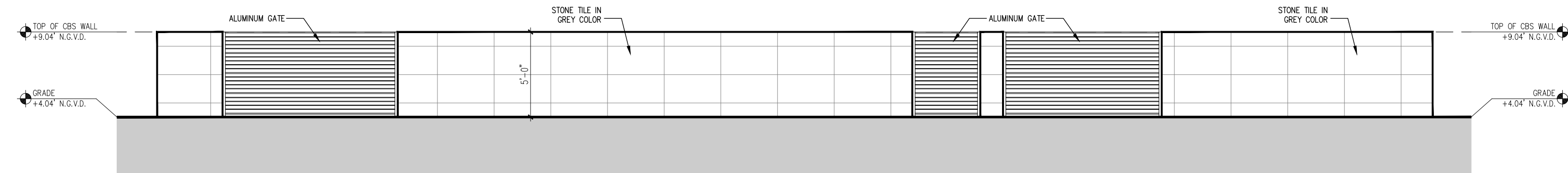
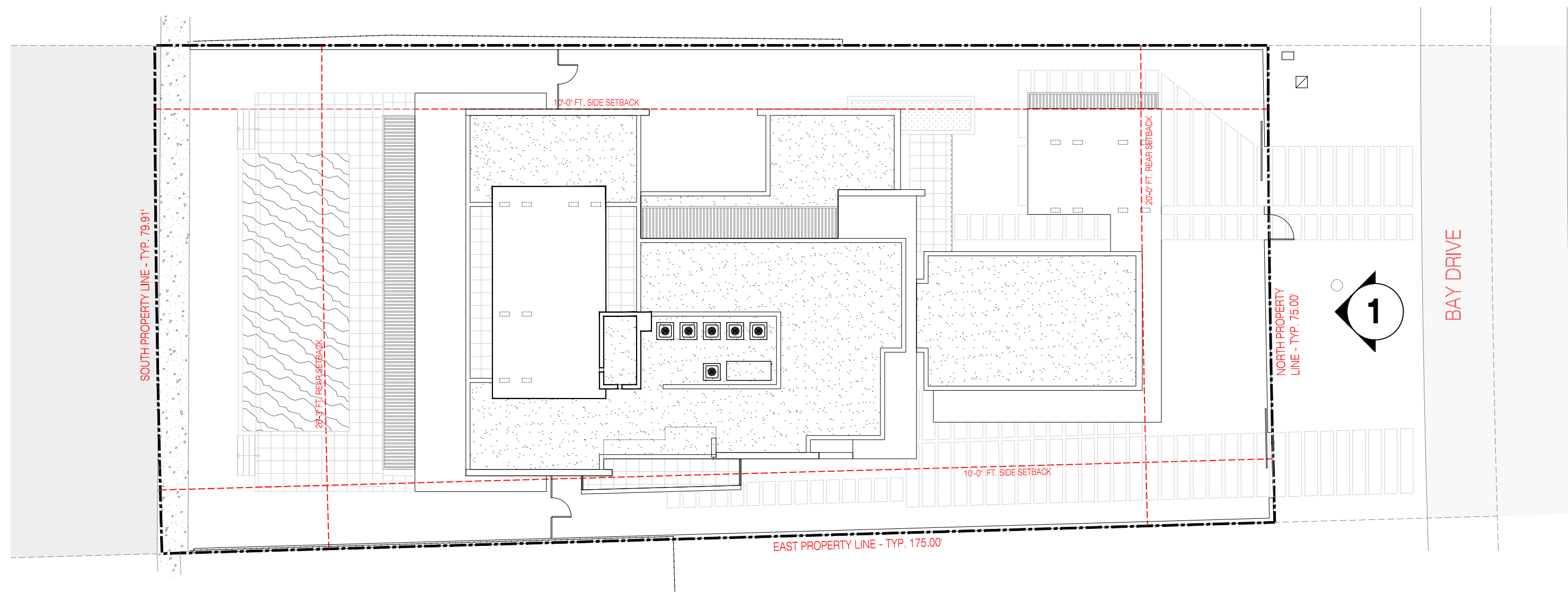


