



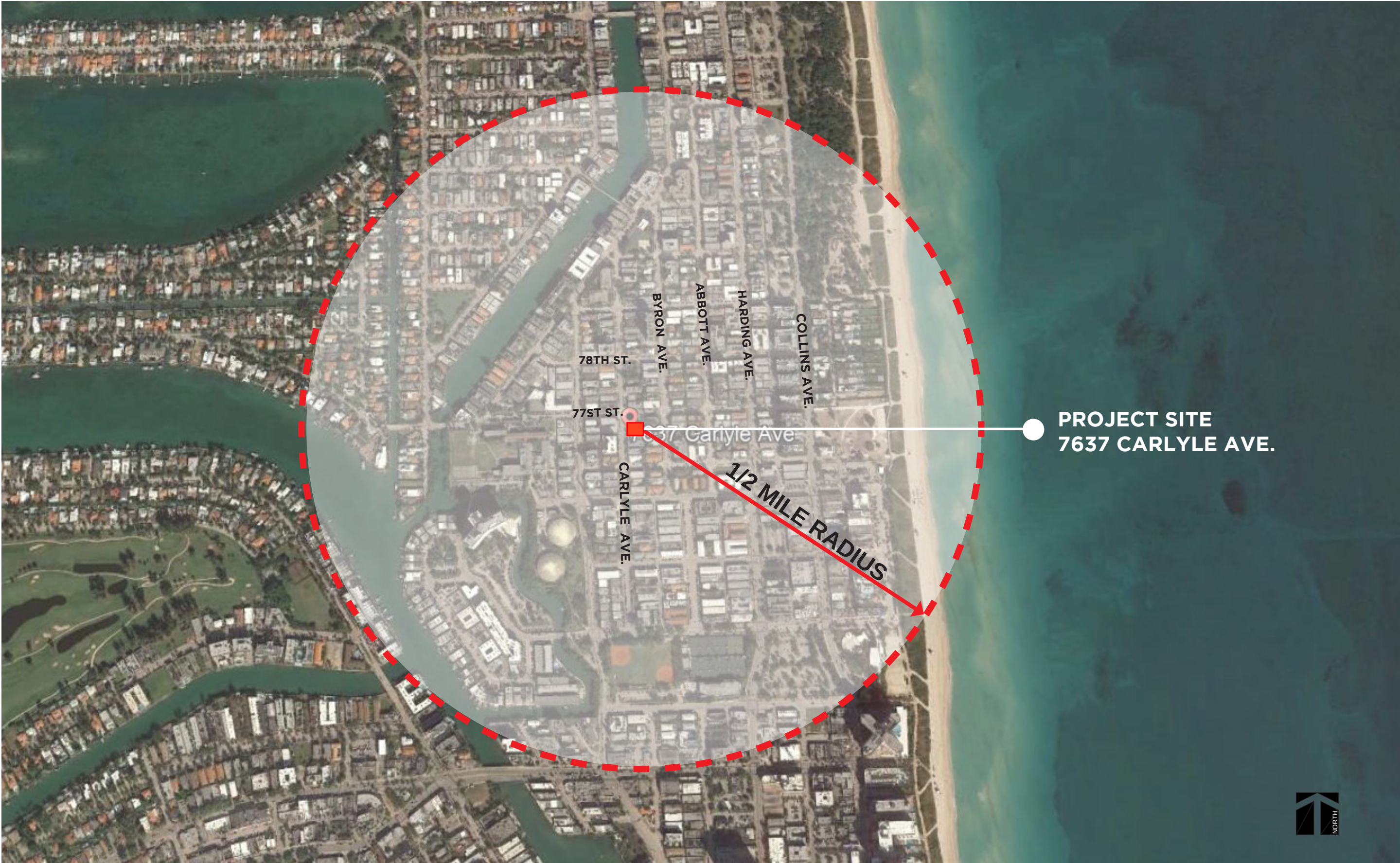
7637 Carlyle Ave., Miami Beach, FL

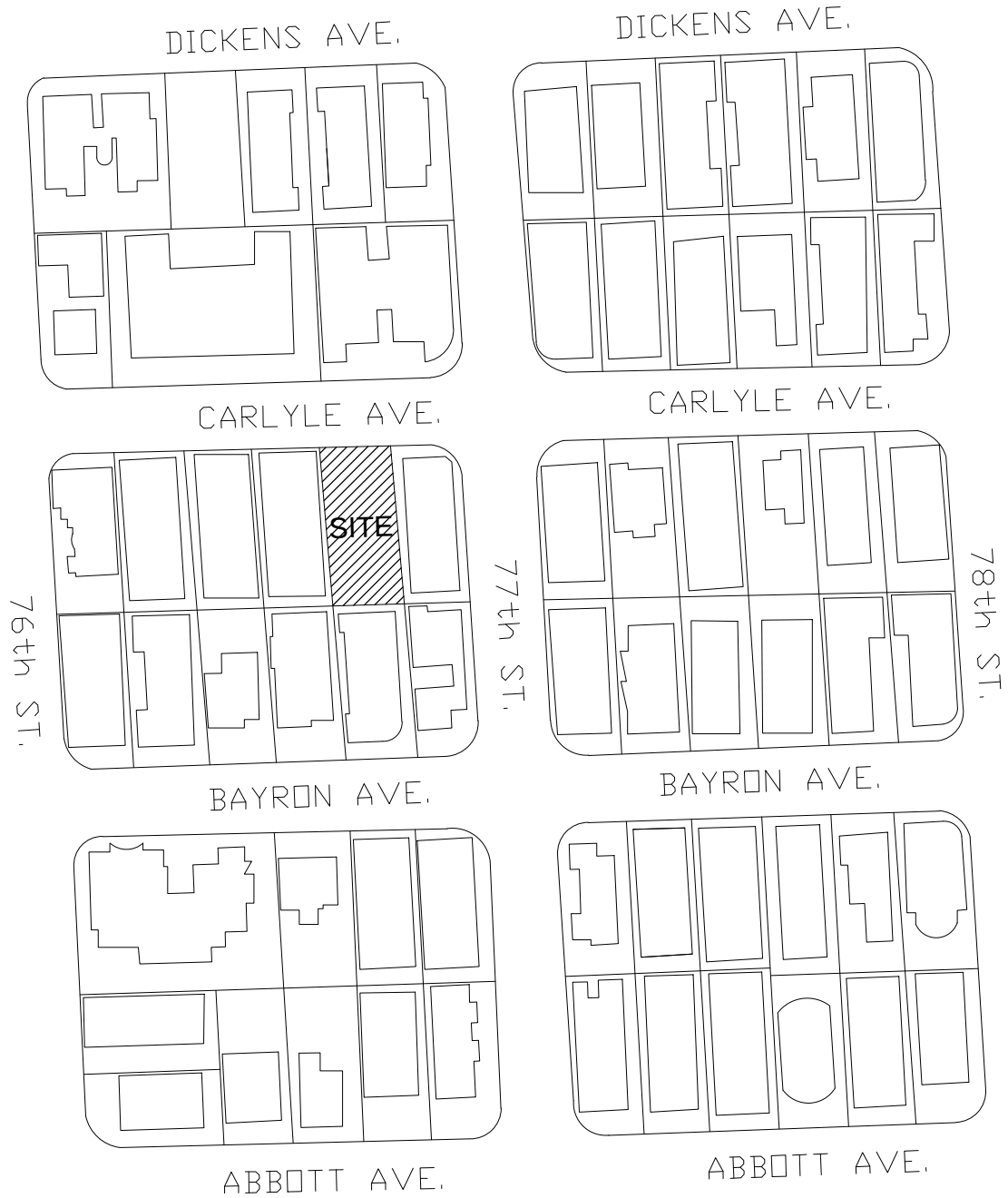
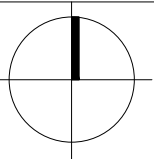
7 TOWNHOUSES PROJECT | NEW 4 STORIES TOWNHOUSES PROJECT, 7 UNITS: 5 UNITS(2 BEDROOMS, 2.5 BATHS.), 1 UNIT (1 BEDROOM, 1 BATH.), 1 UNIT (2 BEDROOMS, 2 BATHS.) AND ROOF TOP TERRACES, 5 PARKING SPACES. C.B.S. CONSTRUCTION.

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LOCATION MAP

PROJECT DESCRIPTION

THE NEW THREE & FOUR STORY MULTI-FAMILY (R-2 OCCUPANCY) BUILDING COMPRISED OF WALK-UP FLATS, LOCATED AT 7637 CARLYLE AVE., MIAMI BEACH, FLORIDA, SHALL HAVE A TOTAL OF 7 UNITS IN AN AREA OF 7012.50 SQFT. THE UNITS WILL HAVE THE FOLLOWING PROVISIONS: 5 UNITS WITH 2 BEDROOMS AND 2.5 BATHROOMS, 1 UNIT WITH 1 BEDROOM AND 1.5 BATHROOM AND 1 UNIT WITH 2 BEDROOMS AND 2 BATHROOMS.

ALL THE UNITS SHALL BE ACCESSED AT GROUND LEVEL FROM CARLYLE AVE. THERE WILL BE A TOTAL OF 5 PARKING SPACES.

LEGAL DESCRIPTION		
FOLIO: 02-3202-007-1760 ALTOS DEL MAR NO 3 PB 8-41 LOT 2 BLK 22 LOT SIZE 50.000 X 113 OR 18813-2953 08 1999 4 PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA		
ZONING: RM-1		
LOT SIZE: 5,625 S.F. / TOTAL AREA OF BLDG: 7,686 S.F.		
ZONING INFORMATION		
ZONING	RM-1	
No. OF UNITS	7	
LOT AREA	5,625 SQFT.	
F.A.R.	1.25	
TOTAL ALLOWABLE AREA No. OF STORIES BUILDING HEIGHT	REQUIRED	PROVIDED
	7031,25 SQFT. 5 STORIES MAX. 50'-0"	7012.50 SQFT. (TOTAL AREA OF BLG) 4 STORIES 44'-6" TOP OF ROOF SLAB TO GRADE
SET BACKS	REQUIRED	PROVIDED
	FRONT 10'-0"	10'-0"
	SIDE 5'-0"	7'-6"
	SIDE 5'-0"	5'-6"
	REAR 5'-0"	7'-6"
PARKING 1.5 SPACES PER UNIT	REQUIRED	PROVIDED
	-	5 PARKING SPACES



LOCATION MAP



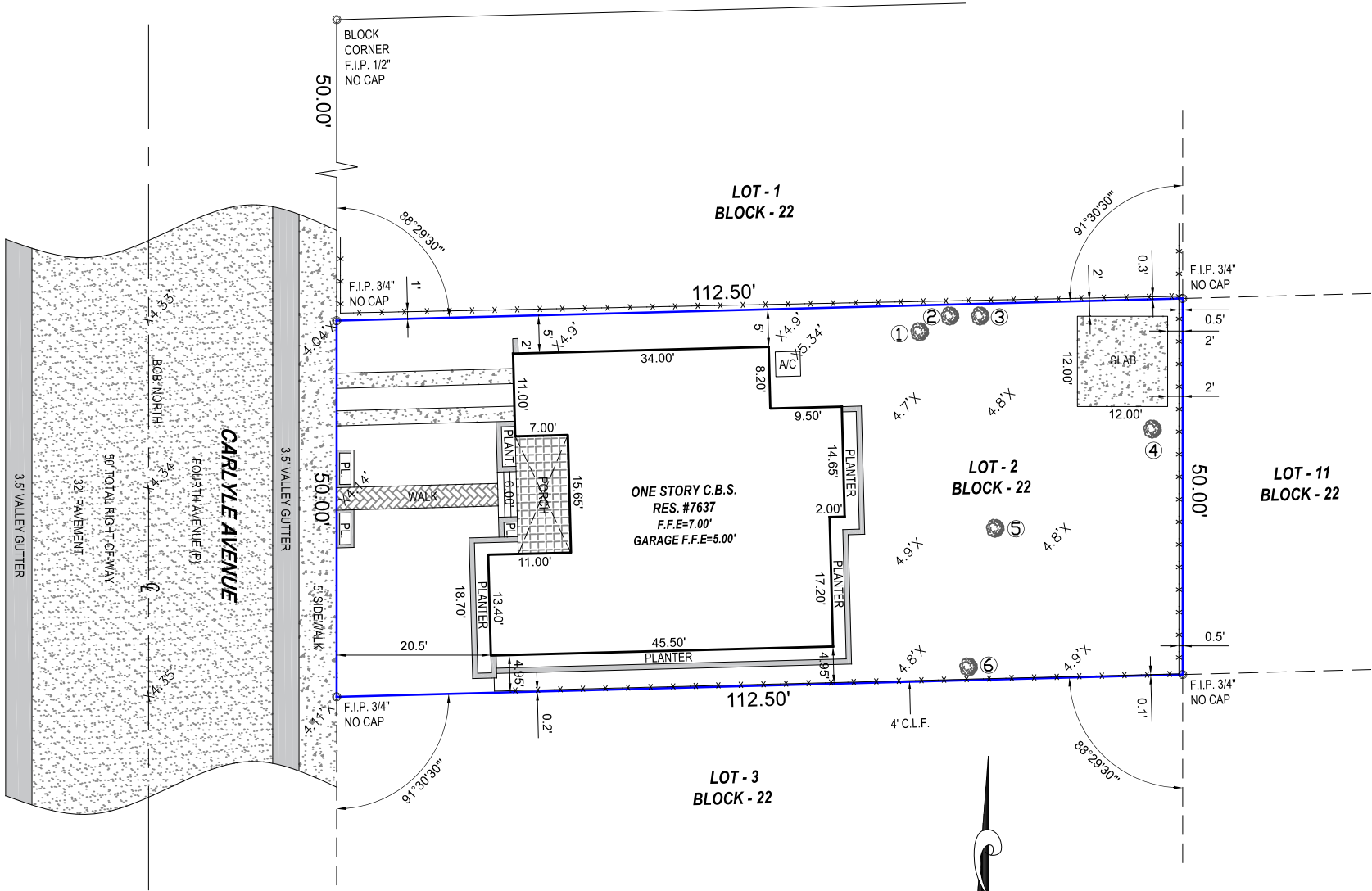
MAP OF BOUNDARY, TOPOGRAPHIC & TREE SURVEY

CERTIFICATE OF AUTHORIZATION # LB-8023
Survey Pros, Inc.
4348 SW 74TH AVENUE, MIAMI, FL. 33155
Tel: 305.767.6802
www.survey-pros.com

LEGEND
ABBREVIATIONS:
A = ARC DISTANCE
AC = AIR CONDITIONER PAD
BCR = BROWARD COUNTY RECORDS
BLDG = BUILDING
BM = BENCH MARK
BOB = BASIS OF BEARINGS
CBS = CONCRETE BLOCK & STUCCO
(C) = CALCULATED
C&G = CURB & GUTTER
CLF = CHAIN LINK FENCE
COL = COLUMN
D.E. = DRAINAGE EASEMENT
D.M.E. = DRAINAGE & MAINTENANCE EASEMENT
D/W = DRIVEWAY
EB = ELECTRIC BOX
ENC. = ENCROACHMENT
EP = EDGE OF PAVEMENT
EW = EDGE OF WATER
FDH = FOUND DRILL HOLE
FFE = FINISHED FLOOR ELEVATION
FIP = FOUND IRON PIPE (NO ID)
FIR = FOUND IRON ROD (NO ID)
FN = FOUND NAIL (NO ID)
FPL = FLORIDA POWER & LIGHT TRANSFORMER PAD
L.E. = LANDSCAPE EASEMENT
L.M.E. = LAKE MAINTENANCE EASEMENT
(M) = MEASURED
MDCR = MIAMI-DADE COUNTY RECORDS
MH = MAN HOLE
ML = MONUMENT LINE
(P) = PLAT
PB = PLAT BOOK
PC = POINT OF CURVATURE
PCP = PERMANENT CONTROL POINT
PE = POOL EQUIPMENT PAD
PG = PAGE
PI = POINT OF INTERSECTION
PL = PLANTER
POB = POINT OF BEGINNING
POC = POINT OF COMMENCEMENT
PRC = POINT OF REVERSE CURVATURE
PRM = PERMANENT REFERENCE MONUMENT
PT = POINT OF TANGENCY
R = RADIUS DISTANCE
(R) = RECORD
R/W = RIGHT-OF-WAY
RES = RESIDENCE
SIP = SIP LB#8023
SND = SET NAIL & DISK LB#8023
STL = SURVEY TIE LINE
SWK = SIDEWALK
(TYP) = TYPICAL
UB = UTILITY BOX
U.E. = UTILITY EASEMENT
W/F = WOOD FENCE

SYMBOLS:
[Symbol] = TELEPHONE RISER
[Symbol] = CABLE TV RISER
[Symbol] = WATER METER
X 0.00 = ELEVATION
(00') = ORIGINAL LOT DISTANCE
Δ = CENTRAL ANGLE
C = CENTER LINE
[Symbol] = WATER VALVE
[Symbol] = CURB INLET
[Symbol] = FIRE HYDRANT
[Symbol] = LIGHT POLE
[Symbol] = CATCH BASIN
[Symbol] = UTILITY POLE
[Symbol] = DRAINAGE MANHOLE
[Symbol] = SEWER MANHOLE
[Symbol] = METAL FENCE
[Symbol] = WOOD FENCE
[Symbol] = CHAIN LINK FENCE
[Symbol] = EASEMENT
[Symbol] = BOUNDARY LINE
[Symbol] = OVERHEAD UTILITY LINE

ASPHALT CONCRETE PAVERS/ BRICK TILES COVERED AREA

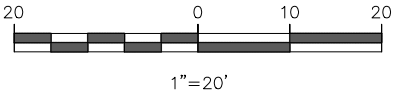


TREE INFORMATION:

NO	NAME	DBH(ø)	HT.	CANOPY
1	MANGROVE	1.0'	15'	20'
2	SAPODILLA	1.0'	12'	15'
3	UNKNOWN	0.8'	18'	15'
4	UNKNOWN	1.0'	22'	30'
5	MANGO	2.0'	25'	40'
6	UNKNOWN	0.8'	20'	22'

IN CASE OF A DISPUTE AN ARBORIST REPORT WILL GOVERN.

