

NEW 2 STORY RESIDENCE

800 W 44TH CT, MIAMI BEACH FL 33140
FOLIO # 02-3222-010-0480

FINAL SUBMITTAL 09.06.2022
DRB FILE NO: DRB22-0875

LEGAL DESCRIPTION

NAUTILUS EX 5TH PB 44-13
LOT 8 BLK 29
LOT SIZE 96.660 X 115
OR 12983-2002 0886 1

SCOPE OF WORK

- NEW 2 STORY RESIDENCE

VARIANCE REQUEST:

VARIANCE REQUEST TO INCREASE THE LOT COVERAGE FROM 30%
(3,309.02 SF MAX TO 33.3% (3,676 SF)

WAIVER REQUEST:

WAIVER REQUEST. RELAXATION OF THE FOLLOWING ORDINANCE:
AT LEAST 35 PERCENT OF THE SECOND FLOOR ALONG THE
FRONT ELEVATION SHALL BE SET BACK A MINIMUM OF FIVE
FEET FROM THE MINIMUM REQUIRED SETBACK.

INDEX OF DRAWINGS

A 0.1	LOCATION MAP	N/A
A 0.2	SURVEY	N/A
A 0.3	CONTEXT PHOTOGRAPHS	N/A
A 0.4	SITE PHOTOGRAPHS	N/A
A 0.5	CONTEXT ELEVATIONS	N/A
A 1.1	SETBACK DIAGRAM	N/A
A 1.2	LOT COVERAGE DIAGRAM	N/A
A 1.3	UNIT SIZE DIAGRAM	N/A
A 1.4	PERVIOUS AREA DIAGRAM	AS NOTED
A 1.5	ZONING DATA	AS NOTED
A 2.1	SITE PLAN	AS NOTED
A 2.2	WAIVER REQUEST DIAGRAM	AS NOTED
A 2.3	VARIANCE REQUEST DIAGRAM	AS NOTED
A 3.1	PROPOSED FIRST FLOOR PLAN	AS NOTED
A 3.2	PROPOSED SECOND FLOOR PLAN	AS NOTED
A 3.3	PROPOSED ROOF PLAN	AS NOTED
A 4.1	PROPOSED ELEVATIONS	AS NOTED
A 4.2	PROPOSED ELEVATIONS	AS NOTED
A 5.1	SECTIONS	AS NOTED
A 5.2	SECTIONS	AS NOTED
A 5.3	SECTIONS	AS NOTED
A 5.4	SECTIONS	AS NOTED
B 1.1	RENDERINGS	N/A
R 1.2	RENDERINGS	N/A
R 1.3	RENDERINGS	N/A
LA1.0	TREE DISPOSITION PLAN	AS NOTED
LA2.0	PLANTING PLAN	AS NOTED
LA2.1	LANDSCAPE DETAILS	AS NOTED
LA3.0	IRRIGATION PLAN	AS NOTED
LA3.1	IRRIGATION PLAN	AS NOTED
LA4.0	GRADING PLAN	AS NOTED
LA5.0	LIGHTING PLAN	AS NOTED

THE WEBER STUDIO
AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
305.361.9935o 305.361.9986

800 W 44TH COURT
MIAMI BEACH, FL 33140
FOLIO # 02-3222-010-0480

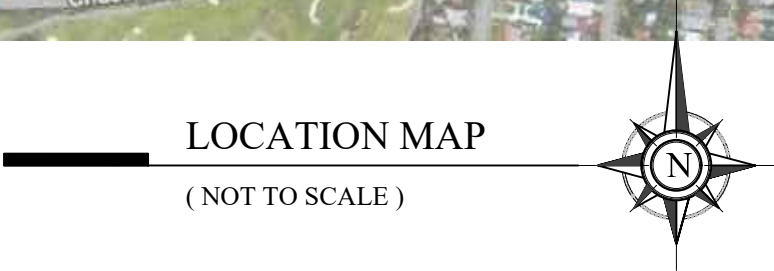
DATE: 08.15.2022

DRAWN BY: PA

REV.: DATE:

COMMENTS
09-05-2022

FRONT
COVER
SHEET



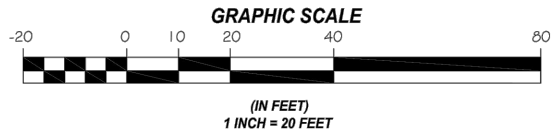
LOCATION MAP
(NOT TO SCALE)

THE WEBER STUDIO
AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
305.361.9935 305.361.9986

800 W 44TH COURT
MIAMI BEACH, FL 33140
FOLIO # 02-3222-010-0480

DATE:	08.15.2022
DRAWN BY:	PA
REV.:	DATE:

A0.1



LEGAL DESCRIPTION:
LOT 8, BLOCK 29, OF NAUTILUS EXTENSION FIFTH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 44, PAGE 13, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

CERTIFICATION:
BENJAMIN BERMAN

PROPERTY ADDRESS:
800 W. 44TH COURT, MIAMI BEACH, FL 33140

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:

- * THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- * EXAMINATIONS OF THE RECORDS MAY BE REQUIRED TO HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- * THIS SURVEY IS SUBJECT TO DESIGNATIONS, LIMITATIONS, RESTRICTIONS, RESTORATIONS OR EASEMENTS OF RECORD.
- * THE DESCRIPTIONS FURNISHED BY CLIENT OR ATTESTING TITLE COMPANY.
- * BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT SCALE.
- * EASEMENTS ARE SHOWN AS PER PLAT, BEING UNLESS DEFECTED OTHERWISE.
- * THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- * THE TERM "ENCROACHMENT" DOES NOT INCLUDE EASEMENTS, RIGHTS OF WAY AND SHALL BE RESPONSIBLE FOR SUBMITTING PLAT PLANS WITH CORRECT INFORMATION FOR "APPROVAL" FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
- * UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE POGS AND/OR FOUNDATIONS.
- * **FENCE OWNERSHIP NOT DETERMINED.**
- * THIS IS AN INSTRUMENT PREPARED FOR THE EXCLUSIVE USE OF THE SIGNATURED PERSON. THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

FLOOD ZONE INFORMATION:

THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN:
FLOOD ZONE: "AE"
BASE FLOOD ELEVATION: "7.00 FEET"
COMMUNITY: 120651
PANEL: 0309
SUFFIX: L
DATE OF FIRM: 09/11/2009
THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA.

ADDITIONAL NOTES:

1. ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 DADE COUNTY BENCH MARK # D-184 LOCATOR NO. 4324 W; ELEVATION IS 4.91' FEET OF N.G.V.D. OF 1929
2. NORTH IS BASED ON PLAT NORTH.
3. THE SUBJECT PROPERTY LIES WITHIN TWO FLOOD ZONES, "AE" AND "7.00" ELEV. FEET.
4. THE SUBJECT PROPERTY IS VACANT LAND. THE ADDRESS IS PLUS OR MINUS AND SHOULD BE VERIFIED BY DADE COUNTY.

SURVEYOR'S NOTES:

1. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
3. CERTIFICATE OF AUTHORIZATION LB # 7806.
4. ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929; MIAMI-DADE COUNTY BENCHMARK #D-157-R, LOCATOR NO.3223 SW @ 44 ST & ALTON RD; ELEVATION IS 4.93 FEET OF N.G.V.D. OF 1929.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

07/14/2022

BY: JOHN IBARRA (DATE OF FIELD WORK)

PROFESSIONAL LAND SURVEYOR NO.: 5204 STATE OF FLORIDA
(NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL, OR DIGITAL SIGNATURE AND SEAL
OF A FLORIDA LICENSED SURVEYOR AND MAPPER).











REVISED ON: UPDATE SURVEY 07/14/2022
REVISED ON: ORIGINAL SURVEY 07/02/2019

DRAWN BY:	LEYVA / LK
FIELD DATE:	07/14/2022
SURVEY NO:	19-003258-2
SHEET:	1 OF 1

ABBREVIATIONS

[illegible]

LEGEND


 = OVERHEAD UTILITY LINES

 = CONCRETE BLOCK WALL

 = CHAIN LINK FENCE

 = IRON FENCE

 = WOOD FENCE

 = BUILDING SETBACK LINE

 = UTILITY EASEMENT

 = LIMITED ACCESS R/W

 = NON-VEHICULAR ACCESS R/W

 = EXISTING ELEVATIONS

No.	Name	Diameter (Ft.)	Height (Ft.)	Spread (Ft.)
1	REMOVE	-	-	-
2	OAK	0.80	25	12
3	OAK	0.70	25	15
4	OAK	0.70	25	12
5	MANGO	3.00	45	30

LIMIT OF PLAT
(N.A.P.)
N.A.P.
NAUTILUS ADDITION
(P.B. 8 PG. 130)

SURVEY

(NOT TO SCALE)

THE WEBER STUDIO

AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
305.361.9935o 305.361.9986

800 W 44TH COURT

MIAMI BEACH, FL 33140

FOLIO # 02-3222-010-0480

DATE: 08.15.2022

DRAWN	PA
BY:	

REV.: | DATE:

A0.2



VIEW D



VIEW E



VIEW F



VIEW G



KEY PLAN

(NOT TO SCALE)

THE WEBER STUDIO
AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
305.361.9935 305.361.9986

800 W 44TH COURT
MIAMI BEACH, FL 33140
FOLIO # 02-3222-010-0480

DATE:	08.15.2022
DRAWN BY:	PA
REV.:	DATE:

A0.3



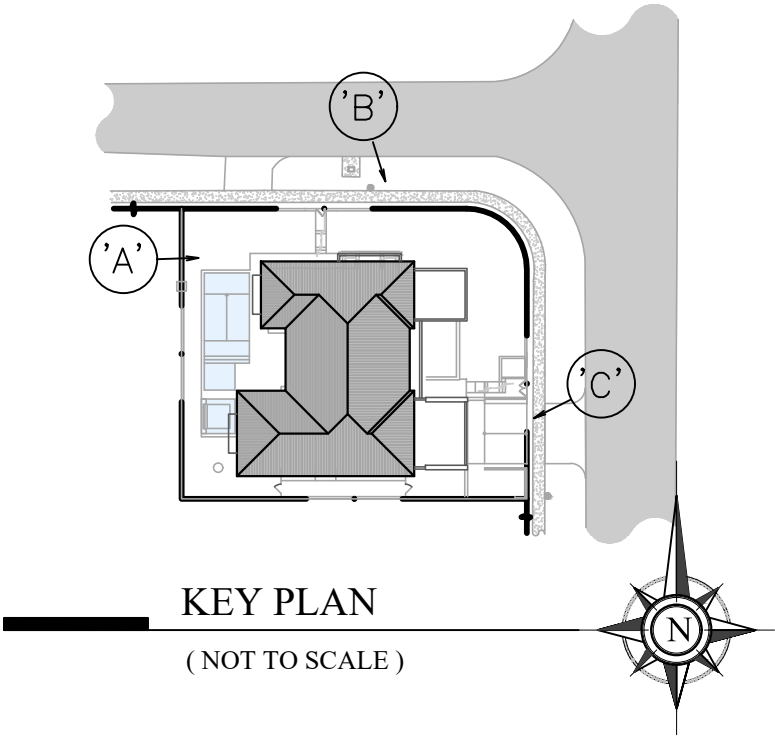
VIEW A



VIEW B



VIEW C



KEY PLAN

(NOT TO SCALE)