1 NORTH ELEVATION (FRONT) 3/16\"=1'-0"



2 FENCE ELEVATION (FRONT) 3/16\"=1'-0"



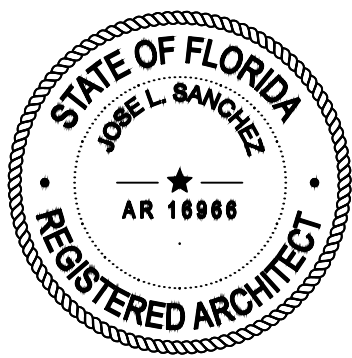
ELEVATION KEYPLAN NOT TO SCALE

- ELEVATIONS KEYNOTES / SPECIFICATIONS
1. PARAPET WALL (SEE ROOF PLAN FOR HEIGHT)
  2. STONE TILE IN GREY COLOR IN PROPORTION OF STACKED BOND CMU 8 X 18.
  3. ALUMINUM GUARDRAIL
  4. GALVANIZED STEEL COLUMN W/ALUMINUM BREAK METAL ENCLOSURE (BY WINDOW DOOR MANUFACTURER) TO MATCH THE WINDOWS. W/ ELECTRO-MATIC PAINTING
  5. CONCRETE EYEBROW W/SEALOFLEX WATERPROOFING AND DRIP EDGE.
  6. GLASS/ALUMN. GUARDRAIL (42" A.F.F.)
  7. DADE COUNTY APPROVED ALUM./IMPACT GLASS WINDOWS (IMPACT, BRONZE FINISH). REFER TO ENERGY CALCULATIONS FOR SHADING COEFFICIENT AND U FACTOR REQUIRED. PROVIDE FLUID APPLIED WATERPROOFING ON THE INSIDE FACE OF THE ROUGH OPENING. (TYP)
  8. DECORATIVE ALUMN. LOUVERS - SPACING BETWEEN LOUVERS SHALL REJECT A 4" SPHERE WHEN ADJACENT TO A WALKING SURFACE..
  9. ALUM SCREEN ENCLOSURE FOR CONDENSING UNITS - PAINT CMU SCREEN & GATE SAME COLOR AS THE HOUSE.
  10. HYDROSTATIC VENTS TYP-SMART VENTS MODEL 1540-510, EACH CERTIFIED TO COVER 200 S.F.
  11. OVERHEAD GARAGE DOOR (COLOR TO MATCH ADJACENT WALL)



## MATERIAL LEGEND

1. STONE TILE IN GREY COLOR IN PROPORTION OF STACKED BOND CMU 8 X 18.
2. MATTE FINISHED IONIZED ALUMINUM.
3. WHITE SMOOTH STUCCO
4. DARK-BROWN PAINT OVER SMOOTH STUCCO



Jose L Sanchez  
Digitally signed by Jose L. Sanchez  
DN: cn=Jose L. Sanchez, c=US,  
email=josel.sanchez@praxisarch.com,  
date=2022.09.02 17:33:17 -0400