GRAPHIC SCALE



SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY DIRECTION AND MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA STATE BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTE.

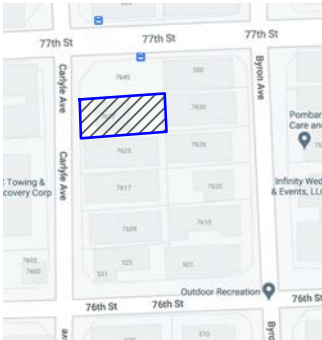


AUTHENTIC COPIES OF THIS SURVEY SHALL BEAR THE ORIGINAL SIGNATURE AND RAISED SEAL OF THE ATTESTING REGISTERED SURVEYOR AND MAPPER

N. Del Vento

NICOLAS DEL VENTO
PROFESSIONAL SURVEYOR & MAPPER
STATE OF FLORIDA LIC. # 6945

LOCATION MAP:
NOT TO SCALE



PROPERTY ADDRESS:

7637 CARLYLE AVENUE, MIAMI BEACH, FL. 33141

LEGAL DESCRIPTION:

LOT 2, BLOCK 22, ALTOS DEL MAR NO.3, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 41, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

FLOOD ZONE INFORMATION:

THE GRAPHICALLY DEPICTED BUILDING(S) SHOWN ON THIS MAP OF SURVEY IS WITHIN ZONE AE BASE FLOOD ELEVATION 8
COMMUNITY NAME & NUMBER CITY OF MIAMI BEACH 120651
MAP & PANEL NUMBER 12086C0326 SUFFIX L

SURVEYOR'S NOTES:

- ELEVATIONS WHEN SHOWN REFER TO 1929 NATIONAL GEODETIC VERTICAL DATUM (NGVD 1929).
- NO ATTEMPT WAS MADE TO LOCATE FOOTINGS/FOUNDATIONS, OR UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
- THE LANDS SHOWN HEREON HAVE NOT BEEN ABSTRACTED IN REGARDS TO MATTERS OF INTEREST BY OTHER PARTIES, SUCH AS EASEMENTS, RIGHTS OF WAYS, RESERVATIONS, ETC. ONLY PLATTED EASEMENTS ARE SHOWN.
- THIS SURVEY WAS PREPARED FOR AND CERTIFIED TO THE PARTY(IES) INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE WITHOUT WRITTEN CONSENT OF THIS FIRM.
- ALL BOUNDARY LIMIT INDICATORS SET ARE STAMPED LB# 8023.
- THE BOUNDARY LIMITS ESTABLISHED ON THIS SURVEY ARE BASED ON THE LEGAL DESCRIPTION PROVIDED BY THE CLIENT OR ITS REPRESENTATIVE.
- FENCE OWNERSHIP IS NOT DETERMINED.
- ADDITIONS OR DELETIONS TO THIS SURVEY MAP AND/OR REPORT BY SOMEONE OTHER THAN THE SIGNING PARTY(IES) IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY(IES).
- BEARINGS WHEN SHOWN ARE TO AN ASSUMED MERIDIAN. THE CENTERLINE OF CARLYLE AVENUE HAS BEEN ASSIGNED A BEARING OF NORTH.

BENCHMARK INFORMATION:

NAME: D-180
ELEVATION(NGVD1929): 3.51
LOCATION1: 81 ST-30' SOUTH OF C/L
LOCATION2: BYRON AVE-46' EAST OF C/L
DESCRIPTION: PK NAIL AND ALUMINUM WASHER IN CONC SIDEWALK NEXT TO FIRE HYDRANT

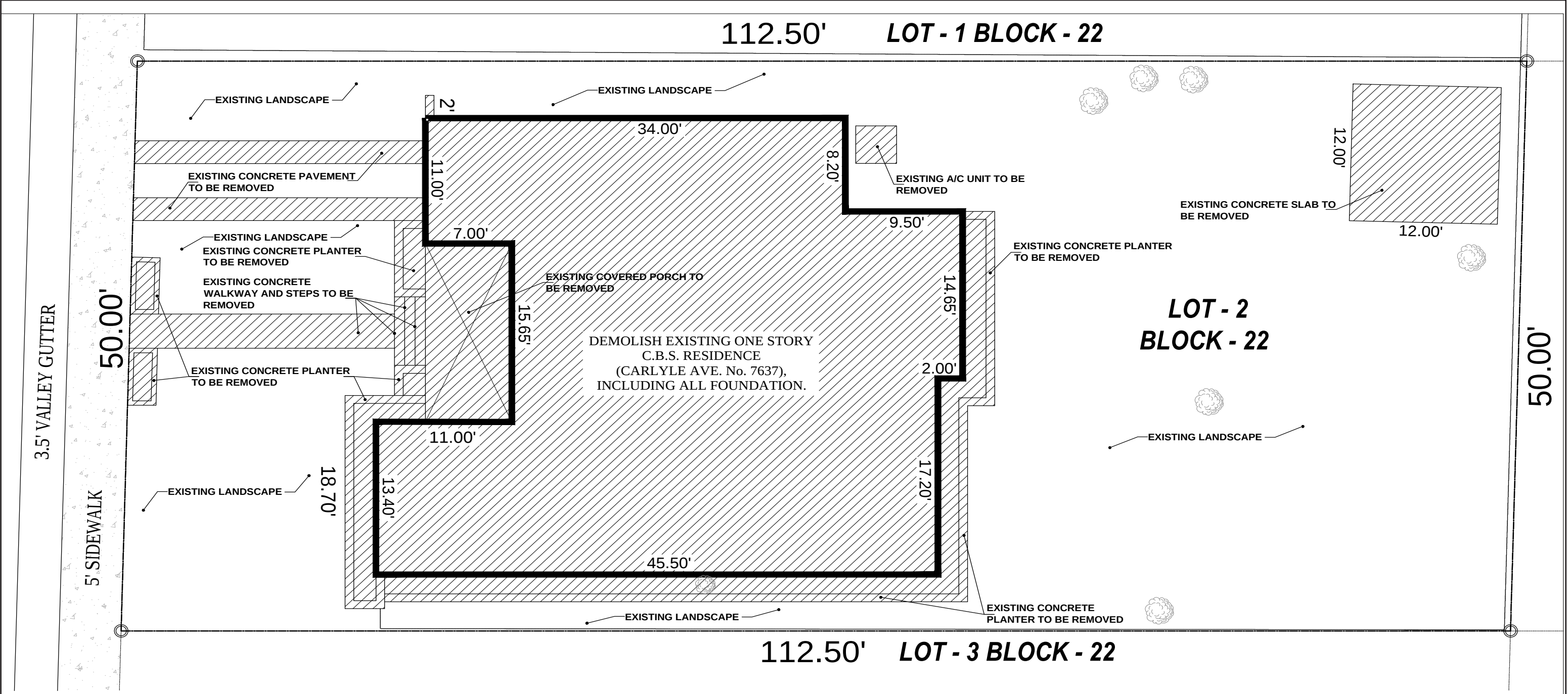
CERTIFIED TO:

CARLYLE PROPERTY HOLDINGS, LLC, A DELAWARE LIMITED LIABILITY COMPANY

REVISION(S):

07/23/2021 - UPDATED SURVEY, JOB#21076883

DATE OF ORIGINAL
FIELD WORK: 11/13/2020
JOB#: 20115915
DRAWN BY: NICK
CAD FILE: CARLYLE
SHEET 1 OF 1



DEMOLITION PLAN

SCALE 1/8" = 1'-0"



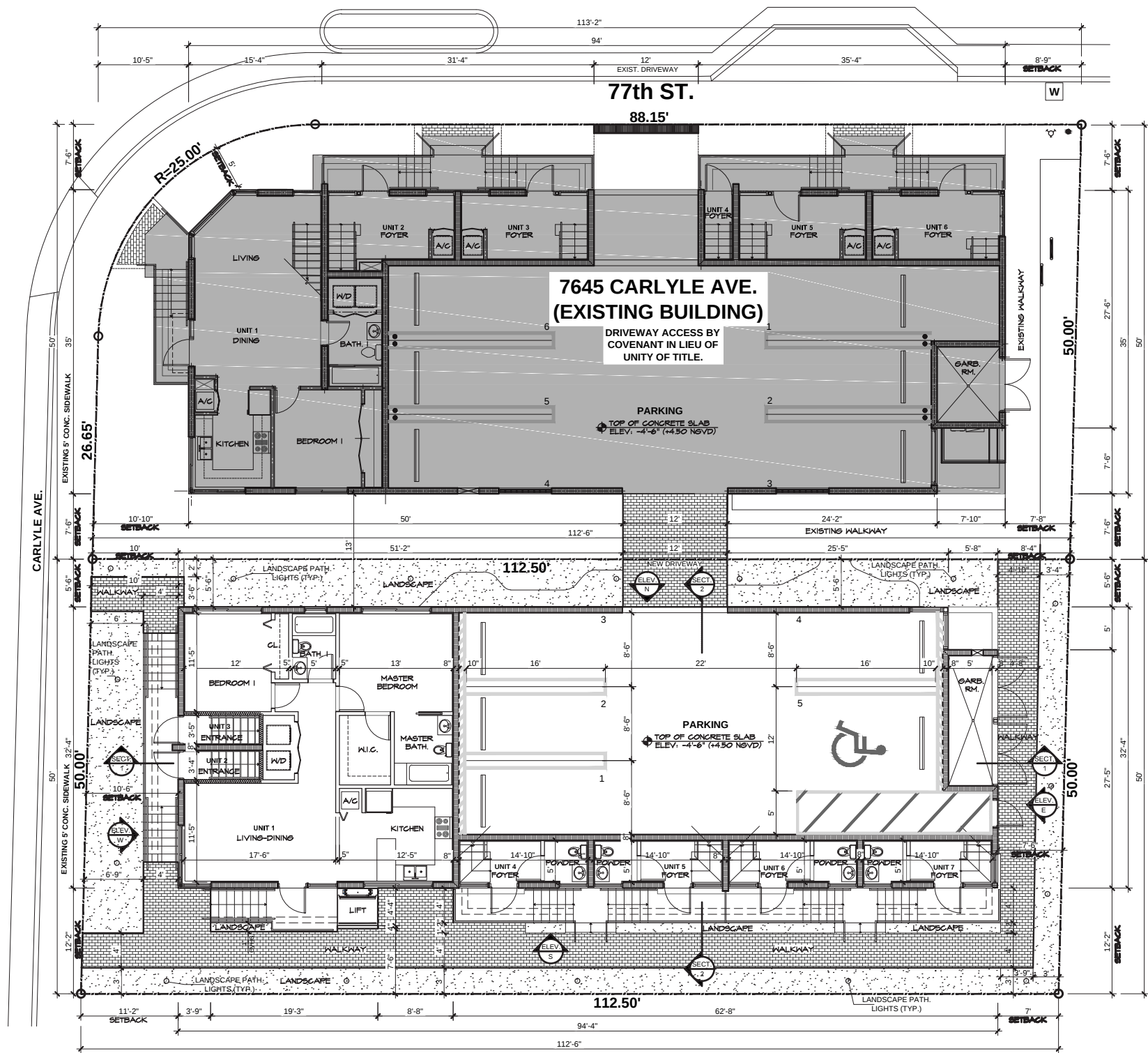
GUSTAVO J. RAMOS ARCHITECTURE | PLANNING | INTERIORS
8935 NW 35th LN. STE. # 204, DORAL, FL 33172 | PHONE 305 599 4947

DEMOLITION GENERAL NOTES:

- 1-CONTRACTOR IS TO COORDINATE & PHASE THE REMOVAL OF AREAS, WALKWAY SLABS, LANDSCAPE, AND OTHERS WHICH AFFECT THE ACCESS TO THE PROPERTY.
2. CONTRACTOR SHALL VERIFY WITH ALL UTILITIES, COMPANIES (GAS, ELECT, PHONE, WATER ETC.) AND STAKE OUT IN THE FIELD ALL UNDERGROUND UTILITIES KNOWN OR ENCOUNTERED BEFORE PROCEEDING WITH ANY EXCAVATION WORK. OWNER SHALL NOT AUTHORIZE ANY IMPROVEMENT AND OR DEMOLITION WORK UNTIL PERMIT IS SECURED FROM AGENCIES HAVING JURISDICTION.
3. DEMOLITION CONTRACTOR SHALL COMPLY WITH THE WITH FBC 2020 AND ALL APPLICABLE LOCAL, STATE & FEDERAL REGULATIONS.
4. COORDINATE ALL DEMOLITION W/NEW CONSTRUCTION PLANS FOR PHASING PURPOSES
5. PROPER DISPOSAL OF ALL WASTE MATERIALS SHALL BE BY THE GENERAL CONTRACTOR. ALL INDIVIDUAL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR PROPER DISPOSAL OF WASTE MATERIALS DUE TO THEIR RESPECTIVE ACTIVITIES.
6. THE GENERAL CONTRACTOR SHALL PROVIDE AL LABOR, MATERIALS, SUPPLIES, EQUIPMENT, AND SERVICES TO INCLUDE BUT NOT LIMITED TO GENERAL CONSTRUCTION, ELECTRICAL, PLUMBING, HVAC WORK, ETC. REQUIRED FOR COMPLETE AND OPERATIONAL AS SHOWN AND OR INDICATED ON THESE DRAWINGS.
7. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSABILITY OF THE CONTRACTOR. NOTED DIMENSIONS TAKES PRECEDENCE OVER SCALE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AT ONCE BEFORE PROCEEDING WITH WORK.
8. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL WORK PROVIDED BY THE SUBCONTRACTORS OF THE VARIOUS TRADES.
9. ALL WORK TO BE IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE AND DADE COUNTY ORDINANCES.
10. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO SECURE ALL APPLICABLE PERMITS, LICENSES, AND PAY ALL NECESARY FEES IN PERFORMING THIS CONTRACT.
11. CONTRACTOR AND SUBCONTRACTOR SHALL COMPLETELY FAMILIARIZE THEMSELVES WITH EXISTING SITE CONDITIONS AT THE TIME OF BIDDING.

