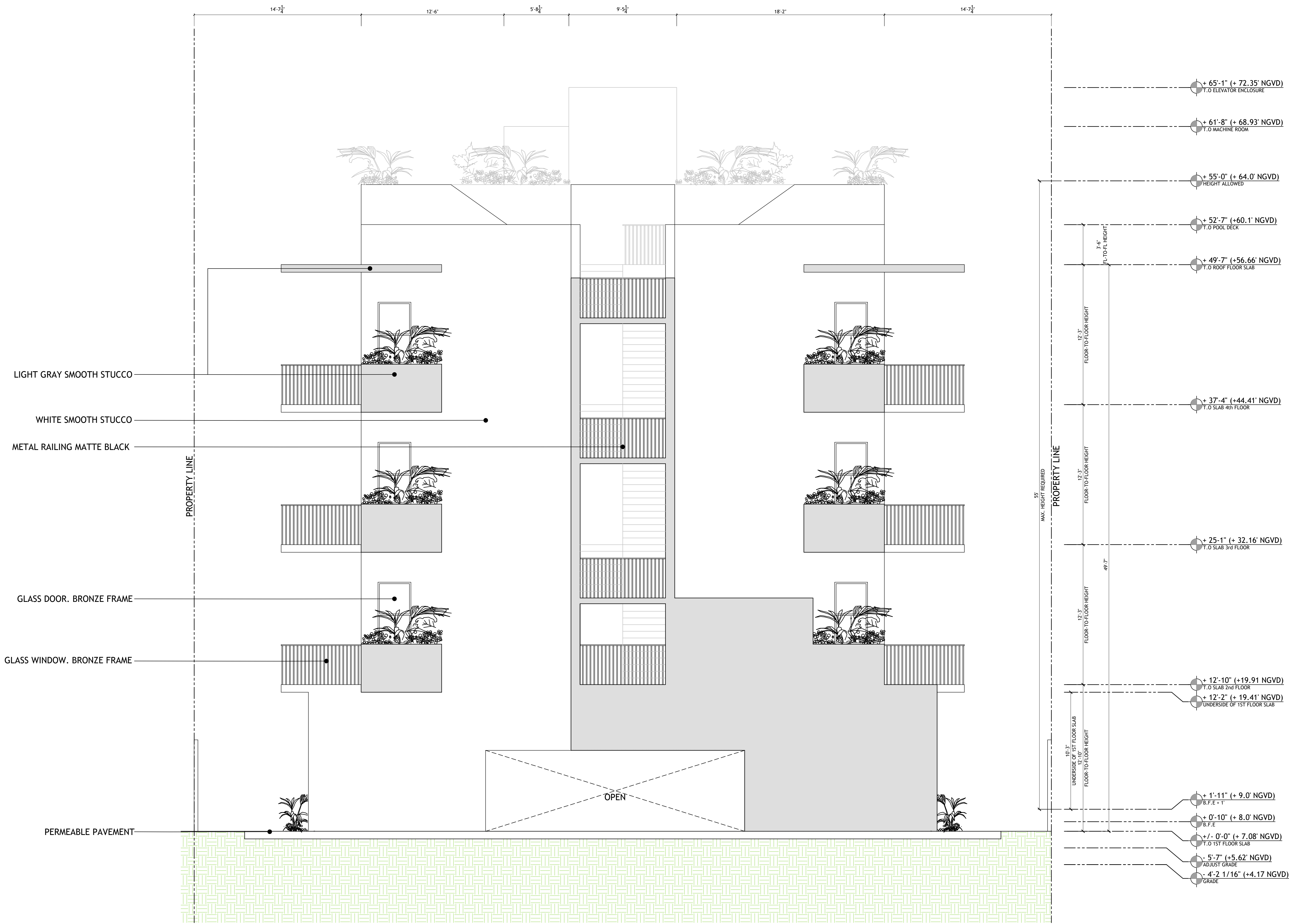
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A-4.1  
EAST  
ELEVATION





NORTH ELEVATION  
SCALE 1/4"=1'-0"

