



Page 1  
Section  
Dimensions  
Car data

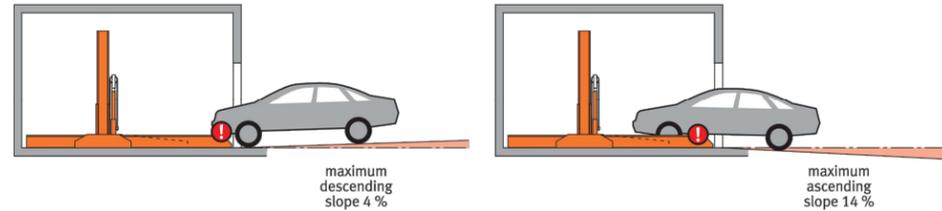
Page 2  
Width  
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Technical  
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To be performed  
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Description

**Approach**

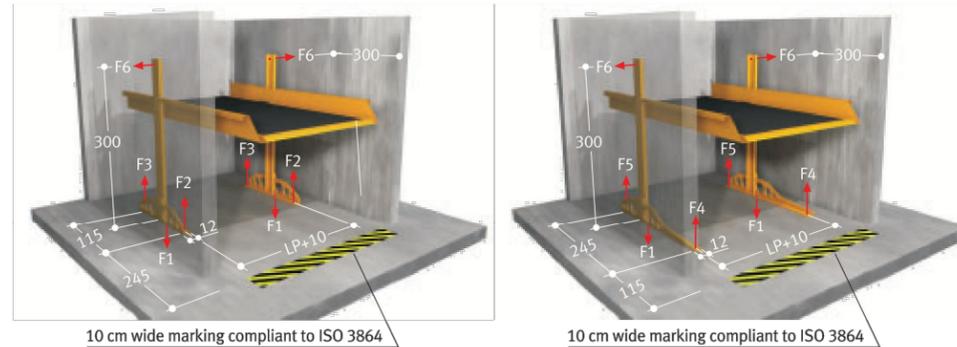


! The illustrated maximum approach angles must not be exceeded. Incorrect approach angles will cause serious manoeuvring & positioning problems on the parking system for which the local agency of Klaus accepts no responsibility.

**Load plan**

Option 1: short steel pillar base

Option 2: long steel pillar base



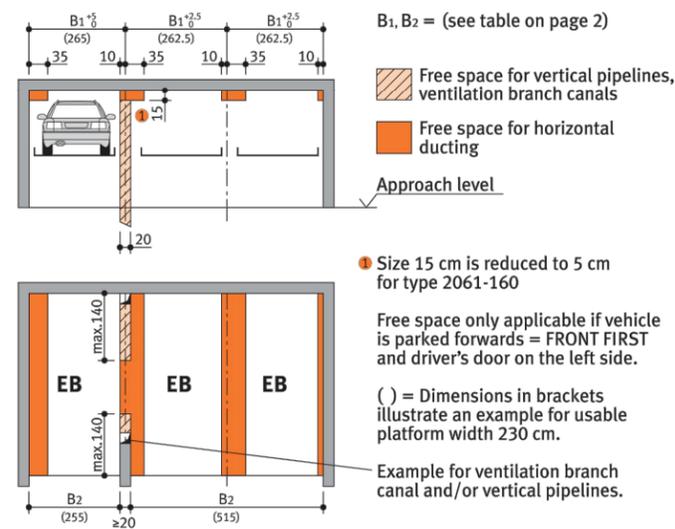
platform load	F1	F2	F3	F4	F5	F6
2,000 kg	30	1.1	7.4	0.5	7.7	±1
2,500 kg	35	1.3	8.9	0.6	9.3	±1

Forces in kN

! The steel pillar base can be selected optionally (short or long). Please make sure to note the corresponding forces that apply! Units are dowelled to the floor. Drilling depth: approx. 15 cm. Floor and walls are to be made of concrete (quality minimum C20/25)!

**Installation data**

Free space for longitudinal and vertical ducts (e.g. ventilation)



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**To be performed by the customer**

**Safety fences**

Any constraints that may be necessary according to DIN EN ISO 13857 in order to provide protection, for pathways directly in front, next to or behind the unit. This is also valid during construction.

