

**JOHN IBARRA & ASSOCIATES, INC. Professional Land Surveyors & Mappers** WWW.IBARRALANDSURVEYORS.COM

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#### **FLORIDA DEPARTMENT OF Environmental Protection** Marjory Stoneman Douglas Building 3900 Commonwealth Boulevard

## Noah Valenstein Secretar

Ron DeSantis Governor

Jeanette Nuñez Lt. Governor

## **Tidal Water Survey Procedural Approval**

Tallahassee, FL 32399

Date:	10/21/2021			
Name: Joh	n Ibarra			
Firm Nam	e: John Ibarra & Assoc	ates, Inc.		
Address: 7	777 NW 72nd Avenue,	Suite 3025		
	/liami, FL 33126			
Phone:	305.262.400	Email:	dawn@ibarralandsurveyors	s.com
*****	*****	******	******	*****
Point Iden	tification No	3	County:Mian	mi-Dade
USGS 7.5	-Minute Quad Map N	lame:	Miami	
			Mean Low Water (MLW): _	-1.99 ft
Unit of Me	easurement: Feet	Datum: NAVD88	Tidal Epoch: 1983 –	2001
Procedure	Extend the above M	HW height to job if	within one-half mile.	
Source of Mapping.	Data: Florida Departi	ment of Environmen	tal Protection, Bureau of Surv	vey and
			used to survey the mean high- point identified above.	water line or
******	*****	*****	******	******
Retain this	form for record keer	oing. Submit a copy	of this form with the complet	ed survey to

n this form for record keeping. Submit a copy of this form with the completed survey to the Bureau of Survey and Mapping. Contact: Approved by:

Contact.	Approved by.	
Florida Department of Environmental Protection	W. Lamar Evers, PSM PSM Date: 2021.10.21 08:13.54-04'00'	
Bureau of Survey and Mapping	VV. Lamar Evers, PSM Pate 2021.10.21 08:13:54 -04'00'	
Mean High Water Repository	10/21/2021	
3800 Commonwealth Boulevard, Mail Station 105		
Tallahassee, FL 32399-3000	(Date)	
Tel. (850) 245-2606		

5446 North Bay Road - Miami Beach

WATER EL. = 2.22'(NGVD29)

HIGH TIDE MARK EL. = 2.68 (NGVD2

WATER EL.=0.86'(NAVD88)

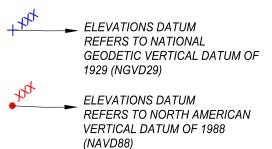
(10/28/2021 @ 1:40PM)