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A-4.2  
NORTH  
ELEVATION





PROPOSED FRONT VIEW 15 TER  
RENDERING



PROPOSED REAR VIEW EAST  
RENDERING



PROPOSED POOL DECK VIEW  
RENDERING



PROPOSED LOBBY AREA  
RENDERING

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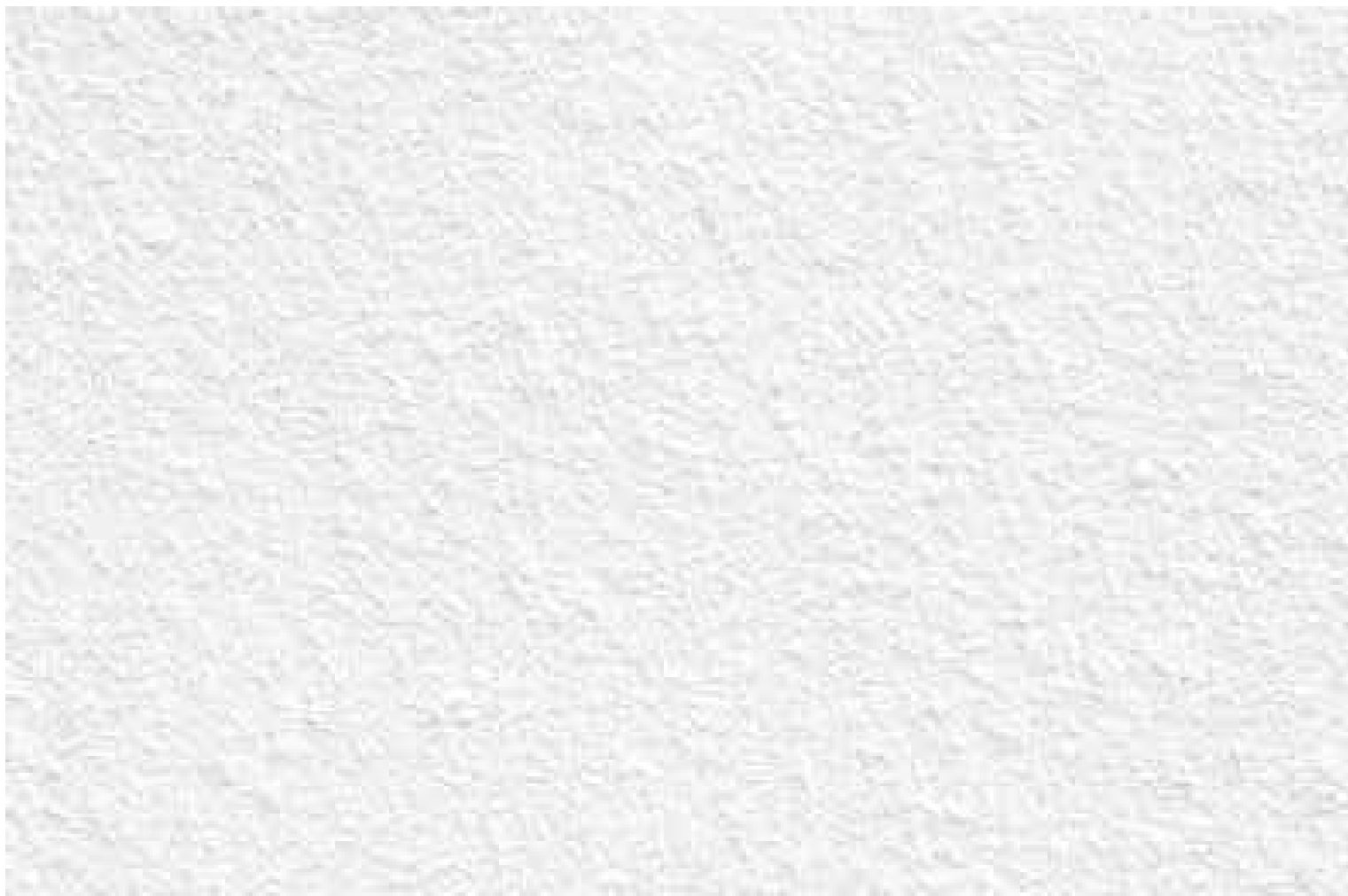
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A-5.0
RENDERINGS