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## ADDRESS & OWNER

**NEW RESIDENCE**  
1610 BAY DRIVE  
MIAMI BEACH, FLORIDA. 33141  
OWNER:

## REVISION & DATE

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2	
3	
4	
5	

## DRAWING TITLE

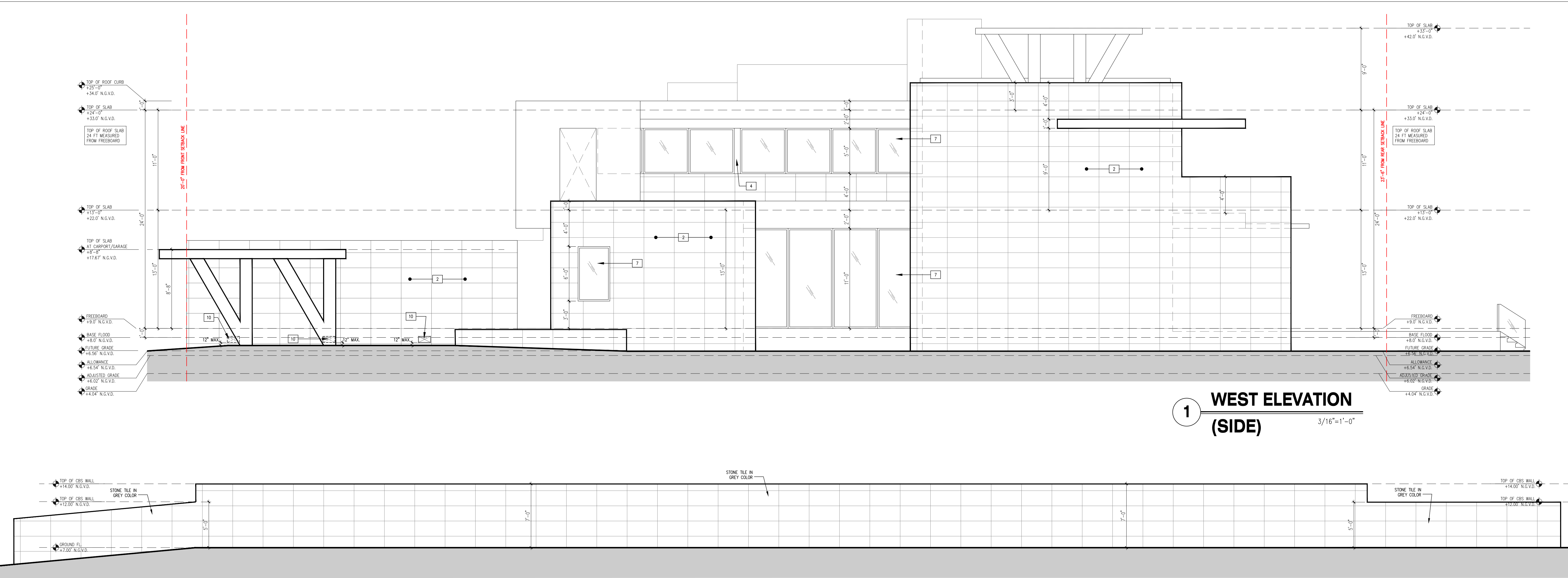
**NORTH ELEVATION (FRONT)**

SCALE: AS SHOWN  
DATE: 09-26-2021

## SHEET NUMBER

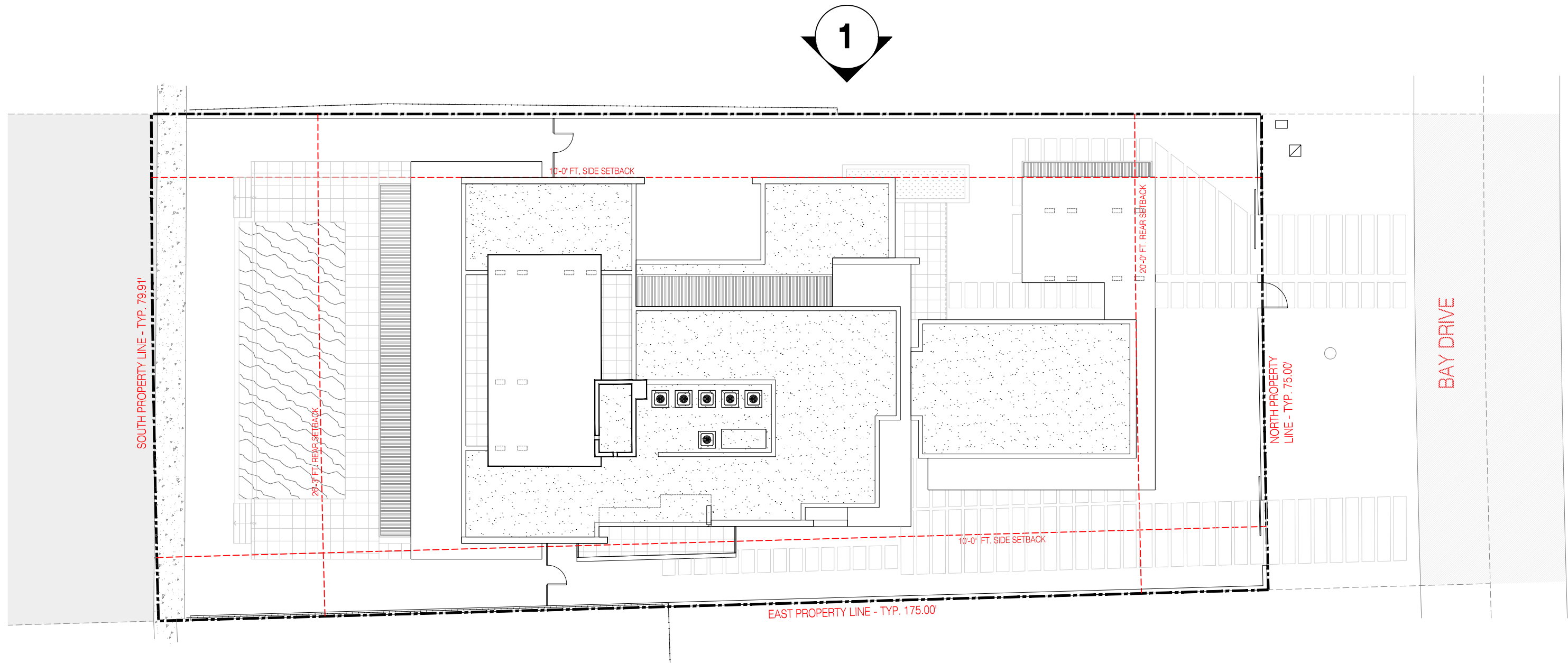
**A-3.1**





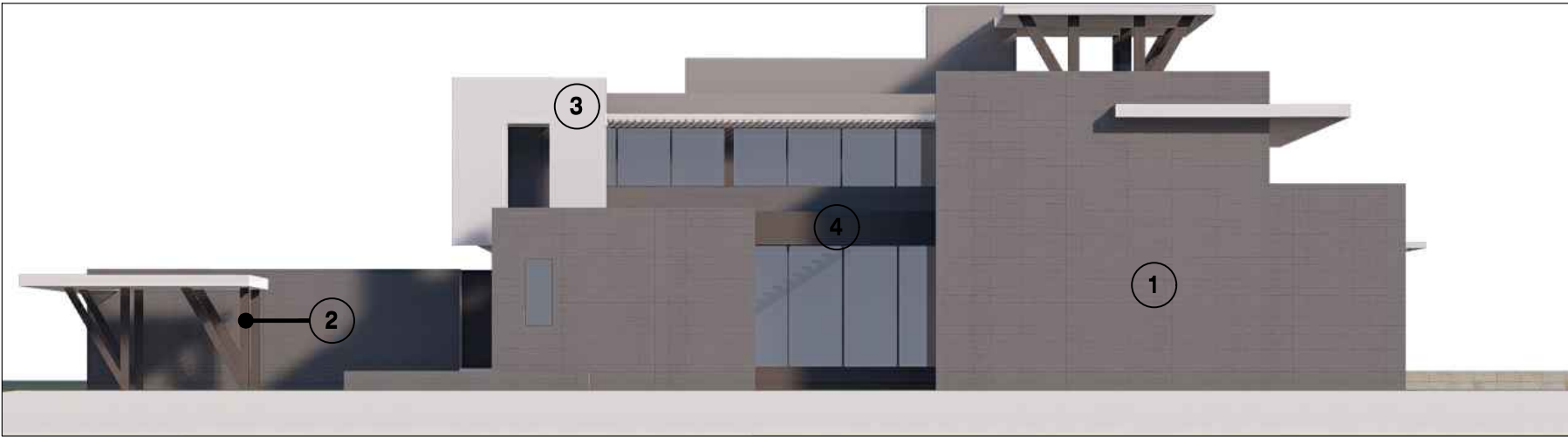
1 WEST ELEVATION (SIDE) 3/16"=1'-0"