THE WEBER STUDIO
AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
305.361.9935 305.361.9986

800 W 44TH COURT
MIAMI BEACH, FL 33140
FOLIO # 02-3222-010-0480

DATE:	08.15.2022
DRAWN BY:	PA
REV.:	DATE:

A0.3



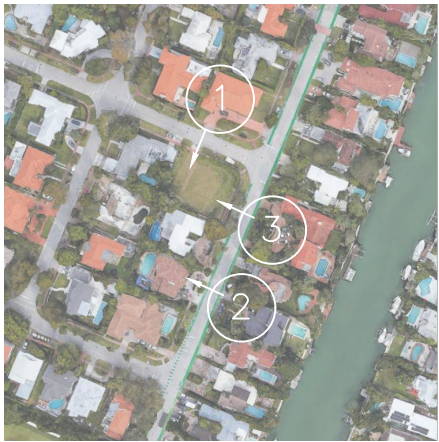
1
A0.5 CONTEXT ELEVATION -44TH COURT



2
A0.5 CONTEXT ELEVATION -MERIDIAN AVENUE



3
A0.5 CONTEXT ELEVATION -MERIDIAN AVENUE

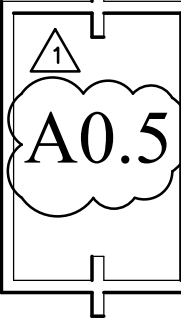


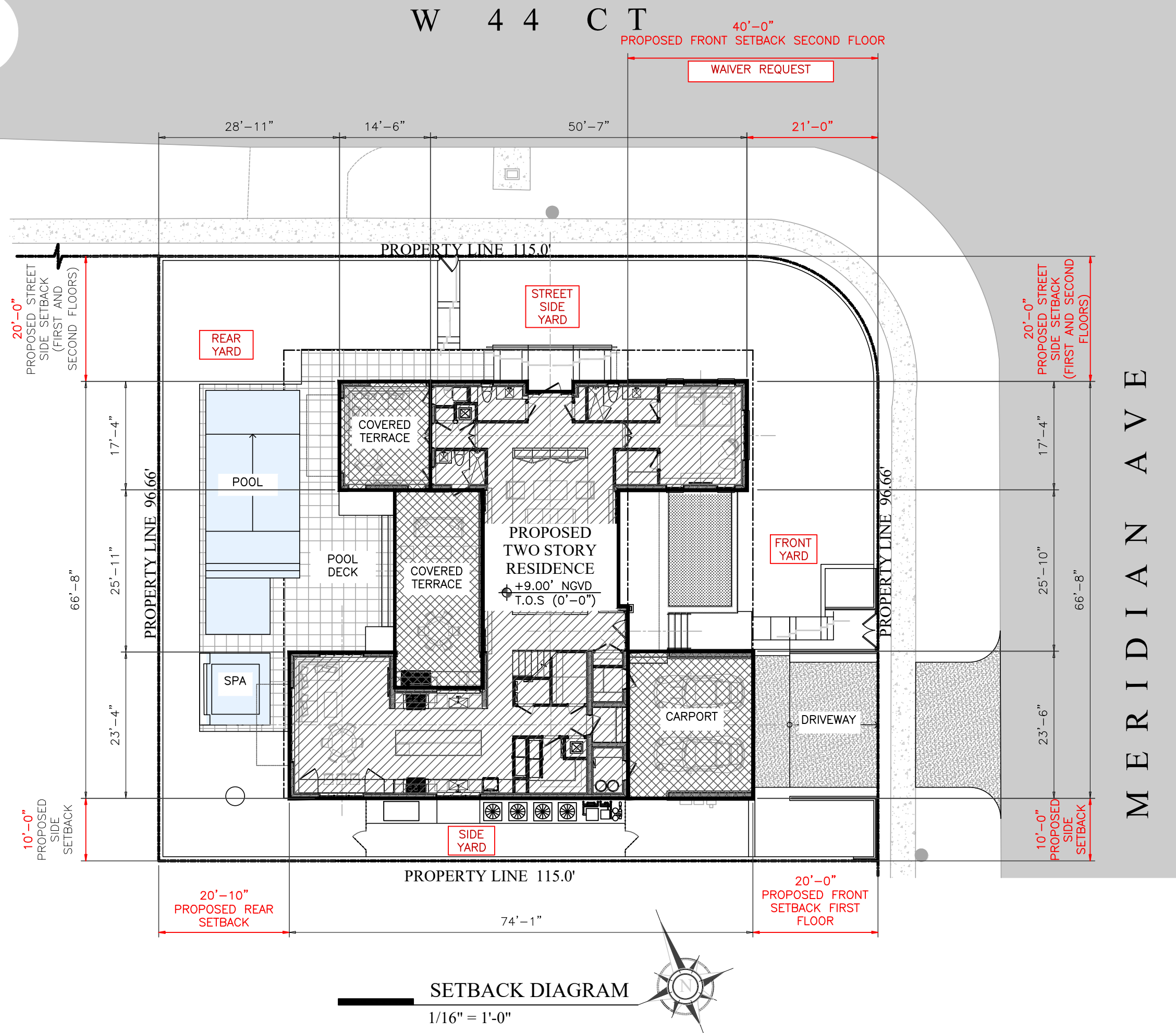
KEY PLAN
(NOT TO SCALE)

THE WEBER STUDIO
AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
305.361.9935 • 305.361.9986

800 W 44TH COURT
MIAMI BEACH, FL 33140
FOLIO # 02-3222-010-0480

DATE:	08.15.2022
DRAWN BY:	PA
REV.:	DATE:
1	COMMENTS 09-05-2022



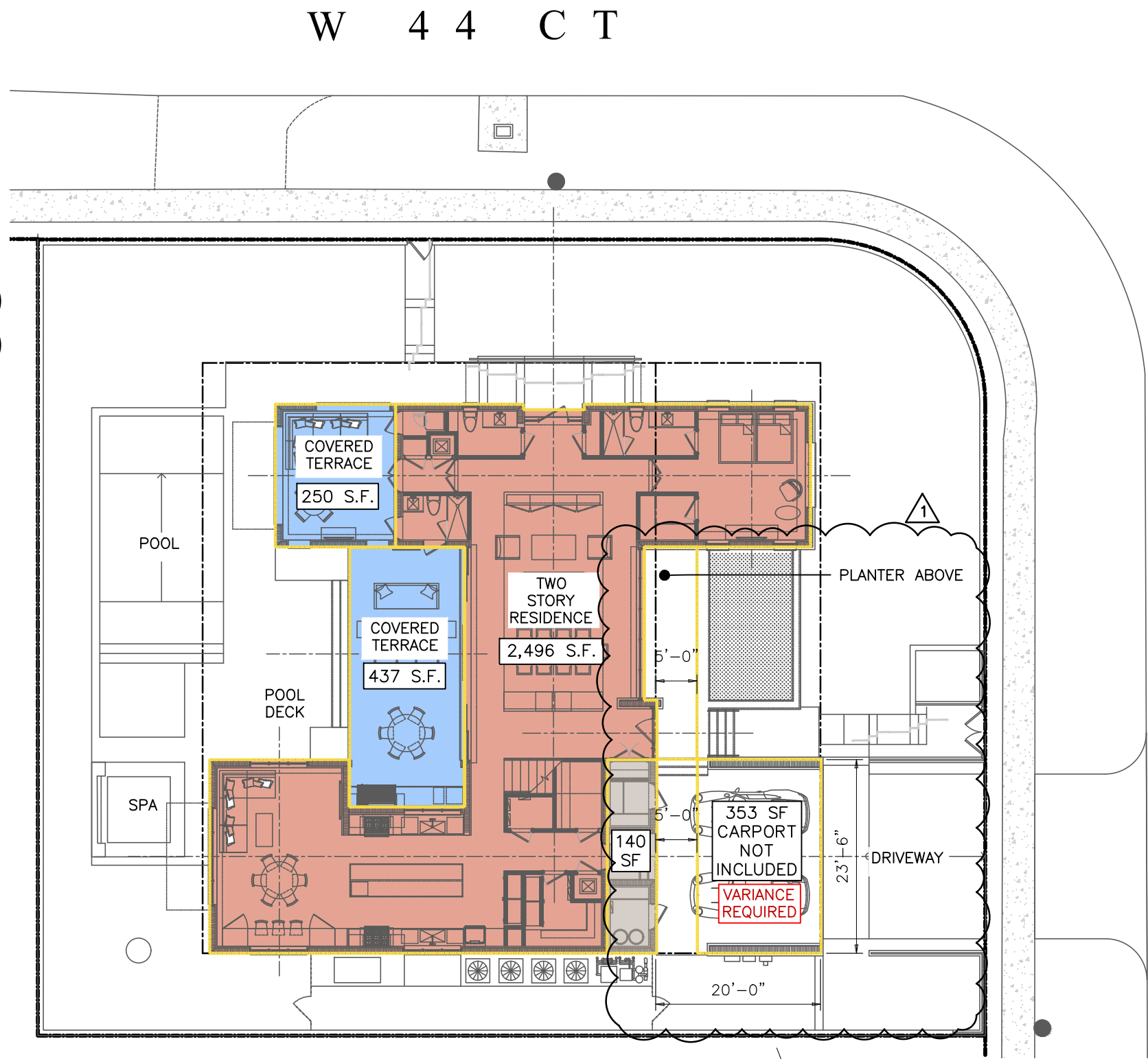


THE WEBER STUDIO

800 W 4TH COURT

LOT COVERAGE		
LOT SIZE: 11,030.06 S.F. MAX ALLOWED 30% (3,309.02 .S.F.)		
SPACES		AREAS
	MAIN RESIDENCE FIRST FLOOR (A/C)	2,496 S.F.
	HABITABLE SPACE ABOVE CARPORT	140 S.F.
	COVERED TERRACE	437 S.F.
	COVERED TERRACE	250 S.F.
SUB-TOTAL		3,323 S.F.
CARPORT		353 S.F.
TOTAL		3,676 S.F. (33.3%)
VARIANCE REQUEST TO INCREASE THE LOT COVERAGE FROM 30% (3,309.02 SF MAX TO 33.3% (3,676 SF)		

1



LOT COVERAGE DIAGRAM

1/16" = 1'-0"