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WATER EL. = 0.40'(NAVD88) -

### SURVEYOR' S NOTES:



SURVEYOR' S NOTES: IAVD 1988 + 1.82' = NGVD 1929

pool equipment elv ELEV.=8.170



# MAP OF BOUNDARY SURVEY

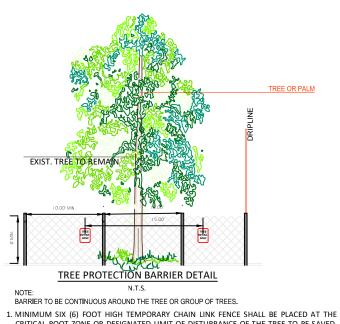
**GRAPHIC SCALE** 

#### (IN FEET) 1 INCH = 20 FEET

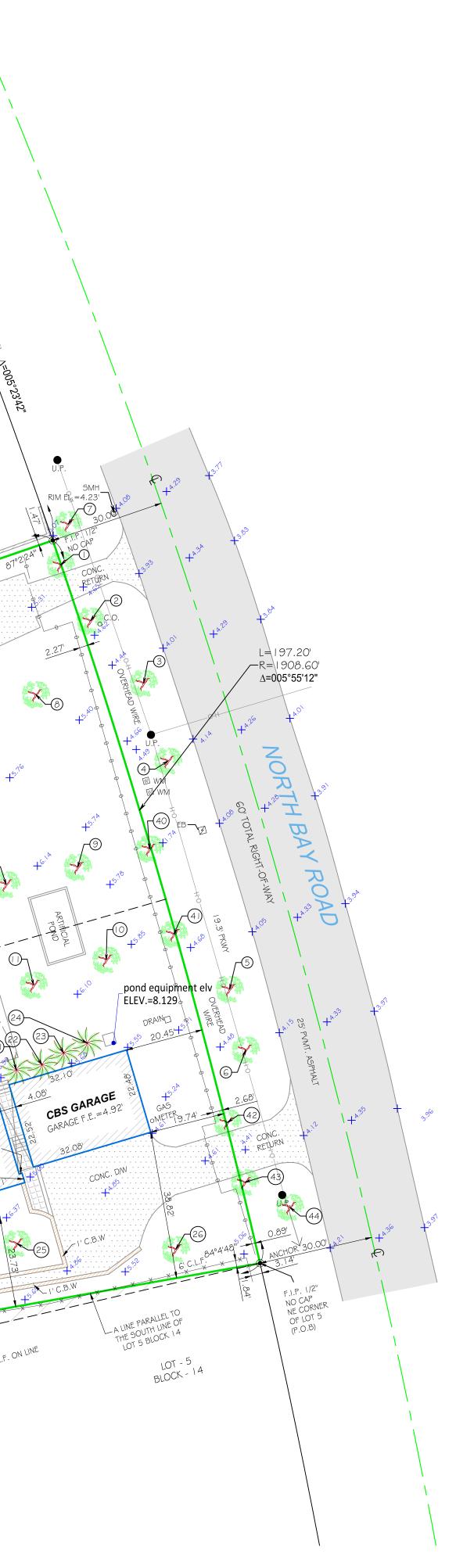
No.	Name	Diameter (Ft.)	Height (Ft.)	Spread (Ft.)
1	PINE	0.60	20	5
2	PINE	0.60	20	5
3	UNKNOWN	0.80	22	12
4	UNKNOWN	0.80	22	12
5	UNKNOWN	0.80	22	12
6	UNKNOWN	0.80	22	12
7	MAHOGANY	3.0	45	35
8	OAK	3.0	60	50
9	UNKNOWN	2.0	18	15
10	UNKNOWN	0.80	22	12
	UNKNOWN	0.80	22	12
12	UNKNOWN	0.80	22	12
13	FISH TAIL PALM	0.80	22	12
14	UNKNOWN	1.20	14	7.0
15	UNKNOWN	1.20	14	7.0
16	UNKNOWN	1.20	14	7.0
17	UNKNOWN	1.20	14	7.0
18	UNKNOWN	1.20	14	7.0
19	UNKNOWN	1.20	14	7.0
20	UNKNOWN	1.20	14	7.0
21	FISH TAIL PALM	2.0	35	6.0
22	FISH TAIL PALM	2.0	35	6.0
23	FISH TAIL PALM	2.0	35	6.0
24	FISH TAIL PALM	2.0	35	6.0
25	OAK	4.5	60	53
26	OAK	4.0	65	60
27	FISH TAIL PALM	2.0	30	12
28	FISH TAIL PALM	2.0	30	12
29	FISH TAIL PALM	2.0	30	12
30	FISH TAIL PALM	2.0	30	12
31	FISH TAIL PALM	2.0	30	12
32	FISH TAIL PALM	2.0	30	12
33	PALM	1.50	45	15
34	PALM	1.50	45	15
35	PALM	1.50	45	15
36	OAK	1.0	25	20
37	UNKNOWN	0.40	25	12
38	UNKNOWN	0.35	15	6
39	UNKNOWN	1.50	18	15
40	PINE	0.60	20	5
41	PINE	0.60	20	5
42	PINE	0.60	20	5
43	PINE	0.60	20	5
44	UNKNOWN	0.95	18	12

#### SURVEYOR'S NOTE:

AN ARBORIST MUST CONFIRM ALL THE TREE NAMES, CONDITION AND SPECIES, WHAT IS SHOWN ON THE SURVEY MAY NOT BE THE CORRECT NAME OF THE TREES. LAND SURVEYORS ARE NOT ARBORIST.



- CRITICAL ROOT ZONE OR DESIGNATED LIMIT OF DISTURBANCE OF THE TREE TO BE SAVED. FENCE SHALL COMPLETELY ENCIRCLE TREE(S). INSTALL FENCE POSTS USING PIER BLOCK ONLY. AVOID POST OR STAKES INTO MAJOR ROOTS. MODIFICATIONS TO FENCING MATERIAL AND LOCATION MUST BE APPROVED BY PLANNING OFFICIAL.
- 2. TREATMENT OF ROOTS EXPOSED DURING CONSTRUCTION FOR ALL ROOTS OVER ONE (1) INCH IN DIMATER DAMAGED DURING CONSTRUCTION, MAKE A CLEAN STRAIGHT CUT TO REMOVE DAMAGED PORTION OF ROOT. ALL EXPOSED ROOTS SHALL BE TEMPORARILY COVERED WITH DAMP BURLAP TO PREVENT DRYING AND COVERED WITH SOIL AS SOON AS POSSIBLE. 3. NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR
- MACHINERY SHALL BE ALLOWED WITHIN THE LIMIT OF THE FENCING. FENCING SHALL NOT BE MOVED OR REMOVED UNLESS APPROVED BT THE CITY PLANNING OFFICIAL. WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY UNDER THE SUPERVISION OF THE ON-SITE ARBORIST AND WITH PRIOR APPROVAL BY THE CITY PLANNING OFFICIAL.
- 4. FENCING SIGNAGE AS DETAILED ABOVE MUST BE POSTED EVERY FIFTEEN (15) ALONG THE





