

FINAL SUBMITTAL 06.21.22 DRB #22-0825 NEW APARTMENT BUILDING AT: 1311 15TH TERRACE MIAMI BEACH, FLORIDA 33139



PROJECT TEAM

Architect	Landscaping Architect
ANTHONY LEON #0016752	PATRICK K. HODGES #0000850
3 DESIGN, INC.	C. RIGHT STUDIOS
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GENERAL NOTES

1. THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF 3DESIGN, INC. AND MAY NOT BE REPRODUCED IN ANY MANNER WITHOUT EXPRESSED WRITTEN CONSENT OR REPRODUCED IN ANY MANNER WITHOUT EXPRESSED WRITTEN CONSENT OF 3DESIGN, INC. THE GENERAL CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS REQUIRED TO COMPLETE ALL BUILDING SYSTEMS AND PROVIDE ALL NECESSARY APPURTENANCES FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER WITH QUALITY CRAFTSMANSHIP WITHOUT INCREASING THE CONTRACT SUM OR CONTRACT COMPLETION DATE.
2. ALL WORK DESCRIBED BY THESE DOCUMENTS MUST BE PERFORMED BY CONSTRUCTION PROFESSIONALS LICENSED & INSURED IN THE STATE OF FLORIDA (IF B.C. REQUIRED). ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND F.B.C.
3. THE GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING THE WORK. IF THERE ARE ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO COMMENCING THE WORK FOR CLEAR INSTRUCTION.
4. DO NOT SCALE THE DRAWINGS. REFER TO FIGURED DIMENSIONS.
5. THE CONTRACTOR IS TO ACQUIRE ALL REQUIRED PERMITS FOR THE DEMOLITION, CONSTRUCTION, FINISHING, AND OCCUPANCY OF THE PROJECT. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE F.B.C., LATEST EDITION.
6. ALL WORK DONE UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR SHALL BE IN A NEAT AND WORKMAN-LIKE MANNER IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL GOVERNING AGENCIES HAVING JURISDICTION.
7. THE GENERAL CONTRACTOR IS TO PROVIDE, LOCATE AND BUILD INTO THE WORK ALL SUPPLEMENTARY MATERIALS, INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS, PITCHES, ETC.) AS REQUIRED TO PROPERLY INSTALL, SUPPORT, BRACE, AND SHORE ALL BUILDING COMPONENTS WITHIN THE SCOPE OF THE PROJECT.
8. THE GENERAL CONTRACTOR SHALL REPAIR ALL DAMAGES TO THE EXISTING BUILDING DURING CONSTRUCTION RESULTING FROM SUCH LACK OF CARE AND DUE DILIGENCE AND MAY NOT CLAIM MONETARY DAMAGES OR TIME DELAYS AGAINST THE CONTRACT SUM OR CONTRACT COMPLETION DATE.
9. THE GENERAL CONTRACTOR SHALL COORDINATE AND SCHEDULE THE WORK OF ALL TRADES TO INSURE THAT THE PROJECT IS COMPLETED BY THE CONTRACT COMPLETION DATE.
10. PRIOR TO COMMENCING WORK, THE GENERAL CONTRACTOR SHALL SITE VERIFY THE LOCATION OF ALL EQUIPMENT TO BE REMOVED/RELOCATED. REMOVALS SHALL BE COORDINATED WITH THE OWNER. IF SO DIRECTED, THE G.C. MAY INCLUDE ANY ADDITIONAL COSTS TO THE BID.
11. THE GENERAL CONTRACTOR SHALL PROVIDE AN ONSITE DUMPSTER IN A LOCATION COORDINATED WITH THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL/CONSTRUCTION DEBRIS. THE DUMPSTER SHALL BE EMPTIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.
12. IT IS THE INTENT OF 3DESIGN, INC. THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. THE G.C. SHALL NOTIFY THE ARCHITECT/ENGINEERS OF RECORD IMMEDIATELY IF ANY DISCREPANCIES ARE ENCOUNTERED BETWEEN THE DRAWINGS AND THESE REQUIREMENTS. ANY DISCREPANCIES WILL BE RESOLVED BY ARCHITECT / ENGINEER OF RECORD PRIOR TO PROCEEDING WITH THE WORK.
13. THE GENERAL CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH RED-LINE AS-BUILT DRAWINGS FOR ALL FIELD CHANGES/ADDITIONS TO THE WORK INCLUDED IN THE WORK.
14. THE GENERAL CONTRACTOR SHALL PROVIDE AN ITEMIZED COST BREAKDOWN OF ALL ITEMS AND PHASES OF CONSTRUCTION AT THE TIME OF BIDDING.
15. 3DESIGN, INC. IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, SEQUENCES, PROCEDURES, PRECAUTIONS, OR PROGRAMS RELATED TO THIS PROJECT'S CONSTRUCTION.
16. ALL WORK IS TO BE PLUM, LINE, SQUARE, AND ADEQUATELY SUPPORTED. FILL ALL JOINTS BETWEEN COMPONENTS. ALL ITEMS THAT DO NOT MEET 3DESIGN, INC. SATISFACTION AS TO GOOD TRADE PRACTICES AND QUALITY CRAFTSMANSHIP WILL BE REDONE AT THE G.C.'S EXPENSE.
17. THE GENERAL CONTRACTOR IS TO MAINTAIN A SAFE SITE, CLEAR OF DEBRIS AT ALL TIMES.
18. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE TO GUARANTEE THEIR WORK FOR A MINIMUM PERIOD OF ONE YEAR IN WRITING SUBMITTED WITH THE BID.
19. ALL DETAILS AND SECTIONS SHOWN ON THESE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN. IT IS THE G.C.'S RESPONSIBILITY TO FORSEE ADDITIONAL CONDITIONS PRIOR TO COMMENCING THE WORK AND NOTIFY THE ARCHITECT IMMEDIATELY.
20. ALL ASSEMBLIES REFERRED TO AS FIRE-RATED SHALL BE A MINIMUM OF ONE HOUR UNLESS OTHERWISE INDICATED. ALL PENETRATIONS THROUGH ANY RATED ASSEMBLY SHALL BE PROVIDED WITH APPROVED PENETRATION RATED DEVICES.
21. THE GENERAL CONTRACTOR SHALL PROVIDE CUSTOM AND MULTI-COLOR PAINT SELECTIONS FOR OWNERS APPROVAL.
22. ALL HARDWARE, LIGHTING & BATHROOM FIXTURES AND MISC. SPECIFICATIONS NOT SPECIFICALLY CALLED OUT ON THE DRAWINGS SHALL BE PROVIDED BY THE OWNER.
23. THE GENERAL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR TRUSSES, STORM SHUTTERS, REINFORCING STEEL, WINDOWS, DOORS, CAST CONCRETE, ORNAMENTAL IRON, STEEL CONNECTORS, ORNAMENTAL WOOD, ETC. TO THE ARCHITECT FOR REVIEW PRIOR TO COMMENCING THE WORK.
24. THE GENERAL CONTRACTOR SHALL PROVIDE A TELEPHONE AND TELEPHONE LINE AT THE JOB SITE. THE G.C. IS RESPONSIBLE FOR ITS USE.

FOLIO NUMBER

02-3233-016-0050

LEGAL DESCRIPTION

ALTON BEACH BAY FRONT RE-SUB
PB 16-1, LOT 8 & E₁ LOT 9 BLK 67 A
LOT SIZE 75 X 100
OR 17892-3688 1097 4
COC 22840-4139 11 2004 1

SITE PLAN INFORMATION:

ZONING LAND USE:..... RM-1
FLOOD ZONE:..... "AE"
BASE FLOOD ELEVATION:..... 8'
FLOOR FINISH ELEVATION:..... +7.08' N.G.V.D.

GOVERNING CODES:

FLORIDA BUILDING CODE 2020 7th EDITION - BUILDING
FLORIDA FIRE PREVENTION CODE 2020 7th EDITION
CITY OF MIAMI ZONING CODE MIAMI 21 - LATEST EDITION

SCOPE OF WORK:

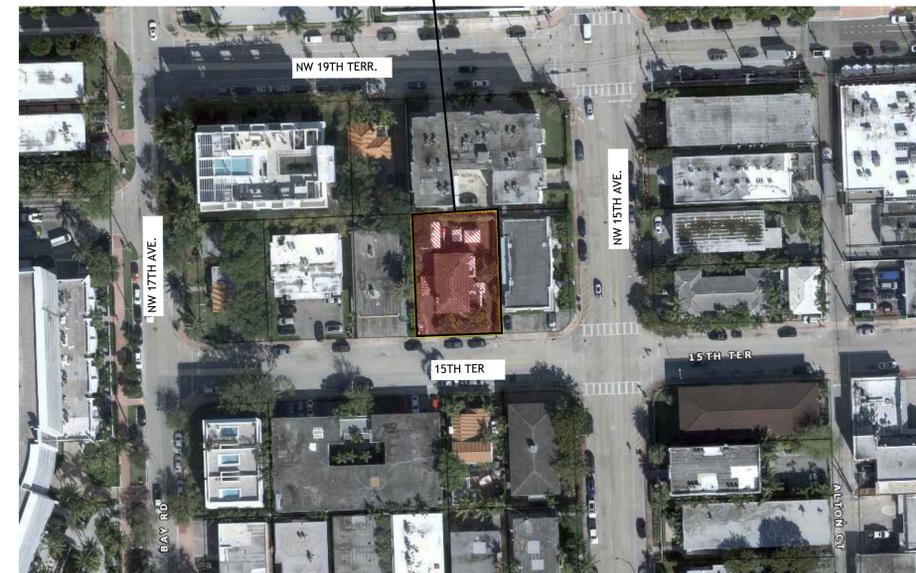
DEMOLITION
REMOVE PRE-EXISTING CMU AND STUCCO TWO STORY HOUSE

SITE WORK
REMOVAL AND REPLACEMENT EXISTING LANDSCAPING AS INDICATED IN THE DRAWINGS.

DESIGN VARIANCES & WAIVER

1. A VARIANCE TO REDUCE THE MINIMUM REQUIRED PARKING SPACE.
2. A VARIANCE TO REDUCE THE MINIMUM REQUIRED BACKUP SPACE
3. A WAIVER FOR PERMEABLE PAVERS NOT COUNTING TOWARDS LOT COVERAGE.