WHITE SMOOTH STUCCO



PERMEABLE PAVERS



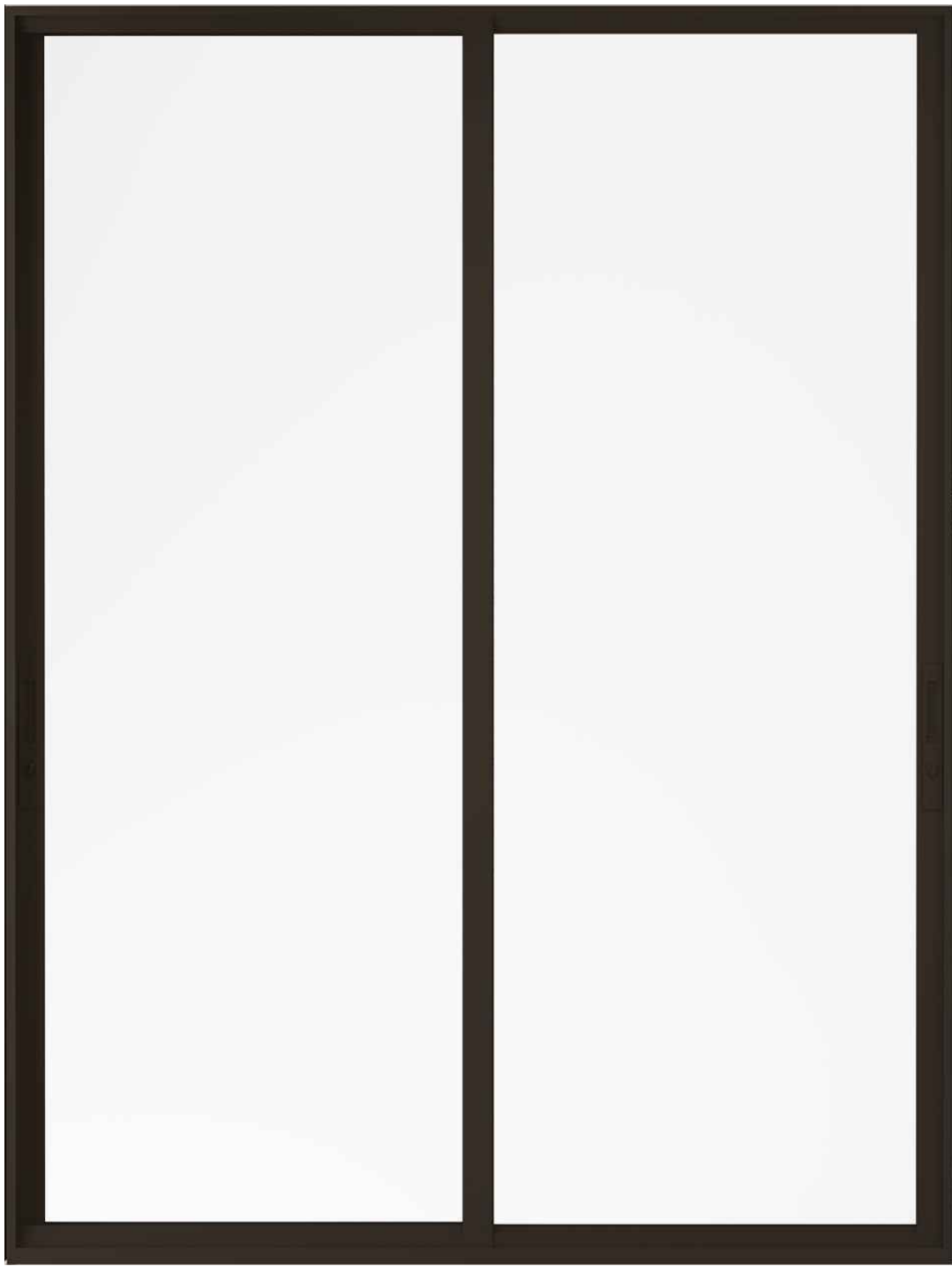
METAL VERTICAL LOUVERS



LIGHT GRAY STUCCO



BRUSHED CONCRETE EXTERIOR



GLASS DOOR. BRONZE  
FRAME

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MATERIAL PROPOSAL



## TREE DISPOSITION SCHEDULE AND LEGEND

Tree #	Common Name	Scientific Name	DBH (inches)	Condition	Height (feet)	Spread (feet)	Critical Root Zone Radius* (feet)	Prohibited?	Specimen?	Comments
1	Canary Island date palm	<i>Phoenix canariensis</i>	29 +	Fair	55	20	19		YES	
2	solitaire palm	<i>Pythosperma elegans</i>	4 -	Good	18	8	10			Below size threshold to be regulated as a tree
3	bishopwood	<i>Bischofia javanica</i>	12 -	Fair	45	25	10	YES		X
4	strangler fig	<i>Ficus aurea</i>	72 +	Fair	60	40	48		YES	
5	sabal palm	<i>Sabal palmetto</i>	10 +	Good	12	12	10			
6	gumbo limbo	<i>Bursera simaruba</i>	3 +	Fair	16	8	10			
7	umbrella tree	<i>Schefflera actinophylla</i>	28 -	Fair	25	25	19	YES		X
8	solitaire palm	<i>Pythosperma elegans</i>	4 +	Good	16	12	10			Below size threshold to be regulated as a tree
9	Christmas palm	<i>Adonidia merrellii</i>	6 +	Good	20	12	10			
10	seagrape	<i>Coccoloba uvifera</i>	5 +	Fair	20	12	10			
11	pink trumpet tree	<i>Tabebuia heterophylla</i>	6 +	Fair	18	12	10			
12	umbrella tree	<i>Schefflera actinophylla</i>	10 -	Fair	16	16	10	YES		X
13	gumbo limbo	<i>Bursera simaruba</i>	3 +	Fair	16	12	10			
14	strangler fig	<i>Ficus aurea</i>	11 +	Fair	20	16	10			
15	gumbo limbo	<i>Bursera simaruba</i>	3 +	Good	18	12	10			
16	areca palm	<i>Dypsis lutescens</i>	cluster-	Good	15	15	5			
17	Brazilian pepper	<i>Schinus terebinthifolius</i>	10 -	Fair	20	12	10	YES		X
18	strangler fig	<i>Ficus aurea</i>	15 +	Good	20	15	10		YES	
19	gumbo limbo	<i>Bursera simaruba</i>	7 +	Fair	5	8	10			
20	bishopwood	<i>Bischofia javanica</i>	15 -	Fair	20	12	10	YES		X

\* CRZ is a planning estimate and may be adjusted based on field conditions

(+) indicates tree required for mitigation  
 (-) indicates tree "NOT" required for mitigation  
 (X) indicates species as prohibited by city / county  
 and shall be removed without required mitigation

