

## OFFICE BUILDING

1665-1667 WASHINGTON AVENUE MIAMI BEACH, FLORIDA 33139

KK 1665 WASHINGTON AVE 745 Fifth Ave New York, NY 10151

Landscape: CLAD 8020 NE 4th Ave Studio 113, Miami FI (786) 536-6076 Email: carolina@cladla

Consultant: Name Address Address Tel: Email

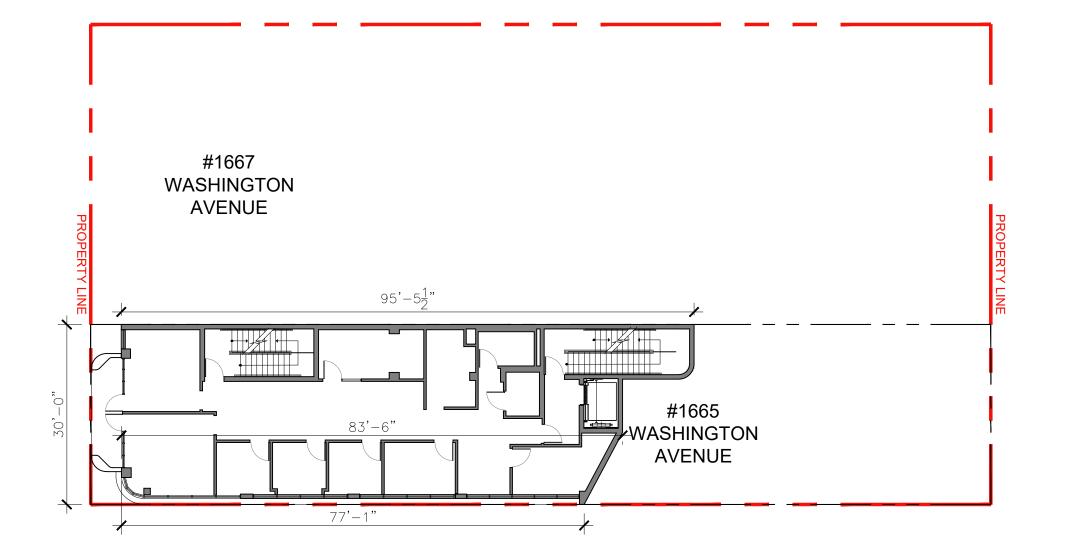




## **EXISTING LEVEL 2**

| Date    | 07.18.2022  | Sheet No. |
|---------|-------------|-----------|
| Scale   | 1/16"=1'-0" | A2.02     |
| Project | 2132        | ,         |

EXISTING OVERALL LEVEL 2 FLOOR PLAN



## OFFICE BUILDING

1665-1667 WASHINGTON AVENUE MIAMI BEACH, FLORIDA 33139

KK 1665 WASHINGTON AVE 745 Fifth Ave New York, NY 10151

Landscape: CLAD 8020 NE 4th Ave Studio 113, Miami FI (786) 536-6076 Email: carolina@cladla

Consultant: Name Address Address Tel: Email

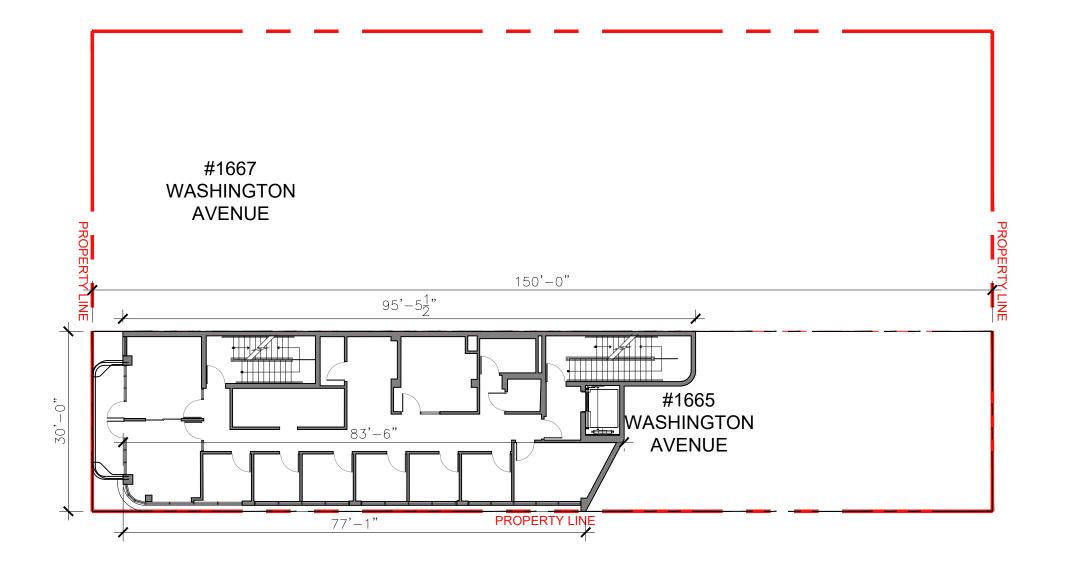




## **EXISTING LEVEL 3**

EXISTING OVERALL LEVEL 3 FLOOR PLAN

| Date    | 07.18.2022  | Sheet No. |
|---------|-------------|-----------|
| Scale   | 1" = 30'-0" | A2.03     |
| Project | 2132        | , 12.00   |



## OFFICE BUILDING

1665-1667 WASHINGTON AVENUE MIAMI BEACH, FLORIDA 33139

KK 1665 WASHINGTON AVE 745 Fifth Ave New York, NY 10151

Landscape: CLAD 8020 NE 4th Ave Studio 113, Miami FI (786) 536-6076 Email: carolina@cladla