**Numbering of parking spaces**

Consecutive numbering of parking spaces.

**Building services**

Lighting, ventilation, fire extinguishing and fire alarm systems.

**Marking**

According to DIN EN 14 010, a warning that identifies this danger area must be placed in the entrance area that conforms to ISO 3864. This must be done according to EN 92/58/EWG for systems without a pit 10 cm from the edge of the platform.

**Wall cuttings**

Any necessary wall cuttings according to page 1.

**Electrical supply to the main switch / Foundation earth connector**

Suitable electrical supply to the main switch and the control wire line must be provided by the customer during installation. The functionality can be monitored on site by our fitters together with the electrician. If this cannot be done during installation for some reason for which the customer is responsible, the customer must commission an electrician at their own expense and risk.

In accordance with DIN EN 60204 (Safety of Machinery. Electrical Equipment), grounding of the steel structure is necessary, provided by the customer (distance between grounding max. 10 m).

**Description**

**General description**

Multiparking system providing dependent parking spaces for 2 cars one on top of the other each. The lower vehicle parks directly on the floor plate. The vehicle parked on the bottom must be driven out before lowering the platform.

The height of the platform can be adjusted flexibly (even subsequently). Adjustment of maximum load of 2,500 kg can be made subsequently.

Dimensions are in accordance with the underlying dimensions of parking pit, height and width

The parking bays are accessed horizontally (installation deviation ± 1 %). Vehicles are positioned on the upper parking space using wheel stops on the right side (adjust according to operating instructions).

Operation via operating device with hold-to-run-device using master keys.

The operating elements are usually mounted either in front of the column or on the outside of the door frame

Operating instructions are attached to each operator's stand.

For garages with doors at the front of the parking system the special dimensional requirements have to be taken into account.

**Multiparking system consisting of:**

- 2 steel pillars with bases that are mounted on the floor (short or long steel pillar bases can be selected optionally).
- 2 sliding platforms (mounted to the steel pillars with sliding bearings)
- 1 platform
- 1 mechanic synchronization control system (to ensure synchronous operation of the hydraulic cylinders while lowering and lifting the platform)
- 1 hydraulic cylinder
- 1 automatic hydraulic safety valve (prevents accidental lowering of the platform while accessing the platform)
- Dowels, screws, connecting elements, bolts, etc.
- The platforms and parking spaces are end-to-end accessible for parking!

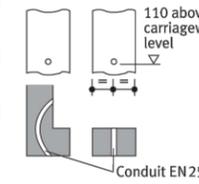
**We reserve the right to change this specification without further notice**

The Klaus company reserves the right in the course of technical progress to use newer or other technologies, systems, processes, procedures or standards in the fulfillment of their obligations other than those originally offered provided the customer derives no disadvantage from their so doing.

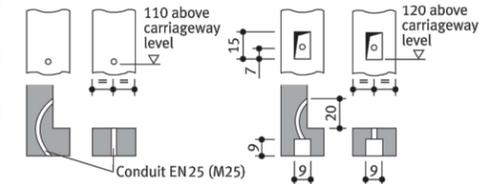
**Operating device**

Cable conduits and recesses for operating device (for double wing doors: please contact the local agency of Klaus Multiparking).

**Operating device exposed**



**Operating device concealed**



If the following are not included in the quotation, they will also have to be provided / paid for by the customer:

- Mounting of contactor and terminal box to the wall valve, complete wiring of all elements in accordance with the circuit diagram
- Costs for final technical approval by an authorized body
- Main switch
- Control line from main switch to hydraulic unit

**Platforms consisting of:**

- Platform base sections
- Adjustable wheel stops
- Canted access plates
- Side members
- Cross members
- Screws, nuts, washers, distance tubes, etc.

