

333 EAST RIVO ALTO RESIDENCE

FINAL SUBMITTAL DRB22-0876



333 E. RIVO ALTO DRIVE. MIAMI BEACH, FL. 33139

- NEW TWO-STORY SINGLE FAMILY RESIDENCE WITH UNDERSTORY

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ADDRESS & OWNER

NEW RESIDENCE

333 E. RIVO ALTO DRIVE

MIAMI BEACH, FL. 33139

OWNER: MS KERIN K. PETERSON

REVISION & DATE

DRAWING TITLE

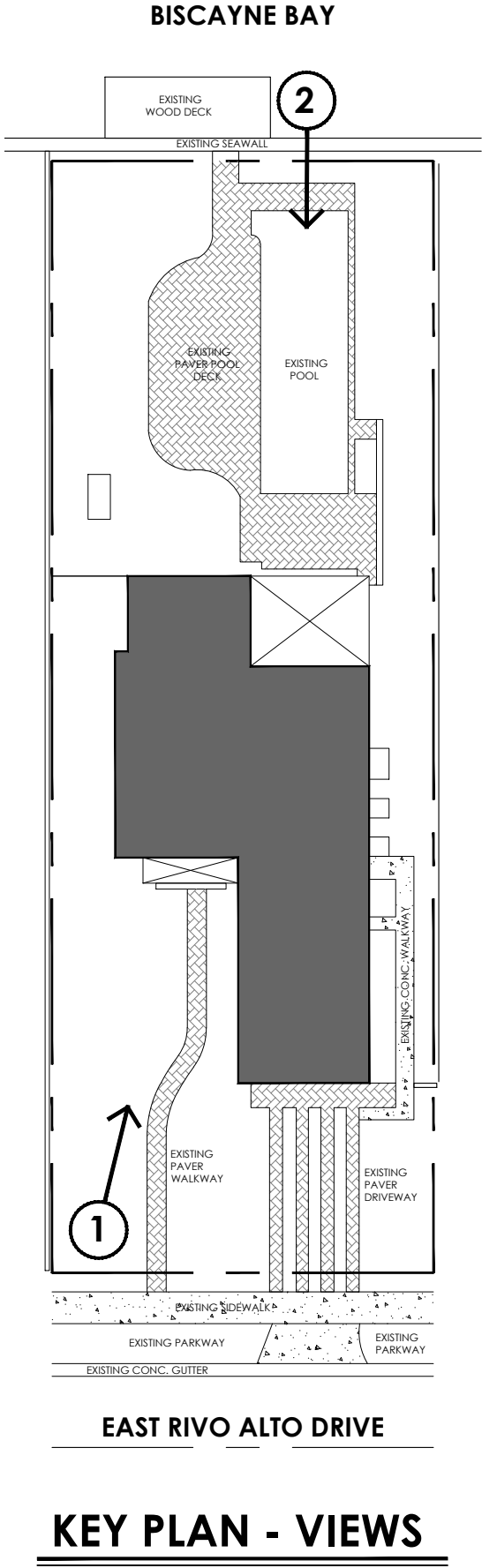
COVER SHEET

SCALE: AS SHOWN

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COVER



1 **EXISTING RESIDENCE - FRONT**



2 **EXISTING RESIDENCE - REAR**

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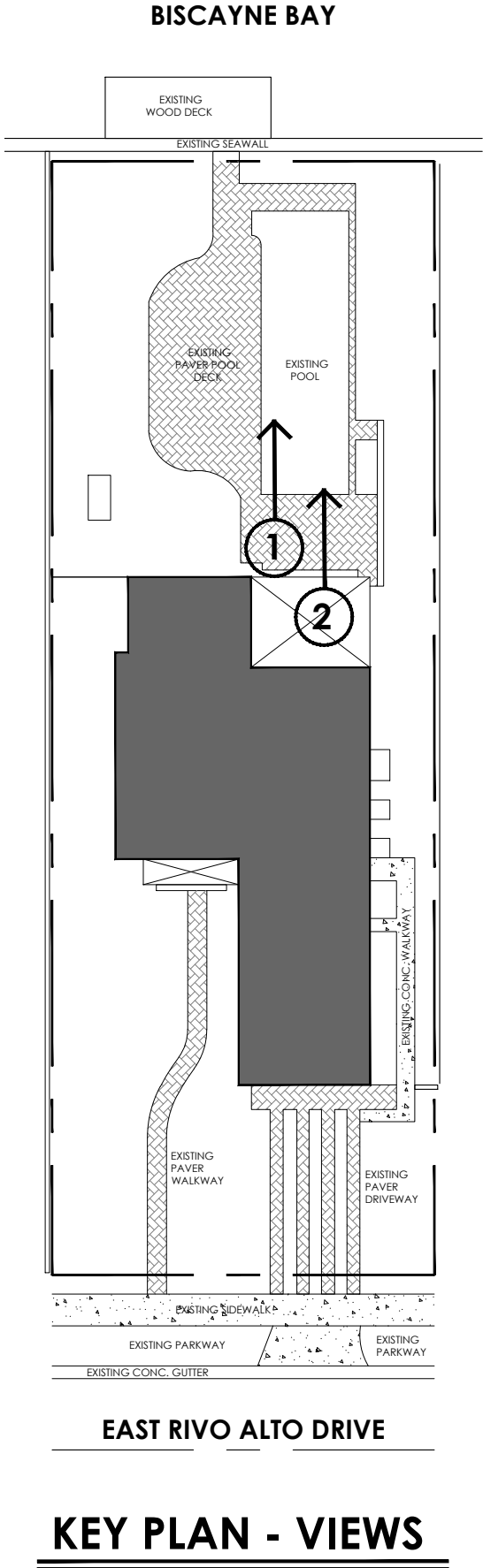
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**EXISTING
RESIDENCE
PHOTOS**

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PH-1.0



2 **EXISTING RESIDENCE - REAR**



1 **EXISTING RESIDENCE - REAR**

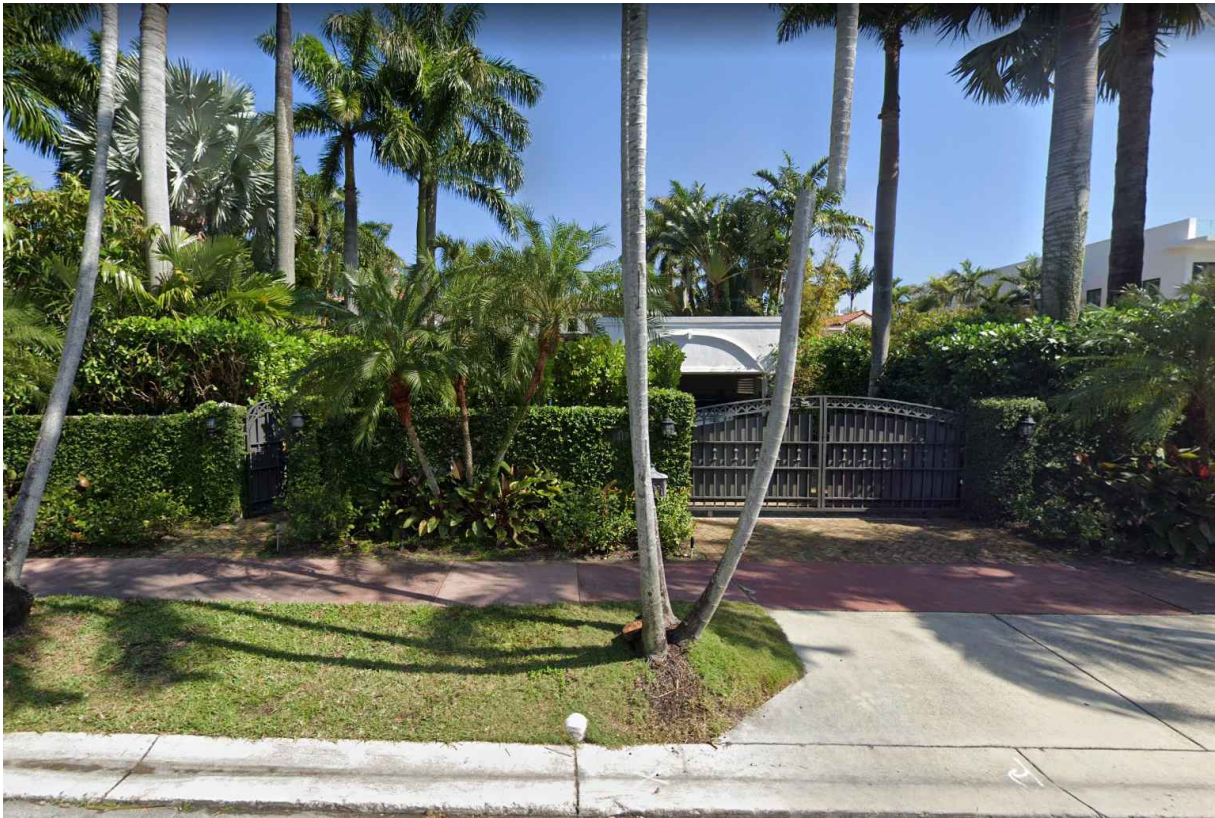


2 NEIGHBORHOOD AERIAL MAP

1. 315 E. RIVO ALTO DRIVE
2. 327 E. RIVO ALTO DRIVE
3. 324 E. RIVO ALTO DRIVE
4. 400 E. RIVO ALTO DRIVE
5. 401 E. RIVO ALTO DRIVE
6. 411 E. RIVO ALTO DRIVE
7. 415 E. RIVO ALTO DRIVE



1 AERIAL LOCATION MAP



RESIDENCE 1



RESIDENCE 2



RESIDENCE 3



RESIDENCE 4



RESIDENCE 5



RESIDENCE 6



RESIDENCE 7

RESIDENCE 8

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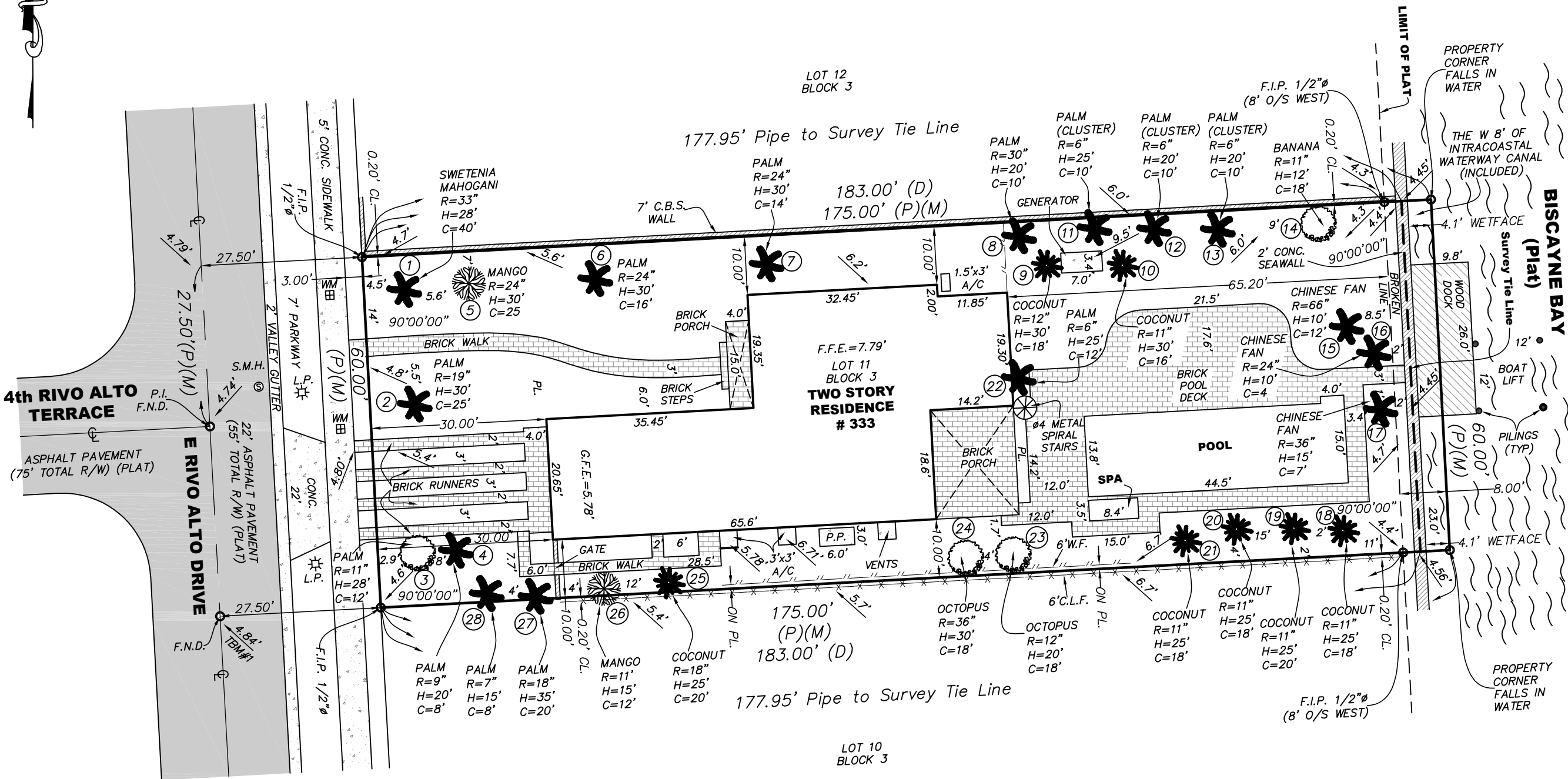
SURROUNDING
PROPERTY
PHOTOS

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PH-2.2

"THIS SURVEY DECLARATION IS MADE ON THE FIELD DATE INDICATED, TO THE OWNER(S) LISTED. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."