Consultant: Name Address Address Tel: Email

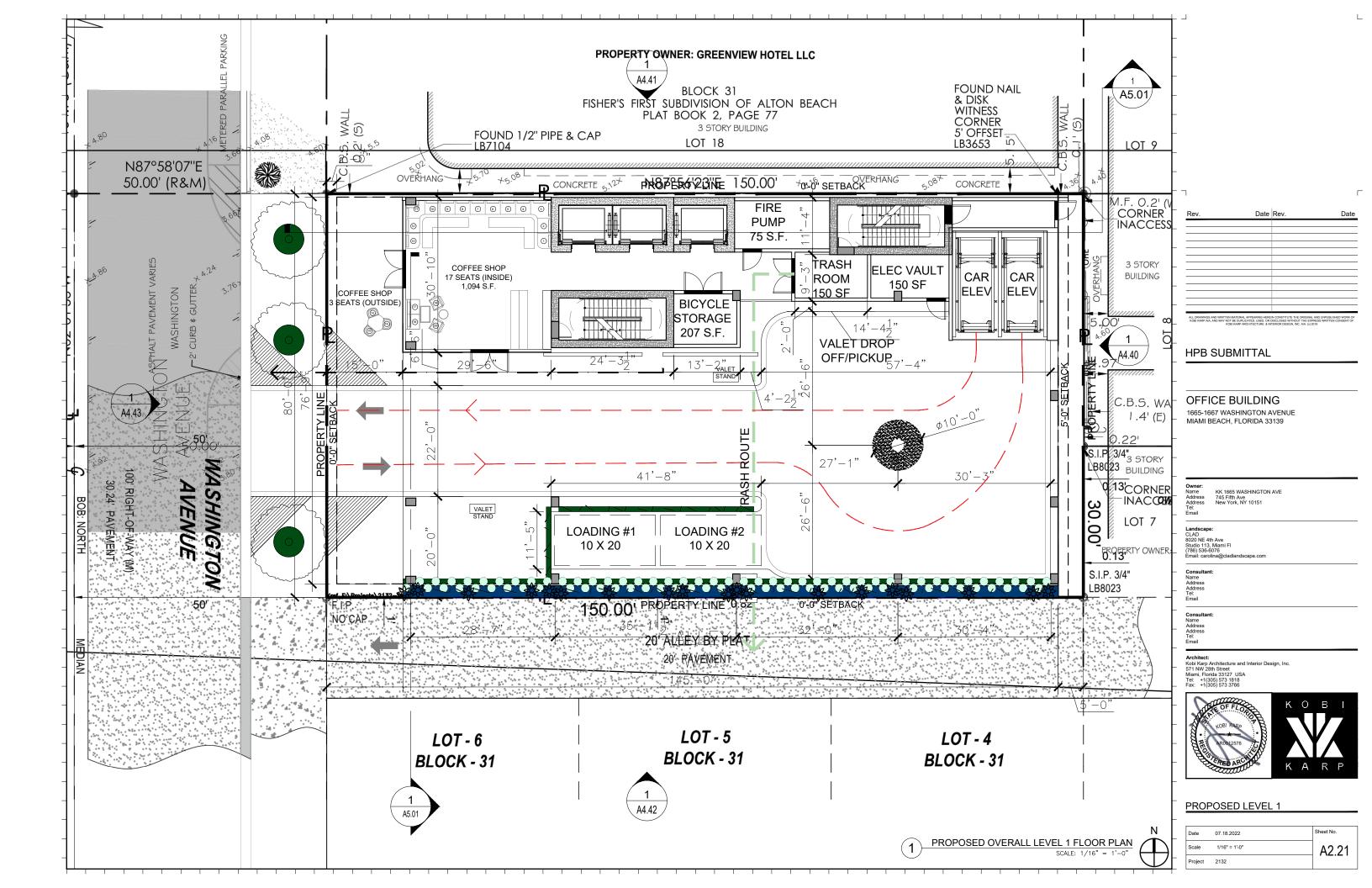


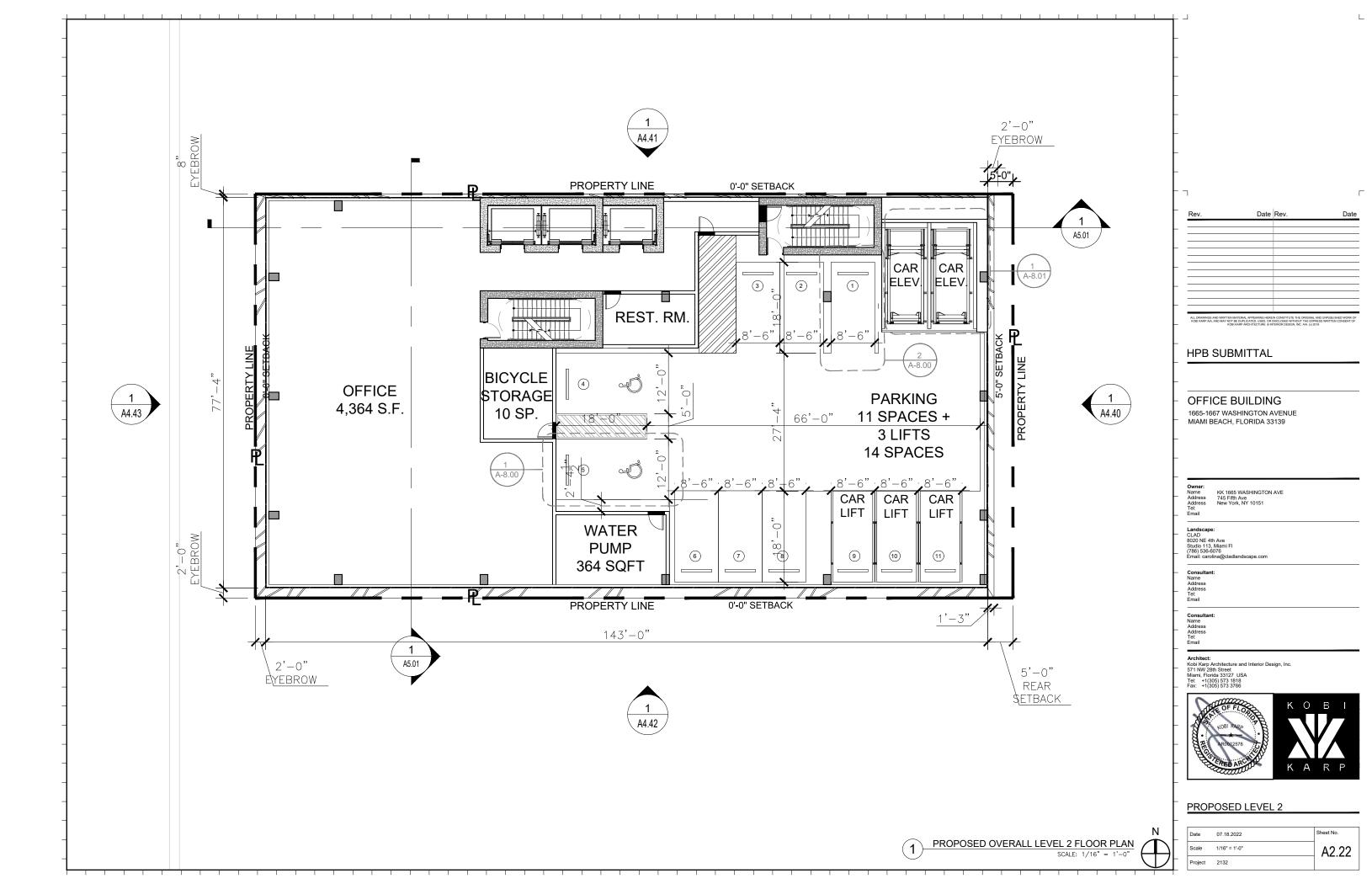


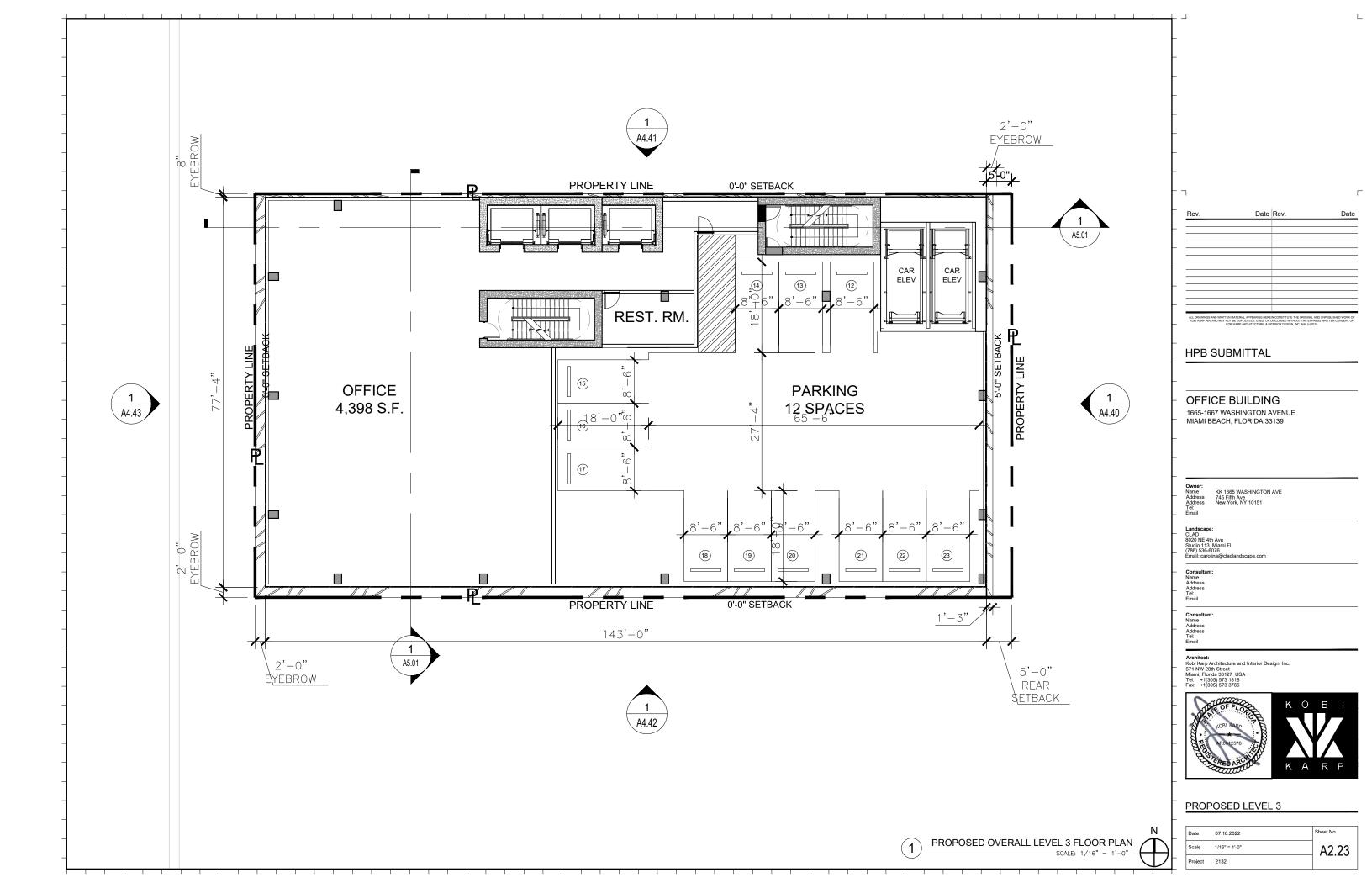
## **EXISTING LEVEL 4**

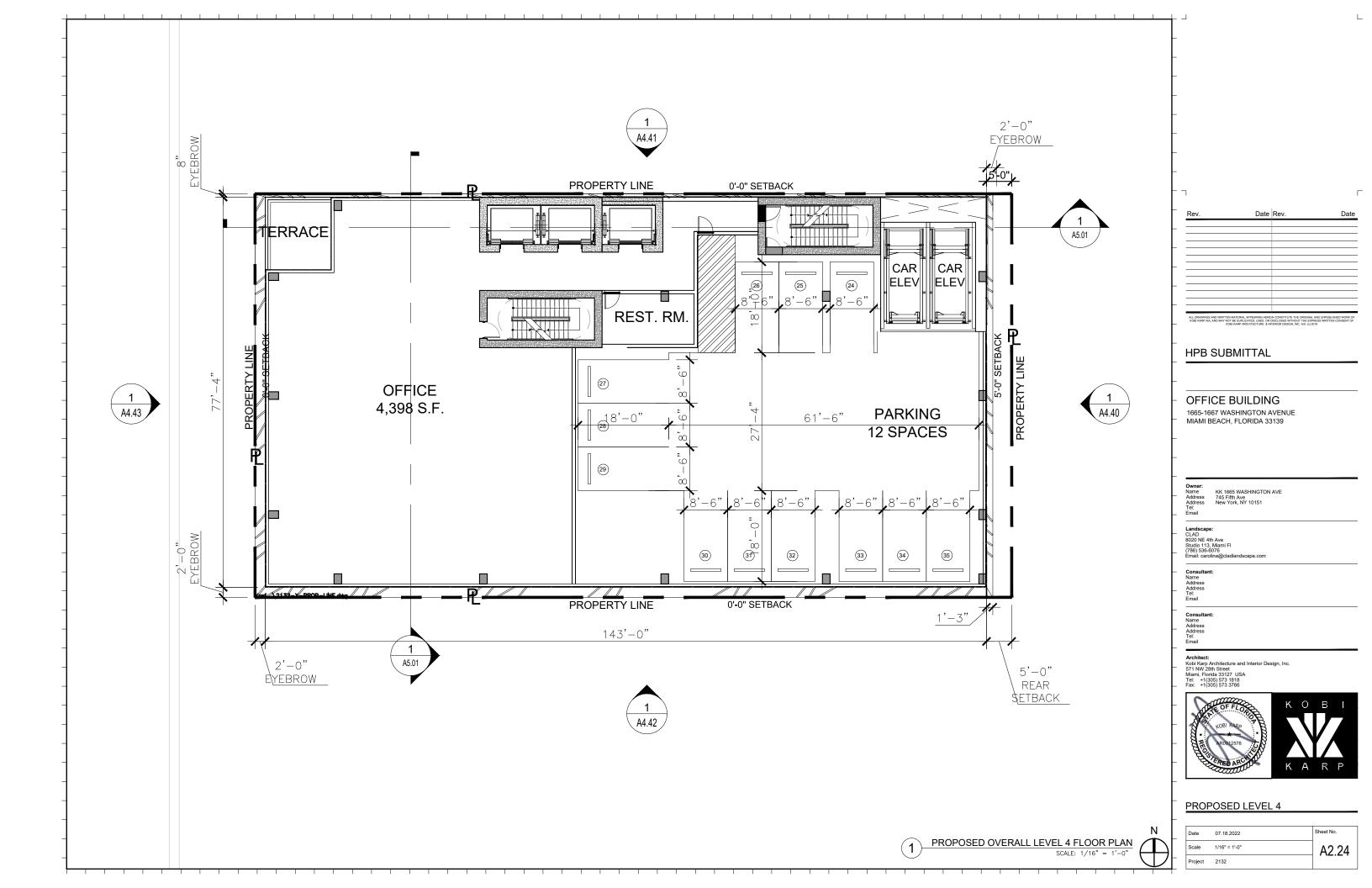