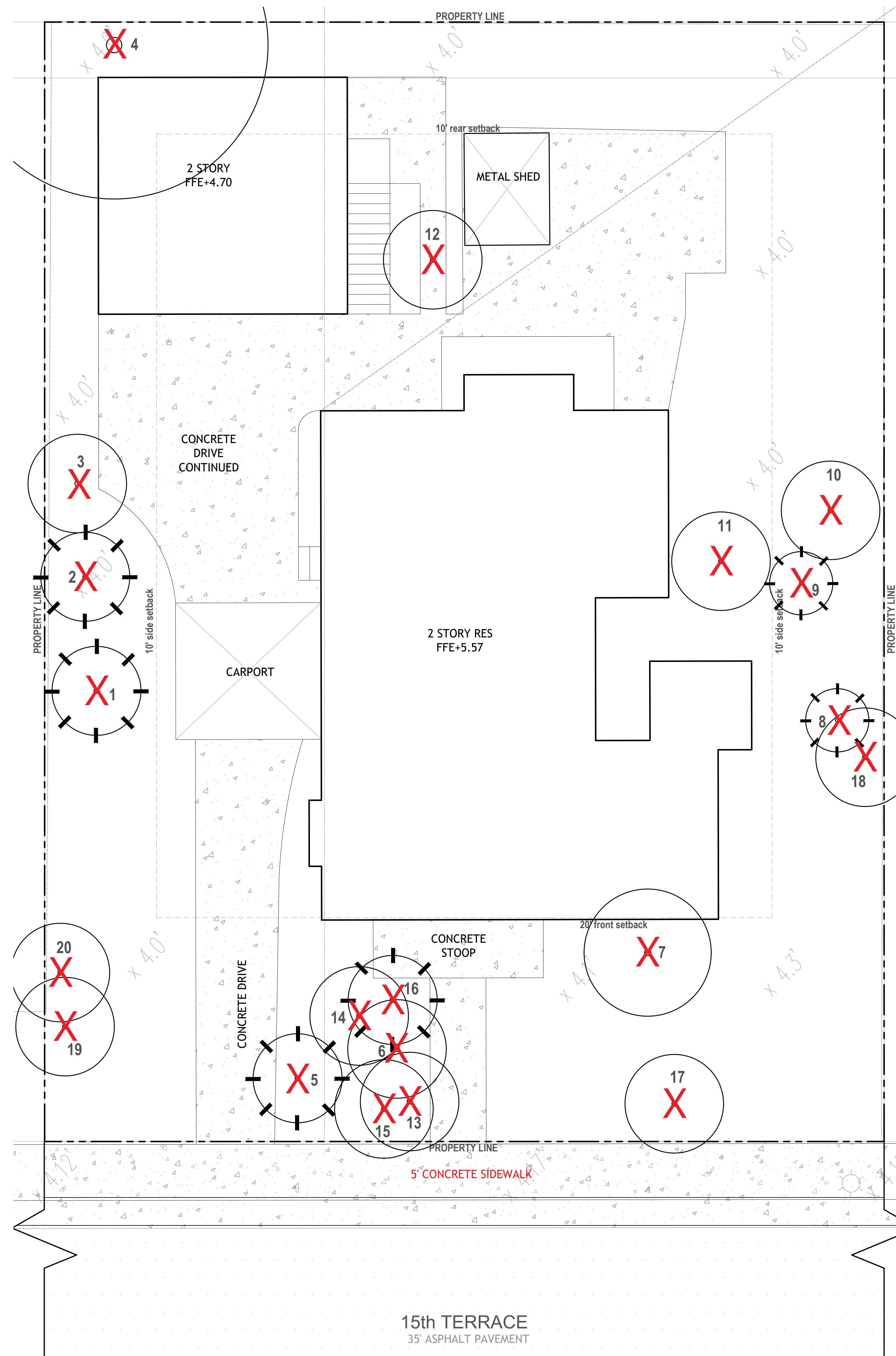
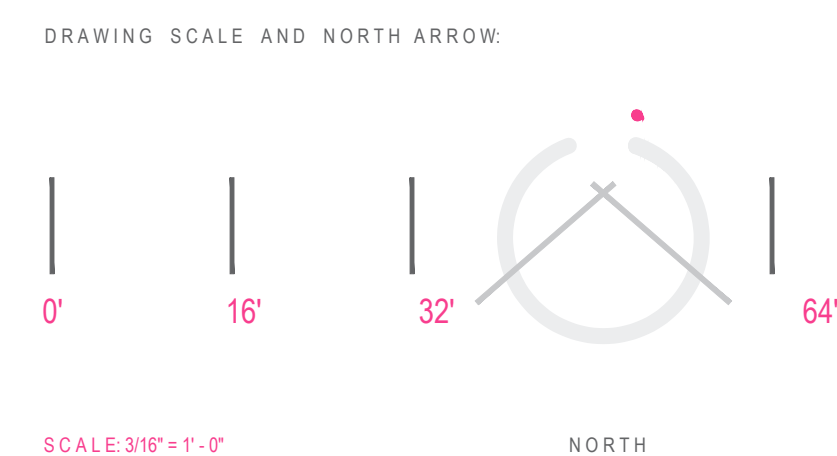
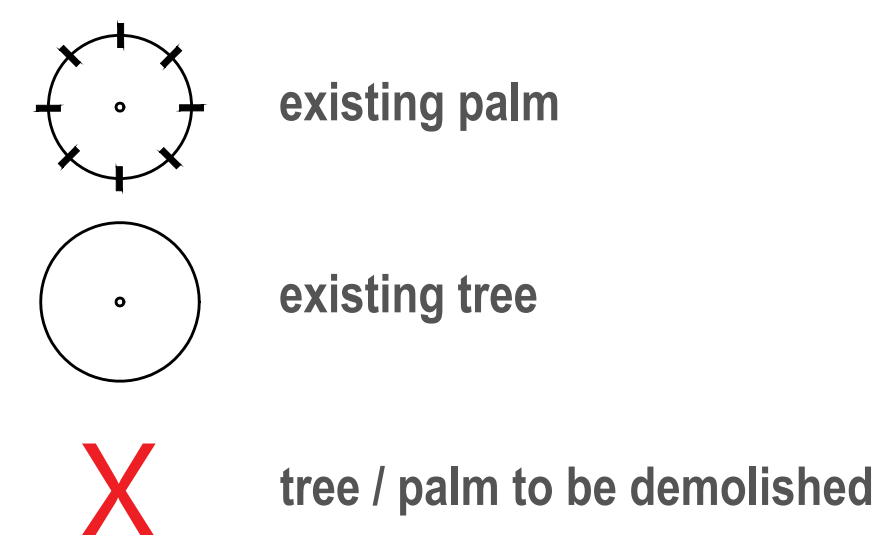
## REQUIRED TREE REPLACEMENTS

total removals in DBH inches =	174
required tree replacements =	30 trees (4" dbh, 8'sp. X 16'ht.)
	or
	60 trees (2" dbh, 6'sp. X 12'ht.)
	or
	\$60,000 paid to tree trust fund

NOTES:

refer to sheet L3a for proposed mitigation strategy and planting plan to fulfill requirements as listed above.

refer to arborist report for images and full descriptions of existing trees.