This property described as:

Lot 11, Block 3, RIVO ALTO, an Island in Biscayne Bay, according to the Plat thereof as recorded in Plat Book 7, Page 74, of the Public Records of Miami-Dade County, Florida, also an 8' Strip of Land contiguous to the Easterly boundary line of said Lot 11 lying between the Easterly Extensions of the North boundary line and the South boundary line of said Lot 11, lying and being in Dade County, Florida, being a strip of land 8' by 60' in dimension.

NOTES:
Elevations Show refer to NGVD 1929
BM # D-169 Elev.=7.88'
(Miami-Dade)

NOTES:
- No visible Encroachments in this Lot
- No platted Easement in this Lot.
- (folio# 02-3233-001-0450)

Address:
333 E Rivo Alto Drive, Miami Beach, FL 33139

LOT AREA
SQ FT. ± 10677.00

Bearing, if any, shown based on N/A (reference) N/A

REVISIONS:

08/23/2022 Lot Area Added

09/02/2022 Revisions

FLOOD ZONE AE	COMM. No. 120651	PANEL No. 0294	SUFFIX: L	Not valid unless it bears the signature and the original raised seal of Florida licensed Surveyor and Mapper.
F.I.R.M.DATE 09 / 11 / 09	F.I.R.M.INDEX 09 / 11 / 09	BASE ELEV. + 10' N.G.V.D.		

TOPOGRAPHIC SURVEY.
I HEREBY CERTIFY: that this survey meets the standards of practice as set forth by the FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027 Florida Statutes.
RENE AIGUESVIVES 01/18/22
PROFESSIONAL SURVEYOR AND MAPPER No. 4327. State of Florida.

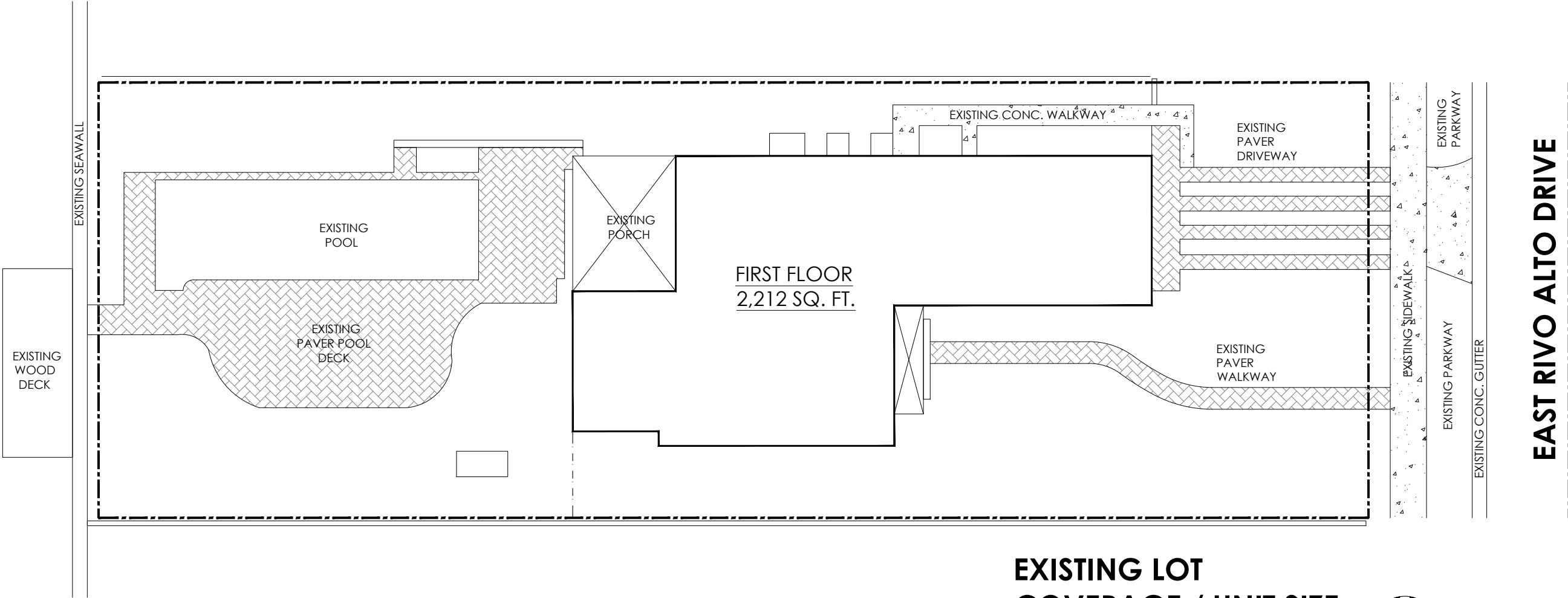
Alvarez, Aiguesvives and Associates, Inc.
Surveyors, Mappers and Land Planners
9789 Sunset Drive, Miami, FL 33173
Phone 305.220.2424 Fax 305.552.8181
L.B. No. 6867 / E-mail: aaasurvey@aol.com

Field Date 01/18/22	Scale: 1"= 20'	Drawn by: A.I.	Drwg. No. 22-23398
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NOTE: a) All clearances and/or encroachments shown hereon are of the apparent physical use, fence legal ownership not determined. b) The issue of this survey is only for the exclusive and specific use of those persons, parties or institutions in the certification. c) Code restrictions and title search not reflected in this survey. d) Underground utilities, improvements, footings and encroachments, if any not located. e) The flood information shown hereon does not imply that the subject property will or will not be free from flooding or damage and does not create liability on the part of the firm or employee thereof, for any damage that occurs from reliance on said information. f) Lands depicted hereon were surveyed per legal description provided by client and no claims as to ownership or matters of title are made or implied.

LEGEND
A = Arc
ASPH = Asphalt
BM = Bench Mark
BRG = Bearing
CATV = Catch basin
CB = Catch basin
CBS = Concrete Block Structure
CH = Chord
Chatta = Chattahoochee
CL = Center Line
CLF = Chain Link Fence
CL = Clear
CONC = Concrete
D = Delta
Ø = Diameter
DH = Drill Hole
DME = Drainage & Maintenance Easement
E.B. = Electric Box
Enc. = Encroachment
F.F. = Finish Floor
F.H. = Fire Hydrant
F.I.R. = Found Iron Rebar
FPL = Florida Power & Light
F.I.P. = Found Iron Pipe
FD. = Found
L.P. = Light Pole
M = Measured
M.F. = Metal Fence
M.H. = Manhole
ML = Monument Line
MON. = Monument
N/A = Not Applicable
N/D = Nail & Disc
NTS = Not to Scale
O/S = Offset
O.U.L. = Overhead Utility Lines
OH = Overhang
P = Plat
PB = Plat Book
PC = Point of Curvature
P.C.C. = Point of Compound Curvature
PCP = Permanent Control Point
PG = Page
P.I. = Point of Intersection
PL = Property Line
PL = Planter
P.O.B. = Point of Beginning
P.O.C. = Point of Commencement
P.P. = Power Pole
P.R.M. = Permanent Reference Monument
P.R.C. = Point of Reverse Curvature
PT = Point of Tangency
R = Radius
R/R = Railroad
PSM = Professional Surveyor Mapper
R/W = Right-of-Way
SWK = Sidewalk
Sec. = Section
(TYP) = Typical
T = Tangent
U.E. = Utility Easement
W.F. = Wood Fence
W.M. = Water Meter
W.V. = Water Valve
X = Denotes Spot Elevations Taken

BISCAYNE BAY



1
1/16" = 1'-0"

LOT AREA: 10,500 S.F.

EXISTING LOT COVERAGE	
FIRST FL.	2,212 S.F.
TOTAL	2,212 S.F. 21.06%

EXISTING UNIT SIZE	
FIRST FL.	2,212 S.F.
SECOND FL. (ESTIMATE)	2,212 S.F.
TOTAL	4,424 S.F. 42.13%

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ADDRESS & OWNER

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REVISION & DATE

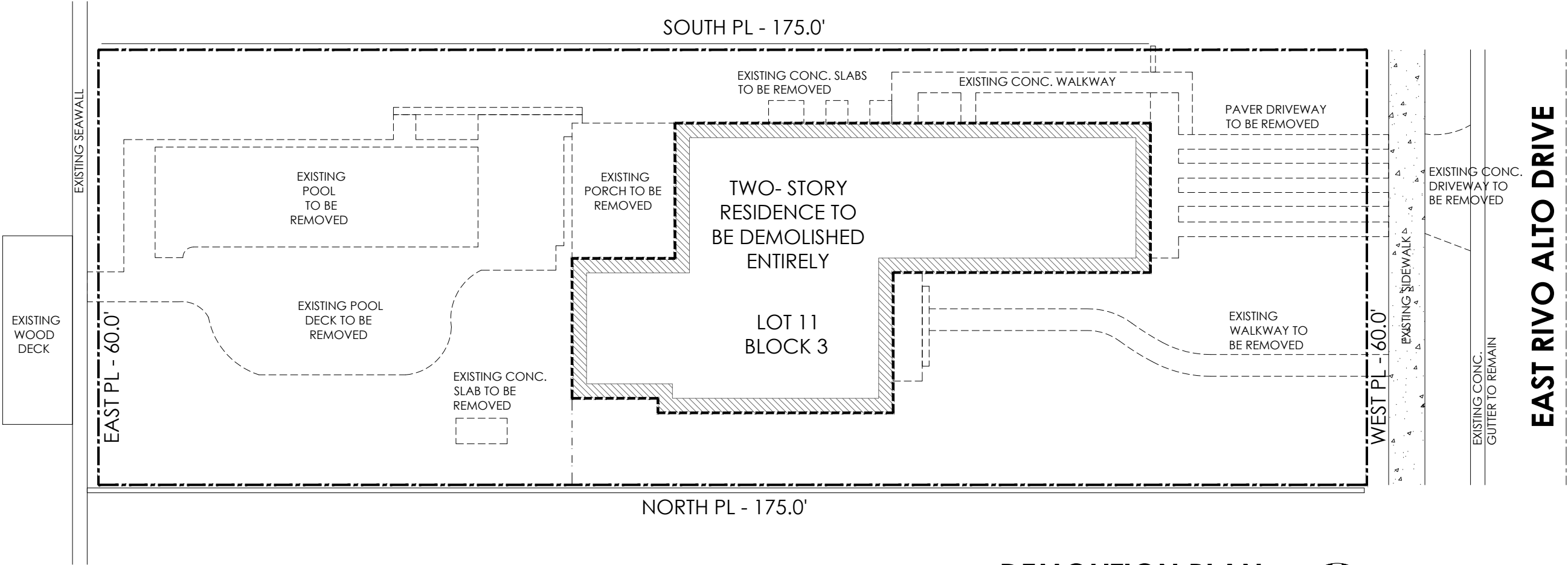
DRAWING TITLE
EXIST. LOT
COVERAGE /
UNIT SIZE

SCALE: AS SHOWN
DATE: 07-20-2022

SHEET NUMBER

EX-1.0

BISCAYNE BAY



1 DEMOLITION PLAN

1/16" = 1'-0"