#### LEGAL DESCRIPTION:

LOTS 3 AND 4, BLOCK 14, OF LA GORCE GOLF SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 14, PAGE 43, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS THAT PORTION OF LOT 4 DESCRIBED AS:

BEGIN AT NORTHEAST CORNER OF LOT 5, BLOCK 14, OF LA GORCE GOLF SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 14, PAGE 43, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; THENCE WEST ALONG A LINE PARALLEL TO THE SOUTH LINE OF SAID LOT 5 FOR A DISTANCE OF 163.60 FEET, MORE OR LESS, TO THE WEST LINE OF LOT 4; THENCE SOUTH ALONG THE WEST LINE OF LOT 4. TO THE SOUTHWEST CORNER OF SAID LOT 4: THENCE EAST ALONG THE SOUTH LINE OF SAID LOT 4, FOR A DISTANCE OF 163.80 FEET MORE OR LESS, TO THE POINT OF BEGINNING.

#### **PROPERTY ADDRESS:**

5446 N BAY ROAD, MIAMI BEACH, FLORIDA 33140

#### **CERTIFICATION:**

XI LLC, A FLORIDA LIMITED LIABILITY COMPANY

### LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY :

- •THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY. • EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS. IF ANY. AFFECTING THE PROPERTY.
- •THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD. • LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND/ OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD. COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE: THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE. • THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS. • ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE
- FOR SUBMITTING PLOT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION. • UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED. • THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

## FLOOD ZONE INFORMATION:

THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN: FLOOD ZONE: "AF"

I LOOD ZONE.	
BASE FLOOD ELEVATION:	8 FEET
COMMUNITY:	120651
PANEL:	0309
SUFFIX:	L
	00/44/00/

09/11/2009 DATE OF FIRM: THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA.

SURVEYOR' S NOTES:

- I. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
- 2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT. 3. CERTIFICATE OF AUTHORIZATION LB # 7806.
- 4. ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929. CITY OF MIAMI BEACH BENCH MARK # CMB 56-03, ELEVATION IS 3.67 FEET OF N.A.V.D. 1988 CONVERTED TO NGVD29 BY USING CORPSCON 3.67 + 1.82=5.49 NGVD29

#### SURVEYOR'S CERTIFICATION:

HEREBY CERTIFY: THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

08/08/2022

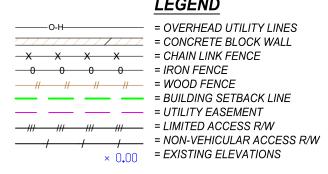
(DATE OF FIELD WORK)