CLASSIFICATION OF WORK:
NEW 5-STORY MULTI-FAMILY BUILDING



LOCATION PLAN
N.T.S

INDEX OF DRAWINGS:

ARCHITECTURAL

- A-0.0 COVER SHEET & INDEX
- A-0.1 REFERENCE SURVEY
- A-0.2 EXISTING BUILDING
- A-0.3 DEMOLITION
- A-0.4 CONTEXT PICTURES
- A-0.5 CONTEXT PICTURES
- A-1.0 DATA & SITE PLAN
- A-1.1 LOT COVERAGE - UNIT SIZE & F.A.R DRAWINGS
- A-2.0 2nd & 3RD FLOOR PLAN PROPOSED
- A-2.1 4th & ROOF | POOL DECK PLAN PROPOSED
- A-3.0 SECTIONS
- A-3.1 SECTIONS
- A-3.2 SECTIONS
- A-4.0 NORTH ELEVATION
- A-4.1 EAST ELEVATION
- A-4.2 SOUTH ELEVATION
- A-4.3 WEST ELEVATION
- A-5.0 VIEWS RENDERS
- A-6.0 MATERIAL PROPOSED

LANDSCAPING

- L-1 TREE DISPOSITION PLAN
- L-2 GROUND MATERIALS PLAN
- L-3 CANOPY PLAN GROUND LEVEL
- L-3A CANOPY PLAN GROUND LEVEL
- L-4 PLANT IMAGE BOARD GROUND LEVEL
- L-5 SITE RENDERING FRONT VIEW EAST
- L-6 REAR VIEW NEAST
- L-7 PLANTING PLAN & IMAGERY ROOF LEVEL
- L-7A PLANTING PLAN LEVEL 2,3,4 & ROOF
- L-8 ROOF LEVEL
- L-9 LIGHTING LEVEL GROUND LEVEL
- L-10 LIGHTING PLAN ROOF LEVEL

DRAWN BY:
REVISIONS:

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ANTHONY LEON
0016752

3 DESIGN
ARCHITECTURE

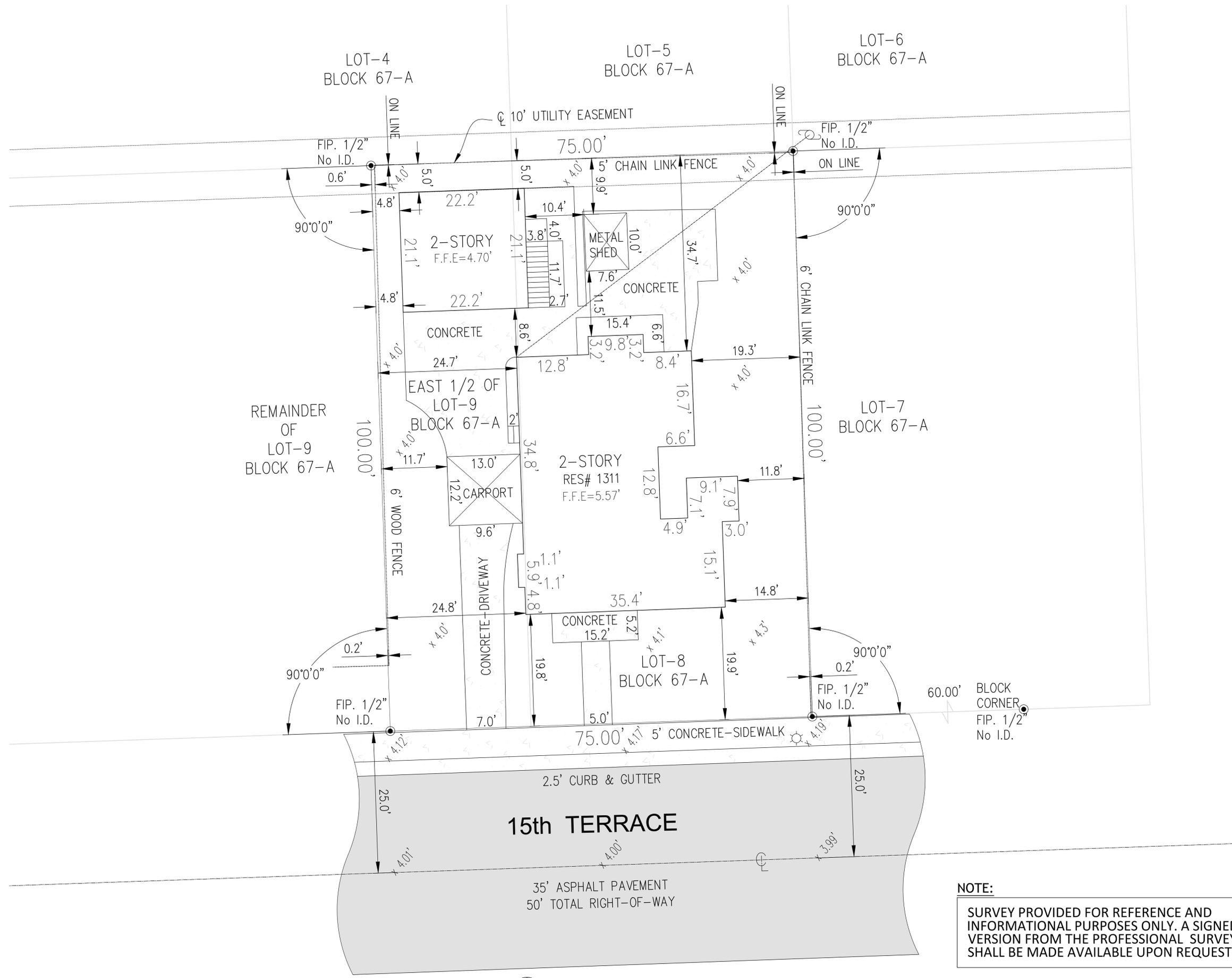
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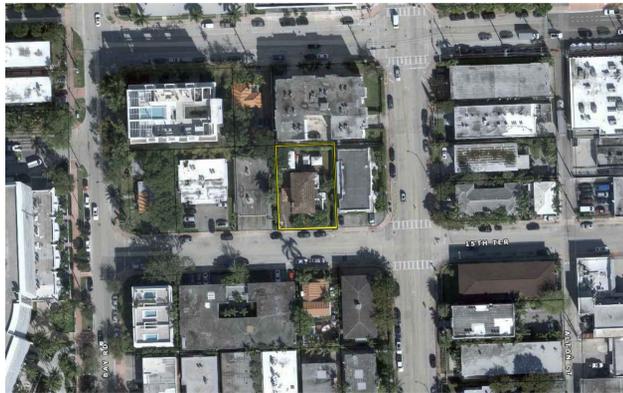
MULTI-FAMILY UNITS
1311 15th TER
MIAMI BEACH, FL 33139

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A-0.0
COVER SHEET



NOTE:
SURVEY PROVIDED FOR REFERENCE AND INFORMATIONAL PURPOSES ONLY. A SIGNED & SEAL VERSION FROM THE PROFESSIONAL SURVEYOR SHALL BE MADE AVAILABLE UPON REQUEST.



LOCATION
SCALE N.T.S



STREET VIEW 15 TER
SCALE N.T.S



STREET VIEW 15 TER
SCALE N.T.S



DRIVEWAY EXISTING
SCALE N.T.S



SIDEYARD EXISTING
SCALE N.T.S



BUILDING EXISTING
SCALE N.T.S



BUILDING EXISTING
SCALE N.T.S



BUILDING EXISTING
SCALE N.T.S



REAR YARD EXISTING
SCALE N.T.S



LIVING EXISTING
SCALE N.T.S



LIVING EXISTING
SCALE N.T.S



STUDIO EXISTING
SCALE N.T.S



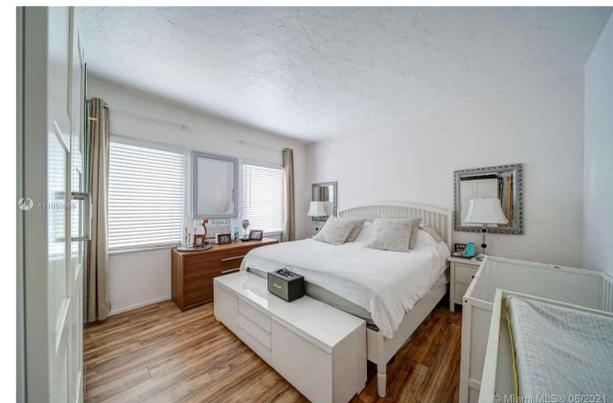
BATHROOM & BEDROOM EXISTING
SCALE N.T.S



STUDIO EXISTING
SCALE N.T.S



STUDIO EXISTING
SCALE N.T.S



BEDROOM EXISTING
SCALE N.T.S

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SCALE

MULTI-FAMILY UNITS
1311 15th TER
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A-0.2
BUILDING EXISTING

AREA OF WORK
1311 15th TER



 LOCATION
SCALE N.T.S



1312 15 TER
SCALE N.T.S



1320 15 TER
SCALE N.T.S



1320 TER
SCALE N.T.S



1325 15 TER
SCALE N.T.S



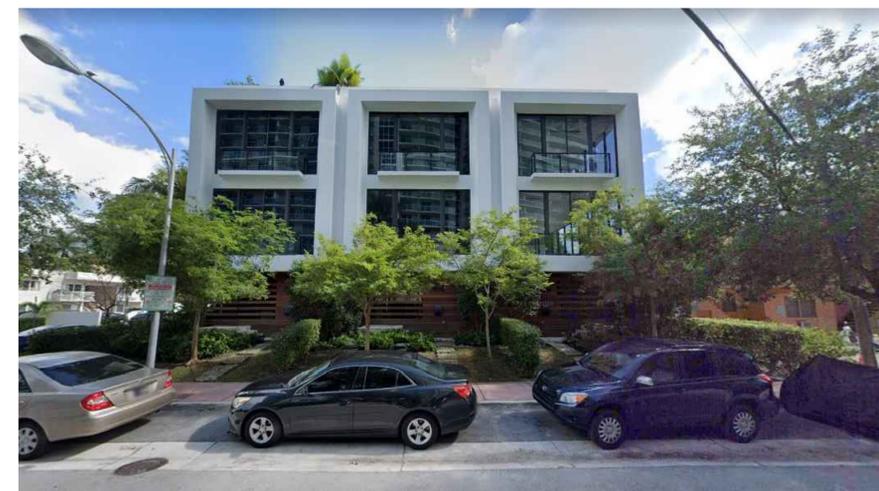
1335 15 TER
SCALE N.T.S



Google
1530 WEST AVE
SCALE N.T.S



1341 15 TER
SCALE N.T.S



15 BAY RD
SCALE N.T.S

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A-0.4
CONTEXT PICTURES

AREA OF WORK
1311 15th TER



 LOCATION
SCALE N.T.S



1501 BAY RD
SCALE N.T.S



1335 15 TER
SCALE N.T.S



1560 WEST AVE
SCALE N.T.S



1577 BAY RD
SCALE N.T.S



1501 BAY RD
SCALE N.T.S



1445 WEST AVE
SCALE N.T.S



1535 WEST AVE
SCALE N.T.S

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A-0.5
CONTEXT PICTURES



LOCATION MAP / AERIAL VIEW
SCALE N.T.S.

