

PRIVATE RESIDENCE

360 S HIBISCUS DRIVE, MIAMI BEACH, FL 33139
 DRB FINAL SUBMITTAL PACKAGE
 08-08-2022
 DRB PRESENTATION



360 S HIBISCUS, MIAMI BEACH, FL

© The work product provided by Kobi Karp Architecture and Interior Design, Inc. is the sole property of Kobi Karp Architecture and Interior Design, Inc. The work product may not be used without the expressed written consent of Kobi Karp Architecture and Interior Design, Inc. (KKAID)



ARCHITECT
KOBI KARP ARCHITECTURE
AND INTERIOR DESIGN, INC.
 571 NW 28th St.
 Miami, Florida 33127
 Tel: (305) 573-1818
 Fax: (305) 573-3766

LANDSCAPE ARCHITECT
CLAD LANDSCAPE
ARCHITECTURE AND DESIGN
 8020 NE 4th Ave.
 Studio 113
 Miami, FL 33138

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBI KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBI KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA #0201

ZONING PACKAGE

PRIVATE RESIDENCE
 360 S HIBISCUS DRIVE,
 MIAMI, FL, 33139

Owner:
 Name
 Address
 Address
 Tel:
 Email

Consultant: GENERAL CONTRACTOR
 Name Bart Reines Luxury Homebuilder
 Address 1800 Sunset Harbour Drive, Marina Suite P
 Address Miami Beach, FL 33139
 Tel: Tel: (305) 534-9099
 Email Email: bartreines@icloud.com

Consultant: Interior Designer
 Name Argent
 Address 100 GEORGE STREET, LONDON, W1U 8NU
 Address
 Tel: Tel: +44 020 7563 4250
 Email Email: michelle@argentdesign.co.uk

Consultant: LANDSCAPE ARCHITECTS
 Name CLAD LANDSCAPE
 Address 8020 NE 4th Ave., Studio 113, Miami, FL 33138
 Address CLADLANDSCAPE.COM
 Tel: +1 (786) 536-6076
 Email thais@cladlandscape.com

Architect:
 Kobi Karp Architecture and Interior Design, Inc.
 571 NW 28th Street
 Miami, Florida 33127 USA
 Tel: +1(305) 573 1818
 Fax: +1(305) 573 3766



KOBI KARP
 Lic. # AR0012578

COVER

Date	08-08-2022	Sheet No.	A0.00
Scale			
Project	2210		



360 S HIBISCUS, MIAMI BEACH, FL

© The work product provided by Kobi Karp Architecture and Interior Design, Inc. is the sole property of Kobi Karp Architecture and Interior Design, Inc. The work product may not be used without the expressed written consent of Kobi Karp Architecture and Interior Design, Inc (KKAID)



Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF Kobi Karp AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF Kobi Karp Architecture & Interior Design, Inc. AIA (c) 2021

ZONING PACKAGE

PRIVATE RESIDENCE

360 S HIBISCUS DRIVE,
MIAMI, FL, 33139

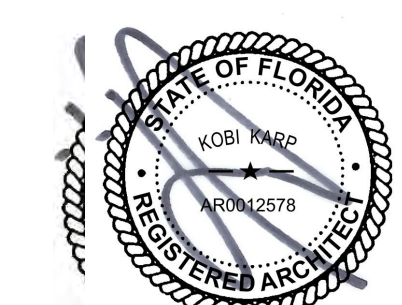
Owner:
Name
Address
Tel
Email

Consultant: GENERAL CONTRACTOR
Name: Bart Reines Luxury Homebuilder
Address: 1800 Sunset Harbour Drive, Marina Suite P
Miami Beach, FL 33139
Tel: (305) 534-9099
Email: Email: bartreines@icloud.com

Consultant: Interior Designer
Name: Argent
Address: 100 GEORGE STREET, LONDON, W1U 8NU
Tel: +44 020 7563 4250
Email: Email: michelle@argentdesign.co.uk

Consultant: LANDSCAPE ARCHITECTS
Name: CLAD LANDSCAPE
Address: 8020 NE 4th Ave., Studio 113, Miami, FL 33138
CLADLANDSCAPE.COM
Tel: +1 (786) 536-6076
Email: thais@cladlandscape.com

Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573-1818
Fax: +1(305) 573-3766



Kobi Karp
Lic. # AR0012578



RENDERING

Date	08-08-2022	Sheet No.	A6.00
Scale			
Project	2210		



Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF Kobi KARP AIA, AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF Kobi KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (1/2021)

ZONING PACKAGE

PRIVATE RESIDENCE

360 S HIBISCUS DRIVE,
MIAMI, FL, 33139

Owner:
Name
Address
Tel:
Email

Consultant: GENERAL CONTRACTOR
Name: Bart Reines Luxury Homebuilder
Address: 1800 Sunset Harbour Drive, Marina Suite P
Address: Miami Beach, FL 33139
Tel: (305) 534-9099
Email: Email: bartreines@icloud.com

Consultant: Interior Designer
Name: Argent
Address: 100 GEORGE STREET, LONDON, W1U 8NU
Address:
Tel: +44 020 7563 4250
Email: Email: michelle@argentdesign.co.uk

Consultant: LANDSCAPE ARCHITECTS
Name: CLAD LANDSCAPE
Address: 8020 NE 4th Ave., Studio 113, Miami, FL 33138
Address: CLADLANDSCAPE.COM
Tel: +1 (786) 536-6076
Email: thais@cladlandscape.com

Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573-1818
Fax: +1(305) 573-3766



RENDERING

Date	08-08-2022	Sheet No.	
Scale			A6.01
Project	2210		



360 S HIBISCUS, MIAMI BEACH, FL

© The work product provided by Kobi Karp Architecture and Interior Design, Inc. is the sole property of Kobi Karp Architecture and Interior Design, Inc. The work product may not be used without the expressed written consent of Kobi Karp Architecture and Interior Design, Inc. (KKAID)



Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF Kobi Karp AIA, AND MAY NOT BE DUPLICATED, REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF Kobi Karp Architecture & Interior Design, Inc. AIA. (c) 2021

ZONING PACKAGE

PRIVATE RESIDENCE

360 S HIBISCUS DRIVE,
MIAMI, FL, 33139

Owner:
Name
Address
Tel:
Email

Consultant: GENERAL CONTRACTOR
Name: Bart Reines Luxury Homebuilder
Address: 1800 Sunset Harbour Drive, Marina Suite P
Address: Miami Beach, FL 33139
Tel: (305) 534-9099
Email: Email: bartreines@icloud.com

Consultant: Interior Designer
Name: Argent
Address: 100 GEORGE STREET, LONDON, W1U 8NU
Address:
Tel: Tel: +44 020 7563 4250
Email: Email: michelle@argentdesign.co.uk

Consultant: LANDSCAPE ARCHITECTS
Name: CLAD LANDSCAPE
Address: 8020 NE 4th Ave., Studio 113, Miami, FL 33138
Address: CLADLANDSCAPE.COM
Tel: +1 (786) 536-6076
Email: thais@cladlandscape.com

Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573-1818
Fax: +1(305) 573-3766



RENDERING

Date	08-08-2022	Sheet No.	A6.02
Scale			
Project	2210		



360 S HIBISCUS, MIAMI BEACH, FL

© The work product provided by Kobi Karp Architecture and Interior Design, Inc. is the sole property of Kobi Karp Architecture and Interior Design, Inc. The work product may not be used without the expressed written consent of Kobi Karp Architecture and Interior Design, Inc (KKAID)



WWW.KOBIKARP.COM

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF Kobi KARP AIA, AND MAY NOT BE DUPLICATED, REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF Kobi KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA (6/2021)

ZONING PACKAGE

PRIVATE RESIDENCE

360 S HIBISCUS DRIVE,
MIAMI, FL, 33139

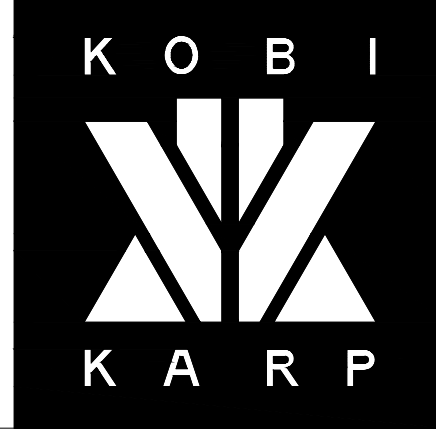
Owner:
Name
Address
Tel:
Email

Consultant: GENERAL CONTRACTOR
Name: Bart Reines Luxury Homebuilder
Address: 1800 Sunset Harbour Drive, Marina Suite P
Address: Miami Beach, FL 33139
Tel: (305) 534-9099
Email: Email:bartreines@icloud.com

Consultant: Interior Designer
Name: Argent
Address: 100 GEORGE STREET, LONDON, W1U 8NU
Address:
Tel: +44 020 7563 4250
Email: Email:michelle@argentdesign.co.uk

Consultant: LANDSCAPE ARCHITECTS
Name: CLAD LANDSCAPE
Address: 8020 NE 4th Ave., Studio 113, Miami, FL 33138
Address: CLADLANDSCAPE.COM
Tel: +1 (786) 536-6076
Email: thais@cladlandscape.com

Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573-1818
Fax: +1(305) 573-3766



RENDERING

Date	08-08-2022	Sheet No.	A6.03
Scale			
Project	2210		

SITE ADDRESS:

360 S HIBISCUS DRIVE
MIAMI BEACH, FL 33139

LANDSCAPE ARCHITECT:

CLAD
8020 NE 4TH AVE, STUDIO 113
MIAMI, FL 33138
(786) 536-6076
INFO@CLADLANDSCAPE.COM

SEAL:

CAROLINA MONTEIRO DA SILVA
REGISTERED LANDSCAPE ARCHITECT
LA6667311

DRAWING TITLE:

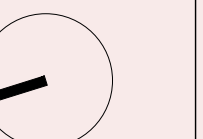
**SITE PLAN
1ST FLOOR**

© 2022 CLAD, LLC

REVISIONS:

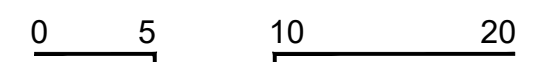
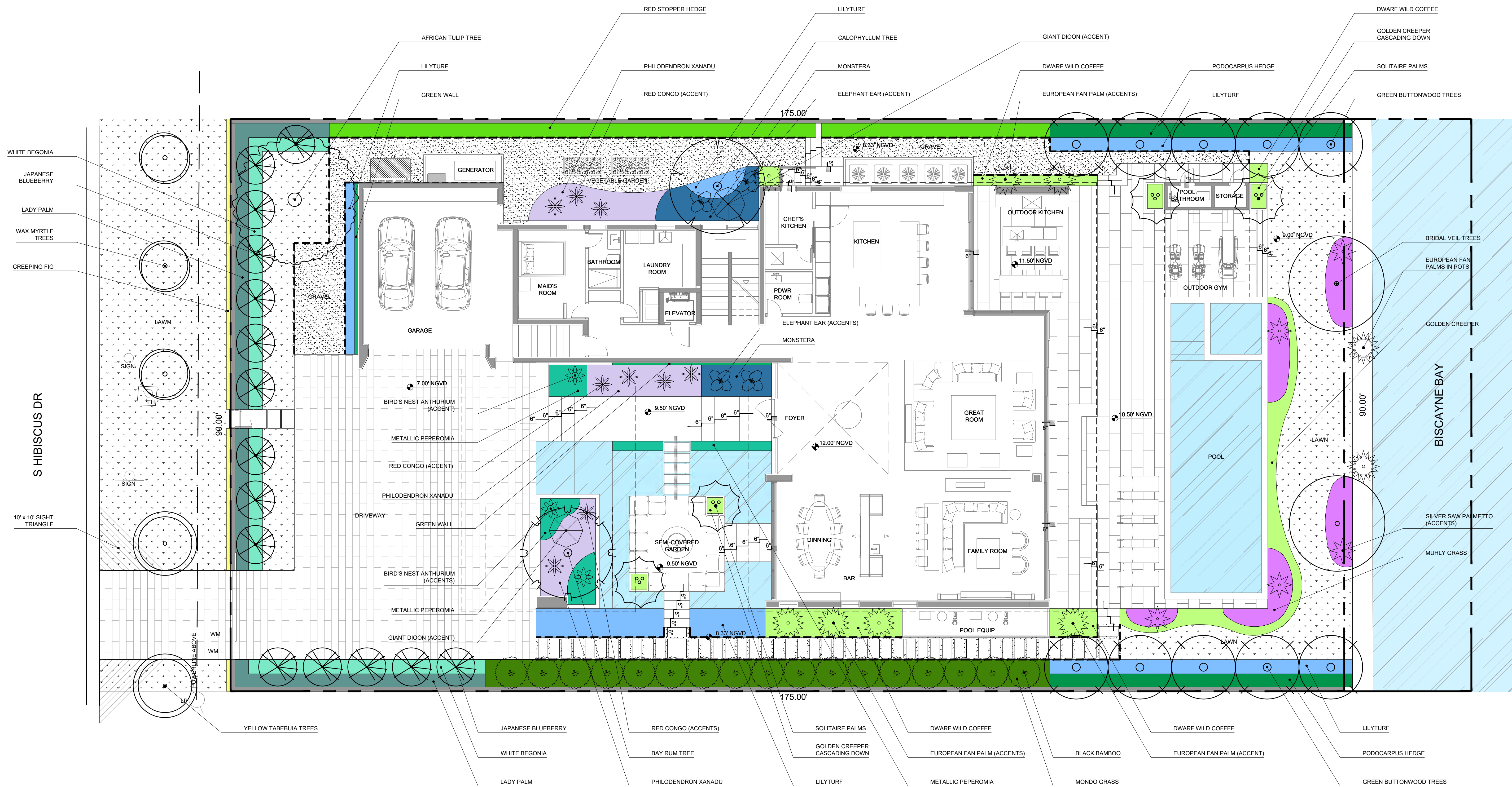
ISSUE	DATE
DRB 1ST SUBMITTAL	06/21/22
DRB 2ND SUBMITTAL	08/08/22

SCALE:
1/8" = 1'-0"



PROJ. N°:
2210
SHEET N°:

L-2





Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c) 2021

ZONING PACKAGE

PRIVATE RESIDENCE
 360 S HIBISCUS DRIVE,
 MIAMI, FL, 33139

Owner:
 Name
 Address
 Address
 Tel:
 Email

Consultant: GENERAL CONTRACTOR
 Name Bart Reines Luxury Homebuilder
 Address 1800 Sunset Harbour Drive, Marina Suite P
 Address Miami Beach, FL 33139
 Tel: (305) 534-9099
 Email Email: bartreines@icloud.com

Consultant: Interior Designer
 Name Argent
 Address 100 GEORGE STREET, LONDON, W1U 8NU
 Address
 Tel: +44 020 7563 4250
 Email Email: michelle@argentdesign.co.uk

Consultant: LANDSCAPE ARCHITECTS
 Name CLAD LANDSCAPE
 Address 8020 NE 4th Ave., Studio 113, Miami, FL 33138
 Address CLADLANDSCAPE.COM
 Tel: +1 (786) 536-6076
 Email thais@cladlandscape.com

Architect:
 Kobi Karp Architecture and Interior Design, Inc.
 571 NW 28th Street
 Miami, Florida 33127 USA
 Tel: +1(305) 573-1818
 Fax: +1(305) 573-3766



KOBİ KARP
 Lic. # AR0012578



AXONOMETRIC RENDERING

Date	08-08-2022	Sheet No.	A0.11
Scale			
Project	2210		



360 S HIBISCUS, MIAMI BEACH, FL

© The work product provided by Kobi Karp Architecture and Interior Design, Inc. is the sole property of Kobi Karp Architecture and Interior Design, Inc. The work product may not be used without the expressed written consent of Kobi Karp Architecture and Interior Design, Inc. (KKAID)

WWW.KOBOKARP.COM

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF Kobi KARP AIA, AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF Kobi KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c) 2021

ZONING PACKAGE

PRIVATE RESIDENCE
 360 S HIBISCUS DRIVE,
 MIAMI, FL, 33139

Owner:
 Name
 Address
 Address
 Tel:
 Email

Consultant: GENERAL CONTRACTOR
 Name
 Address
 Address
 Tel:
 Email

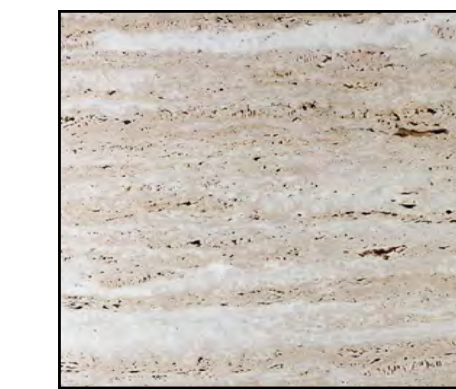
Consultant: Interior Designer
 Name
 Address
 Address
 Tel:
 Email

Consultant: LANDSCAPE ARCHITECTS
 Name
 Address
 Address
 Tel:
 Email

Architect:
 Kobi Karp Architecture and Interior Design, Inc.
 571 NW 28th Street
 Miami, Florida 33127 USA
 Tel: +1(305) 573-1818
 Fax: +1(305) 573-3766

AXONOMETRIC RENDERING

Date	08-08-2022	Sheet No.	A0.10
Scale			
Project	2210		



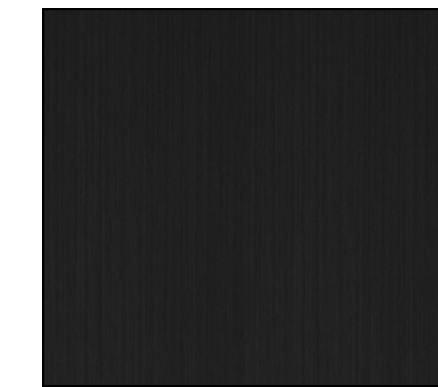
1 BEIGE STONE FINISH



2 BOARD-FORMED CONCRETE



3 LIGHT ANODIZED METAL FINISH



4 DARK ANODIZED METAL FINISH



5 WOOD UNDERSIDE OF ROOF OVERHANGS

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF Kobi Karp AIA, AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF Kobi Karp Architecture & Interior Design, Inc. AIA (©2021)

ZONING PACKAGE

PRIVATE RESIDENCE
 360 S HIBISCUS DRIVE,
 MIAMI, FL, 33139

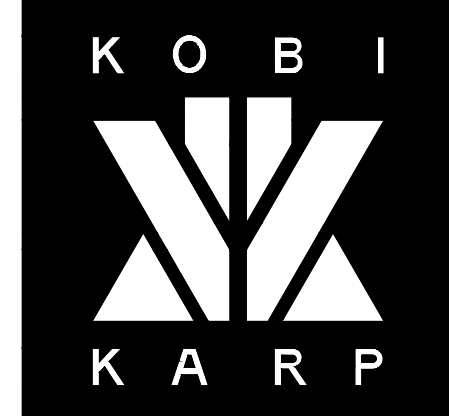
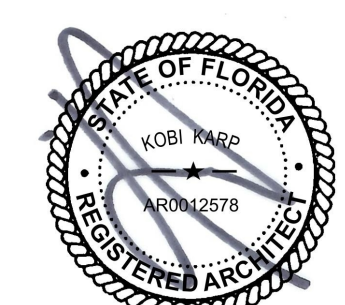
Owner:
 Name
 Address
 Tel:
 Email

Consultant: GENERAL CONTRACTOR
 Name
 Address
 Tel:
 Email

Consultant: Interior Designer
 Name
 Address
 Tel:
 Email

Consultant: LANDSCAPE ARCHITECTS
 Name
 Address
 Tel:
 Email

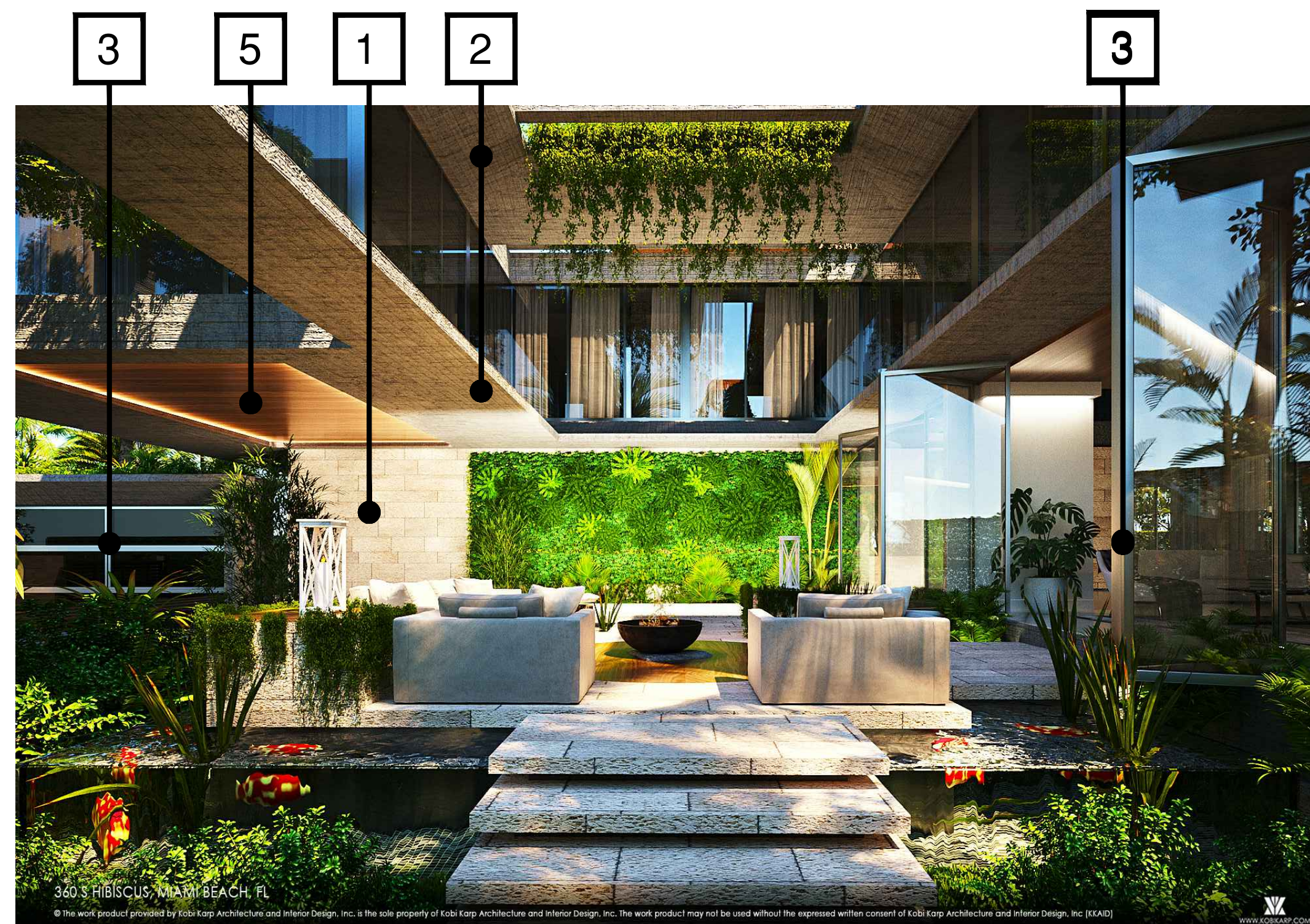
Architect:
 Kobi Karp Architecture and Interior Design, Inc.
 571 NW 28th Street
 Miami, Florida 33127 USA
 Tel: +1(305) 573 1818
 Fax: +1(305) 573 3766



Kobi Karp
 Lic. # AR0012578

PROPOSED HOUSE MATERIALS

Date	08-08-2022	Sheet No.	A4.07
Scale			
Project	2210		



360 S HIBISCUS, MIAMI BEACH, FL

©The work product provided by Kobi Karp Architecture and Interior Design, Inc. is the sole property of Kobi Karp Architecture and Interior Design, Inc. The work product may not be used without the expressed written consent of Kobi Karp Architecture and Interior Design, Inc. (KKAID)

WWW.KOBIKARP.COM

360 S HIBISCUS, MIAMI BEACH, FL

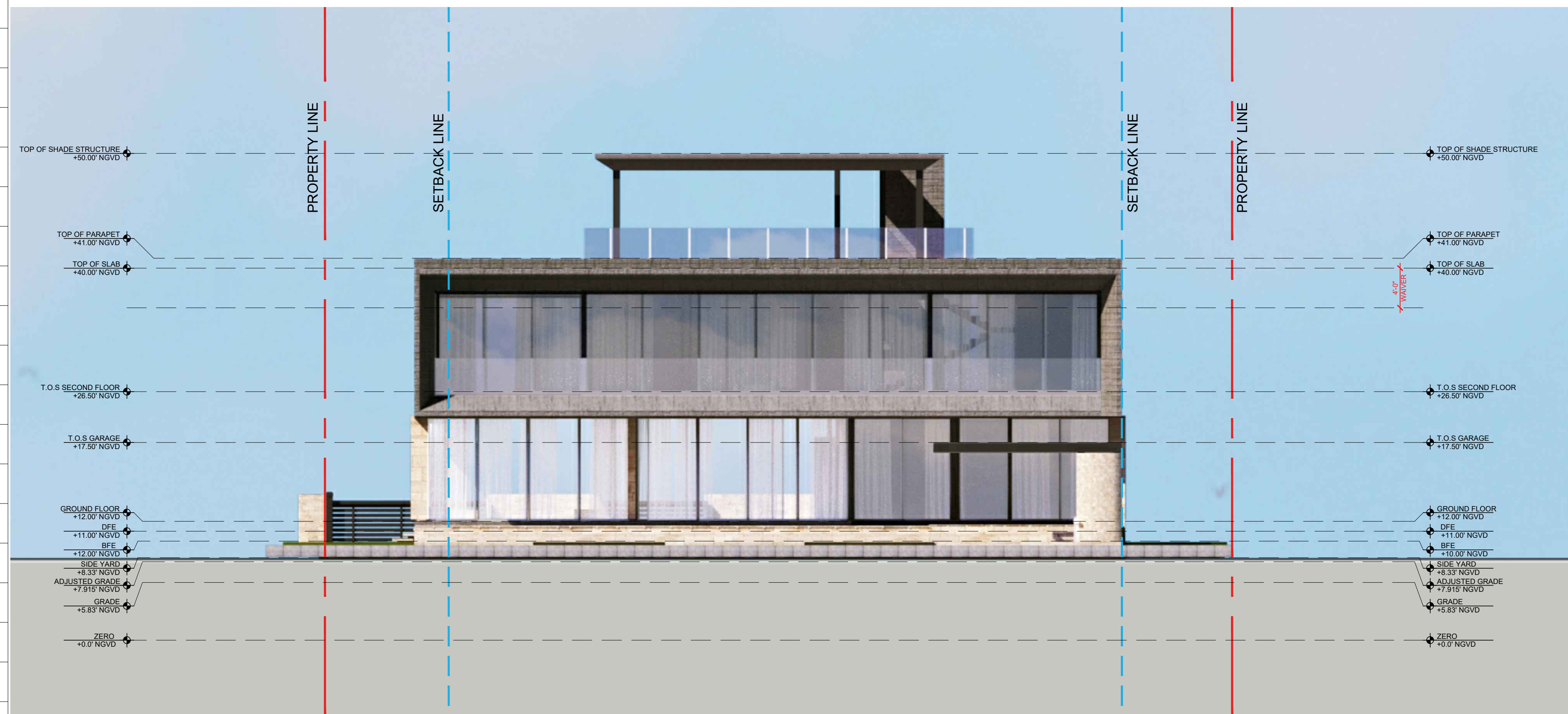
©The work product provided by Kobi Karp Architecture and Interior Design, Inc. is the sole property of Kobi Karp Architecture and Interior Design, Inc. The work product may not be used without the expressed written consent of Kobi Karp Architecture and Interior Design, Inc. (KKAID)

