

VARIANCE REQUEST FOR:
5446 NORTH BAY ROAD

FINAL SUBMITTAL
DRB22-0877

1

DRB FINAL SUBMITTAL
OCTOBER 15, 2022



CLIENT:
XI LLC
One SE 3rd Ave. STe 2250,
Miami, FL 33131

ARCHITECT:
3DESIGN
3260 NW 7th St, Miami, FL 33125

DESCRIPTION OF VARIANCE REQUEST:

Request for a variance from DRB, to
allow an elevator bulkhead to exceed the
maximum 10' height above roof level, per
Sec. 142-105 (b)(7)f, by 3'-5".

| REVISIONS | | BY | DATE |
|------------|--|----|----------|
| START DATE | | TP | 08/30/22 |
| REVISION 1 | | TP | 09/06/22 |
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NOTES :

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| SHEET TITLE |
| SCALE |
| # SHEET |
| VR-0 |

5446 NORTH BAY ROAD
MIAMI BEACH, FL 33139
Miami-Dade County, Florida

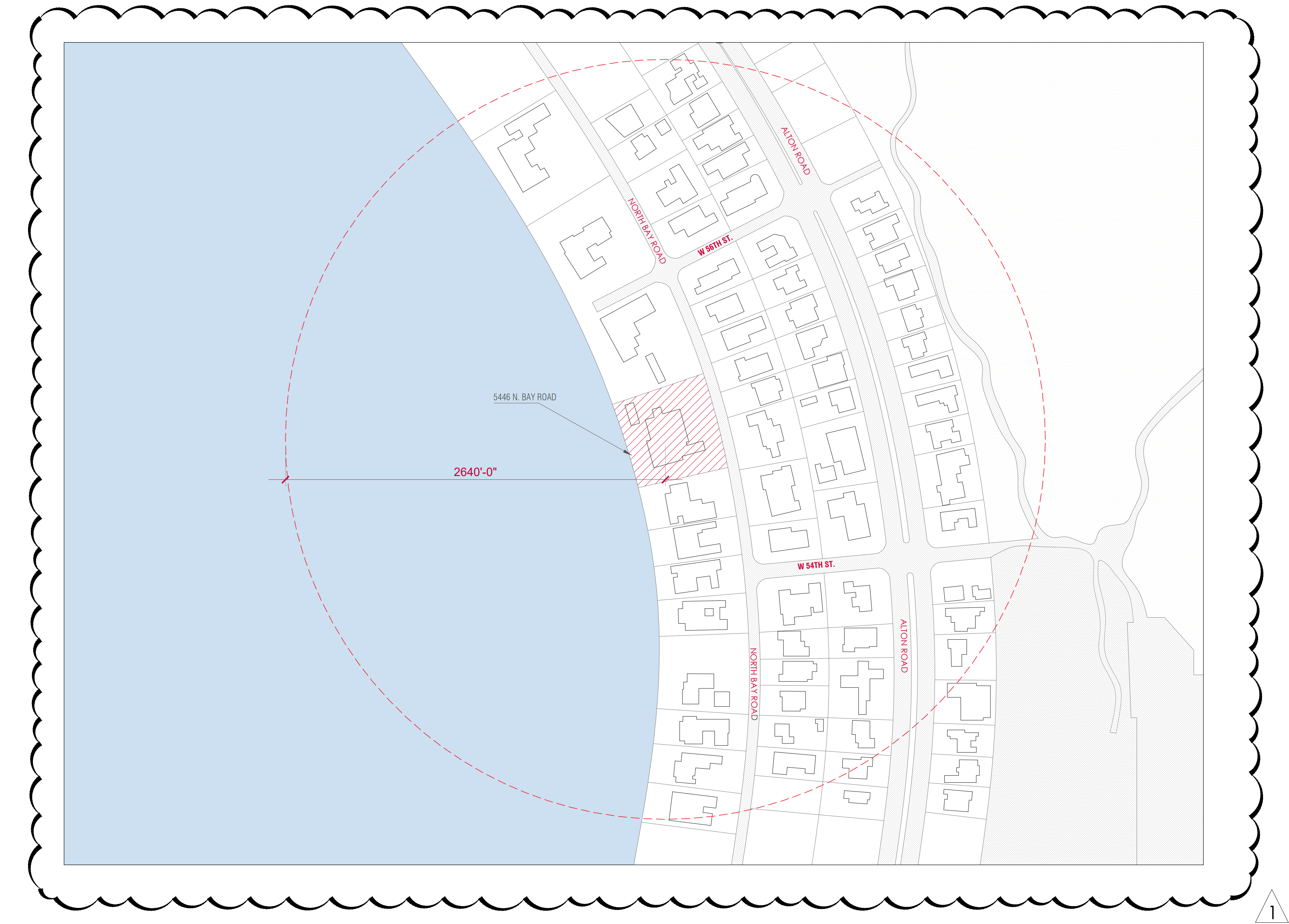
1828 BAY RD, UNIT # 301
MIAMI BEACH, FL
33139 USA

PHONE 305/763-8376
FAX 866/211-9510

info@thirlwalldesign.com



ALL IDEAS, DESIGNS, ARRANGEMENTS, & PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, & THE PROPERTY OF, THE DESIGNER & WERE CREATED, DEVELOPED, & DEVELOPED FOR USE ONLY, & IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, OR PLANS SHALL BE USED BY, OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF JAMES J. WALL, DESIGNER. ANY REUSE OR REPRODUCTION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF JAMES J. WALL, DESIGNER, SHALL BE CONSIDERED A VIOLATION OF THE DESIGNER'S RIGHTS AND SHALL BE SUBJECT TO THE DESIGNER'S FULL AND COMPLETE REMEDY. ANY REUSE OR REPRODUCTION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF JAMES J. WALL, DESIGNER, SHALL BE CONSIDERED A VIOLATION OF THE DESIGNER'S RIGHTS AND SHALL BE SUBJECT TO THE DESIGNER'S FULL AND COMPLETE REMEDY.



VARIANCE REQUEST FOR:
5446 NORTH BAY ROAD

LEGAL DESCRIPTION:
LA GORCE SUB PB 14-43
LOT 3 & LOT 4 LESS BEG AT NE COR
LOT 5 W PAR TO S/L LOT 5 FOR
163.6 FT M/L TO W/L LOT 4 S TO SW
COR LOT 4 E163.8FT M/L TO POB
BLK 14
LOT SIZE 186.300 X 165
OR 10517-1405 0979 1

ZONING DATA:
ZONING DESIGNATION: RS-3
TYPE OF OCCUPANCY: SINGLE FAMILY RESIDENTIAL

THIRLWALL

BUILDING DESIGN

1828 BAY RD, UNIT # 301
MIAMI BEACH, FL
33139 USA

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FAX 866/211-9510

info@thirlwalldesign.com

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MIAMI BEACH, FL 33139
Miami-Dade County, Florida

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NOTES :

SHEET TITLE

SCALE

SHEET

VR-1

info@thirlwalldesign.com

5446 NORTH BAY ROAD
MIAMI BEACH, FL 33139
Miami-Dade County, Florida

| ZONING INFORMATION | | | |
|--|--|----------------------------------|-----------------------|
| ADDRESS : | 5446 N BAY RD | | |
| FOLIO NUMBER(S) : | 02-3215-003-1800 | | |
| BOARD AND FILE NUMBERS : | N/A | | |
| YEAR BUILT : | 2014 | ZONING DISTRICT : | RS - 3 |
| BASE FLOOD ELEVATION : | 9' - 0" | GRADE VALUE IN NGVD : | 4.31 NGVD |
| ADJUSTED GRADE (FLOOD + GRADE / 2) : | NEED SURVEY!!! | FREE BOARD : | |
| LOT AREA : | 30,892 SQ FT | | |
| LOT WIDTH : | 186' - 3 ⁵ / ₈ " | LOT DEPTH : | 165' - 0" |
| MAX LOT COVERAGE SF AND % : | 9,267.63 SQ FT (30%) | PROPOSED LOT COVERAGE SF AND % : | 8,283 SQ FT (26.95%) |
| MAX UNIT SIZE SF AND % : | 15,446.06 SQ FT (50%) | PROPOSED UNIT SIZE SF AND % : | 11,984 SQ FT (38.98%) |
| PROPOSED FIRST FLOOR UNIT SIZE : | 6,349 SQ FT | | |
| PROPOSED SECOND FLOOR UNIT SIZE SF | 5,182 SQ FT | | |

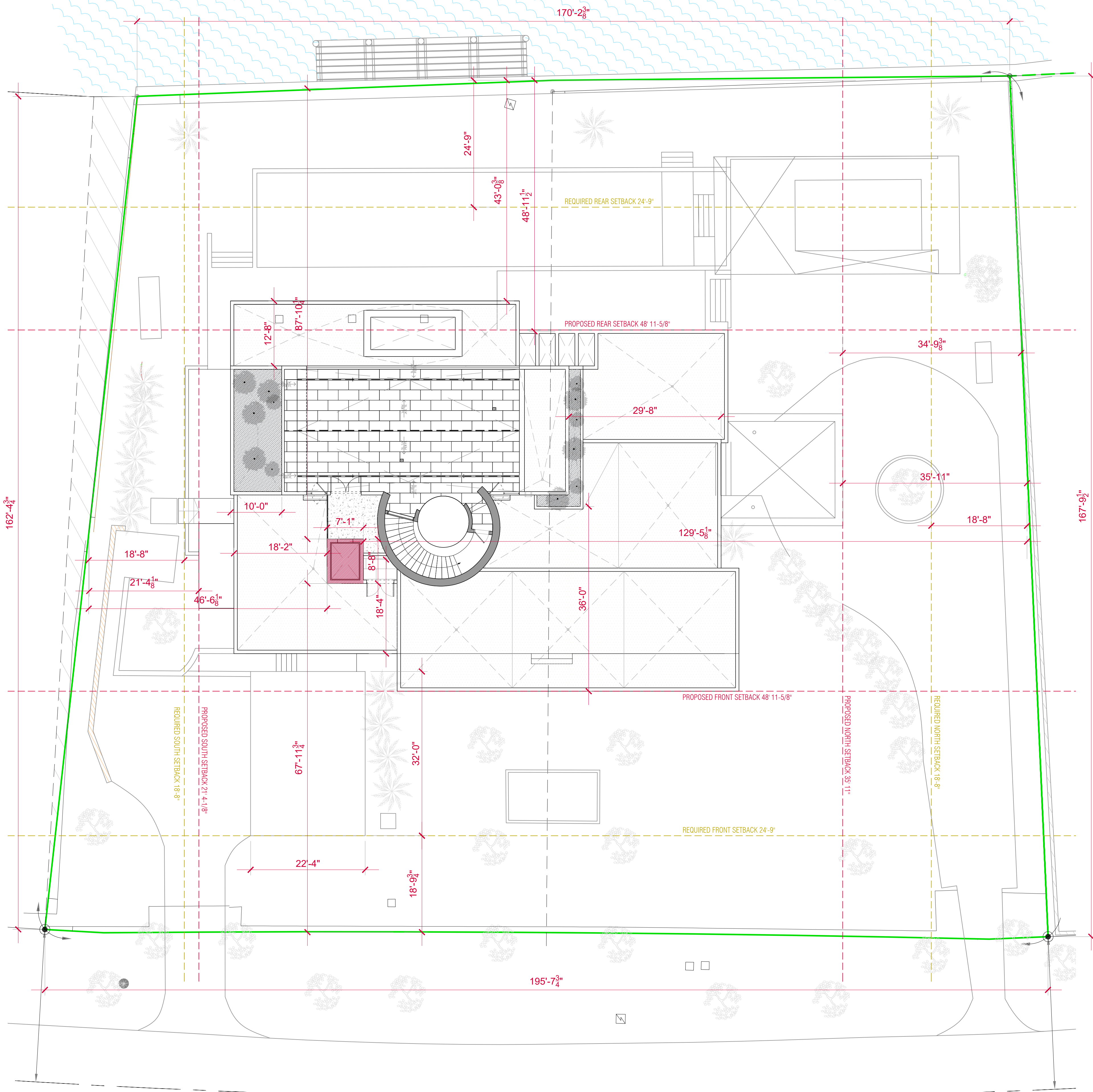
| | | |
|---------------------|---|--|
| | REQUIRED | PROPOSED |
| BUILDING HEIGHT : | 24' (FLAT ROOF) | 24' (FLAT ROOF) |
| BUILDING SETBACKS : | | |
| FRONT: | 20' - 0" | 18' - 9 ³ / ₄ " |
| NORTH SIDE : | MIN. 18' - 8" (SUM REQUIRED SIDE YARDS MIN. 25%=46.5') | 35' - 11" |
| SOUTH SIDE : | MIN. 18' - 8" (SUM REQUIRED SIDE YARDS MIN. 25%=46.5') | 21' - 4 ¹ / ₈ " |
| REAR : | MIN 24' - 9" (15% DEPTH LOT) | 48' - 11 ⁵ / ₈ " |

[illegible]

NOTES :

SHEET

VR-2

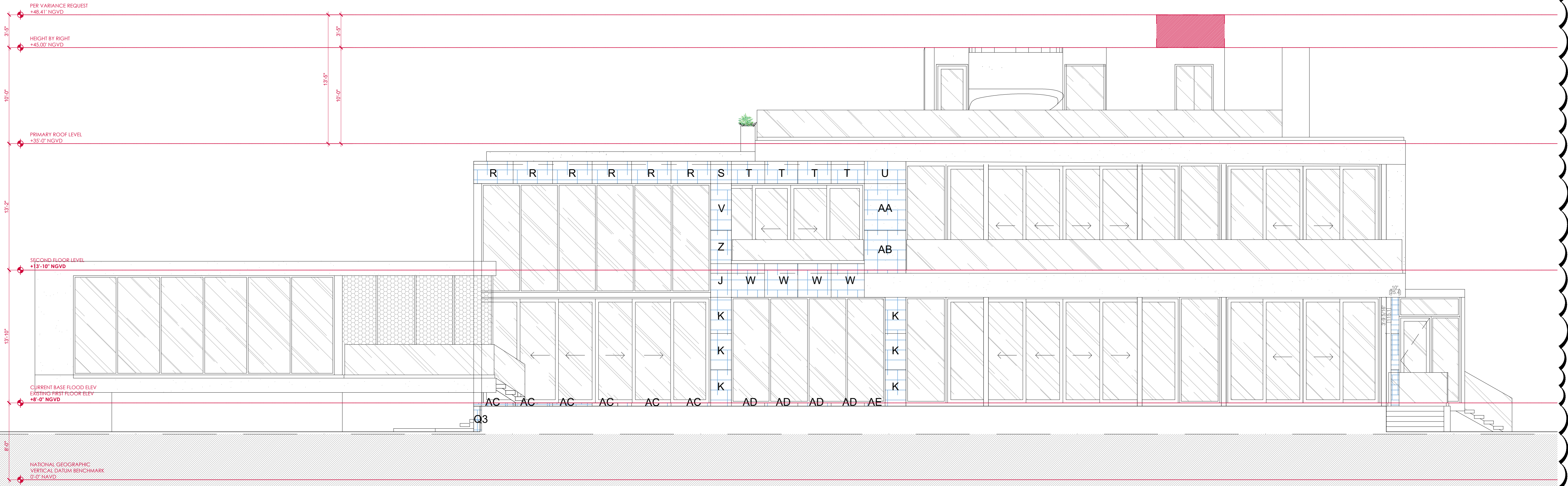


SITE PLAN - 5446

SCALE : 3/32" = 1'

fo@thirlwalldesign.com

WR-3



WEST ELEVATION - 5446
SCALE: 3/16" = 1'