**Hydraulic system consisting of:**

- Hydraulic cylinder
- Solenoid valve
- Safety valve
- Hydraulic conduits
- Screwed joints
- High-pressure hoses
- Installation material

**Electric system consisting of:**

- Operating device (Emergency Stop, lock, 1 master key per parking space)
- Terminal box at wall valve
- Electrical locking device
- Chain control

**Hydraulic unit consisting of:**

- Hydraulic power unit (low-noise, installed onto a console with a rubber-bonded-to-metal mounting)
- Hydraulic oil reservoir
- Oil filling
- Internal geared wheel pump
- Pump holder
- Clutch
- 3-phase-AC-motor (3.0 kW, 230/400 V, 50 Hz)
- Contactor (with thermal overcurrent relay and control fuse)
- Test manometer
- Pressure relief valve
- Hydraulic hoses (which reduce noise transmission onto the hydraulic pipe)

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**HPB SUBMITTAL**

**OFFICE BUILDING**  
1665-1667 WASHINGTON AVENUE  
MIAMI BEACH, FLORIDA 33139

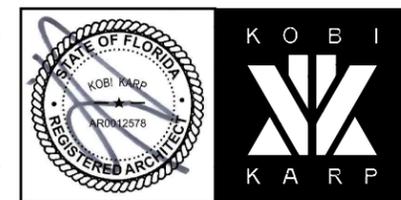
**Owner:**  
Name: KK 1665 WASHINGTON AVE  
Address: 745 Fifth Ave  
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Email:

**Landscape:**  
CLAD  
8020 NE 4th Ave  
Studio 113, Miami FL  
(786) 536-5076  
Email: carolina@cladlandscape.com

**Consultant:**  
Name:  
Address:  
Address:  
Tel:  
Email:

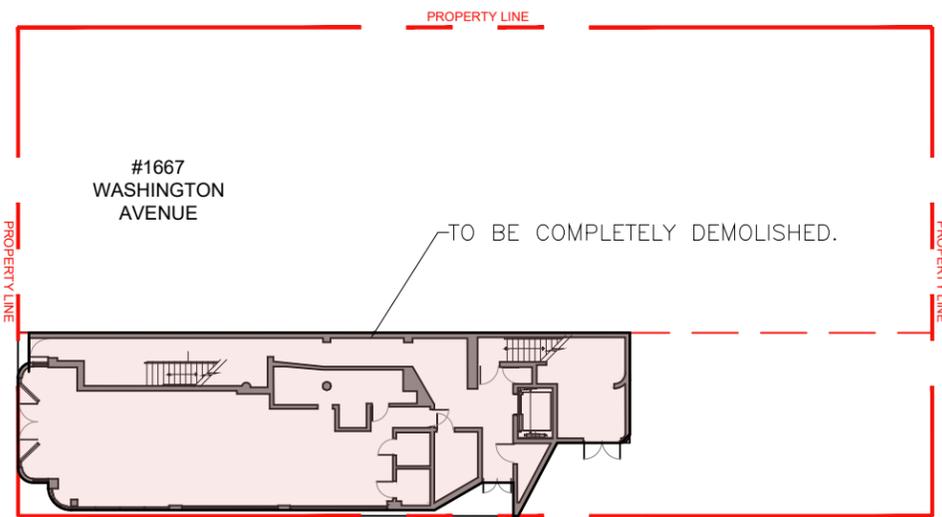
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**Architect:**  
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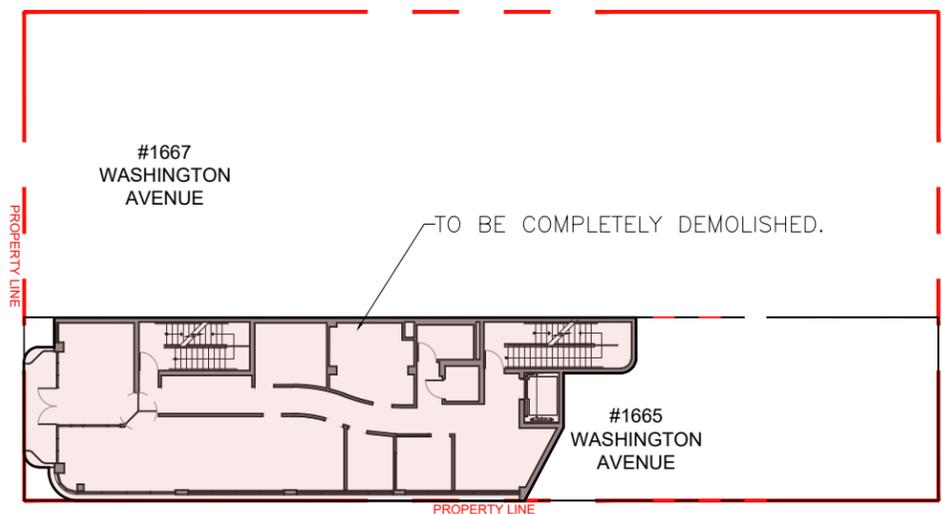