2 FENCE ELEVATION (WEST) 3/16"=1'-0"



ELEVATION KEYPLAN NOT TO SCALE

- ELEVATIONS KEYNOTES / SPECIFICATIONS
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  9. ALUM SCREEN ENCLOSURE FOR CONDENSING UNITS - PAINT CMU SCREEN & GATE SAME COLOR AS THE HOUSE.
  10. HYDROSTATIC VENTS TYP.-SMART VENTS MODEL 1540-510, EACH CERTIFIED TO COVER 200 S.F.
  11. OVERHEAD GARAGE DOOR (COLOR TO MATCH ADJACENT WALL)



MATERIAL REFERENCE RENDER. DESIGNED BY PRAXIS

### MATERIAL LEGEND

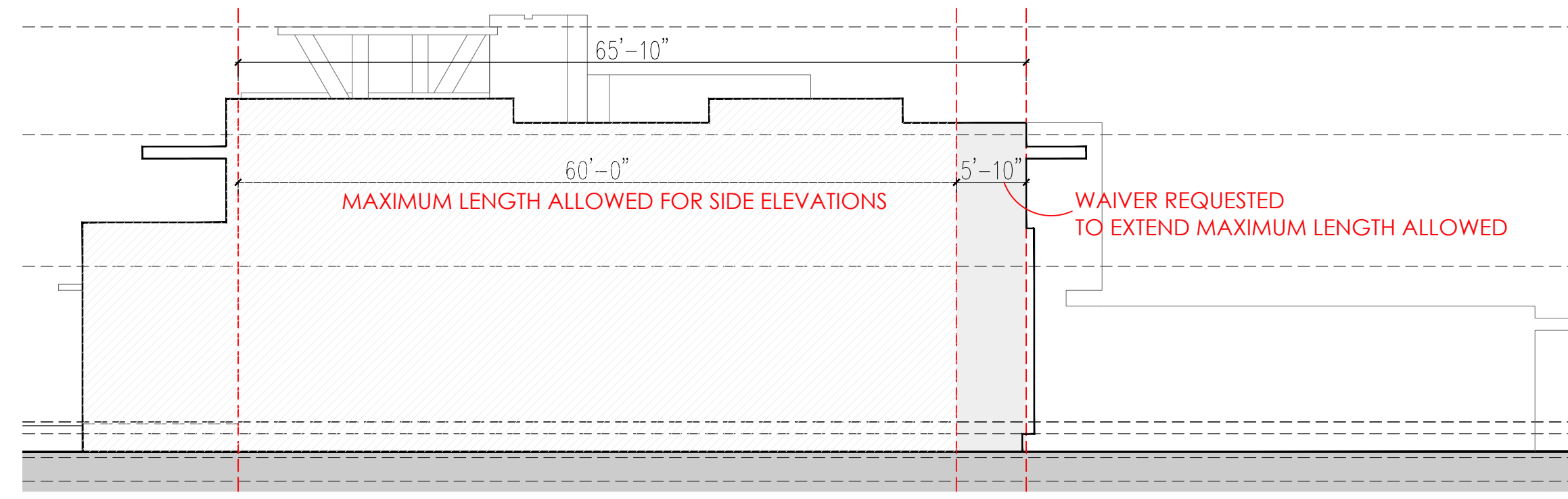
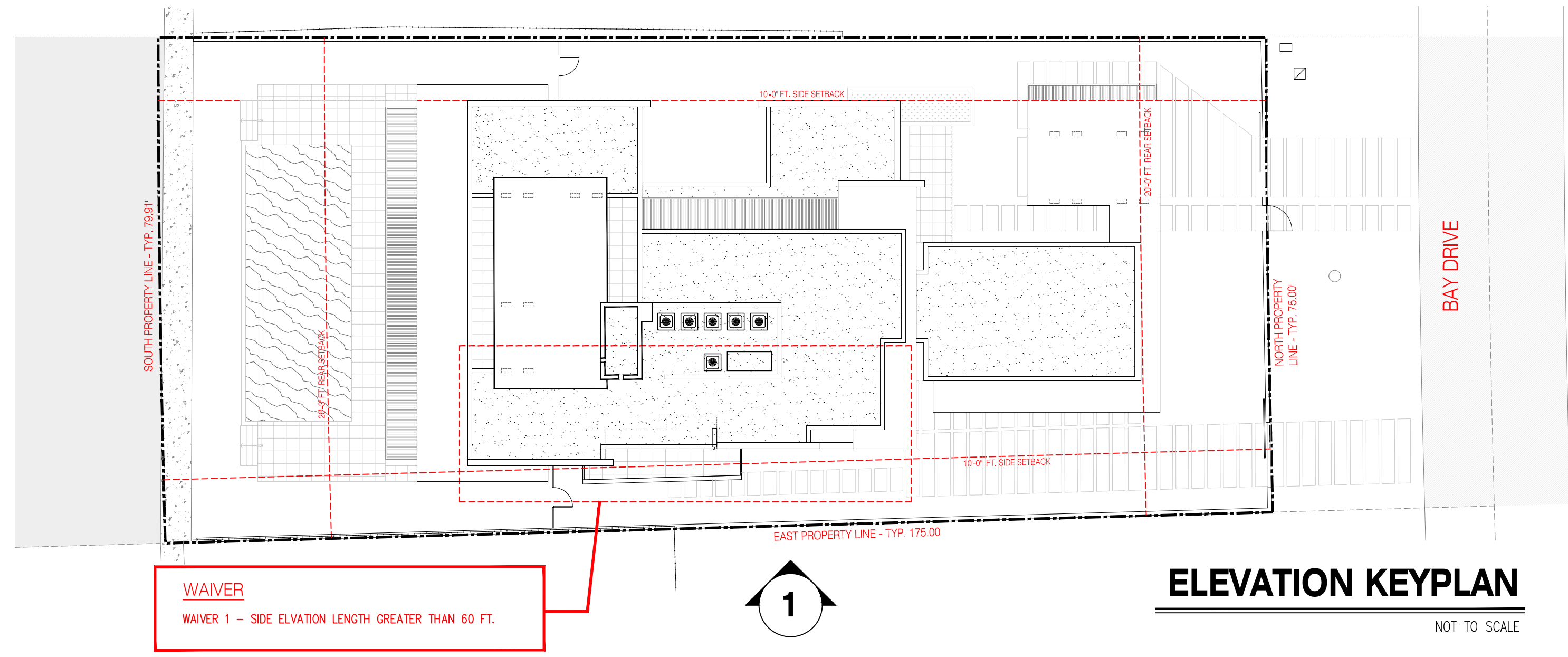
- |   |  |   |
|---|--|---|
| 1 |  | 1. STONE TILE IN GREY COLOR IN PROPORTION OF STACKED BOND CMU 8 X 18. |
| 2 |  | 2. MATTE FINISHED IONIZED ALUMINUM.                                   |
| 3 |  | 3. WHITE SMOOTH STUCCO  |
| 4 |  | 4. DARK-BROWN PAINT OVER SMOOTH STUCCO                                |