SOUTH ELEVATION - 5446
SCALE: 3/16" = 1'

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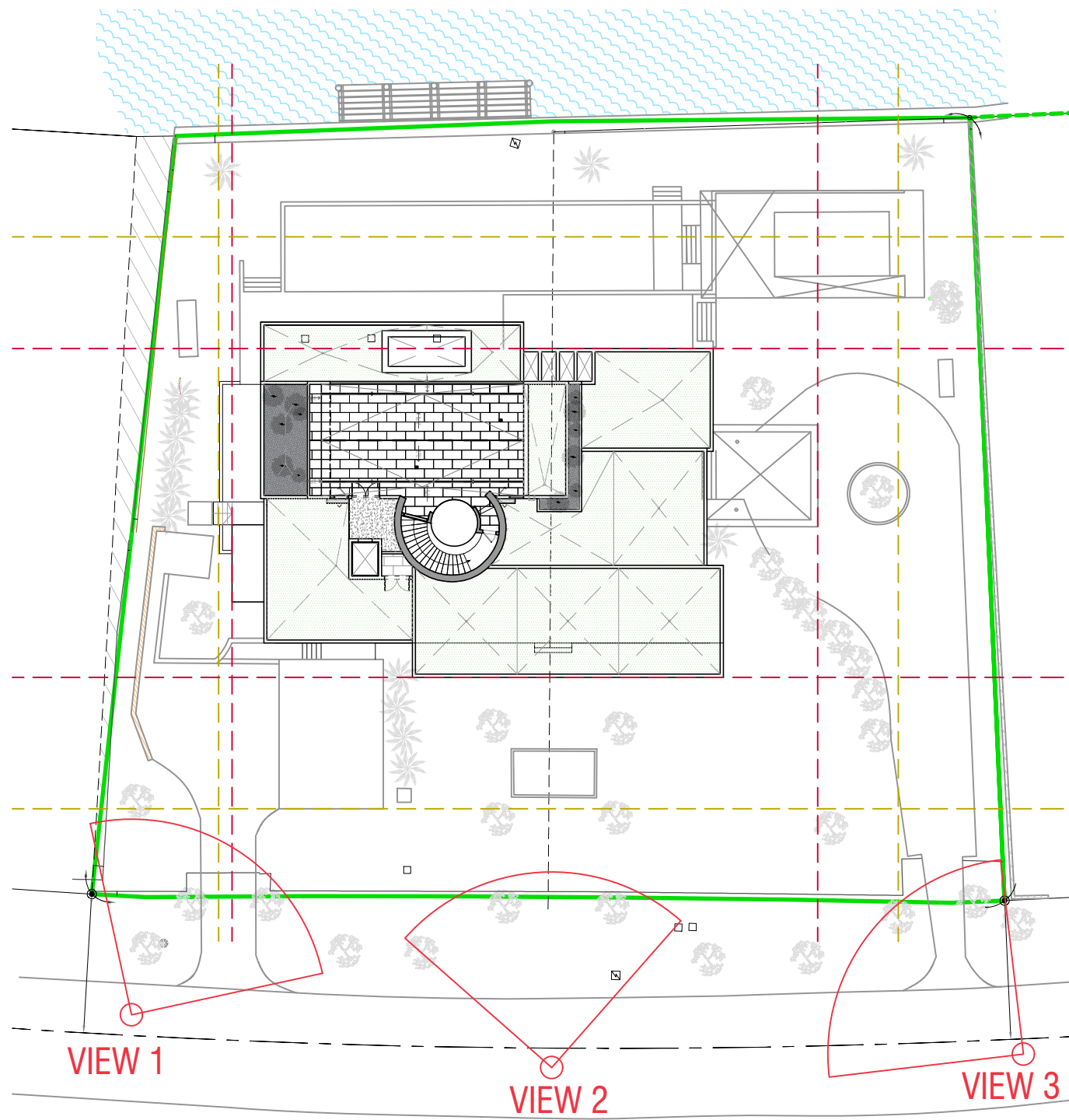
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| SHEET TITLE |
| SCALE |
| # SHEET |
| VR-4 |

ALL IDEAS, DESIGNS, ARRANGEMENTS, & PLANS INDICATED OR REPRESENTED BY THE DRAWINGS ARE OWNED BY, & THE PROPERTY OF, THE DESIGNER & WERE CREATED, DEVELOPED, & REVISED FOR USE ONLY, & IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, OR PLANS SHALL BE USED BY, OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF JAMES J. WALL, DESIGNER. ANY REUSE OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF JAMES J. WALL SHALL BE AT THE USER'S RISK. THE USER SHALL BE RESPONSIBLE FOR ALL REVISIONS & CORRECTIONS TO THE DRAWINGS. THE USER SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL INFORMATION PROVIDED TO THE DESIGNER. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED TO THE DESIGNER. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED TO THE DESIGNER. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED TO THE DESIGNER.

ELEVATION SECTION - 5446
SCALE : 3/4" = 1'



STREET VIEW 3



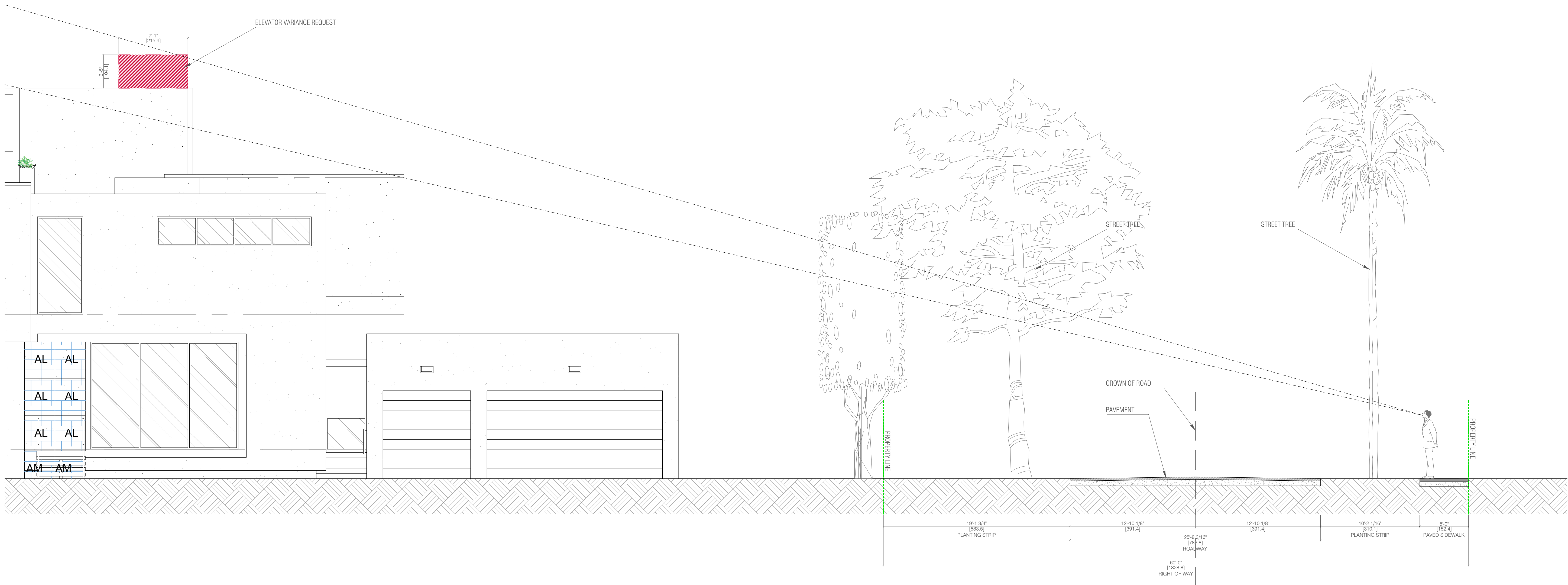
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Miami-Dade County, Florida

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| SHEET TITLE |
| SCALE |
| # SHEET |
| VR-6 |

LINE OF SIGHT STUDY



1

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NOTES :

SHEET TITLE

SCALE

SHEET

VR-7

IEWS FROM N. BAY RD.



09.01.2022



09.01.2022

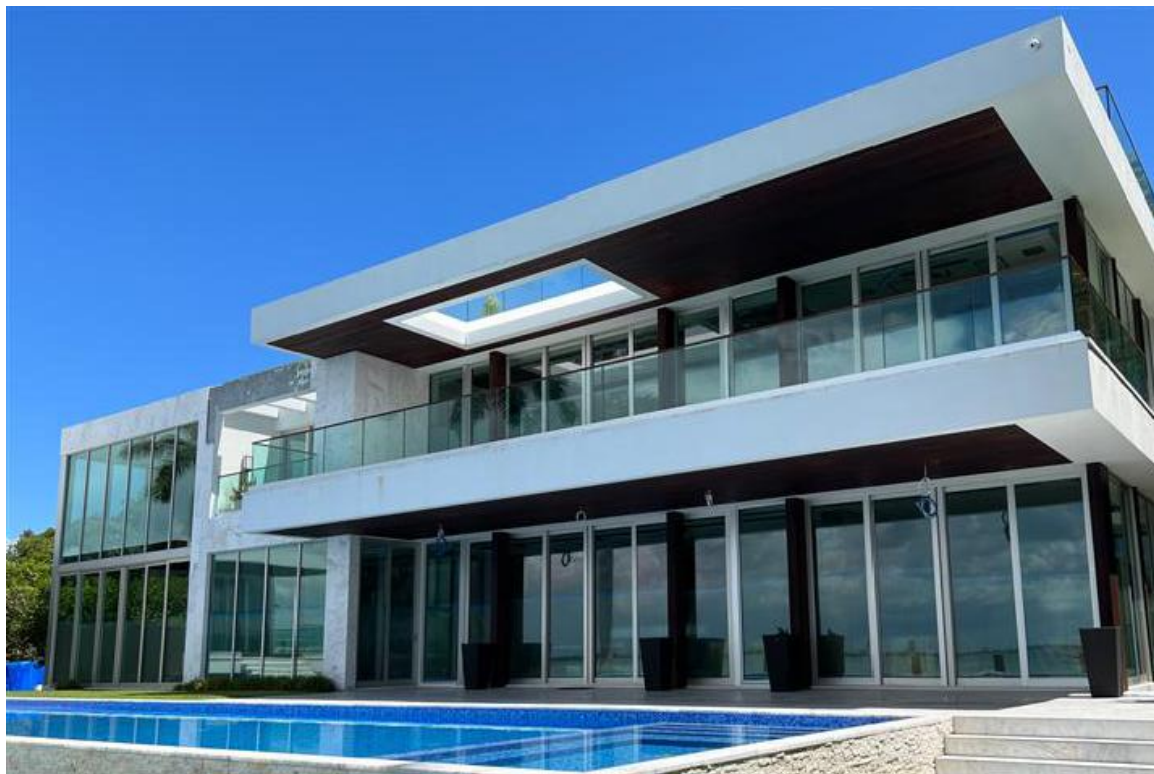


09.01.2022

IEWS FROM PROPERTY



09.01.2022



09.01.2022



09.01.2022



09.01.2022



09.01.2022

IEWS FROM ROOFTOP



09.01.2022



09.01.2022



09.01.2022



09.01.2022



09.01.2022



09.01.2022



09.01.2022

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NOTES :

SHEET TITLE

SCALE

SHEET

VR-8

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A photograph of a narrow hallway with white walls and a dark floor. A doorway is visible at the end of the hallway. A piece of white paper with text and a red circular stamp is placed on the floor in the foreground. The text on the paper includes "100% Satisfaction Guarantee", "Customer Service", "Email: support@100percent.com", and "Phone: 1-800-100-1000". The red circular stamp contains the word "100%".

A large, curved, white structure under construction, possibly a tunnel or a large pipe, with scaffolding and a crane visible. The structure is made of a smooth, white material, likely concrete or a composite. It is surrounded by a complex network of metal scaffolding and support beams. A yellow crane arm is visible in the background, extending over the structure. The ground is dark and appears to be a construction site. The overall scene suggests a major engineering project in progress.

A large, curved, white ceiling structure under construction. Scaffolding and a metal framework are visible, indicating ongoing work. The structure is illuminated by natural light from a window on the right.

A photograph of a building's exterior. On the left, there is a complex scaffolding structure with a yellow ladder attached to it. A large object in the foreground is completely covered by a black tarp. The building has a white wall and a dark doorway on the right. The ground is paved.