EXISTING OVERALL LEVEL 4 FLOOR PLAN

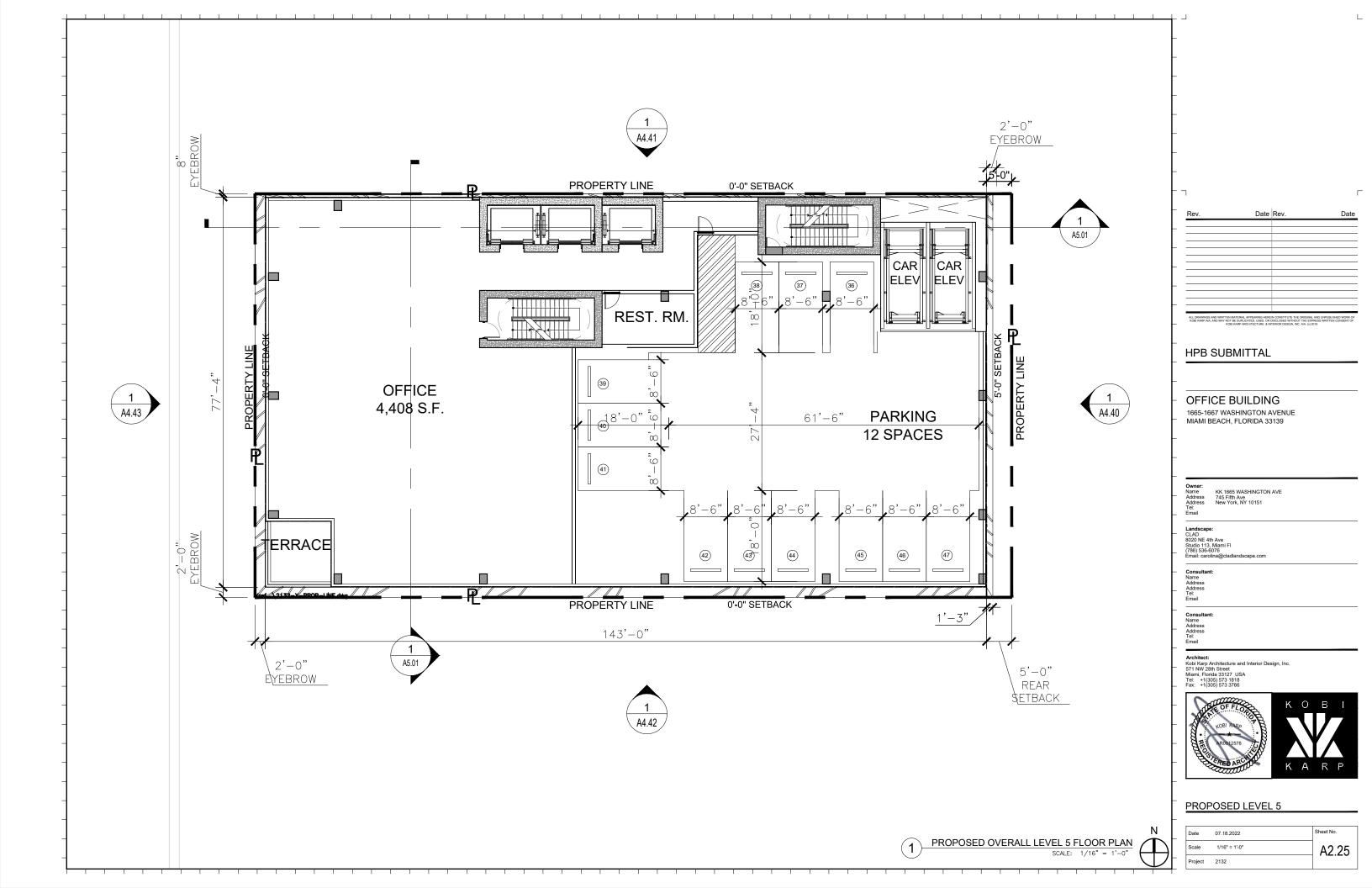
| _ | Date    | 07.18.2022  | Sheet No. |
|---|---------|-------------|-----------|
|   | Scale   | 1/16"=1'-0" | A2.04     |
| - | Project | 2132        | , 12.0    |