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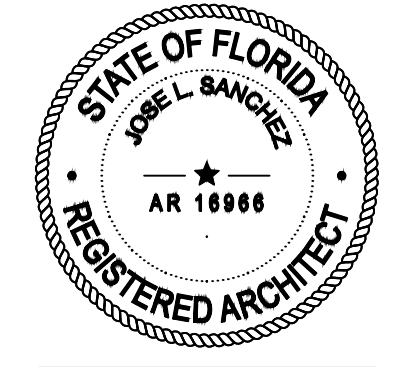








- ## ELEVATIONS KEYNOTES / SPECIFICATIONS
1. PARAPET WALL (SEE ROOF PLAN FOR HEIGHT)
  2. STONE TILE IN GREY COLOR IN PROPORTION OF STACKED BOND CMU 8 X 18.
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ADDRESS &amp; OWNER

**NEW RESIDENCE**  
1610 BAY DRIVE  
MIAMI BEACH, FLORIDA. 33141  
OWNER:

REVISION & DATE	
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DRAWING TITLE

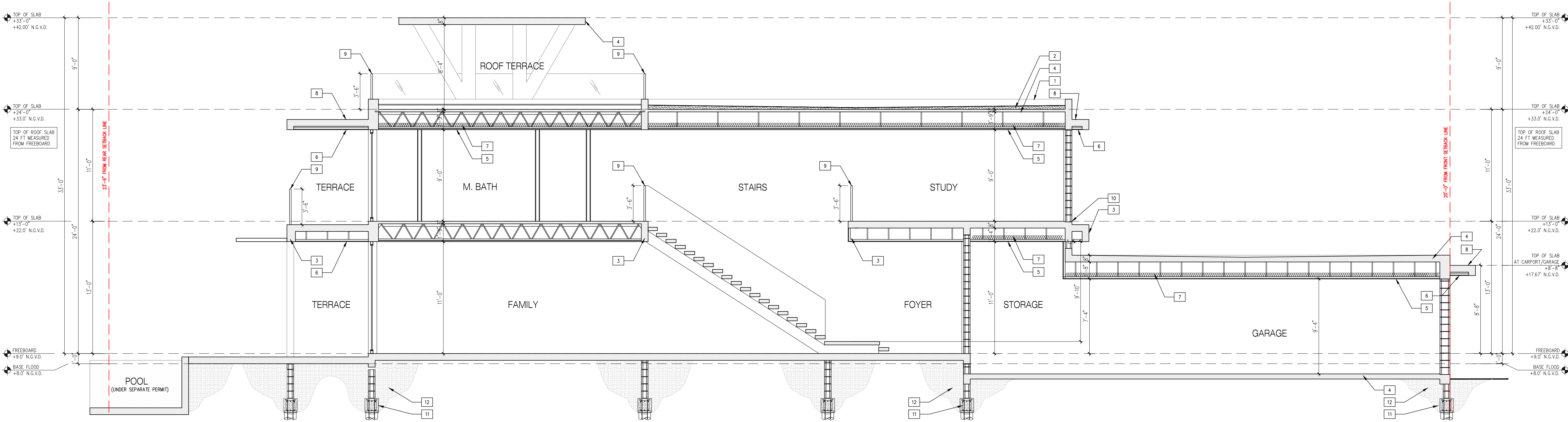
EAST  
ELEVATION  
(SIDE)