GENERAL DEMOLITION NOTES

- CONTRACTOR SHALL NOTIFY ALL UTILITIES FOR PROPER DISCONNECTION PRIOR TO DEMOLITION ACTIVITIES.
- CONTRACTOR SHALL PERFORM AND OBTAIN ALL PERMITS WITH CITY OF MIAMI BEACH & COMPLY WITH ALL NECESSARY REQUIREMENTS. CONTRACTOR SHALL PROVIDE NOTIFICATIONS AS REQUIRED AND COMPLY WITH LOCAL ORDINANCES.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ACCIDENTAL DAMAGE TO ADJACENT PROPERTIES AND EXISTING ITEMS TO REMAIN. RESPONSIBILITY MEANS REPLACEMENT OF OR RESTORATION TO ORIGINAL CONDITION OF ANY DAMAGED ITEMS.
- CONTRACTOR SHALL REMOVE ANY DECORATIVE ACCESSORIES AND LIGHT FIXTURES FROM WALLS, CEILINGS AND ELSEWHERE DIRECTED BY OWNER AND PROTECT SAME FROM POSSIBLE DAMAGE UNTIL INSPECTION FOR DISPOSITION IS MADE BY OWNER.
- CONTRACTOR SHALL PERFORM INSECT/RODENT EXTERMINATION AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- CONDUCT OPERATIONS SO AS NOT INTERFERE WITH ADJACENT ROADS, STREETS DRIVES, WALKS, SERVICE LINES AND THE LIKE.
- MAINTAIN BUILDING GROUNDS FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH. DISPOSE ALL MATERIALS IMMEDIATELY AFTER DEMOLITION.
- CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PREVENT AIRBORNE DUST TO SPREAD TO ADJACENT PROPERTIES. WATER SHALL BE APPLIED WHEREVER PRACTICAL TO SETTLE AND HOLD DUST TO A MINIMUM, PARTICULARLY DURING THE DEMOLITION & MOVING OF MATERIALS. PROVIDE DUMP CONTAINERS ON SITE FOR COLLECTION OF WASTE MATERIALS, RUBBISH AND DEBRIS FOR ALL TRADES.
- UPON COMPLETION OF DEMOLITION WORK, LEAVE THE PROPERTY AND ADJACENT AREAS CLEAN AND SATISFACTORY TO LOCAL AUTHORITIES AND THE ARCHITECT. BESIDES THE REMOVAL OF WASTE MATERIALS. THE ENTIRE SPACE SHALL BE LEFT IN A "BROOM CLEAN" CONDITION, WITH THE COMPLETE REMOVAL OF ALL ACCUMULATIONS OF DUST FROM ANY REMAINING SURFACES, STRUCTURAL ELEMENTS OR OTHERWISE.
- CONTRACTOR SHALL PERFORM ALL NECESSARY TESTING FOR ASBESTOS CONTAINING MATERIAL AND RETAIN A CERTIFIED ASBESTOS ABATEMENT COMPANY FOR REMOVAL OF ANY ASBESTOS CONTAINING MATERIAL PER STATE OF FLORIDA REGULATIONS.

SCOPE OF WORK

- SCOPE OF DEMOLITION ENTAILS ENTIRE HOUSE.
- REMOVE WALKWAYS, CONCRETE OR TILED PATIO, PRIVACY WALLS, POOL DECK, DRIVEWAYS AND FENCES AS INDICATED ON PLANS.
- MAINTAIN AND PROTECT ALL EXISTING TREES.

TREE PROTECTION NOTE

PROVIDE 8'X8' PROTECTION BARRIER FOR TREES LESS THAN 18" IN DIAMETER AND 12'X12' PROTECTION BARRIER FOR TREES 18" IN DIAMETER AND GREATER.

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ADDRESS & OWNER

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REVISION & DATE

DRAWING TITLE

DEMO PLAN

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D-1.0



FRONT VIEW RENDERING / 3D PERSPECTIVE

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ADDRESS & OWNER

NEW RESIDENCE

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MIAMI BEACH, FL. 33139

OWNER: MS KERIN K. PETERSON

REVISION & DATE

DRAWING TITLE

FRONT RENDERING

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3D-1



REAR VIEW RENDERING / 3D PERSPECTIVE

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DRAWING TITLE

REAR RENDERING

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SHEET NUMBER

3D-2



NEIGHBORHOOD CONTEXTUAL VIEW



NEIGHBORHOOD CONTEXTUAL AERIAL VIEW

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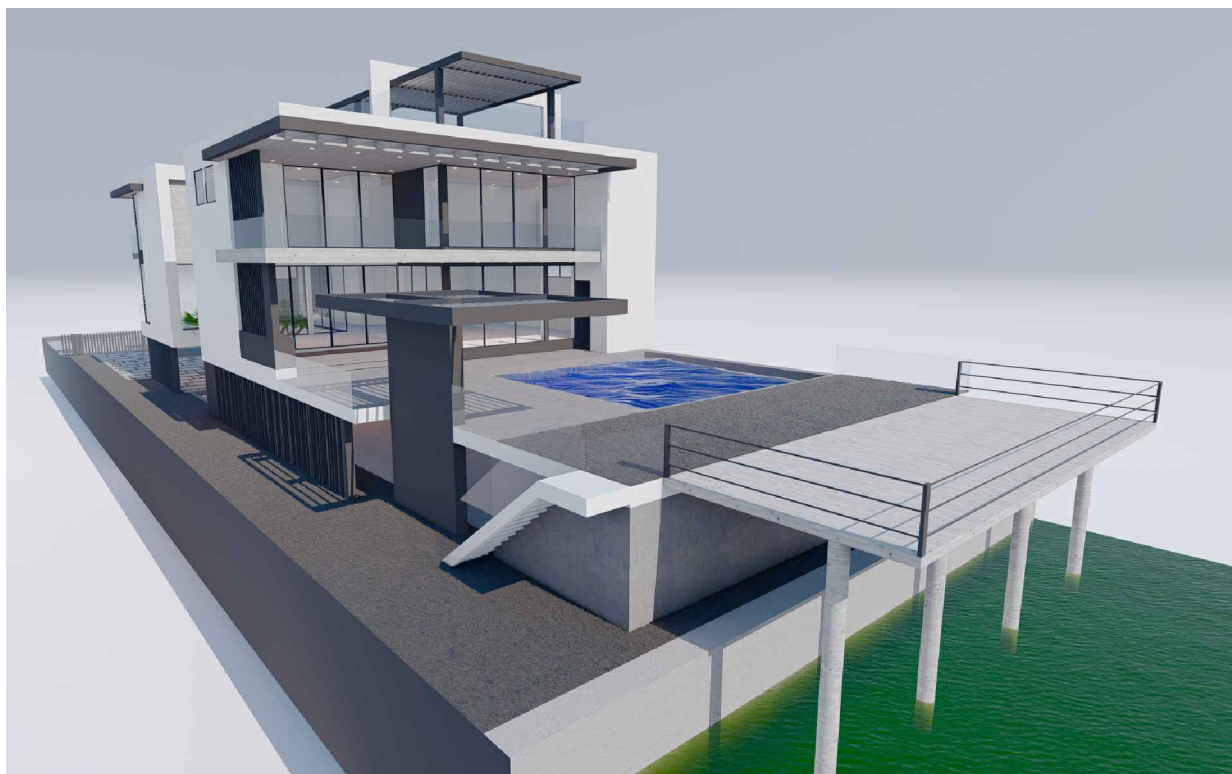
CONTEXTUAL VIEW

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3D-3

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CONTEXTUAL VIEW

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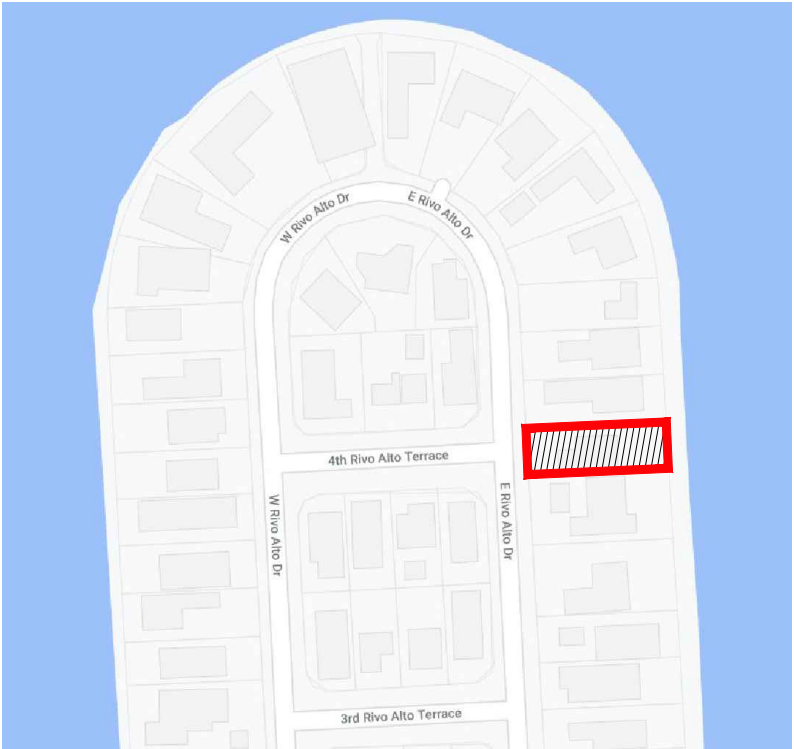
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SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEMS#	ZONING INFORMATION				
1	ADDRESS:	333 EAST RIVO ALTO DR. MIAMI BEACH. 33139			
2	FOLIO NUMBER(S):	02-3233-001-0450			
3	BOARD AND FILE NUMBERS:	DRB22-0876			
4	YEAR BUILT:	1938	ZONING DISTRICT:	RS-3	
5	BASED FLOOD ELEVATION:	+10.0' NGVD	GRADE VALUE IN N.G.V.D:	+4.8' NGVD	
6	ADJUSTED GRADE (FLOOD+GRADE/2)	+7.4' NGVD	FREE BOARD:	+15.0' NGVD (+5')	
7	LOT AREA:	10,680 S.F.			
8	LOT WIDTH:	60'-0"	LOT DEPTH:	178'-0" (TO SEAWALL MIDPOINT)	
9	MAX. LOT COVERAGE SF AND %:	3,204 SF (30%)	PROPOSED LOT COVERAGE SF AND %:	3,032 SF (28.39%)	
10	EXISTING LOT COVERAGE SF AND %:	2,212 SF (21.06%)	LOT COVERAGE DEDUCTED (GARAGE-STORAGE)	3,032 SF (28.39%)	
11	FRONT YARD OPEN SPACE SF AND %:	507 SF (28.17%)	REAR YARD OPEN SPACE SF AND %:	456 SF (28.46%)	
12	MAX. UNIT SIZE SF AND %:	5,340 SF (50%)	PROPOSED UNIT SIZE SF AND %:	5,286 SF (49.49%)	
13	EXISTING FIRST FLOOR UNIT SIZE%:	4,424 SF (42.13%)	PROPOSED FIRST FLOOR UNIT SIZE SF AND %:	2,557 SF (24.35%)	
14	EXISTING SECOND FLOOR UNIT SIZE:	N/A	PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE SF AND % (NOTE: TO EXCEED 70% OF THE FIRST FLOOR OF THE MAIN HOME REQUIRE DRB):	2,557 SF (24.35%)	
15			PROPOSED SECOND FLOOR UNIT SIZE SF AND %:	2,557 SF (24.35%)	
16			PROPOSED ROOF DECK AREA SF AND % (NOTE: MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):	639 SF (25%)	
			GROSS AREA:	7,987 SF	
		REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17	HEIGHT:	24 FT.		24 FT.	SEE ELEVATION SHEETS
18	SETBACKS:				
19	FRONT FIRST LEVEL:	30 FT.	N/A	40 FT.	
20	FRONT SECOND LEVEL:	30 FT.	N/A	40 FT.	
21	SIDE 1 - SOUTH (INTERIOR):	7'-6"		7'-6"	
22	SIDE 2 - WEST (INTERIOR):	7'-6"		7'-6"	
23	REAR:	26'-8"		50'-0"	
24	ACCESSORY STRUCTURE SIDE 1:	7'-6"	N/A	10'-6"	
25	ACCESSORY STRUCTURE SIDE 2	7'-6"	N/A	N/A	
26	ACCESSORY STRUCTURE REAR:	13'-1"	N/A	21'-3" SUPPORT WALL 16'-2" TRELLIS	
27	LOCATED WITHIN A LOCAL HISTORIC DISTRICT?	NO			
28	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE?	NO			
29	DETERMINATE TO BE ARCHITECTURALLY SIGNIFICANT?	NO			



LOCATION PLAN

NOT TO SCALE



SCOPE OF WORK

- NEW SINGLE FAMILY RESIDENCE REPLACING EXISTING PRE-1942 BUILDING.