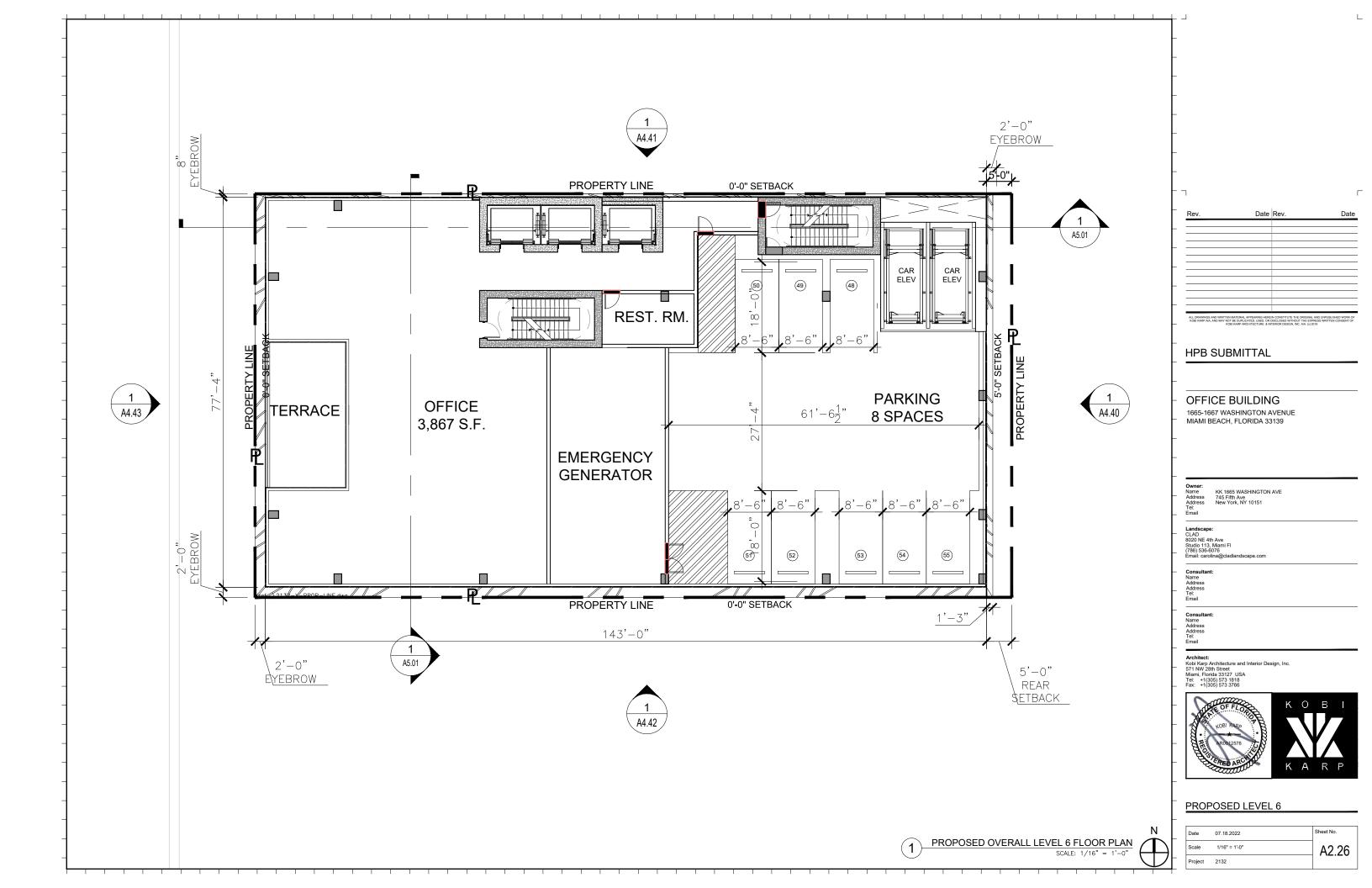


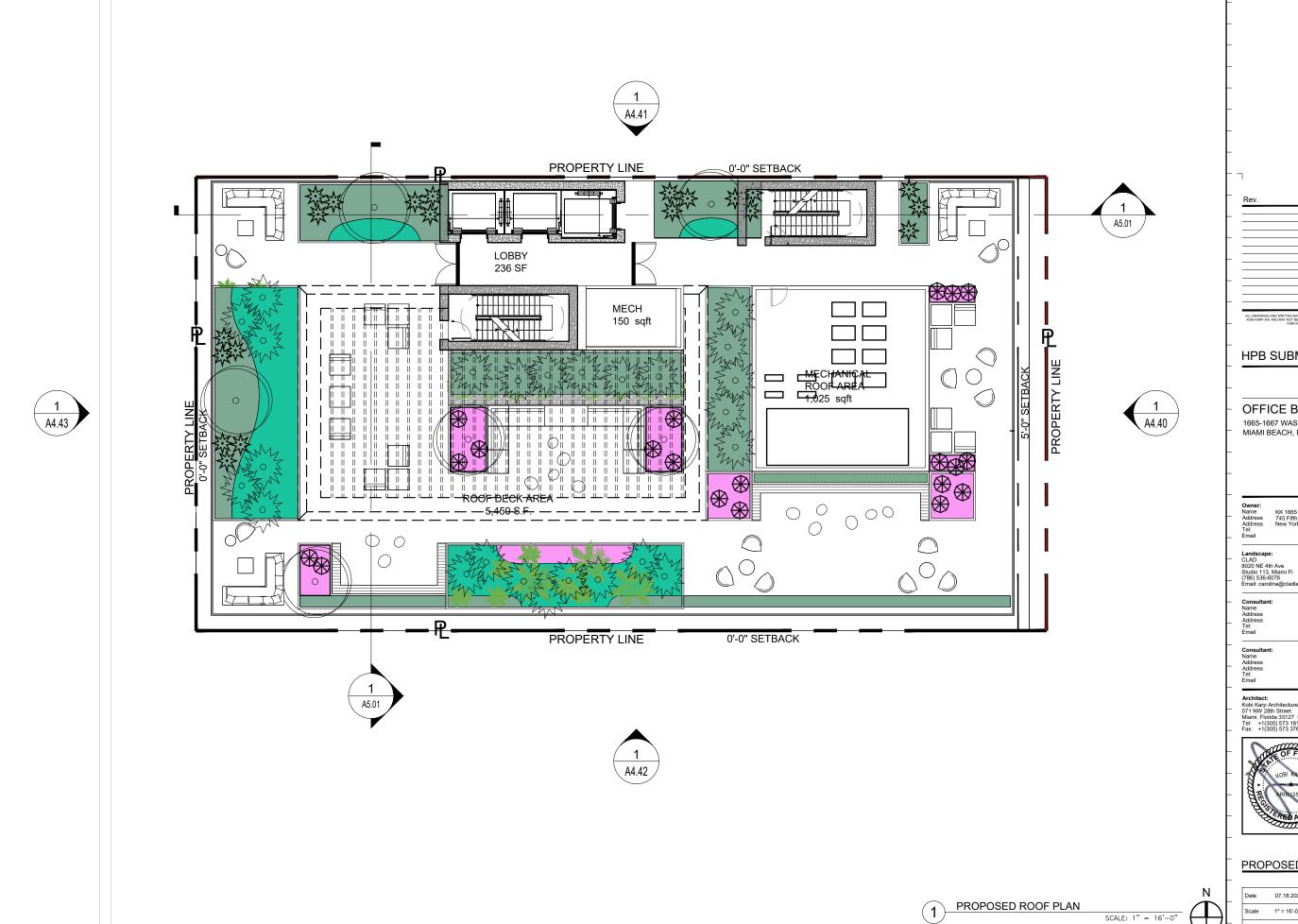












OFFICE BUILDING

1665-1667 WASHINGTON AVENUE MIAMI BEACH, FLORIDA 33139

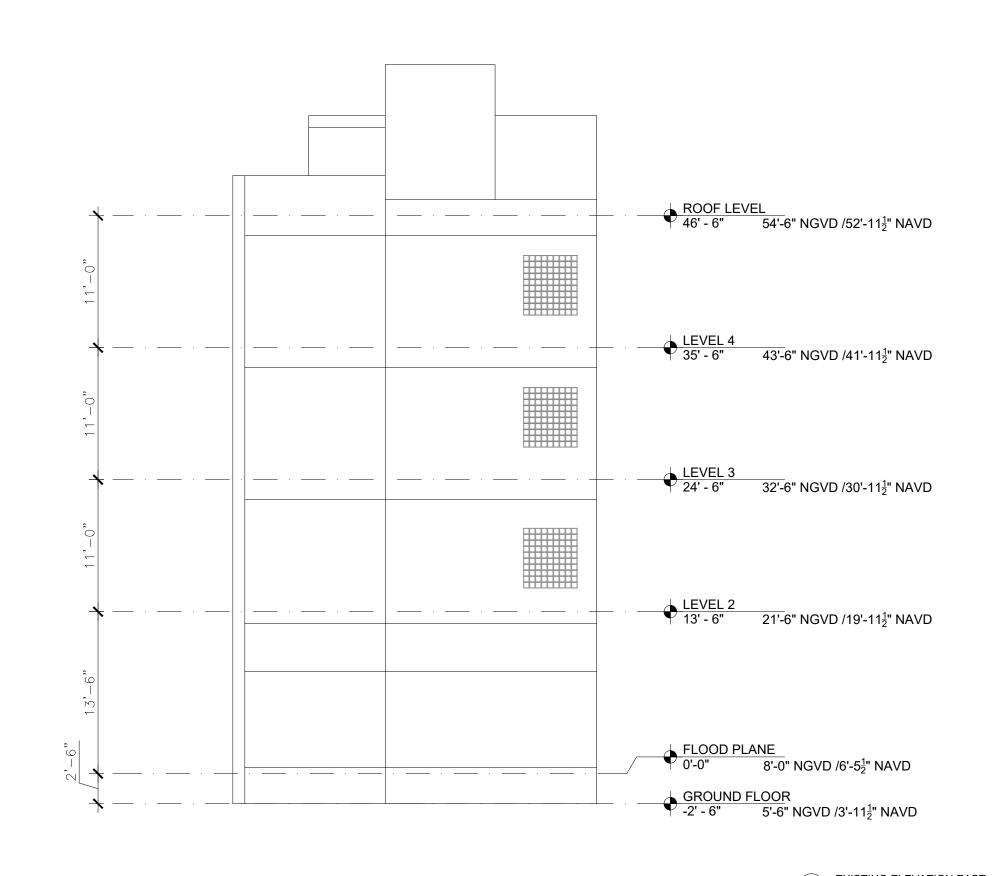
KK 1665 WASHINGTON AVE 745 Fifth Ave New York, NY 10151





PROPOSED ROOF PLAN

| Date    | 07.18.2022  | Sheet No. |
|---------|-------------|-----------|
| Scale   | 1" = 16'-0" | A2.27     |
| Project | 2132        | ,         |



## OFFICE BUILDING

1665-1667 WASHINGTON AVENUE MIAMI BEACH, FLORIDA 33139

KK 1665 WASHINGTON AVE 745 Fifth Ave New York, NY 10151

Landscape: CLAD 8020 NE 4th Ave Studio 113, Miami FI (786) 536-6076 Email: carolina@cladla