M E R I D I A N A V E

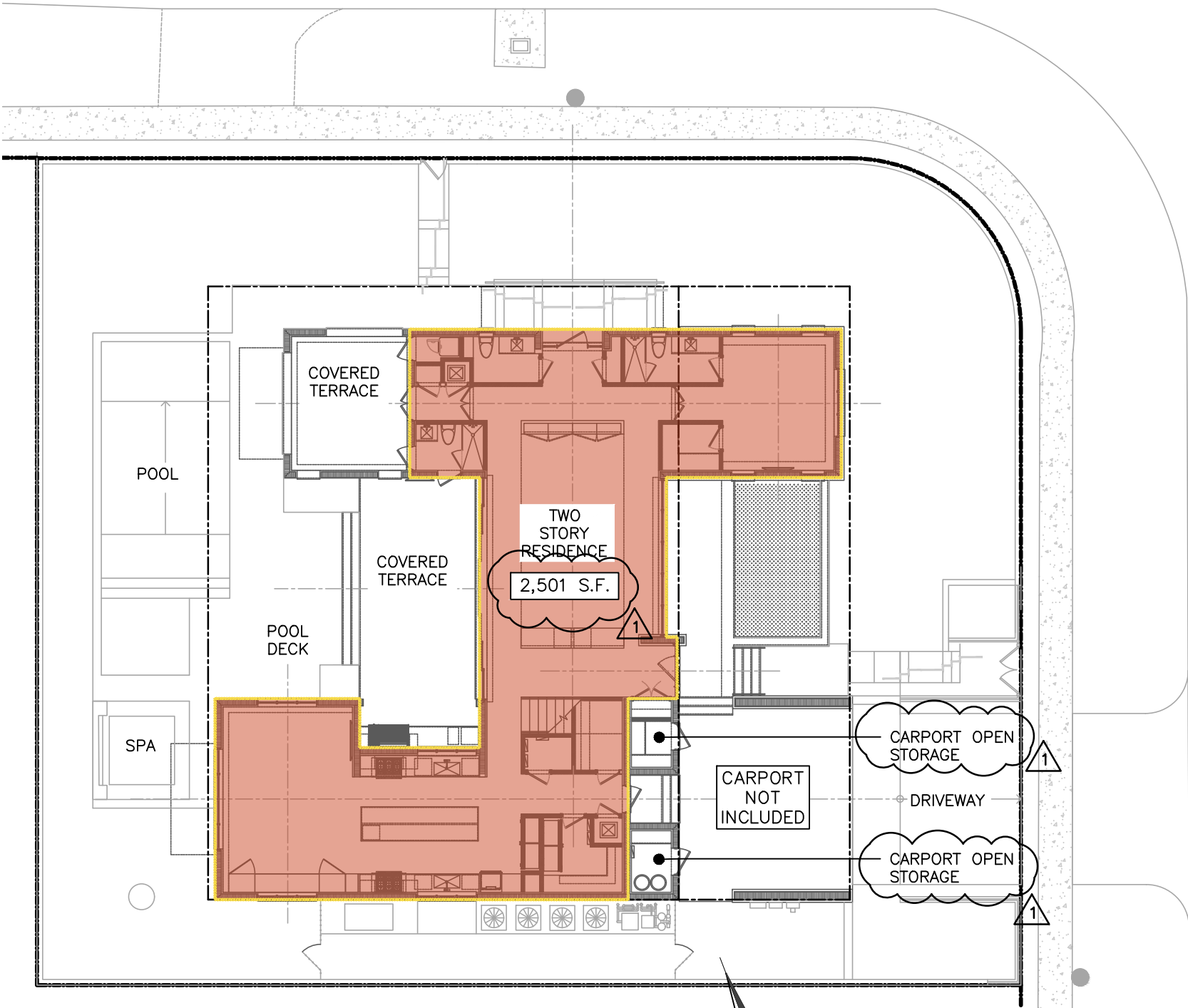
THE WEBER STUDIO
AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
305.361.9935o 305.361.9986

800 W 44TH COURT
MIAMI BEACH, FL 33140
FOLIO # 02-3222-010-0480

DATE:	08.15.2022
DRAWN BY:	PA
REV.:	DATE:
1	COMMENTS 09-05-2022

A1.2

W 4 4 C T

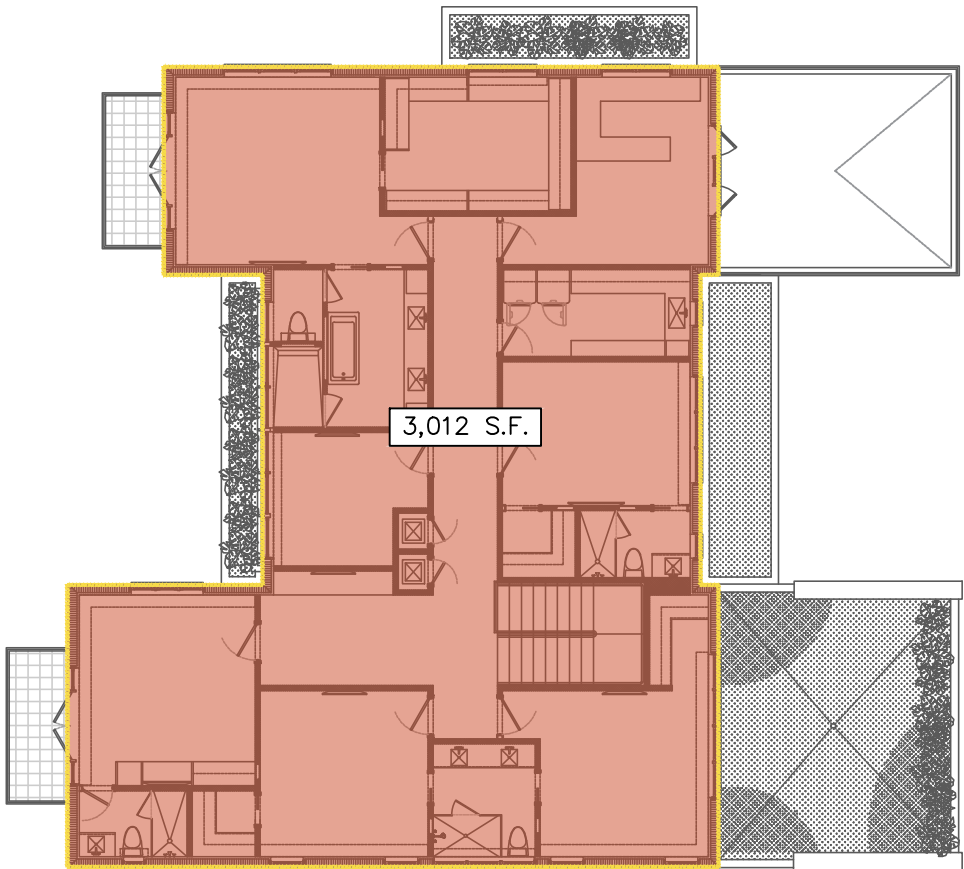


UNIT SIZE DIAGRAM
FIRST FLOOR

1/16" = 1'-0"

M E R I D I A N A V E

UNIT SIZE		
LOT SIZE: 11,030.06 S.F. MAX ALLOWED 50% (5,515.03 .S.F.)		
SPACES	AREAS	
FIRST FLOOR (A/C)	2,501 S.F.	
SECOND FLOOR (A/C)	3,012 S.F.	
TOTAL		5,513 S.F. (COMPLIES)



UNIT SIZE DIAGRAM
SECOND FLOOR

1/16" = 1'-0"

THE WEBER STUDIO
AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
305.361.9935o 305.361.9986

8 0 0 W 4 4 T H C O U R T
MIAMI BEACH, FL 33140
FOLIO # 02-3222-010-0480

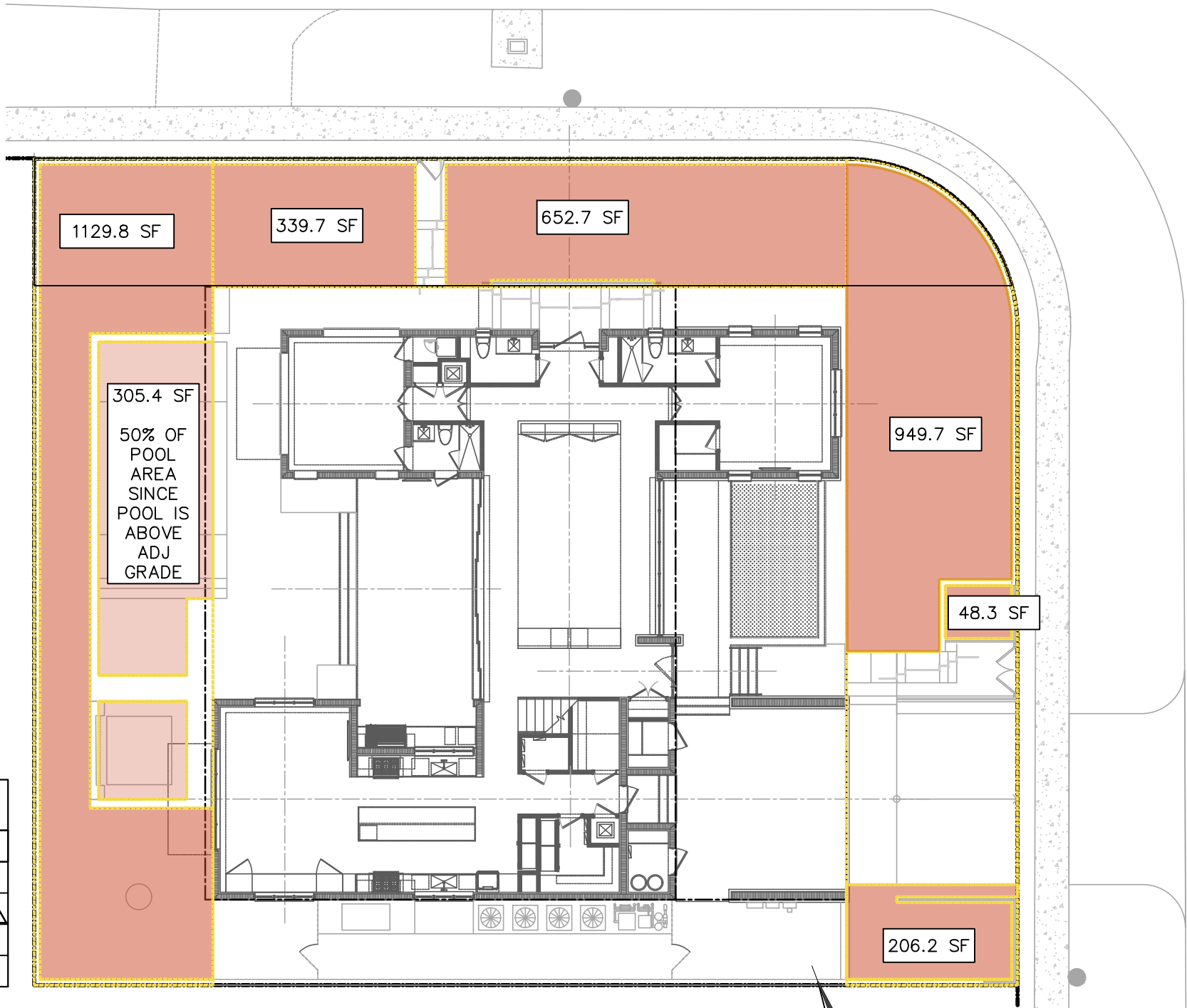
DATE: 08.15.2022
DRAWN BY: PA
REV.: DATE:

COMMENTS
09-05-2022

A1.3

W 4 4 C T

PERVIOUS OPEN SPACE CALCULATIONS		
CRITERIA	REQUIRED/ALLOWABLE	PROPOSED
FRONT YARD AREA: 1,845.9 SF	50% (922.95 SF) MIN	1,204.2 S.F.
SIDE YARD AREA: 1,630 SF	50% (815 SF) MIN	1,577 S.F.
REAR YARD AREA: 2,017 SF	70% (1,411.9 SF) MIN	1,435.2 S.F.