MIAMI BEACH

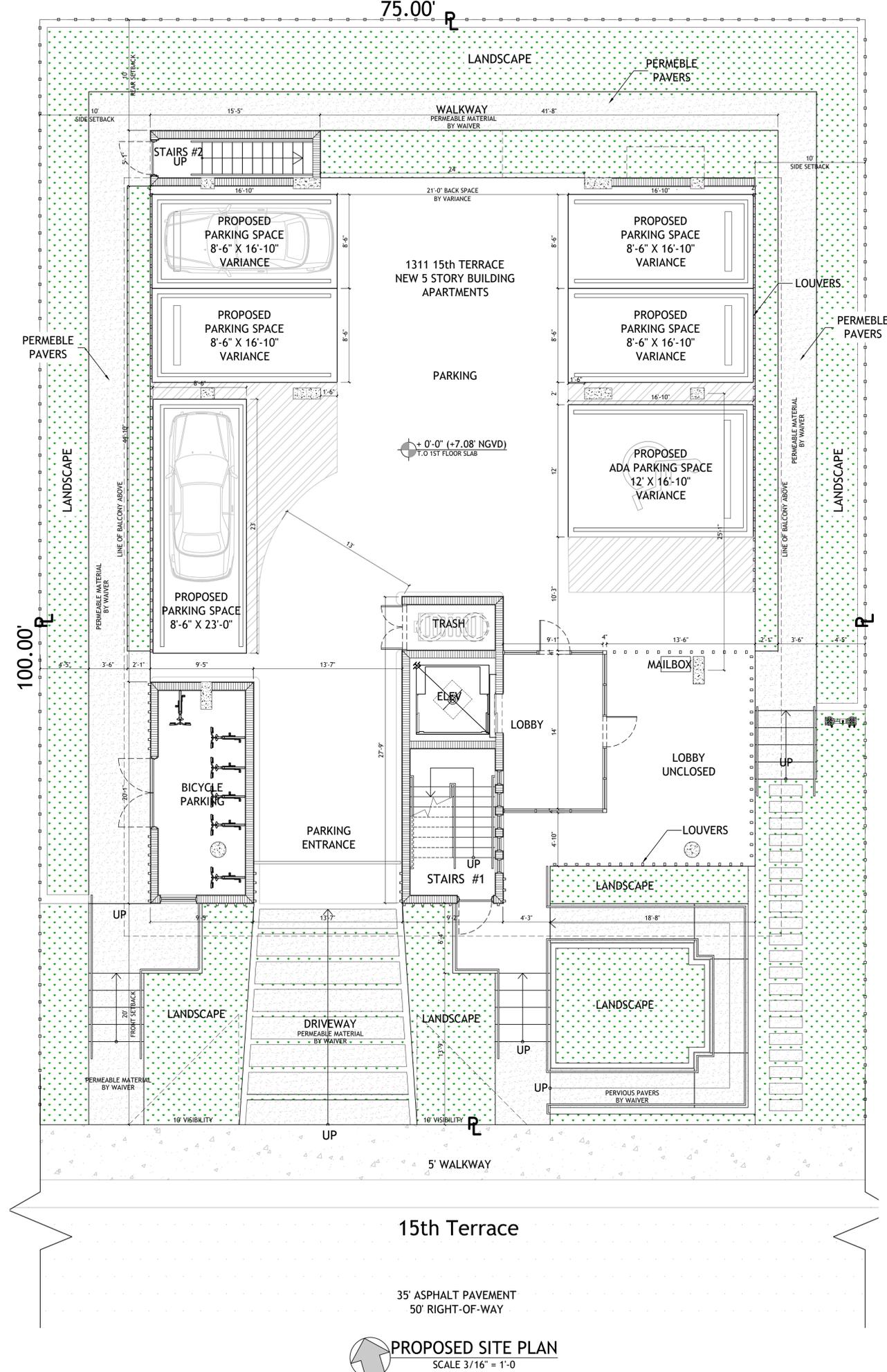
PLANNING DEPARTMENT 1700 CONVENTION CENTER DR
MIAMI BEACH, FLORIDA 33139, WWW.MIAMIBEACHFL.GOV
305.673.7550

ITEM #	PROJECT INFORMATION	REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
1	ADDRESS:	1311 15th TER, MIAMI BEACH, FL 33139			
2	FOLIO NUMBER:	02-3233-016-0050			
3	BOARD AND FILE NUMBER:				
4	YEAR BUILT:	N/A	ZONING DISTRICT:	RM-1	
5	BASE FLOOD ELEVATION:	8'	GRADE VALUE IN NGVD:	4.17' NGVD	
6	ADJUSTED GRADE (FLOOD+GRADE/2):	5.62' NGVD	FREE BOARD:	1'	
7	LOT AREA:	7,500 SQ FT			
8	LOT WIDTH:	75'			
9	MINIMUM UNIT SIZE:	550 SQ FT			
9	EXISTING USE:	30 - MULTI-FAMILY, LOW-DENSITY			
9	PROPOSED USE:	0803 MULTIFAMILY 2-9 UNITS : MULTIFAMILY 3 OR MORE UNITS. SEC 142-152 (3)			
10	MAX LOT COVERAGE FT 45 %:	3,375 SF (45%)		3,205.73 S.F. (42.74%)	
11	HEIGHT:	55'	+25'-0"	+52.7'	
12	# OF STORIES:		2 STORIES	5 STORIES	
13	FAR:	(1.25) 9,375 SQ FT	N/A	9,162.33 SQ FT	
14	GROSS SQUARE FOOTAGE:	3,216 SQ FT			
15	SQUARE FOOTAGE BY USE:	N/A			
16	# OF UNITS RESIDENTIAL:	LOW DENSITY	7	6	
17	# OF UNITS HOTEL:	N/A			
18	# OF SEATS:	N/A			
19	OCCUPANCY LOAD:	R-1			
20					
SUBTERRANEAN					
21	FRONT SETBACK:	20 FT		N/A	
22	SIDE SETBACK:	10 FT		N/A	
23	SIDE SETBACK:	10 FT		N/A	
24	SITE SETBACK FACING STREET:	10 FT		N/A	
25	REAR SETBACK:	10% = 10%		N/A	
26	AT GRADE PARKING:				
27	FRONT SETBACK:	20 FT		20.00'	
28	SIDE SETBACK:	10 FT		10.00'	
29	SIDE SETBACK:	10 FT		10.00'	
30	SITE SETBACK FACING STREET:	10 FT or 8%			
31	REAR SETBACK:	10%=10 ft		10.00'	
32	FRONT SETBACK:	20 FT		20.00'	
33	SIDE SETBACK:	10 FT		10.00'	
34	SIDE SETBACK:	10 FT		10.00'	
35	SITE SETBACK FACING STREET:	N/A		N/A	
36	REAR SETBACK:	10 FT		10.00'	
37	FRONT SETBACK:	20 FT		20'	
38	SIDE SETBACK:	25%		14.62'	
39	PARKING DISTRICT:	1	1	1	
40	# OF PARKING SPACES:	6	5	5 + ADA	
41	# OF PARKING SPACES PER USE:	N/A	N/A	N/A	
42	# OF PARKING SPACES PER LEVEL:				
43	# OF PARKING SPACES PER LEVEL:	N/A	N/A	N/A	
44	PARKING SPACE DIMENSION:	8'-6" x 18'-0"		8'-6" x 16'-10"	VARIANCE
45	PARKING SPACE CONFIG.:	N/A		90°	
46	ADA SPACES:	1		1	VARIANCE
47	TANDEM SPACES:	0		0	
48	DRIVE AISLE WIDTH:	0		21'-0" Two way traffic	VARIANCE
49	VALET DROP OFF AND PICK UP:	NONE	NONE	NONE	
50	LOADING ZONE AND TRASH:			ENCLOSED: 4'-2" x 8'-8"	
51	COLLECTION AREAS:				
52	RACKS:	0	0	0	

WALL LEGEND (PLAN)

- [Pattern] NEW CONCRETE WALL
- [Pattern] NEW STUD PARTITION WALL

DIMENSION LINES ARE FROM FACE TO FACE OF METAL STUD WALL AND/OR CMU &/OR CONCRETE WALL (U.O.N.)



PROPOSED SITE PLAN
SCALE 3/16" = 1'-0"

DRAWN BY:
REVISIONS:

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SEAL

MULTI-FAMILY UNITS
1311 15th TER
MIAMI BEACH, FL 33139

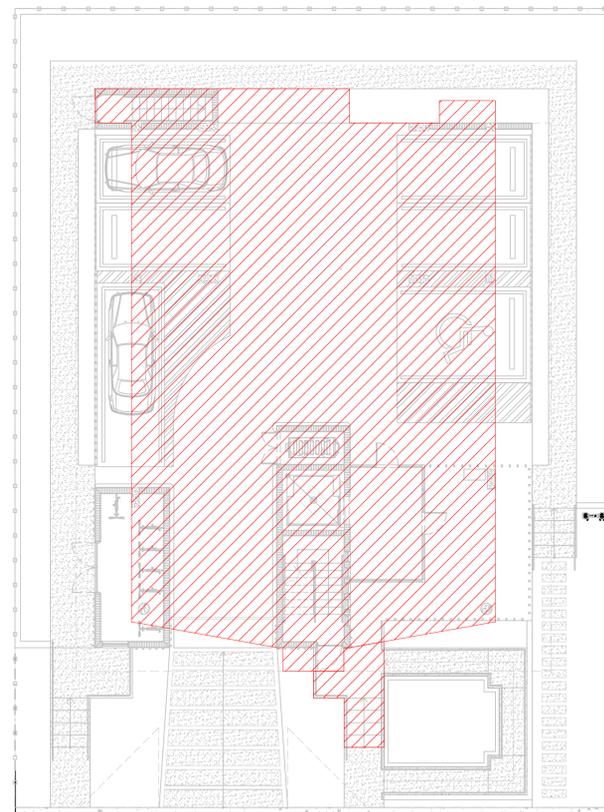
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A-1.0
DATA-SITE PLAN

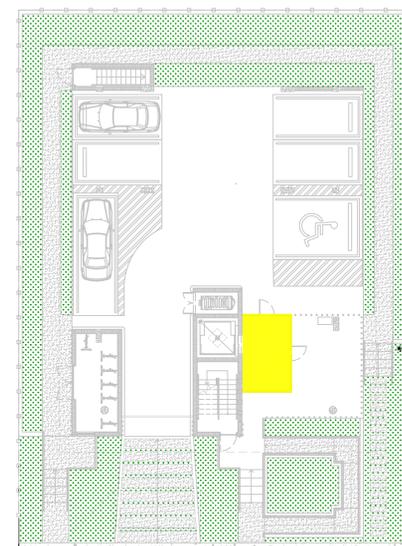
-  LOT COVERAGE
-  OPEN SPACE AREA
-  GREENSPACE AREA
-  F.A.R
-  PERMEABLE AREA PROPOSED