PROFESSIONAL LAND SURVEYOR NO.: 5204 STATE OF FLORIDA

JOHN IBARRA

REVISED ON: \_\_ORIGINAL SURVEY 10/28/2021

REVISED ON: UPDATED SURVEY 08/08/2022



LEGEND

- ----- = BUILDING SETBACK LINE

  - × 0.00 = EXISTING ELEVATIONS

DRAWN BY:	RF
FIELD DATE:	08/08/2022
SURVEY NO:	21-003716-2
SHEET:	1 OF 1

#### ABBREVIATIONS

ABBREVIATIONS				
A				
A/C A.E. A.R.	= AIR CONDITIONER PAD = ANCHOR EASEMENT			
	= ALUMINUM ROOF = ALUMINUM SHED			
ASPH. B.C.	= ASPHALT = BLOCK CORNER = BUILDING			
BLDG.	= BUILDING			
в.м. В.С. <i>R</i> .	= BENCH MARK = BROWARD COUNTY RECORDS			
B.O.B. B.S.L.	= BROWARD COUNTY RECORDS = BASIS OF BEARING = BUILDING SETBACK LINE			
(C)	= (A(CU A E))			
C.B.S. C B W	= CATCH BASIN = CONCRETE BLOCK STRUCTURE = CONCRETE BLOCK WALL			
CH.	= CHORD			
CH.L.	= CHORD = CHORD BEARING = CHORD LENGTH = CLEAR = CLEAN OUT = CHAIN LINK FENCE = CANAL MAINTENANCE EASEMENT			
CL. C.O.	= CLEAR = CLEAN OUT			
C.L.F. C.M.E	= CHAIN LINK FENCE = CANAL MAINTENANCE EASEMENT			
CONC. C.U.P.	= CONCRETE = CONCRETE UTILITY POLE			
C.P. C.S	= CONCRETE UTILITY POLE = CONCRETE UTILITY POLE = CONCRETE SLAB = CONCRETE SLAB = CONCRETE WALK = DRAINAGE EASEMENT = DRAINAGE MAINTENANCE EASEMENT = DRAINAGE MAINTENANCE EASEMENT = DEGREES			
C.W.	= CONCRETE WALK			
D.E. D.M.E.	= DRAINAGE EASEMENT = DRAINAGE MAINTENANCE EASEMENT			
	DEGREEO			
EB E.T.P.	= ELECTRIC BOX = ELECTRIC TRANSFORMER PAD			
ELEV. ENCR	= ELECTRIC TRANSFORMER PAD = ELEVATION = ENCROACHMENT			
F.I.F.	= FIRE HYDRANT = FOUND IRON PIPE = FOUND IRON ROD = FINISHED FLOOR ELEVATION = FOUND NAIL & DISK = FEET = FEDERAL NATIONAL INSURANCE PROGRAM = FOUND NAIL = HIGH OR (HEIGHT) HIGH OR (HEIGHT)			
F.F.E. F.N.D.	= FINISHED FLOOR ELEVATION = FOUND NAIL & DISK			
FT. FNIP.	= FEET = FEDERAL NATIONAL INSURANCE PROGRAM			
F.N. H.	= FOUND NAIL = HIGH OR (HEIGHT)			
IN.&EG.	= INGRESS AND EGRESS EASEMENT = IRRIGATION CONTROL VALVE			
I.F.	= IRON FROM CONTROL VALVE			
L.В. L.P.	IRON FENCE = LICENSED BUSINESS = LIGHT POLE = LOWEST FLOOR ELEVATION = LAKE MAINTENANCE EASEMENT			
L.F.E. L.M.E.	= LOWEST FLOOR ELEVATION = LAKE MAINTENANCE EASEMENT			
	= MINUTES = MEASURED DISTANCE			
М.В.	= MAIL BOX R.= MIAMI DADE COUNTY RECORDS			
M.E.	= MAINTENANCE EASEMENT = MANHOLE			
N.A.P.	= NOT A PART OF			
N.T.S.				
	. = NUMBER = OFFSET			
0.H. 0.H.L.	= OVERHEAD = OVERHEAD UTILITY LINES			
0.R.B.	= OFFICIAL RECORDS BOOK = OVERHANG			
	= PAVEMENT = PLANTER			
P.L.	= PROPERTY LINE			
P.C.C. P.C.	= POINT OF COMPOUND CURVATURE = POINT OF CURVATURE			
POC	= POINT OF TANGENCY = POINT OF COMMENCEMENT			
Р.О.В. Р.R.С.	= POINT OF BEGINNING			
PWY P.R.M.	= PARKWAY			
P.L.S.	= PROFESSIONAL LAND SURVEYOR			
P.P. P.P.S. P.U.E.	= POWER POLE = POOL PUMP SLAB			
(R)	= RECORD DISTANCE			
R.R. RES.	= RAIL ROAD = RESIDENCE			
R/W RAD.	= RIGHT-OF-WAY = RADIUS OR RADIAL			
RGE.	= RANGE = ROOF OVERHANG EASEMENT			
SEC. STY.	= SECTION			
SWK.	= STORY = SIDEWALK			
S.I.P. S	= SET IRON PIPE = SOUTH			
S.P. S.V.	= SCREENED PORCH = SEWER VALVE			
" Т	= SECONDS = TANGENT			
TB T.B.M.	= TELEPHONE BOOTH = TEMPORARY BENCHMARK			
T.U.E. TSB	= TECHNOLOGY UTILITY EASEMENT = TRAFFIC SIGNAL BOX			
T.S.P.	= TRAFFIC SIGNAL POLE			
TWP UTIL.	= TOWNSHIP = UTILITY			
U.E. U.P.	= UTILITY EASEMENT = UTILITY POLE			
W.M. W.F.	= WATER METER = WOOD FENCE			
W.P. W.R.	= WOOD PORCH = WOOD ROOF			
W.V. MU	= WATER VALVE = MONUMENT LINE			
¢ A	= CENTER LINE = DELTA			