APPLICABLE CODES

- FLORIDA BUILDING CODE 2020 7TH EDITION, RESIDENTIAL
- CITY OF MIAMI BEACH LOCAL ORDINANCE (RS-3)

LEGAL DESCRIPTION

LOT 11, BLOCK 3,
RIVO ALTO, AN ISLAND IN BISCAYNE BAY, ACCORDING TO THE PLAT THEREOF AS RECORDER IN PLAT BOOK 7, PAGE 74, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, ALSO AN 8' STRIP OF LAND CONTIGUOUS TO THE EASTERLY BOUNDARY LINE OF SAID LOT 11 LYING BETWEEN THE EASTERLY EXTENSIONS OF THE NORTH BOUNDARY LINE AND THE SOUTH BOUNDARY LINE OF SAID LOT 11, LYING AND BEING IN DADE COUNTY, FLORIDA, BEING A STRIP OF LAND 8' BY 60' DIMENSION.

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ZONING DATA
/ LOCATION
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ADDRESS & OWNER

NEW RESIDENCE

333 E. RIVO ALTO DRIVE

MIAMI BEACH, FL. 33139

OWNER: MS KERIN K. PETERSON

REVISION & DATE

DRAWING TITLE

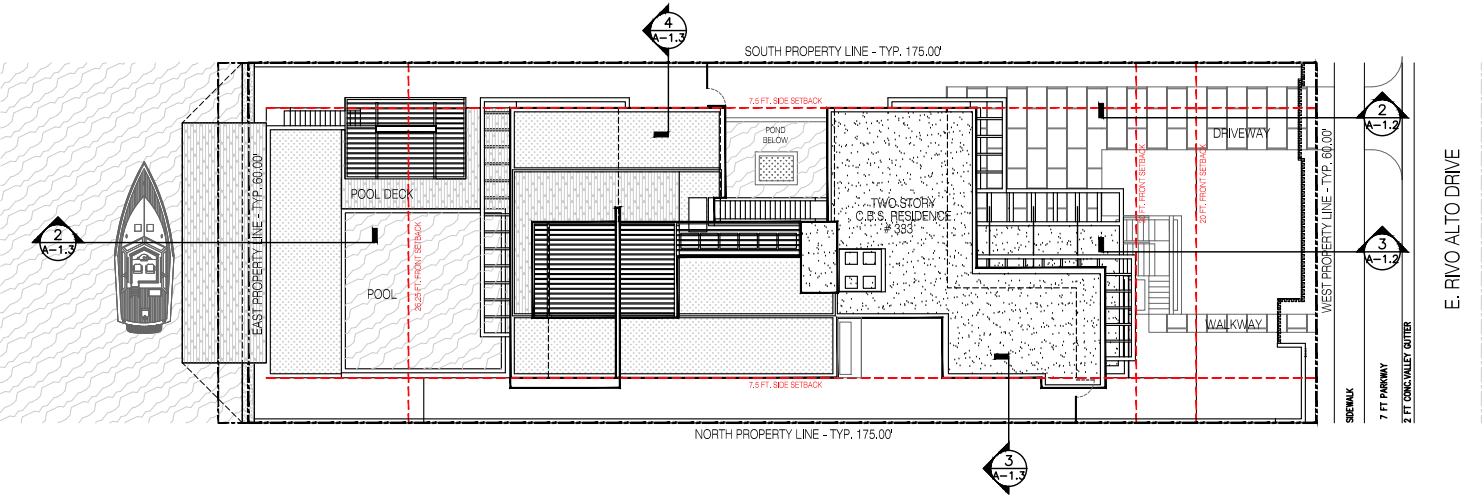
YARD SECTIONS

SCALE: AS SHOWN

DATE: 07-20-2022

SHEET NUMBER

A-1.2

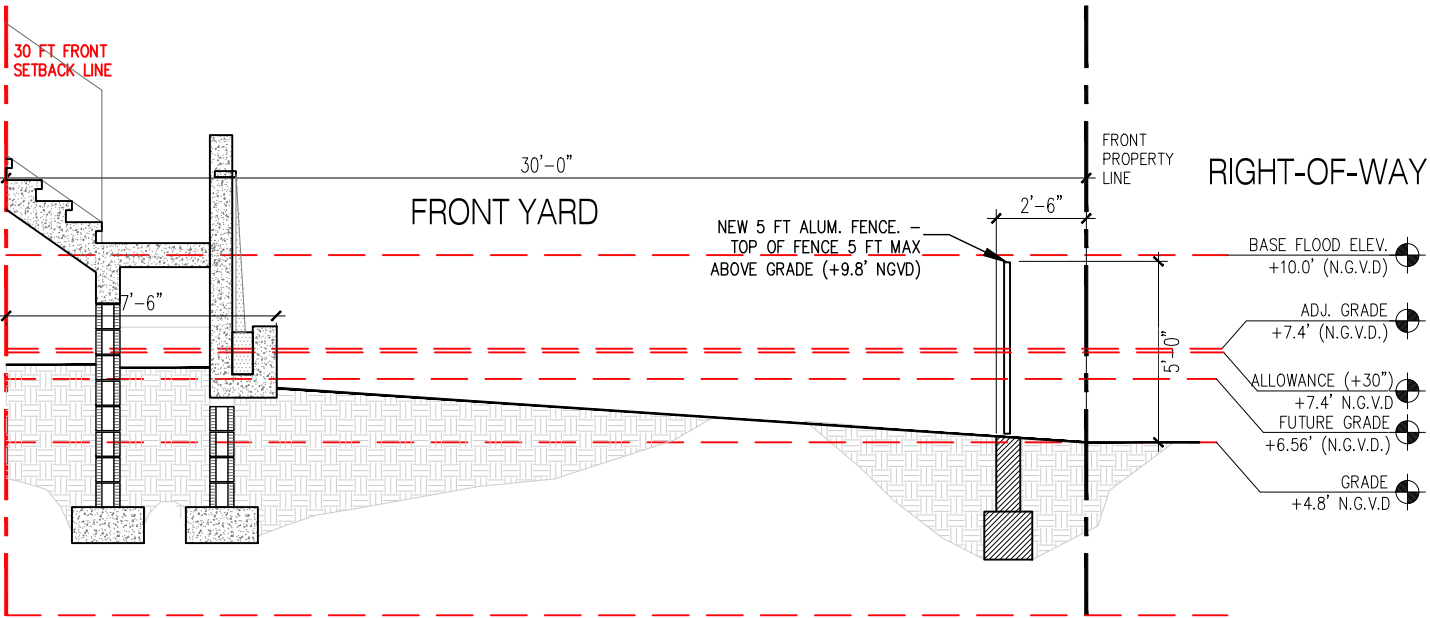


1

YARD SECTION KEYPLAN

NOT TO SCALE

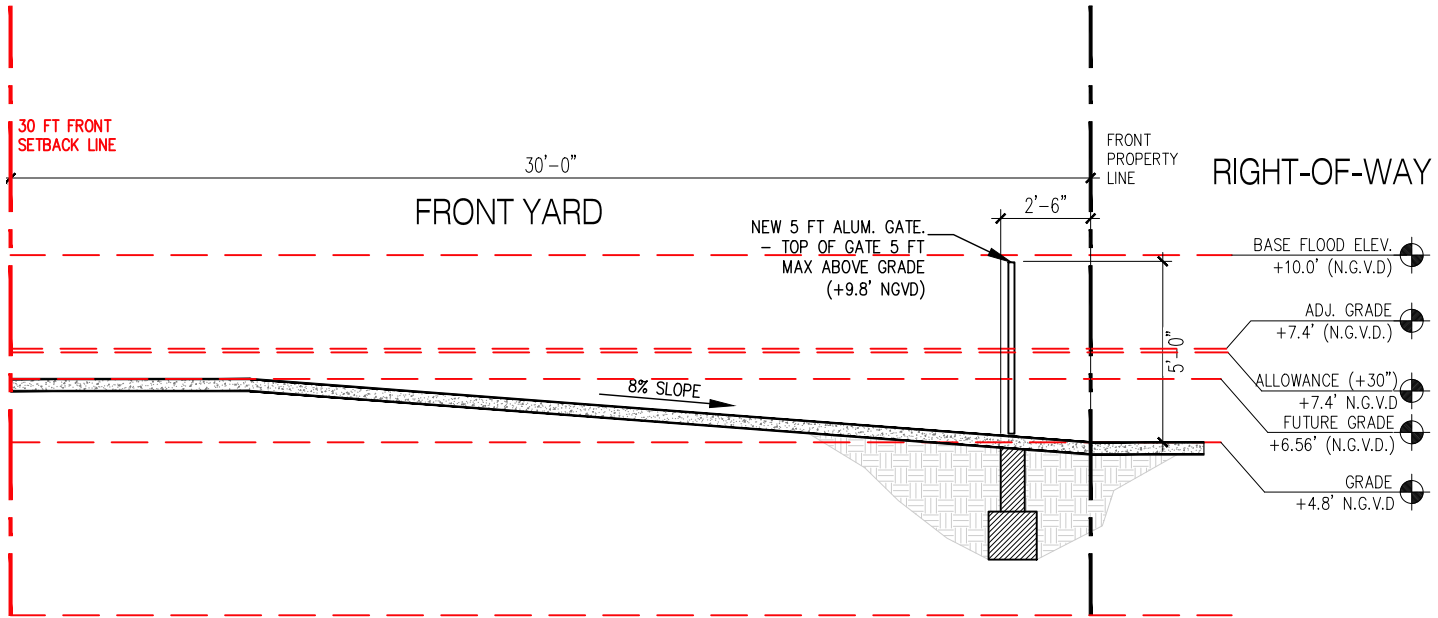
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3

FRONT YARD SECTION

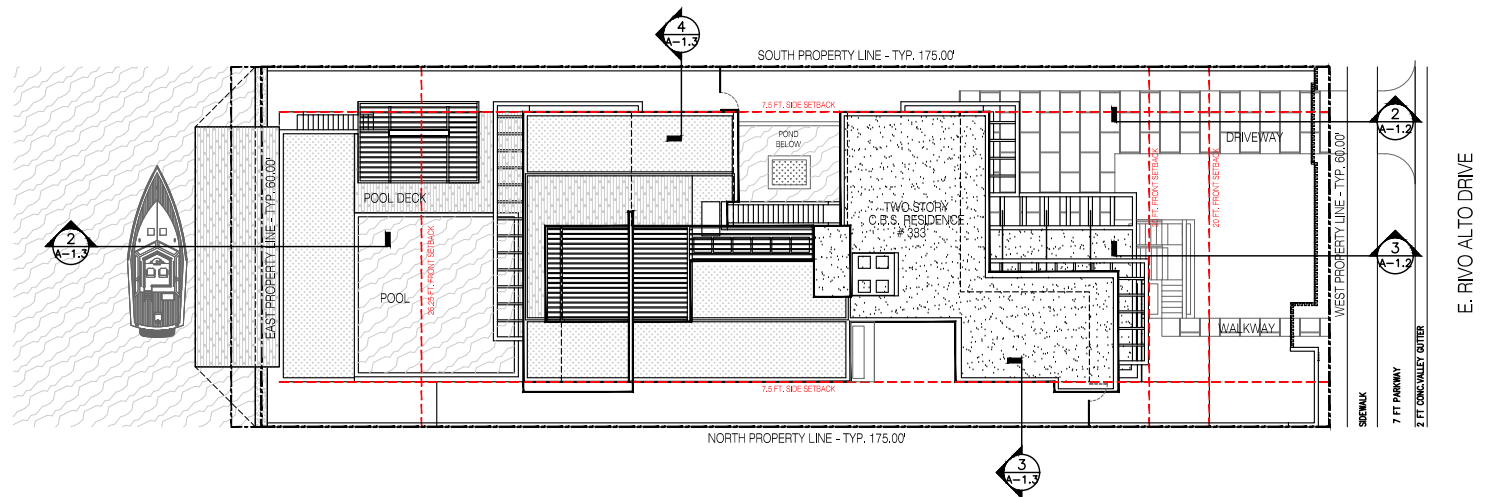
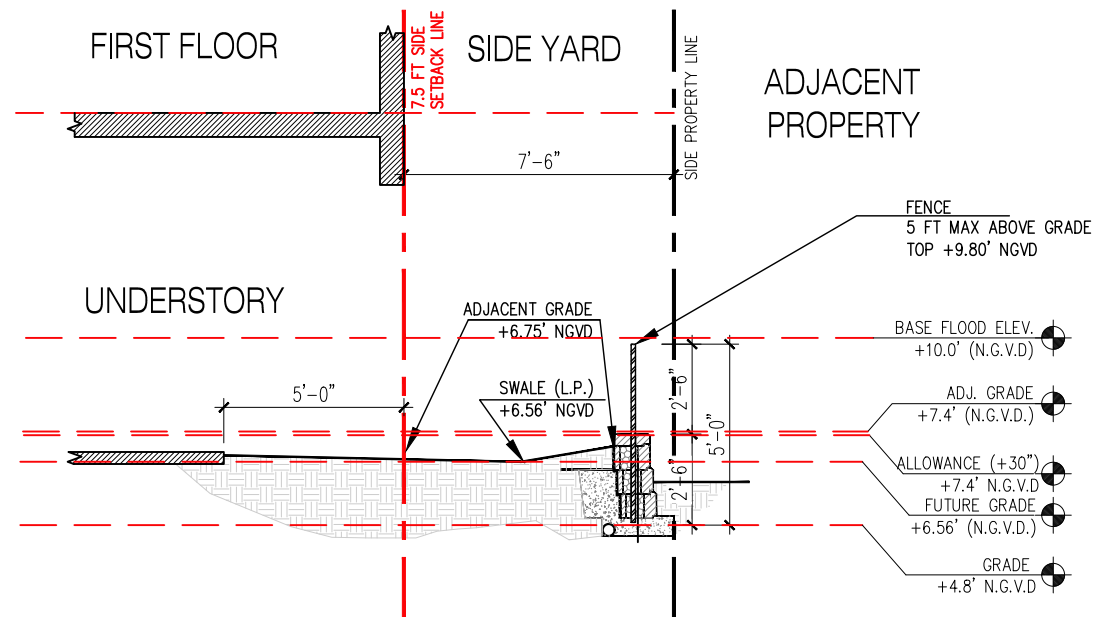
3/16" = 1'-0"