FLOOR AREA RATIO:

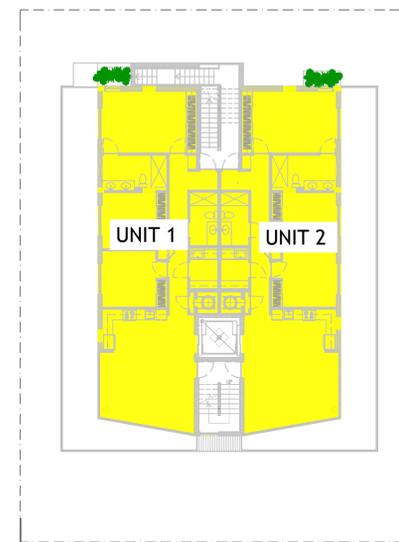
FAR ALLOWED RM-1:	1.25 X 7,500 SF = 9,375 SF
FAR PROVIDED:	
UNITS	1,310.58 SF X 6 = 7,999.19 SF
STAIRS, ELEVATOR AND HALLWAYS:	1,163.14 SF
TOTAL	9,162.62 SF



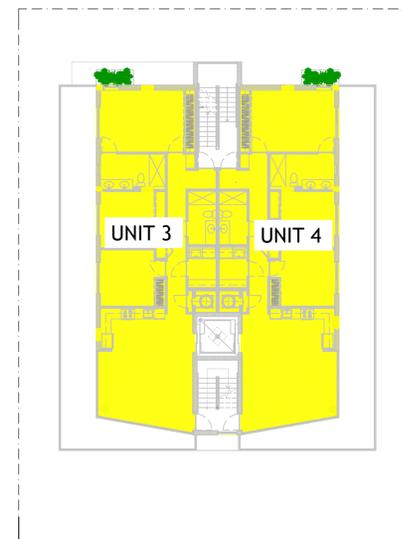
LOT COVERAGE: SCALE: 3/32" - 1'-0"
 ZONING DISTRICT: RM-1
 LOT AREA: 7,500 SF (75'x100')
 MAX. LOT COVERAGE 45%: 3,375 SF
 LOT COVERAGE PROPOSED 42.74%: 3,205.73 SF
 RAMP, DRIVEWAYS, WALKWAYS WILL BE PERMEABLE BY WAIVER.



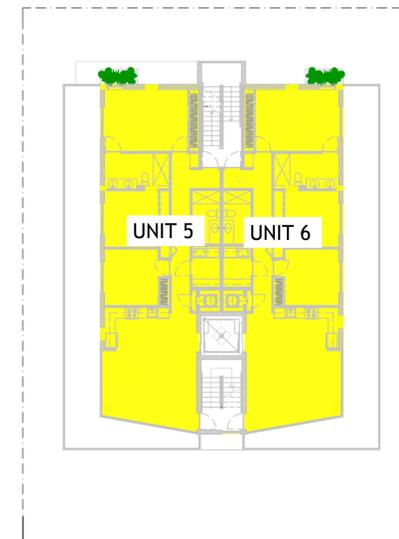
1ST FLOOR F.A.R
SCALE: 1/16" - 1'-0"



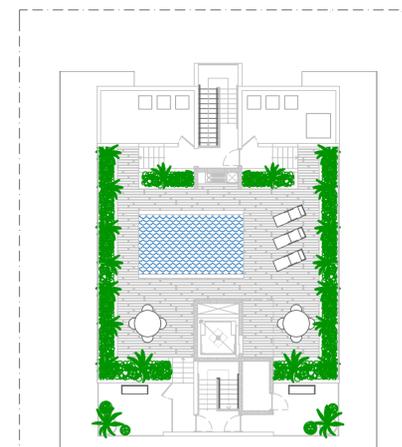
2ND FLOOR F.A.R
SCALE: 1/16" - 1'-0"



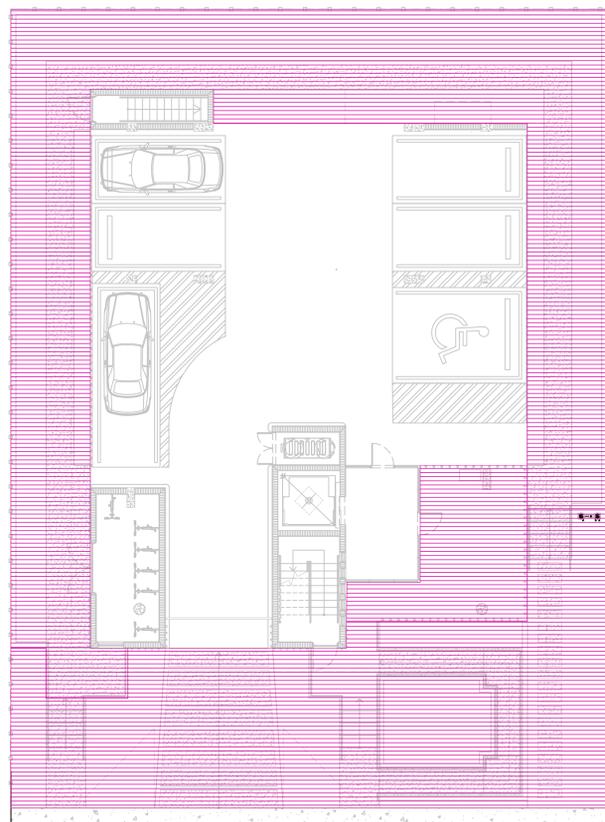
3RD FLOOR F.A.R
SCALE: 1/16" - 1'-0"



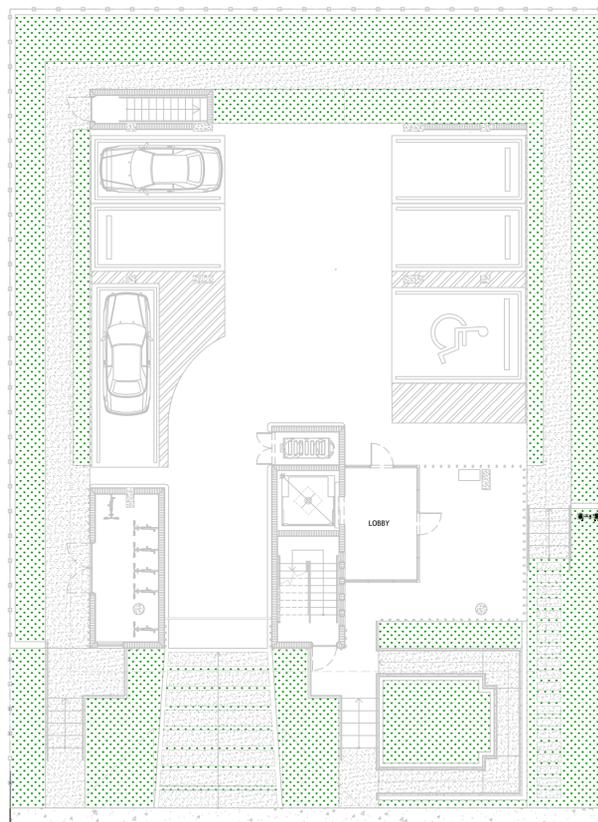
4TH FLOOR F.A.R
SCALE: 1/16" - 1'-0"



5TH FLOOR F.A.R
SCALE: 1/16" - 1'-0"



OPEN SPACE AREA: SCALE: 3/32" - 1'-0"
 LOT AREA: 7,500 SF (75' x 100')
 MAX. LOT COVERAGE 45%: 3,375 SF
 OPEN SPACE REQUIRED 55%: 4,125 SF
 OPEN SPACE PROPOSED 56%: 4,206.76 SF



GREEN SPACE AREA: SCALE: 3/32" - 1'-0"
 MAX. LAWN AREA
 % OF REQUIRED OPEN SPACE
 RM-1 30% REQUIRED= 1237.5 SF
 GREENSPACE PROPOSED: 27%= 1,121.37 SF
 PERMEABLE AREA DRIVEWAYS, WALKWAY, RAMP.

UNDER AC SQ. FT.

1ST FLOOR	135.71 SF
2nd FLOOR	
UNIT 1	1,310.58 SF
UNIT 2	1,310.58 SF
3rd FLOOR	
UNIT 3	1,310.58 SF
UNIT 4	1,310.58 SF
4th FLOOR	
UNIT 5	1,310.58 SF
UNIT 6	1,310.58 SF
TOTAL	7,999.19 SF

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REVISIONS:

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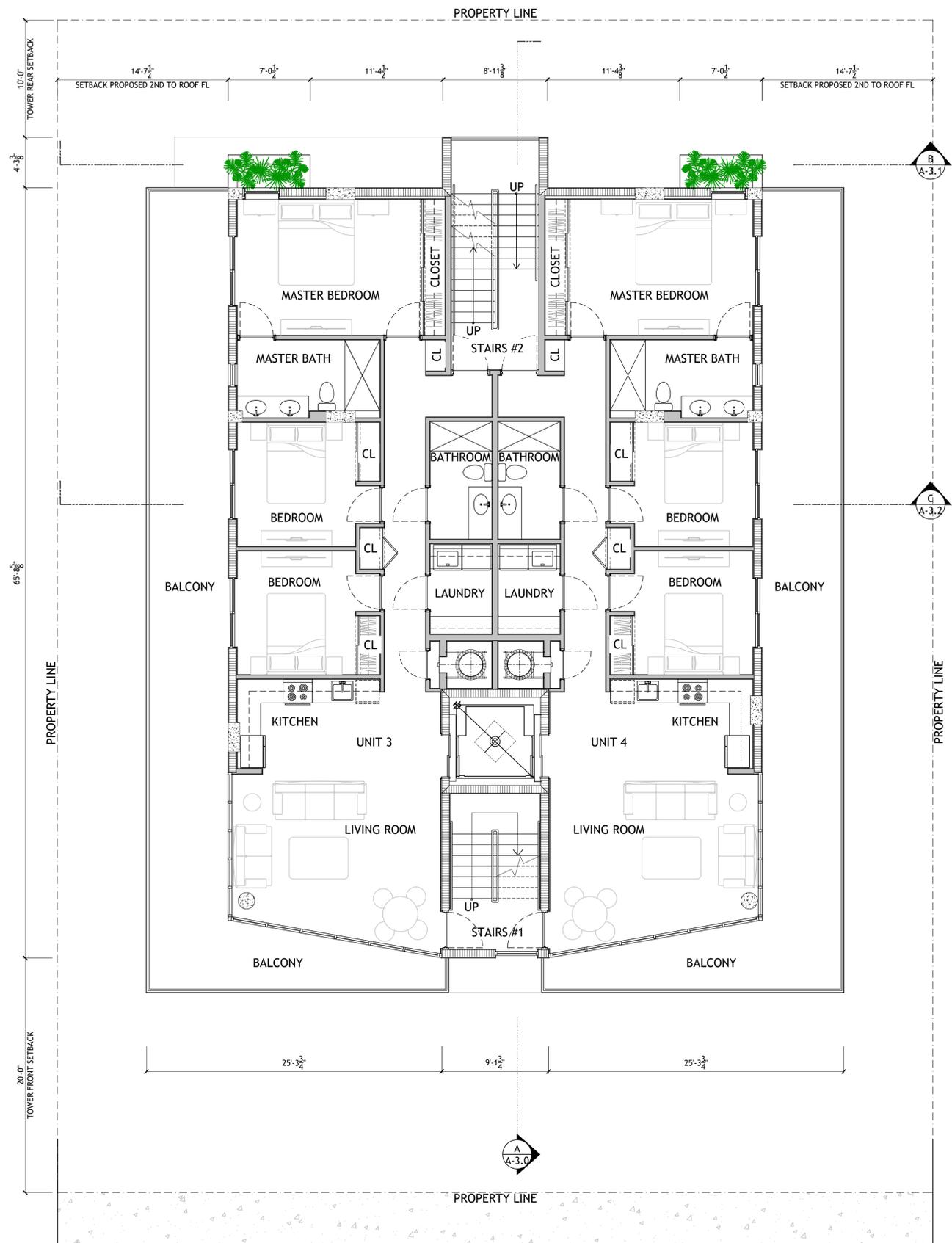
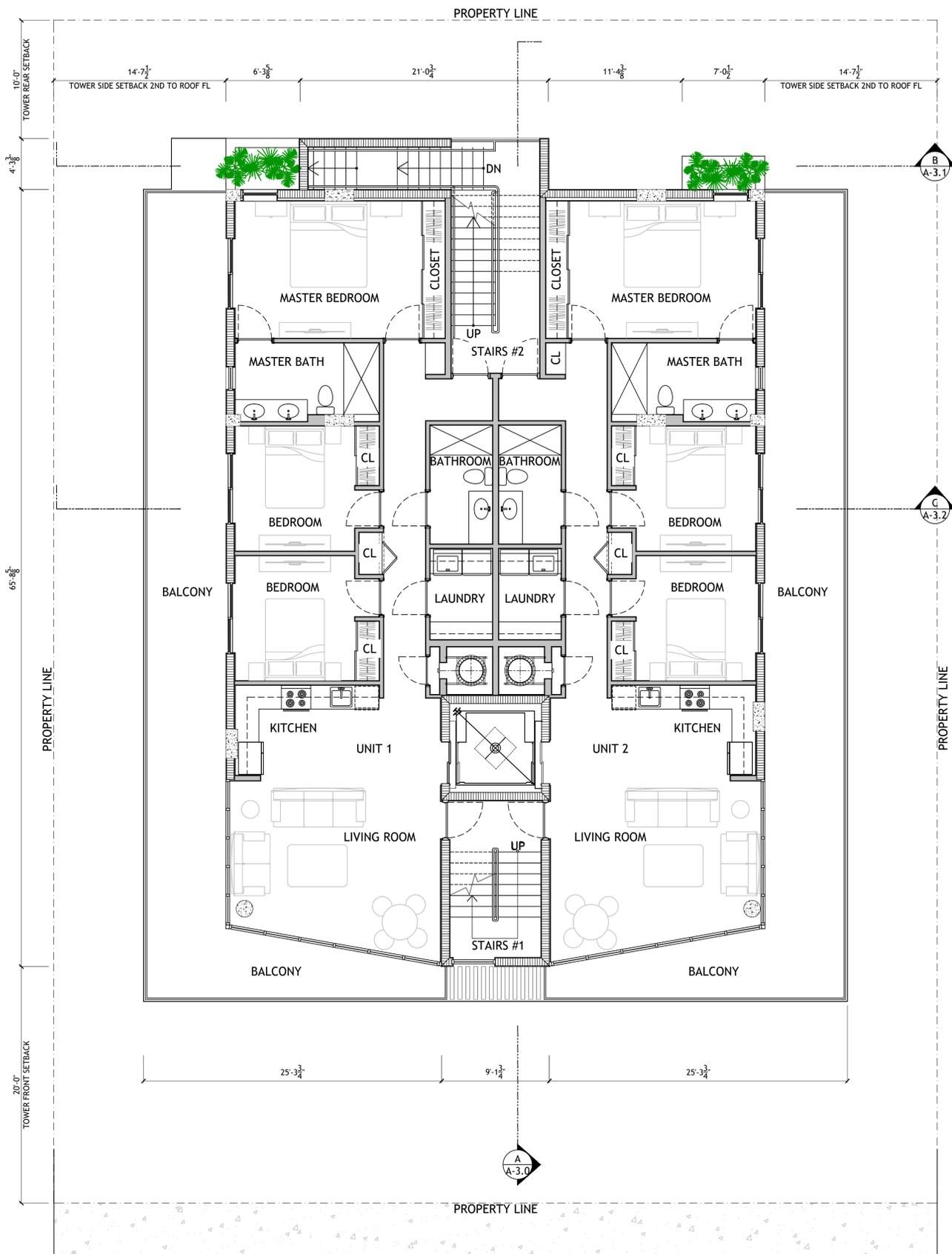
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SEAL

MULTI-FAMILY UNITS
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MIAMI BEACH, FL 33139

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A-1.1
LOT COVERAGE
UNIT SIZE DIAGRAMS



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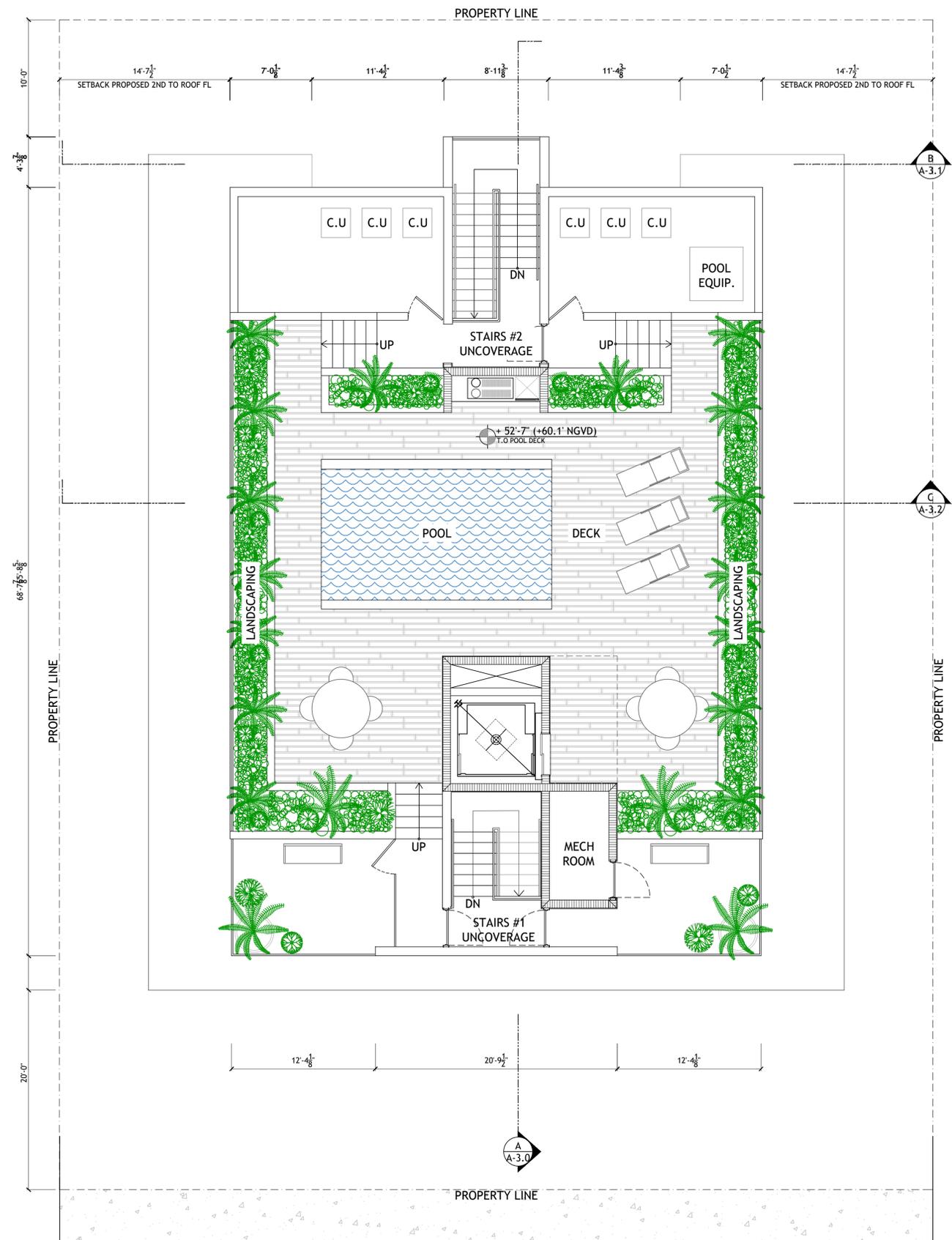
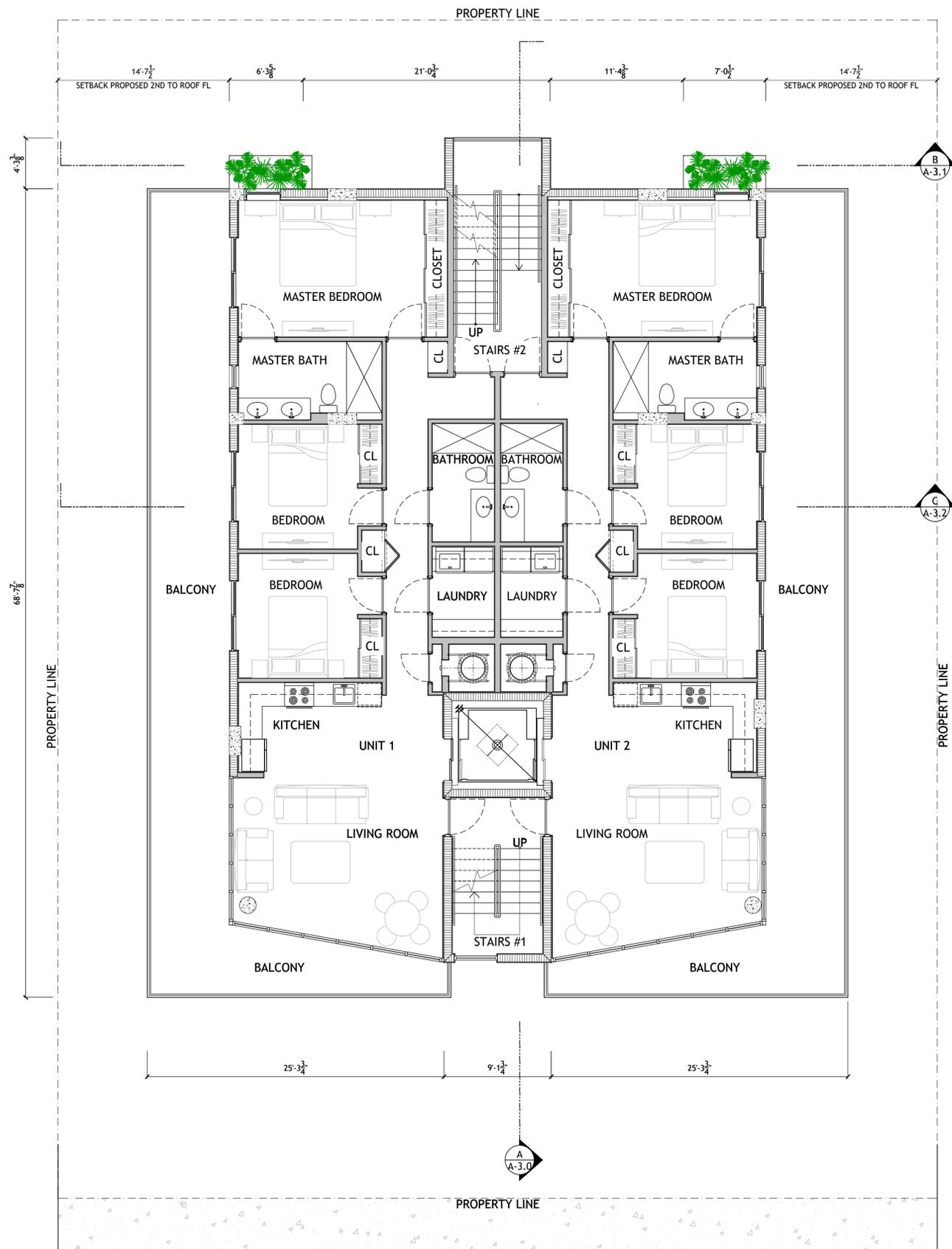
SCALE