WWW.KOBIKARP.COM

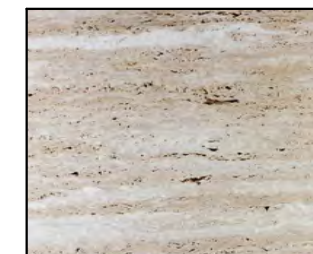

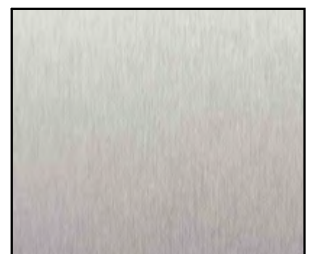
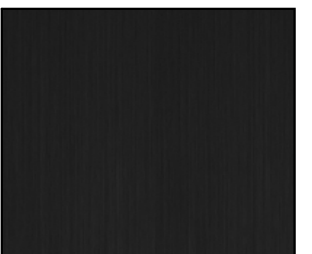
360 S HIBISCUS, MIAMI BEACH, FL

©The work product provided by Kobi Karp Architecture and Interior Design, Inc. is the sole property of Kobi Karp Architecture and Interior Design, Inc. The work product may not be used without the expressed written consent of Kobi Karp Architecture and Interior Design, Inc. (KKAID)

WWW.KOBIKARP.COM



ELEVATION MATERIAL LEGEND

			
1 STONE	2 BOAR-FORMED CONCRETE	3 LIGHT ANODIZED METAL FINISH	4 DARK ANODIZED METAL FINISH

(A) PROPOSED COLOR ELEVATIONS
Scale: 1/8" = 1'-0"

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA (© 2021)

ZONING PACKAGE

PRIVATE RESIDENCE
360 S HIBISCUS DRIVE,
MIAMI, FL, 33139

Owner:
Name
Address
Tel:
Email

Consultant: GENERAL CONTRACTOR
Name: Bart Reines Luxury Homebuilder
Address: 1800 Sunset Harbour Drive, Marina Suite P
Address: Miami Beach, FL 33139
Tel: (305) 534-9099
Email: bartreines@icloud.com

Consultant: Interior Designer
Name: Argent
Address: 100 GEORGE STREET, LONDON, W1U 8NU
Address
Tel: +44 020 7563 4250
Email: michelle@argentdesign.co.uk

Consultant: LANDSCAPE ARCHITECTS
Name: CLAD LANDSCAPE
Address: 8020 NE 4th Ave., Studio 113, Miami, FL 33138
Address: CLADLANDSCAPE.COM
Tel: +1 (786) 536-8076
Email: thais@cladlandscape.com

Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

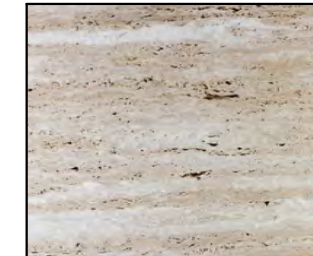

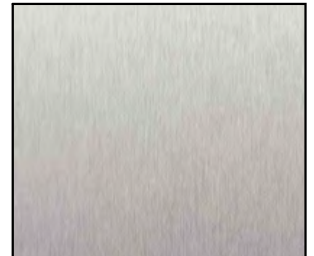
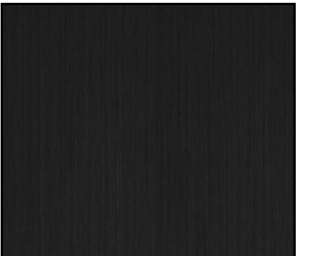


PROPOSED COLOR ELEVATIONS

Date	08-08-2022	Sheet No.	A4.03
Scale			
Project	2210		



A PROPOSED COLOR ELEVATIONS
Scale: 1/8" = 1'-0"

ELEVATION MATERIAL LEGEND			
			
1 STONE	2 BOARD-FORMED CONCRETE	3 LIGHT ANODIZED METAL FINISH	4 DARK ANODIZED METAL FINISH



Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. © 2021

ZONING PACKAGE

PRIVATE RESIDENCE
360 S HIBISCUS DRIVE,
MIAMI, FL, 33139

Owner:
Name
Address
Address
Tel:
Email

Consultant: GENERAL CONTRACTOR
Name: Bart Reines Luxury Homebuilder
Address: 1800 Sunset Harbour Drive, Marina Suite P
Address: Miami Beach, FL 33139
Tel: (305) 534-9099
Email: bartreines@icloud.com

Consultant: Interior Designer
Name: Argent
Address: 100 GEORGE STREET, LONDON, W1U 8NU
Address:
Tel: +44 020 7563 4250
Email: michelle@argentdesign.co.uk

Consultant: LANDSCAPE ARCHITECTS
Name: CLAD LANDSCAPE
Address: 8020 NE 4th Ave., Studio 113, Miami, FL 33138
Address: CLADLANDSCAPE.COM
Tel: +1 (786) 536-8076
Email: thais@cladlandscape.com

Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766



PROPOSED COLOR ELEVATIONS

Date	08-08-2022	Sheet No.	A4.04
Scale			
Project	2210		



350 S HIBISCUS DR., MIAMI BEACH, FL 33139

360 S HIBISCUS DR., MIAMI BEACH, FL 33139

350 S HIBISCUS DR., MIAMI BEACH, FL 33139

1 CONTEXTUAL ELEVATION FRONT
SCALE: 3/32" = 1'-0"

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA #12578

ZONING PACKAGE

PRIVATE RESIDENCE
360 S HIBISCUS DRIVE,
MIAMI, FL, 33139

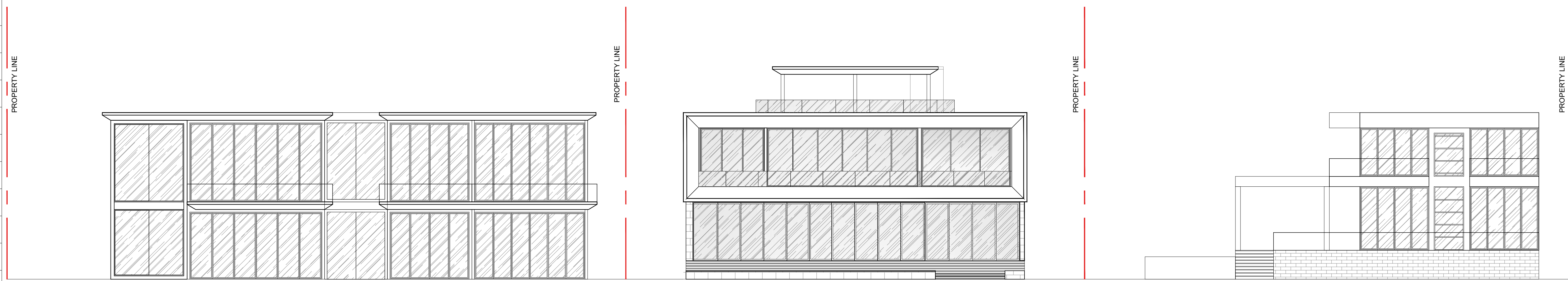
Owner:
Name
Address
Tel:
Email

Consultant: GENERAL CONTRACTOR
Name: Bart Reines Luxury Homebuilder
Address: 1800 Sunset Harbour Drive, Marina Suite P
Miami Beach, FL 33139
Tel: (305) 534-0099
Email: bartreines@icloud.com

Consultant: Interior Designer
Name: Argent
Address: 100 GEORGE STREET, LONDON, W1U 8NU
Tel: +44 020 7563 4250
Email: michelle@argentdesign.co.uk

Consultant: LANDSCAPE ARCHITECTS
Name: CLAD LANDSCAPE
Address: 8020 NE 4th Ave., Studio 113, Miami, FL 33138
Tel: +1 (305) 573 1818
Email: thais@cladlandscape.com

Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766



350 S HIBISCUS DR., MIAMI BEACH, FL 33139

360 S HIBISCUS DR., MIAMI BEACH, FL 33139

350 S HIBISCUS DR., MIAMI BEACH, FL 33139

1 CONTEXTUAL ELEVATION BACK
SCALE: 3/32" = 1'-0"



CONTEXTUAL ELEVATIONS

Date	08-08-2022	Sheet No.	A4.05
Scale			
Project	2210		



Planning Department, 1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Project Information			
1	Address:	360 S HIBISCUS DRIVE, MIAMI BEACH, FL 33139		
2	Folio number(s):	02-3232-006-0150		
3	Board and file numbers :			
4	Year built:(EXISTING TO BE DEMO'D.)	1952	Zoning District:	RS-3
5	Base Flood Elevation:	+10.00' NGVD	Grade value in NGVD:	+5.83' NGVD
6	Adjusted grade (Flood+Grade/2):	+7.915' NGVD	Free board:	+2 = +12.00' NGVD
7	Lot Area:	15,750 Sq.Ft		
8	Lot width:	90'-0"	Lot Depth:	175'-0"
9	Max Lot Coverage SF and %:	4,725 SF (30.00%)	Proposed Lot Coverage SF and %:	4,724.9 SF (29.99%)
10	Existing Lot Coverage SF and %:		Lot coverage deducted (garage-storage) SF:	500SF
11	Front Yard Open Space SF and %:	999 SF (55.5 %)	Rear Yard Open Space SF and %:	1,678 SF (70.97 %)
12	Max Unit Size SF and %:	11,300 SF (50.00 %)	Proposed Unit Size SF and %:	7,971 SF (49.97 %)
13	Existing First Floor Unit Size:		Proposed First Floor Unit Size:	3,716 SF (23.59 %)
14	Existing Second Floor Unit Size		Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home requires Board Approval)	N/A
15			Proposed Second Floor Unit Size SF and % :	4,053 SF (27.73 %)
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	1,010 SF (24.91%)

	Zoning Information / Calculations	Required	Existing	Proposed	Deficiencies
17	Height:	24'-0"		28'-0"	4'-0"
18	Setbacks:				WAIVER
19	Front First level:	20'-0"		20'-0"	
20	Front Second level:	30'-0"		30'-0"	
21	Side 1:	12'-6" MIN.		12'-6" MIN.	
22	Side 2 or (facing street):	10'-0" MIN.		10'-0" MIN.	
23	Rear:	26'-3"		26'-3"	
	Accessory Structure Side 1:	N / A		N / A	
24	Accessory Structure Side 2 or (facing street) :	N / A		N / A	
25	Accessory Structure Rear:	N / A		N / A	
26	Sum of side yard :	25'-0" MIN.		22'-10"	
27	Located within a Local Historic District?			Yes or No	
28	Designated as an individual Historic Single Family Residence Site?			Yes or No	
29	Determined to be Architecturally Significant?			Yes or No	
	Additional data or information must be presented in the format outlined in this section				

Notes:

If not applicable write N/A

App/PlanRev1-16v.1

INDEX	
SHEET NUMBER	SHEET NAME
ARCHITECTURAL DRAWINGS	
A0.00	COVER
A0.01	PROJECT DATA / DRAWING INDEX & GENERAL NOTES
	SURVEY
A0.02	LOCATION MAP
A0.03	IMAGE KEY PLAN
A0.04	CONTEXTUAL IMAGES
A0.05	EXISTING HOME IMAGES
A0.06	NEIGHBORING HOMES IMAGES
A0.07	NEIGHBORING HOMES IMAGES
A0.08	ZONING DIAGRAMS – LOT COVERAGE
A0.09	ZONING DIAGRAMS – UNIT SIZE REQUIREMENTS
A0.10	ZONING DIAGRAMS – UNIT SIZE REQUIREMENTS
A0.11	AXONOMETRIC RENDERING
A0.12	AXONOMETRIC RENDERING
A2.01	SITE PLAN
A3.01	GROUND FLOOR PLAN
A3.02	SECOND FLOOR PLAN
A3.03	ROOF PLAN
A4.01	FRONT & REAR ELEVATIONS
A4.02	SIDE ELEVATIONS
A4.03	RENDERED FRONT & REAR ELEVATIONS
A4.04	RENDERED FRONT & REAR ELEVATIONS
A4.05	CONTEXTUAL ELEVATIONS
A4.06	HOUSE MATERIALS
A5.01	SECTIONS
A5.02	SECTIONS
A5.03	SITE YARD SECTIONS
A6.01	RENDERING
A6.02	RENDERING

- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8
- 9
- 10
- 11
- 12

Rev. Date Rev. Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. © 2021

CONCEPT DESIGN

PRIVATE RESIDENCE
360 S HIBISCUS DRIVE,
MIAMI, FL, 33139

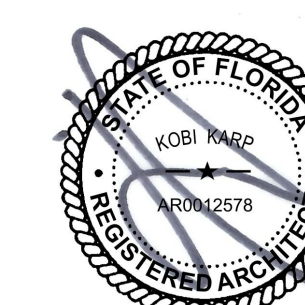
Owner:
Name
Address
Tel:
Email

Consultant:
Name
Address
Tel:
Email

Consultant:
Name
Address
Tel:
Email

Consultant:
Name
Address
Tel:
Email

Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766



KOBİ KARP
Lic. # AR0012578

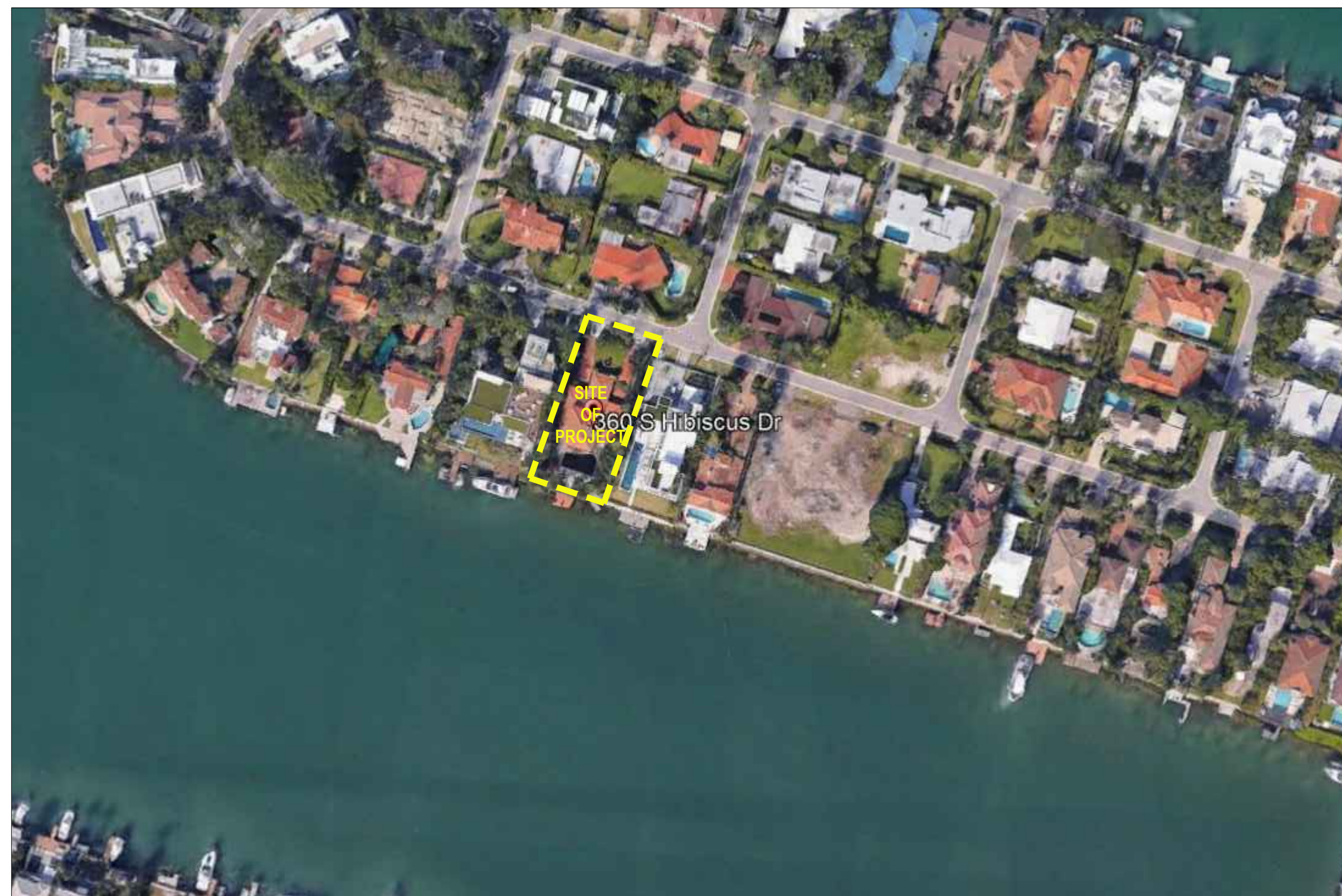


DATA SHEET

Date	06-06-2022	Sheet No.	A0.01
Scale			
Project	2210		



1 LOCATION MAP-1/2 MI RADIUS
Scale: N.T.S.



2 LOCATION MAP
Scale: N.T.S.

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF Kobi Karp AIA, AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF Kobi Karp Architecture & Interior Design, Inc. AIA. (1/2021)

ZONING PACKAGE

PRIVATE RESIDENCE
360 S HIBISCUS DRIVE,
MIAMI, FL, 33139

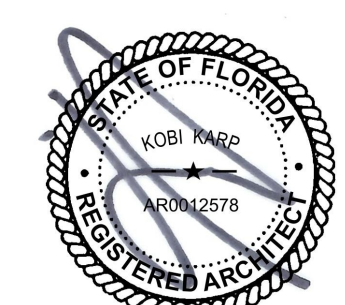
Owner:
Name
Address
Tel:
Email

Consultant: GENERAL CONTRACTOR
Name: Bart Reines Luxury Homebuilder
Address: 1800 Sunset Harbour Drive, Marina Suite P
Miami Beach, FL 33139
Tel: (305) 534-9099
Email: bartreines@icloud.com

Consultant: Interior Designer
Name: Argent
Address: 100 GEORGE STREET, LONDON, W1U 8NU
Tel: +44 020 7563 4250
Email: michelle@argentdesign.co.uk

Consultant: LANDSCAPE ARCHITECTS
Name: CLAD LANDSCAPE
Address: 8020 NE 4th Ave., Studio 113, Miami, FL 33138
CLADLANDSCAPE.COM
Tel: +1 (786) 536-8076
Email: thais@cladlandscape.com

Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

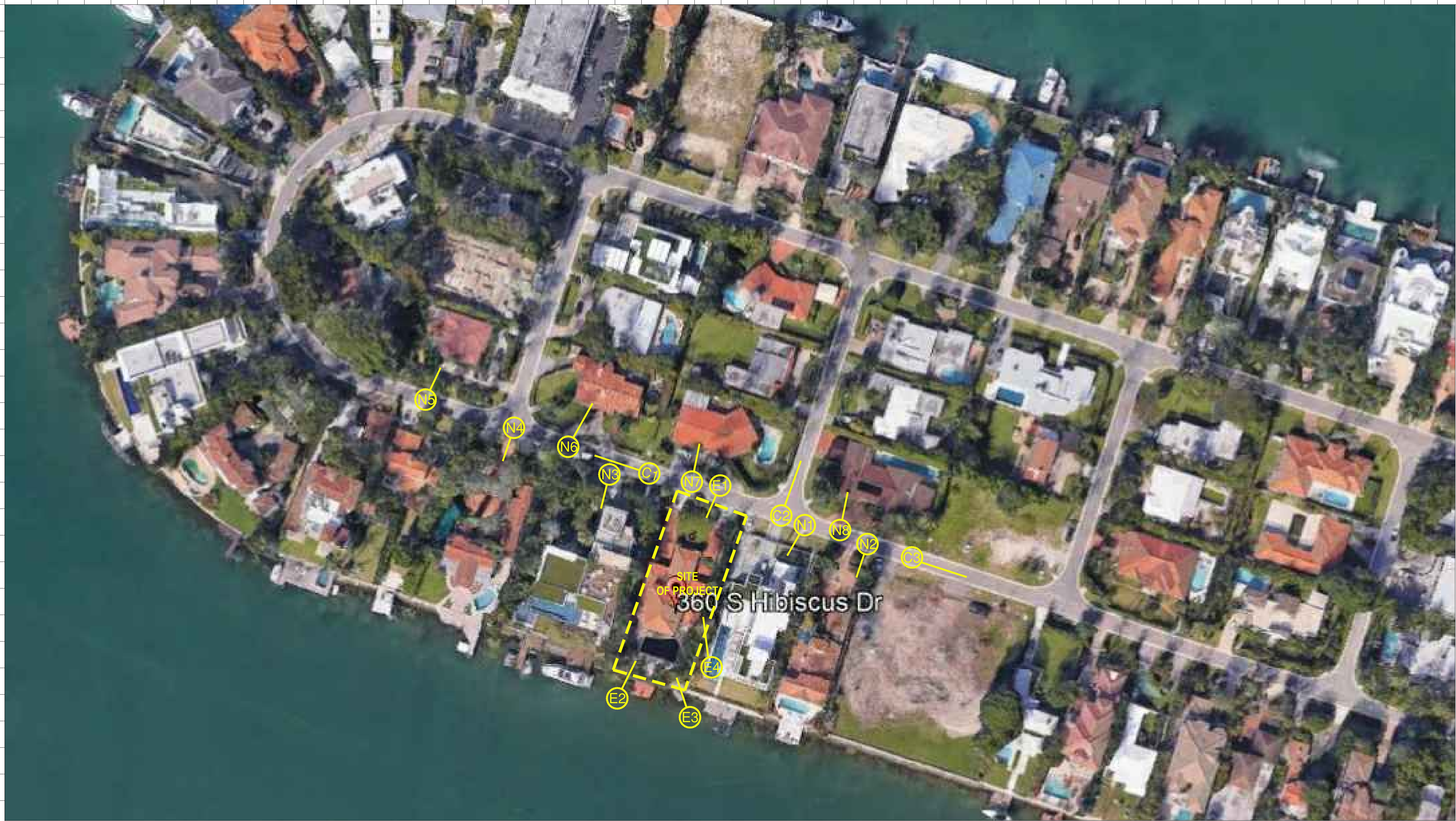


KOBI KARP
Lic. # AR0012578



IMAGE KEY

Date	08-08-2022	Sheet No.	A0.02
Scale			
Project	2210		



1 IMAGE KEY PLAN
Scale: N.T.S.

IMAGES ON SHEET A0.04-CONTEXT	
C1	- S HIBISCUS Dr - WEST
C2	- W 3RD CT - NORTH
C3	- S HIBISCUS Dr - EAST

IMAGES ON SHEET A0.05-EXISTING PROPERTY	
E1	- FRONT YARD
E2	- REAR YARD
E3	- REAR YARD
E4	- SIDE YARD

IMAGES ON SHEET A0.06-NEIGHBOR PROPERTY	
N1	- 350 & 356 S HIBISCUS Dr
N2	- 340 S HIBISCUS Dr
N3	- 370 & 380 S HIBISCUS Dr
N4	- 394 S HIBISCUS Dr

IMAGES ON SHEET A0.07-NEARBY PROPERTY	
N5	- 106 S HIBISCUS Dr
N6	- 394 S HIBISCUS Dr
N7	- 394 S HIBISCUS Dr
N8	- 394 S HIBISCUS Dr

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (1) 2021

ZONING PACKAGE

PRIVATE RESIDENCE
360 S HIBISCUS DRIVE,
MIAMI, FL, 33139

Owner:
Name
Address
Address
Tel:
Email

Consultant: GENERAL CONTRACTOR
Name
Address
Address
Tel:
Email

Consultant: Interior Designer
Name
Address
Address
Tel:
Email

Consultant: LANDSCAPE ARCHITECTS
Name
Address
Address
Tel:
Email

Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573-1818
Fax: +1(305) 573-3766



IMAGE KEY PLAN

Date	08-08-2022	Sheet No.
Scale		A0.03
Project	2210	



① C1
Scale: N.T.S.



② C2
Scale: N.T.S.



③ C3
Scale: N.T.S.