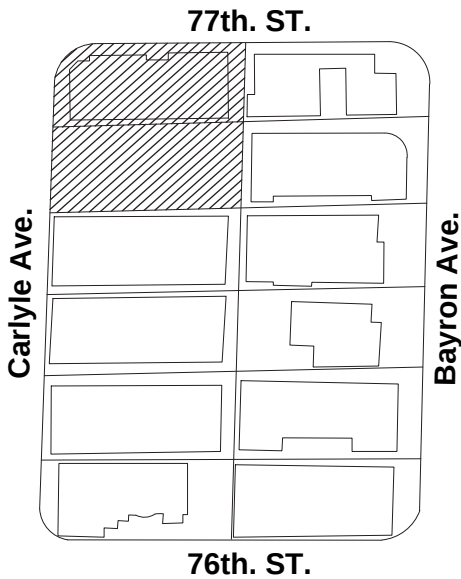






SITE PLAN

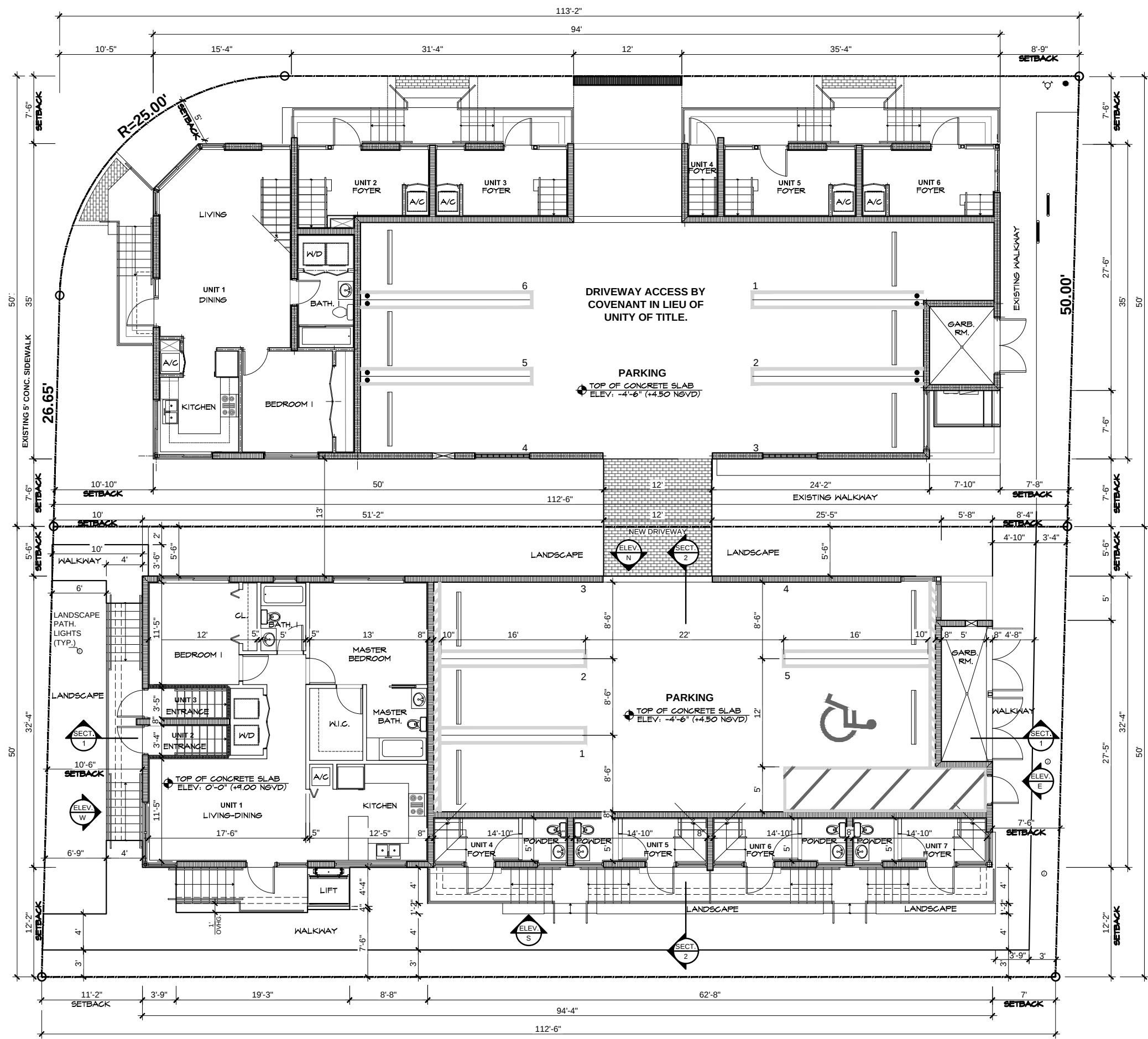
SCALE 1/16" = 1'-0"



LOCATION MAP

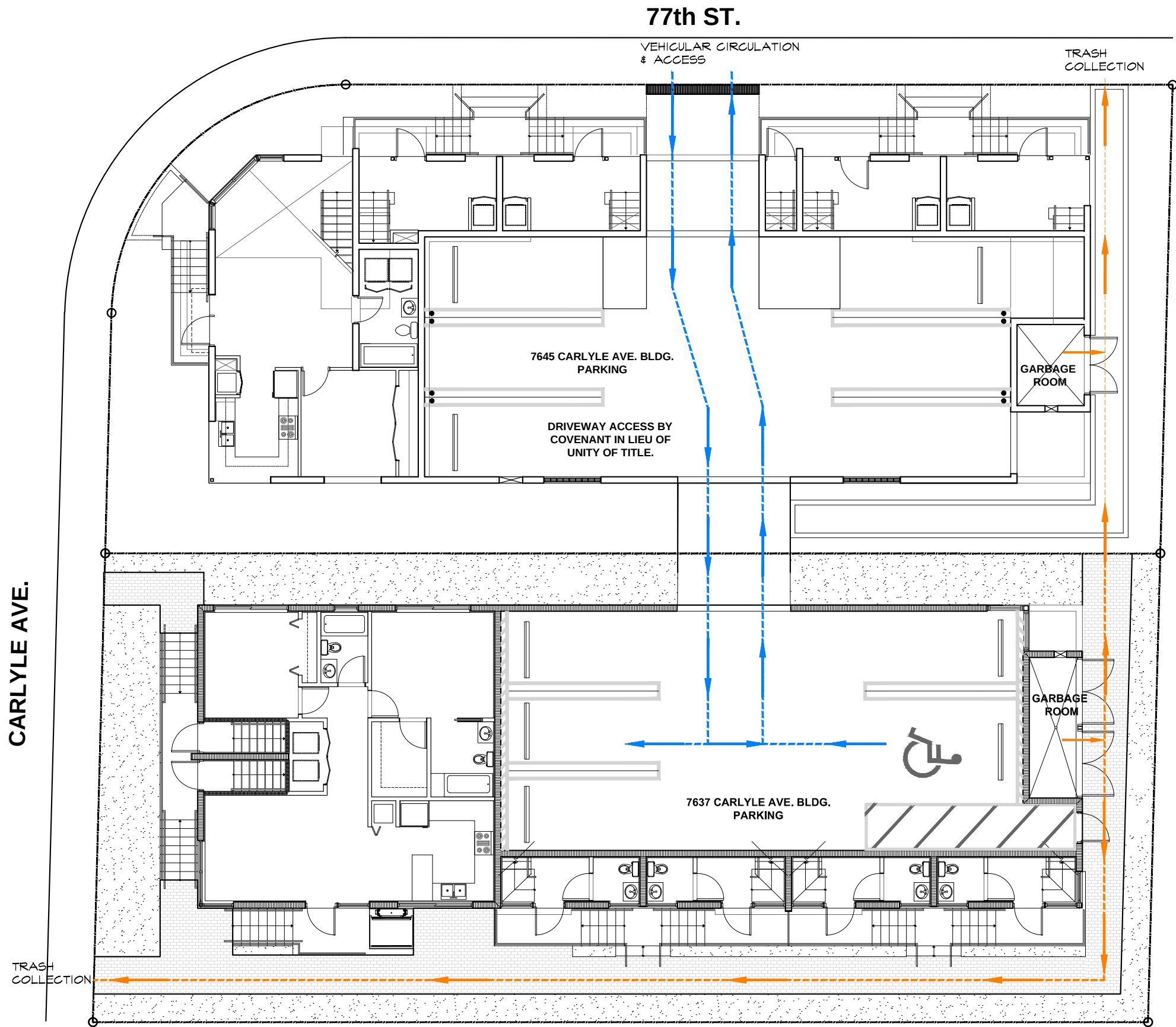
ZONING INFORMATION		
ZONING	RM-1	
No. OF UNITS	6 EXISTING UNITS + 7 PROPOSED UNITS	
TOTAL	13 UNITS	
LOT AREA	5,625 SQ.FT. 7637 CARLYLE AVE. (NEW PROJECT)	5,497 SQ.FT. 7645 CARLYLE AVE.(EXIST. PROJECT)
TOTAL	11,122 SQ.FT.	
F.A.R.	1.25	
LOT COVERAGE	REQUIRED	PROVIDED
	45% OF THE LOT AREA	6,327 SQ.FT. (57%)
TOTAL ALLOWABLE AREA	REQUIRED	PROVIDED
	7031,25 SQFT.	7012.50 SQFT. (TOTAL AREA OF NEW PROJ.)
No. OF STORIES	5 STORIES MAX.	4 STORIES
BUILDING HEIGHT	50'-0"	44'-6" TOP OF ROOF SLAB TO GRADE
SET BACKS	REQUIRED	PROVIDED
FRONT	10'-0"	10'-0"
SIDE	10'-0"	12'-2"
SIDE	5'-0"	7'-6" (EXIST. BUILDING).
REAR	5'-0"	7'-6"
PARKING	REQUIRED	PROVIDED
1 SPACES PER UNIT	13 PARKING SPACES	EXIST. BUILDING: 6 PARKING SPACES NEW BUILDING: 5 PARKING SPACES. TOTAL: 11 PARKING SPACES.





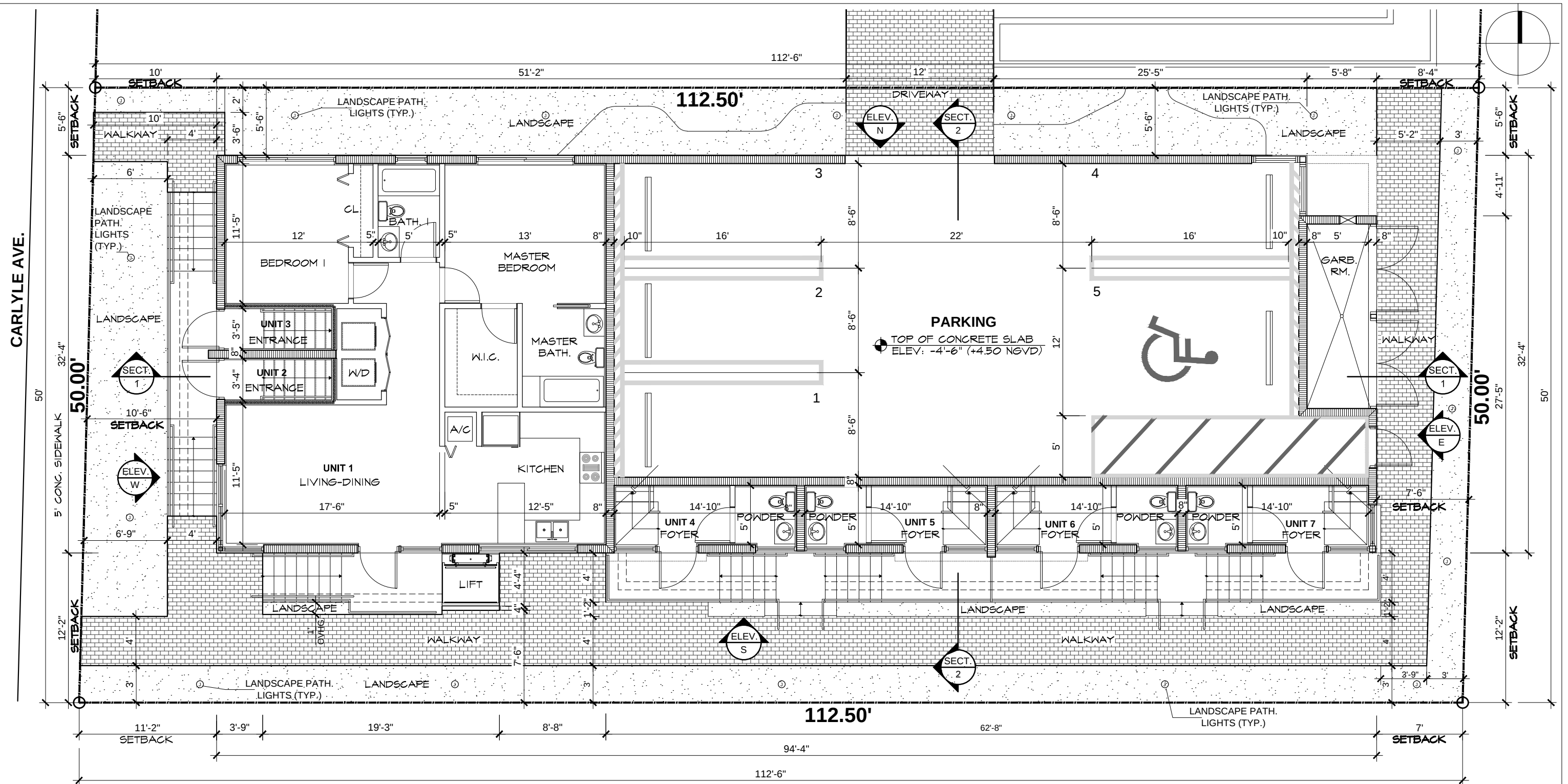
7645 & 7637
GROUND
FLOOR PLAN

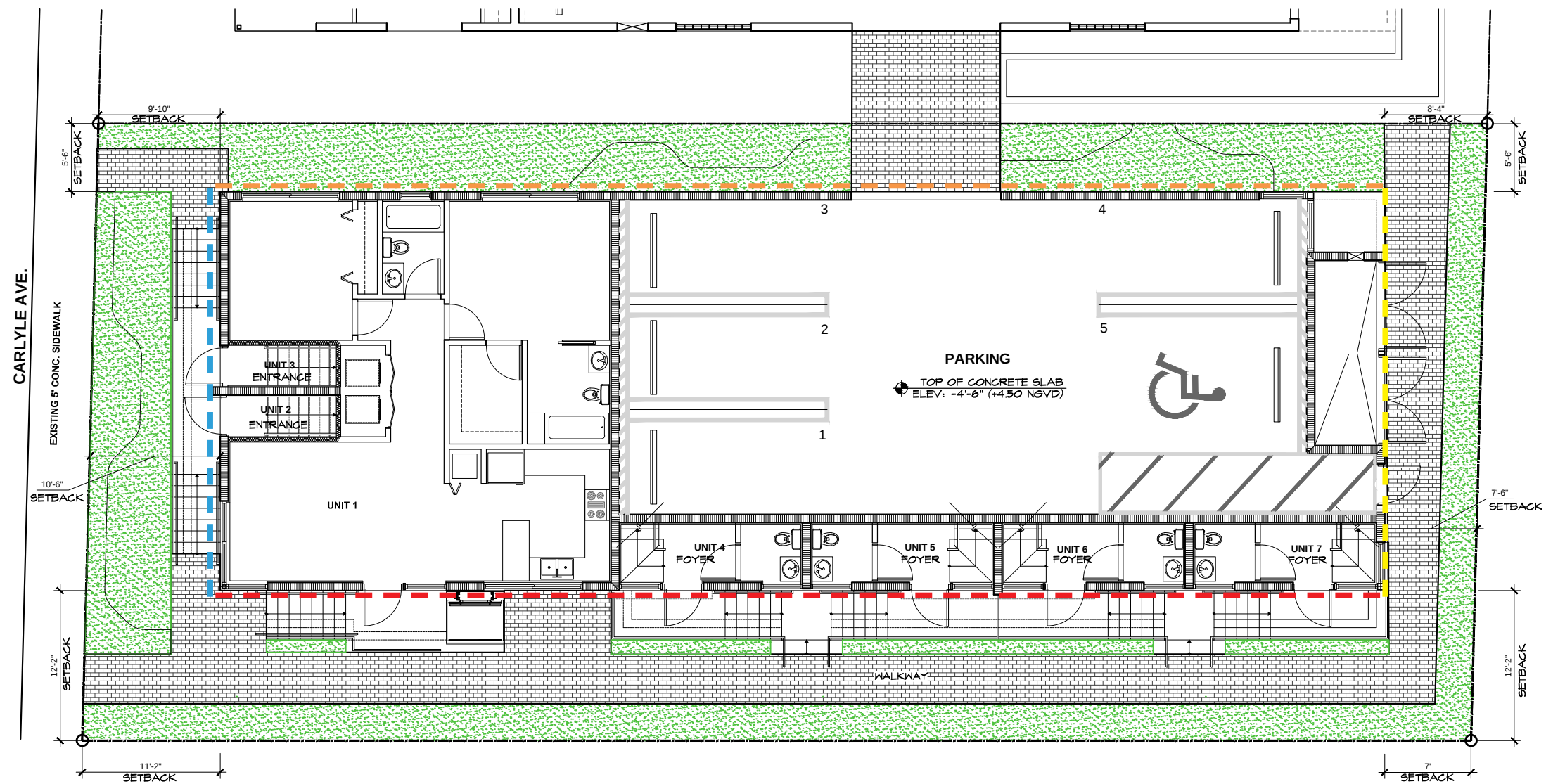
SCALE 1/16" = 1'-0"



VEHICULAR
CIRCULATION
AND TRASH
COLLECTION
DIAGRAM

SCALE 1/8" = 1'-0"





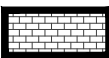
HARDSCAPED AREA:

(TOTAL LOT AREA: 5,625 SQ.FT.)
- HARDSCAPED AREA PROVIDED: 820 SQ.FT. (14.57%)

LANDSCAPED AREAS:

(TOTAL LOT AREA: 5,625 SQ.FT.)
- TOTAL LANDSCAPED AREA PROVIDED: 1255 SQ.FT. (22.31%)

TOTAL HARDSCAPED AREA: 820 SQ.FT.
TOTAL LANDSCAPED AREA: 1255 SQ.FT.