2

FRONT YARD SECTION

3/16" = 1'-0"

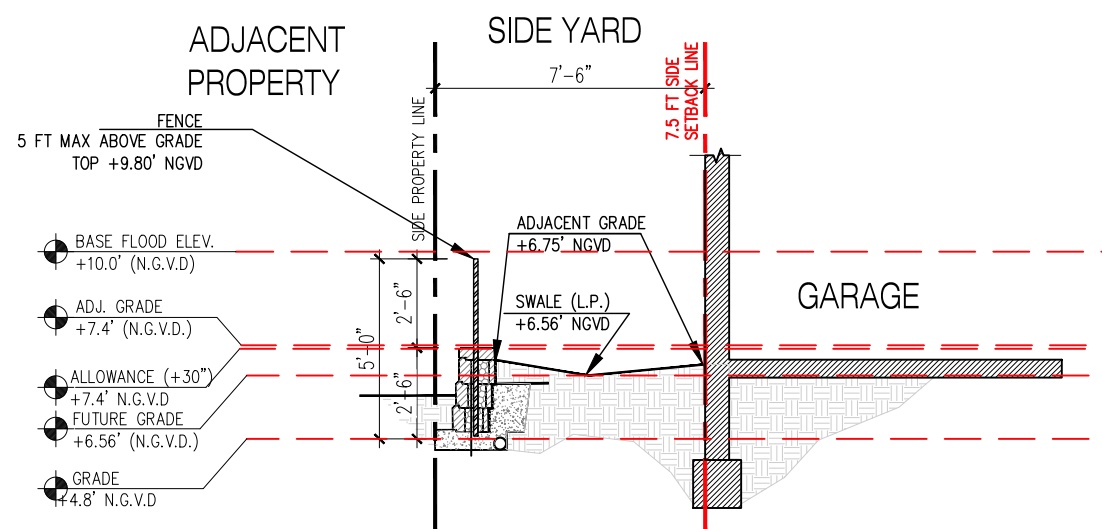


1 YARD SECTION KEYPLAN

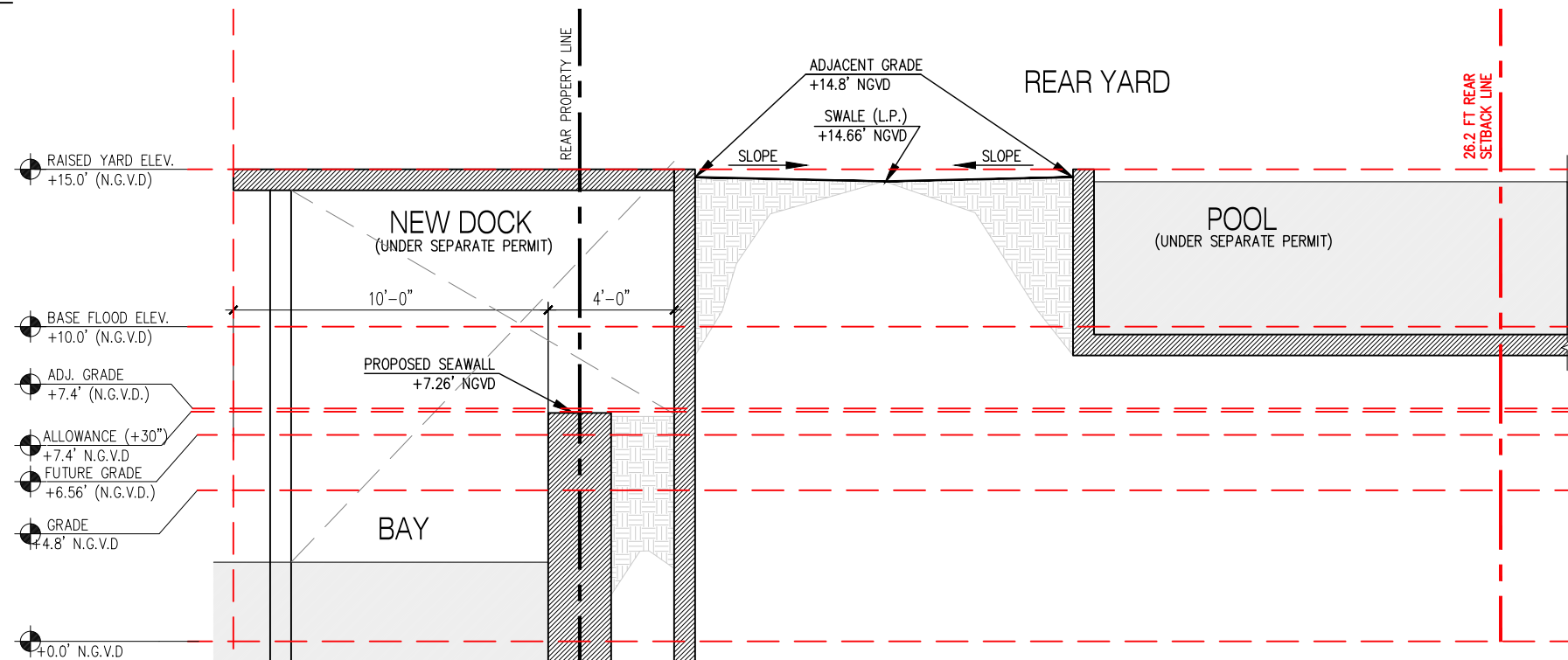
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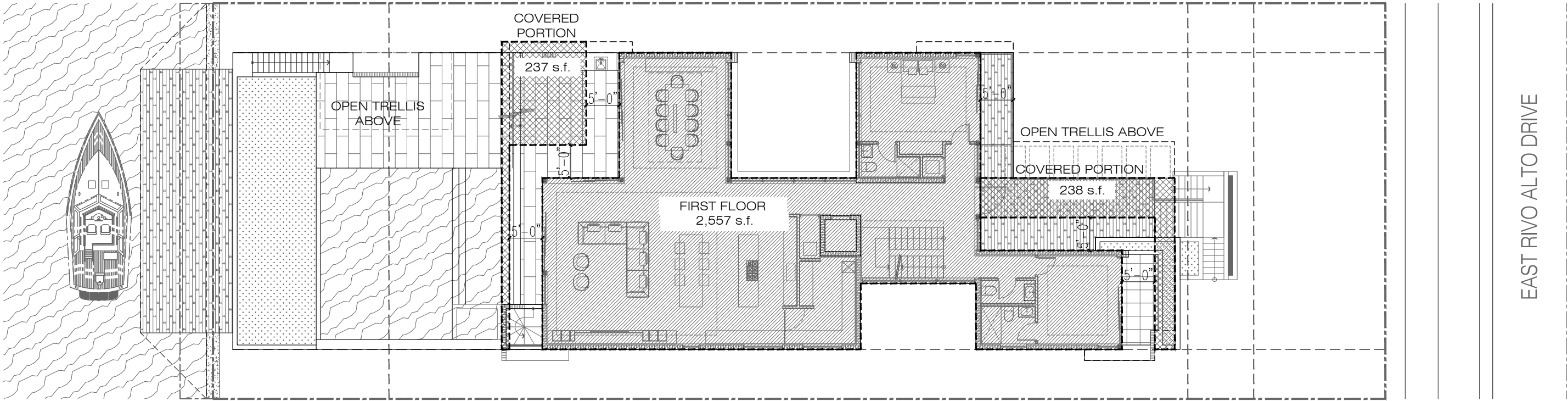
4 SIDE YARD SECTION - SOUTH



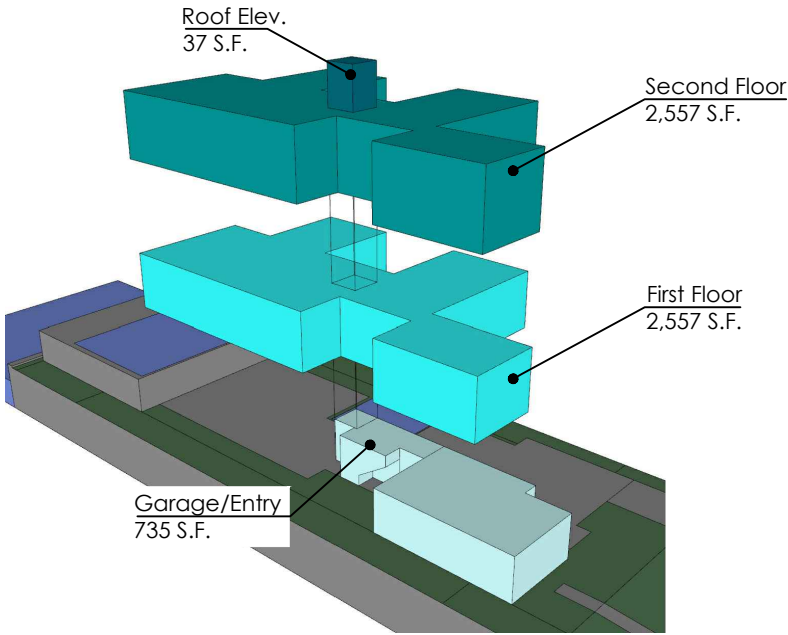
3 SIDE YARD SECTION - NORTH



2 REAR YARD SECTION



- HATCH DENOTES FIRST FLOOR
- HATCH DENOTES AREA COVERED BY ROOF / BALCONY PAST 5 FT



2 **VOLUME
DIAGRAM**

1 **COVERAGE
DIAGRAM**

COVERAGE (RS-3)	
LOT AREA	10,680
MAX COVERAGE (30%)	3,204
FIRST FL. AC	2,557
2ND FL. AC PROJECTION	0
COVERED PAST 5 FT	237
COVERED PAST 5 FT	238
TOTAL PROPOSED	3,032 S.F.
PERCENT OF LOT AREA	28.39%
DIFFERENCE (- UNDER / + OVER)	-172.00

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P 305 576 8063

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FL. LIC: AA 26000837

ADDRESS & OWNER

NEW RESIDENCE
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MIAMI BEACH, FL. 33139
OWNER: MS KERIN K. PETERSON

REVISION & DATE

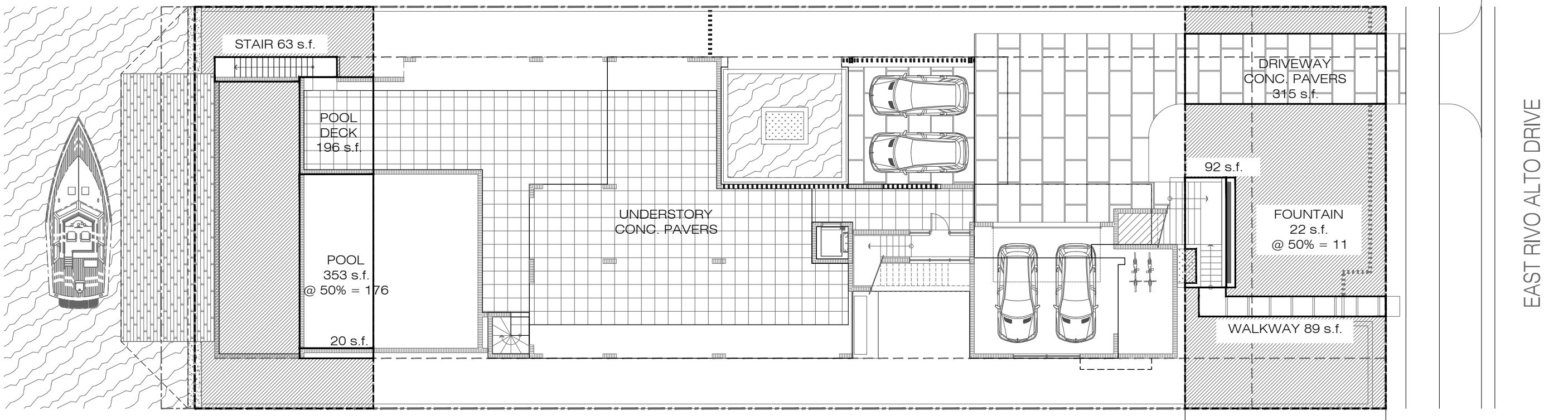
DRAWING TITLE
**COVERAGE /
VOLUME
DIAGRAM**

SCALE: AS SHOWN
DATE: 07-20-2022
SHEET NUMBER
A-1.4



UNIT SIZE DIAGRAM

UNIT SIZE (RS-3)	
LOT AREA	10,680
MAX UNIT SIZE (50%)	5,340
GARAGE (N/A) UNDER 600	0
GROUND FLOOR ENTRY / ELEV	135
FIRST FL. AC	2,557
SECOND FL. AC	2,557
ROOF ELEVATOR	37
TOTAL PROPOSED	5,286 S.F.
PERCENT OF LOT AREA	49.49%
DIFFERENCE (- UNDER / + OVER)	-54.00

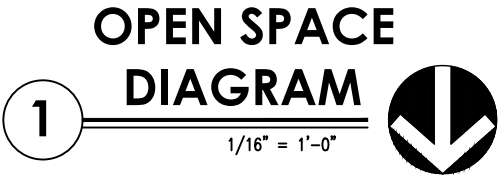


REAR YARD
TOTAL: 1,602 S.F.