MULTI-FAMILY UNITS
1311 15th TER
MIAMI BEACH, FL 33139

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A-2.0

2ND FLOOR PROPOSAL
3RD FLOOR PROPOSAL



LEGEND (PLAN)	
	NEW CONCRETE WALL
	NEW STUD PARTITION WALL

DIMENSION LINES ARE FROM FACE TO FACE OF METAL STUD WALL AND/OR CMU &/OR CONCRETE WALL (U.O.N.)

PROPOSED 4TH FLOOR
SCALE 3/16" = 1'-0"

PROPOSED ROOF - POOL DECK
SCALE 3/16" = 1'-0"

DRAWN BY:	
REVISIONS:	

A.A.00035669
ANTHONY LEON
0016162

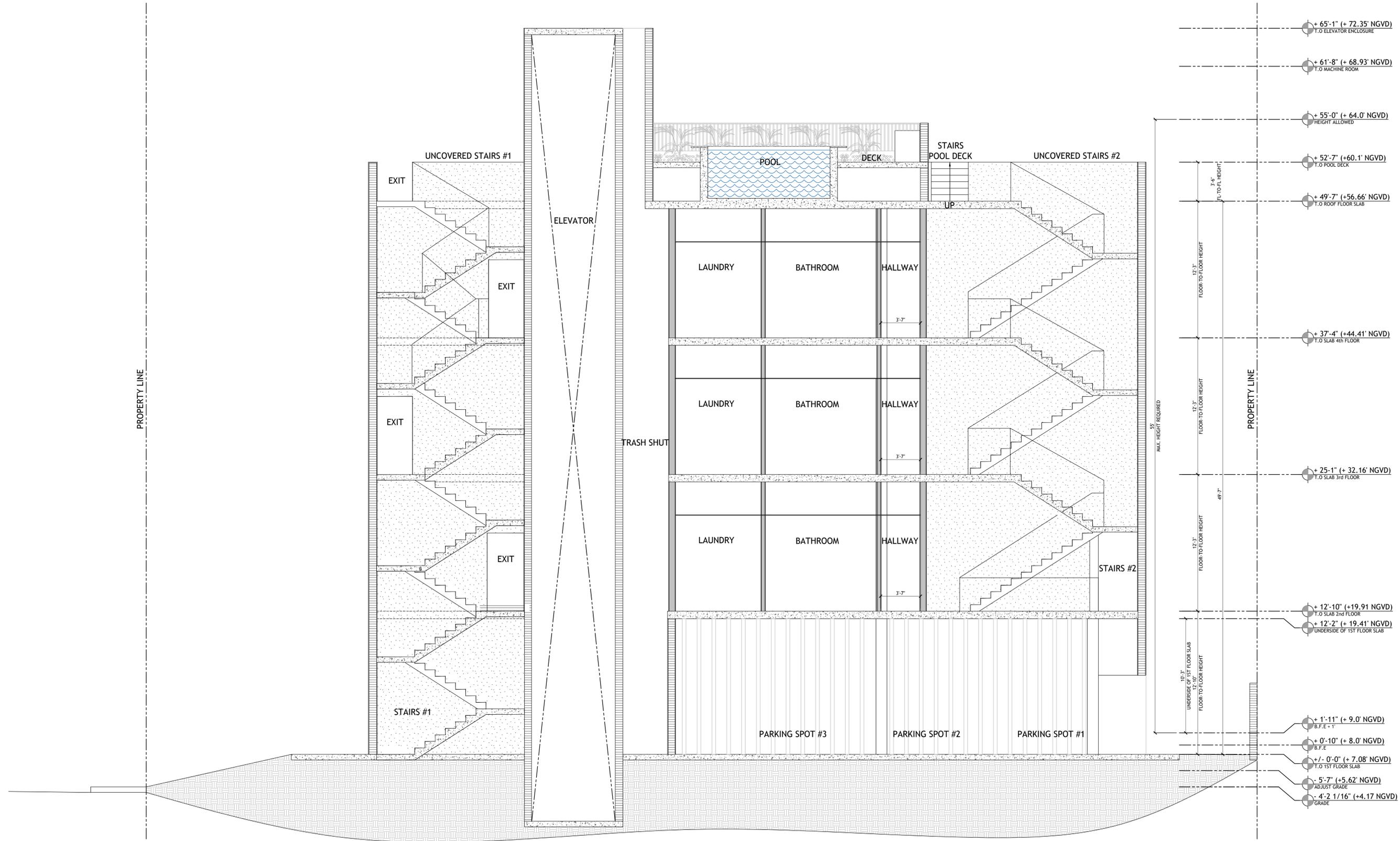
3 DESIGN
ARCHITECTURE
3260 NW 7TH ST, Miami, FL 33125
P: 305.438.9377 | F: 305.438.9379



MULTI-FAMILY UNITS
1311 15th TER
MIAMI BEACH, FL 33139

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A-2.1
4TH FLOOR PROPOSED ROOF PLAN



SECTION A
SCALE 1/4"=1'-0"