SCALE: AS SHOWN  
DATE: 09-26-2021

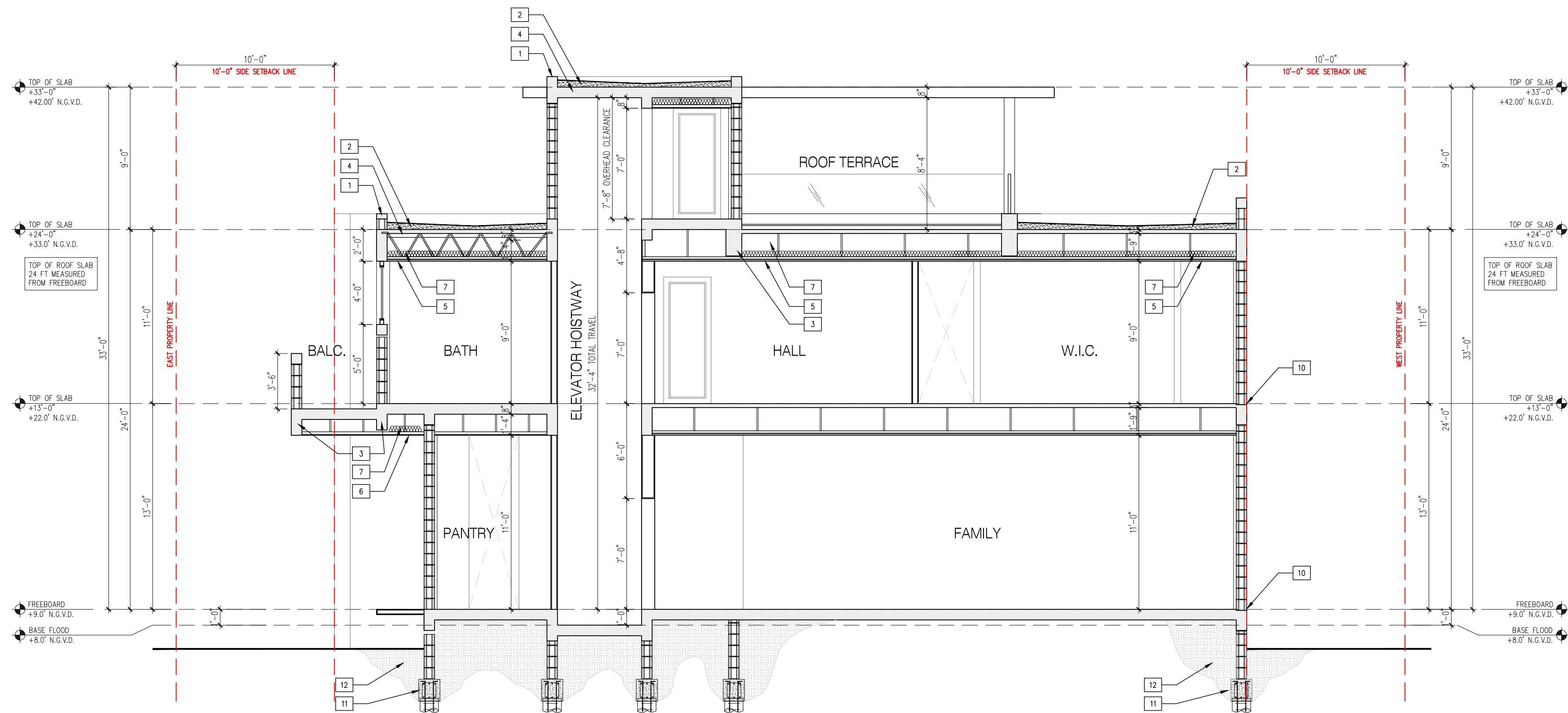
SHEET NUMBER

### A-3.4



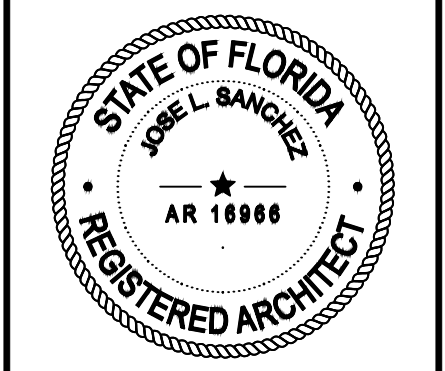


1 SECTIONS  
3/16"=1'-0"



2 SECTIONS  
3/16"=1'-0"

- SECTION KEYNOTES
1. PARAPET WALL (SEE ROOF PLAN FOR HEIGHT)
  2. PROVIDE 10 YR WARRANTY ROOFING SYSTEM. ROOFING SYSTEM INSTALLATION SHALL BE PERFORMED PER MANUFACTURER'S RECOMMENDATIONS AND PER NATIONAL ROOFING CONTRACTORS ASSOCIATION STANDARD DETAILS.
  3. CONCRETE BEAM (SEE STRUCT. DWGS. FOR REINF.)
  4. CONCRETE SLAB (SEE STRUCT. DWGS. FOR REINF.)
  5. SUSPENDED 5/8" GYPSUM CEILING ON METAL STUD FRAMING. INSTALL AFTER DUCTWORK AND PLUMBING IS IN PLACE.
  6. SMOOTH STUCCO CEILING ON METAL STUD SUBSTRATE. (EXTERIOR CEILING)
  7. R-30 BATT INSULATION OVER GYPSUM CEILING.
  8. SEALOFLEX WATERPROOFING, TYP. AT ALL CANOPIES AND DRIP EDGE.
  9. GLASS GUARDRAIL/HANDRAILS (42" OR 36" HIGH A.F.F.) - PROVIDE SHOP DRAWINGS AND ENGINEERING CALCULATIONS. GUARDRAILS SHALL NOT HAVE POSTS, SHALL BE ST. STEEL "U" CHANNEL TYPE INSTALLATION OR SIDE WALL WITH STAINLESS STEEL BUTTONS TYPE INSTALLATION - UNDER SEPARATE PERMIT