-  ALL NATURALLY LANDSCAPED AREAS
-  HARDSCAPED AREAS

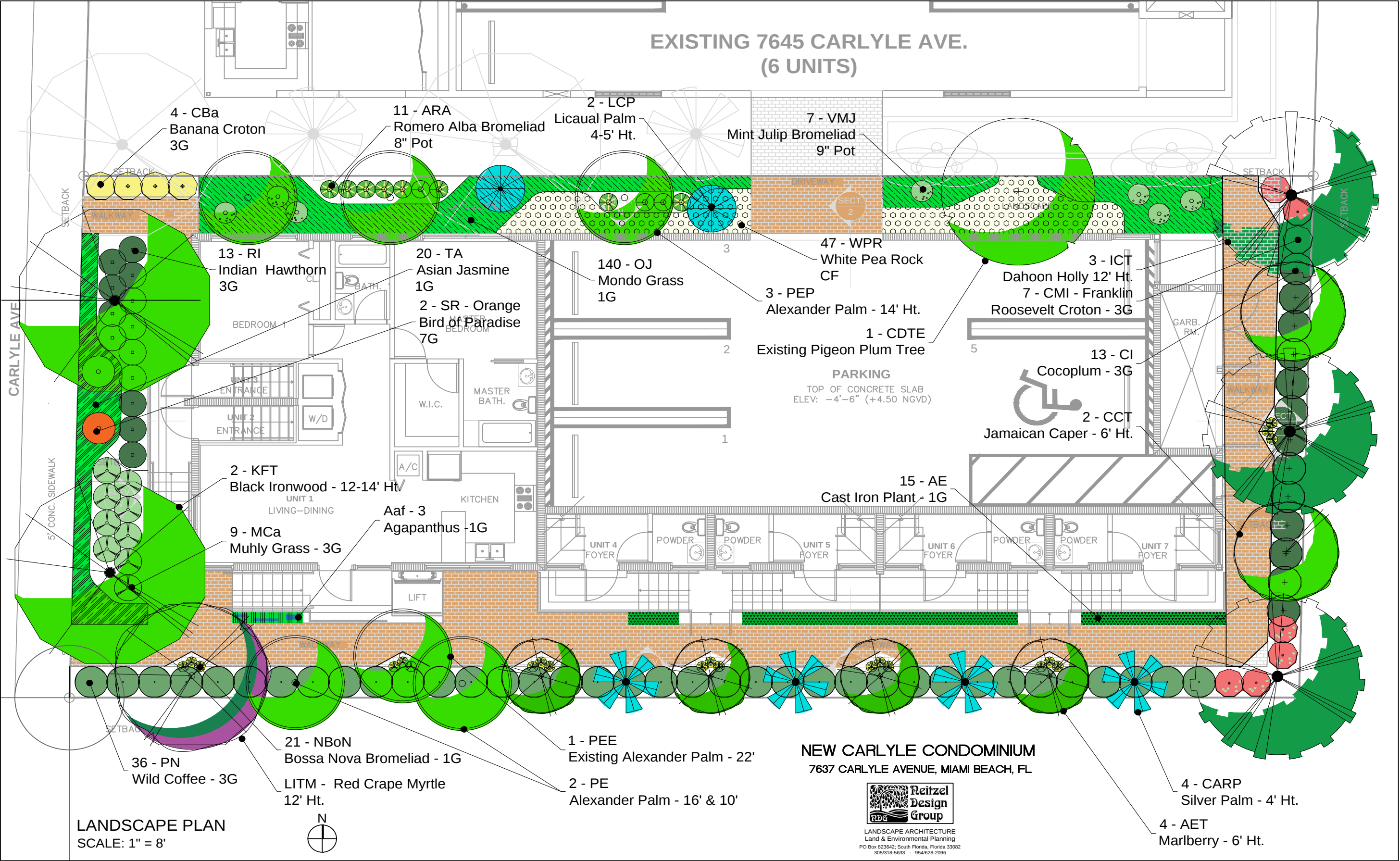
REQUIRED SETBACK

-  20' MIN. - FRONT
-  7' 6" MIN. - SIDE
-  7' 6" MIN. - SIDE
-  10% MIN. - REAR

**LANDSCAPED AND
HARDSCAPED
AREAS DIAGRAM**

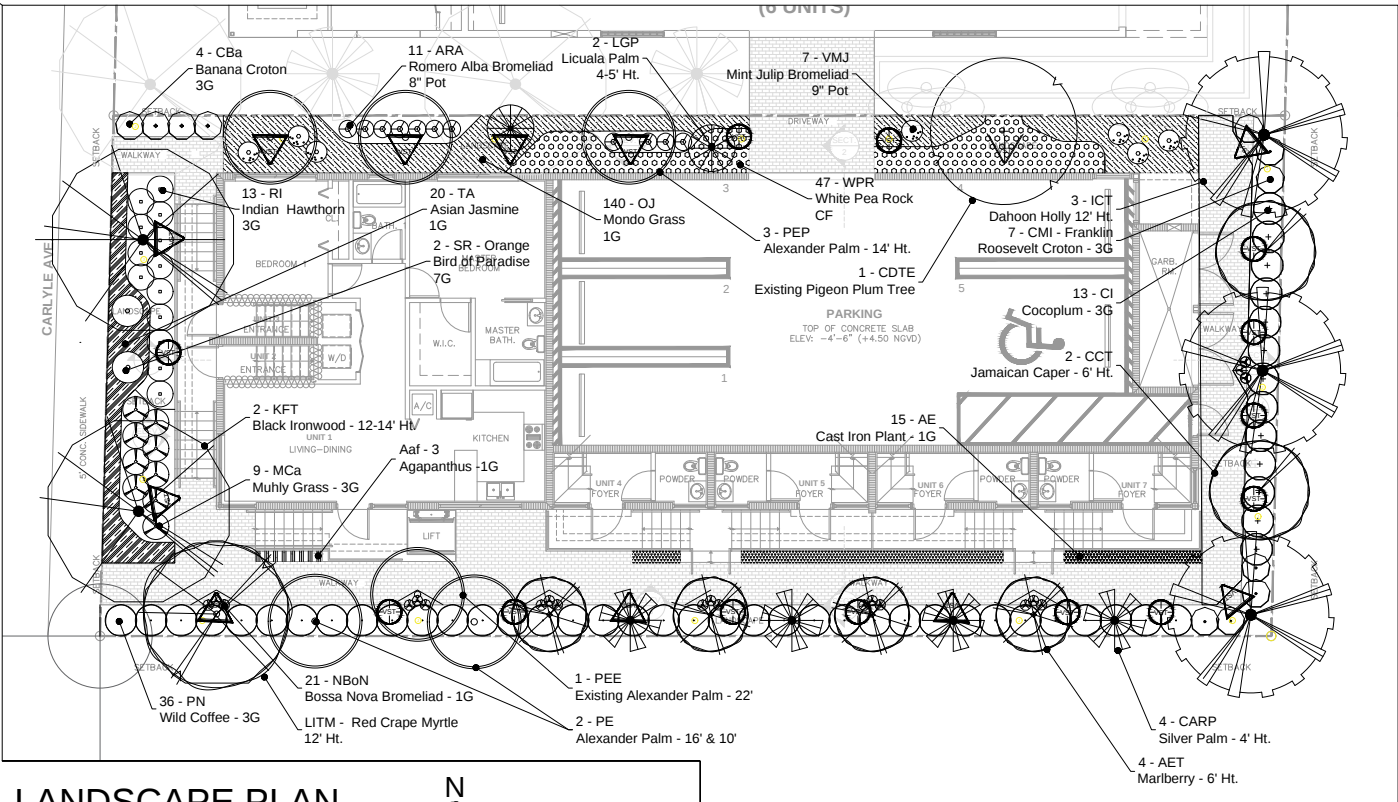
SCALE $\frac{3}{32}" = 1'-0"$





7637 CARLYLE AVE., MIAMI BEACH, FL | LANDSCAPE / LIGHTING PLAN

13



LANDSCAPE PLAN
SCALE: 1" = 8'

CITY OF MIAMI BEACH
LANDSCAPE LEGEND

INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS
Zoning District RM-1 Lot Area 13 Acres 5650

	REQUIRED/ ALLOWED	PROVIDED
A. OPEN SPACE Square feet of required Open Space as indicated on site plan: Lot Area = 5650 s.f. x 30 % = 1695 s.f.	1695	
B. Square feet of parking lot open space required as indicated on site plan: Number of parking spaces 0 x 10 s.f. parking space =	0	0
C. Total square feet of landscaped open space required: A+B=	1695	

LAWN AREA CALCULATION
A. Square feet of landscaped open space required
B. Maximum lawn area (50%) permitted= 30 % x 1695 s.f.

	REQUIRED/ ALLOWED	PROVIDED
A. Number of trees required per lot or net lot acre, less existing number of trees meeting minimum requirements: 29 trees x .13 net lot acres - number of existing trees=	4	5
B. % Natives required: Number of trees provided x 30% =	3	6
C. % Low maintenance / drought and salt tolerant required: Number of trees provided x 50%=	4	7
D. Street Trees (maximum average spacing of 20' o.c.) 50 linear feet along street divided by 20' =	3	2
E. Street tree species allowed directly beneath power lines: (maximum average spacing of 20' o.c.): 152.42 linear feet along street divided by 20' =	N/A	N/A

SHRUBS
A. Number of shrubs required: Sum of lot and street trees required x 12= 84
B. % Native shrubs required: Number of shrubs provided x 50%= 42

	REQUIRED/ ALLOWED	PROVIDED
A. Number of large shrubs or small trees required: Number of required shrubs x 10%= 9	9	6
B. % Native large shrubs or small trees required: Number of large shrubs or small trees provided x 50%= 5	5	6

Miami Beach Landscape Plant List														
TREES AND PALMS														
LKEY	NEW	EXISTING	BOTANICAL	COMMON	HEIGHT	CANOPY	CALIPER	MATURE-HT	MATURE-CAN	NATIVE(Y)	NATIVE(N)	QUANTITY	CONTAINER	DROUGHT-TOL
CARP	X		Coccothrinax argentata	Silver Palm	4'			15'		X		4	30 Gallon	High
CDTE		X	Coccoloba diversifolia	Pigeon Plum	21'	15'	10"	50'	30'	X		1	N/A	High
ICT	X		Ilex cassine	Dahoon Holly	12-14'		3"	30'		X		3	45 Gallon	High
KFT	X		Krugiodendron ferreum	Black Ironwood	12'		2 1/2"	20'		X		2	45 Gallon	High
LIT-M	X		Lagerstroemia indica 'Muskogee'	Muskogee Crape Myrtle	12'		2 1/2"	20'			X	1	45 Gallon	High
LGP	X		Licuala grandis	Licuala Palm	4-5'			8'			X	2	15 Gallon	Low
PEP	X		Ptychosperma elegans	Alexander Palm	16'			20'		X		5	Field Grown	High
PEPE		X	Ptychosperma elegans	Alexander Palm	22'	10'		20'			X	1	N/A	High
LARGE SHRUBS														
AET	X		Ardisia escallonioides	Martiberry	6'			10-15'	20'	X		4	25 Gallon	Medium
CCT	X		Capparis cynophallophora	Jamaican Caper	6'			10'	20'	X		2		High

SHRUBS & GC									
LKEY	NEW	EXISTING	BOTANICAL	COMMON	HEIGHT	CANOPY	NATIVE(Y)	NATIVE(N)	QUANTITY
Aaf	X		Agapanthus africanus	Agapanthus	Full			X	3
ARA	X		Aechmea 'Romero Alba'	Romero Alba Bromeliad	20"x20"			X	11
CBa	X		Codiaeum 'Banana'	Banana Croton	24"			X	4
CI	X		Chrysobalanus icaco	Cocoplum	24"x20"	X			13
CMI	X		Codiaeum 'Franklin Roosevelt'	Franklin Roosevelt Croton	20", Full		X		7
MCa	X		Muhlenbergia capillaris	Muhly Grass	2' Full	X			9
NBoN	X		Neoregelia 'Bossa Nova'	Bossa Nova Bromeliad	Full		X		23
OJ	X		Ophiopogon japonica	Mondo Grass	Full		X		140
PN	X		Psychotria nervosa	Wild Coffee	24"	X			36
RI	X		Raphiolepis indica	Indian Hawthorn	12"x14"		X		13
SR	X		Strelitzia regina	Orange Bird of Paradise	3' Ht., 3 PPP		X		2
TA	X		Trachelospermum asiaticum	Asian Jasmine	Full		X		20
VMJ	X		Vriesia 'Mint Julip'	Mint Julip Bromeliad	24"x24"		X		7
WPR	X			White Pea Rock					47

LANDSCAPE LIGHTING								
KEY	QTY	MANUF	TYPE	MODEL	BODY	VOLTAGE	WATTAGE	ALTERNATE
		VISTA	ACCENT	2216	Die Cast Copper Free Aluminum	120	50	KIM C735
		VISTA	PATH	1209	Die Cast Copper Free Aluminum	120	50	KIM KLV180
		VISTA	SPOTLIGHT					



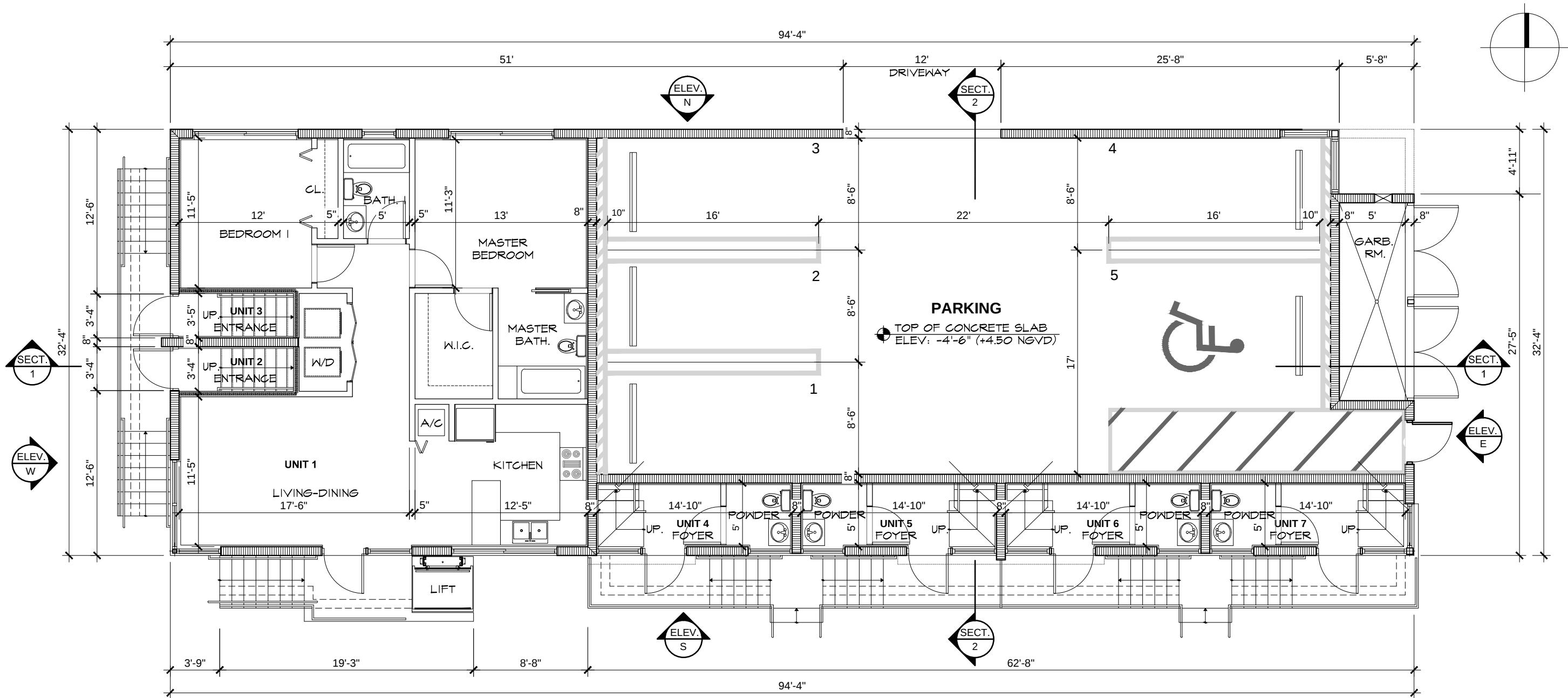
Scott F Neitzel
Digitally signed
by Scott F Neitzel
Date: 2022.08.08
11:59:14 -04'00'

REVISED DATE

CLIENT
NEW CARLYLE CONDOMINIUM
7637 CARLYLE AVENUE, MIAMI BEACH, FL
PRELIMINARY LANDSCAPE PLAN

REITZEL
Design Group
LANDSCAPE ARCHITECTURE
Landscape & Environmental Planning
PO Box 13888, Miami, FL 33102
305.313.5625 954.626.2094

DATE
8/8/22
PROJECT #
GJR-21-03
DRAWN
SFN
DRAWING #
L.01
1 SHEET OF 1



UNITS	AREA
UNIT 1	934 SQ. FT.
UNIT 2	862 SQ. FT.
UNIT 3	1,015 SQ. FT.
UNIT 4	1,049 SQ. FT.
UNIT 5	1,049 SQ. FT.
UNIT 6	1,049 SQ. FT.
UNIT 7	1,054.5 SQ. FT.
TOTAL	7,012.5 SQ. FT.