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE DUPLICATED, REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (6/2021)

ZONING PACKAGE

PRIVATE RESIDENCE
360 S HIBISCUS DRIVE,
MIAMI, FL, 33139

Owner:
Name
Address
Address
Tel:
Email

Consultant: GENERAL CONTRACTOR
Name: Bart Reines Luxury Homebuilder
Address: 1800 Sunset Harbour Drive, Marina Suite P
Address: Miami Beach, FL 33139
Tel: (305) 534-9099
Email: Email: bartreines@icloud.com

Consultant: Interior Designer
Name: Argent
Address: 100 GEORGE STREET, LONDON, W1U 8NU
Address:
Tel: +44 020 7563 4250
Email: Email: michelle@argentdesign.co.uk

Consultant: LANDSCAPE ARCHITECTS
Name: CLAD LANDSCAPE
Address: 8020 NE 4th Ave., Studio 113, Miami, FL 33138
Address: CLADLANDSCAPE.COM
Tel: +1 (786) 536-6076
Email: Email: thais@cladlandscape.com

Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573-1818
Fax: +1(305) 573-3766



KOBİ KARP
Lic. # AR0012578



CONTEXTUAL IMAGES

Date	08-08-2022	Sheet No.
Scale		A0.04
Project	2210	



1 E1
Scale: N.T.S.



2 E2
Scale: N.T.S.



1 E3
Scale: N.T.S.



2 E4
Scale: N.T.S.

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE DUPLICATED, REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (©) 2021

ZONING PACKAGE

PRIVATE RESIDENCE
360 S HIBISCUS DRIVE,
MIAMI, FL, 33139

Owner:
Name
Address
Tel:
Email

Consultant: GENERAL CONTRACTOR
Name Bart Reines Luxury Homebuilder
Address 1800 Sunset Harbour Drive, Marina Suite P
Miami Beach, FL 33139
Tel: (305) 534-9099
Email: bartreines@icloud.com

Consultant: Interior Designer
Name Argent
Address 100 GEORGE STREET, LONDON, W1U 8NU
Tel: +44 020 7563 4250
Email: michelle@argentdesign.co.uk

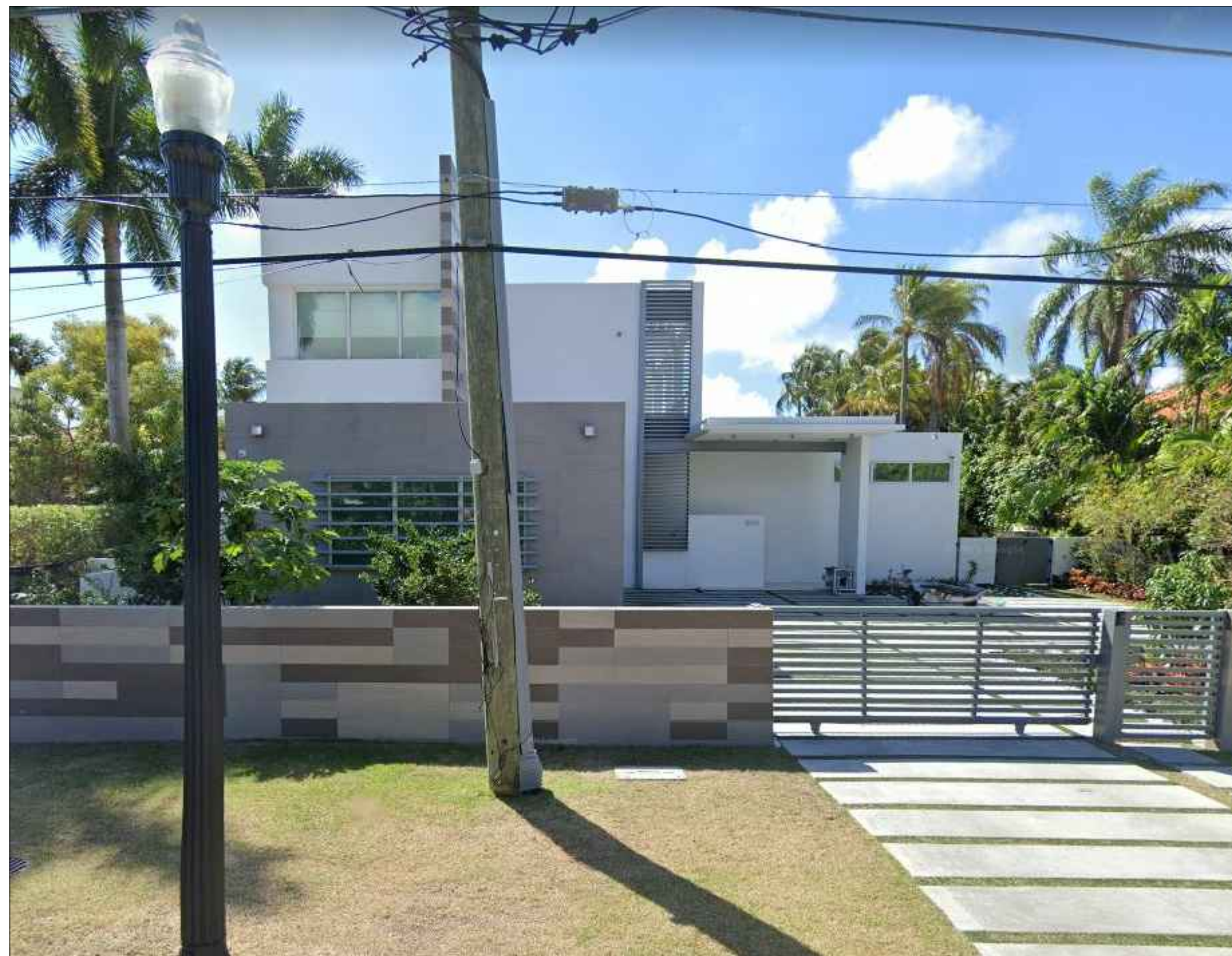
Consultant: LANDSCAPE ARCHITECTS
Name CLAD LANDSCAPE
Address 8020 NE 4th Ave., Studio 113, Miami, FL 33138
CLADLANDSCAPE.COM
Tel: +1 (786) 536-6076
Email: thais@cladlandscape.com

Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573-1818
Fax: +1(305) 573-3766

KOBİ KARP
Lic. # AR0012578

EXISTING HOME IMAGES

Date	08-08-2022	Sheet No.	A0.05
Scale			
Project	2210		



1 N1
Scale: N.T.S.



2 N2
Scale: N.T.S.



3 N3
Scale: N.T.S.



4 N4
Scale: N.T.S.

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (6/2021)

ZONING PACKAGE

PRIVATE RESIDENCE
360 S HIBISCUS DRIVE,
MIAMI, FL, 33139

Owner:
Name
Address
Tel:
Email

Consultant: GENERAL CONTRACTOR
Name: Bart Reines Luxury Homebuilder
Address: 1800 Sunset Harbour Drive, Marina Suite P
Address: Miami Beach, FL 33139
Tel: (305) 534-9099
Email: bartreines@icloud.com

Consultant: Interior Designer
Name: Argent
Address: 100 GEORGE STREET, LONDON, W1U 8NU
Address:
Tel: +44 020 7563 4250
Email: michelle@argentdesign.co.uk

Consultant: LANDSCAPE ARCHITECTS
Name: CLAD LANDSCAPE
Address: 8020 NE 4th Ave., Studio 113, Miami, FL 33138
Address: CLADLANDSCAPE.COM
Tel: +1 (786) 536-6076
Email: thais@cladlandscape.com

Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573-1818
Fax: +1(305) 573-3766

KOBİ KARP
Lic. # AR0012578

NEIGHBORING HOME IMAGES

Date	08-08-2022	Sheet No.	A0.06
Scale			
Project	2210		



1 N5
Scale: N.T.S.



2 N6
Scale: N.T.S.



3 N7
Scale: N.T.S.



4 N8
Scale: N.T.S.

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c) 2021

ZONING PACKAGE

PRIVATE RESIDENCE
360 S HIBISCUS DRIVE,
MIAMI, FL, 33139

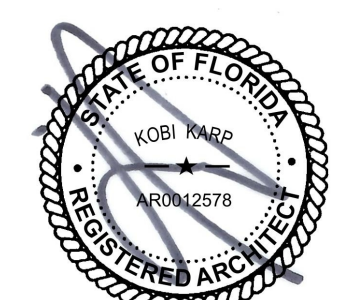
Owner:
Name
Address
Tel:
Email

Consultant: GENERAL CONTRACTOR
Name: Bart Reines Luxury Homebuilder
Address: 1800 Sunset Harbour Drive, Marina Suite P
Address: Miami Beach, FL 33139
Tel: (305) 534-9099
Email: Email: bartreines@icloud.com

Consultant: Interior Designer
Name: Argent
Address: 100 GEORGE STREET, LONDON, W1U 8NU
Address:
Tel: +44 020 7563 4250
Email: Email: michelle@argentdesign.co.uk

Consultant: LANDSCAPE ARCHITECTS
Name: CLAD LANDSCAPE
Address: 8020 NE 4th Ave., Studio 113, Miami, FL 33138
Address: CLADLANDSCAPE.COM
Tel: +1 (786) 536-6076
Email: thais@cladlandscape.com

Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573-1818
Fax: +1(305) 573-3766

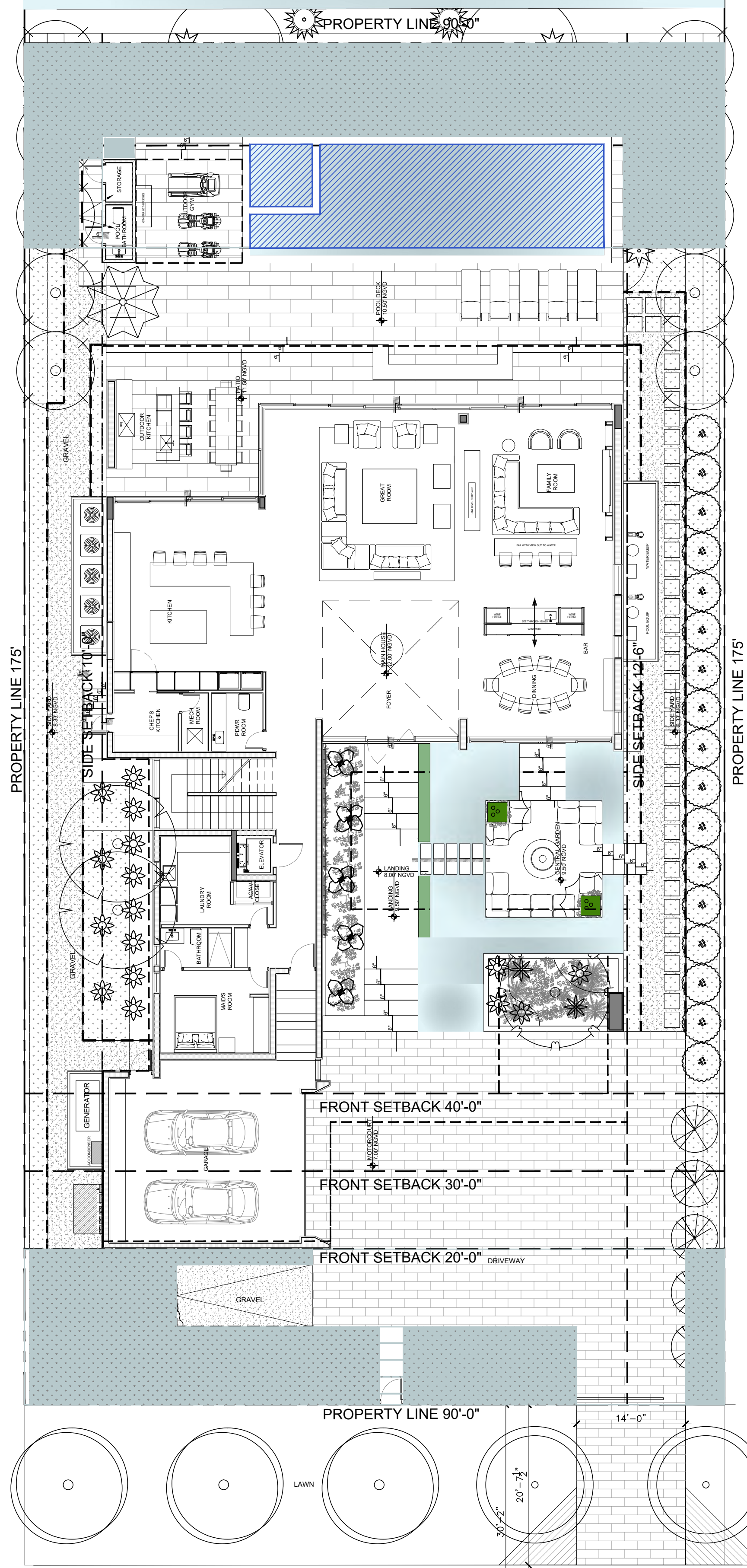


KOBİ KARP
Lic. # AR0012578



NEIGHBORING HOME IMAGES

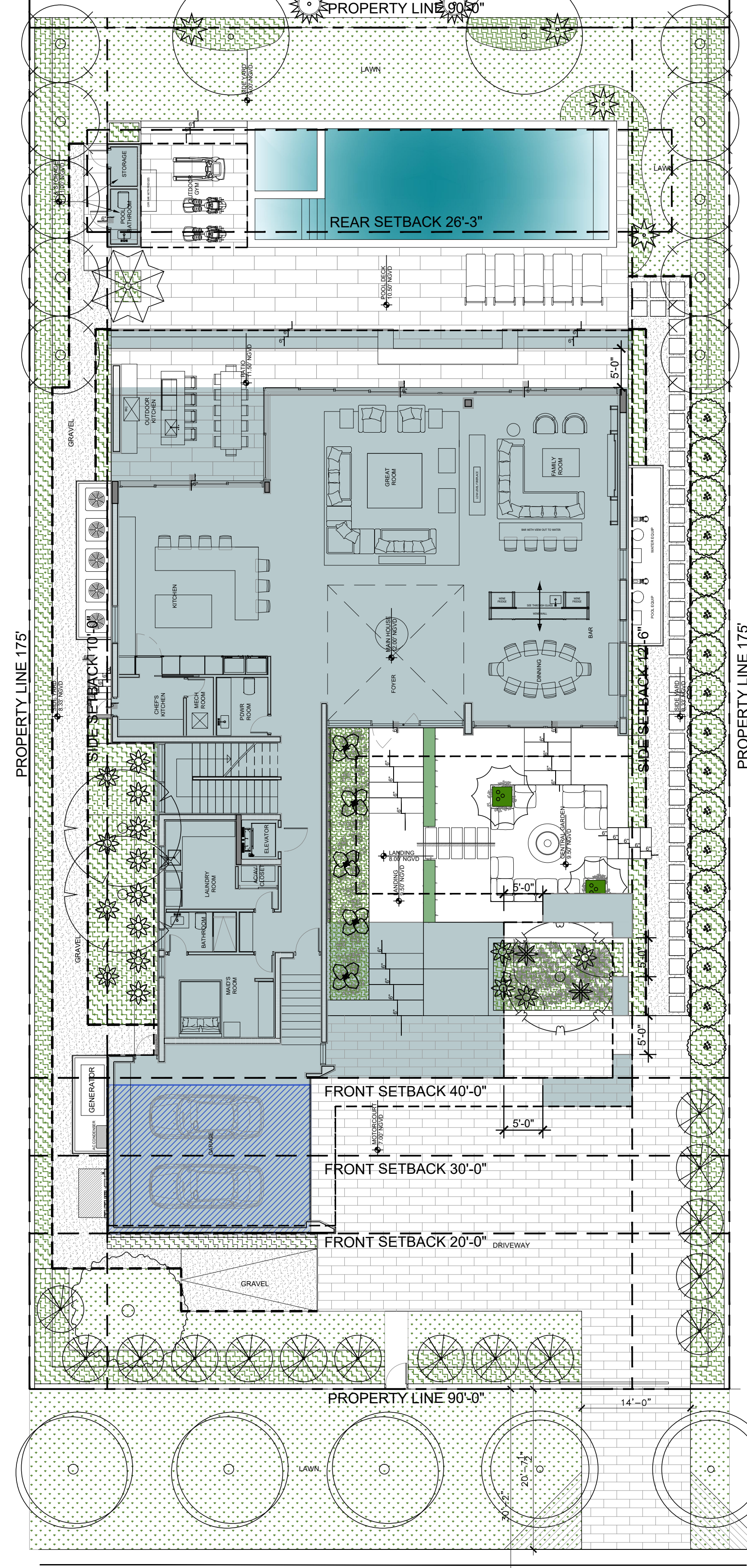
Date	08-08-2022	Sheet No.	A0.07
Scale			
Project	2210		



PERVIOUS / IMPERVIOUS:
LOT SIZE: 15,750 SF
FRONT YARD
 (50% REQ. FRONT YARD AREA):
 1,800 SF (50%)
 REQUIRED: 900 SF (50% OF 1,800SF)
 PROVIDED: 999 SF (55.5%)

REAR YARD (70% REQ. YARD AREA)
 2,365 SF
 REQUIRED: 1,655.5 SF (70% OF 2,365 SF)
 PROVIDED: 1,384 SF (OPEN SPACE) +
 294.5SF
 (50% OF POOL AREA)

TOTAL : 1,678.5 SF (70.97%)



LOT COVERAGE:
LOT SIZE: 15,750 SF
ALLOWED LOT COVERAGE:
 4,725 SF (30%)
PROPOSED LOT COVERAGE:
 4,723.5 SF (24.77%)
GARAGE 500 SF (EXCLUDED)
TOTAL : 4,724.9 SF (29.99%)

PLAN NORTH
 A ZONING DIAGRAMS-PERVIOUS CALCS.
 Scale: 3/32" = 1'-0"

PLAN NORTH
 B ZONING DIAGRAMS-LOT COVERAGE
 Scale: 3/32" = 1'-0"

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (1/2021)

ZONING PACKAGE

PRIVATE RESIDENCE
 360 S HIBISCUS DRIVE,
 MIAMI, FL, 33139

Owner:
 Name
 Address
 Address
 Tel:
 Email

Consultant: GENERAL CONTRACTOR
 Name
 Address
 Address
 Tel:
 Email

Consultant: Interior Designer
 Name
 Address
 Address
 Tel:
 Email

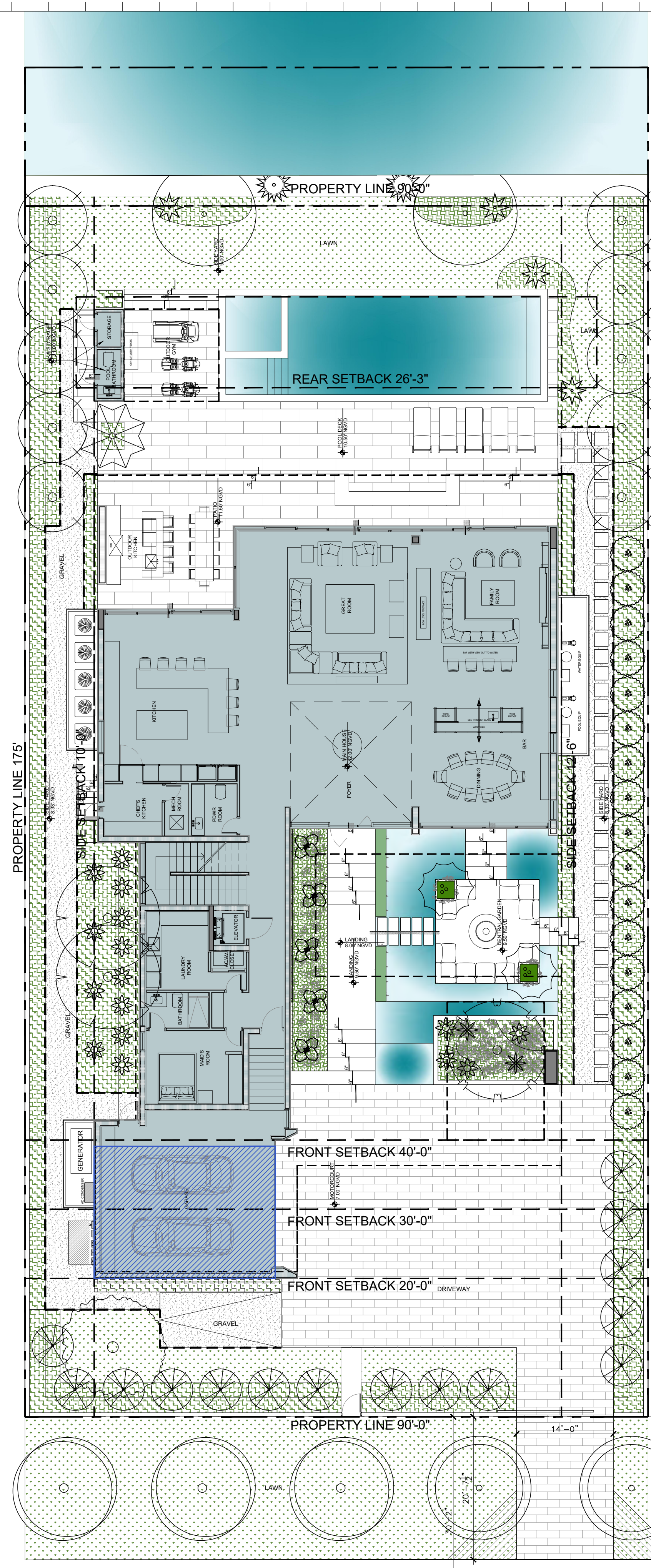
Consultant: LANDSCAPE ARCHITECTS
 Name
 Address
 Address
 Tel:
 Email

Architect:
 Kobi Karp Architecture and Interior Design, Inc.
 571 NW 28th Street
 Miami, Florida 33127 USA
 Tel: +1(305) 573 1818
 Fax: +1(305) 573 3766

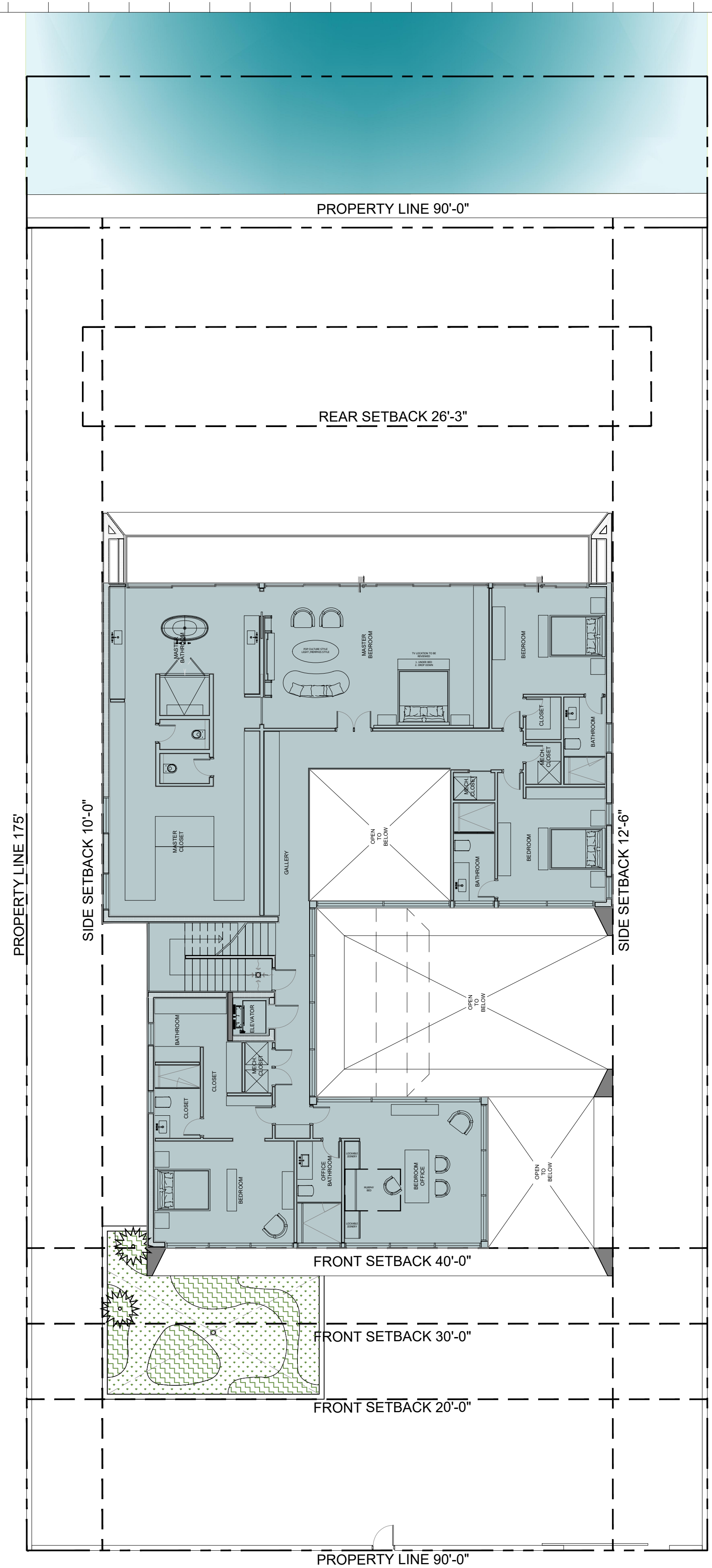


ZONING DIAGRAMS

Date	08-08-2022	Sheet No.	A0.08
Scale			
Project	2210		



PLAN NORTH
S HIBISCUS DR
A UNIT SIZE-GROUND FLOOR
Scale: 3/32" = 1'-0"



PLAN NORTH
S HIBISCUS DR
B UNIT SIZE-SECOND FLOOR
Scale: 3/32" = 1'-0"

UNIT SIZE LEGEND:

LOTE SIZE:	15,750 SF
ALLOWED UNIT SIZE:	7,875 SF (50%)
PROPOSED UNIT SIZE:	
GROUND FLOOR:	3,716 SF (23.59%)
SECOND FLOOR:	4,053 SF (27.73%)
ROOF:	44 SF (0.27%)
POOL BATHROOM:	58 SF (0.36%)
GARAGE:	500 SF (EXCLUDED)
TOTAL:	7,971 SF (49.97%)

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. © 2021

ZONING PACKAGE

PRIVATE RESIDENCE
360 S HIBISCUS DRIVE,
MIAMI, FL, 33139

Owner:
Name
Address
Tel.
Email

Consultant: GENERAL CONTRACTOR
Name
Address
Tel.
Email

Consultant: Interior Designer
Name
Address
Tel.
Email

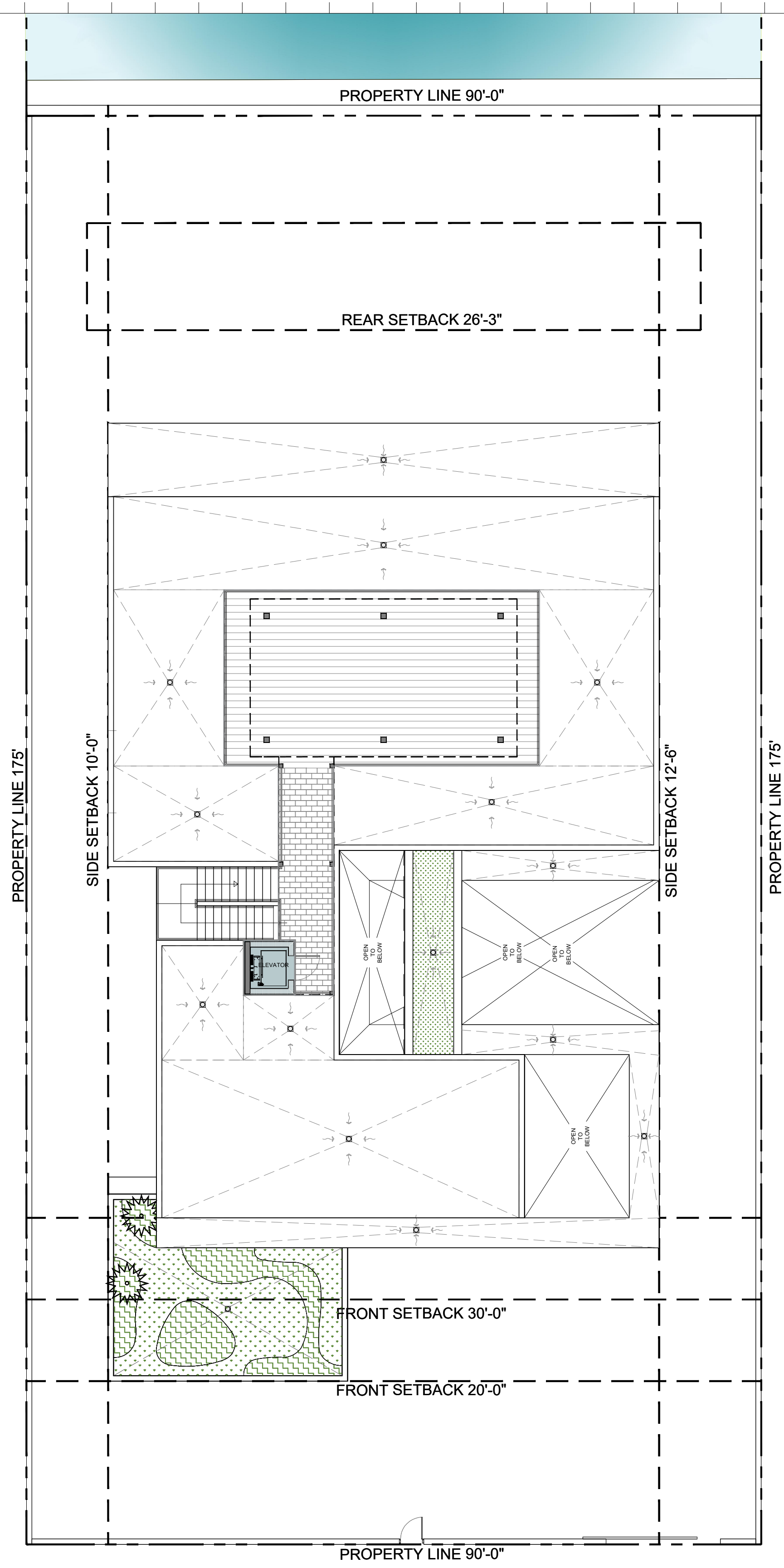
Consultant: LANDSCAPE ARCHITECTS
Name
Address
Tel.
Email

Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766



ZONING DIAGRAMS

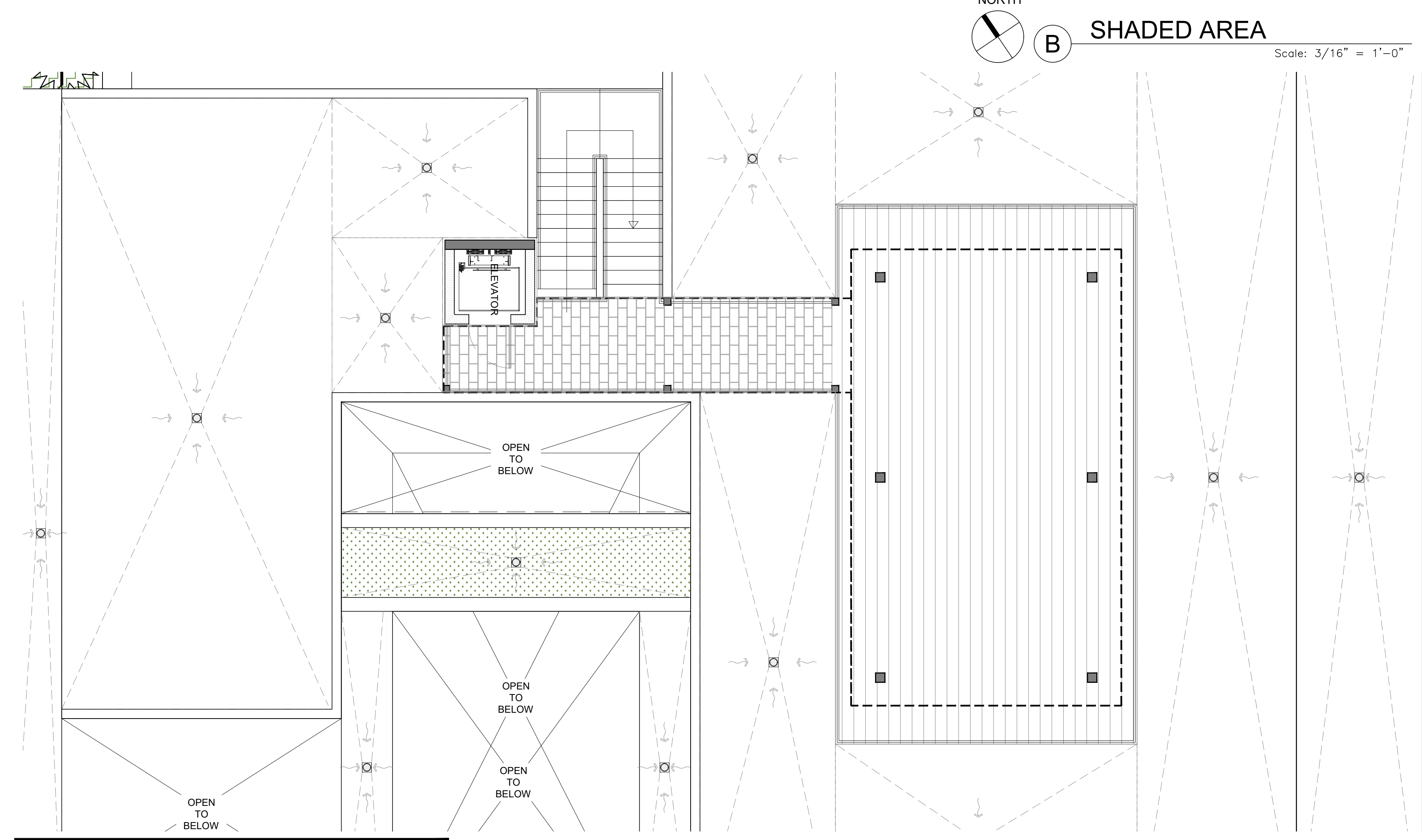
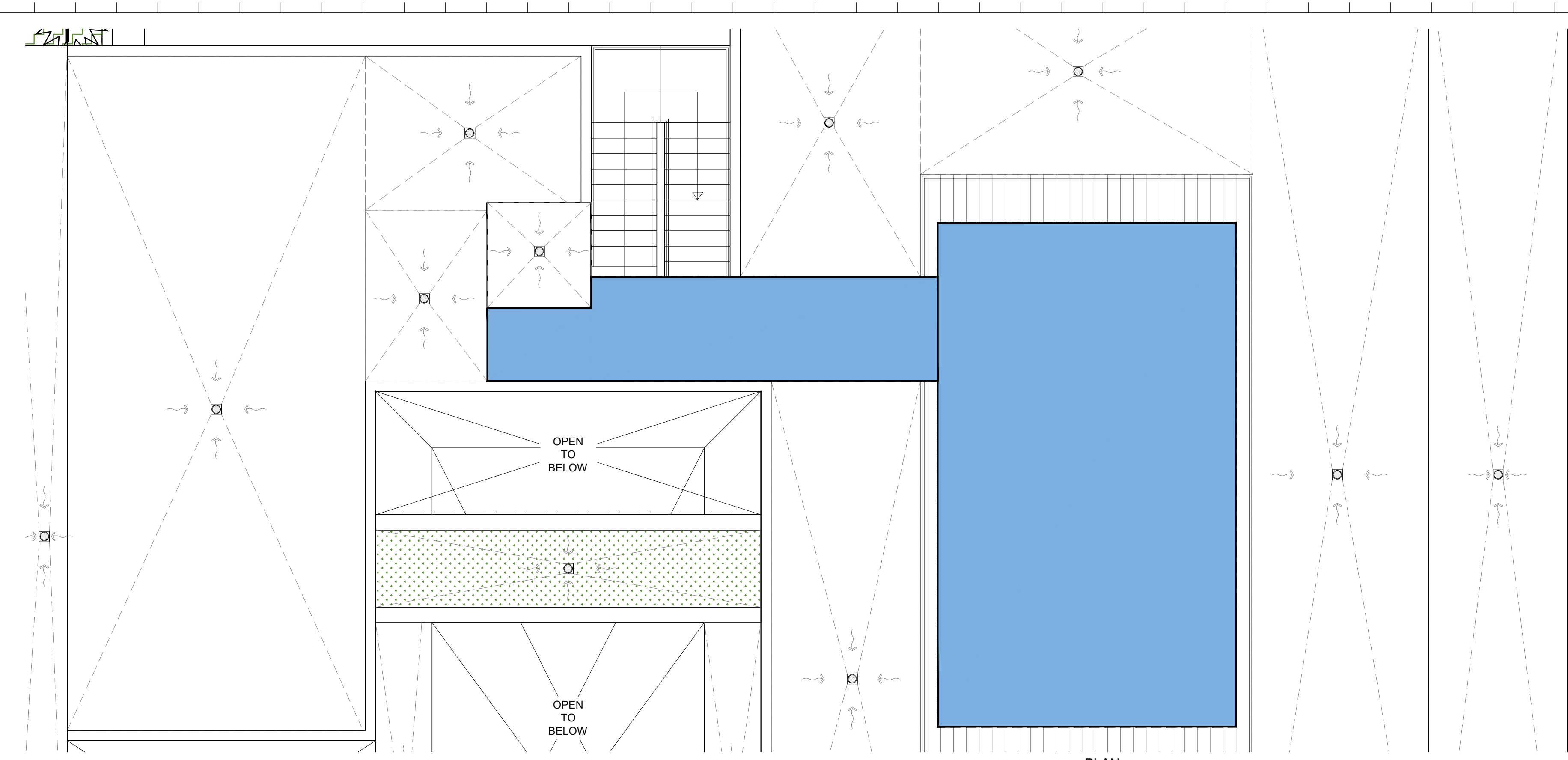
Date	08-08-2022	Sheet No.	A0.09
Scale			
Project	2210		



UNIT SIZE LEGEND:

LOTE SIZE:	15,750 SF
ALLOWED UNIT SIZE:	7,875 SF (50%)
PROPOSED UNIT SIZE:	
GROUND FLOOR:	3,780 SF (24.00%)
SECOND FLOOR:	4,075 SF (25.87%)
ROOF:	44 SF (0.27%)
POOL BATHROOM:	56 SF (0.35%)
GARAGE:	500 SF (EXCLUDED)
TOTAL:	7,957 SF (50.52%)

PLAN NORTH
A UNIT SIZE- ROOF PLAN
 Scale: 3/32" = 1'-0"



ROOFTOP CALCULATION:

SECOND FLOOR ENCLOSED AREA:	4,053 SF
ALLOWED SHADED AREA:	810 SF (20.00%)
PROPOSED SHADED AREA:	800 SF (19.73%)
ALLOWED DECK AREA:	1,013 SF (25.00%)
PROPOSED DECK AREA:	1,010 SF (24.91%)

PLAN NORTH
C DECK AREA
 Scale: 3/16" = 1'-0"

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (1/2021)

ZONING PACKAGE

PRIVATE RESIDENCE
 360 S HIBISCUS DRIVE,
 MIAMI, FL, 33139

Owner:
 Name
 Address
 Address
 Tel.
 Email

Consultant: GENERAL CONTRACTOR
 Name
 Address
 Address
 Tel.
 Email

Consultant: Interior Designer
 Name
 Address
 Address
 Tel.
 Email

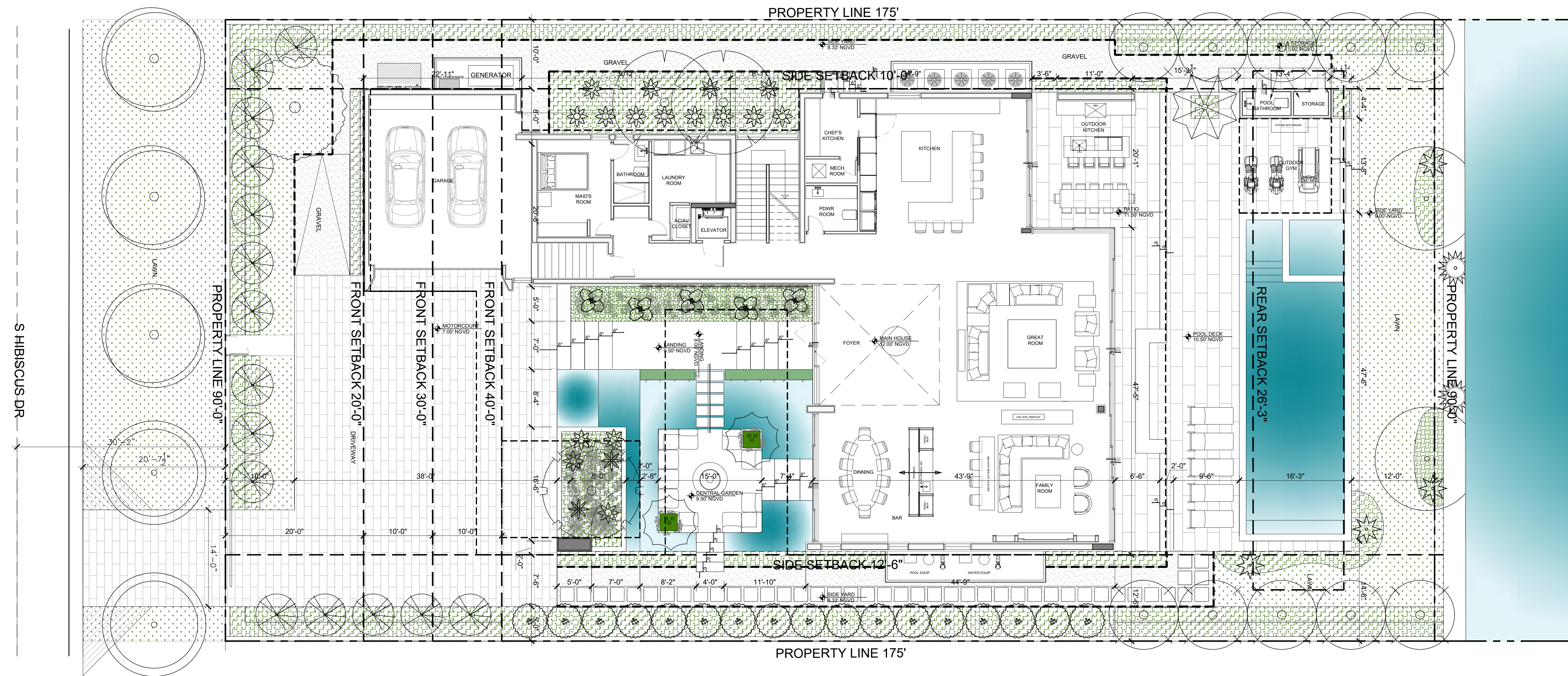
Consultant: LANDSCAPE ARCHITECTS
 Name
 Address
 Address
 Tel.
 Email

Architect:
 Kobi Karp Architecture and Interior Design, Inc.
 571 NW 28th Street
 Miami, Florida 33127 USA
 Tel: +1(305) 573 1818
 Fax: +1(305) 573 3766



ZONING DIAGRAMS

Date	08-08-2022	Sheet No.	A0.10
Scale			
Project	2210		



S HIBISCUS DR

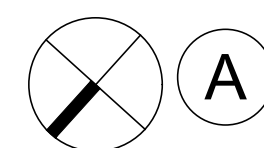
PROPERTY LINE 90'-0"

PROPERTY LINE 175'

PROPERTY LINE 175'

PROPERTY LINE 90'-0"

PLAN NORTH



PROPOSED SITE PLAN

Scale: 1/8" = 1'-0"

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. © 2021

ZONING PACKAGE

PRIVATE RESIDENCE
360 S HIBISCUS DRIVE,
MIAMI, FL, 33139

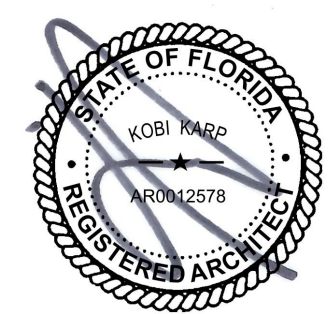
Owner:
Name: Argent
Address: 100 GEORGE STREET, LONDON, W1U 8NU
Tel: +44 20 7563 4250
Email: michelle@argentdesign.co.uk

Consultant: GENERAL CONTRACTOR
Name: Bart Reines Luxury Homebuilder
Address: 1800 Sunset Harbour Drive, Marina Suite P
Miami Beach, FL 33139
Tel: (305) 534-9099
Email: bartreines@icloud.com

Consultant: Interior Designer
Name: Argent
Address: 100 GEORGE STREET, LONDON, W1U 8NU
Tel: +44 20 7563 4250
Email: michelle@argentdesign.co.uk

Consultant: LANDSCAPE ARCHITECTS
Name: CLAD LANDSCAPE
Address: 8020 NE 4th Ave., Studio 113, Miami, FL 33138
Address: CLADLANDSCAPE.COM
Tel: +1 (786) 536-8076
Email: thais@cladlandscape.com

Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

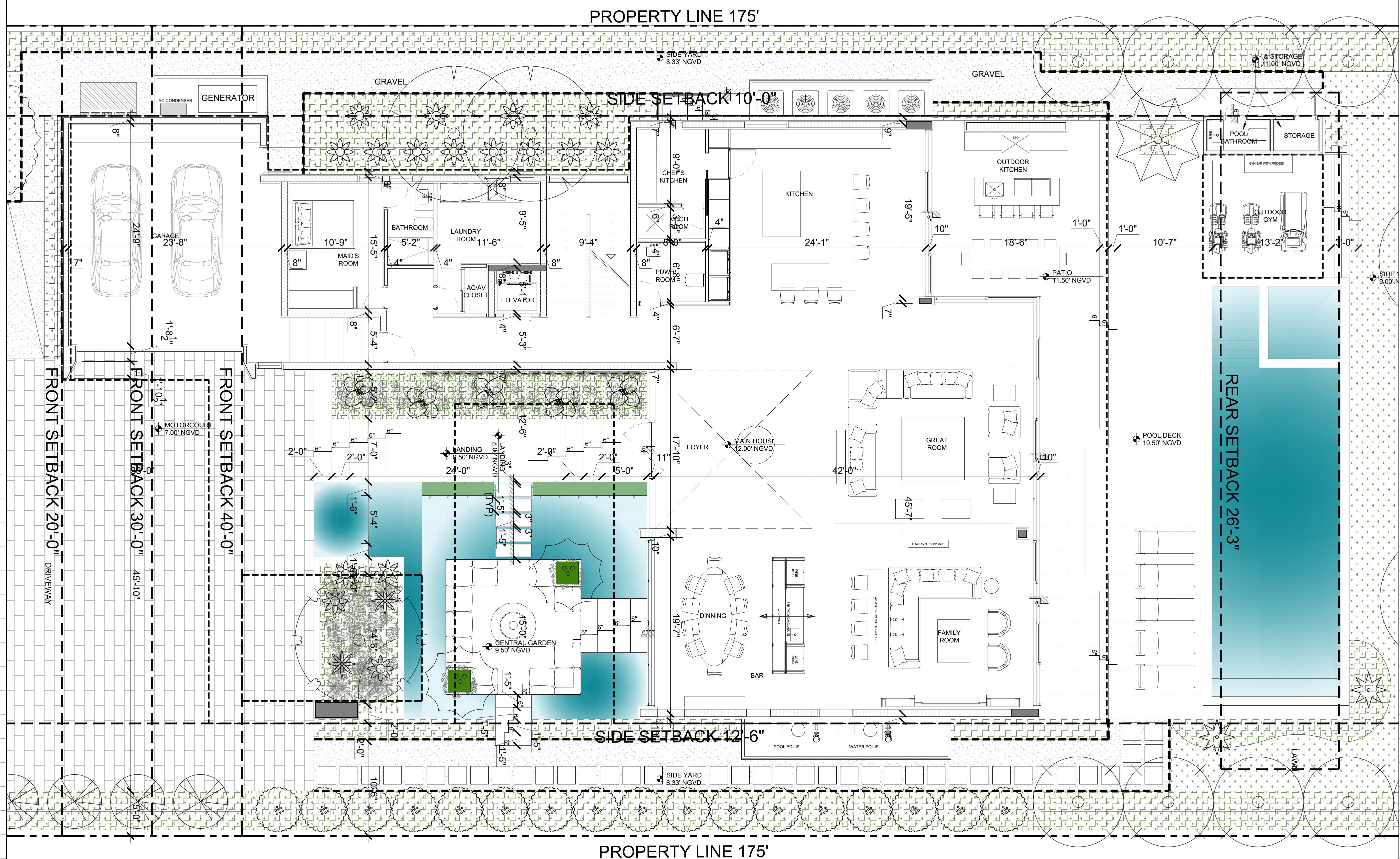


KOBİ KARP
Lic. # AR0012578



PROPOSED SITE PLAN

Date	08-08-2022	Sheet No.	A2.01
Scale			
Project	2210		



Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (1/2021)

ZONING PACKAGE

PRIVATE RESIDENCE
 360 S HIBISCUS DRIVE,
 MIAMI, FL, 33139

Owner:
 Name
 Address
 Tel.
 Email

Consultant: GENERAL CONTRACTOR
 Name: Bart Reines Luxury Homebuilder
 Address: 1800 Sunset Harbour Drive, Marina Suite P
 Miami Beach, FL 33139
 Tel.: (305) 534-9099
 Email: bartreines@icloud.com

Consultant: Interior Designer
 Name: Argent
 Address: 100 GEORGE STREET, LONDON, W1U 8NU
 Tel.: +44 20 7563 4250
 Email: michelle@argentdesign.co.uk

Consultant: LANDSCAPE ARCHITECTS
 Name: CLAD LANDSCAPE
 Address: 8020 NE 4th Ave., Studio 113, Miami, FL 33138
 Address: CLADLANDSCAPE.COM
 Tel.: +1 (786) 536-8076
 Email: thais@cladlandscape.com

Architect:
 Kobi Karp Architecture and Interior Design, Inc.
 571 NW 28th Street
 Miami, Florida 33127 USA
 Tel.: +1(305) 573 1818
 Fax: +1(305) 573 3766

PROPOSED LEVEL 1

PLAN NORTH
PROPOSED GROUND FLOOR
 Scale: 1/8" = 1'-0"

Date	08-08-2022	Sheet No.	A3.01
Scale			
Project	2210		

PROPERTY LINE 175'

SIDE SETBACK 10'-0"

REAR SETBACK 26'-3"

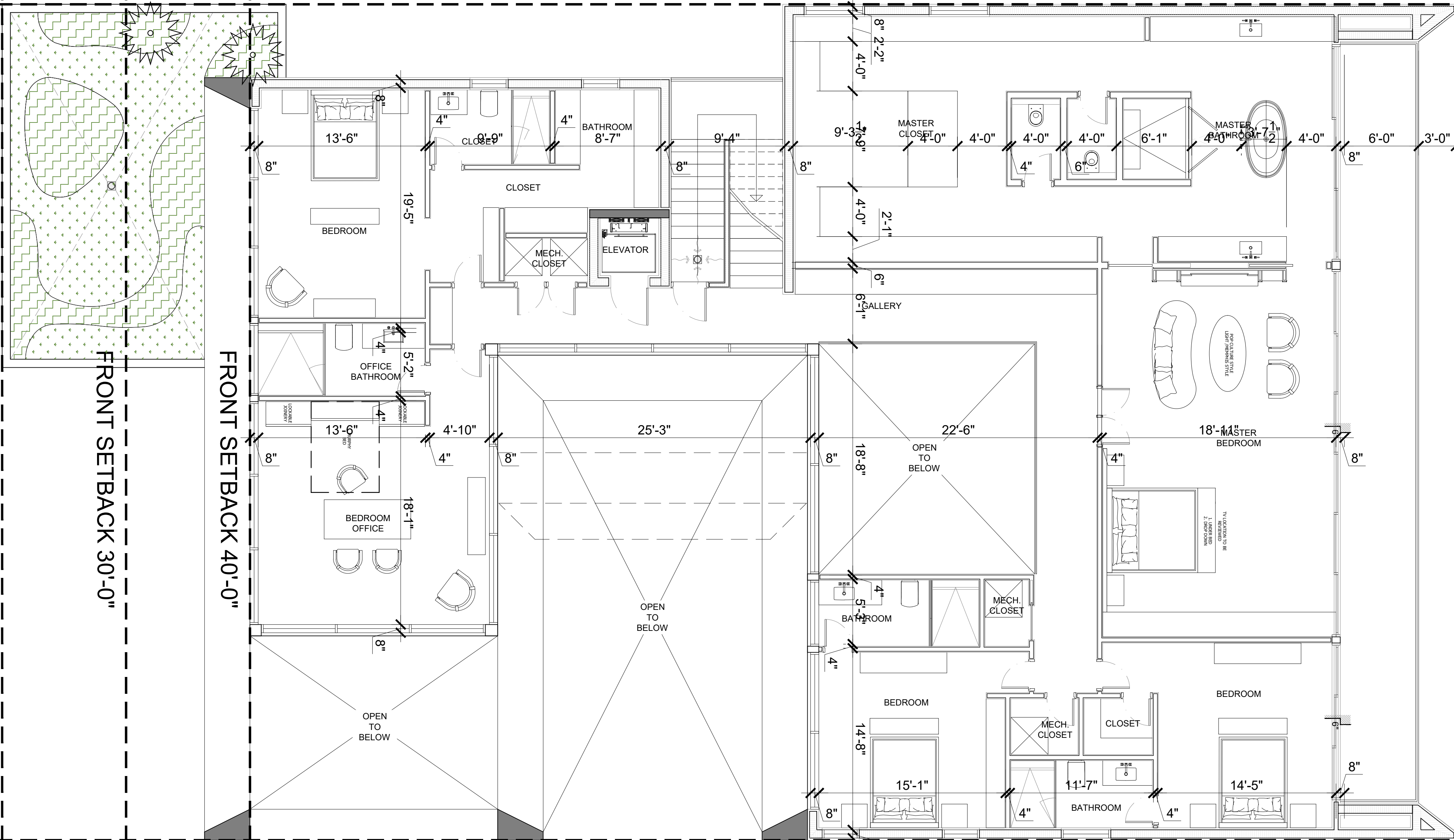
SIDE SETBACK 12'-6"

PROPERTY LINE 175'

FRONT SETBACK 20'-0"

FRONT SETBACK 30'-0"

FRONT SETBACK 40'-0"



Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (6/2021)

ZONING PACKAGE

PRIVATE RESIDENCE
360 S HIBISCUS DRIVE,
MIAMI, FL, 33139

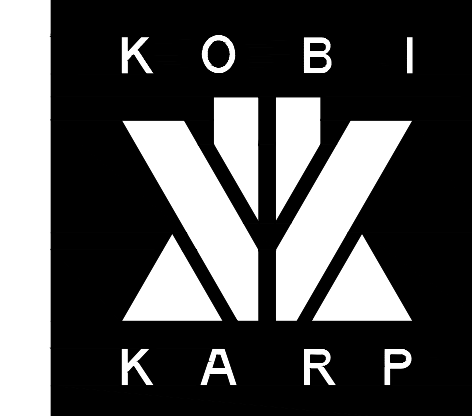
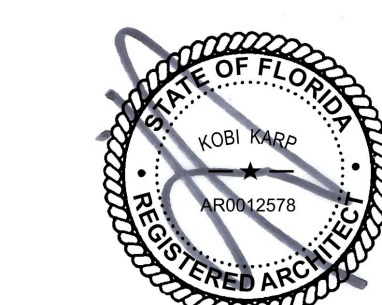
Owner:
Name
Address
Tel:
Email

Consultant: GENERAL CONTRACTOR
Name: Bart Reines Luxury Homebuilder
Address: 1800 Sunset Harbour Drive, Marina Suite P
Miami Beach, FL 33139
Tel: (305) 534-9099
Email: bartreines@icloud.com

Consultant: Interior Designer
Name: Argent
Address: 100 GEORGE STREET, LONDON, W1U 8NU
Tel: +44 020 7563 4250
Email: michelle@argentdesign.co.uk

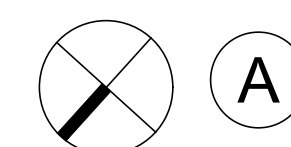
Consultant: LANDSCAPE ARCHITECTS
Name: CLAD LANDSCAPE
Address: 8020 NE 4th Ave., Studio 113, Miami, FL 33138
CLADLANDSCAPE.COM
Tel: +1 (786) 536-8076
Email: thais@cladlandscape.com

Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766



KOBİ KARP
Lic. # AR0012578

PLAN
NORTH

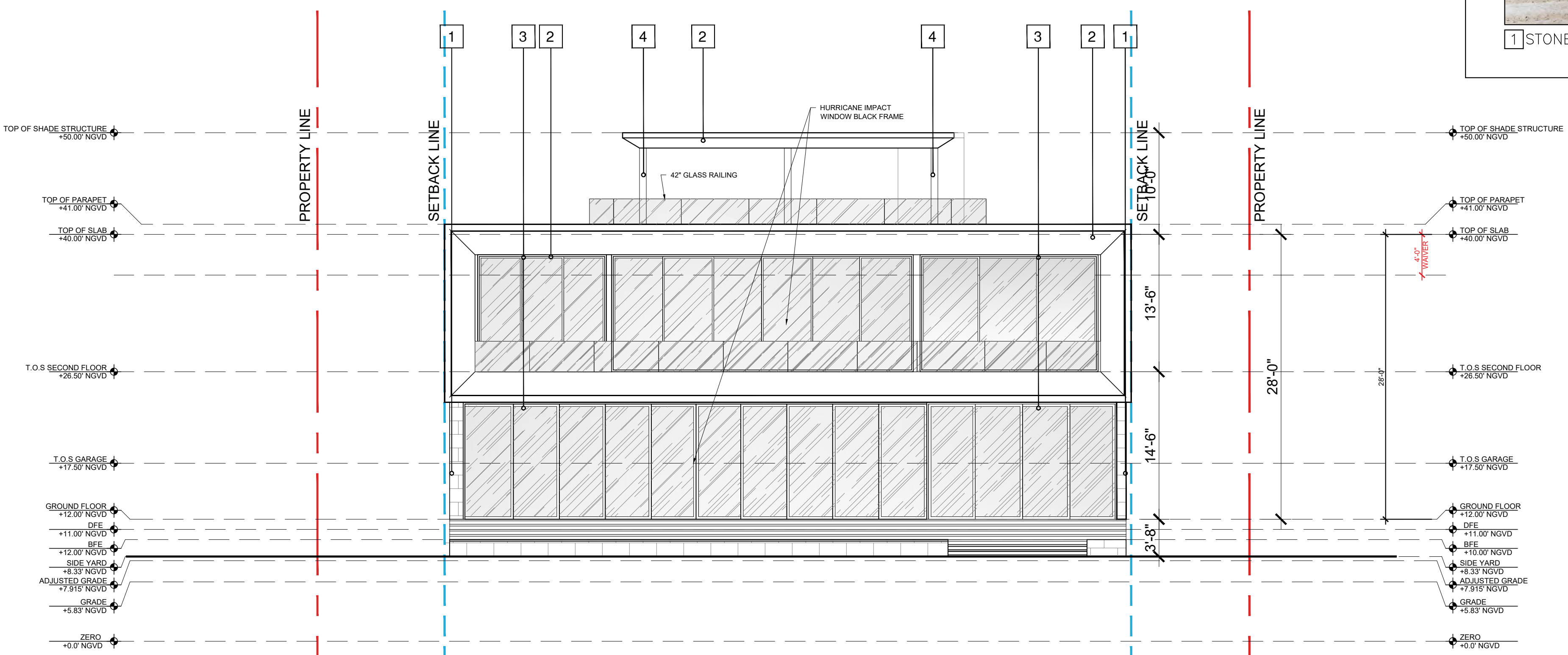
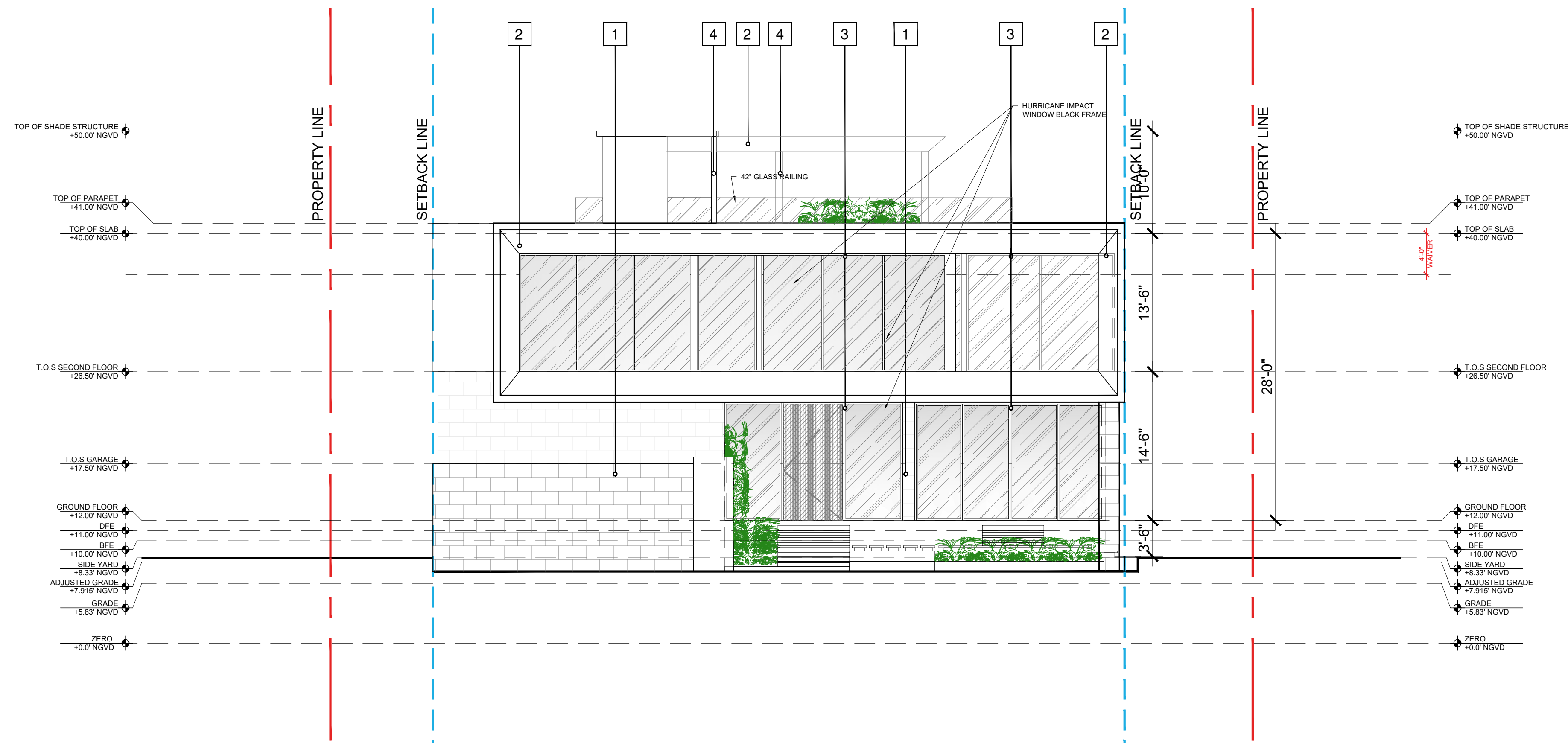


PROPOSED 2ND LEVEL

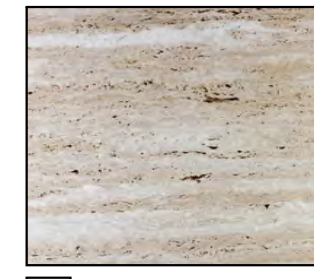

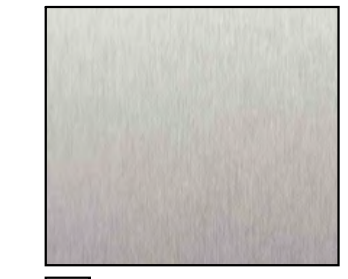

Scale: 1/8" = 1'-0"

PROPOSED LEVEL 2

Date	08-08-2022	Sheet No.	A3.02
Scale			
Project	2210		



ELEVATION MATERIAL LEGEND

			
1 STONE	2 BOAR-FORMED CONCRETE	3 LIGHT ANODIZED METAL FINISH	4 DARK ANODIZED METAL FINISH

A PROPOSED ELEVATIONS
Scale: 1/8" = 1'-0"

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (1/2021)

ZONING PACKAGE

PRIVATE RESIDENCE
360 S HIBISCUS DRIVE,
MIAMI, FL, 33139

Owner:
Name
Address
Tel:
Email

Consultant: GENERAL CONTRACTOR
Name: Bart Reines Luxury Homebuilder
Address: 1800 Sunset Harbour Drive, Marina Suite P
Tel: (305) 534-9099
Email: bartreines@icloud.com

Consultant: Interior Designer
Name: Argent
Address: 100 GEORGE STREET, LONDON, W1U 8NU
Tel: +44 020 7563 4250
Email: michelle@argentdesign.co.uk

Consultant: LANDSCAPE ARCHITECTS
Name: CLAD LANDSCAPE
Address: 8020 NE 4th Ave., Studio 113, Miami, FL 33138
Tel: +1 (305) 536-8076
Email: thais@cladlandscape.com

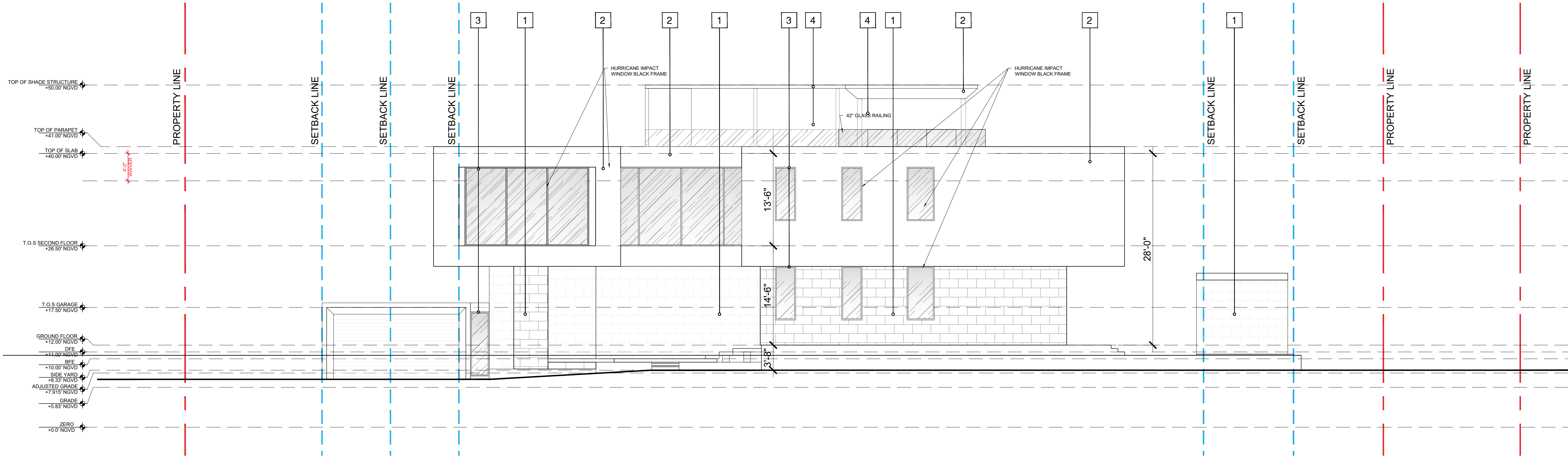
Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766




KOBİ KARP
Lic. # AR0012578

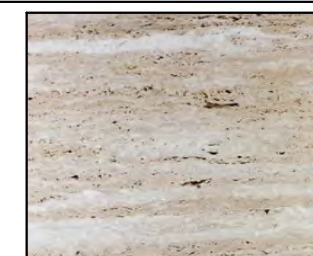

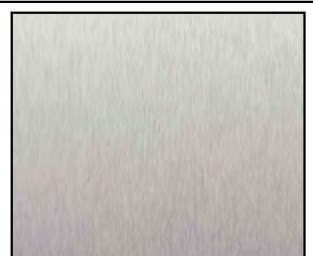
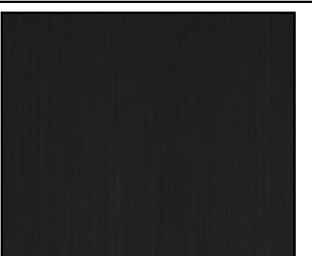
PROPOSED ELEVATIONS

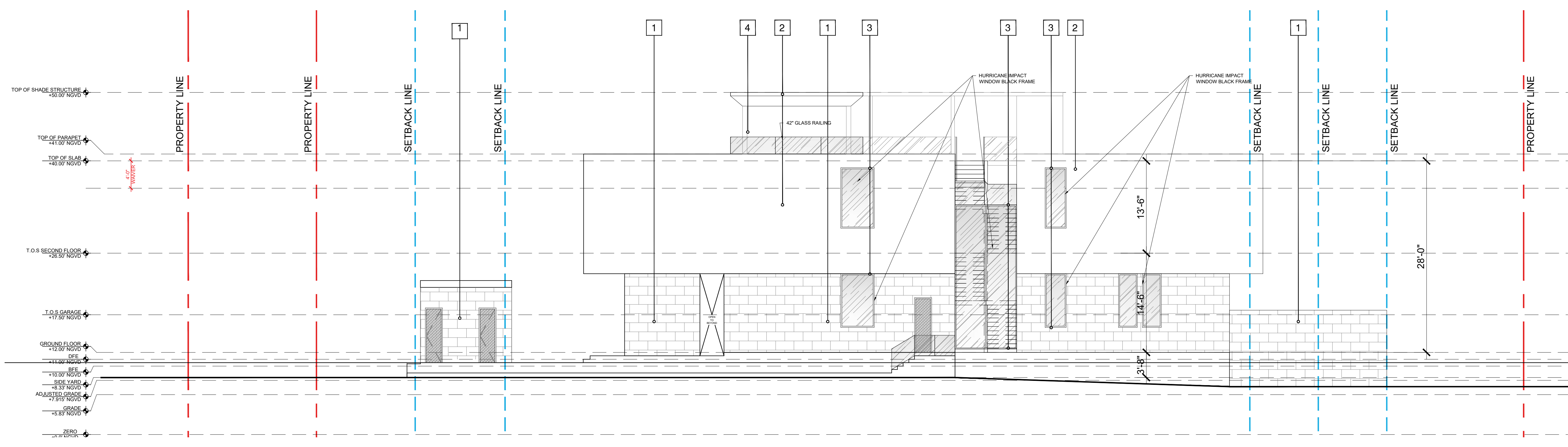
Date	08-08-2022	Sheet No.	A4.01
Scale			
Project	2210		



A PROPOSED ELEVATIONS
Scale: 1/8" = 1'-0"

ELEVATION MATERIAL LEGEND

			
1 STONE	2 BOAR-FORMED CONCRETE	3 LIGHT ANODIZED METAL FINISH	4 DARK ANODIZED METAL FINISH



Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (© 2021)

ZONING PACKAGE

PRIVATE RESIDENCE
360 S HIBISCUS DRIVE,
MIAMI, FL, 33139

Owner:
Name
Address
Address
Tel:
Email

Consultant: GENERAL CONTRACTOR
Name
Address
Address
Tel:
Email

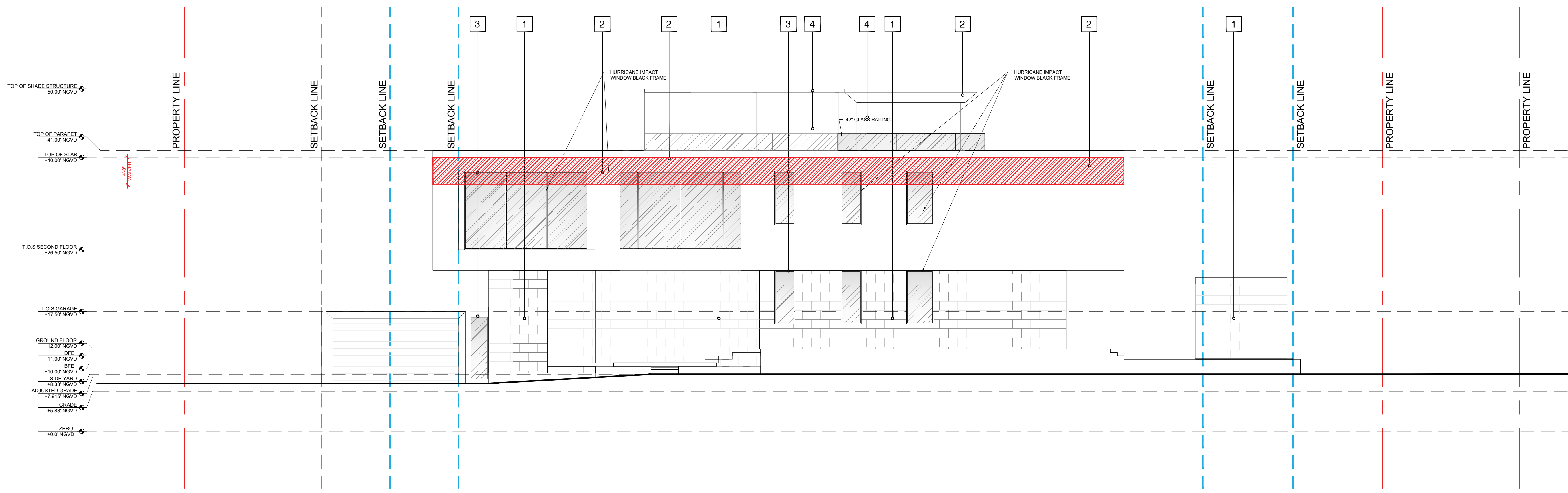
Consultant: Interior Designer
Name
Address
Address
Tel:
Email

Consultant: LANDSCAPE ARCHITECTS
Name
Address
Address
Tel:
Email

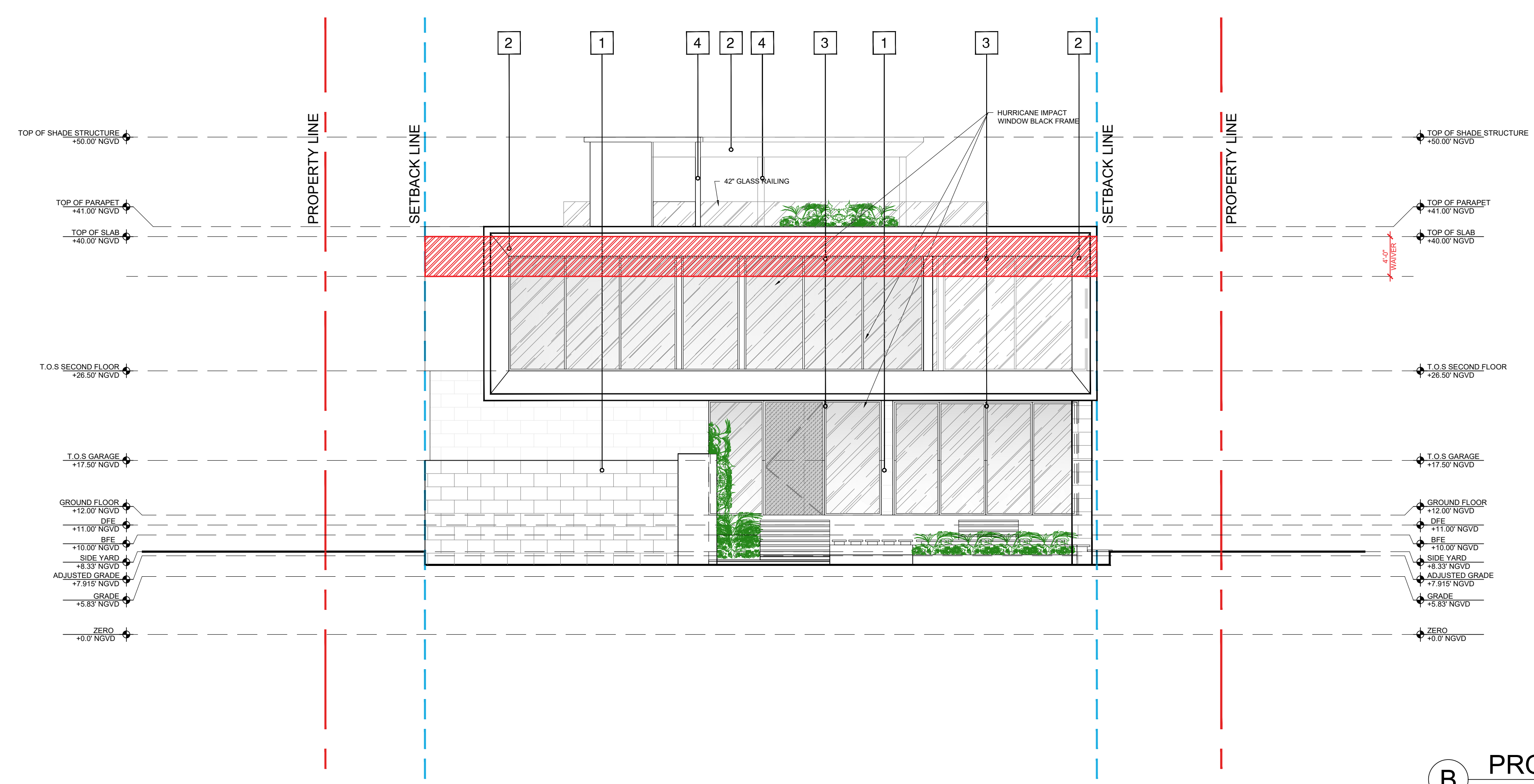
Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

PROPOSED ELEVATIONS

Date	08-08-2022	Sheet No.	A4.02
Scale			
Project	2210		



A PROPOSED ELEVATIONS
Scale: 1/8" = 1'-0"



B PROPOSED ELEVATIONS
Scale: 1/8" = 1'-0"

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (01/2021)

ZONING PACKAGE

PRIVATE RESIDENCE
360 S HIBISCUS DRIVE,
MIAMI, FL, 33139

Owner:
Name
Address
Tel:
Email

Consultant: GENERAL CONTRACTOR
Name: Bart Reines Luxury Homebuilder
Address: 1800 Sunset Harbour Drive, Marina Suite P
Miami Beach, FL 33139
Tel: (305) 534-9099
Email: bartreines@icloud.com

Consultant: Interior Designer
Name: Argent
Address: 100 GEORGE STREET, LONDON, W1U 8NU
Tel: +44 20 7563 4250
Email: michelle@argentdesign.co.uk

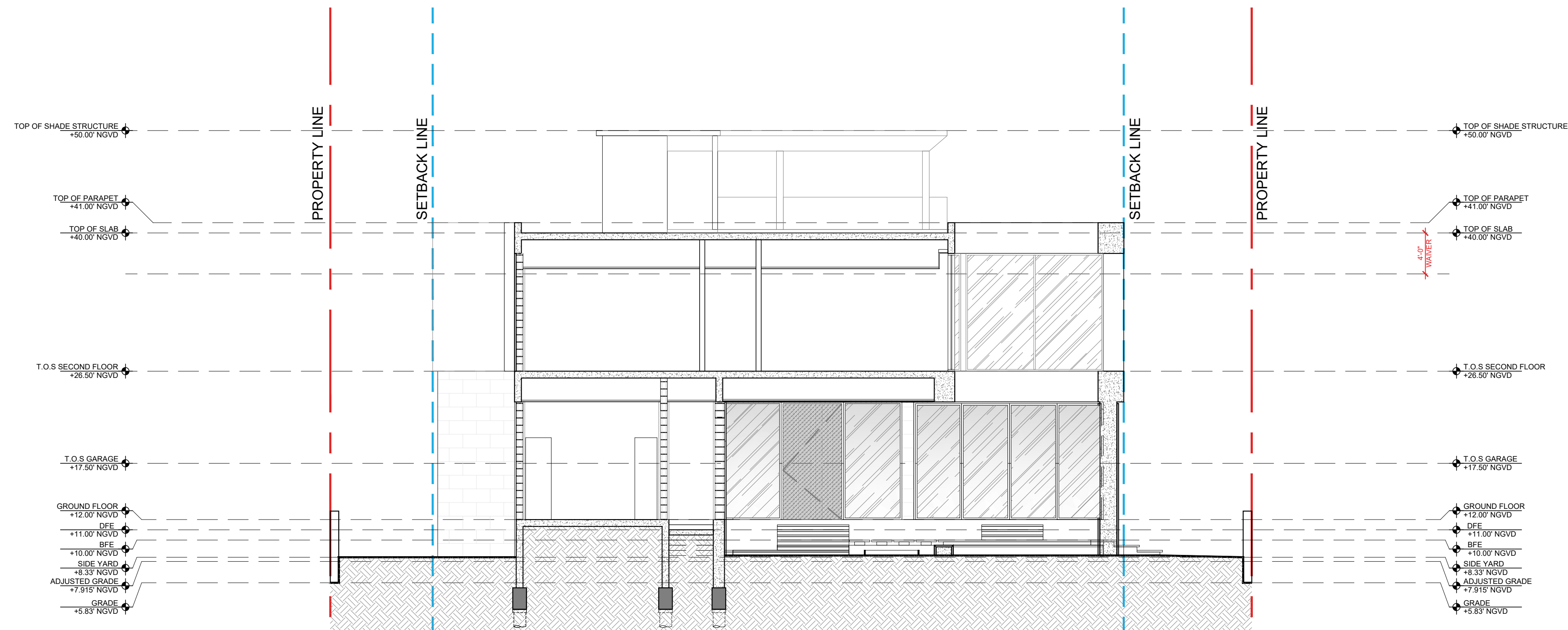
Consultant: LANDSCAPE ARCHITECTS
Name: CLAD LANDSCAPE
Address: 8020 NE 4th Ave., Studio 113, Miami, FL 33138
CLADLANDSCAPE.COM
Tel: +1 (786) 536-8076
Email: thais@cladlandscape.com

Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

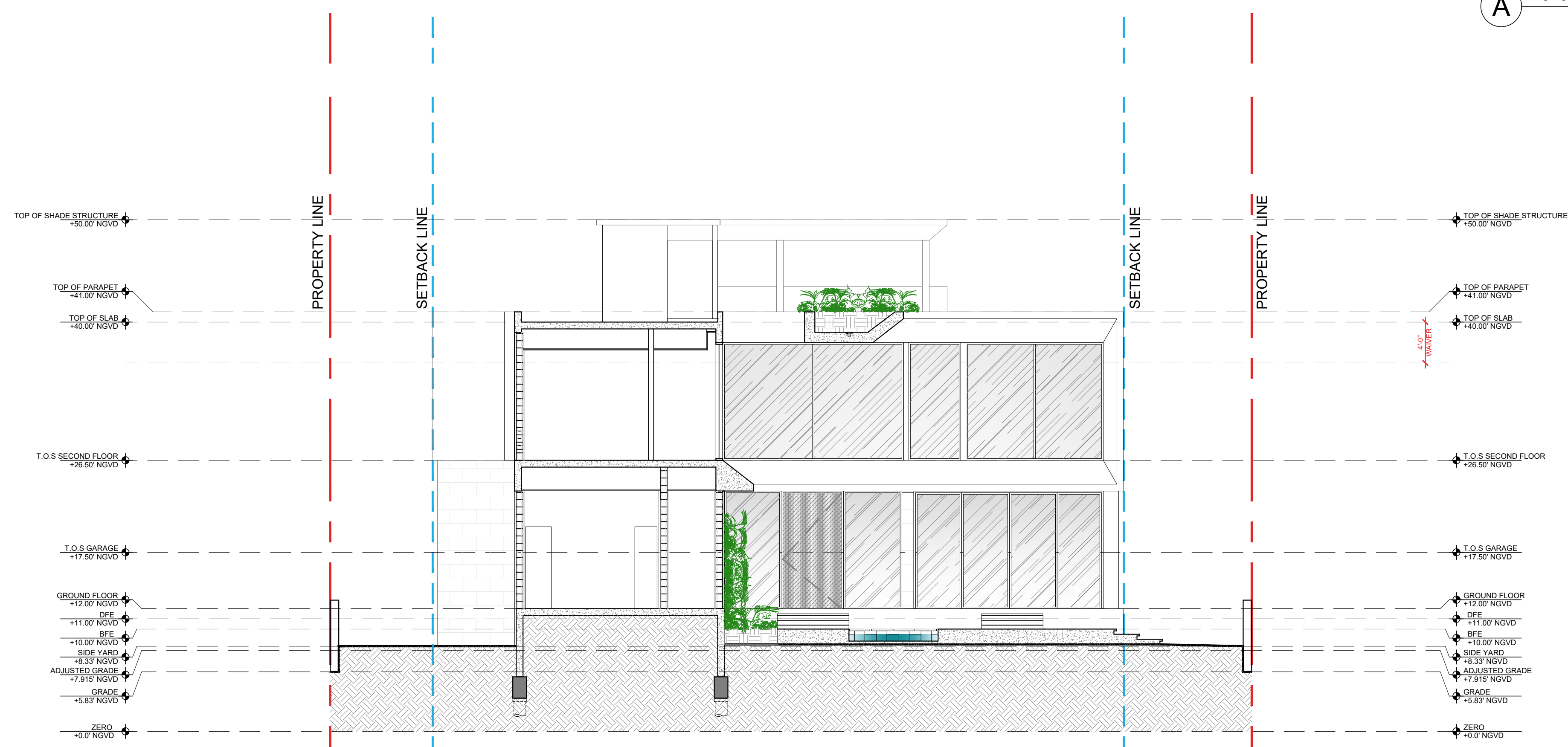


WAIVER DIAGRAM

Date	08-08-2022	Sheet No.	A4.06
Scale			
Project	2210		



A PROPOSED SECTIONS
Scale: 1/8" = 1'-0"



B PROPOSED SECTIONS
Scale: 1/8" = 1'-0"