**PARKING DETAILS**

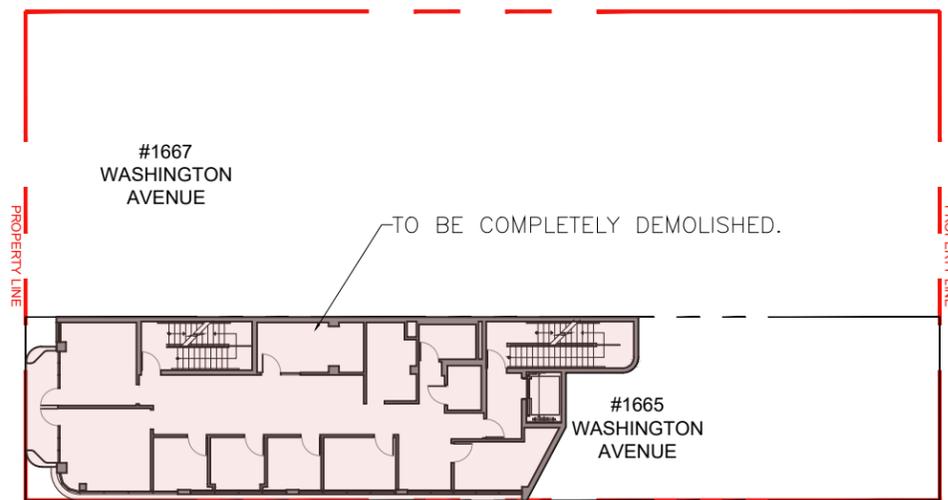
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Project	2132	



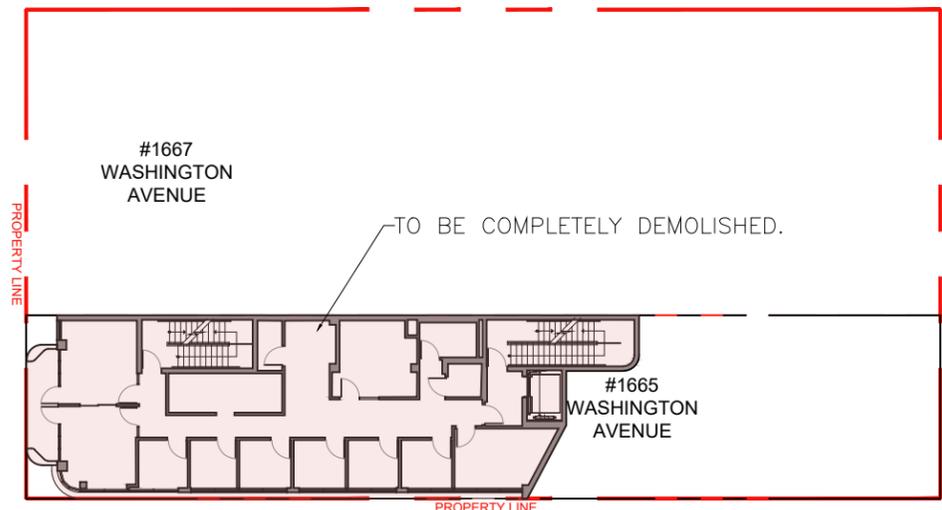
① LEVEL 1 DEMOLISH AREA  
SCALE: 1"=30'-0"



② LEVEL 2 DEMOLISH AREA  
SCALE: 1"=30'-0"