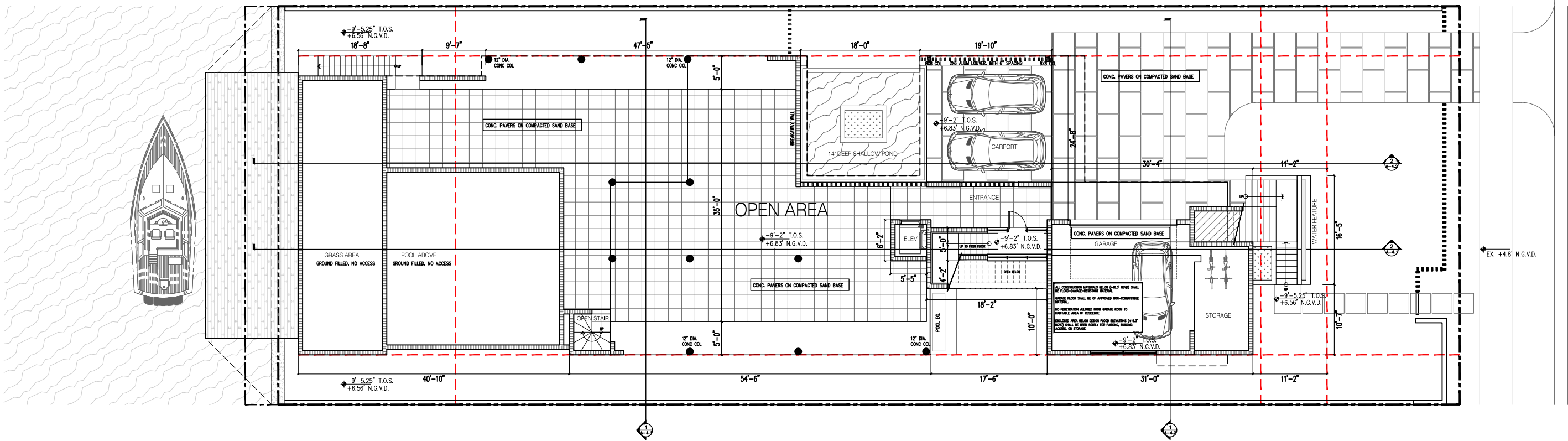
HATCH DENOTES GRASSED AREA

FRONT YARD
AREA: 1,800 S.F.

REAR YARD	
YARD AREA	1,602
MAX IMPERVIOUS (30%)	480
POOL DECK	196
POOL @ 50%	176
OTHER	21
ACCESS STAIRS	63
OTHER	0
TOTAL PROPOSED	456 S.F.
PERCENT OF LOT AREA	28.46%



FRONT YARD	
YARD AREA	1,800
MAX IMPERVIOUS (30%)	540
DRIVEWAY	315
FOUNTAIN @ 50%	11
ENTRY STAIR	92
WALKWAY	89
TOTAL PROPOSED	507 S.F.
PERCENT OF LOT AREA	28.17%



1

UNDERSTORY /
GROUND FLOOR PLAN

1/16"=1'-0"



EAST RIVO ALTO DRIVE

NEW RESIDENCE
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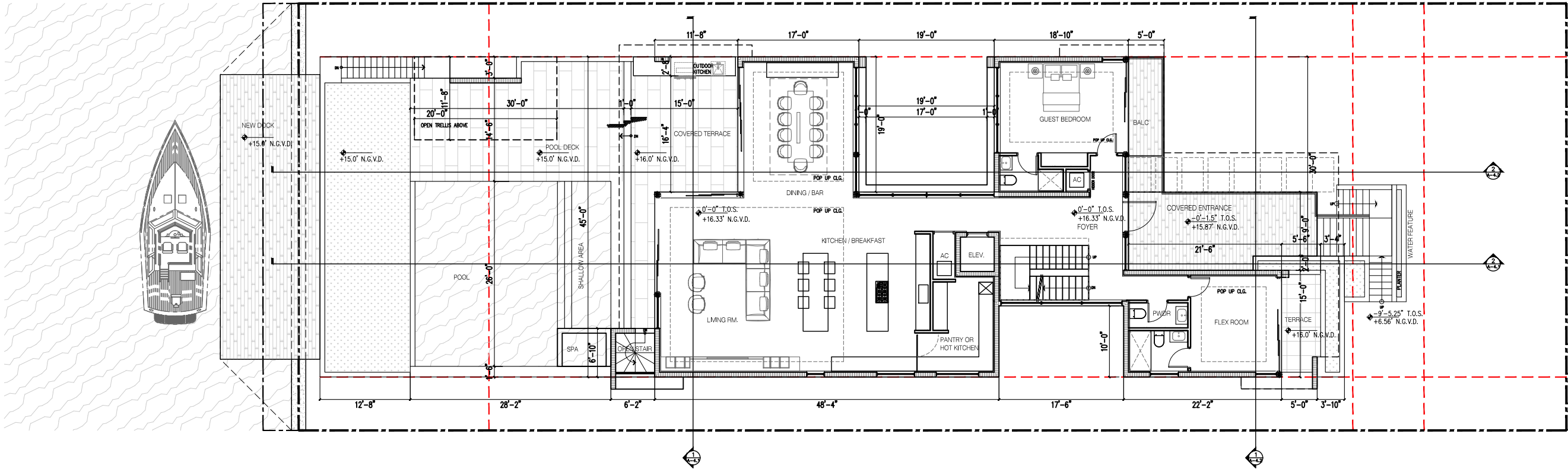
DRAWING TITLE

UNDERSTORY
/GROUND
FLOOR PLAN

SCALE: AS SHOWN
DATE: 07-20-2022

SHEET NUMBER

A-2.1



1 FIRST FLOOR PLAN
1/16"=1'-0"

EAST RIVO ALTO DRIVE

NEW RESIDENCE
333 E. RIVO ALTO DRIVE
MIAMI BEACH, FL. 33139
OWNER: MS KERIN K. PETERSON

ADDRESS & OWNER

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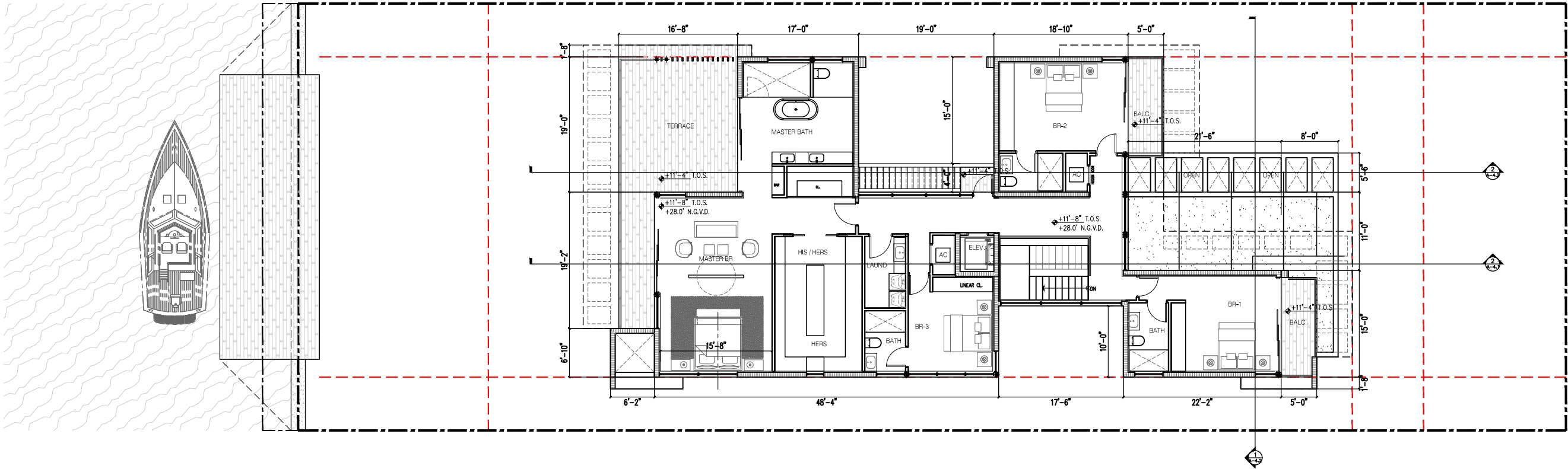
DRAWING TITLE

FIRST
FLOOR PLAN

SCALE: AS SHOWN
DATE: 07-20-2022

SHEET NUMBER

A-2.2



1 SECOND FLOOR PLAN

1/16"=1'-0"



EAST RIVO ALTO DRIVE

NEW RESIDENCE
333 E. RIVO ALTO DRIVE
MIAMI BEACH, FL. 33139
OWNER: MS KERIN K. PETERSON

REVISION & DATE

DRAWING TITLE
SECOND FLOOR PLAN

SCALE: AS SHOWN
DATE: 07-20-2022

SHEET NUMBER

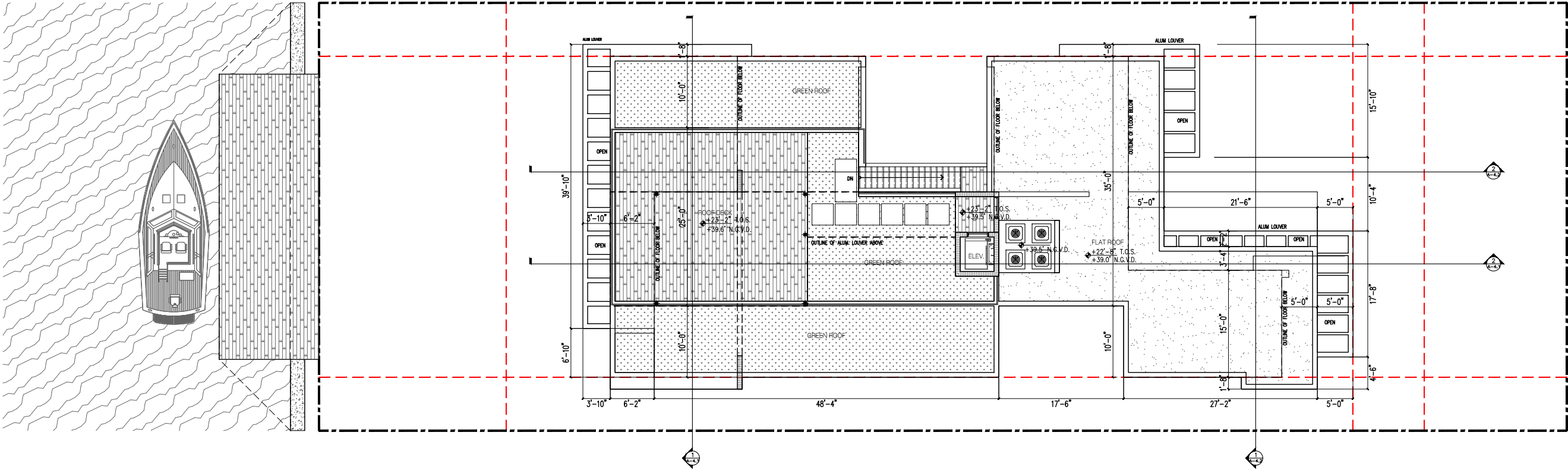
A-2.3

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1 **ROOF PLAN** 1/16"=1'-0" 