REVISION 1
△ SQUARE FOOTAGE OF EACH UNIT
HAS BEEN PROVIDED.

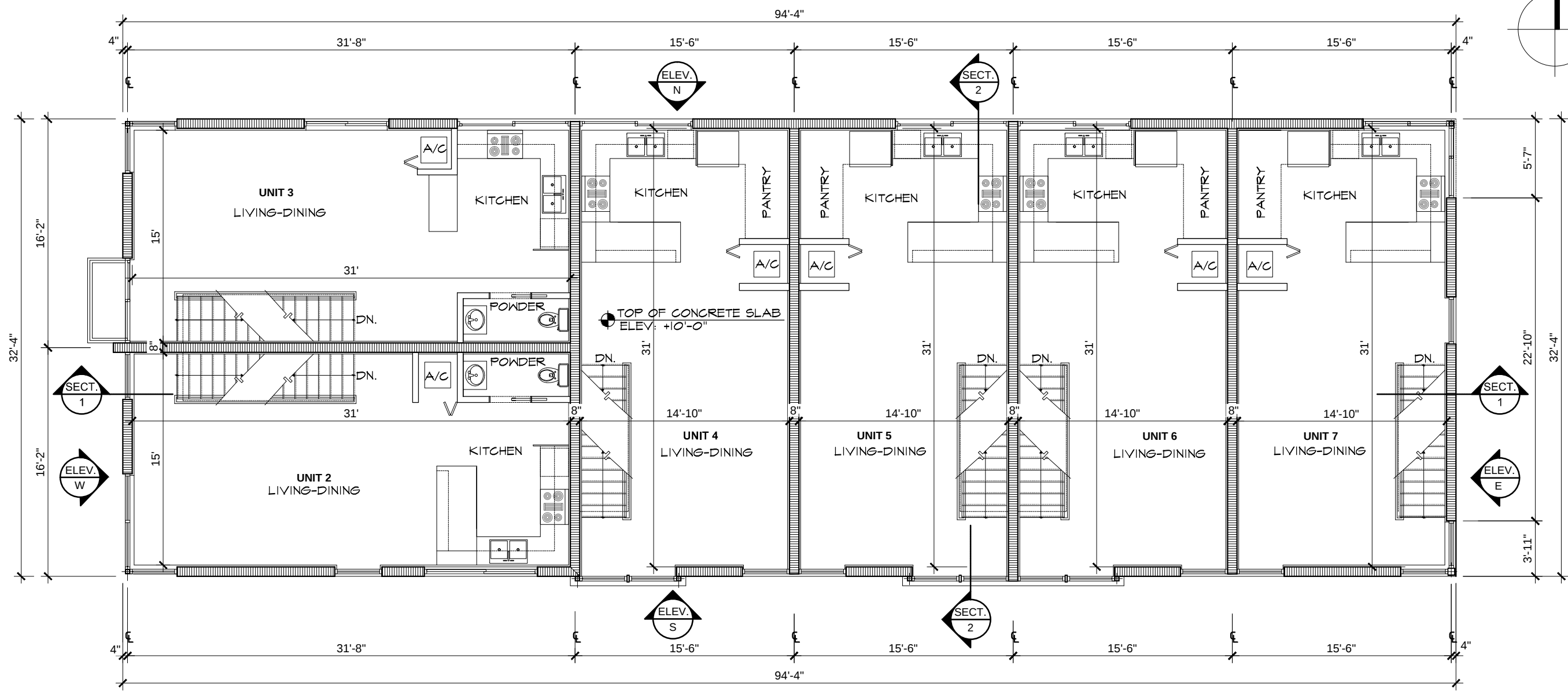


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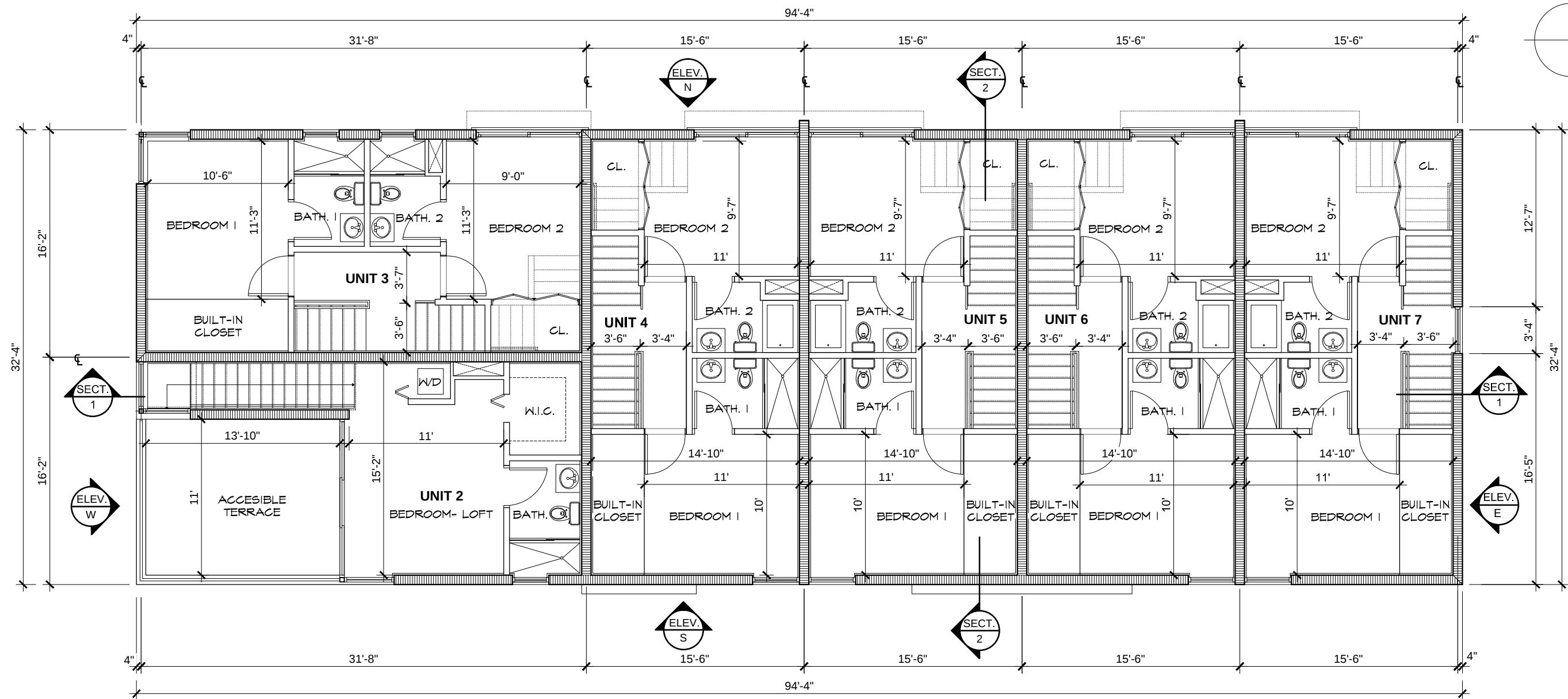
GROUND FLOOR PLAN

SCALE 1/8" = 1'-0"



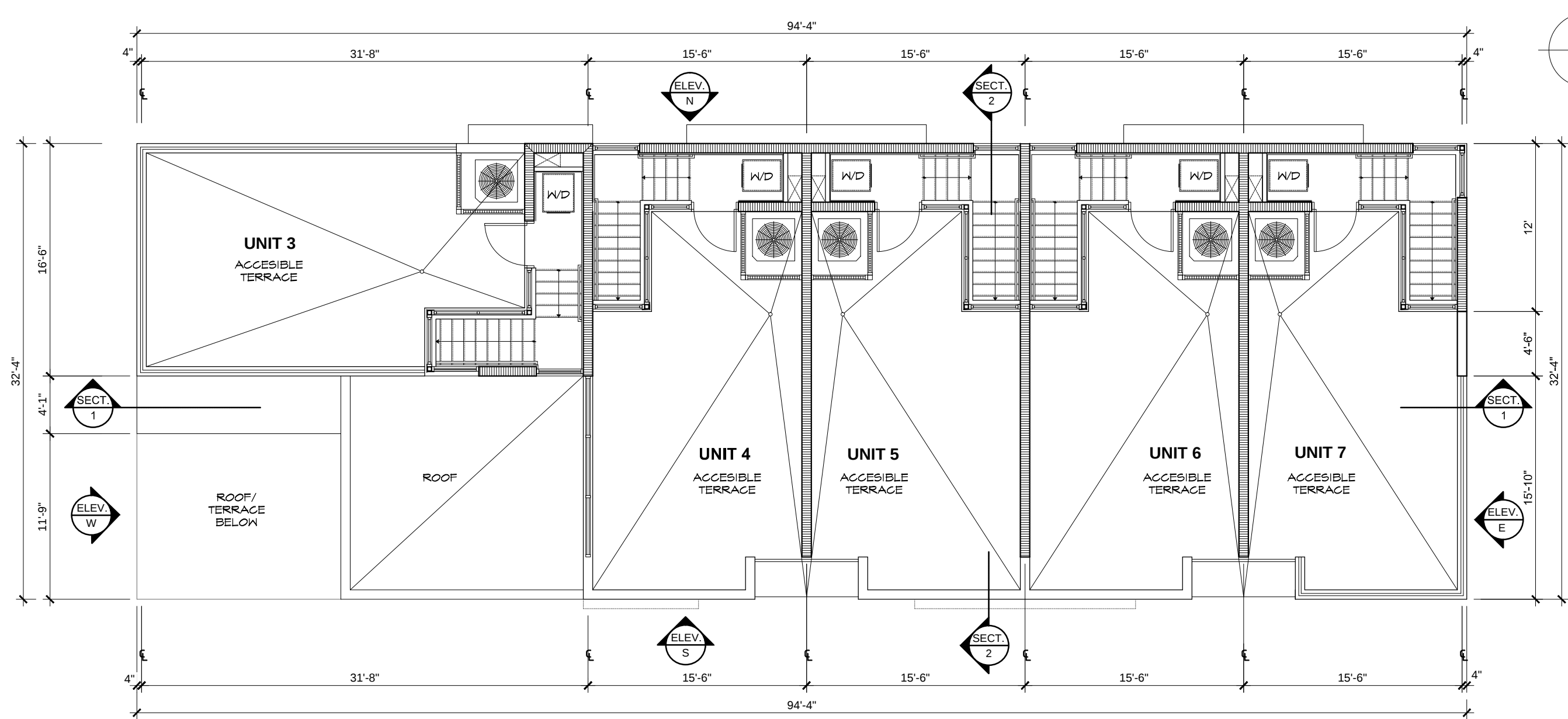
UNITS	AREA
UNIT 1	934 SQ. FT.
UNIT 2	862 SQ. FT.
UNIT 3	1,015 SQ. FT.
UNIT 4	1,049 SQ. FT.
UNIT 5	1,049 SQ. FT.
UNIT 6	1,049 SQ. FT.
UNIT 7	1,054.5 SQ. FT.
TOTAL	7,012.5 SQ. FT.

REVISION 1
△ SQUARE FOOTAGE OF EACH UNIT
HAS BEEN PROVIDED.



UNITS	AREA
UNIT 1	934 SQ. FT.
UNIT 2	862 SQ. FT.
UNIT 3	1,015 SQ. FT.
UNIT 4	1,049 SQ. FT.
UNIT 5	1,049 SQ. FT.
UNIT 6	1,049 SQ. FT.
UNIT 7	1,054.5 SQ. FT.
TOTAL	7,012.5 SQ. FT.

REVISION 1
▲ SQUARE FOOTAGE OF EACH UNIT
HAS BEEN PROVIDED.



UNITS	AREA
UNIT 1	934 SQ. FT.
UNIT 2	862 SQ. FT.
UNIT 3	1,015 SQ. FT.
UNIT 4	1,049 SQ. FT.
UNIT 5	1,049 SQ. FT.
UNIT 6	1,049 SQ. FT.
UNIT 7	1,054.5 SQ. FT.
TOTAL	7,012.5 SQ. FT.

REVISION 1
△ SQUARE FOOTAGE OF EACH UNIT
HAS BEEN PROVIDED.