  10. 3/4" RECESS AT ALL SLABS SUPPORTING EXTERIOR WALLS (TYP.)
  11. FOR FOUNDATION (SEE STRUCT. DWGS.)
  12. COMPACTED FILL TO 95% COMPACTION WITH PROCTOR TEST.
  13. EPS BOARD INSULATION UNDER CONCRETE SLAB. (R-5) - CRAWLSPACE
  14. ALUMN. TRELLIS. PROVIDE SHOP DRAWINGS.
- NOTES:
- ALL PLANTERS SHALL RECEIVE WATERPROOFING COATING. SEE STANDARD DETAIL.
  - CEILING HEIGHTS INDICATED IN SECTIONS ARE FOR BIDDING PURPOSES ONLY. THE ACTUAL HEIGHT MAY VARY DEPENDING ON ALL SYSTEMS INSTALLED. THE MEP INSTALLATION SHOULD BE PERFORMED PRIOR TO THE CEILING SYSTEM INSTALLATION. PIPING AND DUCTS SHALL BE INSTALLED AS HIGH AS PRACTICALLY POSSIBLE.



Jose L. Sanchez  
Digitally signed by Jose L. Sanchez, DN: cn=Jose L. Sanchez, o=JL Sanchez, ou=Praxis Architecture, email=jlsanchez@praxisarch.com, c=US, Date: 2022.09.26 17:45:43 -0400

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OWNER:

REVISION & DATE	
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DRAWING TITLE

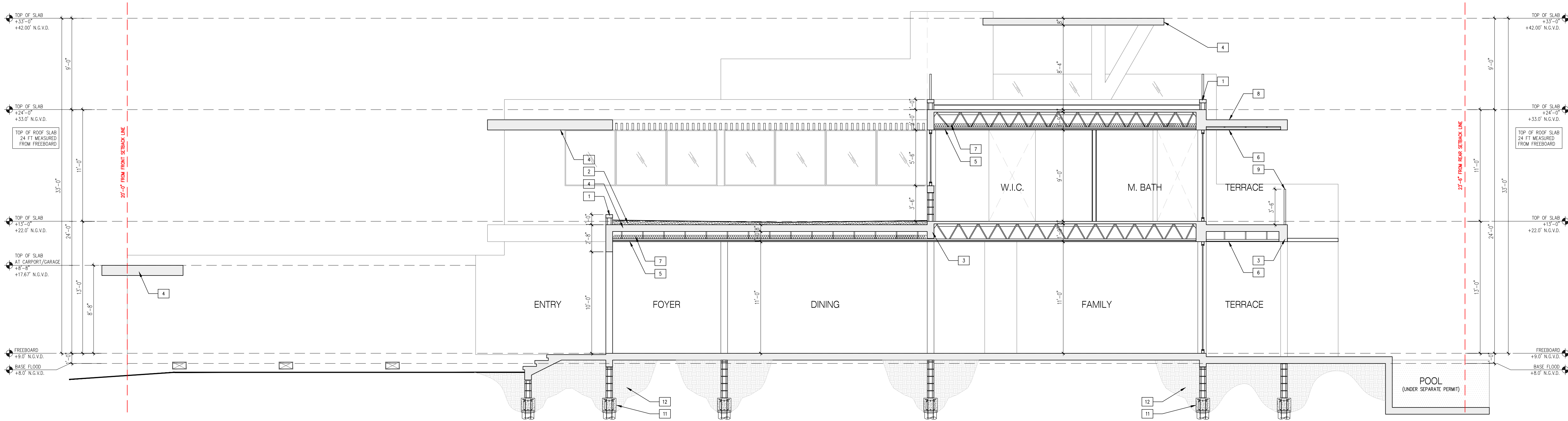
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DATE: 09-26-2021