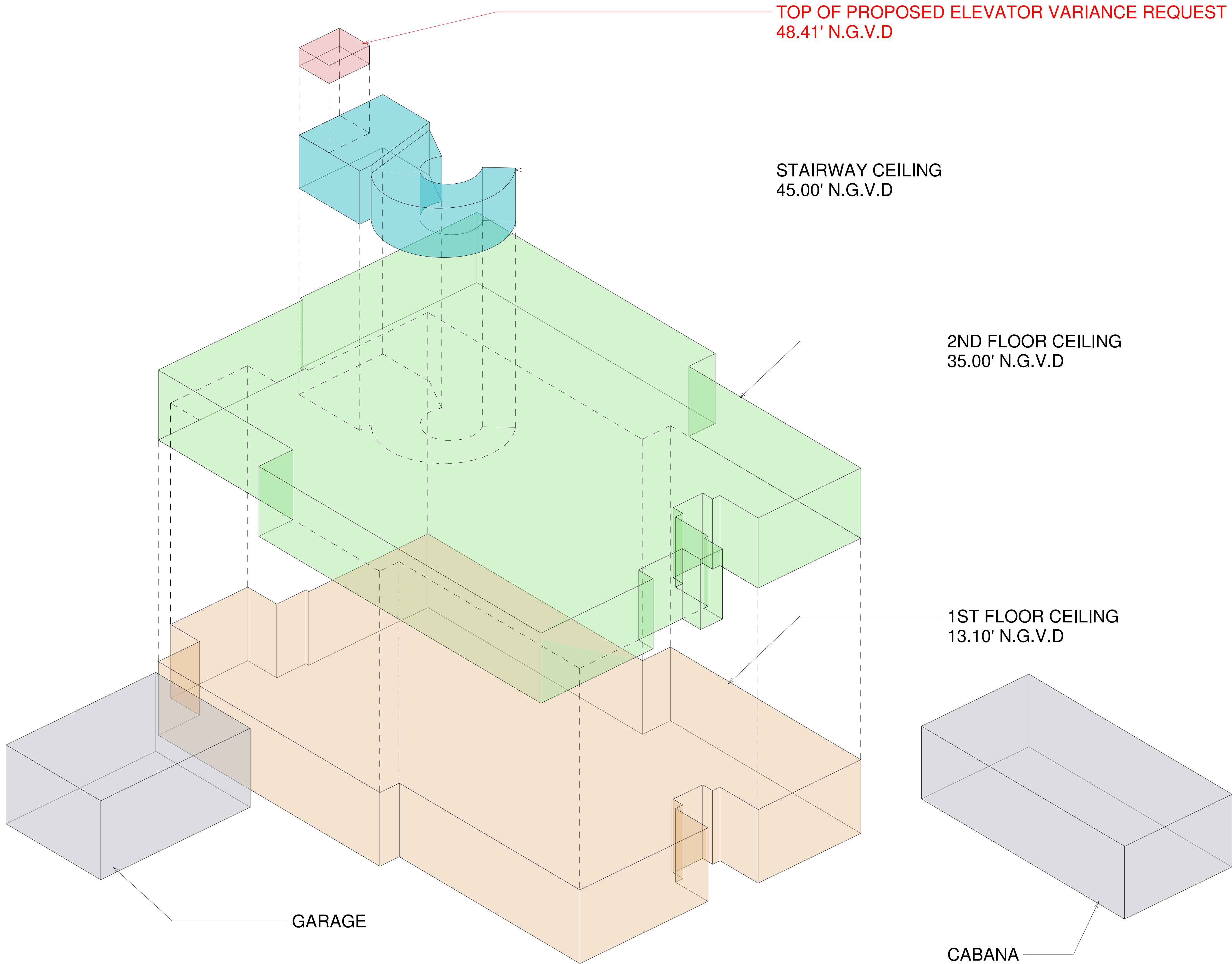
THIRLWALL
BUILDING DESIGN

info@thirlwalldesign.com

5446 NORTH BAY ROAD
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Miami-Dade County, Florida

[illegible]

VR-9

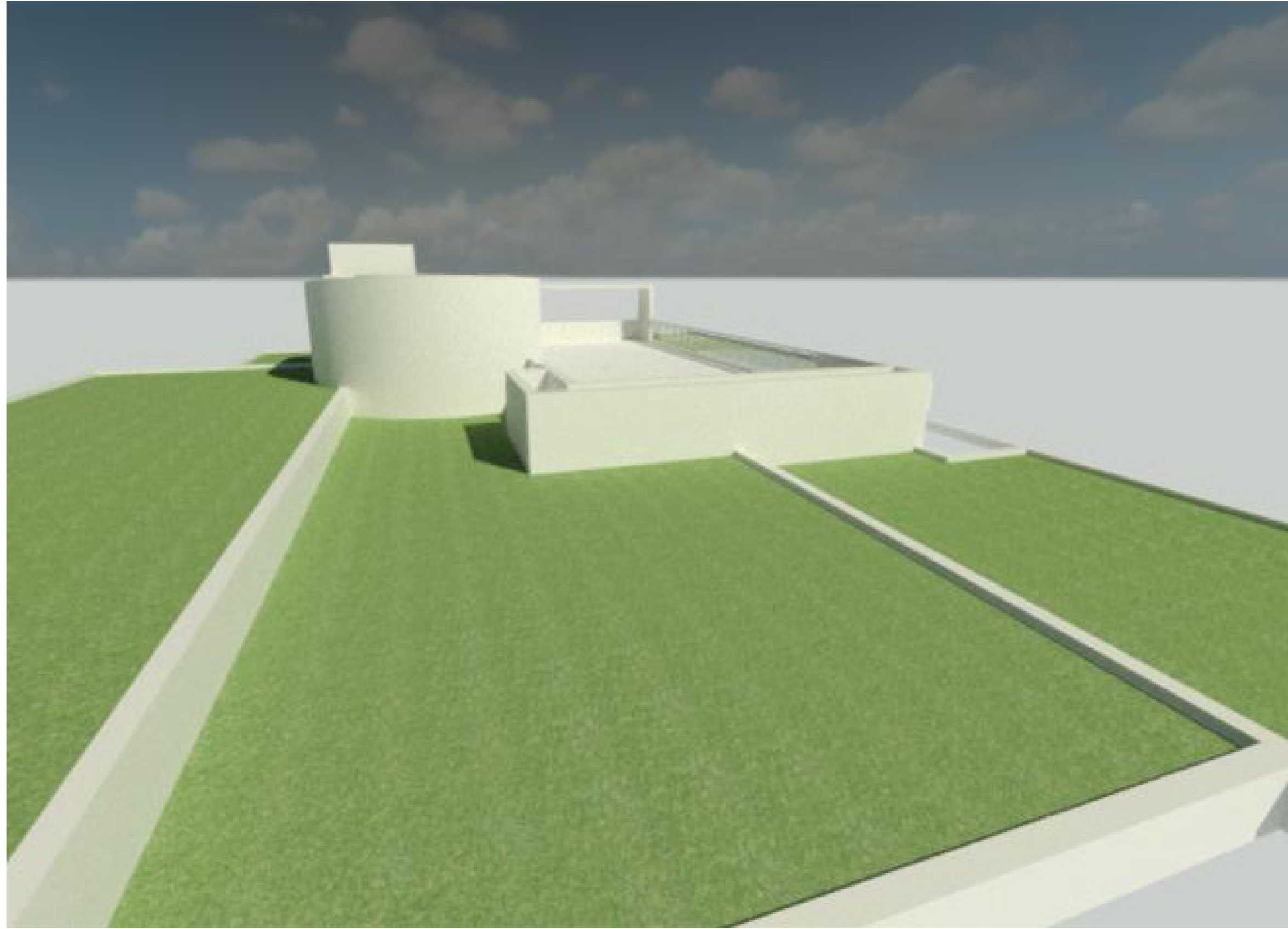


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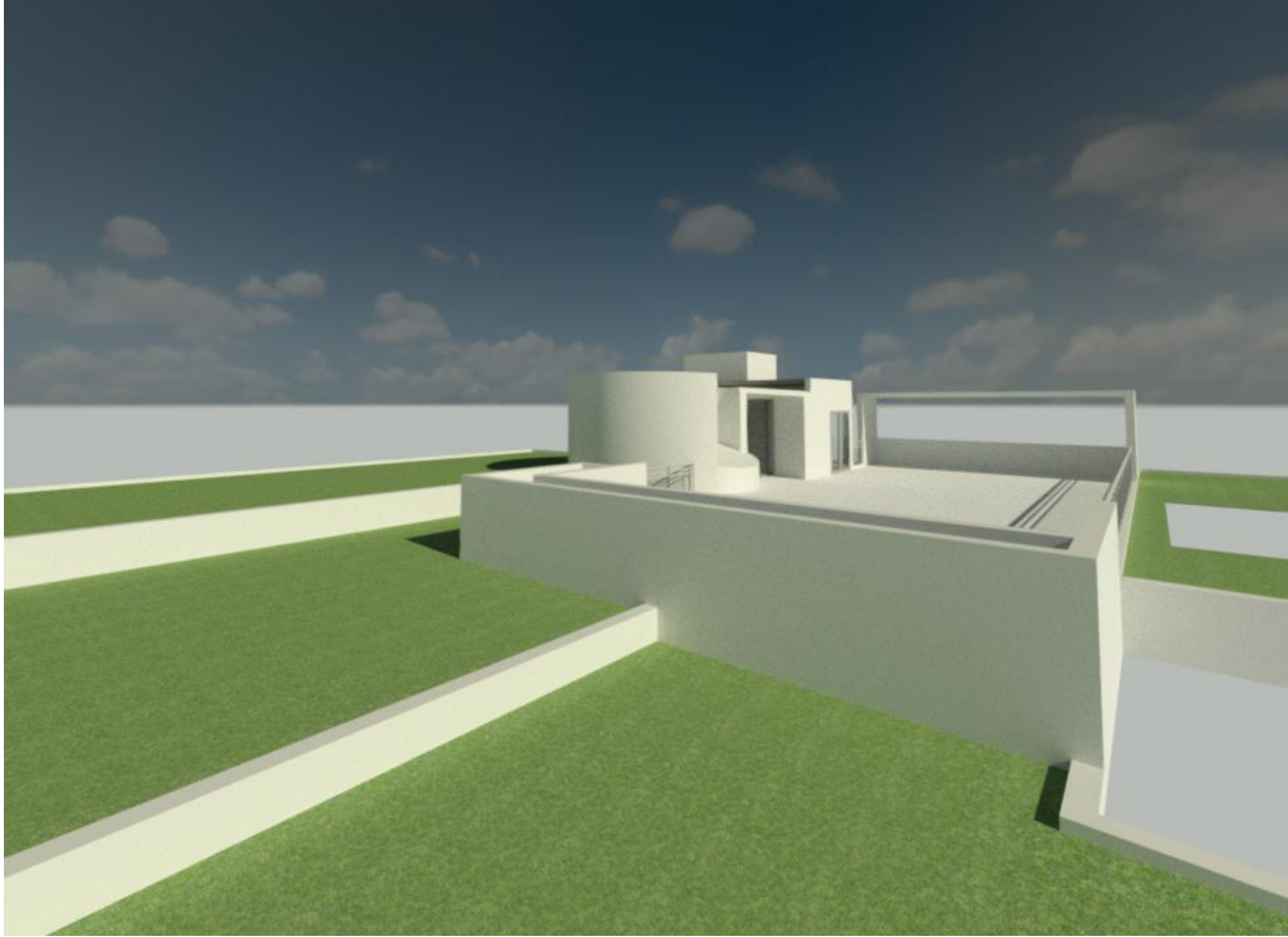
NOTES:

SHEET TITLE:
EXPLODED
SCALE: AXONOMETRIC

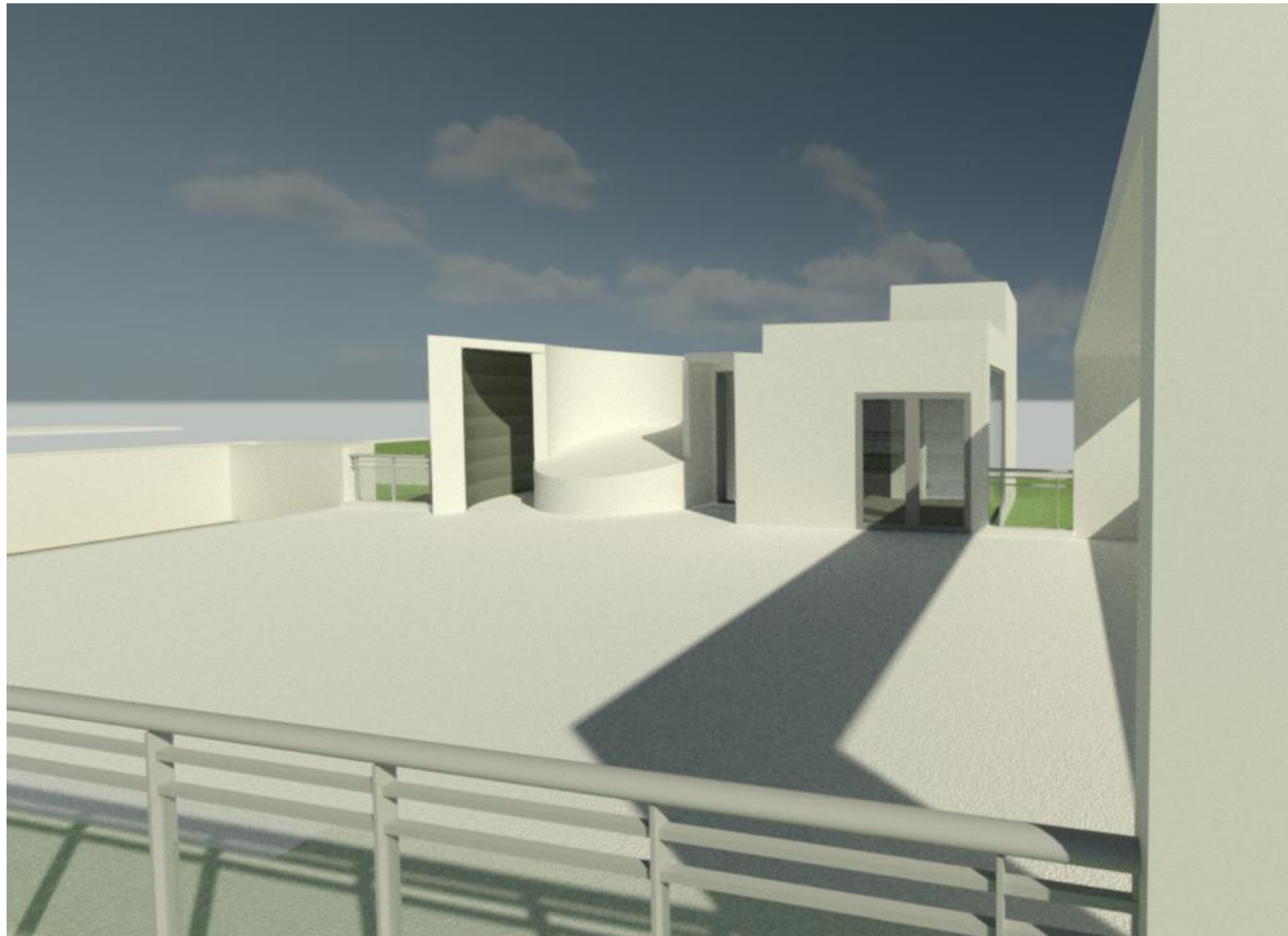
SHEET
VR-10



① VIEW FROM NORTHEAST_2
12" = 1'-0"



② VIEW FROM NORTHWEST_2
12" = 1'-0"



③ VIEW FROM SOUTHWEST_2
12" = 1'-0"



④ VIEW FROM SOUTHEAST_2
12" = 1'-0"