③ LEVEL 3 DEMOLISH AREA  
SCALE: 1"=30'-0"



④ LEVEL 4 DEMOLISH AREA  
SCALE: 1"=30'-0"

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HPB SUBMITTAL

OFFICE BUILDING  
1665-1667 WASHINGTON AVENUE  
MIAMI BEACH, FLORIDA 33139

Owner:  
Name KK 1665 WASHINGTON AVE  
Address 745 Fifth Ave  
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Landscape:  
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Email: carolina@cladlandscape.com

Consultant:  
Name  
Address  
Address  
Tel:  
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Consultant:  
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Address  
Address  
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Email:

Architect:  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766



DEMOLITION LEGEND

- EXISTING STRUCTURE TO BE REMOVED IN ITS ENTIRETY
- REMOVE INTERIOR PARTITION WALLS, WINDOWS, HARDSCAPE AND POOLS
- REMOVE SLAB
- NO DEMOLITION IN THIS AREA, EXISTING STRUCTURE TO REMAIN, PROTECT FROM DAMAGE

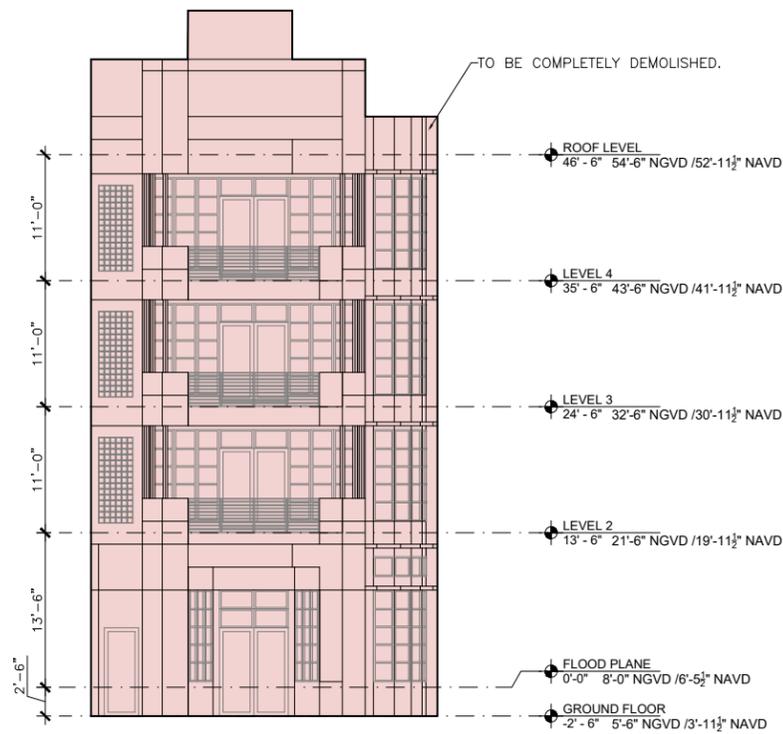
- |   |  |  |
|---|--|--|
| 1 EXISTING DOOR / WINDOW TO REMAIN      | 4 EXISTING RAILING TO BE REMOVED & REPLACED AS PER HISTORIC DATA | 7 TILE ABOVE TERRAZZO TO BE REMOVED, TERRAZZO TO BE RESTORED |
| 2 EXISTING DOOR / WINDOW TO BE REPLACED | 5 TERRAZZO FLOOR TO BE REPAIRED/ RESTORED                        | 8 REMOVE PORTIONS OF WALL PER HISTORIC DESIGN                |
| 3 EXISTING CMU BLOCK TO BE REMOVED      | 6 EXISTING DOOR / WINDOW TO BE REMOVED                           | 9 EXISTING COLUMNS TO BE REMOVED                             |
|   |  | 10 EXISTING STEPS TO BE REMOVED                              |