**DRAWN BY:**

**REVISIONS:**

DRAWINGS BY:  
LANDSCAPE DESIGNER

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REVIEWED BY:  
LANDSCAPE ARCHITECT

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**PLS**



MULTI-FAMILY UNITS  
1311 15th TER  
MIAMI BEACH, FL 33139

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**L1**

**TREE DISPOSITION  
PLAN**

DRB ISSUED 06-16-22



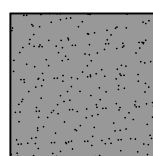
MATERIAL SPECIFICATIONS LEGEND




**Granite Gravel**

source: sutton brick and stone  
spec: granite chips  
size: 1/4" - 5/8" max.  
color: natural grey only  
finish: natural tumbled (no sharp edges)  
set: over landscape filter fabric

contact: 954.472.7646  
700 SW 21st Terrace  
FL Lauderdale, FL 33312  
web: [www.suttonbrick.com](http://www.suttonbrick.com)



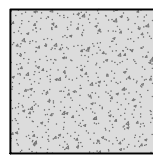
(508 sf)



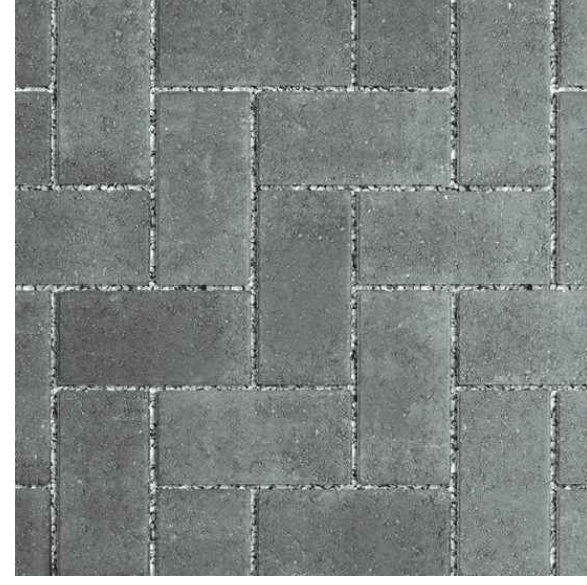
**Concrete Step Finish (non-pervious surface)**

source: per contractor  
spec: welded wire reinforced 3" min. thick  
size: per L3 layout plan  
color: standard grey or integral color to match arch. slabs  
finish: rocksalt (1/8"-1/4" and 5/8"-3/4" aggregate)

contact: per contractor



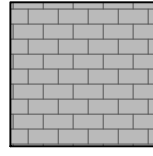
(153 sf)




**Permeable Paver Type 1**

source: Unilock - copyright © 2022 Hengestone Holdings, Inc.  
spec: ECO-PRICOR™  
size: 3.125" thick (staggered running bond)  
color: granite  
joints: black sand fill per manufacturer  
finish: N/A

contact: <https://unilock.com/contacts>




(775 sf) or (558 sf) see alt. below



**Permeable Paver Type 1 (Alt. drive surface only)**

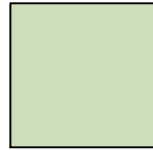
source: Unilock - copyright © 2022 Hengestone Holdings, Inc.  
spec: TRIBECA COBBLE™  
size: 2.75" thick (staggered running bond)  
color: crystalline basalt  
joints: black sand fill per manufacturer  
finish: N/A

contact: <https://unilock.com/contacts>



(217 sf)

hatch denotes landscape areas



(2,041 sf)

NOTE: refer to sheet L3 for landscape calculations. for additional materials above ground level refer to architect's drawings

LANDSCAPE SITE CALCULATIONS:

total site	7,500 sf	
total landscape area	3,580 sf	48%
pervious landscape area	2,041 sf	70%
20% partial pervious (permeable pavers)	950 sf	26%
non-pervious surface	153 sf	4%

permeable paver type 1

granite gravel walkway  
per specifications

site wall per architect's  
drawings

landing to match concrete  
steps and finish

concrete steps with finish  
per specifications. refer to  
architect's drawings for  
required railing