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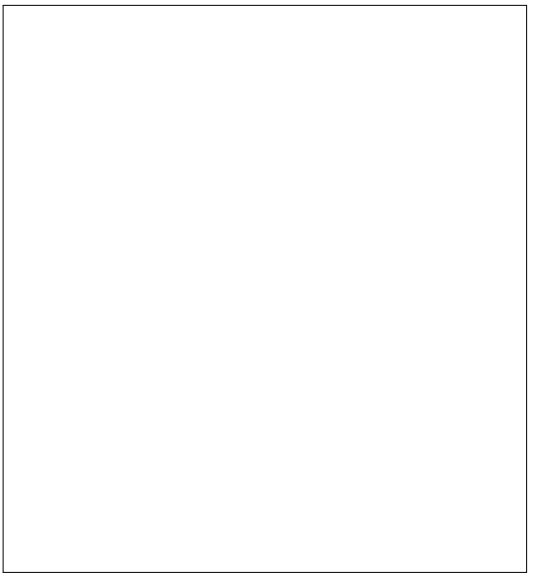
NOTES:

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| SHEET TITLE |
| 3D VIEWS |
| SCALE |
| 12" = 1'-0" |
| # SHEET |
| VR-11 |



1 VIEW FROM SOUTH-WEST_2
12" = 1'-0"

MATERIAL BOARD



WHITE STUCCO
(TO MATCH EXISTING)



1828 BAY ROAD #301
MIAMI BEACH, FL
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MIAMI BEACH, FL 33139
Miami-Dade County, Florida

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NOTES:

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| SHEET TITLE |
| Unnamed |
| SCALE |
| 12" = 1'-0" |
| # SHEET |
| VR-12 |

PROPOSED REMODELING/ADDITIONS

5446 N. BAY RD.

Miami Beach, Florida 33140



AA0003608
ANTHONY LEON
0016752

DESIGN
ARCHITECTURE
3260 Northwest 7th Street, Miami, FL 33125
P: 305.438.9377 | F: 305.438.9379

Anthony
Leon
Digitally signed by
Anthony Leon
Date: 2022.03.25
11:08:58 -04'00'

| ARCHITECTURE | |
|---|----------|
| A-0.0 COVER SHEET | AS SHOWN |
| A-0.1 LOT COVERAGE | AS SHOWN |
| A-0.2 UNIT SIZE FIRST FLOOR | AS SHOWN |
| A-0.3 UNIT SIZE SECOND FLOOR | AS SHOWN |
| A-0.4 UNIT SIZE ROOF | AS SHOWN |
| A-1.0 EXISTING/ DEMO FLOOR PLAN LEVEL 1 | AS SHOWN |
| A-1.1 STAIR SECTION AND DETAILS | AS SHOWN |
| A-1.2 LOUNGE PARTIAL PLAN | AS SHOWN |
| A-1.3 EXISTING / DEMO KITCHEN, MASTER BATHROOM, AND MASTER CLOSET PARTIAL PLAN | AS SHOWN |
| A-1.4 PROPOSED EXISTING / DEMO KITCHEN, MASTER BATHROOM, AND MASTER CLOSET PARTIAL PLAN | AS SHOWN |
| A-1.5 MASTER CLOSET DETAILS | AS SHOWN |
| A-1.6 GLASS BOX PLAN AND DETAILS | AS SHOWN |
| A-1.7 PROPOSED REVEAL PLAN FIRST FLOOR | AS SHOWN |
| A-1.8 PROPOSED REVEAL PLAN SECOND FLOOR | AS SHOWN |
| A-1.9 REVEAL DETAILS AND SECTIONS | AS SHOWN |
| A-2.0 EXISTING / DEMO 1ST FLOOR PLAN | AS SHOWN |
| A-2.1 PROPOSED 1ST FLOOR PLAN | AS SHOWN |
| A-2.2 EXISTING / DEMO 2ND FLOOR PLAN | AS SHOWN |
| A-2.3 PROPOSED 2ND FLOOR PLAN | AS SHOWN |
| A-2.4 EXISTING / DEMO ROOF DECK PLAN | AS SHOWN |
| A-2.5 PROPOSED ROOF DECK PLAN MARKS AND TEXT | AS SHOWN |
| A-2.6 PROPOSED ROOF DECK PLAN DIMENSIONS | AS SHOWN |
| A-2.7 PROPOSED ROOF PLAN | AS SHOWN |
| A-3.0 EXISTING / DEMO NORTH & SOUTH ELEVATIONS | AS SHOWN |
| A-3.1 EXISTING / DEMO EAST & WEST ELEVATIONS | AS SHOWN |
| A-3.2 PROPOSED NORTH & SOUTH ELEVATIONS | AS SHOWN |
| A-3.3 PROPOSED EAST & WEST ELEVATIONS | AS SHOWN |
| A-3.4 PARTIAL SECTIONS | AS SHOWN |
| A-4.0 PARTIAL SECTIONS | AS SHOWN |
| A-4.1 ELEVATOR SHAFT SECTIONS | AS SHOWN |
| A-5.0 WALL TYPES | AS SHOWN |
| A-5.1 (NOT USED) | AS SHOWN |
| A-5.2 GLASS RAILING ELEVATIONS | AS SHOWN |
| A-5.3 ROOF DECK MISC. DETAILS | AS SHOWN |
| A-5.4 ROOF DECK MISC. DETAILS | AS SHOWN |
| A-5.5 ROOF DECK MISC. DETAILS | AS SHOWN |
| A-5.6 ROOF DECK MISC. DETAILS | AS SHOWN |
| A-5.7 ROOF DECK MISC. DETAILS | AS SHOWN |
| A-5.8 STONE CLADDING MISC. DETAILS | AS SHOWN |
| A-5.9 STONE CLADDING MISC. DETAILS | AS SHOWN |
| A-5.10 PORTE COCHERE MISC. DETAILS | AS SHOWN |
| A-5.11 SAFE ROOM MISC. DETAILS | AS SHOWN |
| A-5.11a SAFE ROOM MISC. DETAILS | AS SHOWN |
| A-5.12 WATER PROOFING ELEVATIONS | AS SHOWN |
| A-5.13 REPAIRS MISC. DETAILS | AS SHOWN |
| A-5.14 REPAIRS MISC. DETAILS | AS SHOWN |
| A-5.15 REPAIRS MISC. DETAILS | AS SHOWN |
| A-5.16 REPAIRS MISC. DETAILS | AS SHOWN |
| A-5.17 REPAIRS MISC. DETAILS | AS SHOWN |
| A-5.18 REPAIRS MISC. DETAILS | AS SHOWN |
| A-5.19 REPAIRS MISC. DETAILS | AS SHOWN |
| A-5.20 WATERPROOFING REPORT | AS SHOWN |
| A-5.21 WATER FILTRATION SYSTEM | AS SHOWN |
| A-6.0 WINDOW & DOOR SCHEDULE | AS SHOWN |

| ARCHITECT | |
|---|----------|
| 3 DESIGN ARCHITECTURE 3260 NW 7TH ST, MIAMI, FL 33125 P: 305.438.9377 F: 305.438.9379 | |
| INDEX OF DRAWINGS: | |
| MECHANICAL | |
| M-1 SECOND FLOOR PARTIAL HVAC PLAN | AS SHOWN |
| M-2 ROOF HVAC PLAN | AS SHOWN |
| ELECTRICAL | |
| E-1 ELECTRICAL SPECS, LEGEND AND NOTES | AS SHOWN |
| E-2 FIRST FLOOR POWER PLAN | AS SHOWN |
| E-3 SECOND FLOOR POWER PLAN | AS SHOWN |
| E-4 FIRST FLOOR LIGHTING PLAN | AS SHOWN |
| E-5 SECOND FLOOR LIGHTING PLAN | AS SHOWN |
| E-6 ELECTRICAL RISER AND PANEL SCHEDULES | AS SHOWN |
| E-7 ELECTRICAL PANEL SCHEDULES | AS SHOWN |
| E-8 DIMMING SCHEDULES | AS SHOWN |
| E-9 DIMMING SCHEDULES | AS SHOWN |
| E-10 DIMMING SCHEDULES | AS SHOWN |
| E-11 ELECTRICAL ROOF PLAN | AS SHOWN |
| PLUMBING | |
| P-1 FIRST FLOOR PARTIAL PLUMBING PLAN | AS SHOWN |
| P-2 SECOND FLOOR PARTIAL PLUMBING PLAN | AS SHOWN |
| P-3 ROOF PARTIAL PLUMBING PLAN | AS SHOWN |
| P-4 PLUMBING DETAILS | AS SHOWN |
| STRUCTURAL | |
| S-1 GLASS BOX, PLAN, SECTIONS, AND DETAILS | AS SHOWN |
| S-2 EXTERIOR STONE CLADDING ATTACHMENTS | AS SHOWN |
| S-3 REVISED ROOF DECK PLAN & EXISTING DEMO AND FRAMING ROOF DECK PLANS | AS SHOWN |
| S-4 ELEVATOR ROOF DECK EXTENSION FLOOR PLANS | AS SHOWN |
| S-5 ELEVATOR EXTENSION DETAILS | AS SHOWN |
| S-5.1 ELEVATOR EXTENSION DETAILS | AS SHOWN |
| S-6 ELEVATOR EXTENSION DETAILS | AS SHOWN |
| S-7 JACUZZI AND PLANTER PLANS & SECTIONS | AS SHOWN |
| S-8 GENERAL NOTES AND DETAILS | AS SHOWN |
| S-9 NORTH COVERED CANOPY EXTENSION PLAN AND DETAILS | AS SHOWN |
| IRRIGATION | |
| IR-1.0 IRRIGATION PLAN | AS SHOWN |
| IR-1.1 IRRIGATION PLAN | AS SHOWN |
| IR-1.2 ROOF IRRIGATION PLAN | AS SHOWN |
| IR-1.2 IRRIGATION DETAILS | AS SHOWN |

CODE SUMMARY:

APPLICABLE CODES:
Florida Building Code - 2017 & Florida Building Code Residential - 2017
City of Miami Beach Zoning Code
Florida Fire Prevention Code - 2010 Edition

FOLIO No:
02-3215-003-1800

LEGAL DESCRIPTION:

LA GORCE SUB PB 14-43
LOT 3 & LOT 4 LESS BEG AT NE COR
LOT 5 W PAR TO S/L LOT 5 FOR
163.6FT M/L TO W/L LOT 4 S TO SW
COR LOT 4 E163.8FT M/L TO POB
BLK 14
LOT SIZE 186.300 X 165
OR 10517-1405 0979 1

ZONING DATA:

ZONING DESIGNATION: RS-3
TYPE OF OCCUPANCY: SINGLE FAMILY RESIDENTIAL

SCOPE OF WORK:

INTERIOR REMODELING AS PER PLAN.

BUILDING HEIGHT:

OF STORIES: 2
BLDG HEIGHT FROM CROWN 35'-0"
OF ROAD EXISTING

WORK CLASSIFICATION:

AS PER FBCE 2017 CHAPTER 5 SECTION 504,
THIS WORK SHALL BE CLASSIFIED AS:
ALTERATION-LEVEL 2

AREA OF WORK:

DEMO

STAIRS: 252 SQ FT
CEILING: 36 SQ FT
LOUNGE: 70 SQ FT
MASTER BED ROOM: 160 SQ FT

SCOPE OF WORK:

-NEW DECORATIVE PLASTER AT STAIRS RAILINGS
-NEW DECORATIVE CEILING AT STAIRS SPACE
-NEW DECORATIVE WALL PANELS AT STAIRS
-REMOVE AND REPLACE CABINETS AND SINK AT LOUNGE
-NEW LOW VOLTAGE LED
-DEMO WALL AT MASTER BATH
-RELOCATE EXISTING OUTLETS AT LOUNGE
-NEW OUTLETS @ MASTER BATHROOM AND CLOSET
-NEW CONDENSATE LINE FROM DEHUMIDIFIER TO EXISTING A/C CONDENSATE LINE
-REMOVE AND REPLACE MASTER BATHROOM FIXTURES
-REMOVE AND REPLACE WARDROBE IN MASTER CLOSET
-REMOVE CARPET AND REPLACE WITH WOOD FLOOR IN MASTER CLOSET
-REMOVE AND REPLACE SINKS AND CABINETS IN KITCHEN
-NEW DRYWALL AND REGLETS
-NEW GLASS BOX STRUCTURE

-REMOVE AND REPLACE ALL INTERIOR DOORS PER PLANS
-REMOVE AND REPLACE AND ADD WALL CLADDING PER PLANS
-NEW HOSE BIBBS @ 1ST FLOOR
-PORT COCHERE ROOF REMODEL AND NEW GREEN ROOF ADDITION
-REMODELED STAIR LANDING @ 2ND FLOOR
-NEW PIVOT DOOR @ MASTER BEDROOM
-ROOF DECK DEMOLITION PER PLANS
-ROOF DECK REMODEL PER PLANS
-EXTENSION OF ELEVATOR SHAFT TO ROOF DECK
-NEW ELEVATOR LOBBY AND EQUIPMENT ROOM

-NEW REMOVABLE POSTS (4) AND SAIL SHADE SYSTEM, U.S.P.