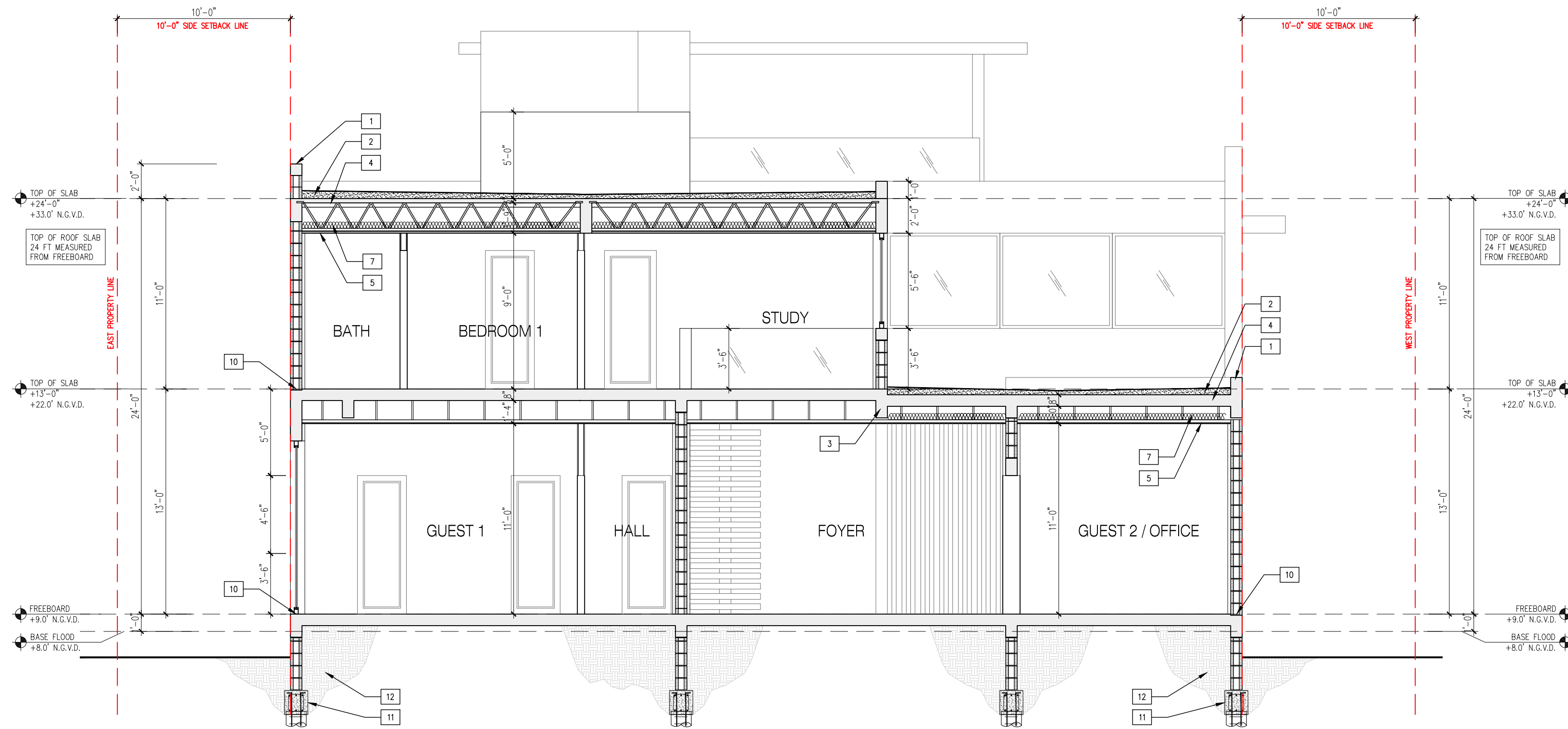
SHEET NUMBER

**A-4.1**





1 SECTIONS  
3/16"=1'-0"



2 SECTIONS  
3/16"=1'-0"

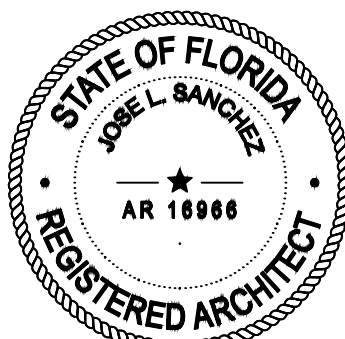
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**praxis.**  
architecture . design

JOSE L. SANCHEZ, AIA, LEED AP  
278 NW 37TH ST. MIAMI, FL 33127  
P 305.578.8043 PRAXISARCH.COM  
FL LIC: AR 0016946 FL LIC: AA 24000837



Jose L. Sanchez  
Digitally signed by Jose L. Sanchez  
DN: cn=Jose L. Sanchez, o=JLS, email=jls@praxisarch.com, c=US  
Date: 2022.09.26 17:42:28 -0400

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ADDRESS & OWNER

**NEW RESIDENCE**  
1610 BAY DRIVE  
MIAMI BEACH, FLORIDA. 33141  
**OWNER:**

REVISION & DATE

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DRAWING TITLE

SECTIONS

SCALE: AS SHOWN  
DATE: 09-26-2021

SHEET NUMBER

A-4.2