Consultant: Name Address Address Tel: Email

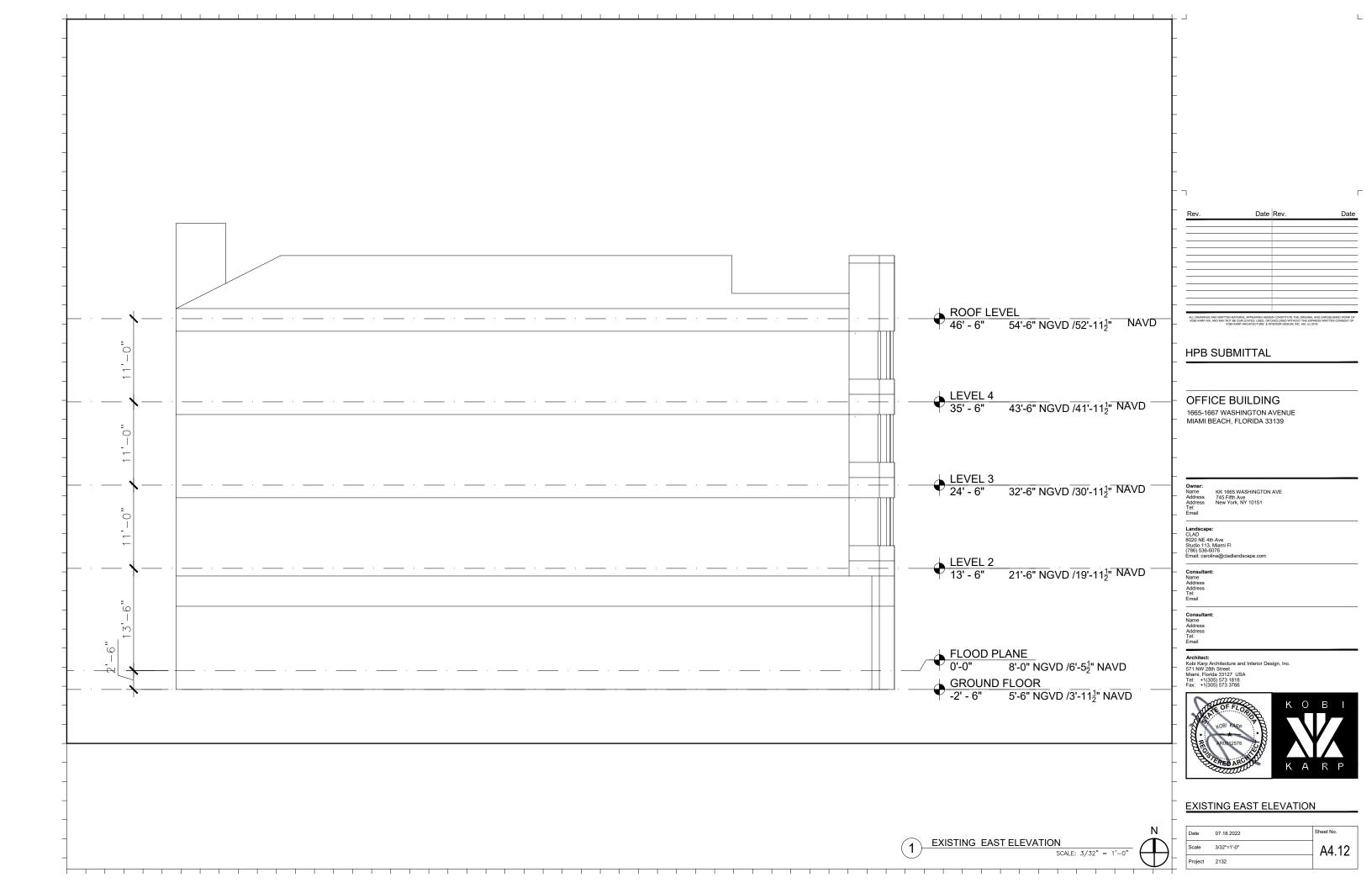
Consultant: Name Address Address Tel: Email

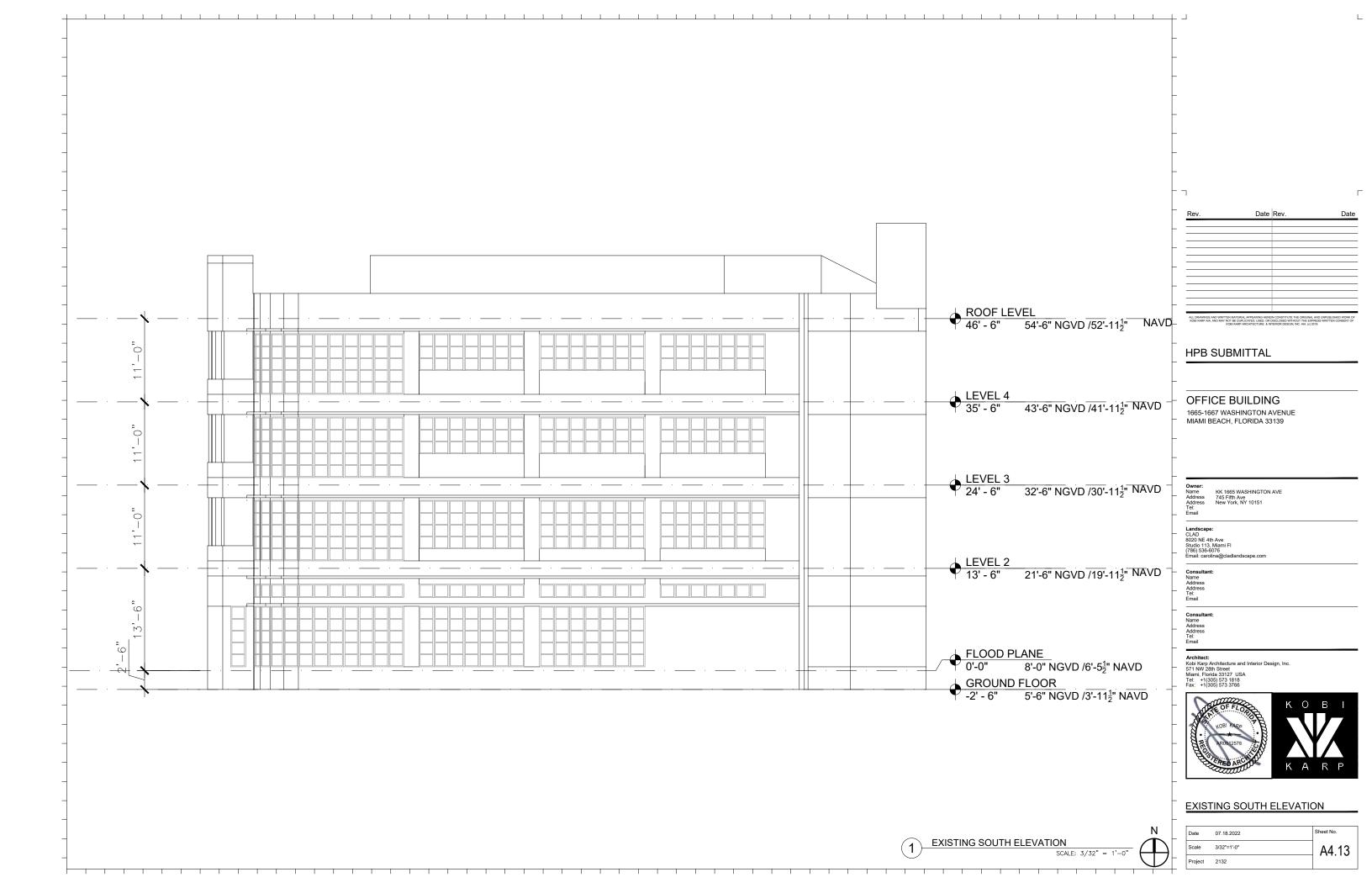


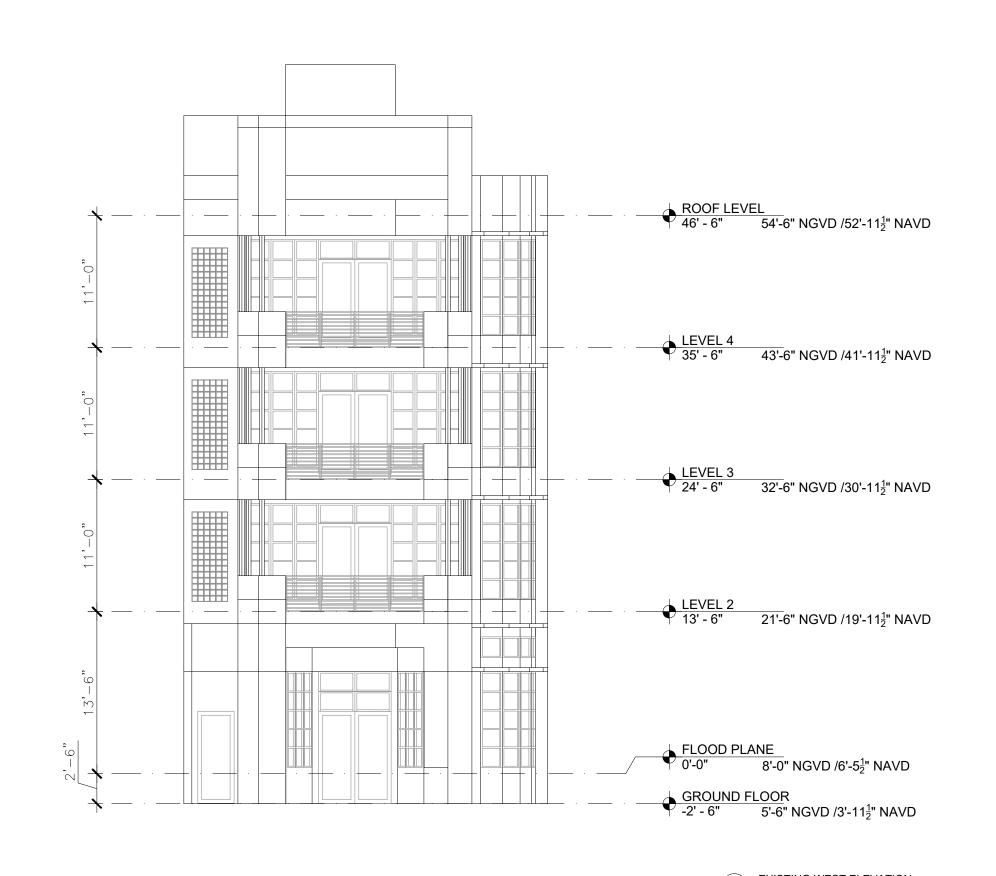


## **EXISTING EAST ELEVATION**

| Date    | 07.18.2022 | Sheet No.   |
|---------|------------|-------------|
| Scale   | 1/8"=1'-0" | A4.11       |
| Project | 2132       | , , , , , , |