-REMOVE AND REPLACE TILE FLOORING PER PLANS
-NEW SAFE ROOM
-NEW WATER FILTRATION SYSTEM

PROPOSED REMODELING/ADDITIONS

AF:
5446 N. BAY RD
MIAMI BEACH, FLORIDA 33140

ISSUE DATE:

REVISIONS:

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A-0.0
COVER SHEET

RV2116152

08/05/2022 10:50:46 AM

AA0003668
ANTHONY LEON
0016752

DESIGN
ARCHITECTURE

3260 Northwest 7th Street, Miami, FL 33125
P: 305.438.9377 | F: 305.438.9379

Anthony
Leon

Digitally signed by
Anthony Leon
Date: 2022.03.25
11:09:33 -04'00'

PROPOSED REMODELING/ADDITIONS
AT:
5446 N. BAY RD
MIAMI BEACH, FLORIDA 33140

ISSUE DATE:

REVISIONS:

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A-0.1

LOT COVERAGE

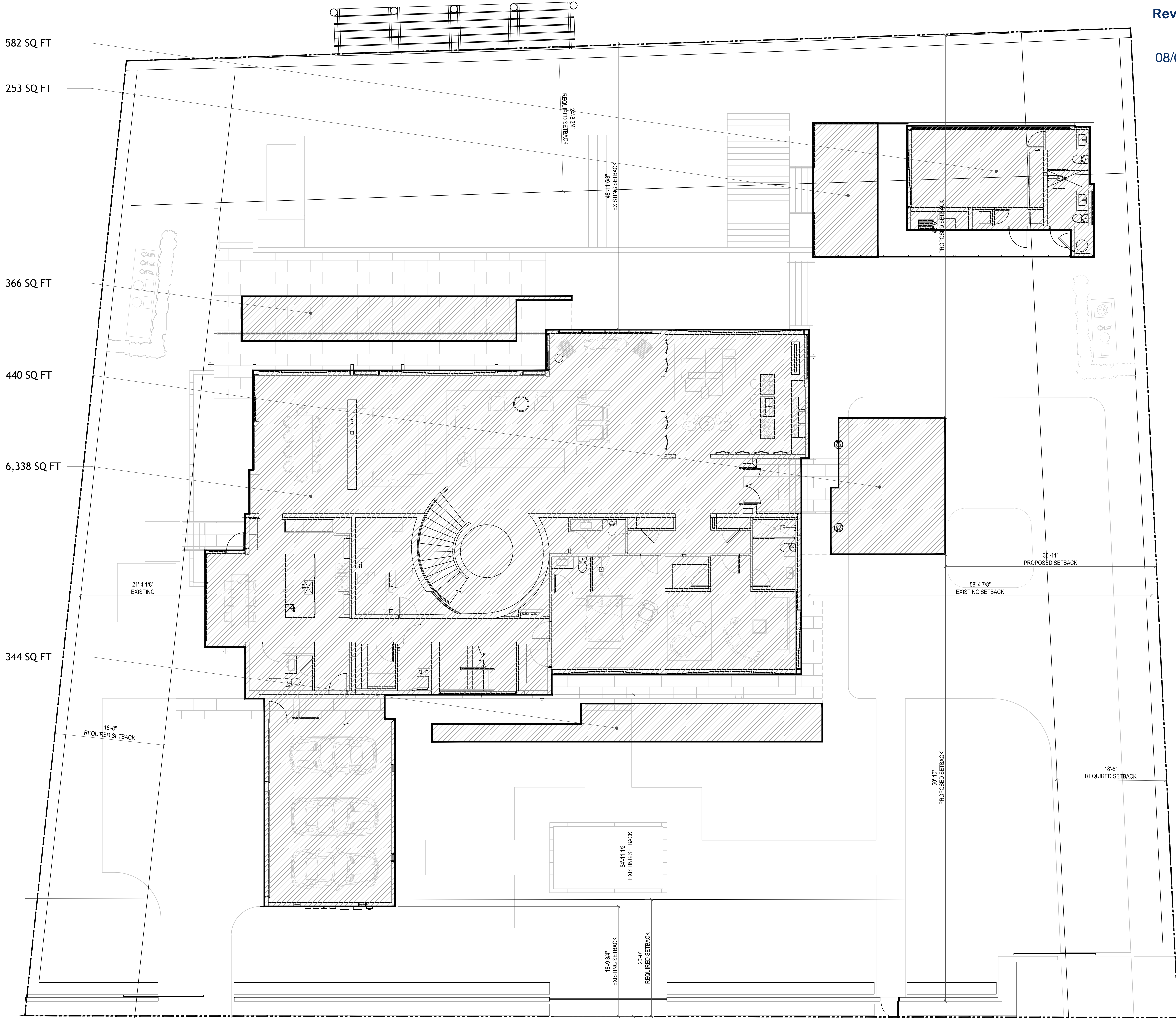
PROPOSED LOT COVERAGE:

| | |
|---|--------------|
| LOT SIZE: | 30,740 SQ FT |
| ALLOWED (30%): | 9,222 SQ FT |
| <div></div> PROPOSED LOT COVERAGE AREA: | 8,283 SQ FT |
| PROPOSED LOT COVERAGE %: | 26.95 % |

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

| ZONING INFORMATION | | | |
|---------------------------------------|--|----------------------------------|-----------------------|
| ADDRESS : | 5446 N BAY RD | | |
| FOLIO NUMBER(S) : | 02-3215-003-1800 | | |
| BOARD AND FILE NUMBERS : | N/A | | |
| YEAR BUILT : | 2014 | ZONING DISTRICT : | RS - 3 |
| BASE FLOOD ELEVATION : | 9' - 0" | GRADE VALUE IN NGVD : | 4.31 NGVD |
| ADJUSTED GRADE (FLOOD + GRADE /2) : | NEED SURVEY!!! | FREE BOARD : | |
| LOT AREA : | 30,740 SQ FT | | |
| LOT WIDTH : | 186' - 3 ³ / ₈ " | LOT DEPTH : | 165' - 0" |
| MAX. LOT COVERAGE SF AND % : | 9,222 SQ FT (30%) | PROPOSED LOT COVERAGE SF AND % : | 8,283 SQ FT (26.95%) |
| MAX. UNIT SIZE SF AND % : | 15,370 SQ FT (50%) | PROPOSED UNIT SIZE SF AND % : | 11,984 SQ FT (38.98%) |
| PROPOSED FIRST FLOOR UNIT SIZE : | 6,349 SQ FT | | |
| PROPOSED SECOND FLOOR UNIT SIZE SF | 5,182 SQ FT | | |

| | REQUIRED | PROPOSED |
|---------------------|---|--|
| BUILDING HEIGHT : | 24' (FLAT ROOF) | 24' (FLAT ROOF) |
| BUILDING SETBACKS : | | |
| FRONT: | 20' - 0" | 18' - 9 ³ / ₄ " |
| NORTH SIDE : | MIN. 18' - 8" (SUM REQUIRED SIDE YARDS MIN. 25%=46.5') | 35' - 11" |
| SOUTH SIDE : | MIN. 18' - 8" (SUM REQUIRED SIDE YARDS MIN. 25%=46.5') | 21' - 4 ¹ / ₈ " |
| REAR : | MIN 24' - 9" (15% DEPTH LOT) | 48' - 11 ³ / ₈ " |



LOT COVERAGE DIAGRAM
SCALE: 1/8" = 1'-0"

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ANTHONY LEON
0016152

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11:09:57-04'00'

PROPOSED REMODELING/ADDITIONS

AT:
5446 N. BAY RD
MIAMI BEACH, FLORIDA 33140

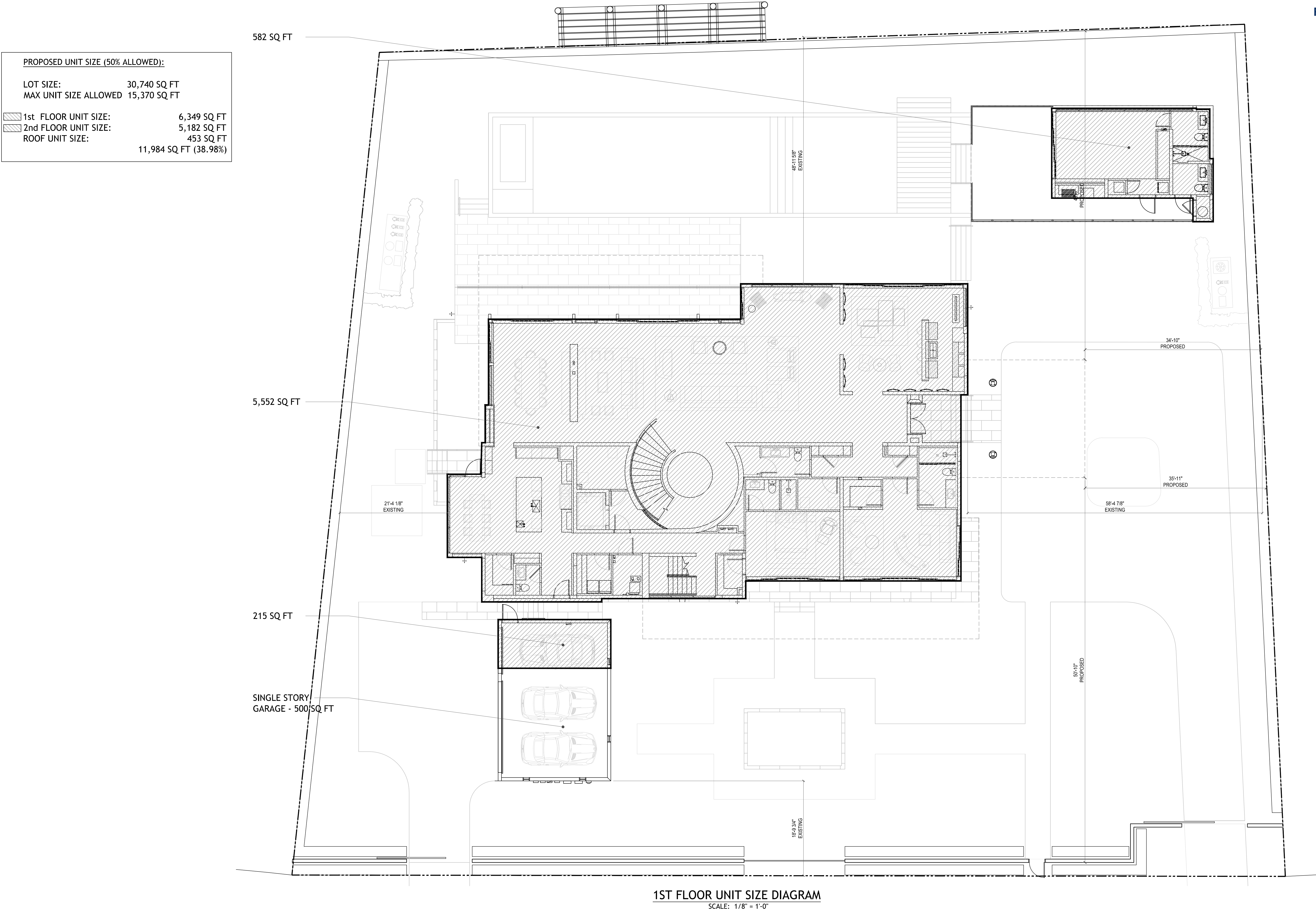
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A-0.2

UNIT SIZE 1ST FLOOR



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by Anthony Leon
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11:10:24 -04'00'

SEAL

PROPOSED REMODELING/ADDITIONS

A/E:
5446 N. BAY RD
MIAMI BEACH, FLORIDA 33140

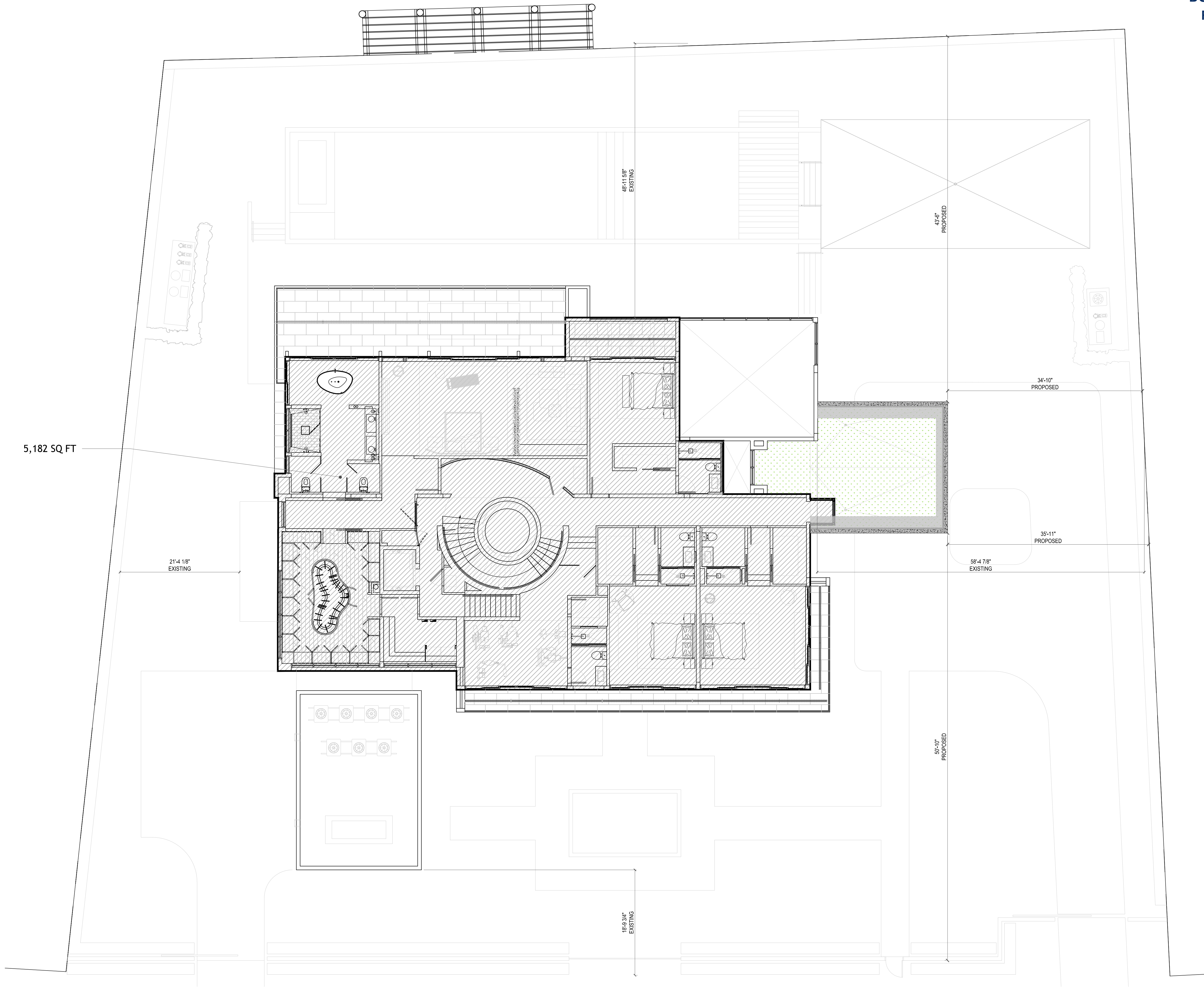
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A-0.3

UNIT SIZE 2ND FLOOR



2ND FLOOR UNIT SIZE DIAGRAM

SCALE: 1/8" = 1'-0"

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0016152

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ARCHITECTURE

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11:10:51 -04'00'

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AF:
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MIAMI BEACH, FLORIDA 33140