PERVIOUS AREA DIAGRAM

1/16" = 1'-0"

M E R I D I A N A V E

THE WEBER STUDIO
AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
305.361.9935 • 305.361.9986

800 W 44TH COURT
MIAMI BEACH, FL 33140
FOLIO # 02-3222-010-0480

DATE: 08.15.2022

DRAWN BY: PA

REV.: DATE:

1 COMMENTS
09-05-2022

A1.4

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY FAIL THE REVIEW

ITEM #	Project Information				
1	Address:	800 W 44th Court, Miami Beach, Fl 33140			
2	Folio number(s):	02-3222-010-0480			
3	Board and file number(s) :				
4	Year built: N/A	Zoning District:		RS-4	
5	Located within a Local Historic District (Yes or No):	NO			
6	Individual Historic Single Family Residence Site (Yes or No):	NO			
7	Home determined Architecturally Significant by CMB (Yes or No):	NO			
8	Base Flood Elevation:	8.0 ' NGVD	Grade value in NGVD:		4.38 ' NGVD
9	Adjusted grade (Flood+Grade/2):	6.19 ' NGVD	Free board:		9.0 ' NGVD
10	30" above grade:		Lot Area:		11,030.06 SF
11	Lot width:	96.6 '	Lot Depth:		115 '-0"
12	Max Lot Coverage SF and %:	3,309.02 SF (30%)	Proposed Lot Coverage SF and %:		3,793 SF
13	Existing Lot Coverage SF and %:	N/A	Net Lot coverage (garage-storage)		470 SF
14	Front Yard Open Space SF and %:	1,204.2 SF	Rear Yard Open Space SF and %:		1,435.2 SF
15	Max Unit Size SF and %:	5,515.03 SF (50%)	Proposed Unit Size SF and %:		5,513 SF
16	Existing First Floor Unit Size:	N/A	Proposed First Floor Unit Size:		3,501 SF
17	Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	N/A			
18	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan).		Yes or No:	YES	
	ZONING INFORMATION / CALCULATION	Required	Existing	Proposed	Deficiencies
19	Height measured from B.F.E. plus freeboard	2 STORIES, 27' MAX	N/A	2 STORIES,24 '-0"	
	Front Setbacks:				
20	Front First level:	20 '-0"	N/A	20 '-0"	
	Front second level:	40 '-0"	N/A	40 '-0"	
21	Front second level if lot coverage is 25% or greater:				
	a) At least 35% of the front façade shall be setback 5' from the minimum required setback.	40 '-0"			
	b) At least 50% of the second floor along a side elevation facing a street shall be setback 5' from the minimum required setback.	20 '-0"			
22	Sum of side yard :	25%			
23	Side 1:	10' MIN	N/A	30 '-0"	
24	Side 2 or (facing street):	10' MIN	N/A	20 '-0"	
25	Rear:	15% 23 '-3"	N/A	20 '-0"	
26	Accessory Structure Side 1:	N/A	N/A	N/A	
27	Accessory Structure Side 2 or (facing street) :	N/A	N/A	N/A	
28	Accessory Structure Rear:	N/A	N/A	N/A	
30	Additional data or information that may be applicable to the project shall be provided in the following fields.				

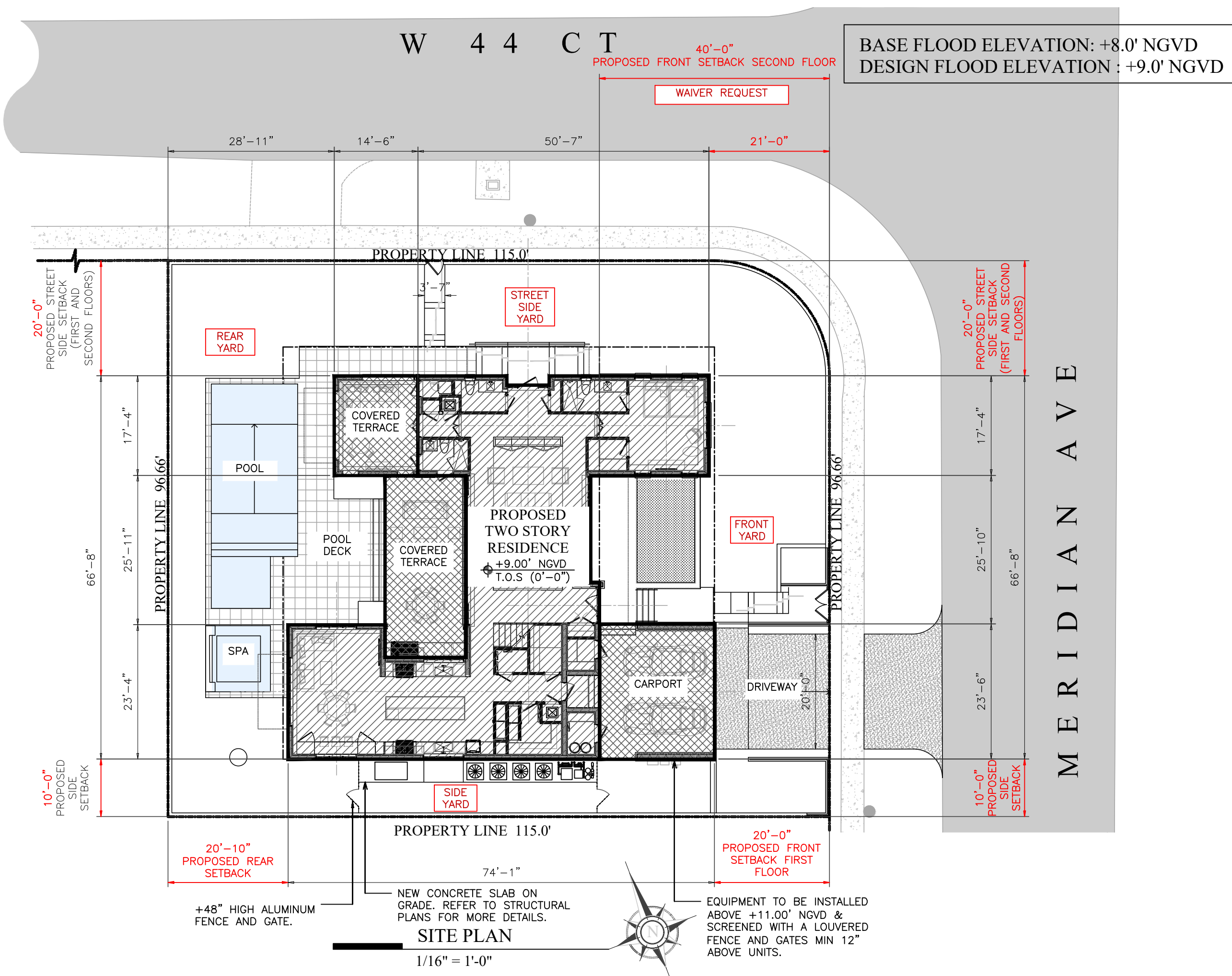
Notes: Indicate N/A if not applicable.

THE WEBER STUDIO
AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
305.361.9935o 305.361.9986

800 W 44TH COURT
MIAMI BEACH, FL 33140
FOLIO # 02-3222-010-0480

DATE: 08.15.2022
DRAWN BY: PA
REV.: DATE:

A1.5

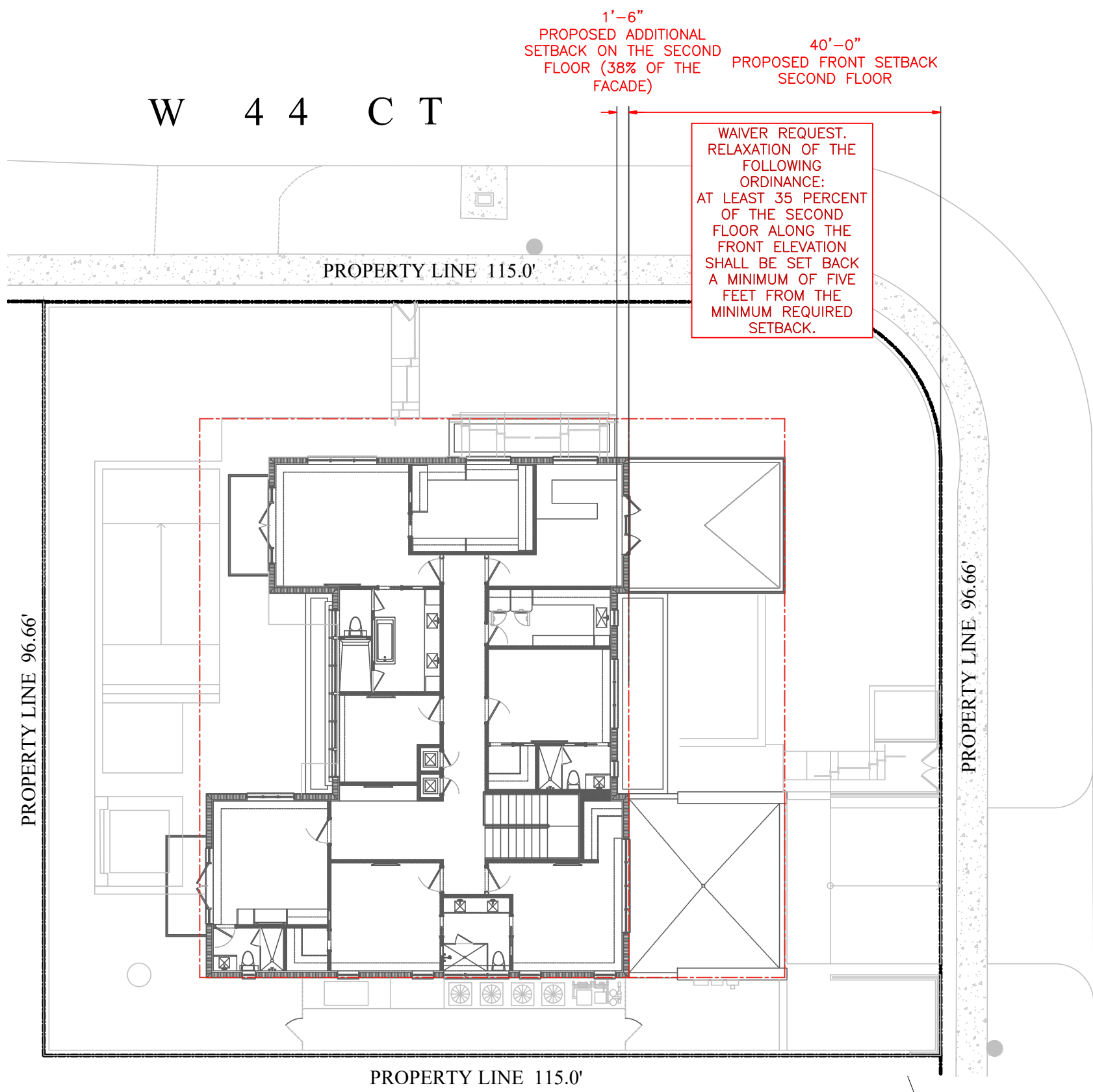


THE WEBER STUDIO
AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
305.361.9935 • 305.361.9986

800 W 44TH COURT
MIAMI BEACH, FL 33140
FOLIO # 02-3222-010-0480

DATE:	08.15.2022
DRAWN BY:	PA
REV.:	DATE:

A2.1



W 4 4 C T

1'-6"
PROPOSED ADDITIONAL
SETBACK ON THE SECOND
FLOOR (38% OF THE
FACADE)

40'-0"
PROPOSED FRONT SETBACK
SECOND FLOOR

WAIVER REQUEST.
RELAXATION OF THE
FOLLOWING
ORDINANCE:
AT LEAST 35 PERCENT
OF THE SECOND
FLOOR ALONG THE
FRONT ELEVATION
SHALL BE SET BACK
A MINIMUM OF FIVE
FEET FROM THE
MINIMUM REQUIRED
SETBACK.