|   | Rev. | Date | Rev. | Date |
|---|------|------|------|------|
|   |      |      |      |      |
| - |      |      |      |      |
|   |      |      |      |      |
| - |      |      |      |      |
|   |      |      |      |      |
|   |      |      |      |      |
|   |      |      |      |      |
| _ |      |      |      |      |
|   |      |      |      |      |
|   |      |      |      |      |
|   |      |      |      |      |

## OFFICE BUILDING

1665-1667 WASHINGTON AVENUE MIAMI BEACH, FLORIDA 33139

KK 1665 WASHINGTON AVE 745 Fifth Ave New York, NY 10151

Landscape: CLAD 8020 NE 4th Ave Studio 113, Miami FI (786) 536-6076 Email: carolina@cladla

Consultant: Name Address Address Tel: Email

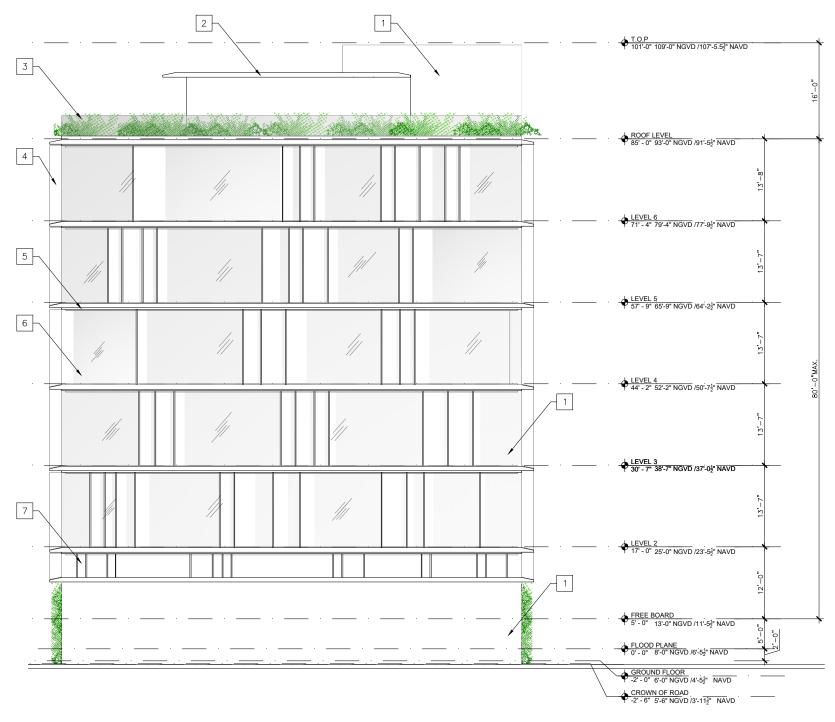
Consultant: Name Address Address Tel: Email





## **EXISTING WEST ELEVATION**

| Date    | 07.18.2022 | Sheet No. |
|---------|------------|-----------|
| Scale   | 1/8"=1'-0" | A4.14     |
| Project | 2132       | ,         |



6 FL #20111.1 3900 BUTT GLAZED WINDOW HALL HVHZ LMI IMPACT RATED ALUMINUM WINDOW WALL SYSTEM

| ELEVATION NOTES   |   |  |  |
|---|---|--|--|
| 1 WHITE STUCCO FINISH ON CMU WALL   | HURRICANE PROOF STOREFRONT SYSTEM WITH MILKY WHITE GLASS & WHITE PROFILES |  |  |
| PREFINISHED WHITE ALUMINUM HURRICANE PROOF CANOPY STRUCTURE                     | WHITE METALLIC BAND TO MATCH LOUVERS.                                     |  |  |
| 3 HURRICANE PROOF GLASS RAILING   | 8 PERFORATED BLACK FINS STAINLESS STEEL                                   |  |  |
| HURRICANE PROOF WHITE PREFINISHED ALUMINUM FIN LOUVER                           | 9 BLACK STUCCO FINISH ON CMU WALL   |  |  |
| HURRICANE PROOF WHITE PREFINISHED ALUMINUM LOUVER                               |   |  |  |
| NOTE: ALL WALL SURFACES SHALL BE PAINTED USING A 3. COAT SYSTEM FLAT LATEX OVER |   |  |  |

PRIMER HAVING A MIN. 7-YEAR WARRANTY AGAINST FADING AND PEELING

NOTE: ALL WINDOW/DOOR OPENINGS TO BE MIN 3 FEET FROM ANY MECH. DUCT/EXHAUST AS PER FBC 705.8.5

PROPOSED ELEVATION EAST

SCALE: 1/16" = 1'-0"

ALL WINDOWS SHALL BE IMPACT RESISTANT (LARGE MISSILE UP TO 30'-0" ABOVE GRADE AND SMALL MISSILE ABOVE 30'-0") WITHOUT THE USE OF SHUTTERS OR PANELS IN COMPLIANCE WITH FBC-2010 SECTION #2410 THROUGH 2415.

Date Rev.

### **HPB SUBMITTAL**

## OFFICE BUILDING

1665-1667 WASHINGTON AVENUE MIAMI BEACH, FLORIDA 33139

KK 1665 WASHINGTON AVE 745 Fifth Ave New York, NY 10151

Landscape: CLAD 8020 NE 4th Ave Studio 113, Miami FI (786) 536-6076 Email: carolina@cladla

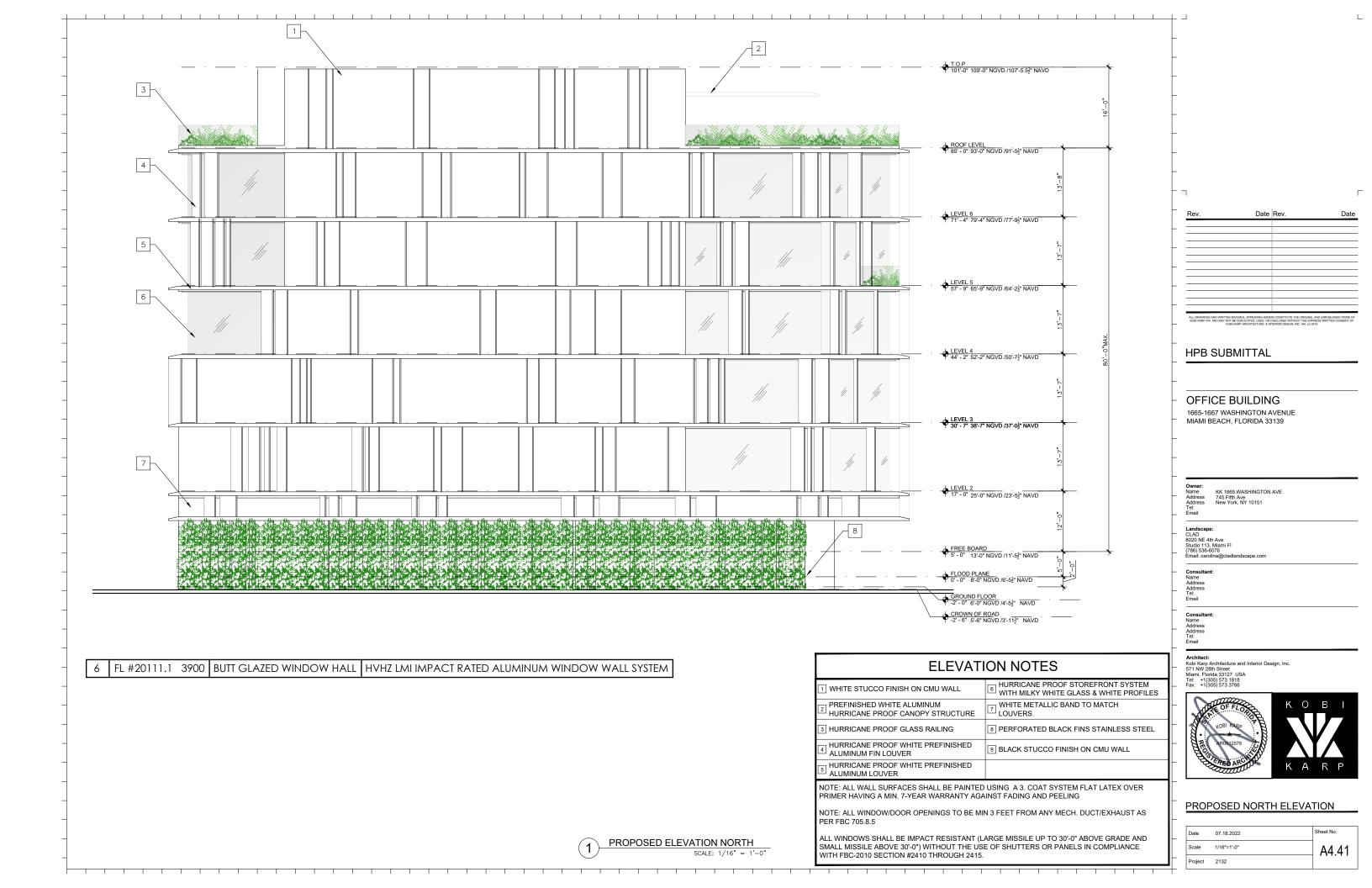
Consultant: Name Address Address Tel: Email