Rev.	Date	Rev.	Date

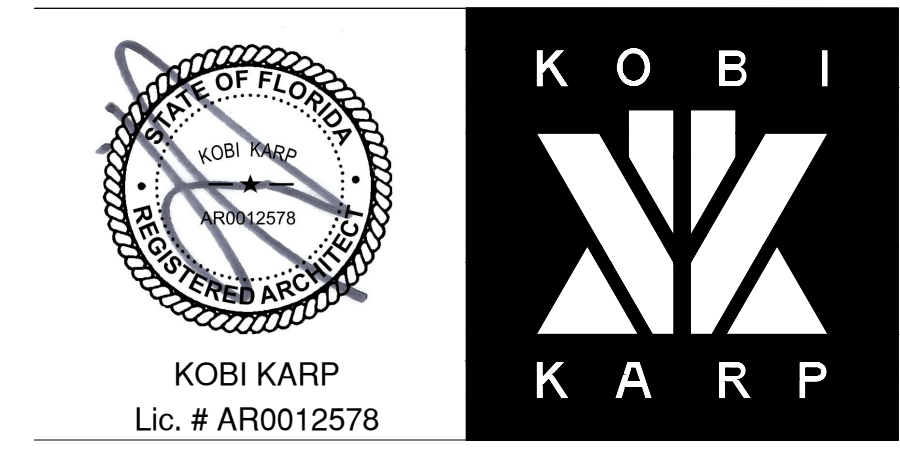
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF Kobi Karp AIA, AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF Kobi Karp Architecture & Interior Design, Inc. AIA (© 2021)

ZONING PACKAGE

PRIVATE RESIDENCE
360 S HIBISCUS DRIVE,
MIAMI, FL, 33139

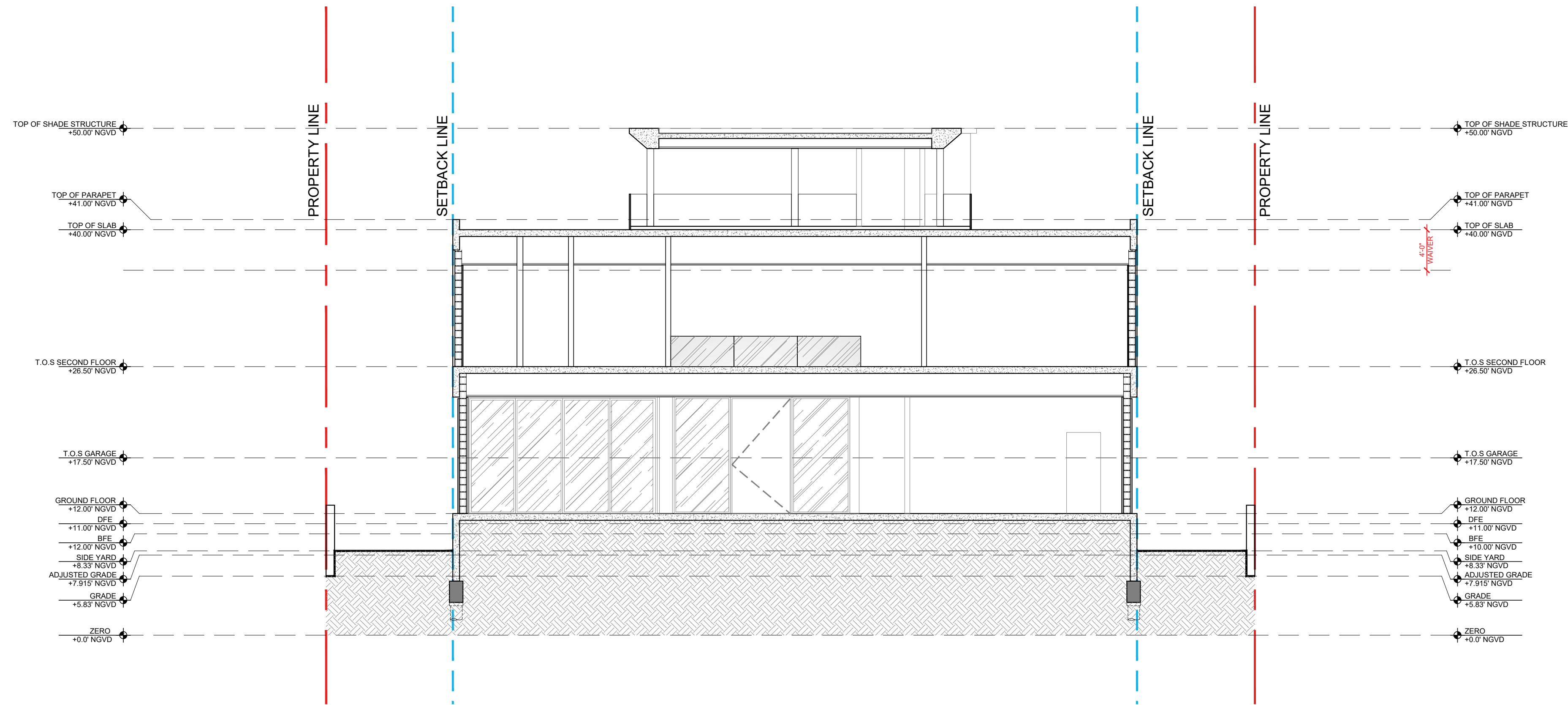
- Owner:**
Name
Address
Address
Tel:
Email
- Consultant: GENERAL CONTRACTOR**
Name Bart Reines Luxury Homebuilder
Address 1800 Sunset Harbour Drive, Marina Suite P
Address Miami Beach, FL 33139
Tel: (305) 534-0099
Email Email: bartreines@icloud.com
- Consultant: Interior Designer**
Name Argent
Address 100 GEORGE STREET, LONDON, W1U 8NU
Address
Tel: +44 020 7563 4250
Email Email: michelle@argentdesign.co.uk
- Consultant: LANDSCAPE ARCHITECTS**
Name CLAD LANDSCAPE
Address 8020 NE 4th Ave., Studio 113, Miami, FL 33138
Address CLADLANDSCAPE.COM
Tel: +1 (786) 536-8076
Email thais@cladlandscape.com

Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

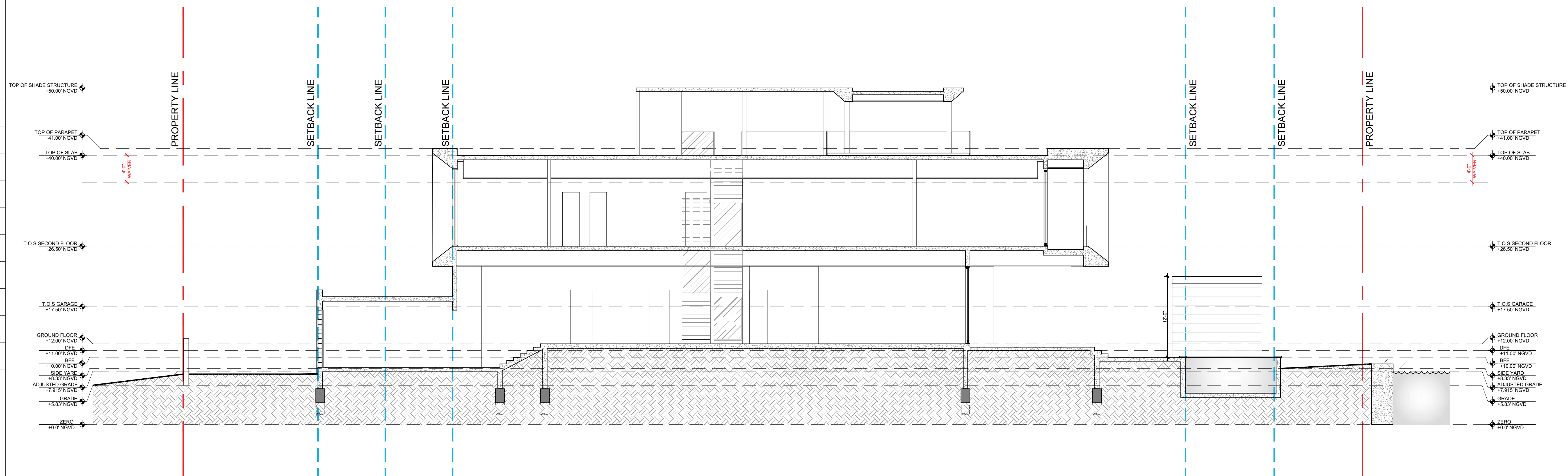


PROPOSED SECTIONS

Date	08-08-2022	Sheet No.	A5.01
Scale			
Project	2210		



A PROPOSED SECTIONS
Scale: 1/8" = 1'-0"



B PROPOSED SECTIONS
Scale: 1/8" = 1'-0"

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (1/2021)

ZONING PACKAGE

PRIVATE RESIDENCE
360 S HIBISCUS DRIVE,
MIAMI, FL, 33139

Owner:
Name
Address
Address
Tel:
Email

Consultant: GENERAL CONTRACTOR
Name Bart Reines Luxury Homebuilder
Address 1800 Sunset Harbour Drive, Marina Suite P
Address Miami Beach, FL 33139
Tel: (305) 534-0099
Email: bartreines@icloud.com

Consultant: Interior Designer
Name Argent
Address 100 GEORGE STREET, LONDON, W1U 8NU
Address
Tel: +44 020 7563 4250
Email: michelle@argentdesign.co.uk

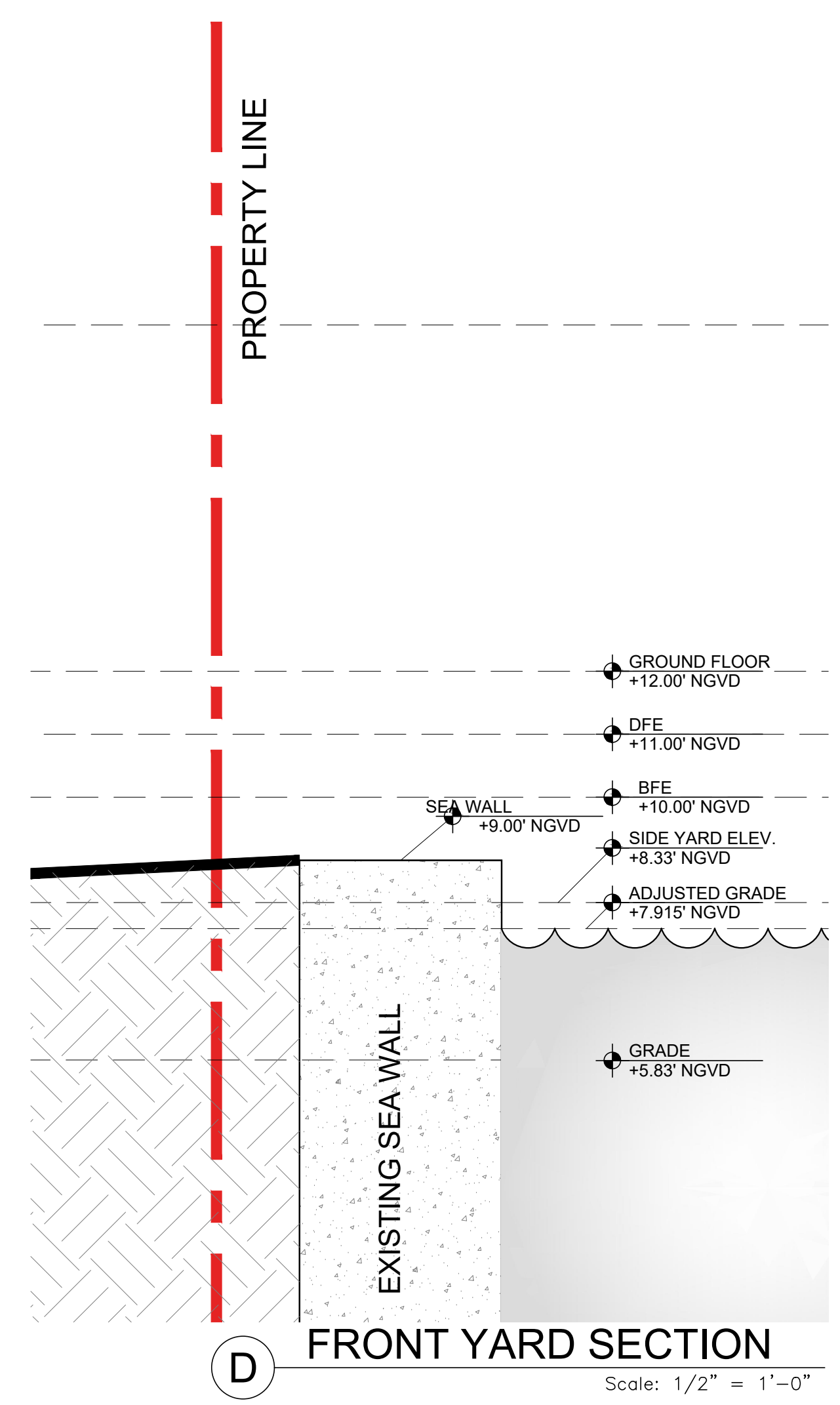
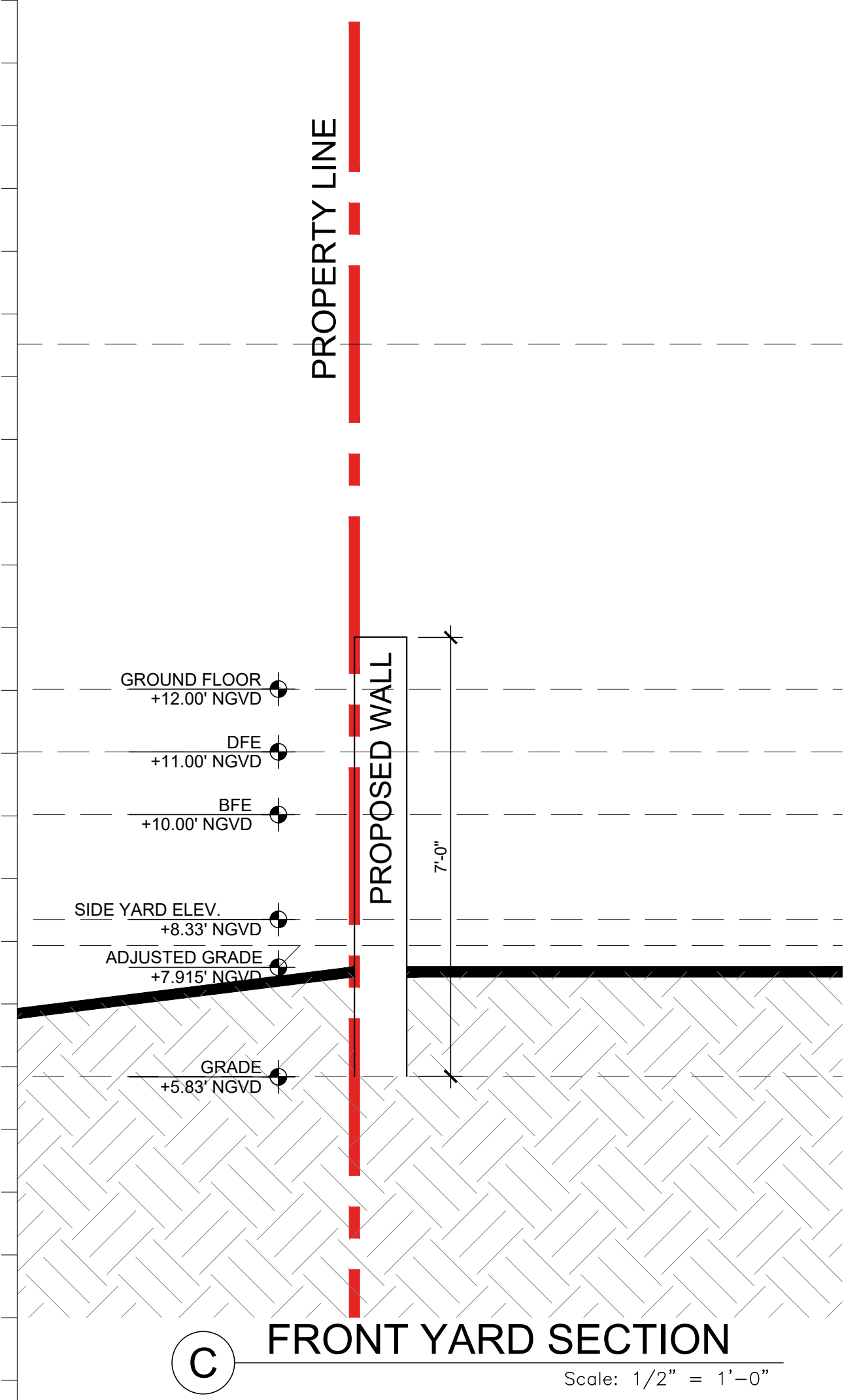
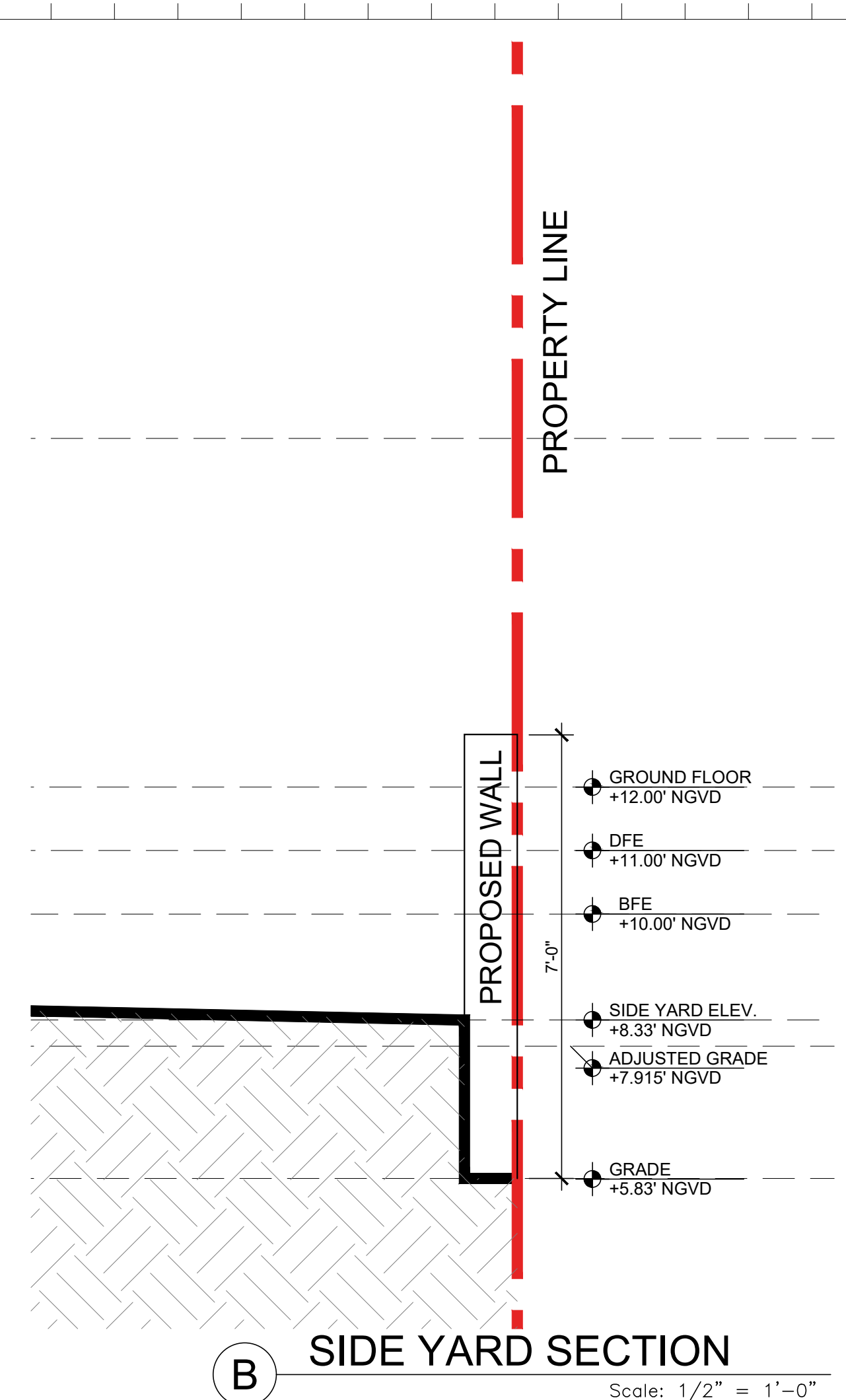
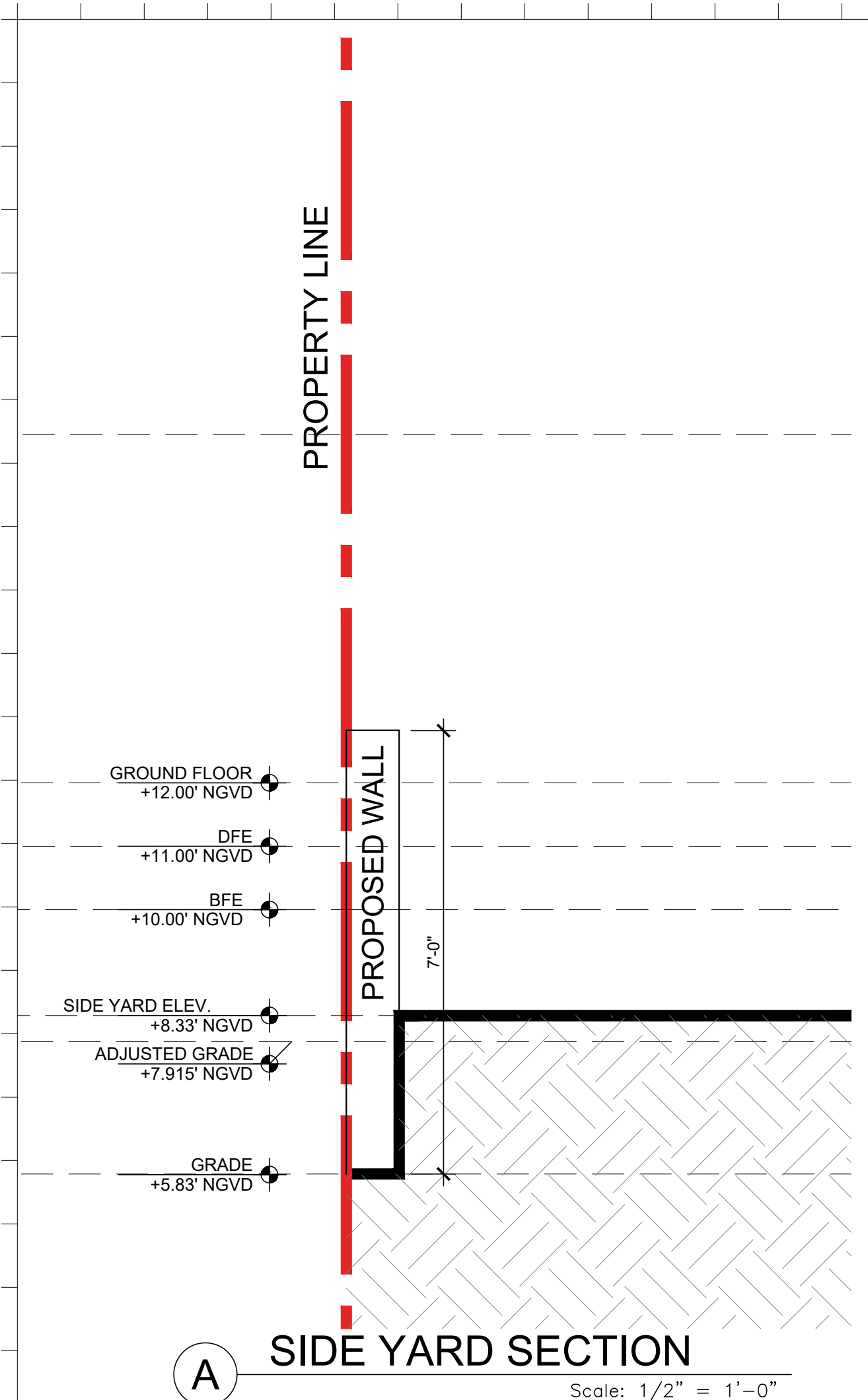
Consultant: LANDSCAPE ARCHITECTS
Name CLAD LANDSCAPE
Address 8020 NE 4th Ave., Studio 113, Miami, FL 33138
Address CLADLANDSCAPE.COM
Tel: +1 (786) 536-8076
Email: thais@cladlandscape.com

Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766



PROPOSED SECTIONS

Date	08-08-2022	Sheet No.	A5.02
Scale			
Project	2210		



Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (6/2021)

ZONING PACKAGE

PRIVATE RESIDENCE
360 S HIBISCUS DRIVE,
MIAMI, FL, 33139

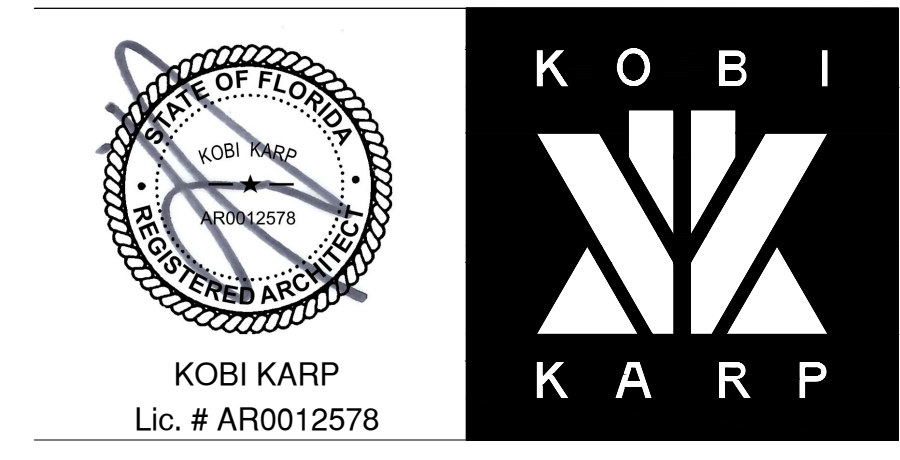
Owner:
Name
Address
Address
Tel:
Email

Consultant: GENERAL CONTRACTOR
Name Bart Reines Luxury Homebuilder
Address 1800 Sunset Harbour Drive, Marina Suite P
Address Miami Beach, FL 33139
Tel: (305) 534-0099
Email Email: bartreines@icloud.com

Consultant: Interior Designer
Name Argent
Address 100 GEORGE STREET, LONDON, W1U 8NU
Address
Tel: Tel: +44 020 7563 4250
Email Email: michelle@argentdesign.co.uk

Consultant: LANDSCAPE ARCHITECTS
Name CLAD LANDSCAPE
Address 8020 NE 4th Ave., Studio 113, Miami, FL 33138
Address CLADLANDSCAPE.COM
Tel: +1 (786) 536-8076
Email thais@cladlandscape.com

Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766



PROPOSED SECTIONS

Date	08-08-2022	Sheet No.	A5.03
Scale			
Project	2210		

SITE ADDRESS:

360 S HIBISCUS DRIVE
MIAMI BEACH, FL 33139

LANDSCAPE ARCHITECT:

CLAD
8020 NE 4TH AVE, STUDIO 113
MIAMI, FL 33138
(786) 536-6076
INFO@CLADLANDSCAPE.COM

SEAL:

CAROLINA MONTEIRO DA SILVA
REGISTERED LANDSCAPE ARCHITECT
LA6667311

DRAWING TITLE:

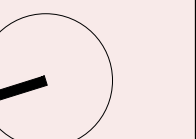
**CANOPY PLANTING
PLAN - 1ST FLOOR**

© 2022 CLAD, LLC

REVISIONS:

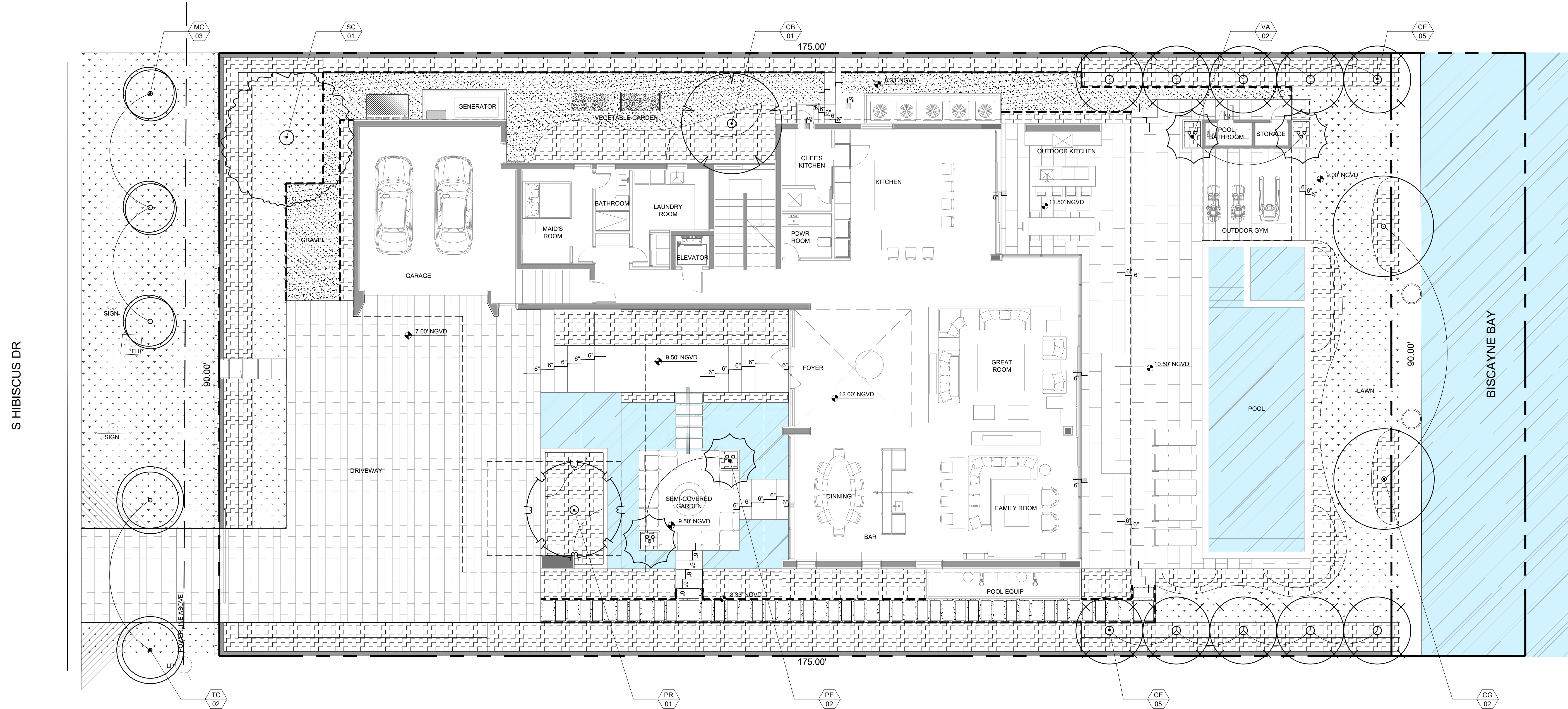
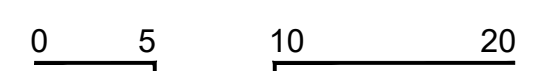
ISSUE	DATE
DRB 1ST SUBMITTAL	06/21/22
DRB 2ND SUBMITTAL	08/08/22

SCALE:
1/8" = 1'-0"



PROJ. N°:
2210
SHEET N°:

L-5.0



SITE ADDRESS:

360 S HIBISCUS DRIVE
 MIAMI BEACH, FL 33139

LANDSCAPE ARCHITECT:

CLAD
 8020 NE 4TH AVE, STUDIO 113
 MIAMI, FL 33138
 (786) 536-6076
 INFO@CLADLANDSCAPE.COM

SEAL:

CAROLINA MONTEIRO DA SILVA
 REGISTERED LANDSCAPE ARCHITECT
 LA6667311

DRAWING TITLE:

**UNDERSTORY
 PLANTING PLAN -
 1ST FLOOR**

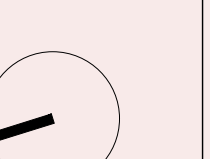
© 2022 CLAD, LLC

REVISIONS:

ISSUE	DATE
DRB 1ST SUBMITTAL	06/21/22
DRB 2ND SUBMITTAL	08/08/22

ISSUE	DATE

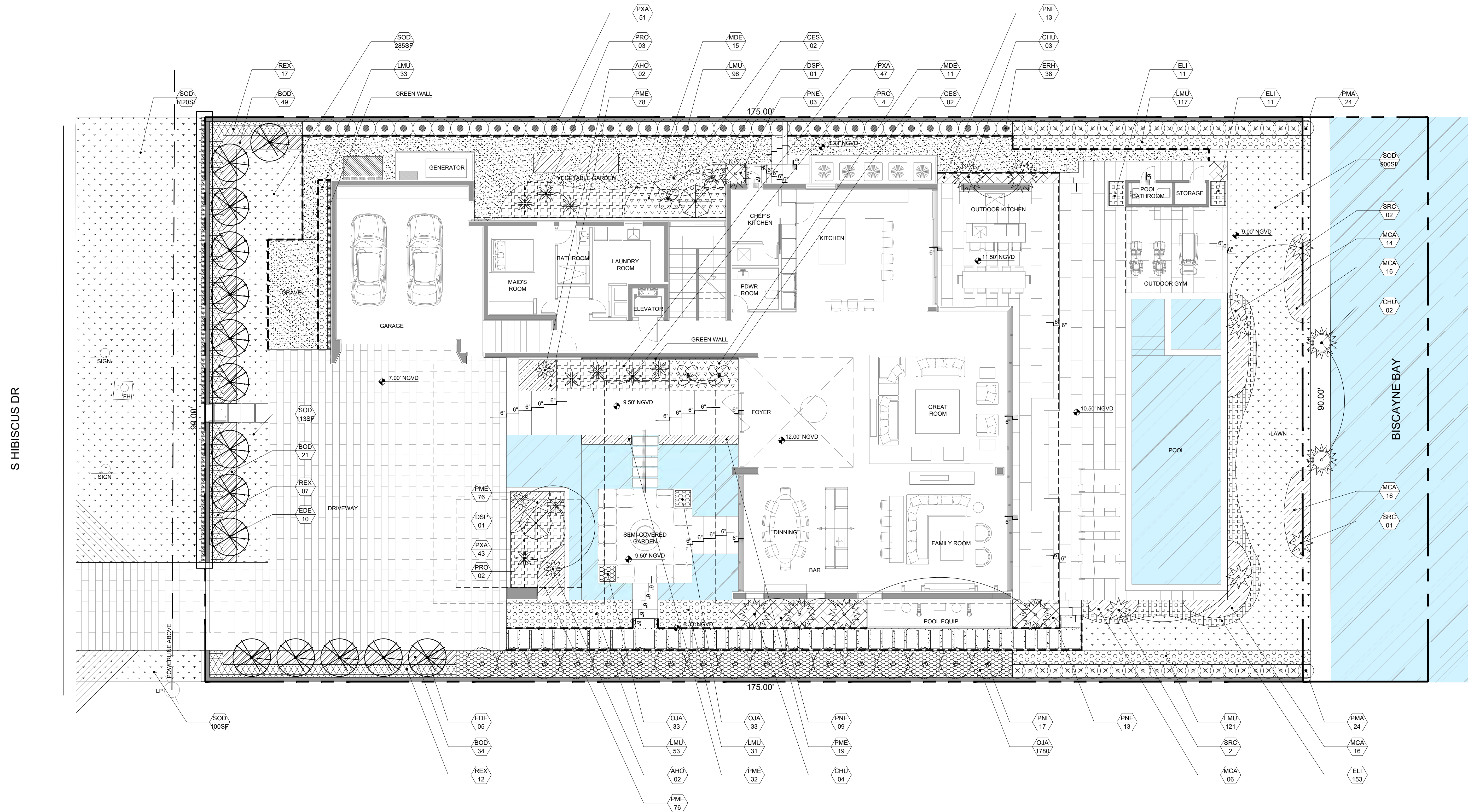
SCALE:
 1/8" = 1'-0"

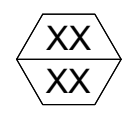


PROJ. N°:
 2210

SHEET N°:
L-5.1

0 5 10 20



LEGEND:
 PROPOSED PLANTS

SITE ADDRESS:

360 S HIBISCUS DRIVE
MIAMI BEACH, FL 33139

LANDSCAPE ARCHITECT:

CLAD
8020 NE 4TH AVE, STUDIO 113
MIAMI, FL 33138
(786) 536-6076
INFO@CLADLANDSCAPE.COM

SEAL:

CAROLINA MONTEIRO DA SILVA
REGISTERED LANDSCAPE ARCHITECT
LA6667311

DRAWING TITLE:

**PLANTING PLAN
2ND FLOOR**

© 2022 CLAD, LLC

REVISIONS:

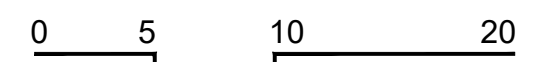
ISSUE	DATE
DRB 1ST SUBMITTAL	06/21/22
DRB 2ND SUBMITTAL	08/08/22

SCALE:
1/8" = 1'-0"

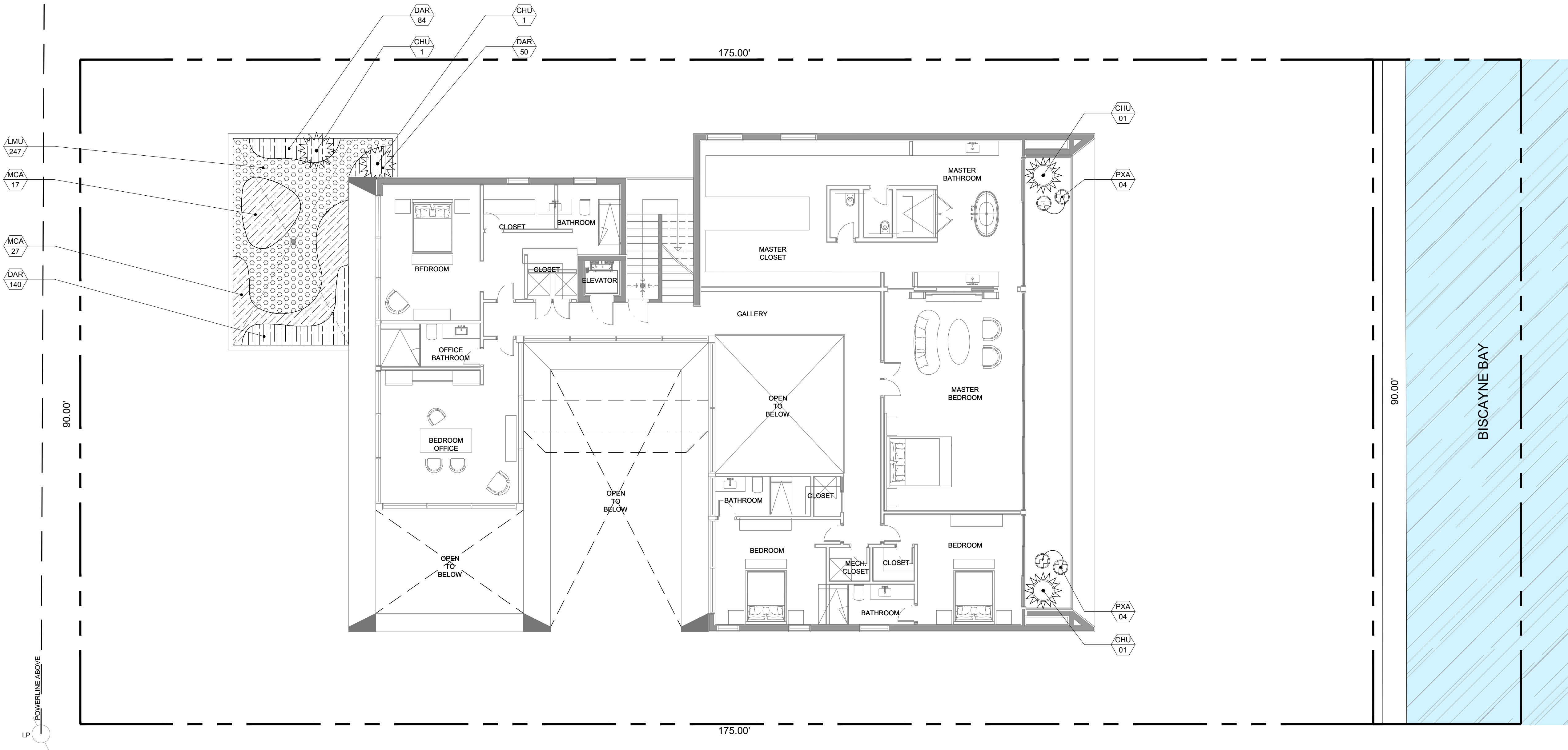


PROJ. N°:
2210
SHEET N°:

L-5.2



S HIBISCUS DR



LEGEND:

PROPOSED PLANTS

SITE ADDRESS:

360 S HIBISCUS DRIVE
MIAMI BEACH, FL 33139

LANDSCAPE ARCHITECT:

CLAD
8020 NE 4TH AVE, STUDIO 113
MIAMI, FL 33138
(786) 536-6076
INFO@CLADLANDSCAPE.COM

SEAL:

CAROLINA MONTEIRO DA SILVA
REGISTERED LANDSCAPE ARCHITECT
LA6667311

DRAWING TITLE:

**PLANTING PLAN
ROOFTOP**

© 2022 CLAD, LLC

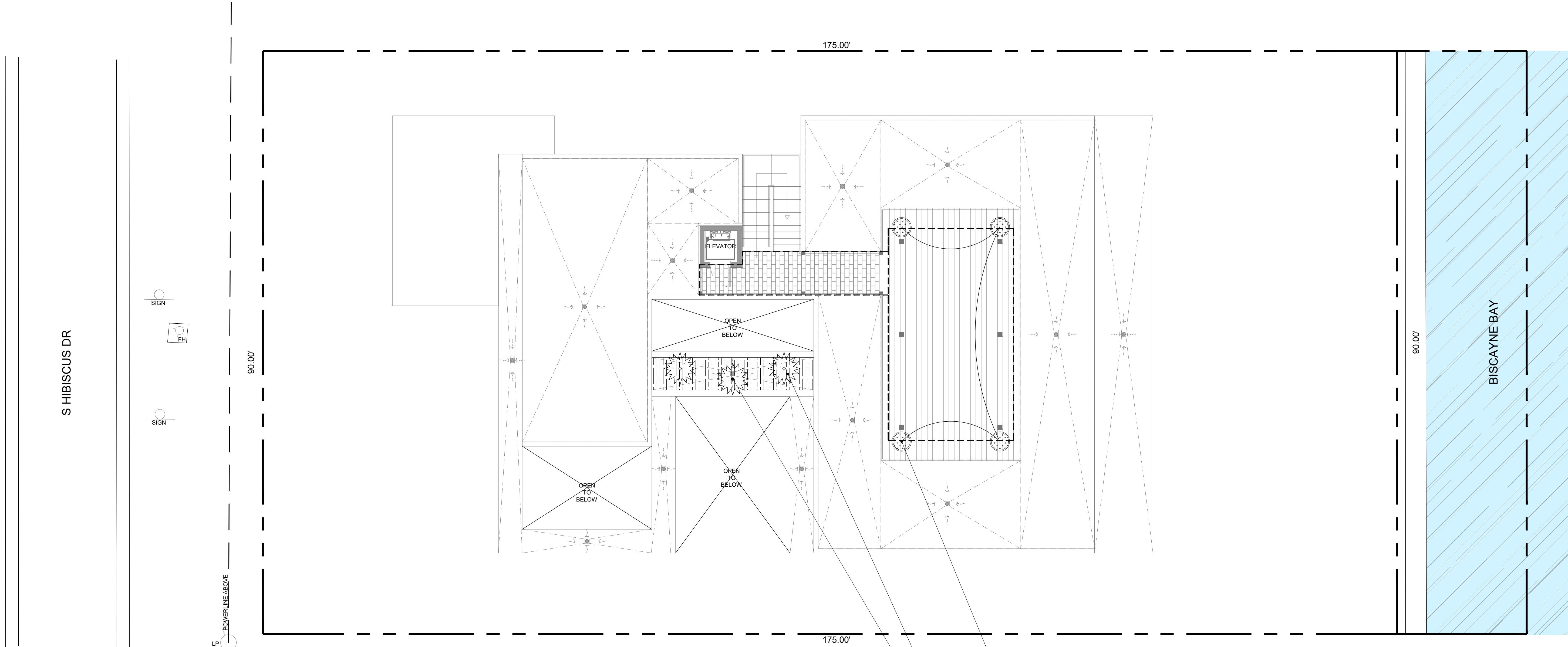
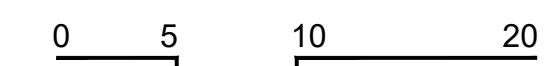
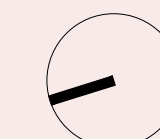
REVISIONS:

ISSUE	DATE
DRB 1ST SUBMITTAL	06/21/22
DRB 2ND SUBMITTAL	08/08/22

SCALE:
1/8" = 1'-0"

PROJ. N°:
2210
SHEET N°:

L-5.3



S HIBISCUS DR



LEGEND:



DAR
325

CHU
03

TGA
4

LANDSCAPE SCHEDULE - 1ST FLOOR					
SYMBOL	QTY	PROPOSED MATERIAL	DESCRIPTION AND NOTES	NATIVE	DROUGHT TOLERANT
STREET TREES					
MC	3	<i>Myrica cerifera</i> WAX MYRTLE TREE	12' HT; 7' SP; MULTI-TRUNK	Y	Y
TC	2	<i>Tabebuia caraba</i> YELLOW TRUMPET TREE	20' HT; 16' SP	N	Y
TREES					
SC	1	<i>Spathodea campanulata</i> AFRICAN TULIP TREE	16' HT; 4" DBH; 8' SP	N	Y
CB	1	<i>Calophyllum brasiliense</i> BRAZILIAN BEAUTY LEAF	16' HT; 12' SP	N	Y
CE	10	<i>Conocarpus erectus</i> GREEN BUTTWOOD	18' HT; 10' SP	Y	Y
CG	2	<i>Caesalpinia granadillo</i> BRIDALVEIL	16' HT; 12' SP	N	Y
PR	1	<i>Pimenta racemosa</i> BAY RUM	16' HT; 8' SP	N	Y
PALMS					
PE	4	<i>Ptychosperma elegans</i> SOLITAIRE PALM	25'-30' HT; MULTI-TRUNK	N	Y
LARGE SHRUB					
EDE	15	<i>Elaeocarpus decipiens</i> JAPANESE BLUEBERRY	16' HT; 8' SP	N	
ERH	33	<i>Eugenia rhombea</i> RED STOPPER	6'-8' HT; 3' SP, 36" O.C.; FULL TO BASE	Y	
SHRUBS					
BOD	80	<i>Begonia odorata 'Alba'</i> WHITE BEGONIA	24" HT; 20" O.C.	N	
REX	34	<i>Rhapis excelsa</i> LADY PALM	6' HT; 3' SP, 36" O.C.	N	
MCA	65	<i>Mulhenbergia capillaris</i> MUHLY GRASS	24" HT; 24" O.C.	Y	
PNE	58	<i>Psychotria nervosa 'Little Psycho'</i> DWARF WILD COFFEE	24" HT; 20" O.C.	Y	
PXA	140	<i>Philodendron 'Xanadu'</i> PHILODENDRON XANADU	18"-24" HT; 18" O.C.	N	
GROUNDCOVERS					
LMU	485	<i>Liriope muscari</i> LILYTURF	12" HT; 12" O.C.	N	
PME	302	<i>Peperomia metallica</i> METALLIC PEPEROMIA	8" HT; 8" O.C.	N	
OJA	1,790	<i>Ophiopogon japonicus</i> MONDO GRASS	6" HT; 6" O.C.	N	
ELI	250	<i>Emodea littoralis</i> GOLDEN CREEPER	12" HT; 12" O.C.	Y	
ACCENTS					
PNI	17	<i>Phyllostachys nigra</i> BLACK BAMBOO	16' HT; 36" O.C.	N	
AHO	3	<i>Anthurium hookeri</i> BIRDS NEST ANTHURIUM	3'-4' HT	N	
AHO	3	<i>Anthurium hookeri</i> BIRDS NEST ANTHURIUM	3'-4' HT	N	
CHU	9	<i>Chamaerops humilis</i> EUROPEAN FAN PALM	5'-6' HT	N	
DSP		<i>Dioon spinulosum</i> GIANT DIOON	4' HT; 4' SP	N	
PRO	9	<i>Philodendron 'Rojo congo'</i> PHILODENDRON RED CONGO	3' HT	N	
CES	4	<i>Colocasia esculenta</i> ELEPHANT EAR	4' HT	N	
SRC	5	<i>Serenoa repens 'cinerea'</i> SILVER SAW PALMETTO	3'-4' HT	Y	
GREEN WALL					
		MIXED SPECIES GREEN WALL	BY VERDE VERTICAL	N/A	
SOD					
SOD	2,818	<i>Zoysia japonica</i> EMPIRE ZOYSIA	STAGGERED AND BUTTED JOINTS	N	
GADEN HERBS AND SPICES					
TBD	TBD	MIXED HERBS AND SPICES	SPICES TBD	N/A	

NOTE: SPECIFIED HEIGHT AND SPREAD SUPERCEDE GALLON SIZE WHEN PROCURING PLANTING MATERIAL.

LANDSCAPE SCHEDULE - 2ND FLOOR				
SYMBOL	QTY	PROPOSED MATERIAL	DESCRIPTION AND NOTES	NATIVE
SHRUBS				
MCA	44	<i>Mulhenbergia capillaris</i> MUHLY GRASS	24" HT; 24" O.C.	Y
PXA	8	<i>Philodendron 'Xanadu'</i> PHILODENDRON XANADU	18"-24" HT; 18" O.C.	N
GROUNDCOVERS				
DAR	274	<i>Dichondra argentea</i> SILVER DICHONDRA	4" HT; 8" O.C.	N
LMU	247	<i>Liriope muscari</i> LILYTURF	12" HT; 12" O.C.	N
ACCENTS				
CHU	4	<i>Chamaerops humilis</i> EUROPEAN FAN PALM	5'-6' HT	N

LANDSCAPE SCHEDULE - ROOFTOP				
SYMBOL	QTY	PROPOSED MATERIAL	DESCRIPTION AND NOTES	NATIVE
GROUNDCOVERS				
DAR	325	<i>Dichondra argentea</i> SILVER DICHONDRA	4" HT; 8" O.C.	N
ACCENTS				
CHU	3	<i>Chamaerops humilis</i> EUROPEAN FAN PALM	5'-6' HT	N
VINES				
TGA		<i>Thunbergia grandiflora 'Alba'</i> WHITE SKY VINE	3' HT Trellis, 3' SP	N

CITY OF MIAMI BEACH

LANDSCAPE LEGEND

INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS

Zoning District RS-3 Lot Area 15,750 Acres .36

OPEN SPACE

REQUIRED/ALLOWED	PROVIDED
A. Square feet of required Open Space as indicated on site plan: Lot Area = <u>15,750</u> s.f. x <u>50</u> % = <u>7,875</u> s.f.	<u>7,875</u> <u>9,609</u>
B. Square feet of parking lot open space required as indicated on site pl Number of parking spaces <u>N/A</u> x 10 s.f. parking space =	<u>N/A</u> <u>N/A</u>
C. Total square feet of landscaped open space required: A+B=	<u>7,875</u> <u>9,609</u>

LAWN AREA CALCULATION

A. Square feet of landscaped open space required	<u>7,875</u>	<u>9,609</u>
B. Maximum lawn area (sod) permitted= <u>50</u> % x <u>7,875</u> s.f.	<u>3,938</u>	<u>1,435</u>

TREES

A. Number of trees required per lot or net lot acre= <u>5</u> trees + <u>10,000</u> net lot acres =	<u>15</u>	
B. Number of trees required per lot or net lot acre, less existing number of trees meeting minimum requirements = <u>15</u> trees - number of existing trees <u>0</u> =	<u>15</u>	<u>15</u>
C. % Natives required: Number of trees provided x 30% =	<u>5</u>	<u>10</u>
D. % Low maintenance / drought and salt tolerant required: Number of trees provided x 50% =	<u>8</u>	<u>15</u>
E. Street Trees (maximum average spacing of 20' o.c.) <u>90'</u> linear feet along street divided by 20' =	<u>5</u>	<u>5</u>
F. Street tree species allowed directly beneath power lines: (maximum average spacing of 20' o.c.): <u>90'</u> linear feet along street divided by 20' =	<u>5</u>	<u>5</u>
G. Number of total trees required (lot + street) =	<u>20</u>	

SHRUBS

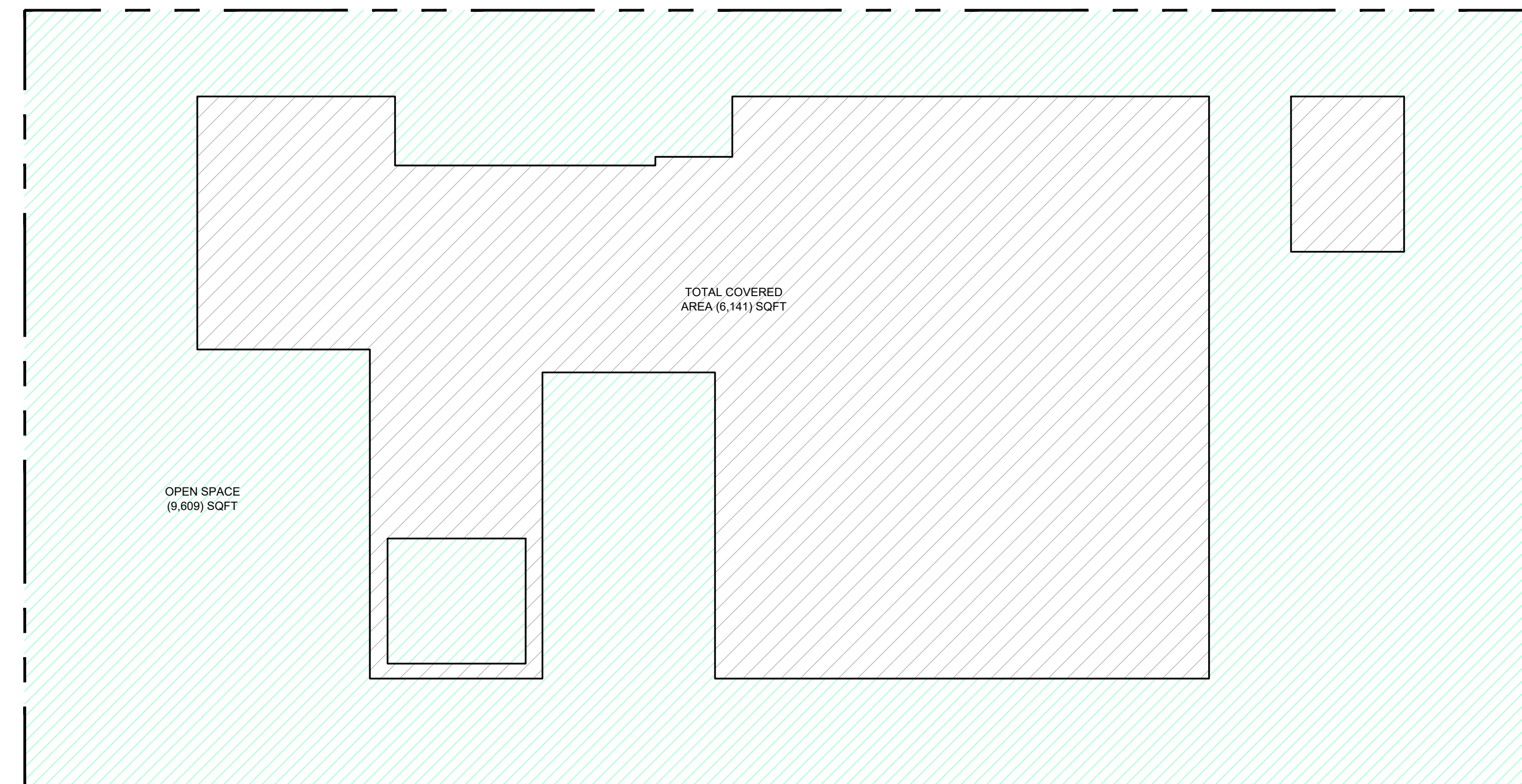
A. Number of shrubs required: Sum of lot and street trees required x 12 =	<u>240</u>	<u>377</u>
B. % Native shrubs required: Number of shrubs provided x 50% =	<u>189</u>	<u>269</u>