DEMOLITION GENERAL NOTES

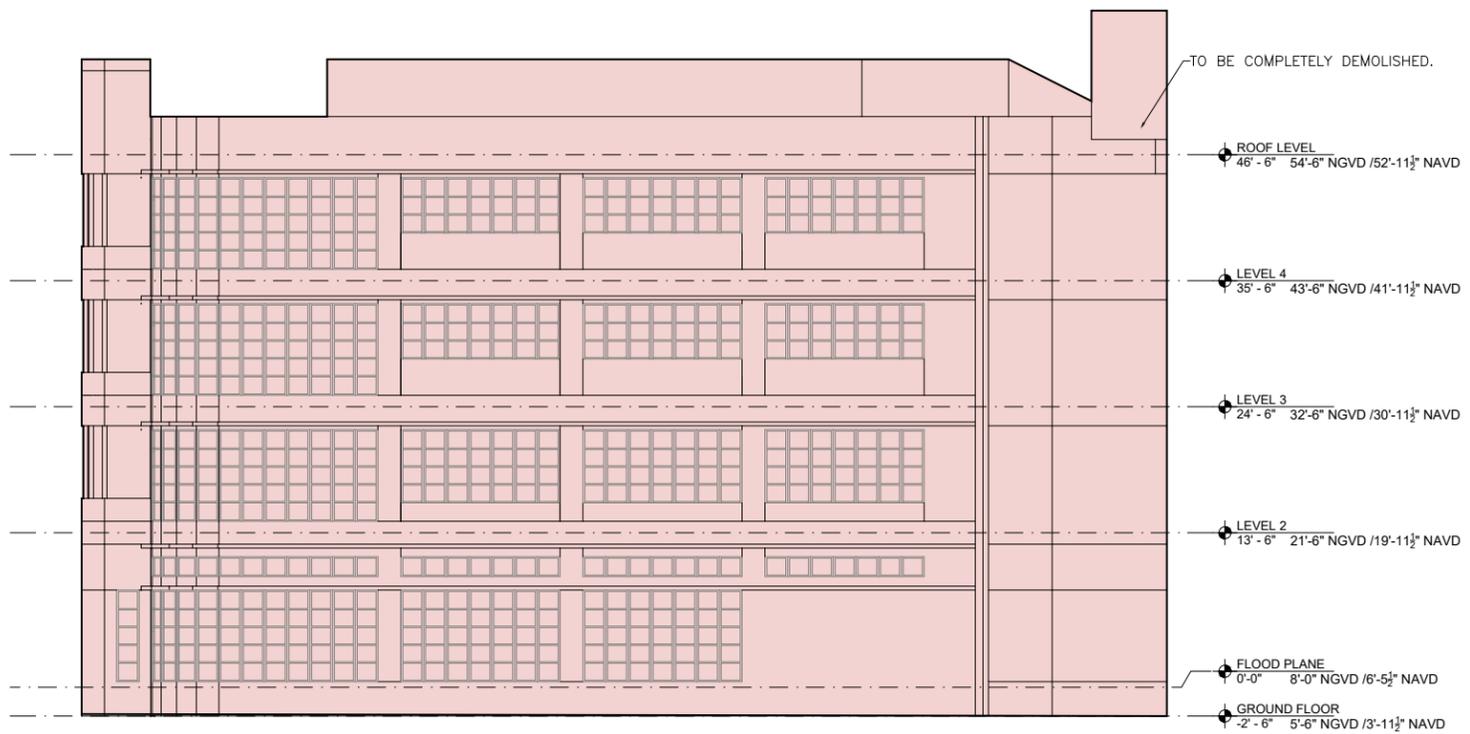
- 1- DEMOLITION IS INTENDED TO PRESERVE AND RESTORE ALL HISTORIC ELEMENTS OF THE BUILDING INCLUDING, BUT NOT LIMITED TO, ALL EXTERIOR WALLS, HISTORIC LOBBY FLOORS, LOBBY WALLS, LOBBY CEILING, PORCH AND THE ORIGINAL ELEVATOR SHAFT LOCATION, SIZE, UNLESS OTHERWISE NOTED.
- 2- ALL EXTERIOR WALLS AND ELEVATOR SHAFT MUST BE PROPERLY SHORED DURING AND AFTER DEMOLITION UNTIL SUCH TIME THAT THE STRUCTURAL ENGINEER AND THE CITY OF MIAMI BEACH AUTHORIZE THE REMOVAL OF SHORING. FULL SHORING SHOP DRAWINGS ENDORSED BY A FLORIDA REGISTERED ENGINEER SHALL BE SUBMITTED AND APPROVED BY THE CITY OF MIAMI BEACH PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION ACTIVITY.
- 3- EFFORTS WILL BE TAKEN TO PROTECT, RETAIN AND RESTORE ANY SIGNIFICANT ORIGINAL ARCHITECTURAL DETAILS THAT MAY EXIST BENEATH THE EXISTING FACADES AND ALL HISTORIC FEATURES TO BE PROTECTED.