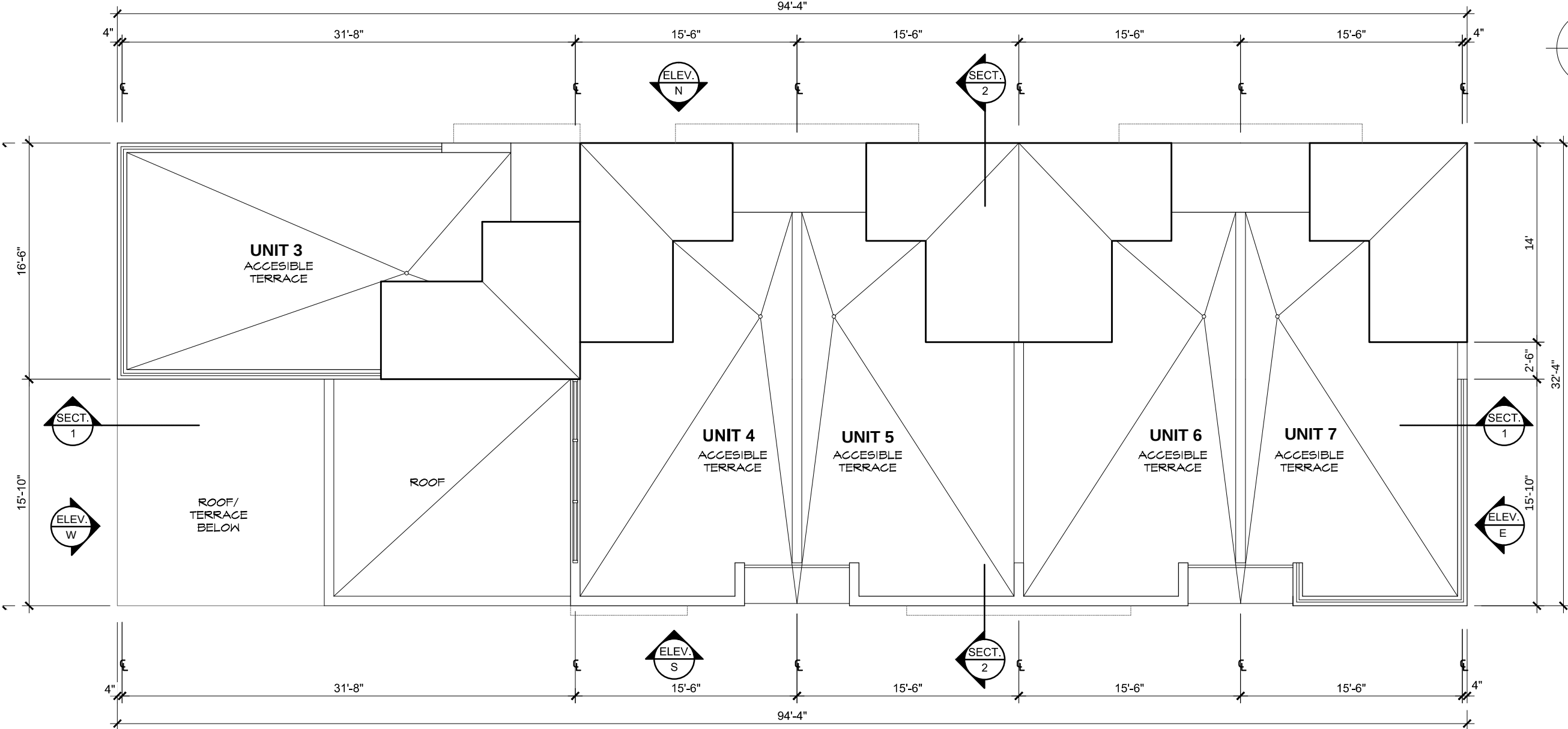


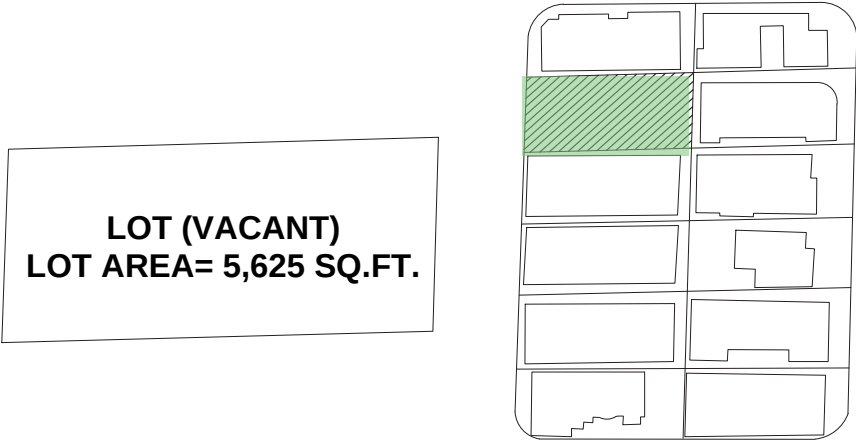
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FOURTH FLOOR PLAN

SCALE 1/8" = 1'-0"





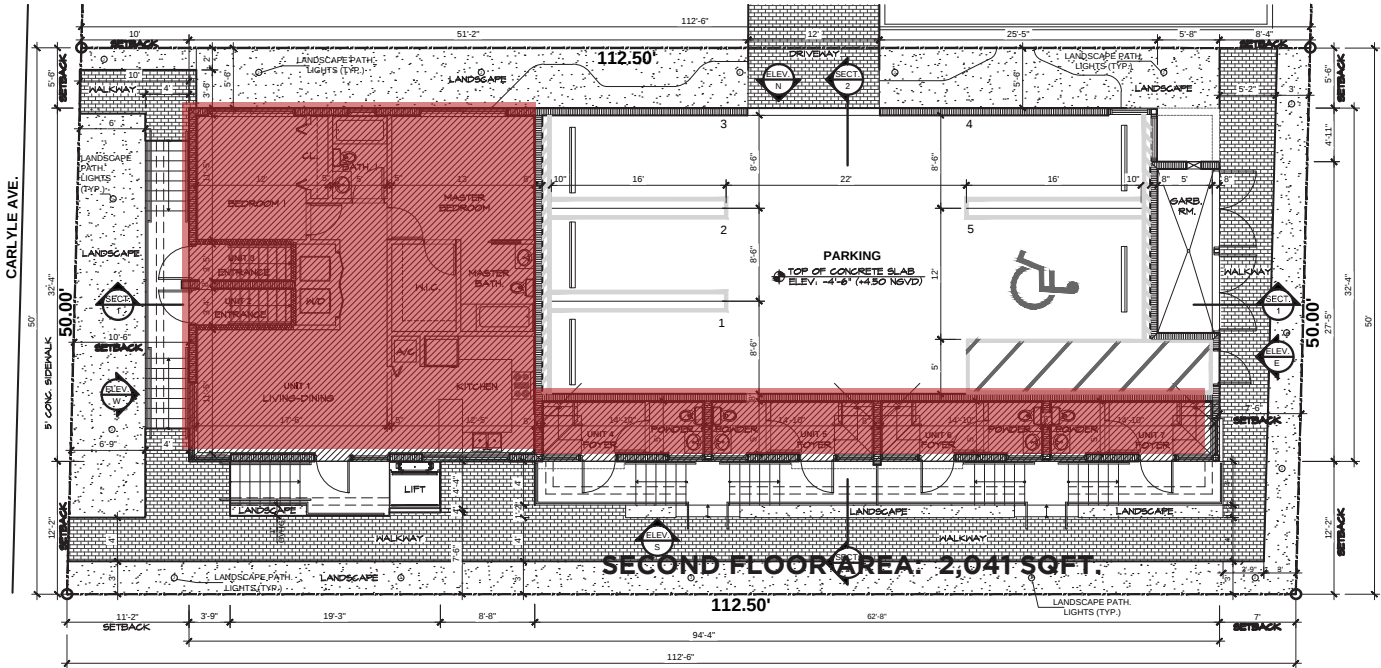
LOT (VACANT)
LOT AREA= 5,625 SQ.FT.

ZONING INFORMATION		
ZONING	RM-1	
No. OF UNITS	7	
LOT AREA	5,625 SQFT.	
F.A.R.	1.25	
	REQUIRED	PROVIDED
TOTAL ALLOWABLE AREA	7031,25 SQFT.	7012.50 SQFT. (TOTAL AREA OF BLG)
No. OF STORIES	5 STORIES MAX.	4 STORIES
BUILDING HEIGHT	50'-0"	44'-6" TOP OF ROOF SLAB TO GRADE
SET BACKS	REQUIRED	PROVIDED
FRONT	10'-0"	10'-0"
SIDE	5'-0"	7'-6"
SIDE	5'-0"	5'-6"
REAR	5'-0"	7'-6"
PARKING	REQUIRED	PROVIDED
1.5 SPACES PER UNIT	*GROSS AREA calculation definition as per FBC-B 2017, Chapter 2.	

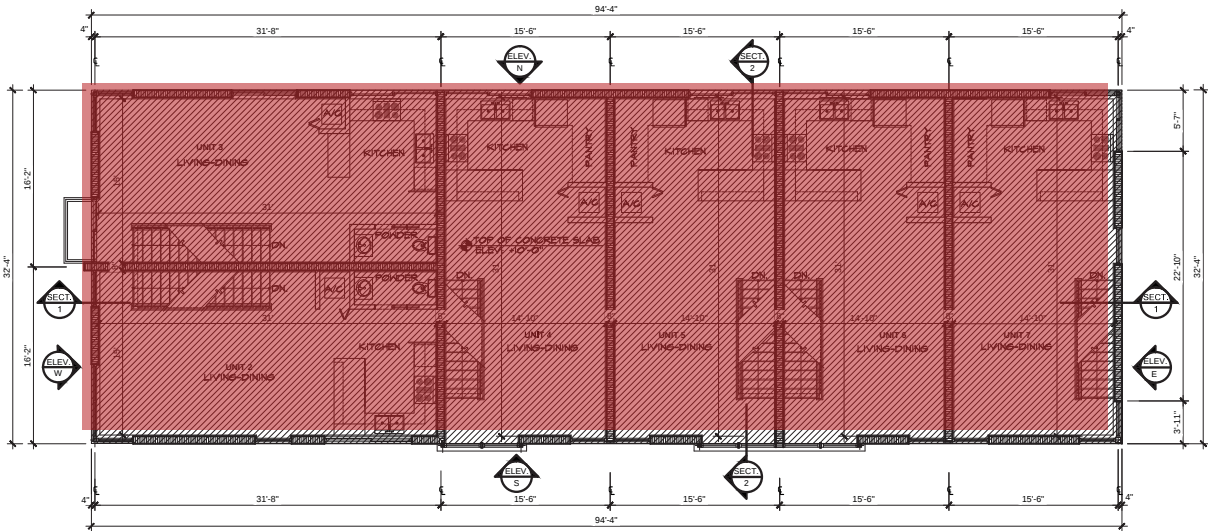


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ZONING INFO, F.A.R. DIAGRAMS 1

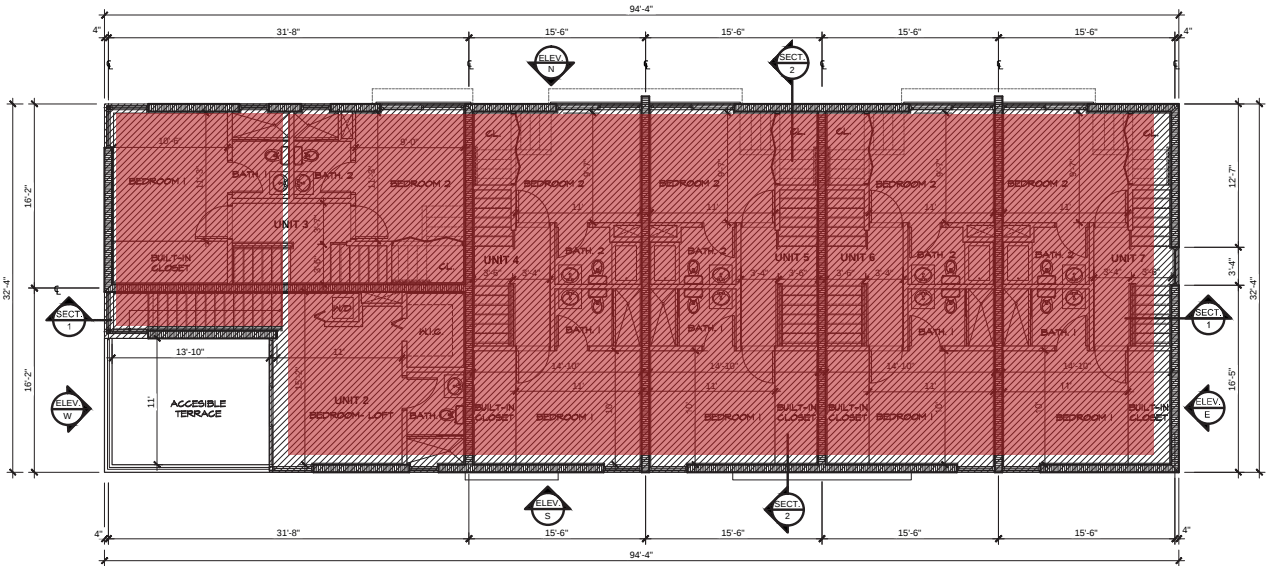
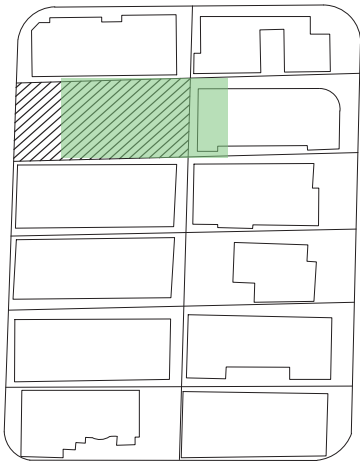


GROUND FLOOR



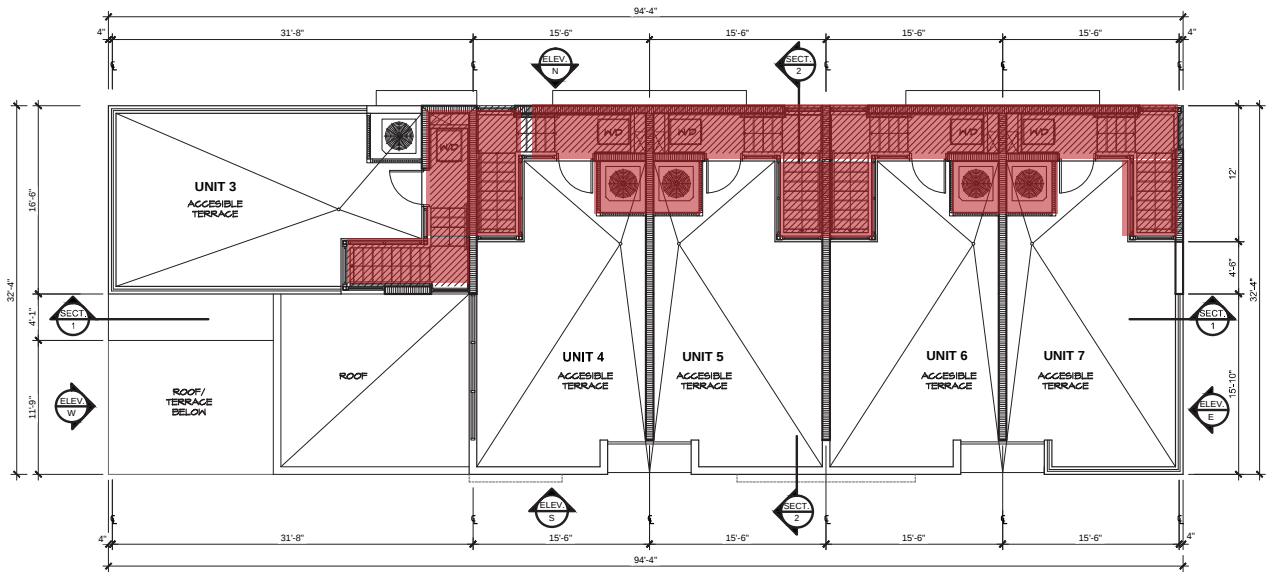
SECOND FLOOR
F.A.R. DIAGRAMS

LOT (VACANT)
LOT AREA= 5,625 SQ.FT.



THIRD FLOOR

ZONING INFORMATION		
ZONING	RM-1	
No. OF UNITS	7	
LOT AREA	5,625 SQFT.	
F.A.R.	1.25	
TOTAL ALLOWABLE AREA	REQUIRED	PROVIDED
	7031.25 SQFT.	7012.50 SQFT. (TOTAL AREA OF BLG)
	5 STORIES MAX.	4 STORIES
BUILDING HEIGHT	50'-0"	44'-6" TOP OF ROOF SLAB TO GRADE
SET BACKS	REQUIRED	PROVIDED
	10'-0"	10'-0"
	5'-0"	7'-6"
	5'-0"	5'-6"
	5'-0"	7'-6"
PARKING	REQUIRED	PROVIDED
	-	5 PARKING SPACES



ROOF TERRACE
F.A.R. DIAGRAMS

LOCATION MAP



LEGEND

- | | |
|---------|----------------|
| 1 Story | < 5' Setback |
| 2 Story | < 7.5' Setback |
| 3 Story | < 10' Setback |
| 4 Story | > 10' Setback |
| 5 Story | |
| 9 Story | |