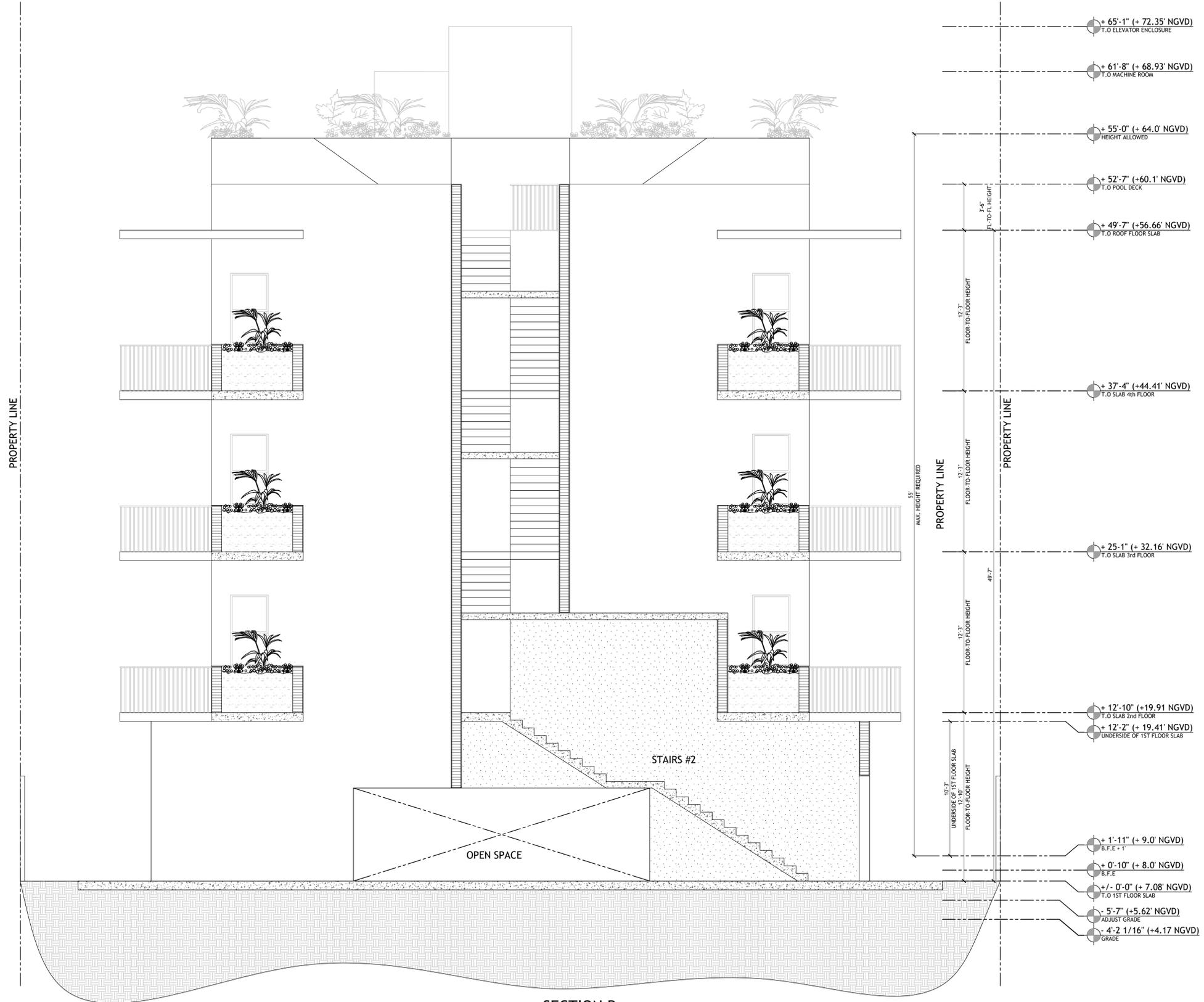
AAG003569
ANTHONY LEON
0016752

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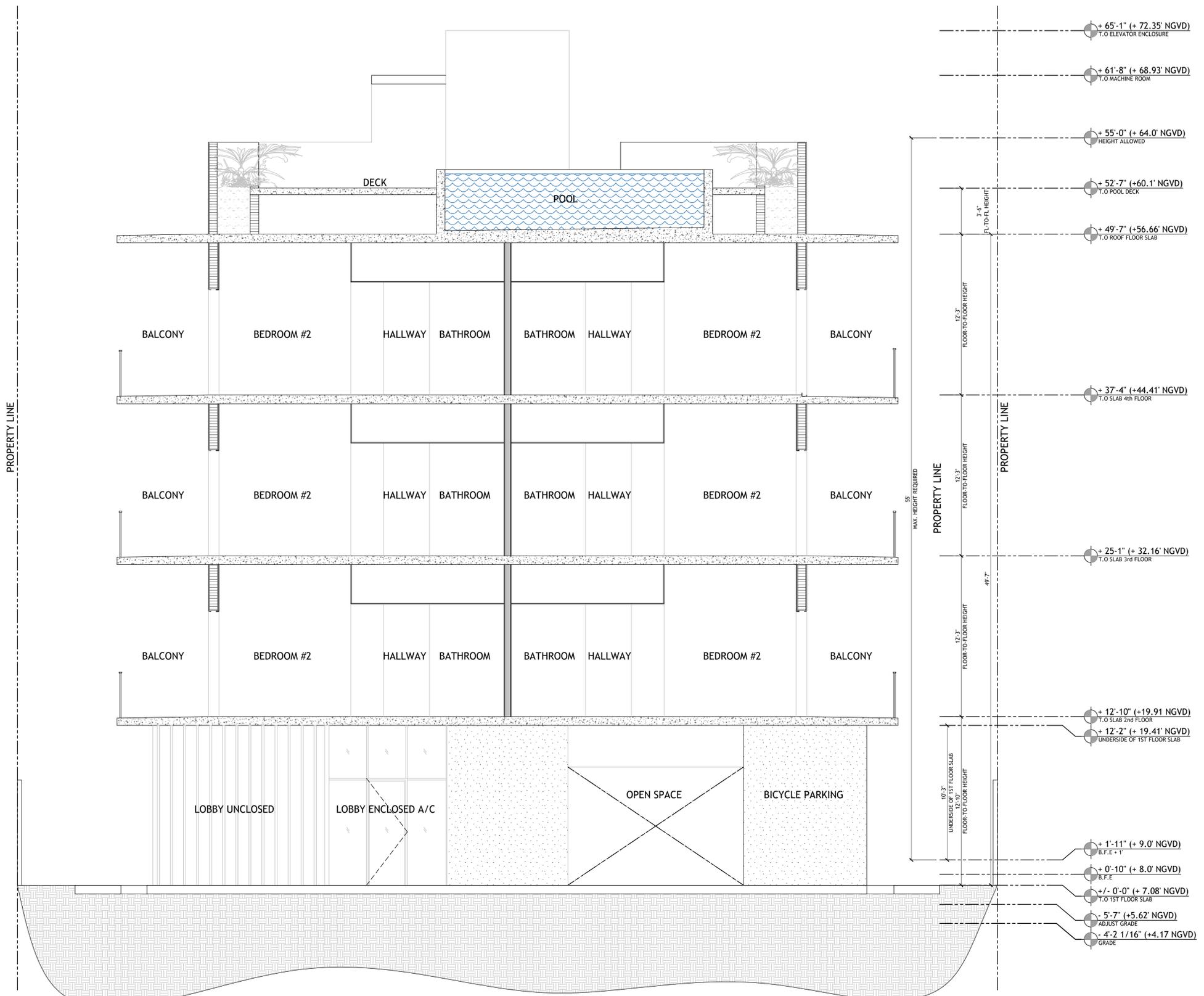
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SECTION B
SCALE 1/4"=1'-0"

- +65'-1" (+72.35' NGVD)
T.O ELEVATOR ENCLOSURE
- +61'-8" (+68.93' NGVD)
T.O MACHINE ROOM
- +55'-0" (+64.0' NGVD)
HEIGHT ALLOWED
- +52'-7" (+60.1' NGVD)
T.O POOL DECK
- +49'-7" (+56.66' NGVD)
T.O ROOF FLOOR SLAB
- +37'-4" (+44.41' NGVD)
T.O SLAB 4th FLOOR
- +25'-1" (+32.16' NGVD)
T.O SLAB 3rd FLOOR
- +12'-10" (+19.91' NGVD)
T.O SLAB 2nd FLOOR
- +12'-2" (+19.41' NGVD)
UNDERSIDE OF 1ST FLOOR SLAB
- +1'-11" (+9.0' NGVD)
B.F.E - 1
- +0'-10" (+8.0' NGVD)
B.F.E
- +/- 0'-0" (+7.08' NGVD)
T.O 1ST FLOOR SLAB
- -5'-7" (+5.62' NGVD)
ADJUST GRADE
- -4'-2 1/16" (+4.17' NGVD)
GRADE



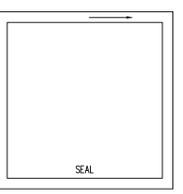
SECTION C
SCALE 1/4"=1'-0"

DRAWN BY:
REVISIONS:

AAG003569
ANTHONY LEON
0016/52

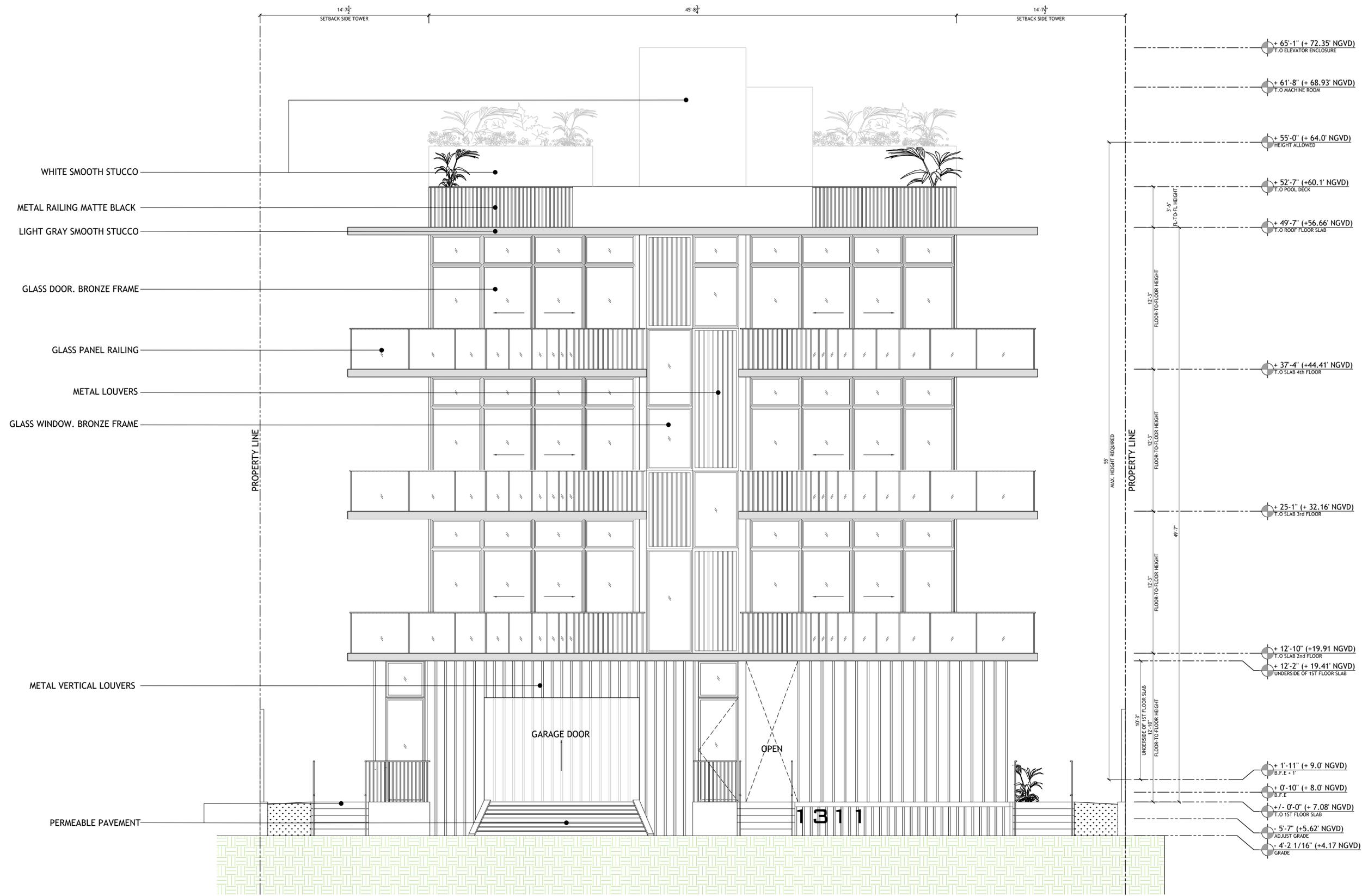
3 DESIGN ARCHITECTURE

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MULTI-FAMILY UNITS
1311 15th TER
MIAMI BEACH, FL 33139

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SOUTH ELEVATION
SCALE 1/4"=1'-0"

- WHITE SMOOTH STUCCO
- METAL RAILING MATTE BLACK
- LIGHT GRAY SMOOTH STUCCO
- GLASS DOOR. BRONZE FRAME
- GLASS PANEL RAILING
- METAL LOUVERS
- GLASS WINDOW. BRONZE FRAME

- METAL VERTICAL LOUVERS
- PERMEABLE PAVEMENT

- + 65'-1" (+ 72.35' NGVD)
T.O. ELEVATOR ENCLOSURE
- + 61'-8" (+ 68.93' NGVD)
T.O. MACHINE ROOM
- + 55'-0" (+ 64.0' NGVD)
HEIGHT ALLOWED
- + 52'-7" (+60.1' NGVD)
T.O. POOL DECK
- + 49'-7" (+56.66' NGVD)
T.O. ROOF FLOOR SLAB
- + 37'-4" (+44.41' NGVD)
T.O. SLAB 4th FLOOR
- + 25'-1" (+ 32.16' NGVD)
T.O. SLAB 3rd FLOOR
- + 12'-10" (+19.91' NGVD)
T.O. SLAB 2nd FLOOR
- + 12'-2" (+ 19.41' NGVD)
UNDERSIDE OF 1ST FLOOR SLAB
- + 1'-11" (+ 9.0' NGVD)
B.F.E. + 1'
- + 0'-10" (+ 8.0' NGVD)
B.F.E.
- +/- 0'-0" (+ 7.08' NGVD)
T.O. 1ST FLOOR SLAB
- 5'-7" (+5.62' NGVD)
ADJUST GRADE
- 4'-2 1/16" (+4.17' NGVD)
GRADE

DRAWN BY:
REVISIONS:

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DESIGN
ARCHITECTURE

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SCALE

MULTI-FAMILY UNITS
1311 15th TER
MIAMI BEACH, FL 33139

SUBDIVISION II- RM-1 RESIDENTIAL MULTIFAMILY LOW INTENSITY
SEC. 142-151 & 142-155

f. Ground floor requirements. When parking or amenity areas are provided at the ground floor level below the first habitable level, the following requirements shall apply:

1. A minimum height of 12 feet shall be provided, as measured from base floor elevation plus minimum freeboard to the underside of the first floor slab. The design review board or historic preservation board, as applicable, may waive this height requirement by up to two feet, in accordance with the design review of certificate of appropriateness criteria, as applicable.