DEMOLITION PLANS

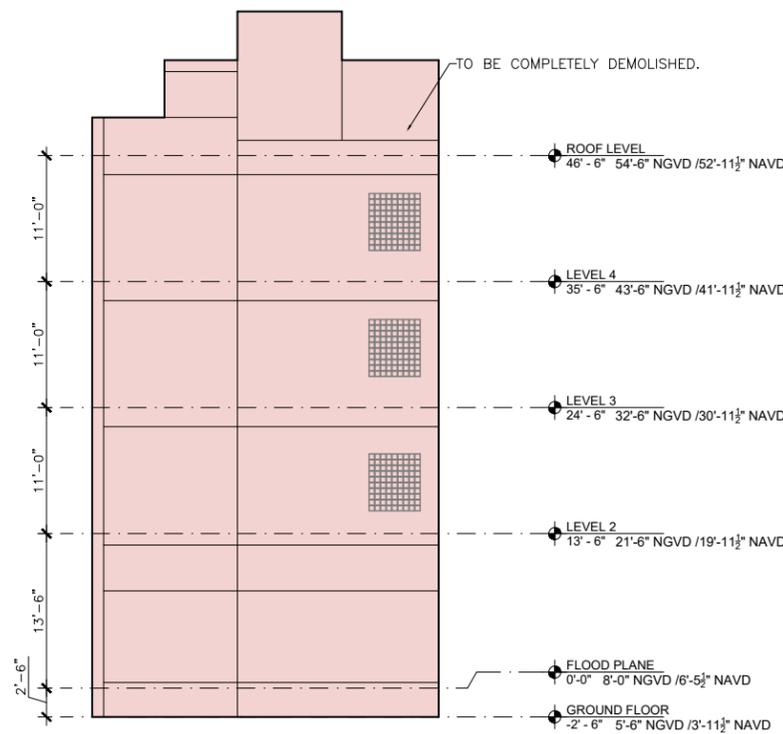
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Project	2132		