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FL LIC: AA 26000837

Jose L
Sanchez

Digitally signed by Jose L. Sanchez
DN: cn=Jose L. Sanchez, o=Praxis Architecture, Inc., email=jlsanchez@praxisarch.com, c=US
Date: 2022.08.12 15:38:33 -0400

EAST RIVO ALTO DRIVE

NEW RESIDENCE
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REVISION & DATE

DRAWING TITLE

ROOF PLAN

SCALE: AS SHOWN
DATE: 07-20-2022

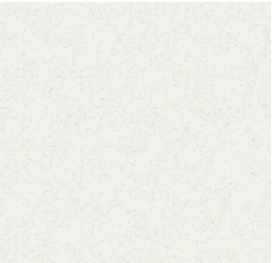
SHEET NUMBER

A-2.4



MATERIAL REFERENCE RENDER. DESIGNED BY PRAXIS

MATERIAL LEGEND



1. STUCCO, EXTERIOR PAINT
COLOR



2. DECORATIVE STONE
MATERIAL



3. ACCENT WOOD FINISH



4. VERT. ALUM LOUVER FENCE



5. CONCRETE PAVER
DRIVEWAY WITH GRASS INLAY,
PATTERN TBD

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FL. LIC: AA 26000837

Jose L. Sanchez

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ADDRESS & OWNER

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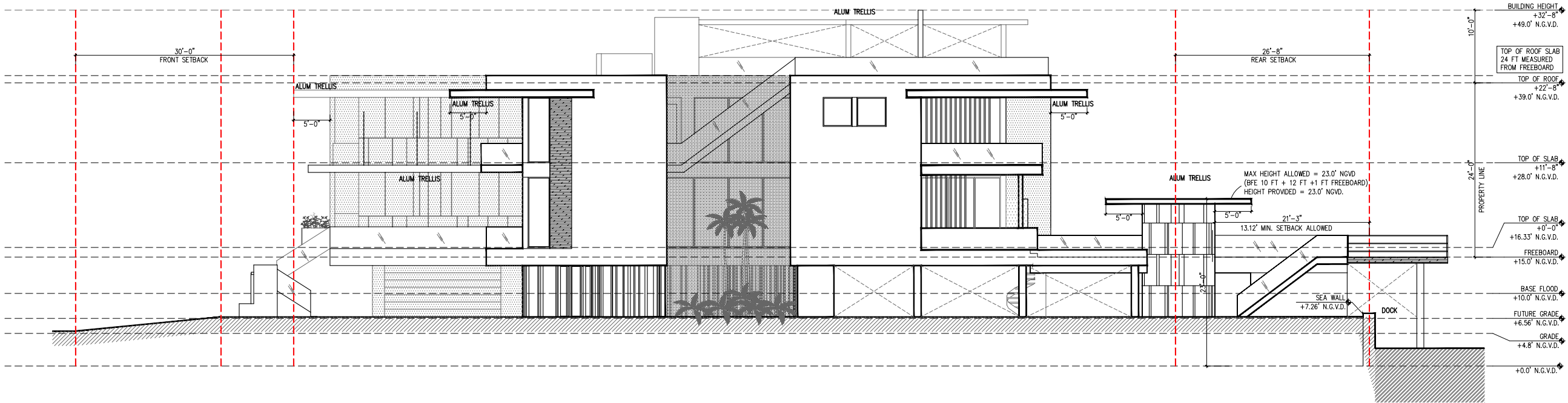
MATERIAL
LEGEND

SCALE: AS SHOWN

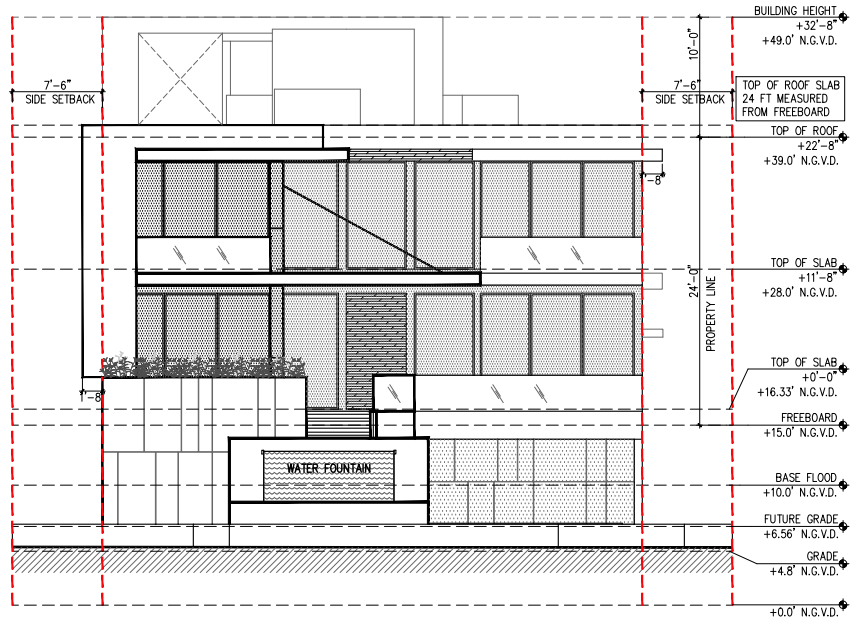
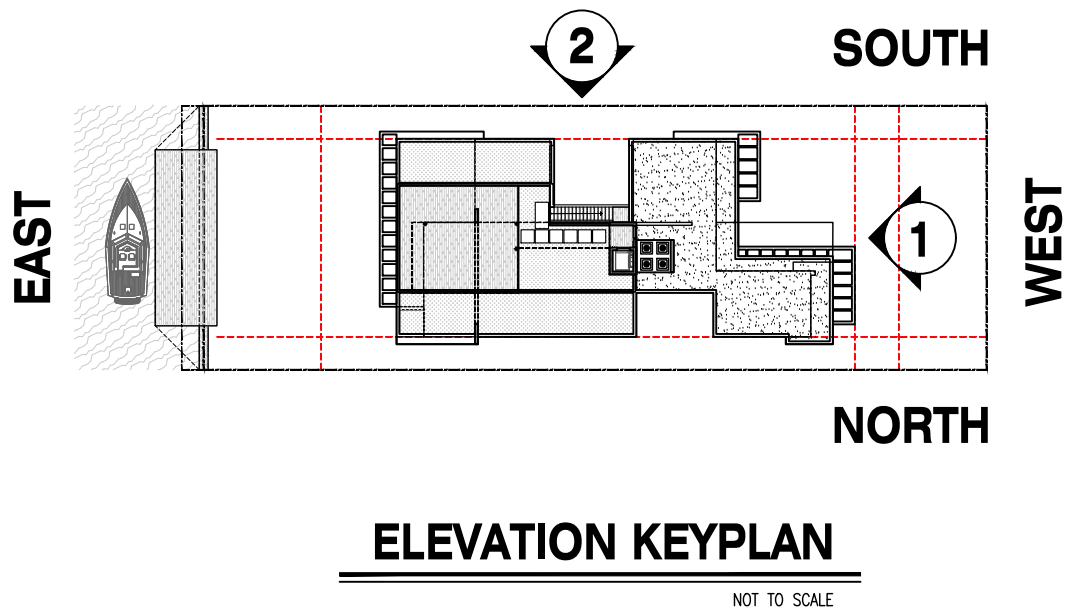
DATE: 07-20-2022

SHEET NUMBER

A-3.0



2 SOUTH ELEVATION
(SIDE)
1/16"=1'-0"



1 WEST ELEVATION
(FRONT)
1/16"=1'-0"

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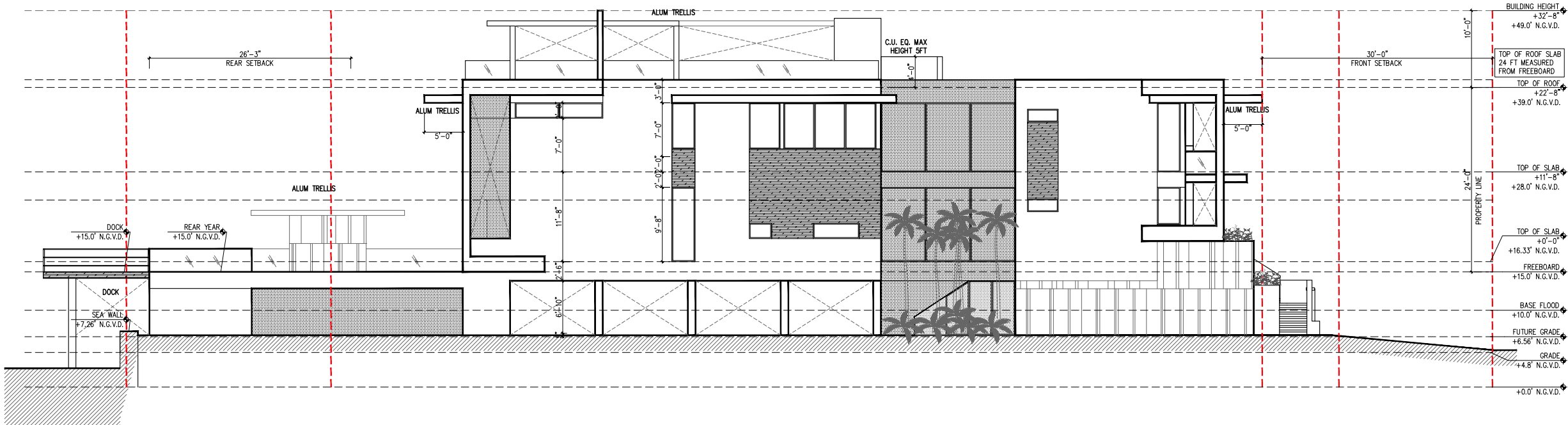
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ELEVATION