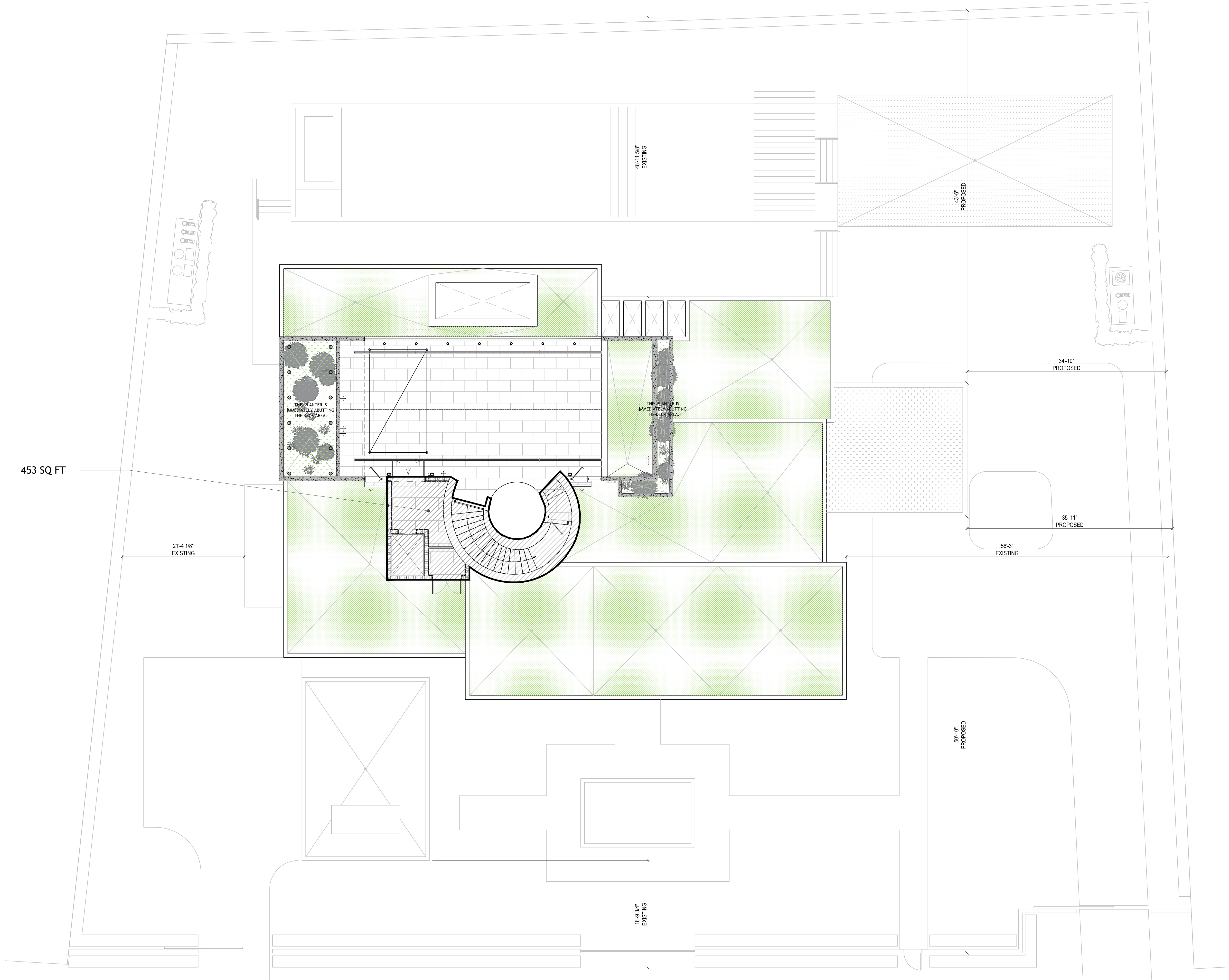
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A-0.4

UNIT SIZE ROOF



ROOF UNIT SIZE DIAGRAM

SCALE: 1/8" = 1'-0"

DEMOLITION LEGEND

A

REMOVE WALL CLADDING

B

REMOVE CABINET

C

REMOVE SINK

D

REMOVE DECORATIVE HOOD WRAP

E

REMOVE FRIDGE/ICE MAKER

F

REMOVE DOOR (SEE NOTE BELOW)

G

REMOVE WALL

H

REMOVE FLOOR FINISH

I

REMOVE DRAIN (SEE NOTE BELOW)

DEMOLITON

TO REMAIN

- * DEMO MARKED WITH AN ASTERISK IS SHOWN IN SHEETS A-1.2, A-1.3 AND A-1.6 BUT IS BEING SHOWN ON THIS SHEET IN ORDER TO HAVE ONE COHESIVE DEMOLITION PLAN
- DOORS SHOWN TO BE REMOVED WILL BE REPLACED WITH MILLWORK DOORS OR LIKE KIND DOOR OF SAME DIMENSIONS. NO OPENINGS TO BE ENLARGED OR REDUCED UNLESS OTHERWISE NOTED
- EXISTING FINISHES TO BE REMOVED AND REPLACED
- EXISTING RAILINGS AND SHOES TO BE SAVED AND REUSED
- FLOOR DRAINS TO BE REMOVED AND REPLACED

GENERAL DEMOLITION NOTES:

1) SECURE ANY DEMOLITION PERMITS REQUIRED BY LOCAL AUTHORITIES HAVING JURISDICTION OVER SUCH WORK. NO WORK SHALL COMMENCE PRIOR TO OBTAINING REQUIRED PERMITS.

2) CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO BIDDING AND AGAIN PRIOR TO COMMENCEMENT OF ANY WORK. REPORT ANY DISCREPANCIES TO ARCHITECT IMMEDIATELY.

3) CONTRACTOR TO ARRANGE ON SITE CONSTRUCTION MEETING WITH ARCHITECT PRIOR TO ANY DEMOLITION OR CONSTRUCTION.

4) REVIEW DEMOLITION/CONSTRUCTION SEQUENCE WITH ARCHITECT. COORDINATE WORK WITH OWNER TO MINIMIZE DISRUPTION TO OCCUPIED AREAS. PROVIDE TEMPORARY CLOSURES AND/OR DUST BARRIERS AT LIMITS OF CONSTRUCTION AS REQUIRED.

5) ALL WORK SHALL COMPLY WITH ANY GOVERNING AND APPLICABLE CODES.

6) REVIEW LOCATION OF DUMPSTER WITH OWNER. KEEP AREA CLEAN AND FREE OF DEBRIS. REMOVE ALL UNUSABLE DEBRIS DAILY.

7) SHORE AREAS OF EXISTING AND NEW CONSTRUCTION AS REQUIRED.

8) VERIFY ALL ITEMS TO BE SALVAGED WITH OWNER. REVIEW SALVAGE OF EXISTING PLUMBING FIXTURES WITH OWNER.

9) VERIFY LOCATION OF EXISTING UTILITY LINES PRIOR TO DEMOLITION/ EXCAVATION. COORDINATE WITH OWNER TO MINIMIZE INTERRUPTION OF SERVICE.

10) DISCONNECT ANY EXISTING ELECTRICAL, MECHANICAL AND PLUMBING AS REQUIRED. CAP ANY ABANDONED PLUMBING LINES AS REQUIRED. EXERCISE EXTREME CARE WHEN WORKING AROUND SUSPECTED ASBESTOS: INCLUDING DUCT COVERINGS, PIPE COVERINGS, TANK COVERINGS, FLOOR TILE AND ACOUSTICAL TILE. REPORT SUCH FINDINGS TO THE ARCHITECT IMMEDIATELY.

11) REMOVAL OF ALL ASBESTOS CONTAINING MATERIALS SHALL BE BY A CONTRACTOR LICENSED FOR THE REMOVAL OF ASBESTOS.

12) COORDINATE CONSTRUCTION SITE ACCESS AND HOURS OF WORKING WITH THE OWNER.

13) AT DEMOLITION STAGE ELECTRICAL CONTRACTOR WILL BE RESPONSIBLE FOR IDENTIFYING, TAGGING OUT AND LOCKING OUT ALL AFFECTED CIRCUITS PRIOR TO DEMOLITION WORK BEGINNING.

14) CONTRACTOR WILL ALSO BE REQUIRED TO REMOVE ALL UNUSED CONDUITS AND CONDUCTORS AND PROPERLY SUPPORT ALL EXISTING CONDUITS AND CONDUCTORS THAT WILL REMAIN PRIOR TO START OF NEW WORK.

15) DUST CONTROL DURING DEMOLITION IS TO BE PROVIDED EITHER THROUGH:

A. STRUCTURAL CONTAINMENT, OR

B. WET DUST SUPPRESSION

EXISTING/DEMO 1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"

MIAMI BEACH
BUILDING DEPARTMENT

Reviewed For Compliance

RV2116152

08/05/2022 10:50:47 AM

AA0003658
ANTHONY LEON
0016752

AA0003658
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DESIGN
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A-2.0
EXISTING/DEMO 1ST
FLOOR PLAN

GENERAL NOTES

1. THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF 3DESIGN, Inc. AND MAY NOT BE USED OR REPRODUCED IN ANY MANNER WITHOUT EXPRESSED WRITTEN CONSENT. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE GENERAL CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS REQUIRED TO COMPLETE ALL BUILDING SYSTEMS AND PROVIDE ALL NECESSARY APPURTENANCES FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER WITH QUALITY CRAFTSMANSHIP WITHOUT INCREASING THE CONTRACT SUM OR CONTRACT COMPLETION DATE.
2. ALL WORK DESCRIBED BY THESE DOCUMENTS MUST BE PERFORMED BY CONSTRUCTION PROFESSIONALS LICENCED & INSURED IN THE STATE OF FLORIDA (F.B.C. REQUIRED). ALL WORK SHALL BE PERFORMED IN ACCORDANCE W/ THE NATIONAL ELECTRIC CODE AND F.B.C.
3. THE GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING THE WORK. IF THERE ARE DISCREPANCIES BETWEEN THESE DRAWINGS AND FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO COMMENCING THE WORK FOR CLEAR INSTRUCTION. DO NOT SCALE THE DRAWINGS. REFER TO FIGURED DIMENSIONS.
4. THE CONTRACTOR IS TO ACQUIRE ALL REQUIRED PERMITS FOR THE DEMOLITION, CONSTRUCTION, FINISHING, AND OCCUPANCY OF THE PROJECT. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE F.B.C., LATEST EDITION.
5. ALL WORK DONE UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR SHALL BE IN A NEAT AND WORKMAN-LIKE MANNER IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL GOVERNING AGENCIES HAVING JURISDICTION.
6. THE GENERAL CONTRACTOR IS TO PROVIDE, LOCATE AND BUILD INTO THE WORK ALL SUPPLEMENTARY MATERIALS (INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS, PITCHES, ETC.) AS REQUIRED TO PROPERLY INSTALL, SUPPORT, BRACE, AND SHORE ALL BUILDING COMPONENTS WITHIN THE SCOPE OF THE PROJECT.
7. THE GENERAL CONTRACTOR SHALL REPAIR ALL DAMAGES TO THE EXISTING BUILDING DURING CONSTRUCTION RESULTING FROM SUCH LACK OF CARE AND DUE DILIGENCE AND MAY NOT CLAIM MONETARY DAMAGES OR THE DELAYS AGAINST THE CONTRACT SUM OR CONTRACT COMPLETION DATE.
8. THE GENERAL CONTRACTOR SHALL COORDINATE AND SCHEDULE THE WORK OF ALL TRADES TO INSURE THAT THE PROJECT IS COMPLETED BY THE CONTRACT COMPLETION DATE.
9. PRIOR TO COMMENCING WORK, THE GENERAL CONTRACTOR SHALL SITE VERIFY THE LOCATION OF ALL EQUIPMENT TO BE REMOVED/RELOCATED. REMOVALS SHALL BE COORDINATED WITH THE OWNER. IF SO DIRECTED, THE G.C. MAY INCLUDE ANY ADDITIONAL COSTS TO THE BID.
10. THE GENERAL CONTRACTOR SHALL PROVIDE AN ONSITE DUMPSTER IN A LOCATION COORDINATED WITH THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL/CONSTRUCTION DEBRIS. THE DUMPSTER SHALL BE EMPTIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.
11. IT IS THE INTENT OF 3DESIGN, Inc. THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. THE G.C. SHALL NOTIFY THE ARCHITECT/ENGINEERS OF RECORD IMMEDIATELY IF ANY DISCREPANCIES ARE ENCOUNTERED BETWEEN THE DRAWINGS AND THESE REQUIREMENTS. ANY DISCREPANCIES WILL BE RESOLVED BY ARCHITECT / ENGINEER OF RECORD PRIOR TO PROCEEDING WITH THE WORK.
12. THE GENERAL CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH RED-LINE AS-BUILT DRAWINGS FOR ALL FIELD CHANGES/ADDITIONS TO THE WORK INCLUDED IN THE WORK.
13. THE GENERAL CONTRACTOR SHALL PROVIDE AN ITEMIZED COST BREAKDOWN OF ALL ITEMS AND PHASES OF CONSTRUCTION AT THE TIME OF BIDDING.
14. 3DESIGN, Inc. IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, SEQUENCES, PROCEDURES, PRECAUTIONS, OR PROGRAMS RELATED TO THIS PROJECT'S CONSTRUCTION.
15. ALL WORK IS TO BE PLAIN, LINE, SQUARE, AND ADEQUATELY SUPPORTED. FILL ALL VOIDS BETWEEN COMPONENTS. ALL ITEMS THAT DO NOT MEET TRADE PRACTICES AND QUALITY CRAFTSMANSHIP WILL BE REDONE AT THE G.C.'S EXPENSE.
16. THE GENERAL CONTRACTOR IS TO MAINTAIN A SAFE SITE, CLEAR OF DEBRIS AT ALL TIMES.
17. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE TO GUARANTEE THEIR WORK FOR A MINIMUM PERIOD OF ONE YEAR IN WRITING SUBMITTED WITH THE BID.
18. ALL DETAILS AND SECTIONS SHOWN ON THESE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN. IT IS THE G.C.'S RESPONSIBILITY TO FORSEE ADDITIONAL CONDITIONS PRIOR TO COMMENCING THE WORK AND NOTIFY THE ARCHITECT IMMEDIATELY.
19. ALL ASSEMBLIES REFERRED TO AS FIRE-RATED SHALL BE A MINIMUM OF ONE HOUR UNLESS OTHERWISE INDICATED. ALL PENETRATIONS THROUGH ANY RATED ASSEMBLY SHALL BE PROVIDED W/ APPROVED PENETRATION RATED DEVICES.
20. THE GENERAL CONTRACTOR SHALL PROVIDE CUSTOM AND MULTI-COLOR PAINT SELECTIONS FOR OWNERS APPROVAL.
21. ALL HARDWARE, LIGHTING & BATHROOM FIXTURES AND MISC. SPECIFICATIONS NOT SPECIFICALLY CALLED OUT ON THE DRAWINGS SHALL BE PROVIDED BY THE OWNER.
22. THE GENERAL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR TRUSSES, STORM SHUTTERS, REINFORCING STEEL, WINDOWS, DOORS, CAST CONCRETE, ORNAMENTAL IRON, STEEL CONNECTORS, ORNAMENTAL WOOD, ETC. TO THE ARCHITECT FOR REVIEW PRIOR TO COMMENCING THE WORK.
23. THE GENERAL CONTRACTOR SHALL PROVIDE A TELEPHONE AND TELEPHONE LINE AT THE JOB SITE. THE G.C. IS RESPONSIBLE FOR ITS USE.