PROPERTY LINE 96.66'

PROPERTY LINE 115.0'

PROPERTY LINE 96.66'

PROPERTY LINE 115.0'

M E R I D I A N A V E

WAIVER REQUEST DIAGRAM-SECOND FLOOR
1/16" = 1'-0"



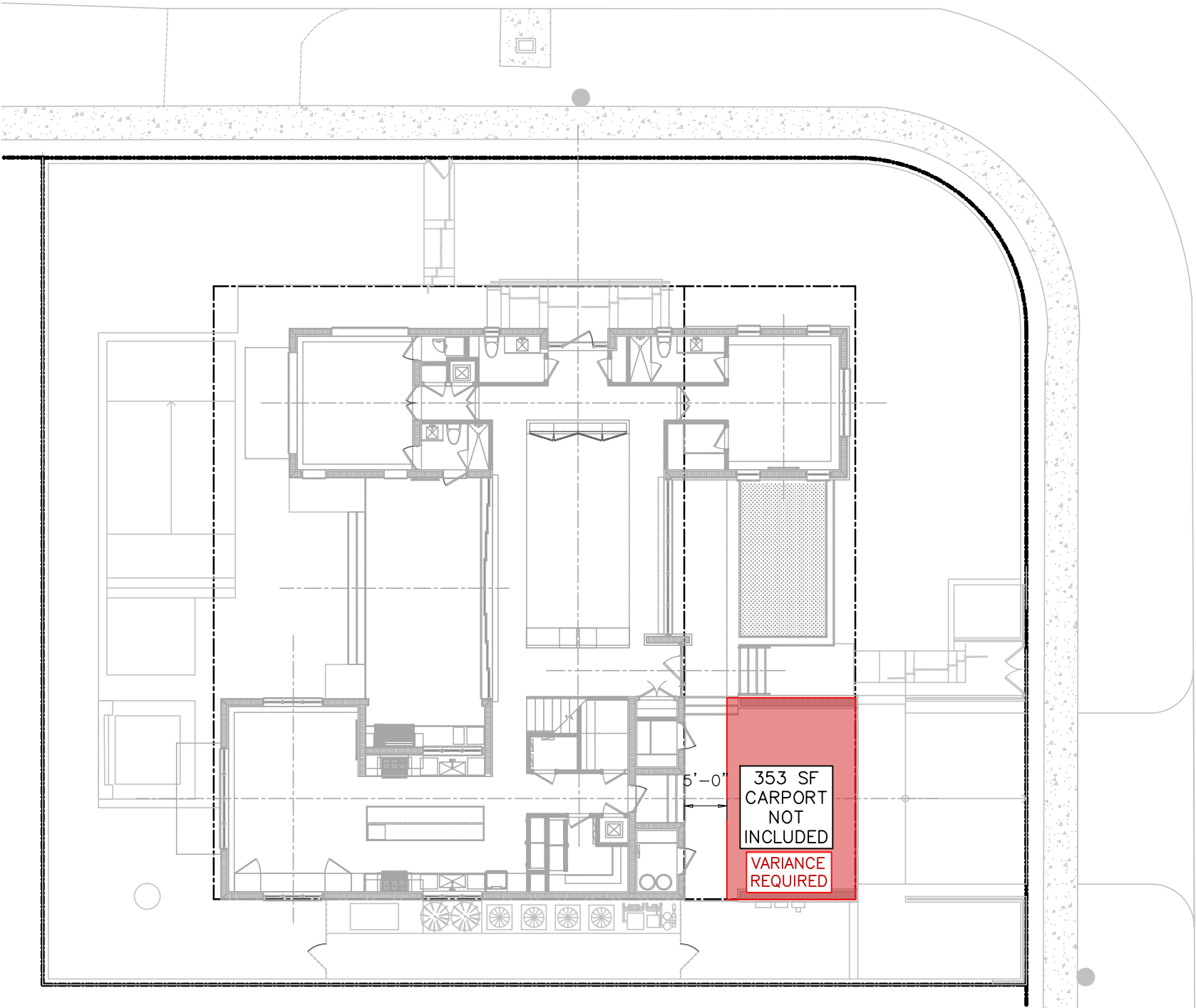
THE WEBER STUDIO
AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
305.361.9935o 305.361.9986

8 0 0 W 4 4 T H C O U R T
M I A M I B E A C H , F L 3 3 1 4 0
F O L I O # 0 2 - 3 2 2 2 - 0 1 0 - 0 4 8 0

DATE:	08.15.2022
DRAWN BY:	PA
REV.:	DATE:

A2.2

W 4 4 C T



VARIANCE REQUEST TO INCREASE THE LOT COVERAGE FROM 30%
(3,309.02 SF MAX TO 33.3% (3,676 SF))

VARIANCE REQUEST DIAGRAM
1/16" = 1'-0"



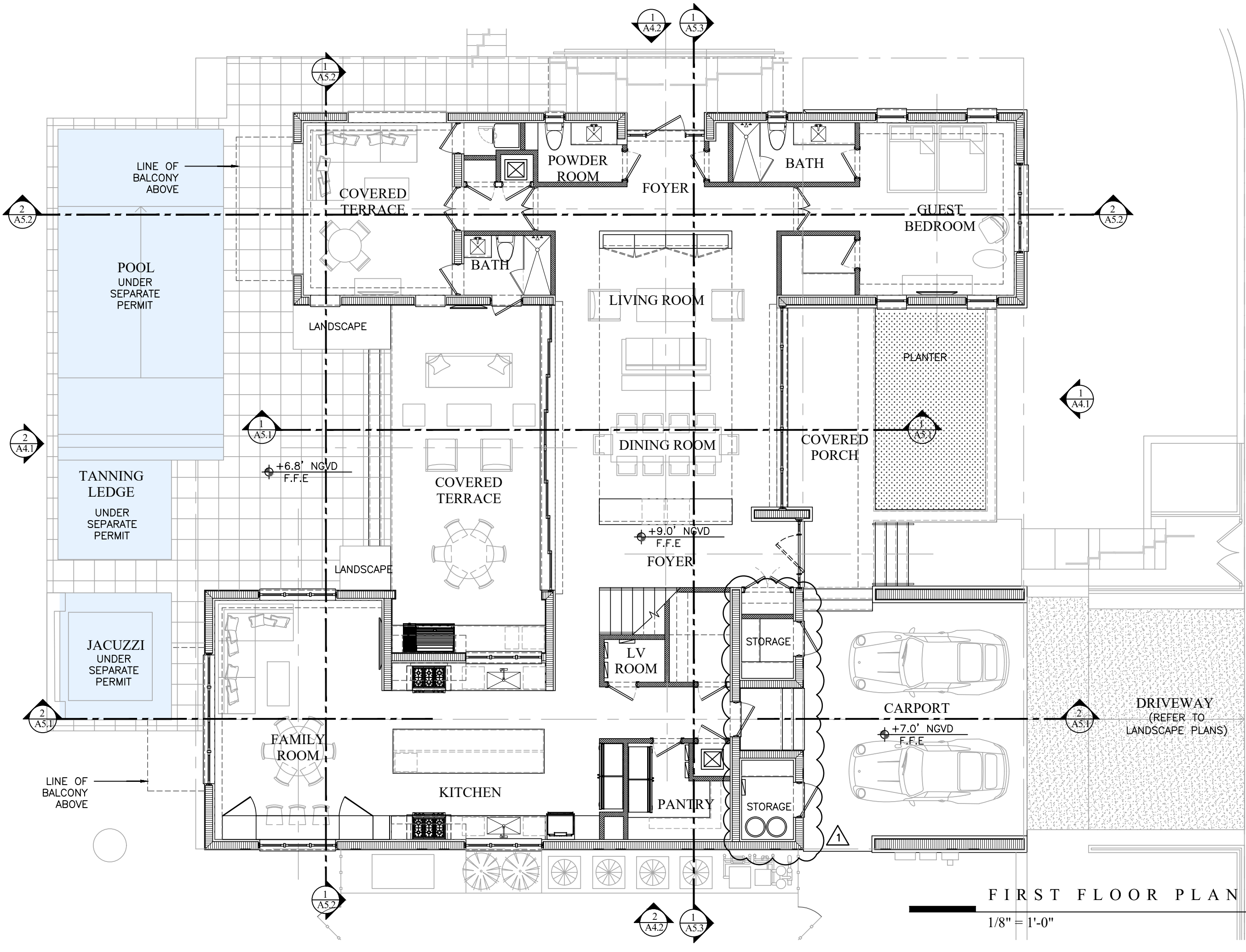
M E R I D I A N A V E

A2.3

DATE:	08.15.2022
DRAWN BY:	PA
REV.:	DATE:

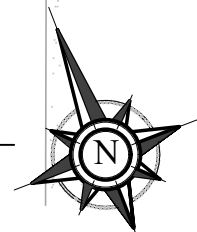
8 0 0 W 4 4 T H C O U R T
M I A M I B E A C H , F L 3 3 1 4 0
F O L I O # 0 2 - 3 2 2 2 - 0 1 0 - 0 4 8 0

THE WEBER STUDIO
AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
305.361.9935o 305.361.9986



FIRST FLOOR PLAN

1/8" = 1'-0"



THE WEBER STUDIO
AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
305.361.9935 305.361.9986