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A-4.0
SOUTH ELEVATION



EAST ELEVATION
SCALE 1/4"=1'-0"

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REVISIONS:

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ANTHONY LEON
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3 DESIGN
ARCHITECTURE

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SEAL

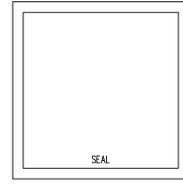
MULTI-FAMILY UNITS
1311 15th TER
MIAMI BEACH, FL 33139

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A-4.1
EAST ELEVATION

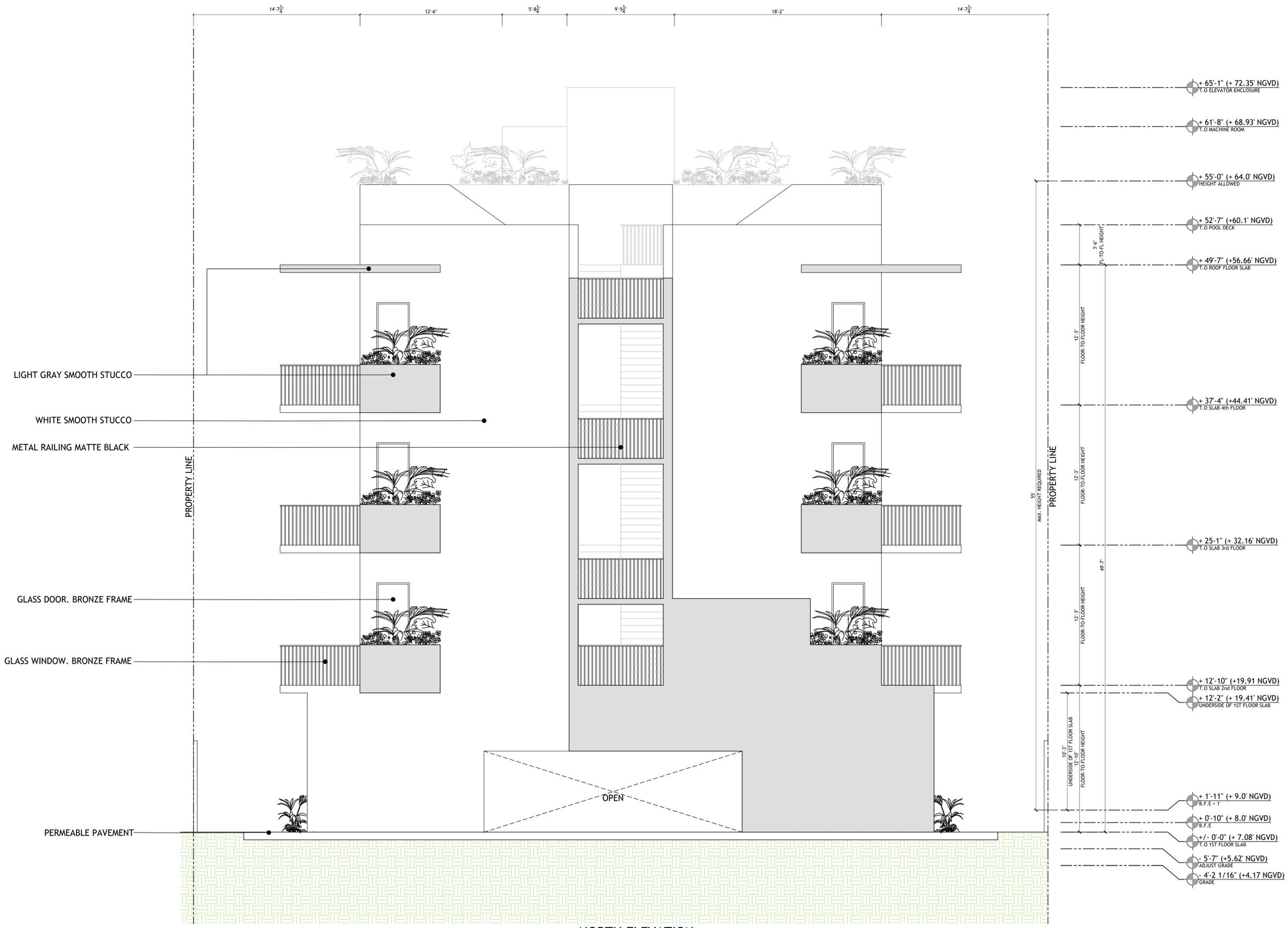
AAG003569
ANTHONY LEON
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MULTI-FAMILY UNITS
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NORTH ELEVATION
SCALE 1/4"=1'-0"

- + 65'-1" (+ 72.35' NGVD)
T.O ELEVATOR ENCLOSURE
- + 61'-8" (+ 68.93' NGVD)
T.O MACHINE ROOM
- + 55'-0" (+ 64.0' NGVD)
HEIGHT ALLOWED
- + 52'-7" (+60.1' NGVD)
T.O POOL DECK
- + 49'-7" (+56.66' NGVD)
T.O ROOF FLOOR SLAB
- + 37'-4" (+44.41' NGVD)
T.O SLAB 4th FLOOR
- + 25'-1" (+ 32.16' NGVD)
T.O SLAB 3rd FLOOR
- + 12'-10" (+19.91' NGVD)
T.O SLAB 2nd FLOOR
- + 12'-2" (+ 19.41' NGVD)
UNDERSIDE OF 1ST FLOOR SLAB
- + 1'-11" (+ 9.0' NGVD)
B.F.E + 1'
- + 0'-10" (+ 8.0' NGVD)
B.F.E
- +/- 0'-0" (+ 7.08' NGVD)
T.O 1ST FLOOR SLAB
- 5'-7" (+5.62' NGVD)
ADJUST GRADE
- 4'-2 1/16" (+4.17' NGVD)
GRADE



WEST ELEVATION
SCALE 1/4"=1'-0"

DRAWN BY:
REVISIONS:

AAG003569
ANTHONY LEON
0016152

3 DESIGN
ARCHITECTURE
3260 NW 7TH ST, Miami, FL 33125
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SEAL

MULTI-FAMILY UNITS
1311 15th TER
MIAMI BEACH, FL 33139

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A-4.3
WEST ELEVATION



PROPOSED FRONT VIEW 15 TER
RENDERING



PROPOSED REAR VIEW EAST
RENDERING



PROPOSED POOL DECK VIEW
RENDERING



PROPOSED LOBBY AREA
RENDERING

DRAWN BY:
REVISIONS:

AA0003569
ANTHONY LEON
0016752

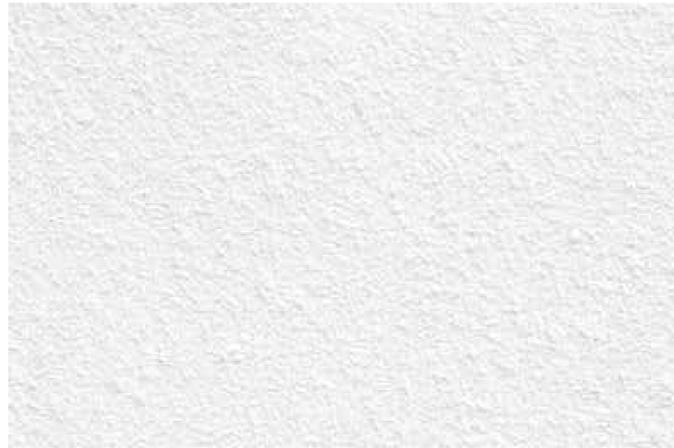
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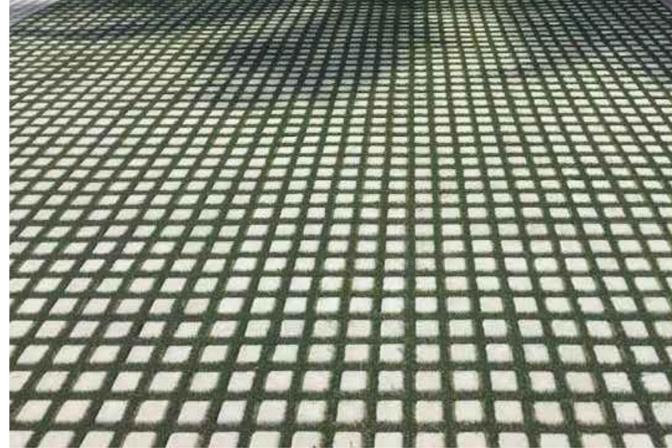
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A-5.0
RENDERINGS



WHITE SMOOTH STUCCO



PERMEABLE PAVERS



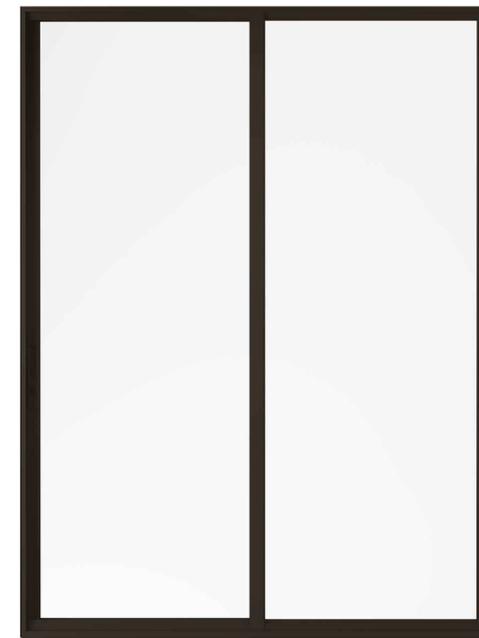
METAL VERTICAL LOUVERS



LIGHT GRAY STUCCO



BRUSHED CONCRETE EXTERIOR



GLASS DOOR. BRONZE FRAME

DRAWN BY:
REVISIONS:

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A-6.0
MATERIAL PROPOSAL