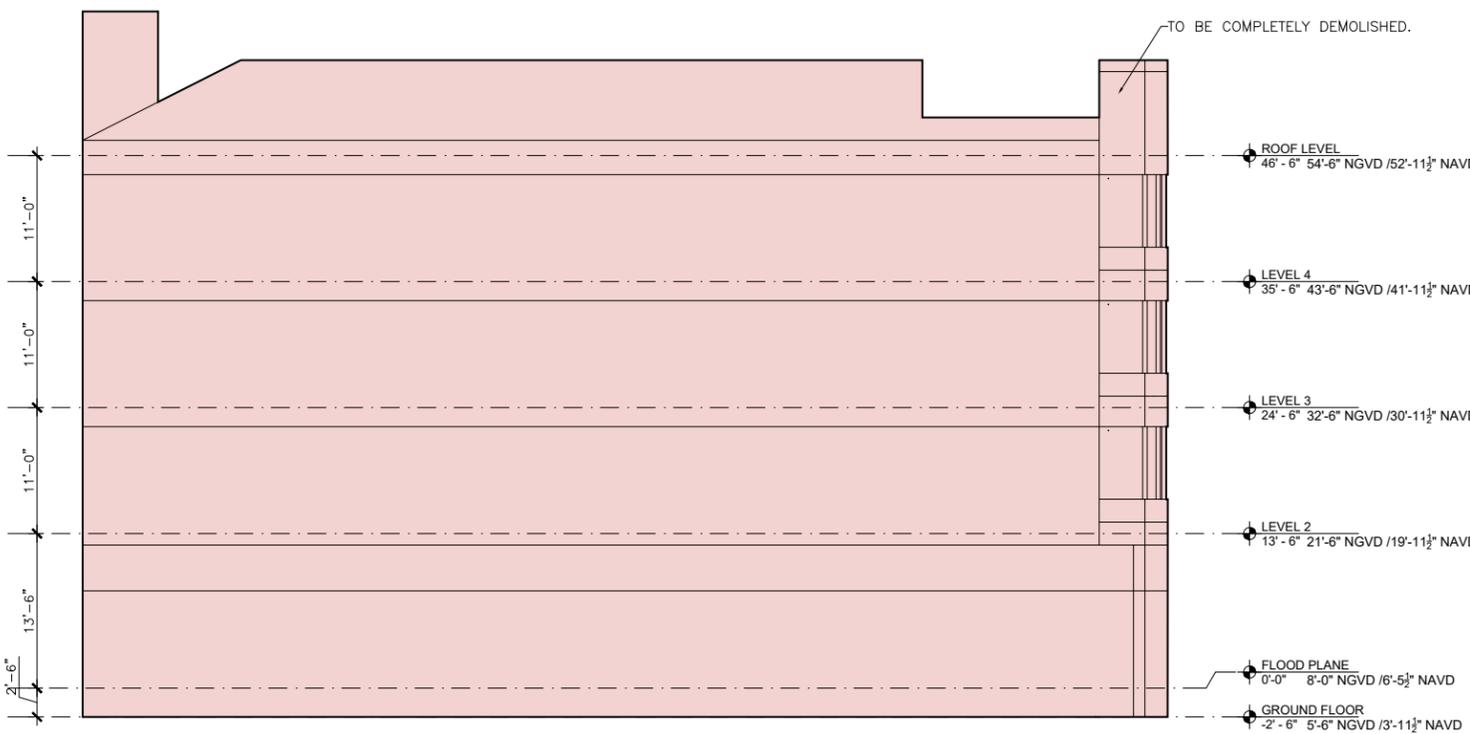
**1** DEMOLITION WEST ELEVATION  
SCALE: 1/16" = 1'



**2** DEMOLITION SOUTH ELEVATION  
SCALE: 1/16" = 1'



**3** DEMOLITION WEST ELEVATION  
SCALE: 1/16" = 1'



**4** DEMOLITION SOUTH ELEVATION  
SCALE: 1/16" = 1'



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**OFFICE BUILDING**  
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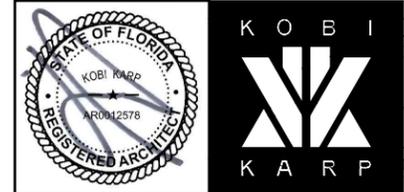
**Owner:**  
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Address: Studio 113, Miami Fl  
Tel: (786) 536-6076  
Email: carolina@cladlandscape.com

**Consultant:**  
Name:  
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**Architect:**  
Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
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	REMOVE INTERIOR PARTITION WALLS, WINDOWS, HARDSCAPE AND POOLS
	REMOVE SLAB
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	EXISTING DOOR / WINDOW TO REMAIN
	EXISTING DOOR / WINDOW TO BE REPLACED
	EXISTING CMU BLOCK TO BE REMOVED
	EXISTING RAILING TO BE REMOVED & REPLACED AS PER HISTORIC DATA
	TERRAZZO FLOOR TO BE REPAIRED/ RESTORED
	EXISTING DOOR / WINDOW TO BE REMOVED
	TILE ABOVE TERRAZZO TO BE REMOVED, TERRAZZO TO BE RESTORED
	REMOVE PORTIONS OF WALL PER HISTORIC DESIGN
	EXISTING COLUMNS TO BE REMOVED
	EXISTING STEPS TO BE REMOVED

DEMOLITION GENERAL NOTES
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**DEMOLITION ELEVATIONS**

Date	07.18.2022	Sheet No.	D2.02
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Project	2132		