800 W 44TH COURT
MIAMI BEACH, FL 33140
FOLIO # 02-3222-010-0480

DATE:	08.15.2022
DRAWN BY:	PA
REV.:	DATE:
1	COMMENTS 09-05-2022

A3.1

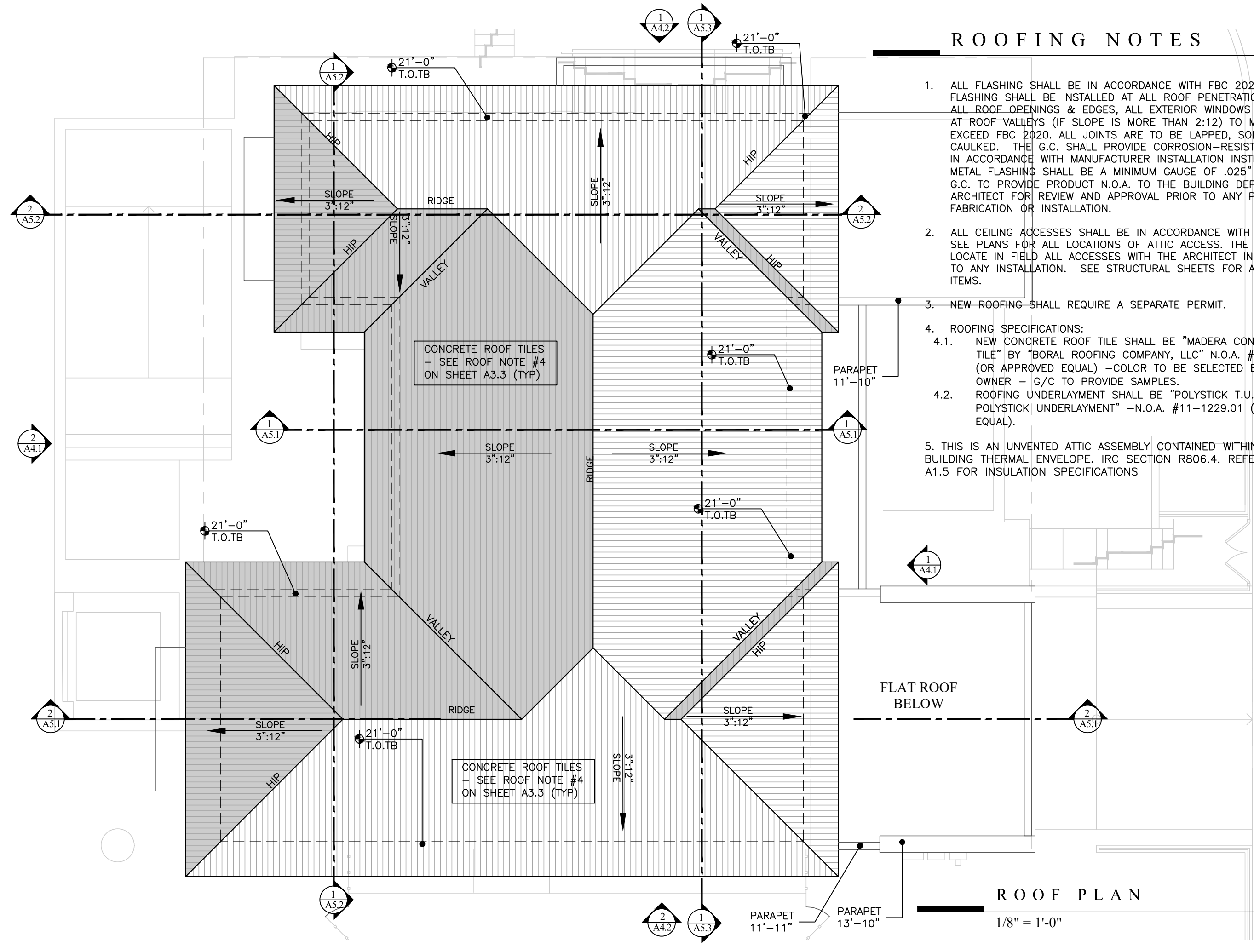


1/8"	=	1'-0"
------	---	-------

104 CRANDON BLVD, SUITE 414
KEY BISCAVNE, FLORIDA 33149
305.361.9935o 305.361.9986

MIAMI BEACH, FL 33140
FOLIO # 02-3222-010-0480

A3.2



ROOFING NOTES

- ALL FLASHING SHALL BE IN ACCORDANCE WITH FBC 2020; METAL FLASHING SHALL BE INSTALLED AT ALL ROOF PENETRATIONS, GUTTERS, ALL ROOF OPENINGS & EDGES, ALL EXTERIOR WINDOWS & DOORS, AND AT ROOF VALLEYS (IF SLOPE IS MORE THAN 2:12) TO MEET OR EXCEED FBC 2020. ALL JOINTS ARE TO BE LAPPED, SOLDERED OR CAULKED. THE G.C. SHALL PROVIDE CORROSION-RESISTANT FASTENERS IN ACCORDANCE WITH MANUFACTURER INSTALLATION INSTRUCTIONS. METAL FLASHING SHALL BE A MINIMUM GAUGE OF .025" / 16 OUNCE. G.C. TO PROVIDE PRODUCT N.O.A. TO THE BUILDING DEPARTMENT & ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ANY PURCHASE, FABRICATION OR INSTALLATION.
- ALL CEILING ACCESSES SHALL BE IN ACCORDANCE WITH THE FBC 2020, SEE PLANS FOR ALL LOCATIONS OF ATTIC ACCESS. THE G.C. SHALL LOCATE IN FIELD ALL ACCESSES WITH THE ARCHITECT IN FIELD PRIOR TO ANY INSTALLATION. SEE STRUCTURAL SHEETS FOR ALL APPLICABLE ITEMS.
- NEW ROOFING SHALL REQUIRE A SEPARATE PERMIT.
- ROOFING SPECIFICATIONS:
 - NEW CONCRETE ROOF TILE SHALL BE "MADERA CONCRETE ROOF TILE" BY "BORAL ROOFING COMPANY, LLC" N.O.A. #12-0308.13. (OR APPROVED EQUAL) -COLOR TO BE SELECTED BY ARCHITECT & OWNER - G/C TO PROVIDE SAMPLES.
 - ROOFING UNDERLAYMENT SHALL BE "POLYSTICK T.U., POLYGLASS POLYSTICK UNDERLAYMENT" -N.O.A. #11-1229.01 (OR APPROVED EQUAL).
- THIS IS AN UNVENTED ATTIC ASSEMBLY CONTAINED WITHIN THE BUILDING THERMAL ENVELOPE. IRC SECTION R806.4. REFER TO SHEET A1.5 FOR INSULATION SPECIFICATIONS

ROOF PLAN

1/8" = 1'-0"

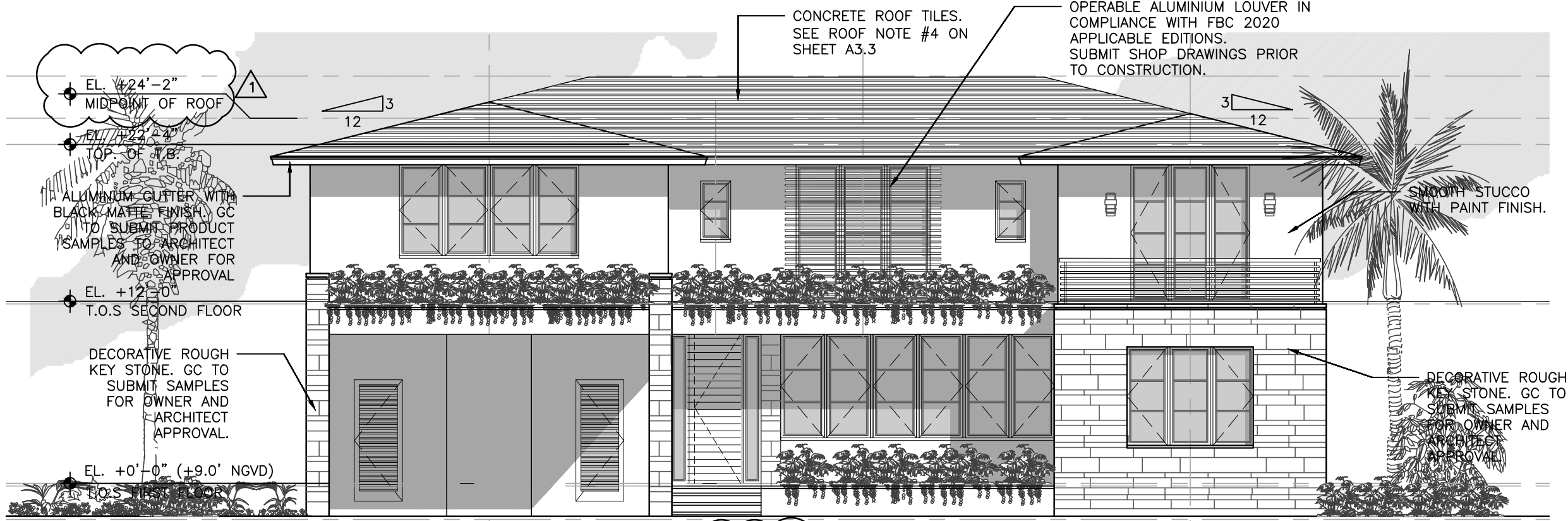


THE WEBER STUDIO
AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAINE, FLORIDA 33149
305.361.9935 305.361.9986

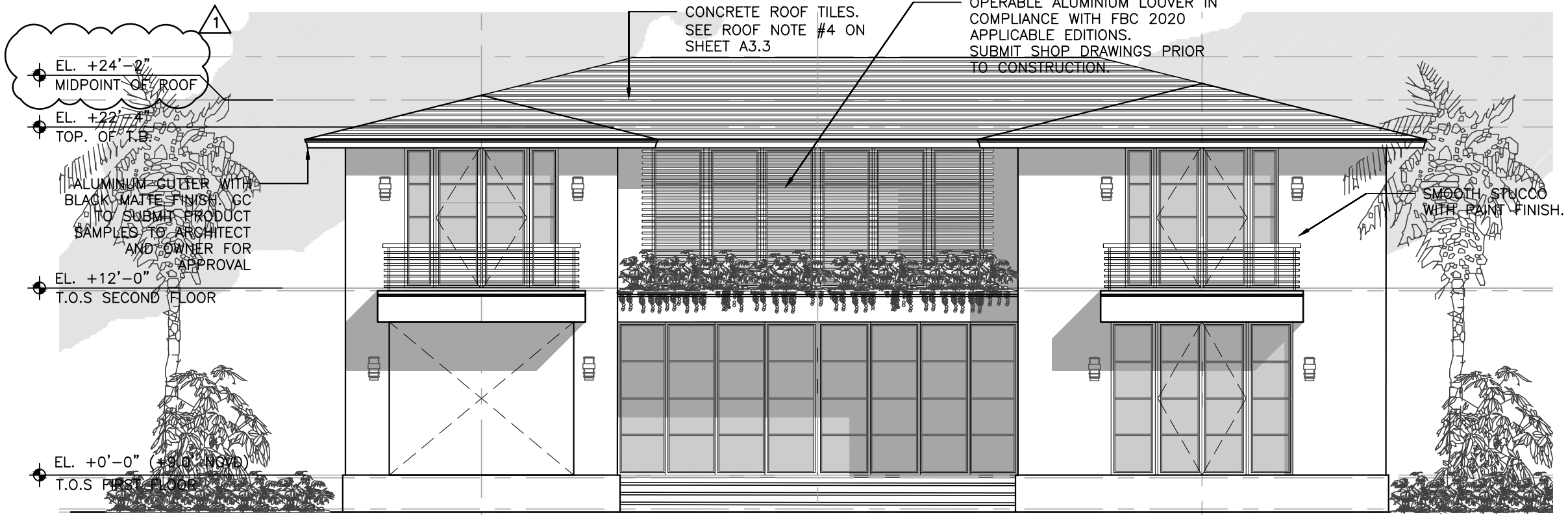
800 W 44TH COURT
MIAMI BEACH, FL 33140
FOLIO # 02-3222-010-0480

DATE:	08.15.2022
DRAWN BY:	PA
REV.:	DATE:

A3.3



1 EAST ELEVATION
1/8" = 1'-0"



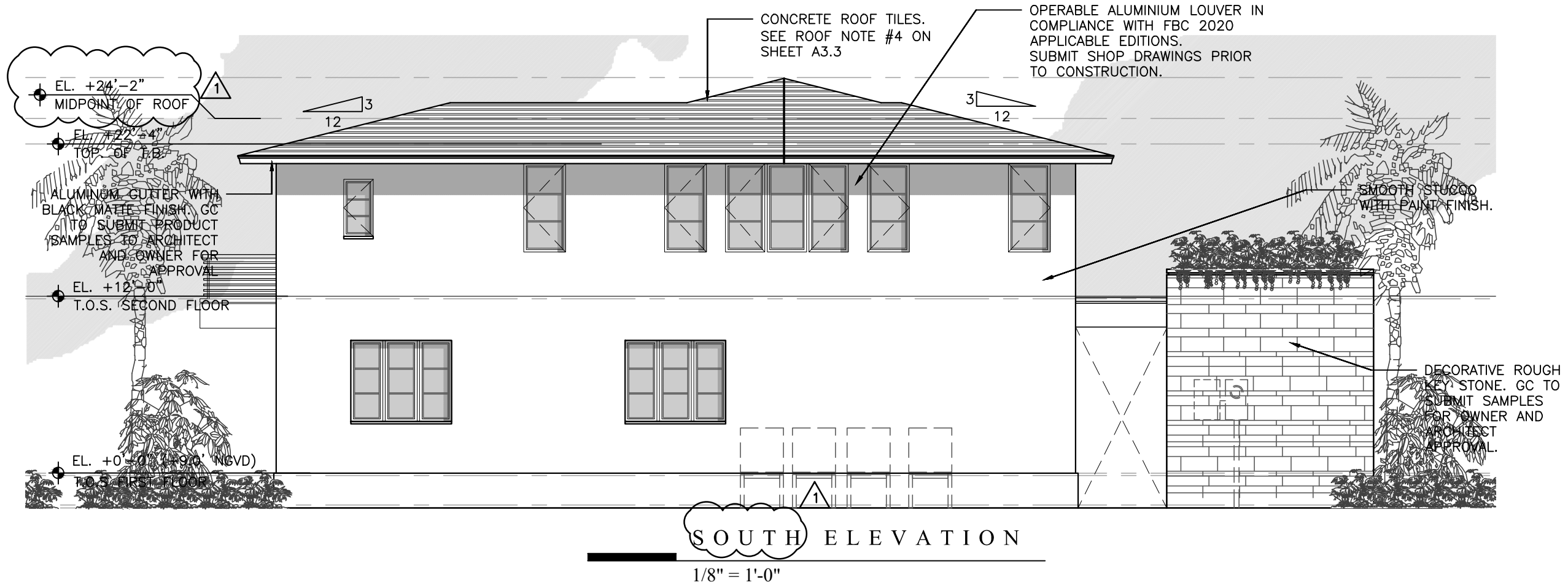
1 WEST ELEVATION
1/8" = 1'-0"

THE WEBER STUDIO
AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
305.361.9935 305.361.9986

800 W 44TH COURT
MIAMI BEACH, FL 33140
FOLIO # 02-3222-010-0480

DATE:	08.15.2022
DRAWN BY:	PA
REV.:	DATE:
1	COMMENTS 09-05-2022

A4.1



THE WEBER STUDIO

AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
305.361.9935 • 305.361.9986

800 W 44TH COURT

MIAMI BEACH, FL 33140
FOLIO # 02-3222-010-0480

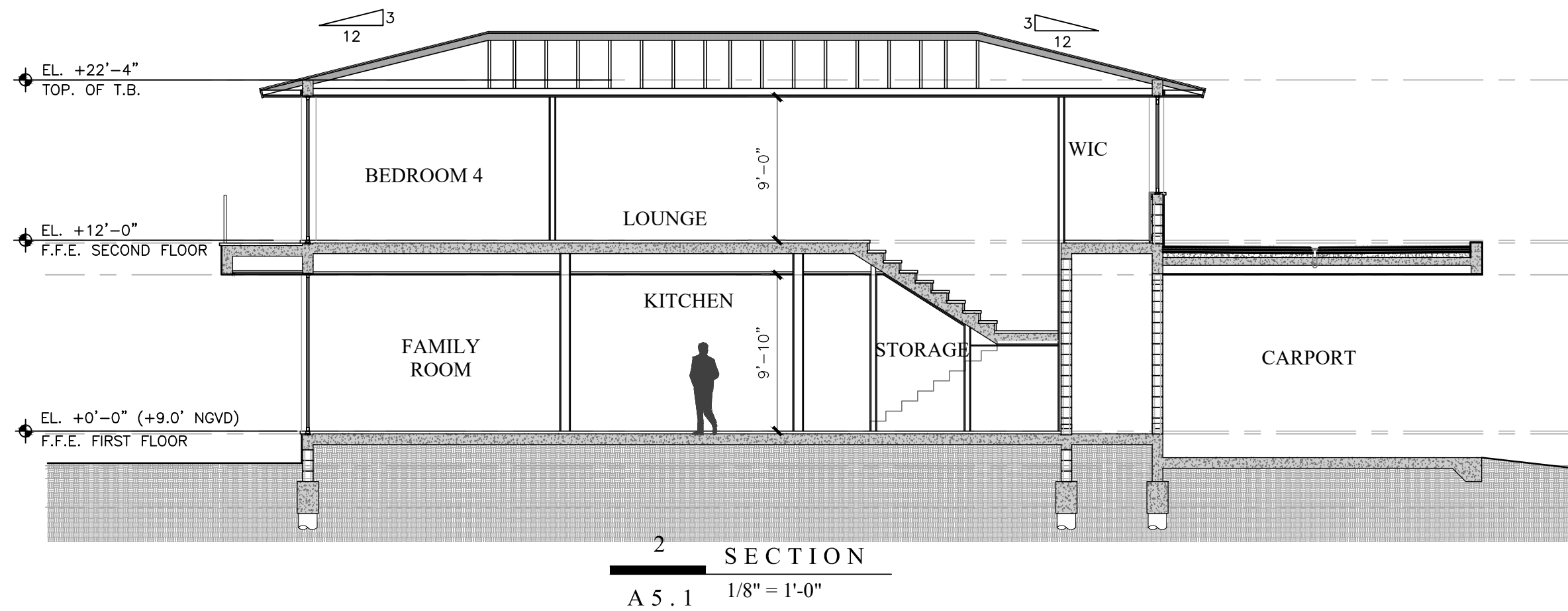
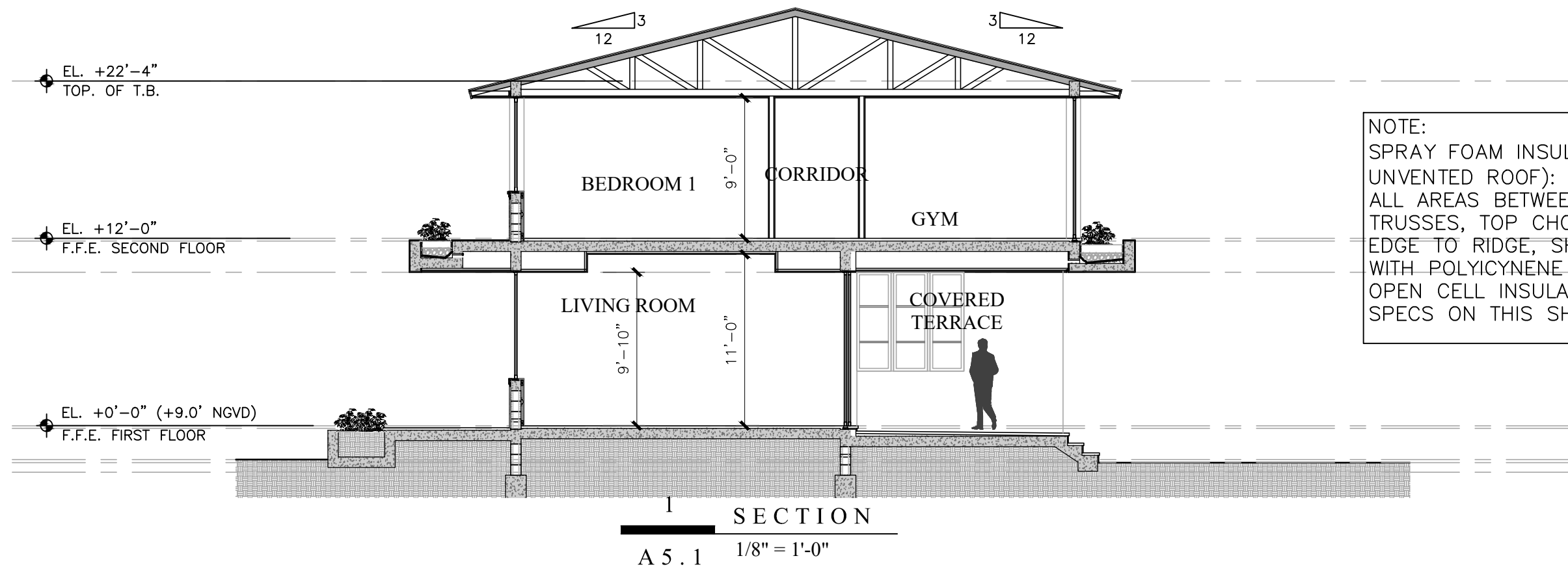
DATE: 08.15.2022

DRAWN BY: PA

REV.: DATE:

COMMENTS
09-05-2022

A4.2

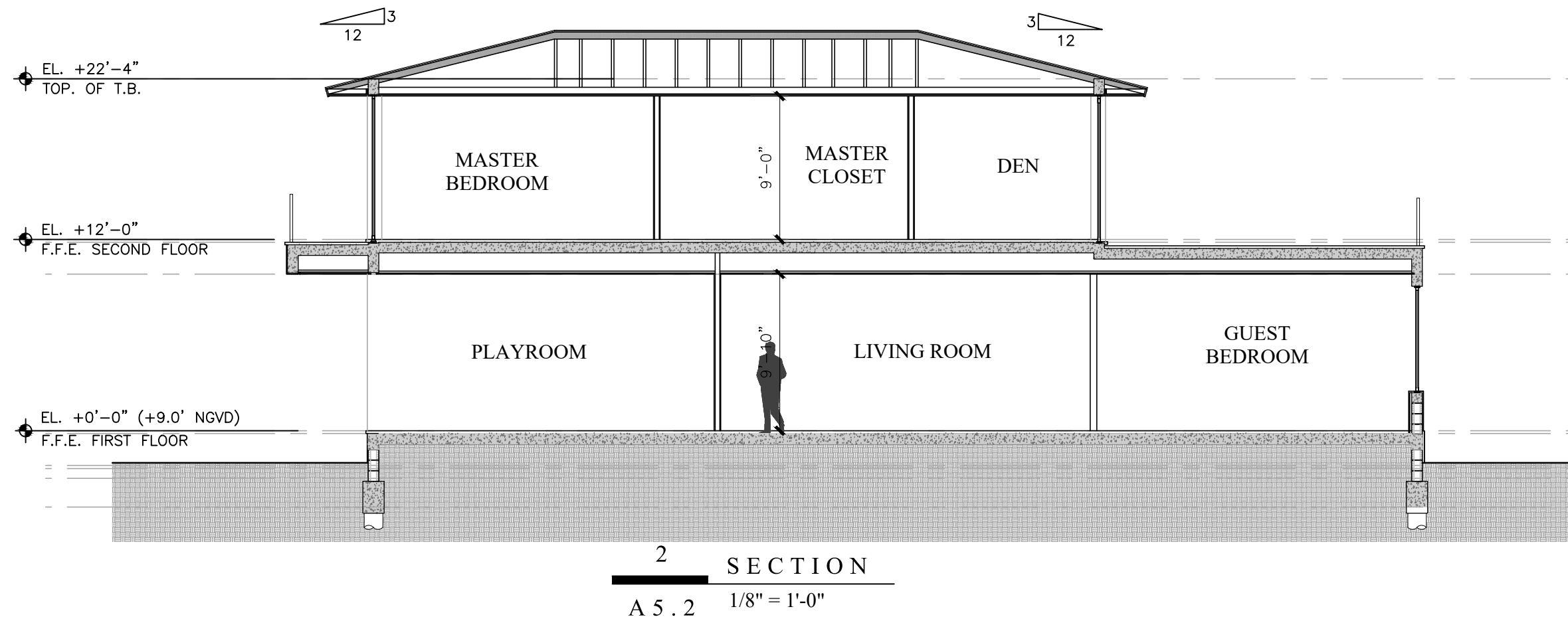
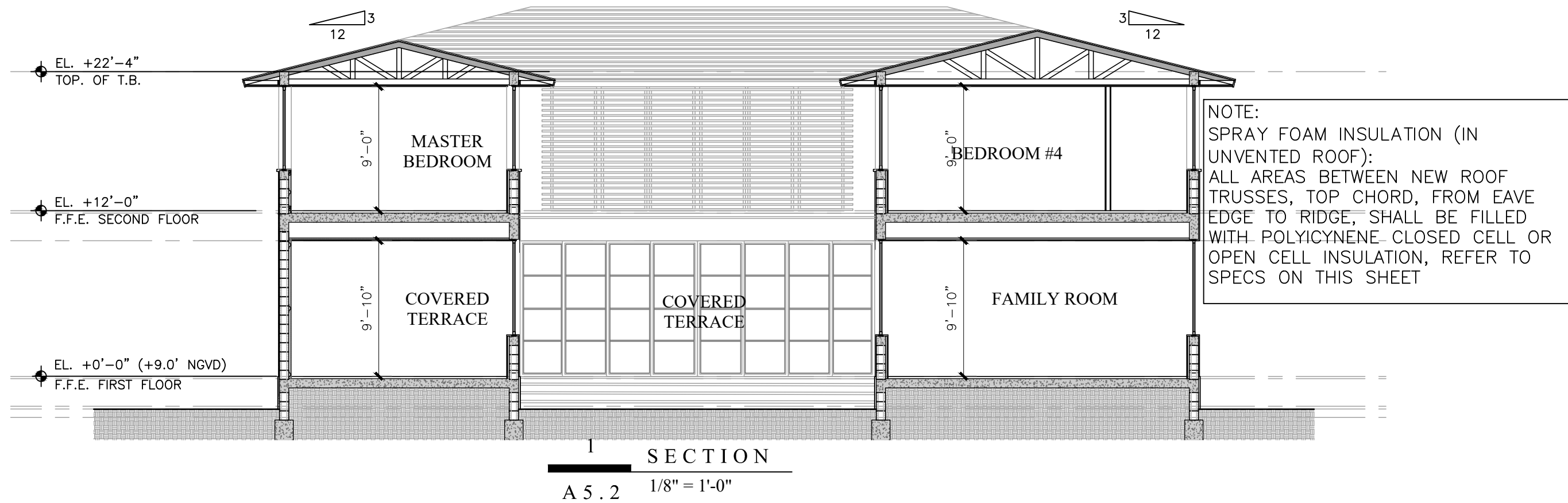


THE WEBER STUDIO
AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
305.361.9935 305.361.9986

800 W 44TH COURT
MIAMI BEACH, FL 33140
FOLIO # 02-3222-010-0480

DATE:	08.15.2022
DRAWN BY:	PA
REV.:	DATE:

A5.1

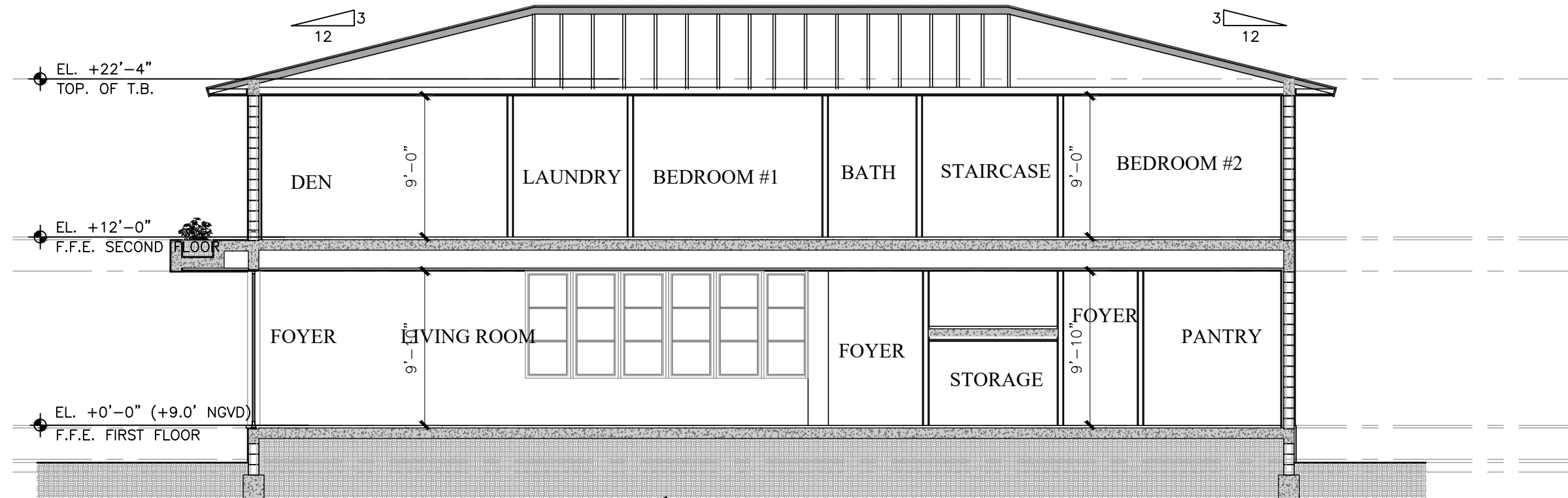


THE WEBER STUDIO
AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
305.361.9935 305.361.9986

800 W 44TH COURT
MIAMI BEACH, FL 33140
FOLIO # 02-3222-010-0480

DATE:	08.15.2022
DRAWN BY:	PA
REV.:	DATE:

A5.2

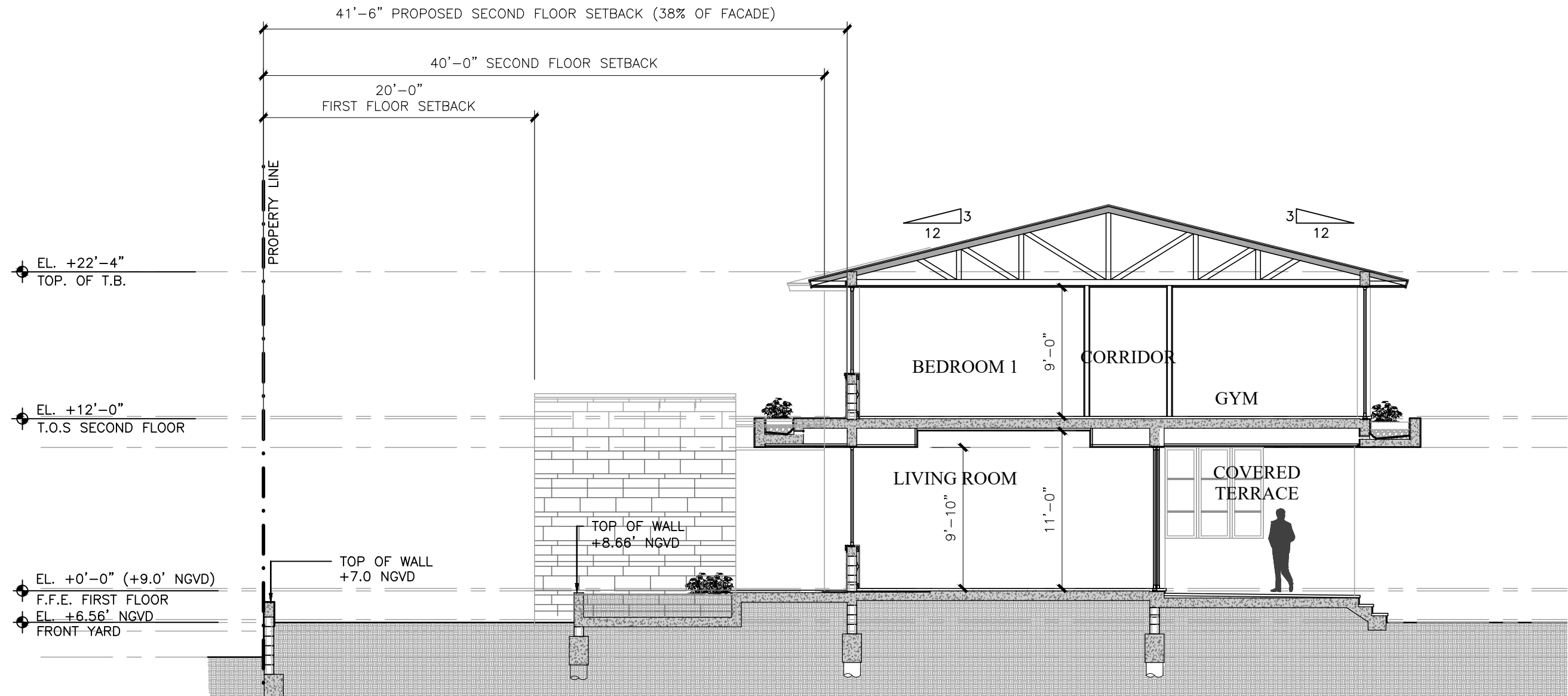


SECTION
A 5.3
1/8" = 1'-0"

NOTE:
SPRAY FOAM INSULATION (IN
UNVENTED ROOF):
ALL AREAS BETWEEN NEW ROOF
TRUSSES, TOP CHORD, FROM EAVE
EDGE TO RIDGE, SHALL BE FILLED
WITH POLYICYNENE CLOSED CELL OR
OPEN CELL INSULATION, REFER TO
SPECS ON THIS SHEET

DATE:	08.15.2022
DRAWN BY:	PA
REV.:	DATE:

--	--



1 SECTION
A 5 . 4 1/8" = 1'-0"

THE WEBER STUDIO
AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
305.361.9935o 305.361.9986

800 W 44TH COURT
MIAMI BEACH, FL 33140
FOLIO # 02-3222-010-0480

DATE:	08.15.2022
DRAWN BY:	PA
REV.:	DATE:
1	COMMENTS 09-05-2022

A5.4



REAR CONCEPT IMAGE
NTS

THE WEBER STUDIO
AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
305.361.9935 305.361.9986

800 W 44TH COURT
MIAMI BEACH, FL 33140
FOLIO # 02-3222-010-0480

DATE:	08.15.2022
DRAWN BY:	PA
REV.:	DATE:

R1.1



STREET SIDE CONCEPT IMAGE
NTS

THE WEBER STUDIO

AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
305.361.9935 • 305.361.9986

800 W 44TH COURT

MIAMI BEACH, FL 33140

FOLIO # 02-3222-010-0480

DATE:	08.15.2022
DRAWN BY:	PA
REV.:	DATE:

--	--

R1.2



FRONT SIDE CONCEPT IMAGE
NTS

THE WEBER STUDIO

AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
305.361.9935 • 305.361.9986

800 W 44TH COURT

MIAMI BEACH, FL 33140
FOLIO # 02-3222-010-0480

DATE:	08.15.2022
DRAWN BY:	PA
REV.:	DATE:

R1.3