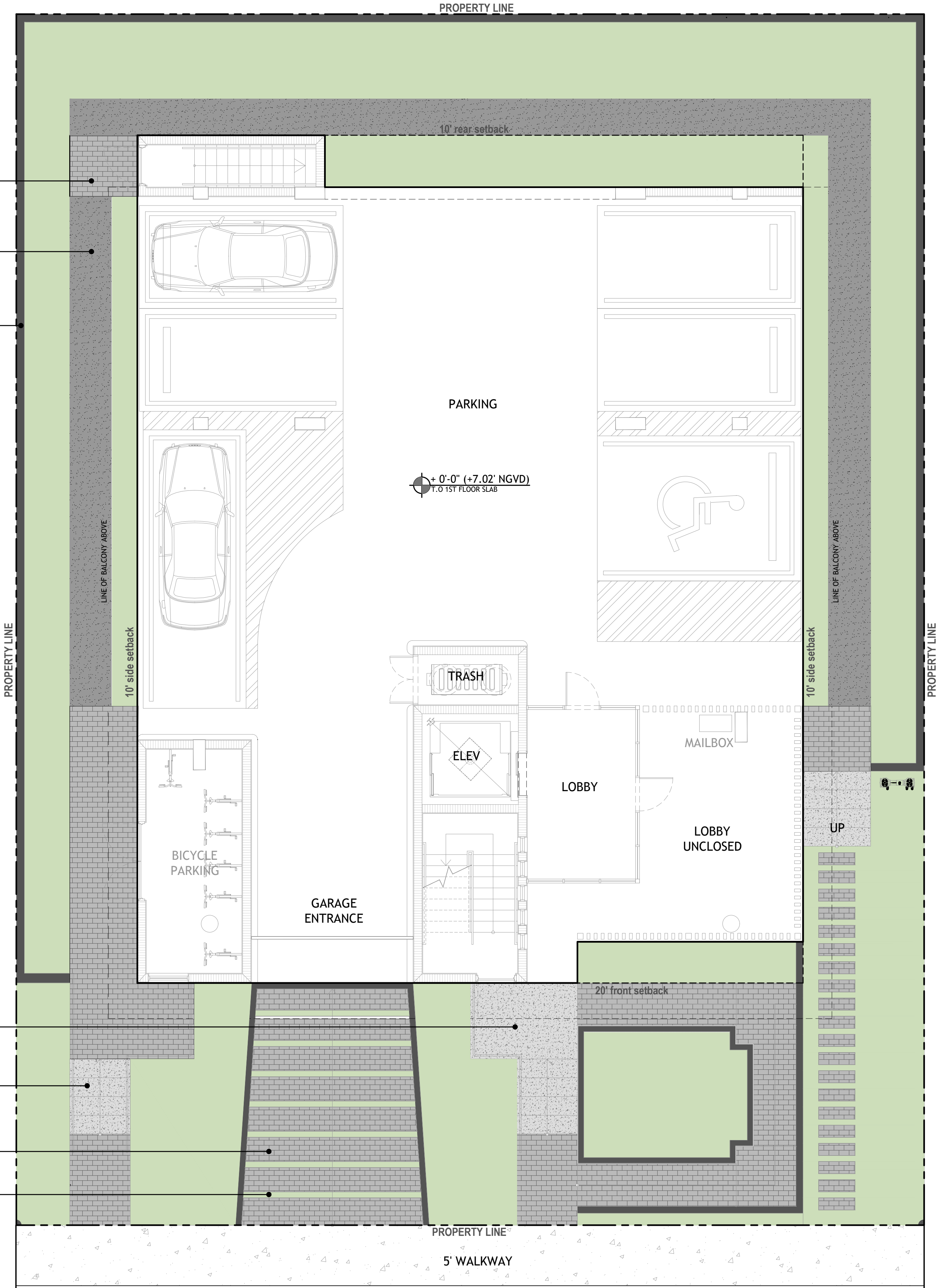
permeable paver type 1  
(alternate option TBD)

artificial turf joints on  
drive slope

DRAWING SCALE AND NORTH ARROW:



SCALE: 3/16" = 1'-0" NORTH




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REVISIONS:

REVIEWED BY:  
LANDSCAPE ARCHITECT:

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850.328.1925  
[patrick@prlandstudio.com](mailto:patrick@prlandstudio.com)



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[corey@crighstudios.com](mailto:corey@crighstudios.com)



MULTI-FAMILY UNITS  
1311 15th TER  
MIAMI BEACH, FL 33139

SPACE RESERVED FOR  
CITY OF MIAMI BEACH STAMPS

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L2

GROUND MATERIALS  
PLAN

DRB ISSUED 06-16-22



PLANTING SCHEDULE

TREES			
QTY	SYM	Botanical Name	Common Name
2	BS	Bursera simaruba	Gumbo Limbo
8	CD	Coccoloba diversifolia	Pigeon Plum
10	EF	Myrcianthes fragrans	Simpson's Stopper
10	IC	Ilex cassine	Dahoon Holly
PALMS			
QTY	SYM	Botanical Name	Common Name
2	SP	Sabal palmetto	Sabal Palm
SHRUBS and UNDERSTORY PALMS			
QTY	SYM	Botanical Name	Common Name
6	AD	Acrostichum danaeifolium	Giant Leather Fern
6	CM	Codiaeum variegatum 'Mammy'	Croton
24	FM	Ficus microcarpa	Green Island Ficus
33	GL	Gymnanthes lucida	Crabwood
4	LL	Lyonia lucida	Shiny Lyonia
13	PM	Podocarpus macrophyllus	Japanese Yew
28	PN	Psychotria nervosa	Dwarf Wild Coffee
12	SRS	Serenoa repens 'silver'	Silver Saw Palmetto
11	ZP	Zamia pumila	Coontie
ACCENTS, VINES and GRASSES			
QTY	SYM	Botanical Name	Common Name
42	AE	Aspidistra elatior	Cast Iron Plant
3	AI	Alcantarea imperialis Bromeliad	Same
GROUNDCOVERS			
QTY	SYM	Botanical Name	Common Name
136	BF	Bulbine frutescens 'orange'	Orange Bulbine
101	EL	Ernodea littoralis	Golden Creeper
24	LM	Liriope muscari	Big Blue Liriope
8	LN	Lysimachia nummularia	Creeping Jenny

NOTE: plan provided for illustrative purposes only. refer to sheet L3a for full proposed landscape plan and minimum specifications to meet plant replacements for tree removals.