9 STORIES



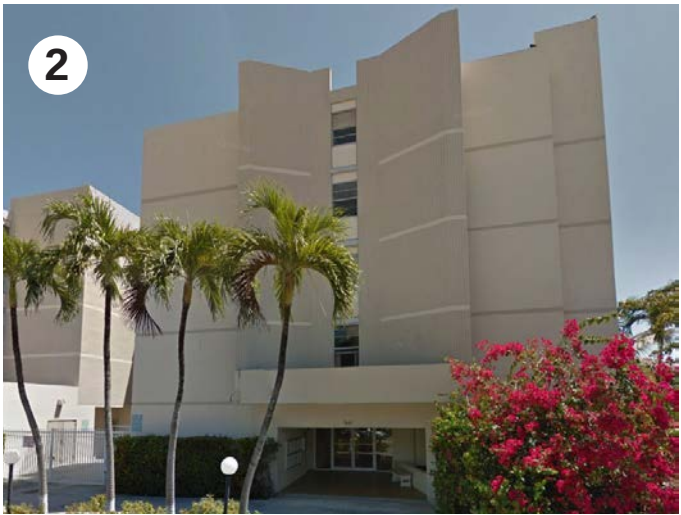
4 STORIES



2 STORIES



5 STORIES



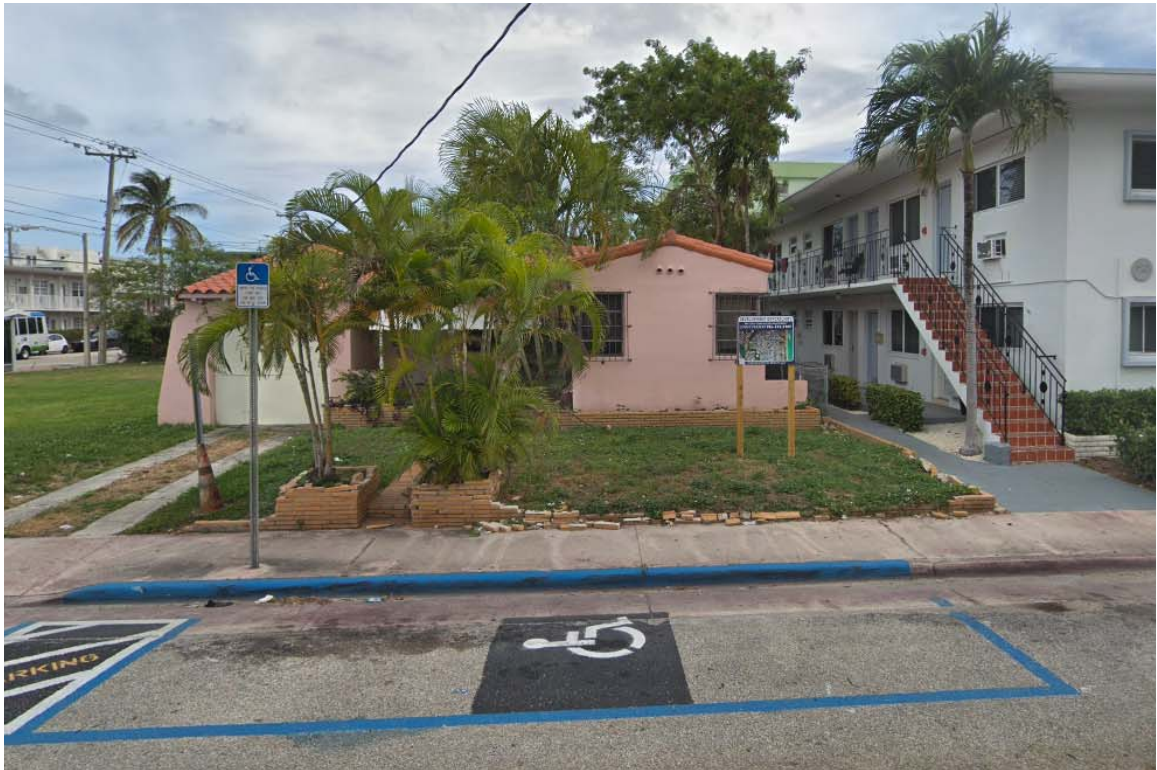
5



8



PROPERTY AND ADJACENT LOTS



EXISTING PROPERTY (FRONT APPROACH)



ADJACENT PROPERTY (EAST SIDE)



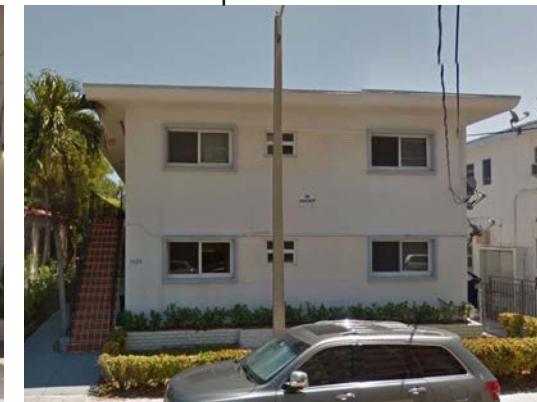
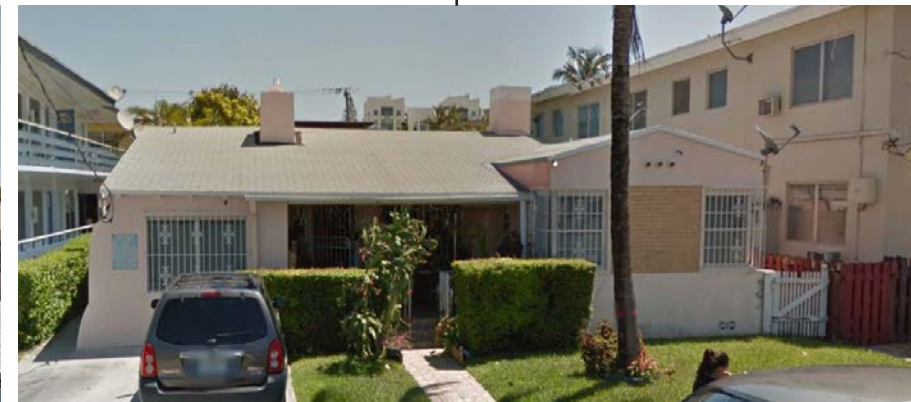
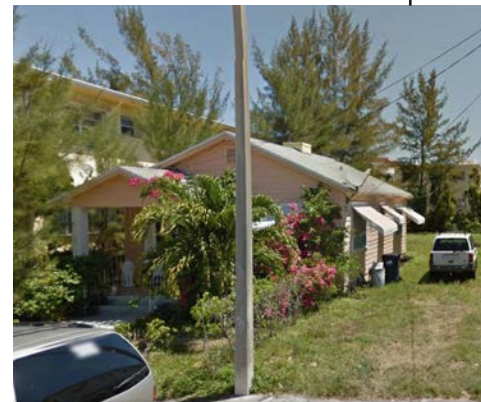
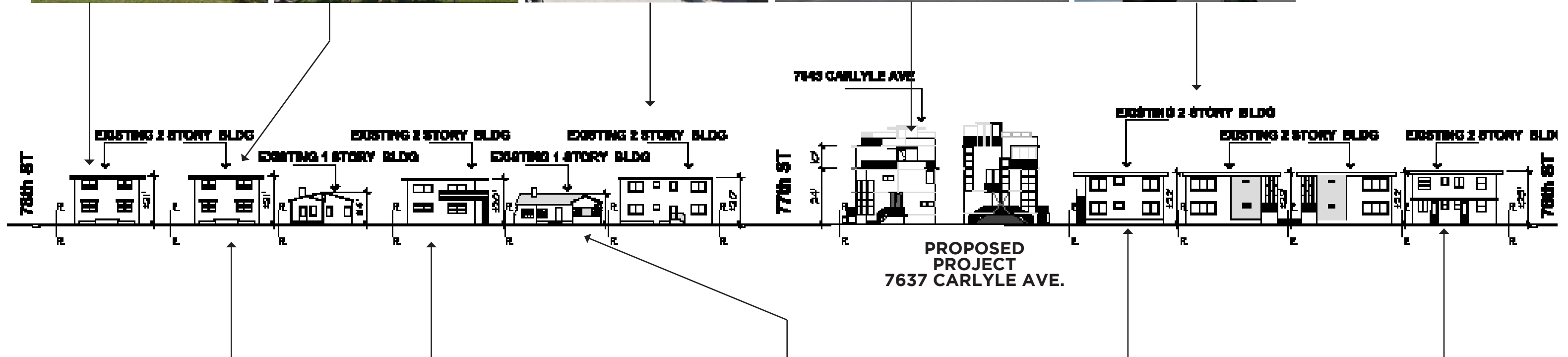
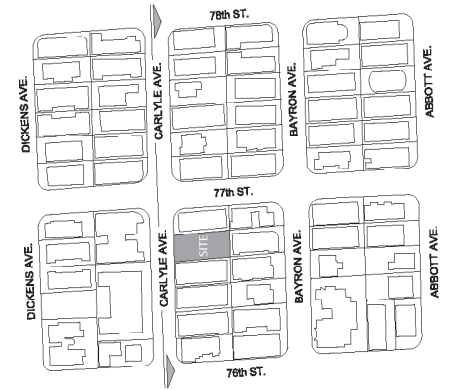
ADJACENT PROPERTY (WEST)



CARLYLE AVE. VIEW

CARLYLE AVENUE | EAST ELEVATION

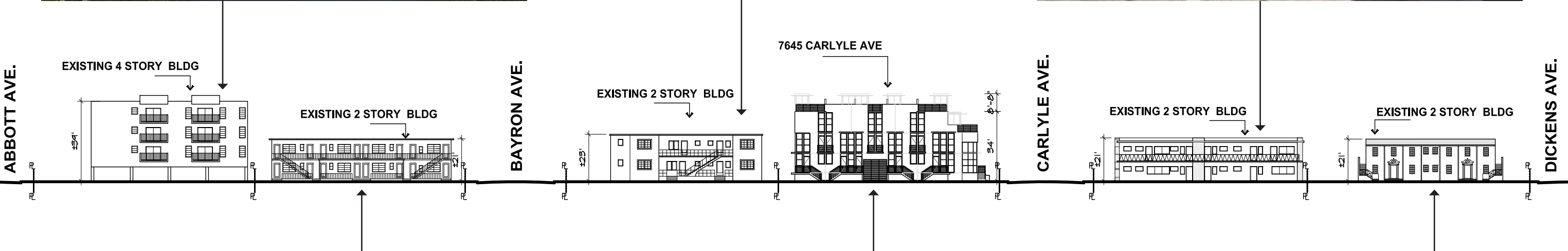
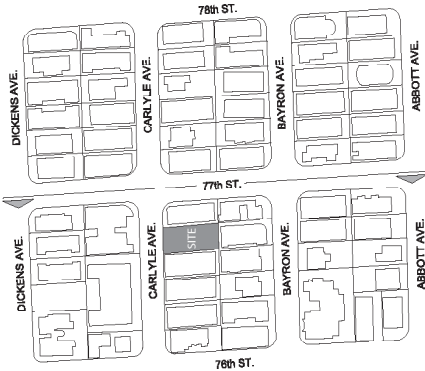
KEY MAP



7637 CARLYLE AVE., MIAMI BEACH, FL | CONTEXTUAL ELEVATIONS

77th STREET | SOUTH ELEVATION

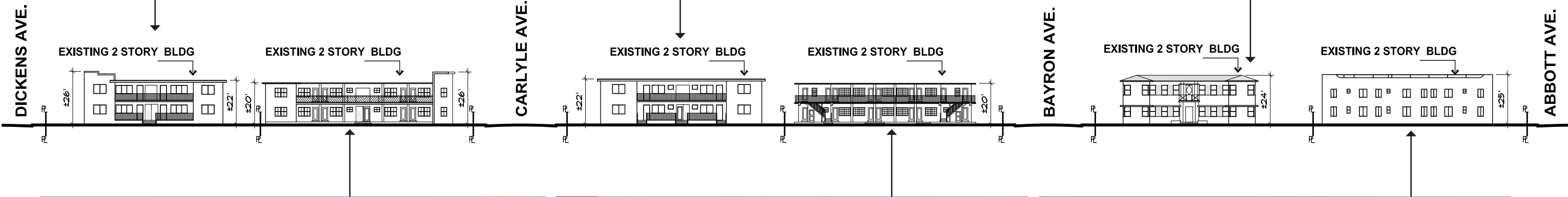
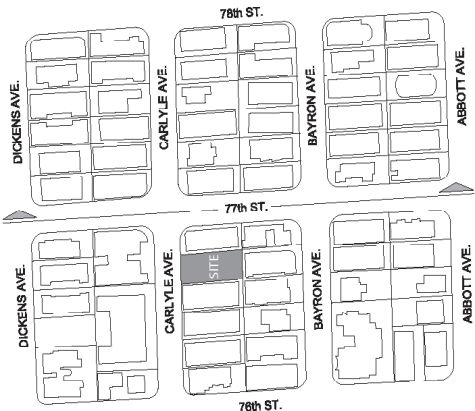
KEY MAP