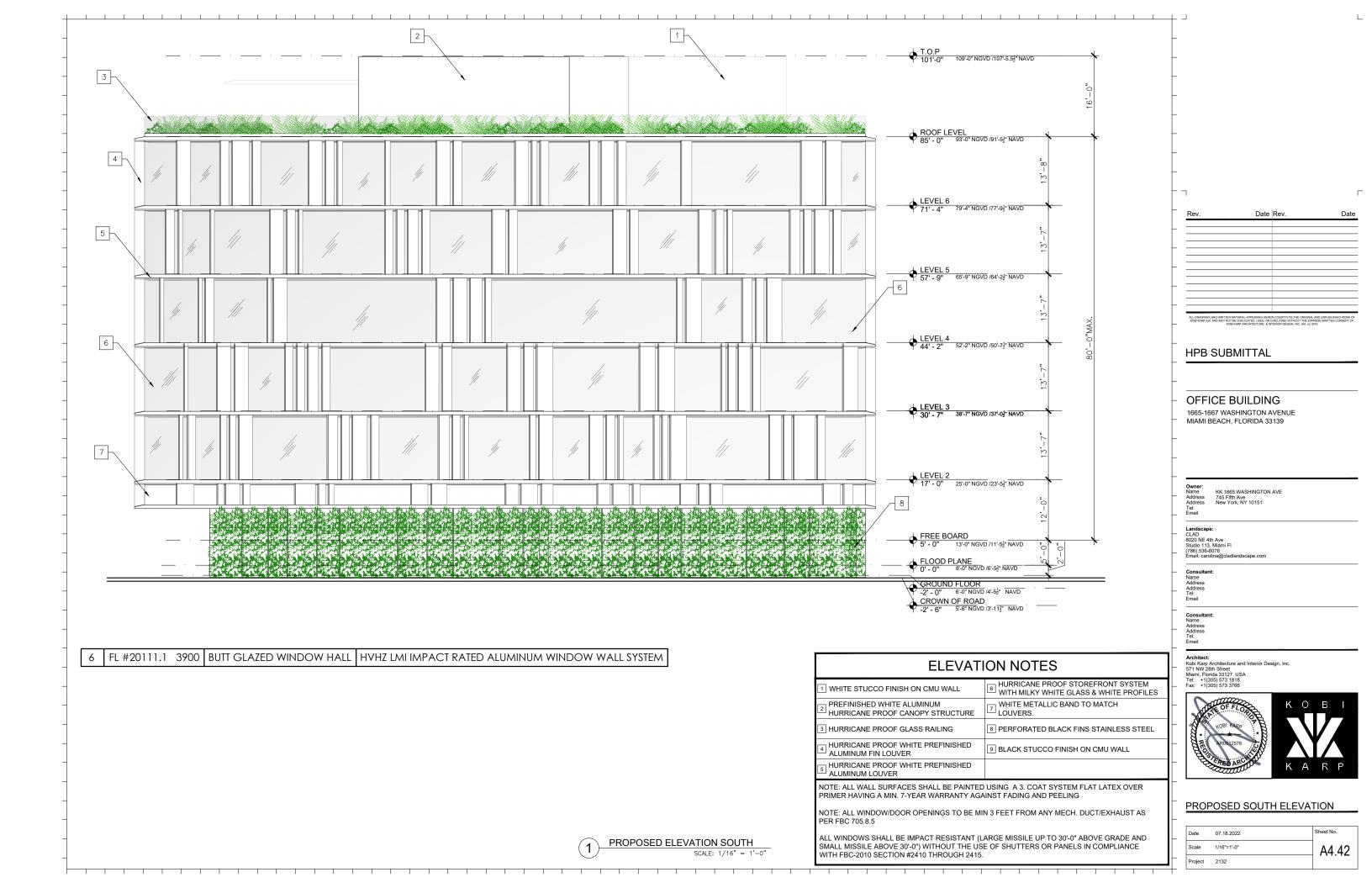


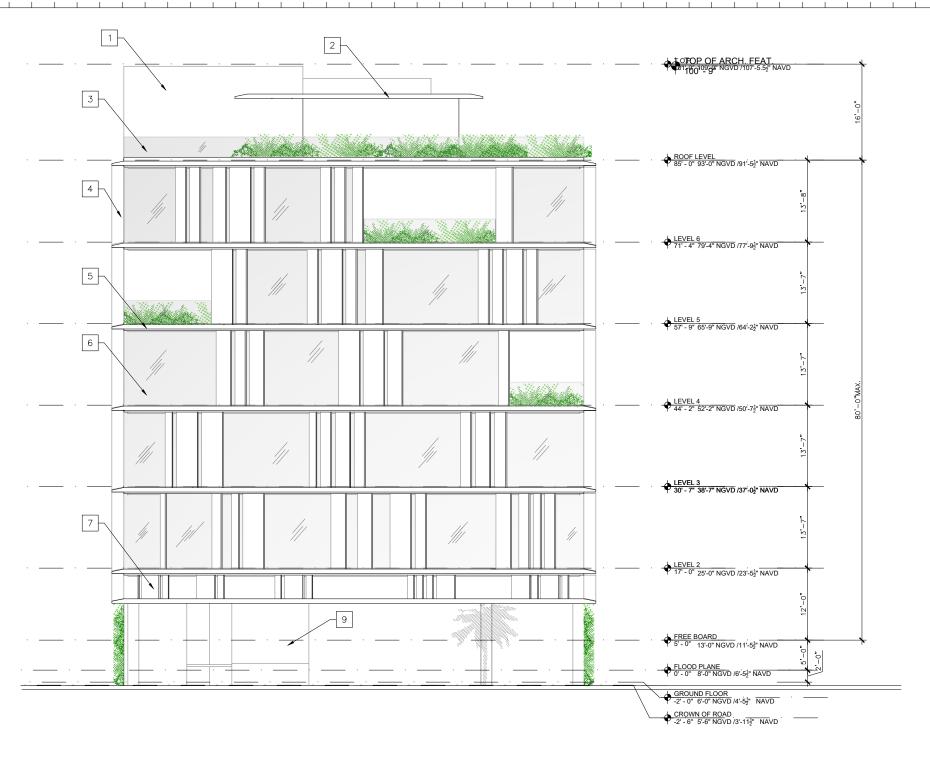


### PROPOSED EAST ELEVATION

|   | Date    | 07.18.2022  | Sheet No. |
|---|---------|-------------|-----------|
|   | Scale   | 1/16"=1'-0" | A4.40     |
| _ | Project | 2132        | ,         |







6 FL #20111.1 3900 BUTT GLAZED WINDOW HALL HVHZ LMI IMPACT RATED ALUMINUM WINDOW WALL SYSTEM

### **ELEVATION NOTES** 6 HURRICANE PROOF STOREFRONT SYSTEM WITH MILKY WHITE GLASS & WHITE PROFILES 1 WHITE STUCCO FINISH ON CMU WALL PREFINISHED WHITE ALUMINUM WHITE METALLIC BAND TO MATCH LOUVERS. HURRICANE PROOF CANOPY STRUCTURE 3 HURRICANE PROOF GLASS RAILING 8 PERFORATED BLACK FINS STAINLESS STEEL HURRICANE PROOF WHITE PREFINISHED 9 BLACK STUCCO FINISH ON CMU WALL ALUMINUM FIN LOUVER HURRICANE PROOF WHITE PREFINISHED ALUMINUM LOUVER

NOTE: ALL WALL SURFACES SHALL BE PAINTED USING A 3. COAT SYSTEM FLAT LATEX OVER PRIMER HAVING A MIN. 7-YEAR WARRANTY AGAINST FADING AND PEELING

NOTE: ALL WINDOW/DOOR OPENINGS TO BE MIN 3 FEET FROM ANY MECH. DUCT/EXHAUST AS PER FBC 705.8.5

PROPOSED ELEVATION WEST

SCALE: 1/16" = 1'-0"

ALL WINDOWS SHALL BE IMPACT RESISTANT (LARGE MISSILE UP TO 30'-0" ABOVE GRADE AND SMALL MISSILE ABOVE 30'-0") WITHOUT THE USE OF SHUTTERS OR PANELS IN COMPLIANCE WITH FBC-2010 SECTION #2410 THROUGH 2415.