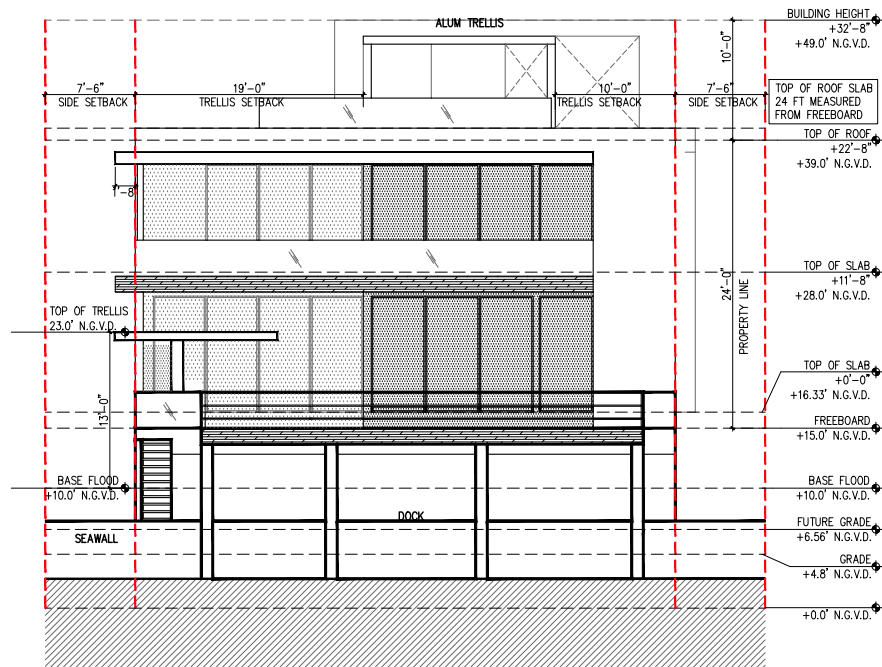
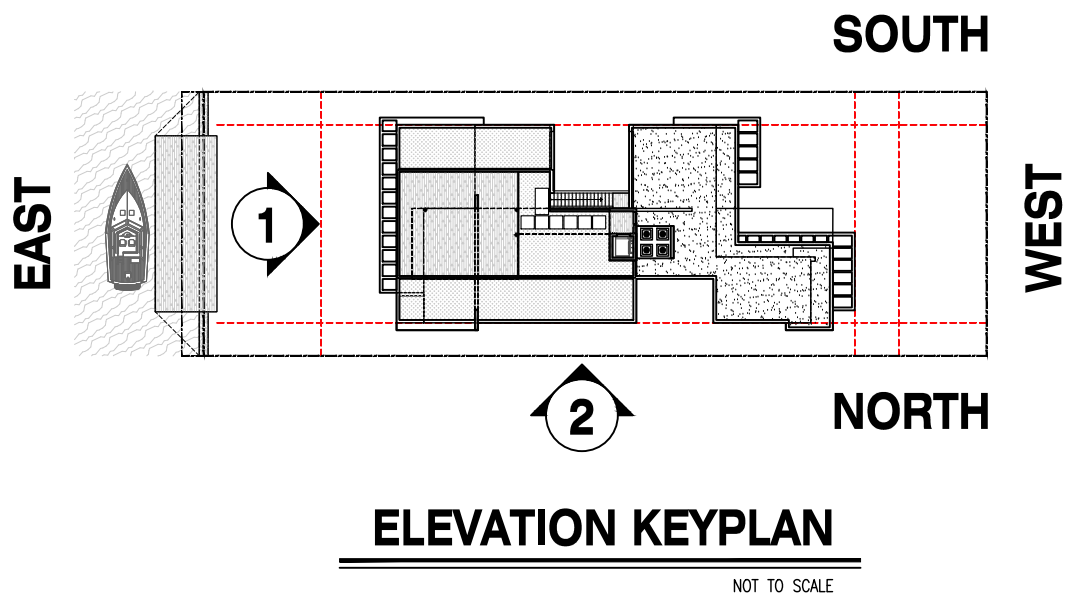
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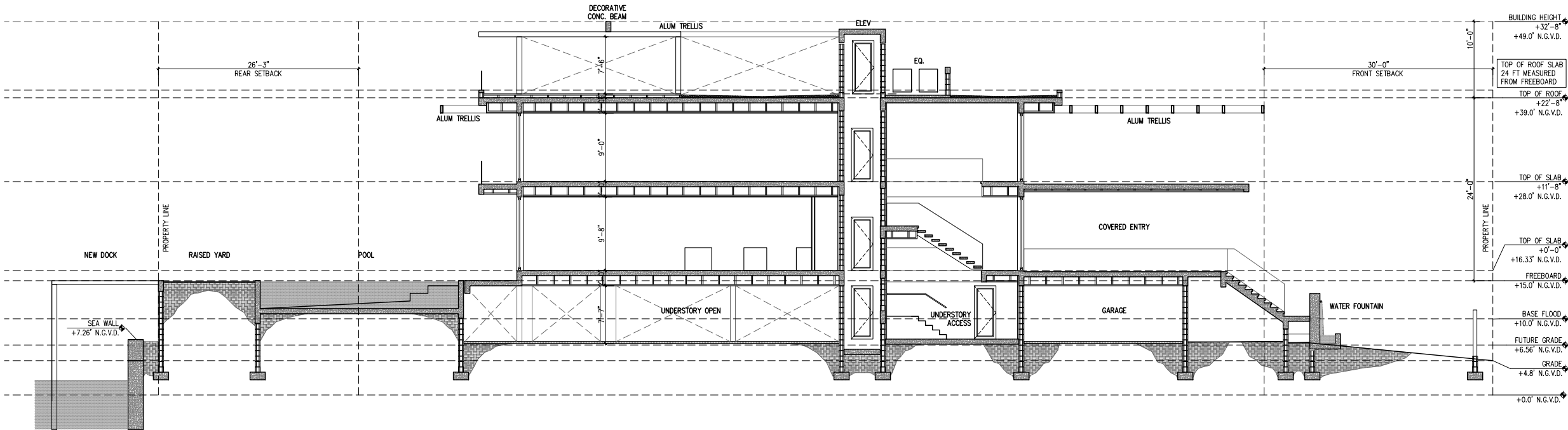
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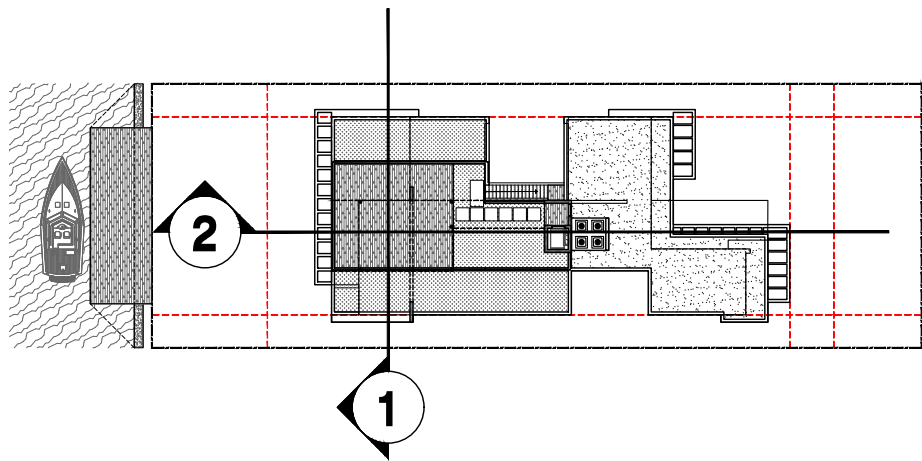
2 NORTH ELEVATION
(SIDE)
1/16"=1'-0"



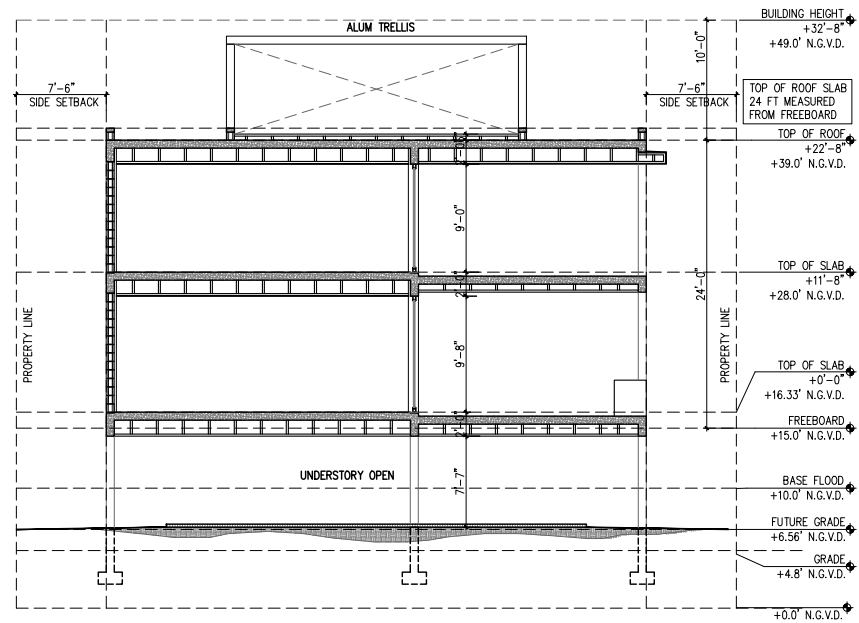
1 EAST ELEVATION
(REAR)
1/16"=1'-0"



2 SECTION
1/16"=1'-0"



SECTION KEYPLAN
NOT TO SCALE



1 SECTION
1/16"=1'-0"

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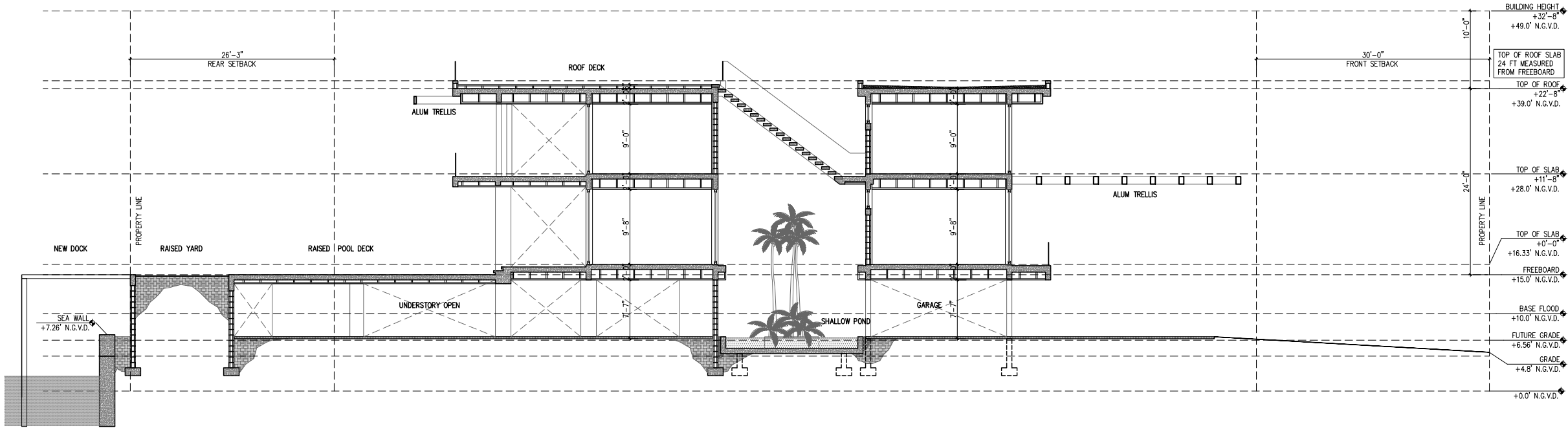
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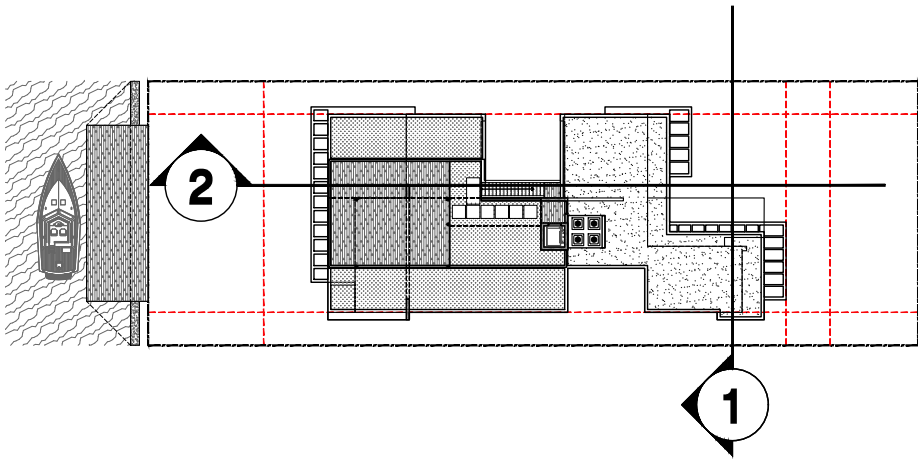
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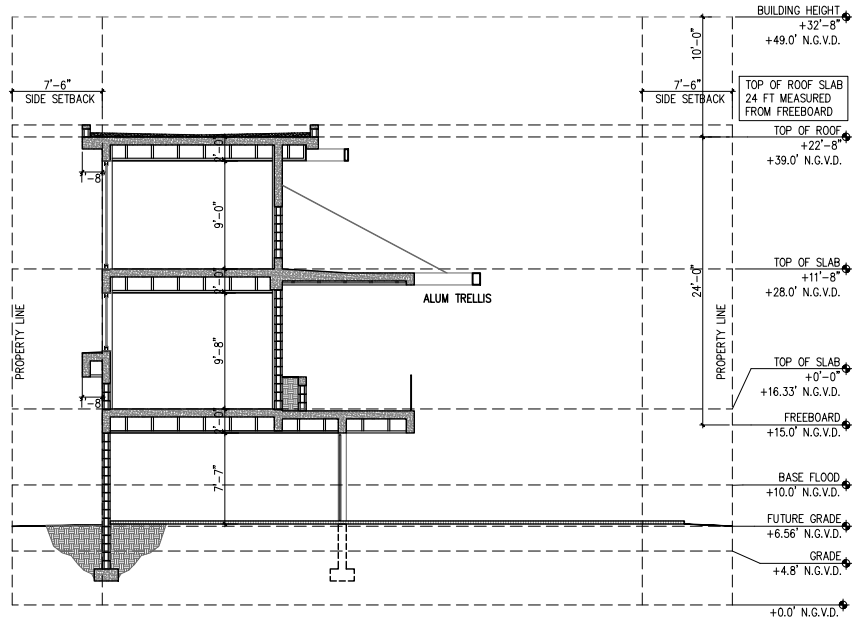
A-4.1



2 SECTION
1/16"=1'-0"



SECTION KEYPLAN
NOT TO SCALE



1 SECTION
1/16"=1'-0"

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