LANDSCAPE LEGEND

refer to sheet L3a for full landscape plan and plant calculations noted on landscape legend

(2) street trees - ST  
(2) street trees - ST



DRAWN BY:

REVISIONS:

REVIEWED BY: LANDSCAPE ARCHITECT: LA 000850 Patrick K. Hodges 850.328.1925 patrick@prightstudios.com

DESIGNED BY: LANDSCAPE DESIGNER: C. Right Studios Corey R. Sellengrath 1810 E. Terra Mar Drive, Suite 100, Miami Beach, FL 33139 corey@prightstudios.com



MULTI-FAMILY UNITS  
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L3

CANOPY PLAN  
GROUND LEVEL





gumbo limbo



pigeon plumb



simpson stopper



dahoon holly



sabal palm



giant leather fern



croton



green island ficus



crabwood



shiny lyonia



podocarpus



dwaf wild coffee



silver saw palmetto



coontie



cast iron plant



imperial bromeliad



bougainvillea



orange bulbine



golden creeper



big blue liriop



creeping jenny

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REVISIONS:

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L4

PLANT IMAGE BOARD  
GROUND LEVEL





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L5

SITE RENDERING  
FRONT VIEW EAST





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csr@crighstudios.com



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L6

SITE RENDERING  
REAR VIEW EAST



**Thomas A. Hall, Inc.**  
**1355 Adams Street**  
**Hollywood, FL 33019**  
954-288-4447  
tomhall1234@gmail.com

September 2, 2022

Katherina Bayer  
3Design Architecture  
3260 NW 7 ST  
Miami, FL 33125

**RE: 1311 15<sup>th</sup> Terrace Traffic Statement**  
**Project No. 202224.01**

Dear Ms. Bayer:

Thomas A. Hall, Inc. has completed a traffic analysis for your project to redevelop an existing residential housing site located at 1311 15<sup>th</sup> Terrace in the City of Miami Beach, Florida. The property's folio number is 02-3233-016-0050.

Based on our conversations with you, it is understood that the existing seven-dwelling-unit, multi-family apartment building is to be replaced with a new, six-dwelling-unit, multi-family apartment building. **Figure 1 – Project Site Location** shows the proposed development site.

What follows is a summary of the project-related trips associated with the proposed redevelopment project.

**Trip Generation**

Using trip generation characteristics information obtained from the Institute of Transportation Engineers' (ITE) *Trip Generation* manual, 11<sup>th</sup> Edition, trip generation estimates for both the existing and proposed land uses were completed. ITE Land Use Code 220 (Multi-Family Housing, Low-Rise) was used for both the existing and proposed land uses on the project site. **Table 1 – Daily Trip Generation, Table 2 – AM Peak Hour Trip Generation** and **Table 3 – PM Peak Hour Trip Generation**, enclosed, show the resulting daily, a.m. peak-hour, and p.m. peak-hour trips for the project. As the tables show, the proposed redevelopment project is expected to generate six (6) fewer daily trips, the same morning peak-hour trips, and one (1) fewer afternoon peak-hour trip than the current apartment building. The proposed project is expected to generate 114 daily trips, 25 morning peak-hour trips, and 23 afternoon peak-hour trips.

**Conclusion**

Based on the analysis findings described in this traffic statement, the proposed redevelopment of the 1311 15<sup>th</sup> Terrace property in the City of Miami Beach, Florida is expected to generate a net decrease in project trips. The proposed project is expected to



Katherina Bayer  
September 2, 2022  
Page 2 of 2

generate 114 net new daily trips, 25 net new morning peak-hour trips, and 23 net new afternoon peak-hour trips.

Should you have any questions or comments regarding these findings, please do not hesitate to contact this office.

Very truly yours,

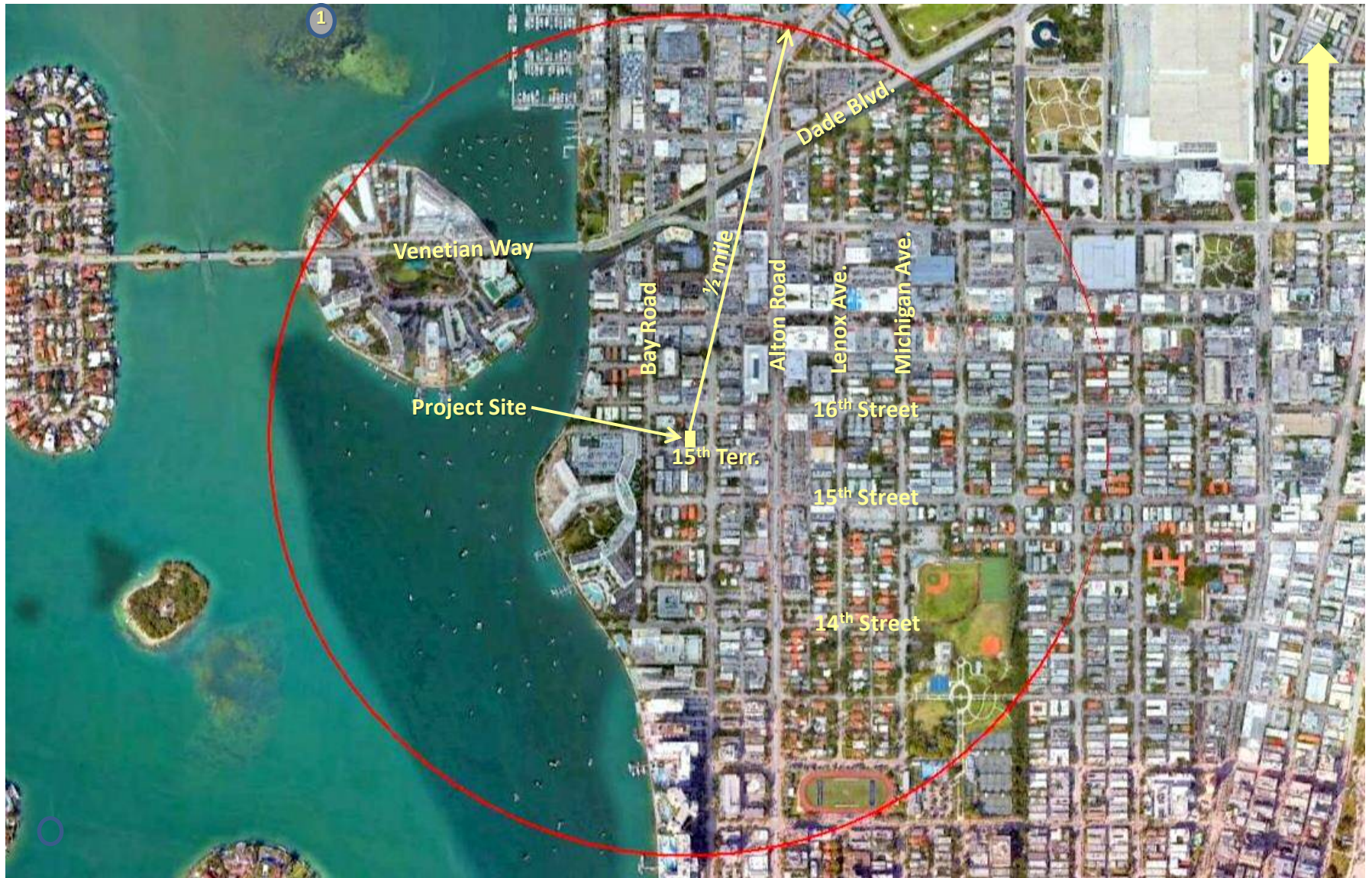
A handwritten signature in black ink, appearing to read 'Thomas A. Hall', written in a cursive style.