SMOKE DEVELOPED INDEX:

- WALL & CEILING FINISHES SHALL HAVE A SMOKE DEVELOPED INDEX OF NOT GREATER THAN 450.
- INSULATION MATERIALS INCLUDING FACINGS, SUCH AS VAPOR RETARDERS & VAPOR-PERMEABLE MEMBRANES INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES & ATTICS SHALL HAVE A SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E84 OR UL 723.

FLAME SPREAD INDEX:

- WALL & CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200.
- INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR RETARDERS & VAPOR-PERMEABLE MEMBRANES INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES & ATTICS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25.

MISCELLANEOUS NOTES:

- 1- LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS MUST BE WITHIN 15" MIN. AND 48" MAX. HIGH. A.F.F.
- 2- THRESHOLDS AT ALL DOORS SHALL NOT EXCEED 1/2" MAXIMUM & BE LEVEL @ E.A SIDE OF DOOR.
- 3- COORDINATE FLOOR FINISHES WITH OWNER.
- 4- SMOOTH SURFACE, NON-ABSORBENT, SLIP RESISTANT, CERAMIC TILED FLOOR & WALLS FULL HEIGHT. TYPICAL @ ALL SHOWERS & TUBS.
- 5- PROVIDE ADDRESS NUMBER VISIBLE AND LEGIBLE FROM STREET (VERIFY)
- 6- SHOWER / TUB ENCLOSURES / DOORS, SHALL BE CATEGORY II SAFETY GLASS.
- 7- ALL INTERIOR AREAS TO HAVE A 6" WOOD BASEBOARD EXCEPT ALL RESTROOM AREAS
- TO HAVE A 6" COVE BASE TILE T.B.D. (U.O.N.)
- 8-WALL HUNG CABINETS TO BE ANCHORED TO HORIZONTAL MEMBER (20 GA MIN.) SECURELY FASTENED TO MIN (2) 20 GA STUDS, TYP.
- 9-PAINT COLORS UNDER A SEPARATE PERMIT
- 10- FOR INTERIOR FINISHES, FIXTURES, MILLWORK, HARDWARE, APPLIANCES ETC. REFER TO OWNER OR INTERIOR DESIGNER
- 11- SOUNDPROOFING MATERIAL TO BE USED ON ALL FLOORS AT SECOND LEVEL. MIN. STC RATING OF 50.
- 12- WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE DEVELOPED INDEX NOT GREATER THAN 450 PER ASTM E-84
- 13- ALL WOOD ELEMENTS IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESSURE TREATED. ALL WOOD USE BELOW DESIGN FLOOD ELEVATION SHALL BE PRESERVATIVE-TREATED OR NATURALLY DECAY-RESISTANT.
- 14- ALL CLOSET SYSTEMS TO BE SUPPLIED BY OWNER.
- 15- INTERIOR WALLS OF GARAGE TO RECEIVE A SKIM COAT/PAINT FINISH

CLADDING NOTE:

- NATURAL STONE CLADDING - GENERAL CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR AOR AND EOR REVIEW
- CLADDING SHALL MEET HIGH VELOCITY HURRICANE ZONE REQUIREMENTS AND SHALL BE APPLIED IN ACCORDANCE WITH THE SHOP DRAWINGS / EXTERIOR WALL CLADDING REQUIREMENTS PER FBCCR 407-4410
- VENEERING OR FACING ON MASONRY BACKING SHALL NOT BE CONSIDERED AS ADDING ANY STRENGTH TO SUCH WALLS AND SHALL BE LIMITED IN HEIGHT ABOVE FOUNDATIONS OR BETWEEN PROPER AND ADEQUATE SUPPORTS TO 30'.
- VENEERING SHALL BE SECURELY ANCHORED TO MASONRY BACKING BY MEANS OF SUBSTANTIAL, NON-CORROSIVE METAL WALL TIES.
- WATERPROOFING AND EXISTING STUCCO AT VERTICAL SURFACES TO BE REMOVED AND NEW WATERPROOFING TO BE APPLIED ACCORDING TO WATER PROOFING CONSULTANTS DRAWINGS.

NOTE:

- REFER TO STRUCTURAL SHEET S-2 FOR CLADDING ANCHOR ATTACHMENT DETAILS.
- REFER TO I.D. DRAWINGS FOR CLADDING TYPE AND DIMENSIONS

FINISH MATERIAL LEGEND:

01 VOLCANIC STONE FLOORING

MARK LEGEND:

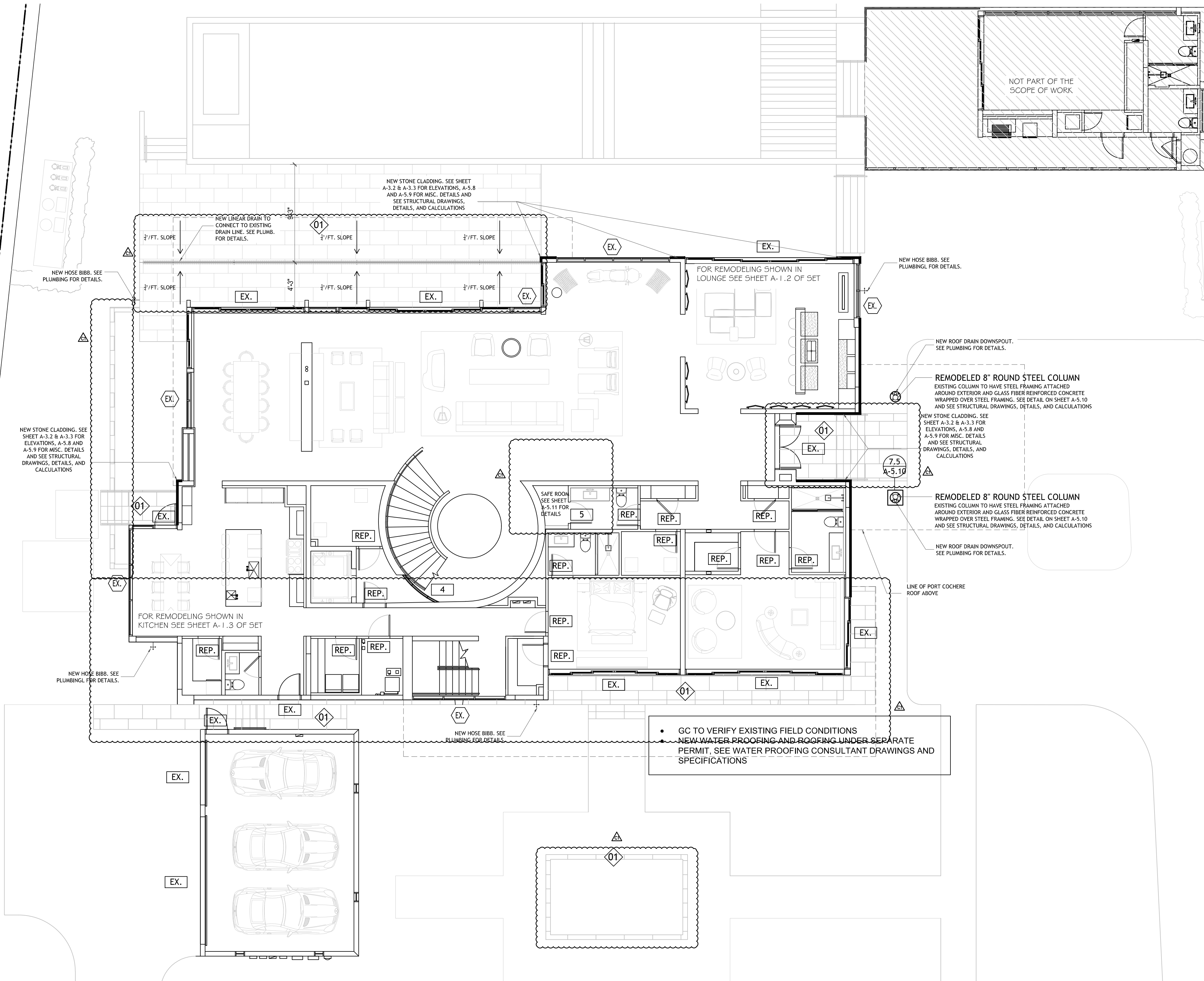
- ### DOOR TYPE (SEE DOOR SCHEDULE A-6.0)
- LL WINDOW TYPE (SEE WINDOW SCHEDULE A-6.0)
- # FINISH MATERIAL

DOOR TAG LEGEND:

- EX. DOOR TAGS WITH AN EX. ARE EXISTING TO REMAIN.
- # DOOR TAGS WITH A NUMBER ARE NEW. REFER TO SHEET A-6.0 FOR DOOR SCHEDULE
- M.W. DOOR TAGS WITH A M.W. WERE REMOVED AND REPLACED WITH A NEW MILLWORK DOOR. SEE I.D. DRAWINGS FOR DETAILS.
- REP. DOOR TAGS WITH A REP. WERE REMOVED AND REPLACED WITH A NEW LIKE KIND DOOR WITH THE SAME DIMENSIONS. NO OPENINGS TO BE ENLARGED OR REDUCED UNLESS OTHERWISE NOTED.

PROPOSED 1ST FLOOR PLAN

SCALE: 1/8" = 1'-0"



DEMOLITION LEGEND

A

REMOVE WALL CLADDING

B

REMOVE WALL

C

REMOVE DOOR (SEE NOTE BELOW)

D

REMOVE PLUMBING FIXTURE

E

REMOVE WARDOBE

F

REMOVE VANITY

G

REMOVE WALL FINISH

H

REMOVE FLOOR FINISH

I

REMOVE ROOFING

J

REMOVE DRAIN (SEE NOTE BELOW)

DEMOLITON

TO REMAIN

•

* DEMO MARKED WITH AN ASTERISK IS SHOWN IN SHEETS A-1.2, A-1.3 AND A-1.6 BUT IS BEING SHOWN ON THIS SHEET IN ORDER TO HAVE ONE COHESIVE DEMOLITION PLAN

•

DOORS SHOWN TO BE REMOVED WILL BE REPLACED WITH MILLWORK DOORS OR LIKE KIND DOORS OF SAME DIMENSIONS. NO OPENINGS TO BE BE ENLARGED OR REDUCED UNLESS OTHERWISE NOTED.

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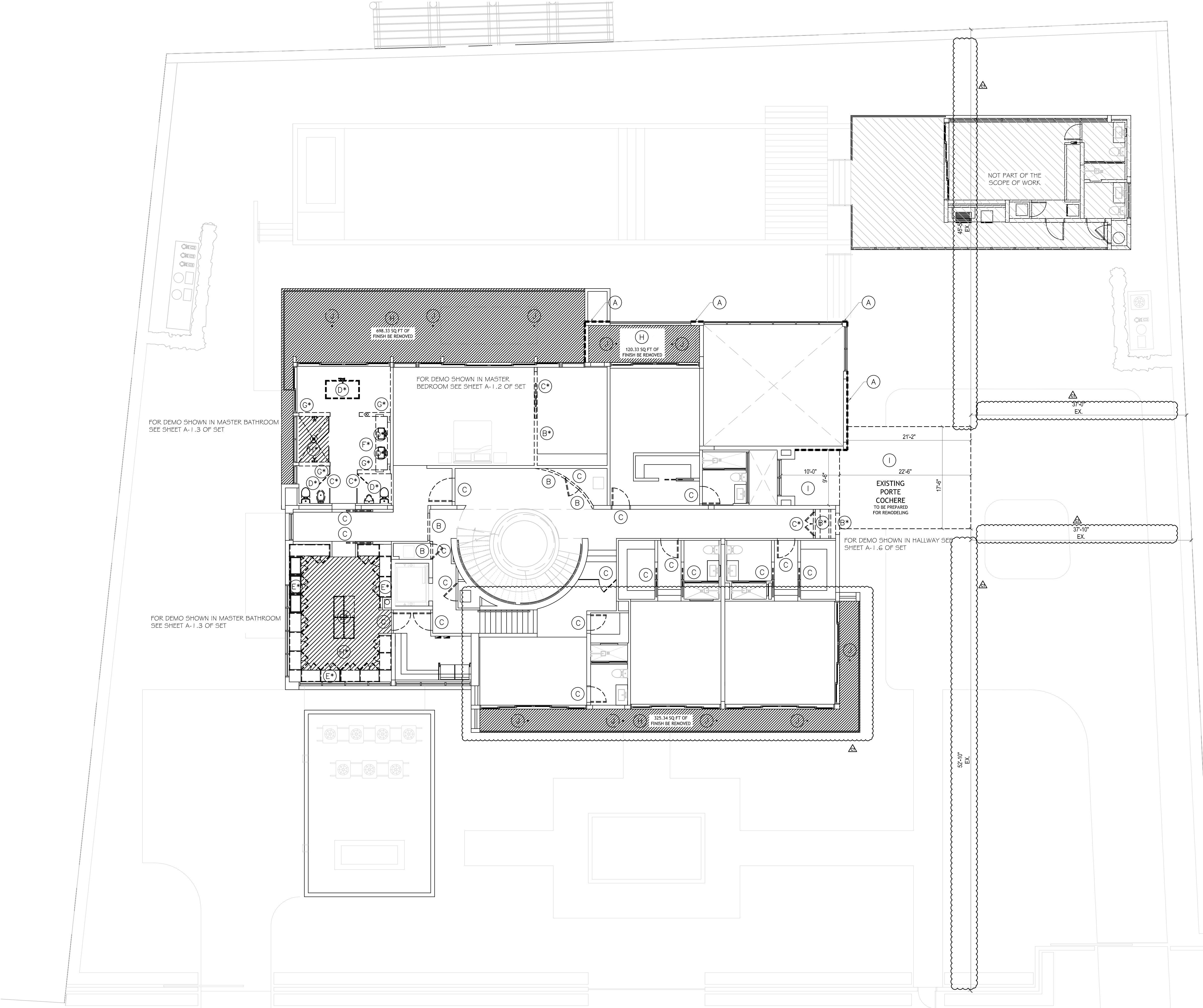
EXISTING FINISHES TO BE REMOVED AND REPLACED

•

EXISTING RAILINGS AND SHOES TO BE SAVED AND REUSED

•

FLOOR DRAINS TO BE REMOVED AND REPLACED



EXISTING/DEMO 2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"