LARGE SHRUBS OR SMALL TREES

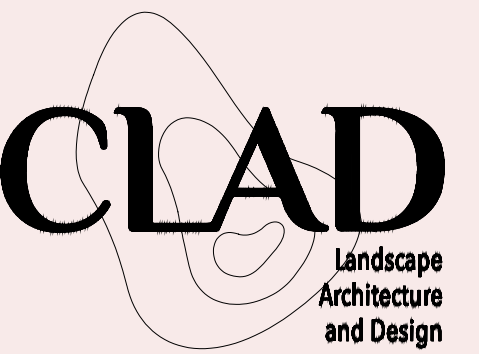
A. Number of large shrubs or small trees required: Number of required shrubs x 10% =	<u>24</u>	<u>48</u>
B. % Native large shrubs or small trees required: Number of large shrubs or small trees provided x 50% =	<u>24</u>	<u>33</u>

NOTE:

Tree species diversity (11 to 15)



OPEN SPACE DIAGRAM:
LOT AREA: 15,750 SQFT
OPEN SPACE REQUIRED: 7,875 SQFT (50% X LOT AREA)
OPEN SPACE PROVIDED: 9,609 SQFT (61%)



360 S HIBISCUS RESIDENCE
MIAMI BEACH, FL

SITE ADDRESS:

360 S HIBISCUS DRIVE
MIAMI BEACH, FL 33139

LANDSCAPE ARCHITECT:

CLAD
8020 NE 4TH AVE, STUDIO 113
MIAMI, FL 33138
(786) 536-6076
INFO@CLADLANDSCAPE.COM

SEAL:

CAROLINA MONTEIRO DA SILVA
REGISTERED LANDSCAPE ARCHITECT
LA6667311

DRAWING TITLE:

PLANTING SCHEDULE,
LEGEND + OPEN
SPACE DIAGRAM

© 2022 CLAD, LLC

REVISIONS:

ISSUE	DATE
DRB 1ST SUBMITTAL	06/21/22
DRB 2ND SUBMITTAL	08/08/22

SCALE:
NOT APPLICABLE

PROJ. N°:
2210
SHEET N°:

L-5.4

SITE ADDRESS:

360 S HIBISCUS DRIVE
MIAMI BEACH, FL 33139

LANDSCAPE ARCHITECT:

CLAD
8020 NE 4TH AVE, STUDIO 113
MIAMI, FL 33138
(786) 536-6076
INFO@CLADLANDSCAPE.COM

SEAL:

CAROLINA MONTEIRO DA SILVA
REGISTERED LANDSCAPE ARCHITECT
LA6667311

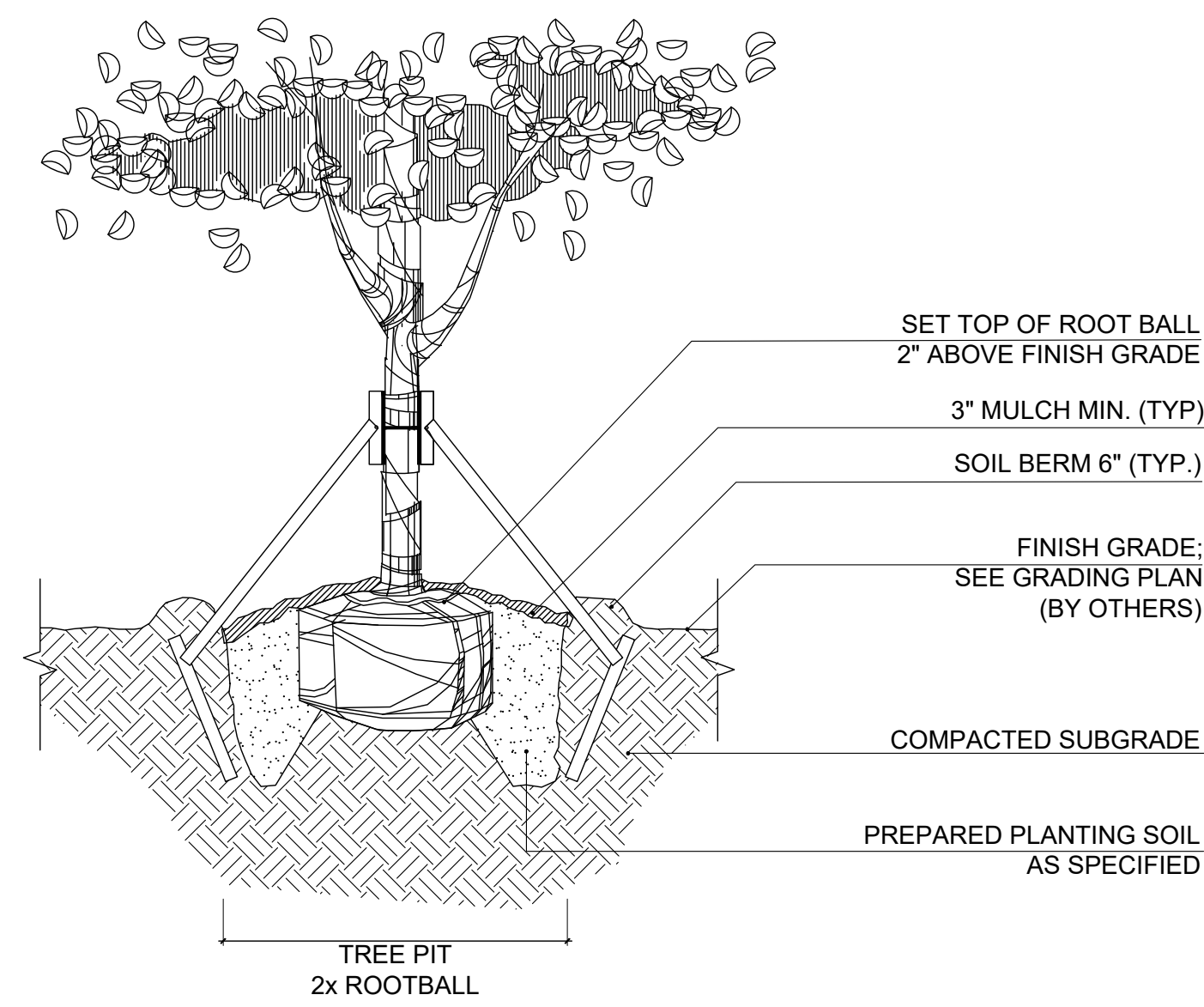
DRAWING TITLE:

**PLANTING
DETAILS**

© 2022 CLAD, LLC

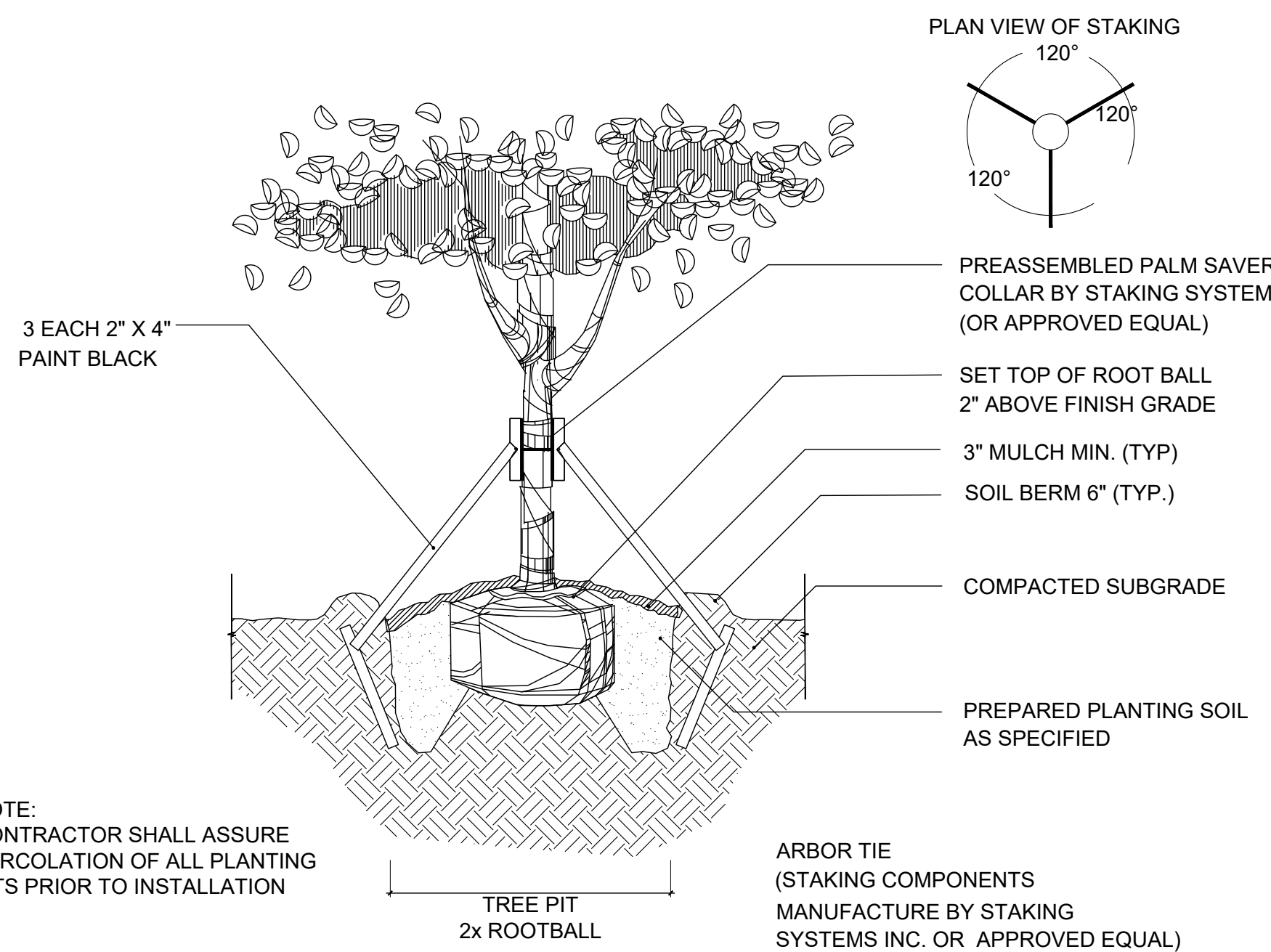
REVISIONS:

ISSUE	DATE
DRB 1ST SUBMITTAL	06/21/22
DRB 2ND SUBMITTAL	08/08/22

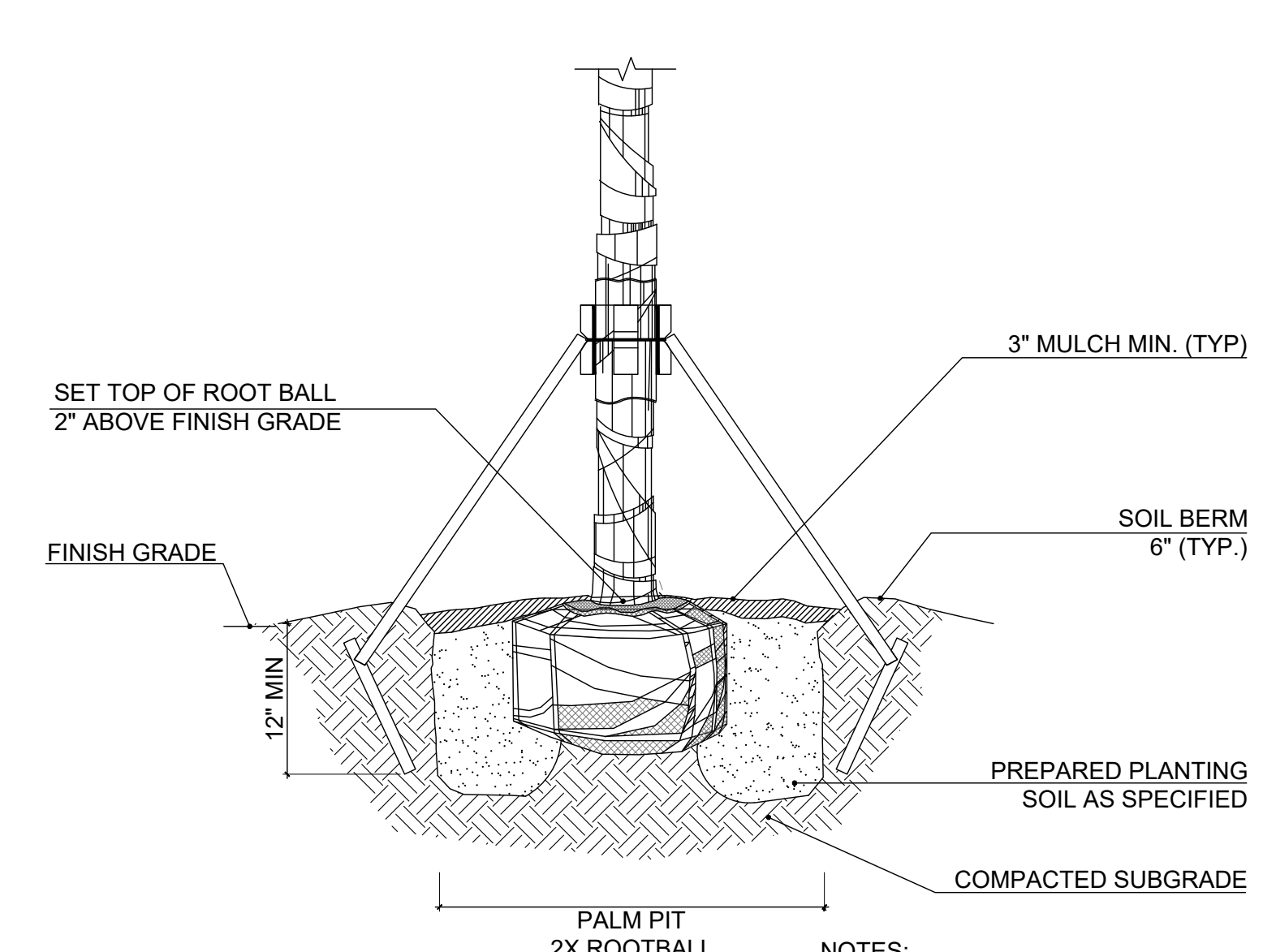


NOTE:
CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION

1 SPECIMEN TREE PLANTING DETAIL
SCALE: N.T.S.

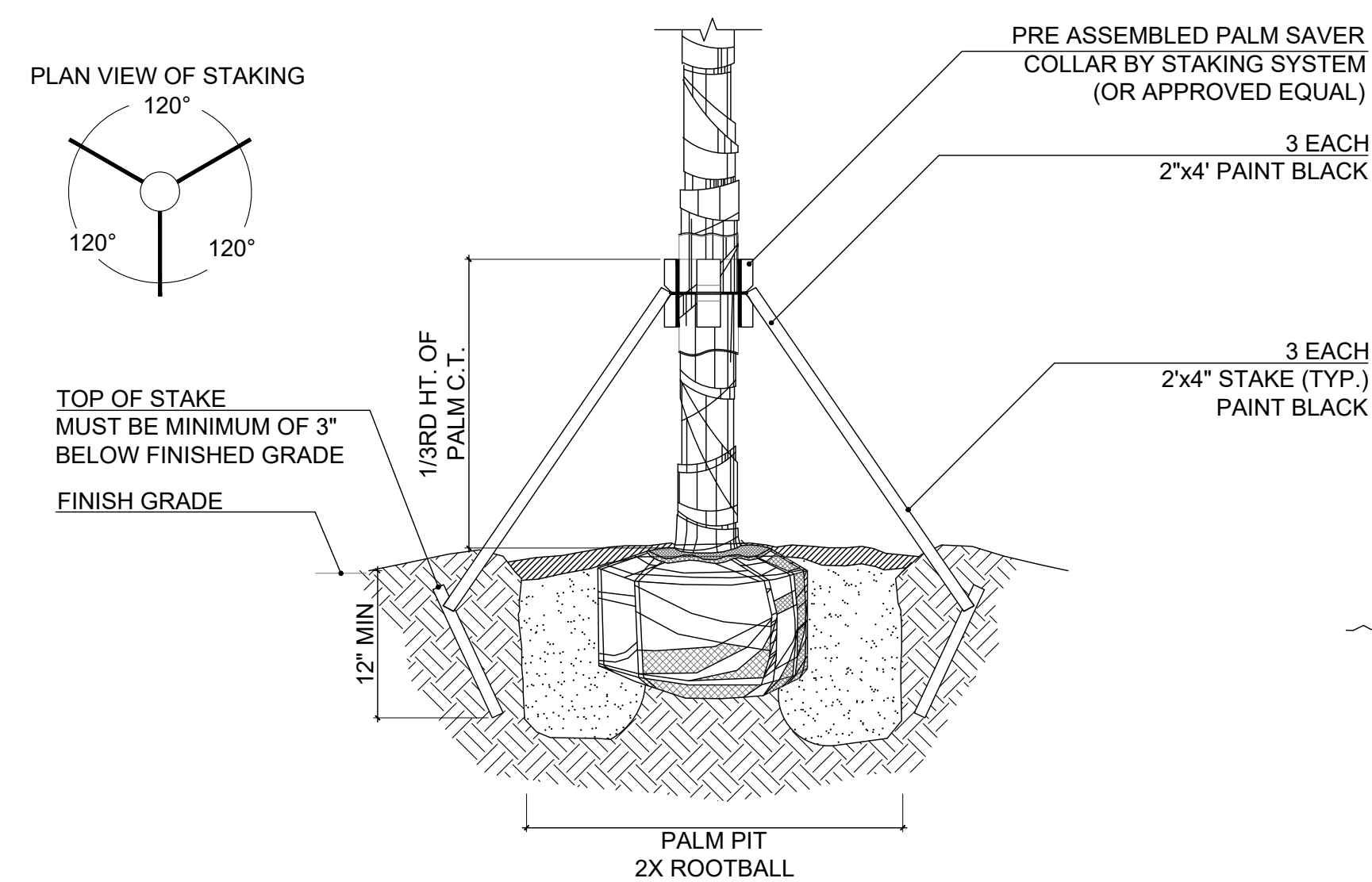


2 SPECIMEN TREE STAKING DETAIL
SCALE: N.T.S.



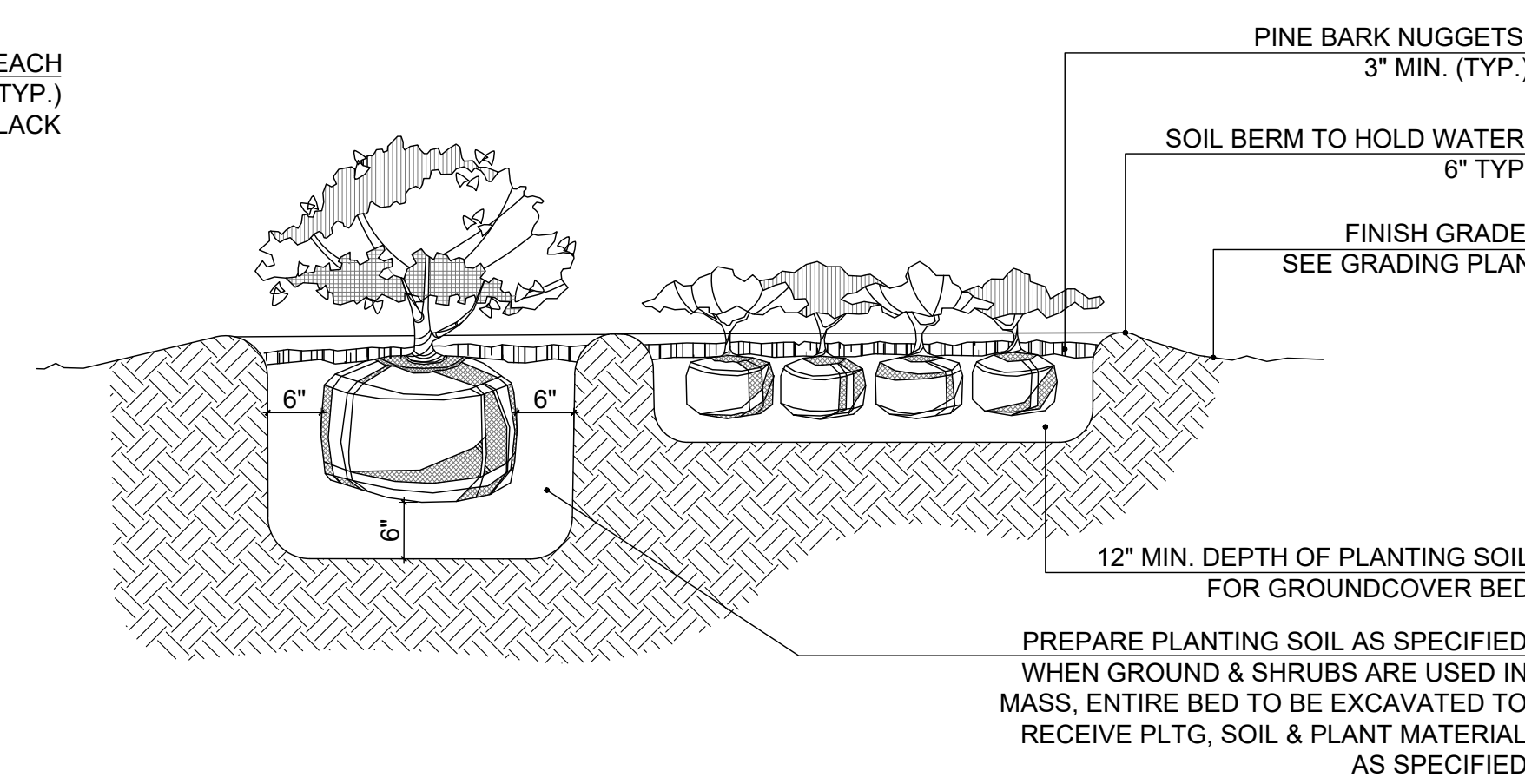
NOTES:
1. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
2. SOIL BERMS ARE TO BE CONSTRUCTED AT RIGHT ANGLES TO THE TREE OR SHRUB OR IN THE POSITION WHICH WILL MOST EFFECTIVELY SERVE THE PURPOSE OF RETAINING WATER AT THE BASE OF THE PLANT.

3 PALM PLANTING DETAIL
SCALE: N.T.S.



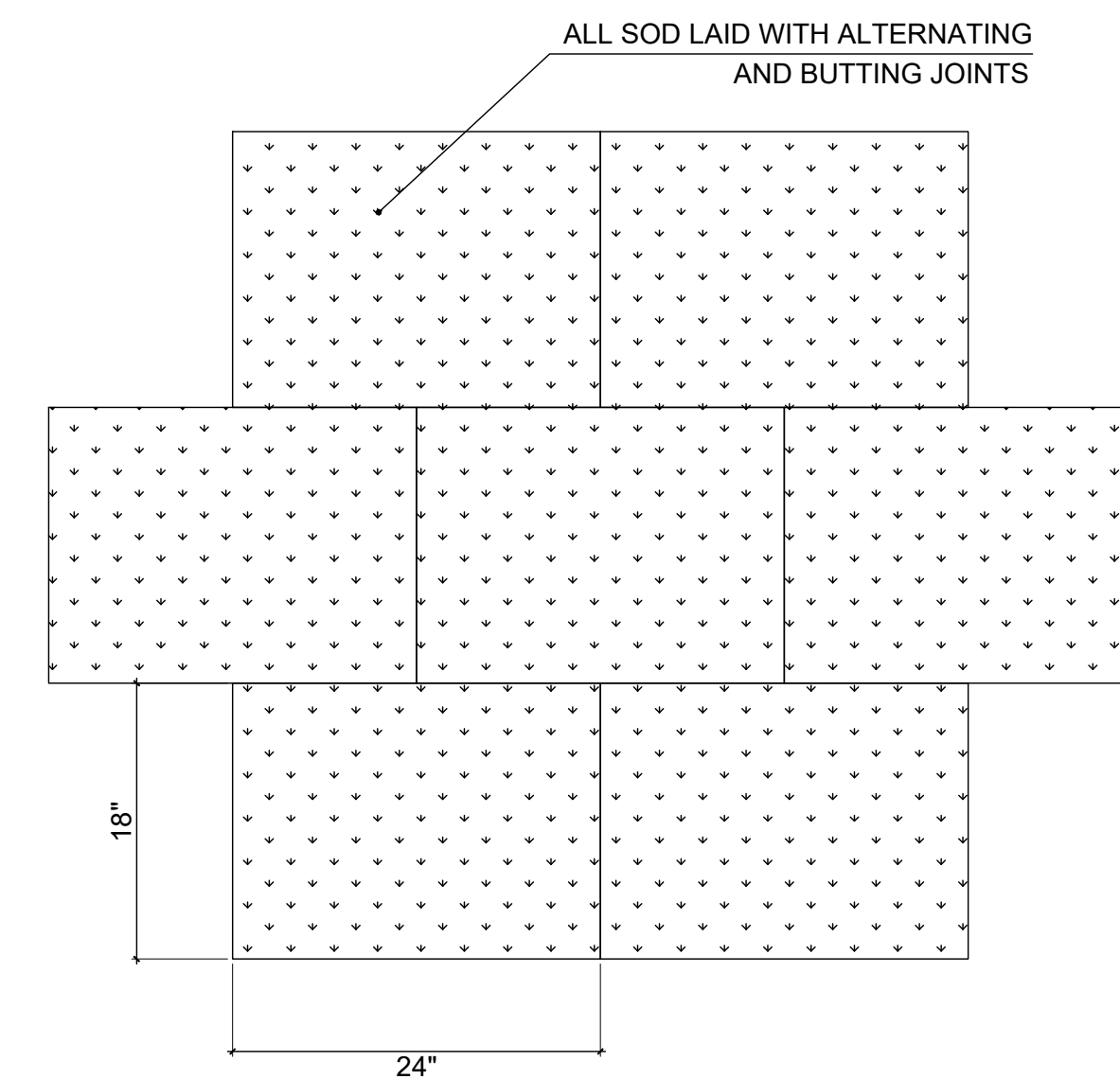
NOTES:
1. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
2. SOIL BERMS ARE TO BE CONSTRUCTED AT RIGHT ANGLES TO THE TREE OR SHRUB OR IN THE POSITION WHICH WILL MOST EFFECTIVELY SERVE THE PURPOSE OF RETAINING WATER AT THE BASE OF THE PLANT.

4 PALM STAKING DETAIL
SCALE: N.T.S.



NOTE:
CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS/ BEDS PRIOR TO INSTALLATION

5 SHRUB AND GROUNDCOVER PLANTING DETAIL
SCALE: N.T.S.



NOTE: PROVIDE 2"-3" OF TOP SOIL FOR FINAL GRADING PRIOR TO LAY DOWN SOD

6 SOD PLANTING DETAIL
SCALE: N.T.S.

SCALE:
N.T.S.

PROJ. N°:
2210

SHEET N°:

L-5.5