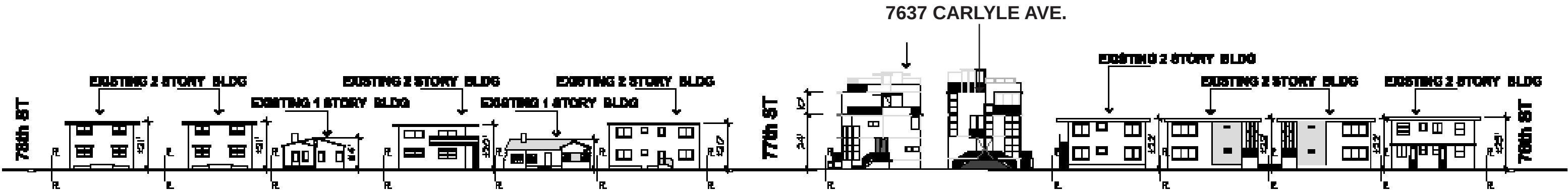


7637 CARLYLE AVE., MIAMI BEACH, FL | CONTEXTUAL ELEVATIONS

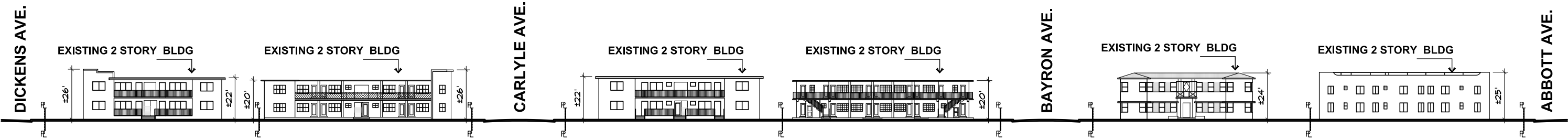
77th STREET | NORTH ELEVATION

KEY MAP

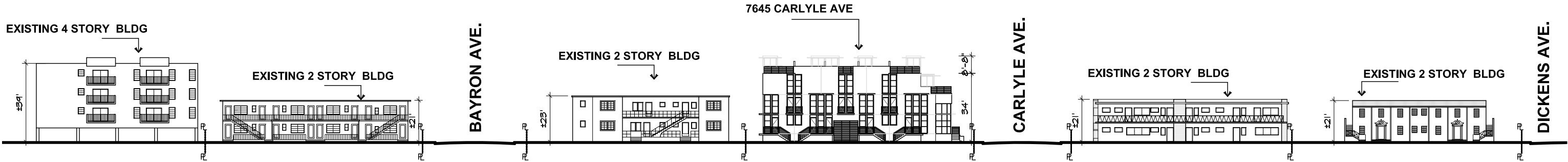




CARLYLE AVENUE | EAST ELEVATION

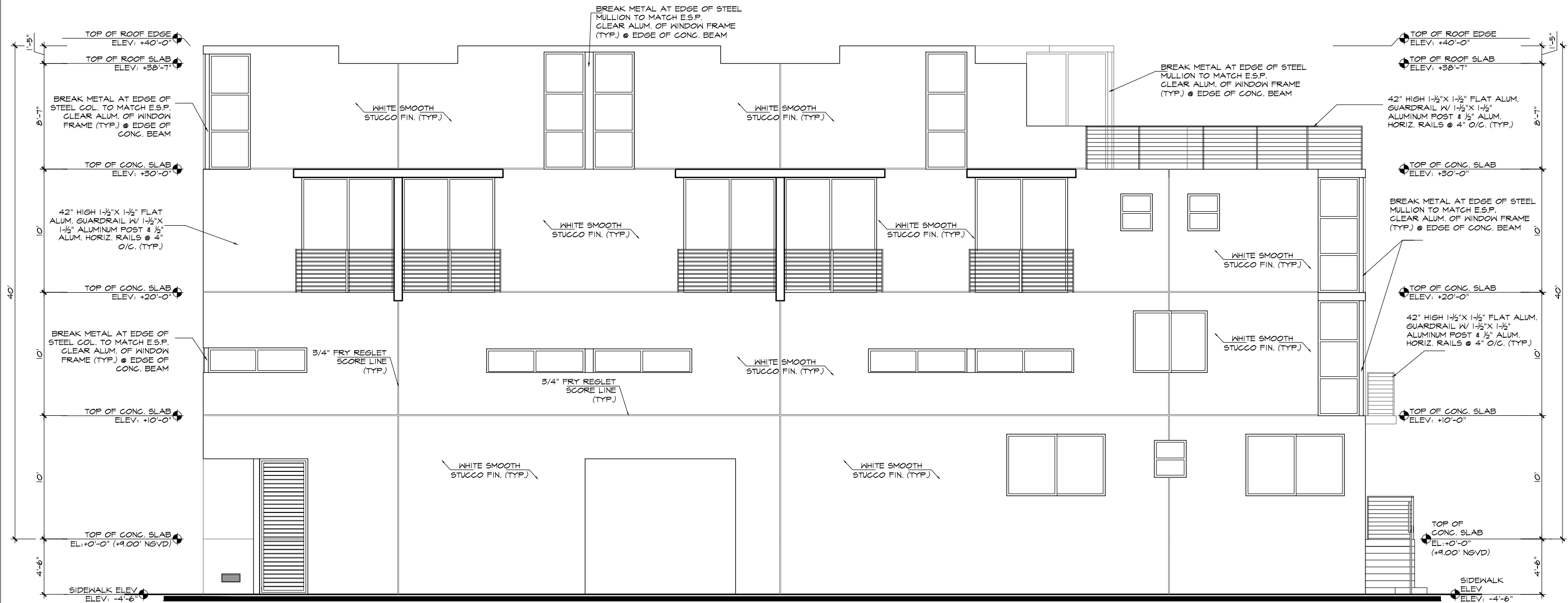


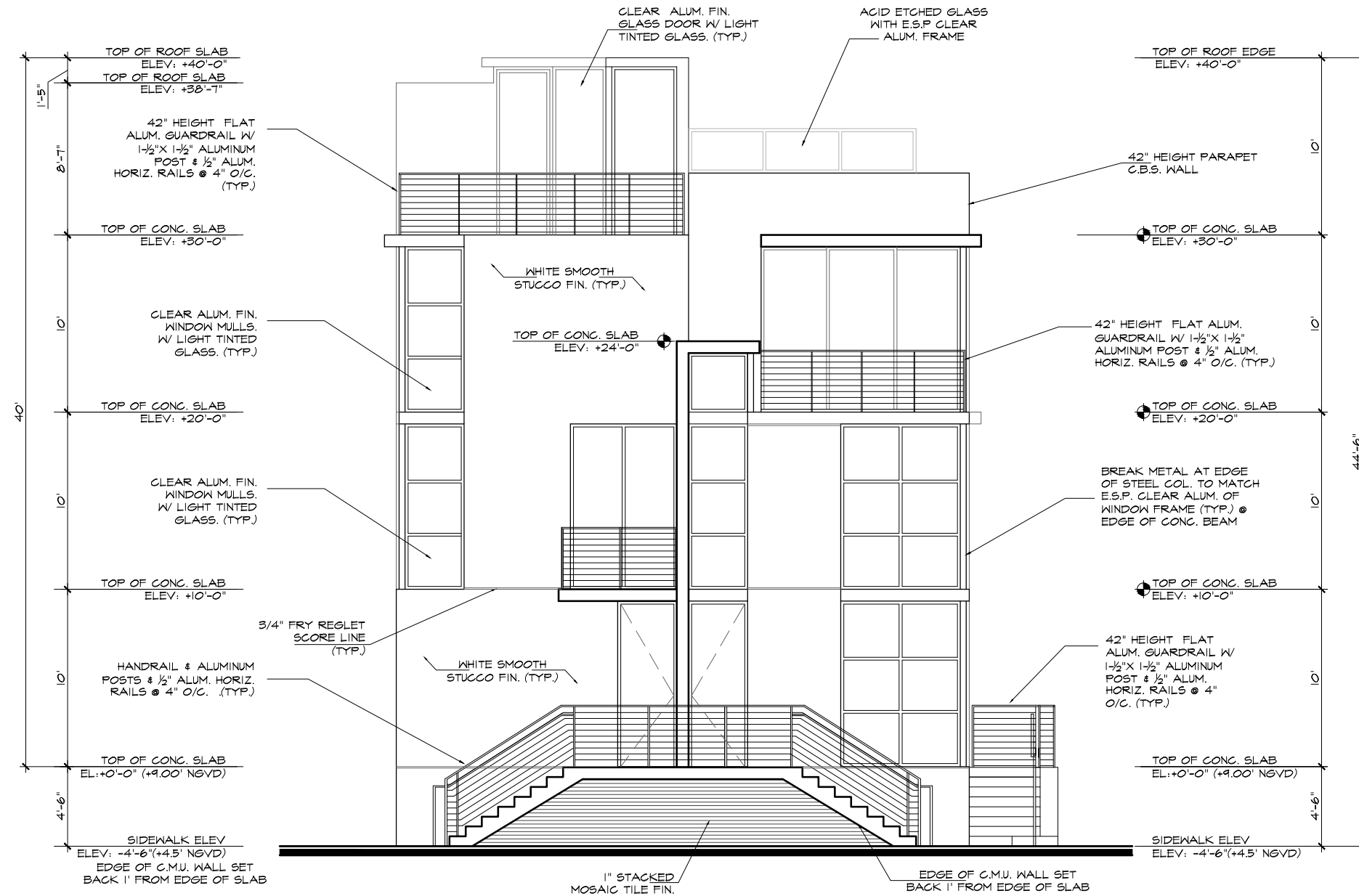
77th STREET | NORTH ELEVATION



77th STREET | SOUTH ELEVATION

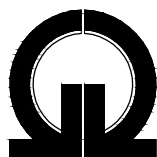


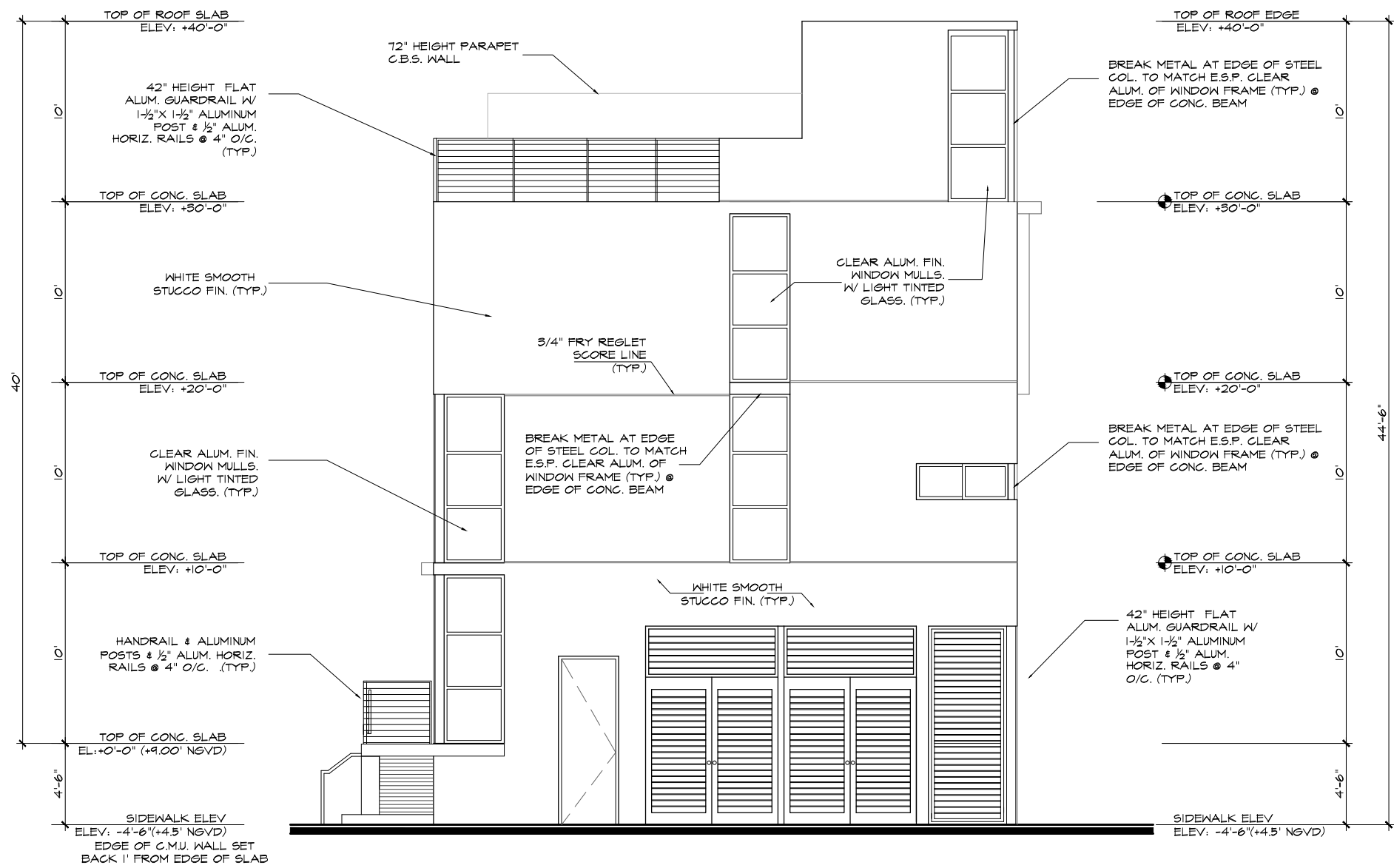




WEST ELEVATION

SCALE $\frac{1}{8}" = 1'-0"$

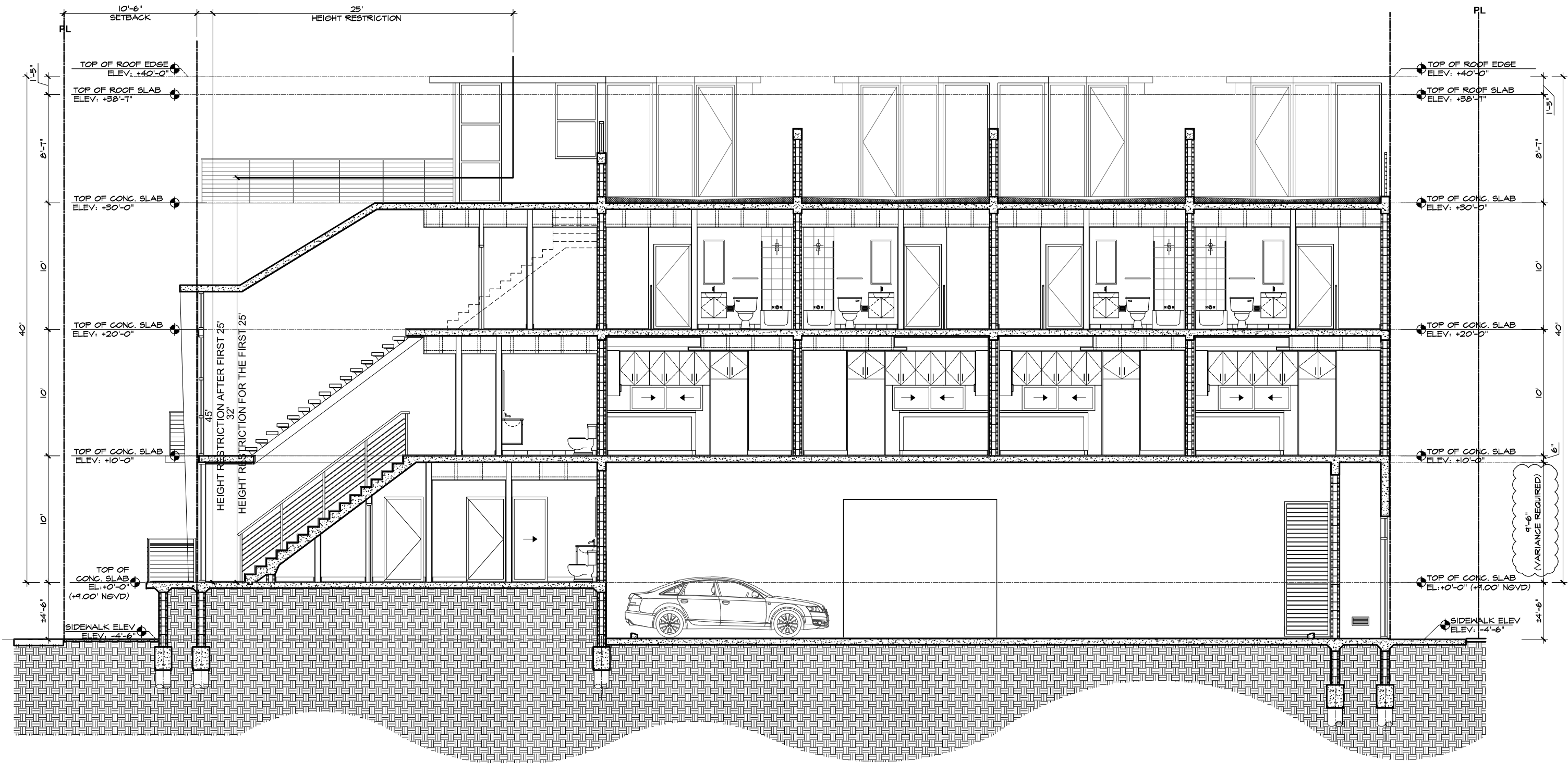


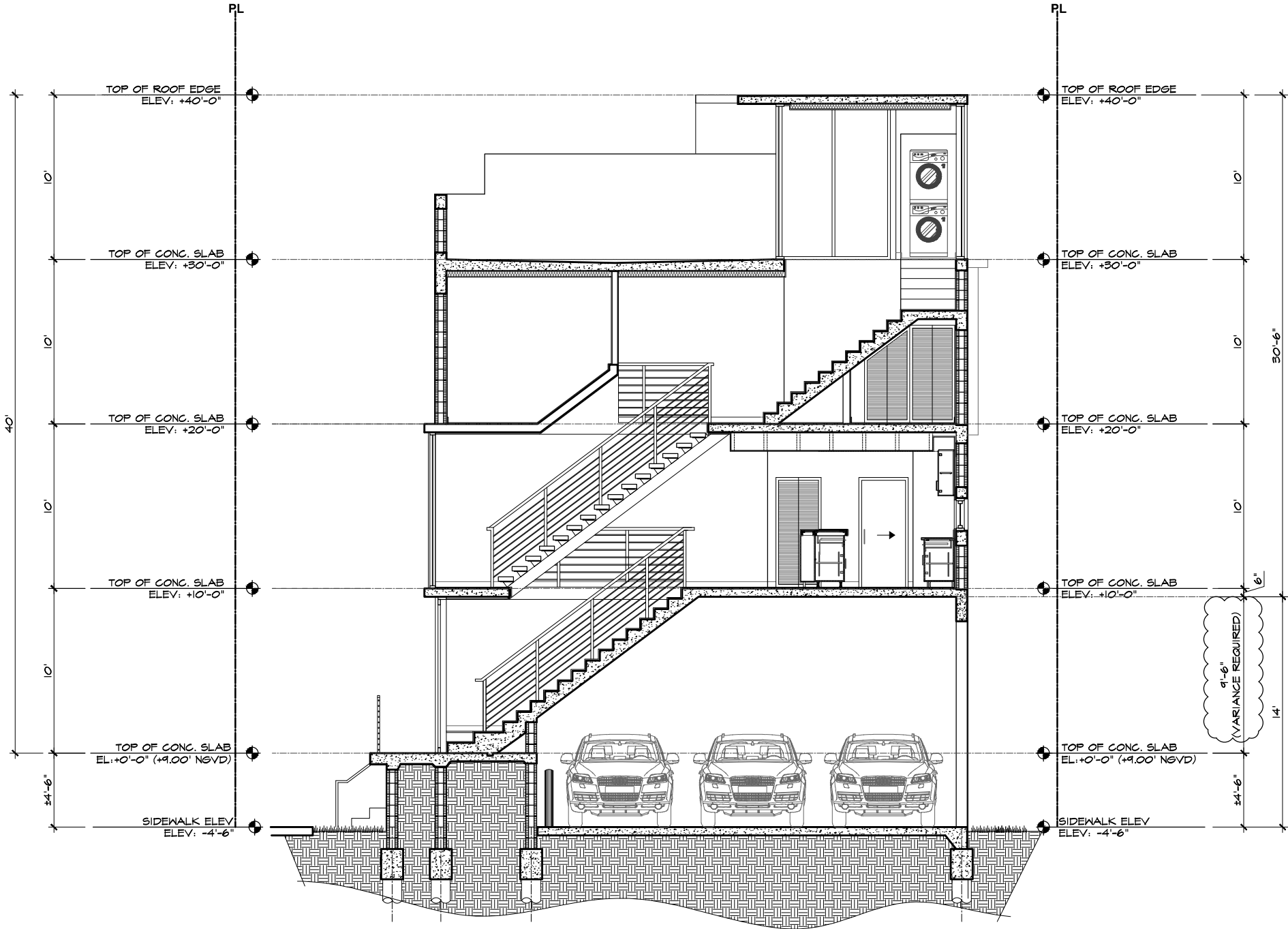


EAST ELEVATION

SCALE 1/8" = 1'-0"







SECTION 2

SCALE 1/8" = 1'-0"

