Thomas A. Hall  
President

TAH/kh

Enclosures





**Figure 1 – Project Site Location**  
**1311 15<sup>th</sup> Terrace**  
**City of Miami Beach, Florida**



**Table 1**  
**Daily Trip Generation**  
**1311 15th Terrace**

Land Use	ITE Code	Intensity	Trip Generation Rate <sup>(1)</sup>	Total Trips			Internal Trips					Adjusted Trips			Pass-by Trips		Net New Trips		
				In	Out	Total	In	%	Out	%	Total	In	Out	Total			In	Out	Total
<b>Existing Use</b>																			
Multi-Family Housing (Low-Rise)	220	7 du	$T = 6.41(X) + 75.31$ (50/50)	60	60	120	0	0%	0	0%	0	60	60	120	0	0.00%	60	60	120
<b>Proposed Use</b>																			
Multi-Family Housing (Low-Rise)	220	6 du	$T = 6.41(X) + 75.31$ (50/50)	57	57	114	0	0%	0	0%	0	57	57	114	0	0.00%	57	57	114
Sub-Total				57	57	114	0		0		0	57	57	114	0		57	57	114
<b>Net New Trips</b>				-3	-3	-6	0		0		0	-3	-3	-6	0		-3	-3	-6

<sup>(1)</sup> Source: Institute of Transportation Engineers' *Trip Generation* manual, 11th Edition.

**Table 2**  
**AM Peak-Hour Trip Generation**  
**1311 15th Terrace**

Land Use	ITE Code	Intensity	Trip Generation Rate <sup>(1)</sup>	Total Trips			Internal Trips					Adjusted Trips			Pass-by Trips		Net New Trips		
				In	Out	Total	In	%	Out	%	Total	In	Out	Total			In	Out	Total
<b>Existing Use</b>																			
Multi-Family Housing (Low-Rise)	220	7 du	$T = 0.31(X) + 22.85$ (24/76)	6	19	25	0	0%	0	0%	0	6	19	25	0	0.00%	6	19	25
<b>Proposed Use</b>																			
Multi-Family Housing (Low-Rise)	220	6 du	$T = 0.31(X) + 22.85$ (24/76)	6	19	25	0	0%	0	0%	0	6	19	25	0	0.00%	6	19	25
Sub-Total				6	19	25	0		0		0	6	19	25	0		6	19	25
<b>Net New Trips</b>				0	0	0	0		0		0	0	0	0	0		0	0	0

<sup>(1)</sup> Source: Institute of Transportation Engineers' *Trip Generation* manual, 11th Edition.

**Table 3**  
**PM Peak-Hour Trip Generation**  
**1311 15th Terrace**

Land Use	ITE Code	Intensity	Trip Generation Rate <sup>(1)</sup>	Total Trips			Internal Trips					Adjusted Trips			Pass-by Trips		Net New Trips		
				In	Out	Total	In	%	Out	%	Total	In	Out	Total			In	Out	Total
<b>Existing Use</b>																			
Multi-Family Housing (Low-Rise)	220	7 du	$T = 0.43(X) + 20.55$ (63/37)	15	9	24	0	0%	0	0%	0	15	9	24	0	0.00%	15	9	24
<b>Proposed Use</b>																			
Multi-Family Housing (Low-Rise)	220	6 du	$T = 0.43(X) + 20.55$ (63/37)	15	8	23	0	0%	0	0%	0	15	8	23	0	0.00%	15	8	23
Sub-Total				15	8	23	0		0		0	15	8	23	0		15	8	23
<b>Net New Trips</b>				0	-1	-1	0		0		0	0	-1	-1	0		0	-1	-1

<sup>(1)</sup> Source: Institute of Transportation Engineers' *Trip Generation* manual, 11th Edition.