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A-2.2
EXISTING/DEMO 2ND
FLOOR PLAN

AA0003608
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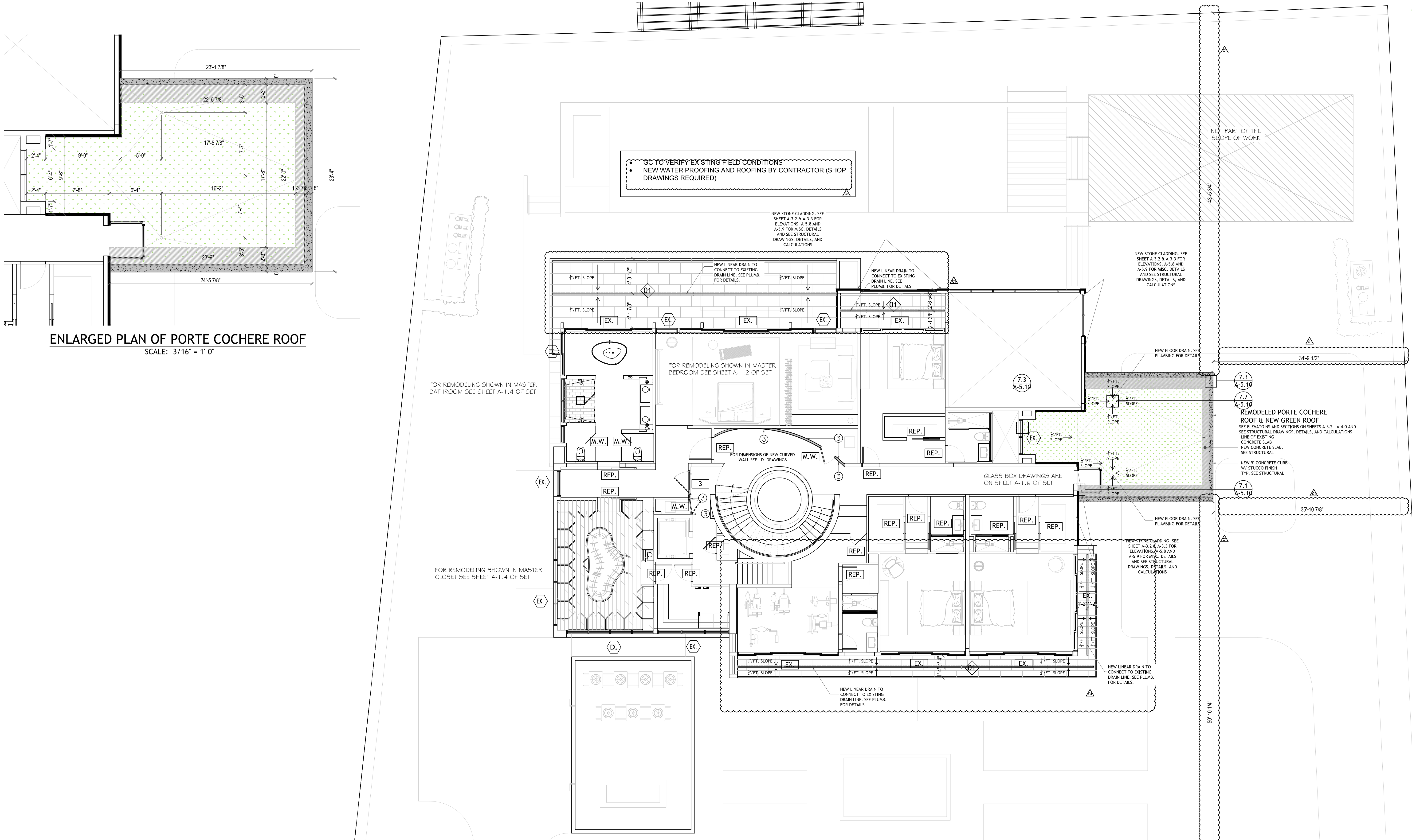
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A-2.3

PROPOSED 2ND FLOOR
PLAN



ROOFING AND WATERPROOFING NOTE:

- ROOFING MATERIAL SHALL BE LIGHT COLORED HIGH ALBEDO
- B.U.R. ROOFING UNDER SEPARATE PERMIT
- WATERPROOFING UNDER SEPARATE PERMIT
- REFER TO WATER PROOFING CONSULTANTS DRAWINGS AND SPECIFICATIONS FOR WATER PROOFING
- ALL WATERPROOFING TO BE INSTALLED PER MANUFACTURER'S COMPLETE SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH MANUFACTURER FOR ALL SYSTEMS INSTALLED.
- CONTRACTOR SHALL BE FAMILIAR WITH THE SPECIFIC INSTALLATION REQUIREMENTS OF THE WATERPROOFING SYSTEM.
- THE SYSTEM TO BE USED SHALL HAVE A CURRENT MIAMI-DADE COUNTY PRODUCT APPROVAL.
- MANUFACTURER TO PROVIDE WARRANTY OF A MINIMUM OF 10 YEARS.
- PRODUCT TO BE USED SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

CLADDING NOTE:

- NATURAL STONE CLADDING - GENERAL CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR AOR AND EOR REVIEW
- CLADDING SHALL MEET HIGH VELOCITY HURRICANE ZONE REQUIREMENTS AND SHALL BE APPLIED IN ACCORDANCE WITH THE SHOP DRAWINGS / EXTERIOR WALL CLADDING REQUIREMENTS PER FBCR-4407-4410
- VENEERING OR FACING ON MASONRY BACKING SHALL NOT BE CONSIDERED AS ADDING ANY STRENGTH TO SUCH WALLS AND SHALL BE LIMITED IN HEIGHT ABOVE FOUNDATIONS OR BETWEEN PROPER AND ADEQUATE SUPPORTS TO 30."
- VENEERING SHALL BE SECURELY ANCHORED TO MASONRY BACKING BY MEANS OF SUBSTANTIAL, NON-CORROSIVE METAL WALL TIES.
- WATERPROOFING AND EXISTING STUCCO AT VERTICAL SURFACES TO BE REMOVED AND NEW WATERPROOFING TO BE APPLIED ACCORDING TO WATER PROOFING CONSULTANTS DRAWINGS.

NOTE:

- REFER TO STRUCTURAL SHEET S-2 FOR CLADDING ANCHOR ATTACHMENT DETAILS.
- REFER TO I.D. DRAWINGS FOR CLADDING TYPE AND DIMENSIONS

FINISH MATERIAL LEGEND:

01 VOLCANIC STONE FLOORING

MARK LEGEND:

- # DOOR TYPE (SEE DOOR SCHEDULE A-6.0)
- # WINDOW TYPE (SEE WINDOW SCHEDULE A-6.0)
- # FINISH MATERIAL
- # WALL TYPES (SEE WALL TYPES A-5.0)

DOOR TAG LEGEND:

- EX. DOOR TAGS WITH AN EX. ARE EXISTING TO REMAIN.
- # DOOR TAGS WITH A NUMBER ARE NEW. REFER TO SHEET A-6.0 FOR DOOR SCHEDULE
- M.W. DOOR TAGS WITH A M.W. WERE REMOVED AND REPLACED WITH A NEW MILLWORK DOOR. SEE I.D. DRAWINGS FOR DETAILS.
- REP. DOOR TAGS WITH A REP. WERE REMOVED AND REPLACED WITH A NEW LIKE KIND DOOR WITH THE SAME DIMENSIONS. NO OPENINGS TO BE ENLARGED OR REDUCED UNLESS OTHERWISE NOTED.

LEGEND

- NEW MASONRY WALL
- NEW POURED CONCRETE WALL
- NEW METAL STUD WALL

DIMENSION PLAN NOTE:

DIMENSION LINES ARE FROM FACE TO FACE OF METAL STUD WALL AND/OR CMU OR CONC. WALL (U.O.N.").

PROPOSED 2ND FLOOR PLAN

SCALE: 1/8" = 1'-0"

ROOFING AND WATERPROOFING NOTE:

- ROOFING MATERIAL SHALL BE LIGHT COLORED HIGH ALBEDO
- S.U.R ROOFING UNDER SEPARATE PERMIT.
- WATERPROOFING UNDER SEPARATE PERMIT.
- REFER TO WATER PROOFING CONSULTANTS DRAWINGS AND SPECIFICATIONS FOR WATER PROOFING.
- ALL WATERPROOFING TO BE INSTALLED PER MANUFACTURER'S COMPLETE SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH MANUFACTURER FOR ALL SYSTEMS INSTALLED.
- CONTRACTOR SHALL BE FAMILIAR WITH THE SPECIFIC INSTALLATION REQUIREMENTS OF THE WATERPROOFING SYSTEM.
- THE SYSTEM TO BE USED SHALL HAVE A CURRENT MIAMI-DADE COUNTY PRODUCT APPROVAL.
- MANUFACTURER TO PROVIDE WARRANTY OF A MINIMUM OF 10 YEARS.
- PRODUCT TO BE USED SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

FINISH MATERIAL LEGEND:

- 01 VOLCANIC STONE FLOORING
02 TURF
03 MARBLE FLOORING

MARK LEGEND:

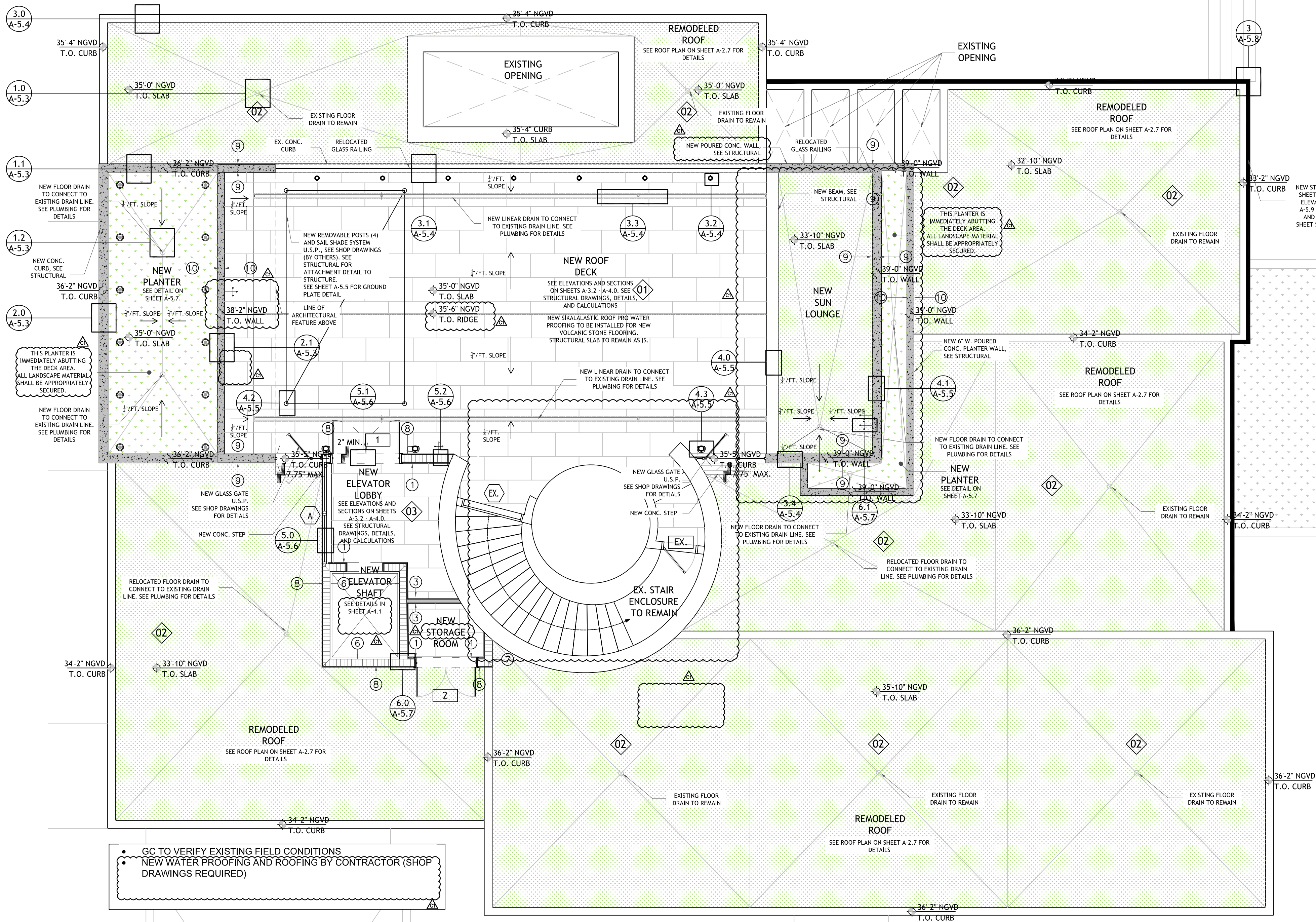
- # DOOR TYPE (SEE DOOR SCHEDULE A-6.0)
WINDOW TYPE (SEE WINDOW SCHEDULE A-6.0)
FINISH MATERIAL
WALL TYPES (SEE WALL TYPES A-5.0)

LEGEND

- NEW MASONRY WALL
NEW POURED CONCRETE WALL
NEW METAL STUD WALL

PLAN SYMBOL LEGEND

| DESCRIPTION | SYMBOL |
|------------------------|--------|
| NEW LANDSCAPE LIGHT | |
| NEW GARDEN BOLLARD | |
| NEW IN-GRADE LUMINAIRE | |
| NEW CATENARY LIGHT | |
| NEW HOSE BIBB | |
| NEW FLOOR DRAIN | |
| NEW LINEAR FLOOR DRAIN | |



PROPOSED ROOF DECK PLAN MARKS AND TEXT

SCALE: 3/16" = 1'-0"

AA00036589
ANTHONY LEON
0016752

DESIGN
ARCHITECTURE

3260 Northwest 7th Street, Miami, FL 33125
P: 305.438.9377 | F: 305.438.9379

Anthony
Leon

Digitally signed by
Anthony Leon
Date: 2022.03.25
11:13:54 -04'00'

PROPOSED REMODELING/ADDITIONS
AF:
5446 N. BAY RD
MIAMI BEACH, FLORIDA 33140

ISSUE DATE:

REVISIONS:

THESE PLANS ARE FOR BUILDING
DEPARTMENT REVIEW ONLY. THEY ARE NOT
TO BE CONSTRUED AS CONSTRUCTION
DOCUMENTS UNTIL ALL BUILDING
DEPARTMENT APPROVALS ARE OBTAINED.

A-2.5

PROPOSED ROOF DECK
PLAN MARKS & TEXT