### **HPB SUBMITTAL**

### OFFICE BUILDING

1665-1667 WASHINGTON AVENUE MIAMI BEACH, FLORIDA 33139

KK 1665 WASHINGTON AVE 745 Fifth Ave New York, NY 10151

Landscape: CLAD 8020 NE 4th Ave Studio 113, Miami FI (786) 536-6076 Email: carolina@cladk

Consultant: Name Address Address Tel: Email

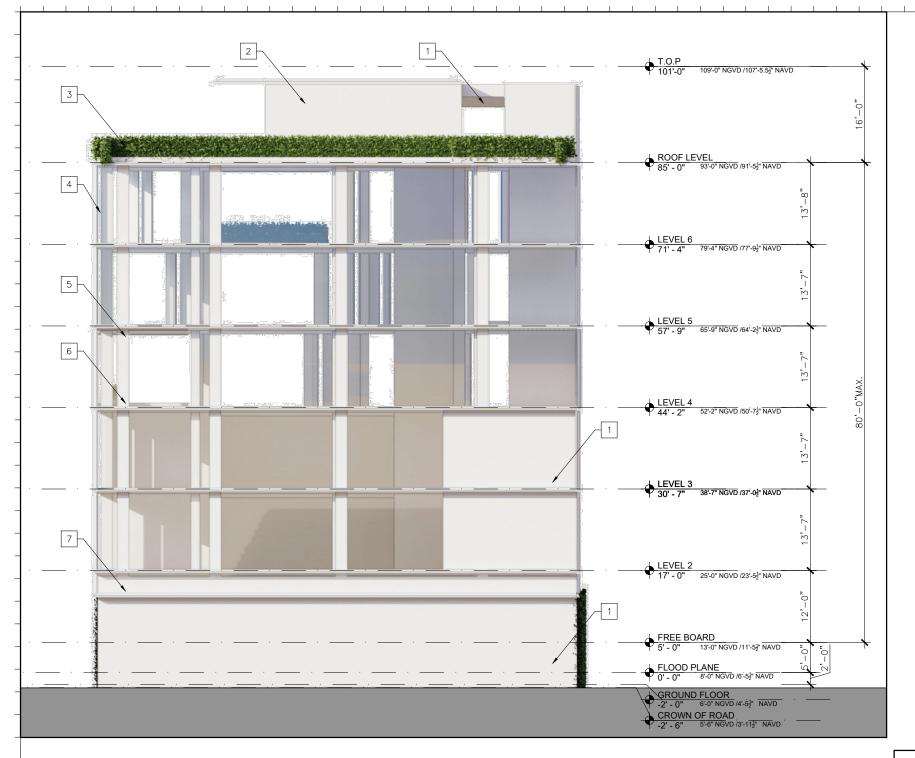
Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3786





### PROPOSED WEST ELEVATION

| _ | Date    | 07.18.2022  | Sheet No.   |
|---|---------|-------------|-------------|
|   | Scale   | 1/16"=1'-0" | A4.43       |
| _ | Project | 2132        | , , , , , , |



6 FL #20111.1 3900 BUTT GLAZED WINDOW HALL HVHZ LMI IMPACT RATED ALUMINUM WINDOW WALL SYSTEM

HURRICANE PROOF STOREFRONT SYSTEM 1 WHITE STUCCO FINISH ON CMU WALL WITH MILKY WHITE GLASS & WHITE PROFILES PREFINISHED WHITE ALUMINUM WHITE METALLIC BAND TO MATCH HURRICANE PROOF CANOPY STRUCTURE HURRICANE PROOF GLASS RAILING 8 PERFORATED BLACK FINS STAINLESS STEEL HURRICANE PROOF WHITE PREFINISHED 9 BLACK STUCCO FINISH ON CMU WALL ALUMINUM FIN LOUVER HURRICANE PROOF WHITE PREFINISHED ALUMINUM LOUVER NOTE: ALL WALL SURFACES SHALL BE PAINTED USING A 3. COAT SYSTEM FLAT LATEX OVER

**ELEVATION NOTES** 

PRIMER HAVING A MIN. 7-YEAR WARRANTY AGAINST FADING AND PEELING

NOTE: ALL WINDOW/DOOR OPENINGS TO BE MIN 3 FEET FROM ANY MECH. DUCT/EXHAUST AS

ALL WINDOWS SHALL BE IMPACT RESISTANT (LARGE MISSILE UP TO 30'-0" ABOVE GRADE AND SMALL MISSILE ABOVE 30'-0") WITHOUT THE USE OF SHUTTERS OR PANELS IN COMPLIANCE WITH FBC-2010 SECTION #2410 THROUGH 2415.

| Rev. | Date | Rev. | Date |
|------|------|------|------|
|      |      |      |      |
|      |      |      |      |
|      |      |      |      |
|      |      |      |      |
|      |      |      |      |
|      |      |      |      |
|      |      |      |      |
|      |      |      |      |
|      |      |      |      |
|      |      |      |      |
|      |      |      |      |

### **HPB SUBMITTAL**

### OFFICE BUILDING

1665-1667 WASHINGTON AVENUE MIAMI BEACH, FLORIDA 33139

KK 1665 WASHINGTON AVE 745 Fifth Ave New York, NY 10151

Landscape: CLAD 8020 NE 4th Ave Studio 113, Miami FI (786) 536-6076 Email: carolina@cladla

# Consultant Name Address Address Tel: Email

Consultant Name Address Address Tel: Email



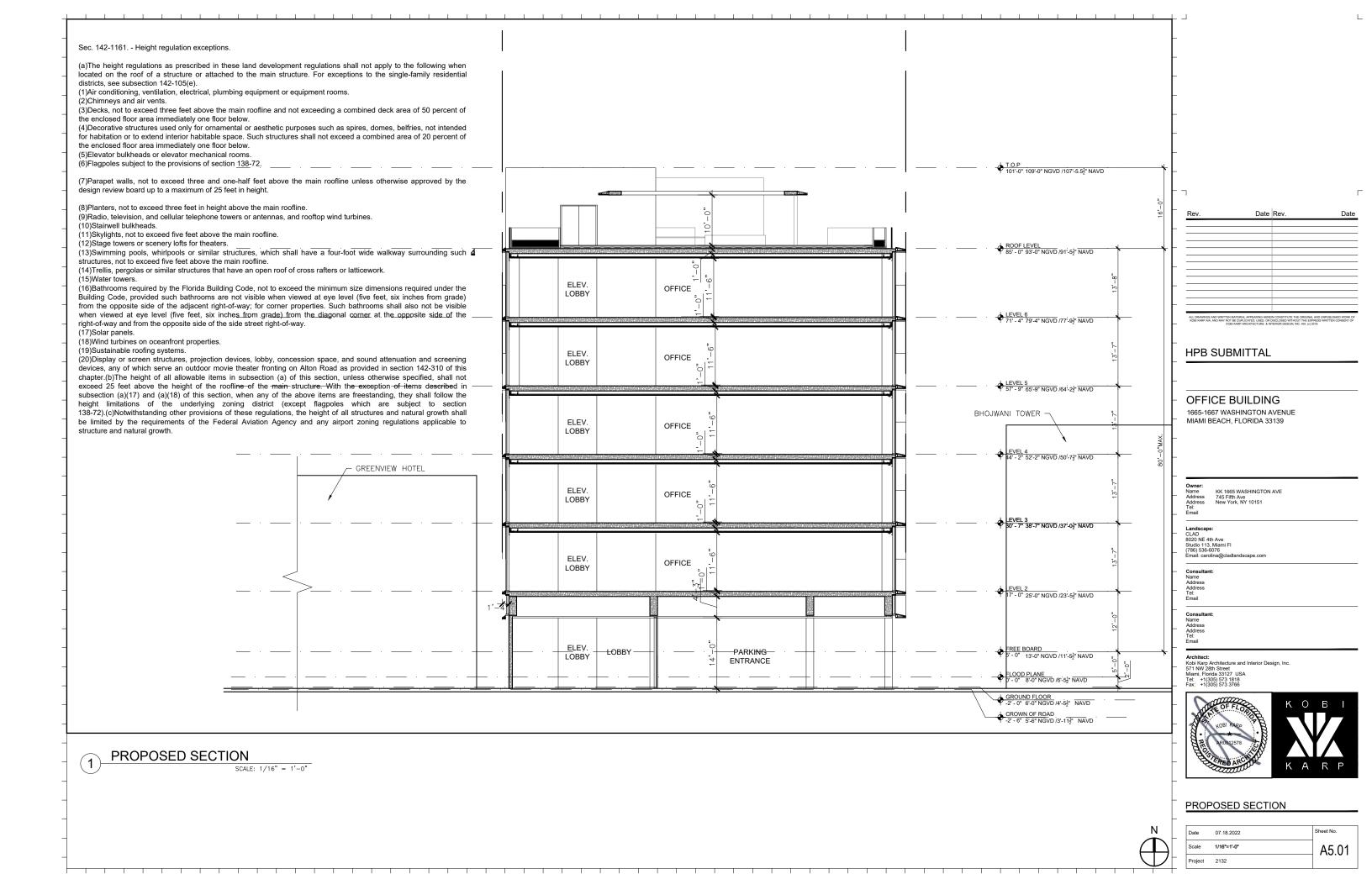


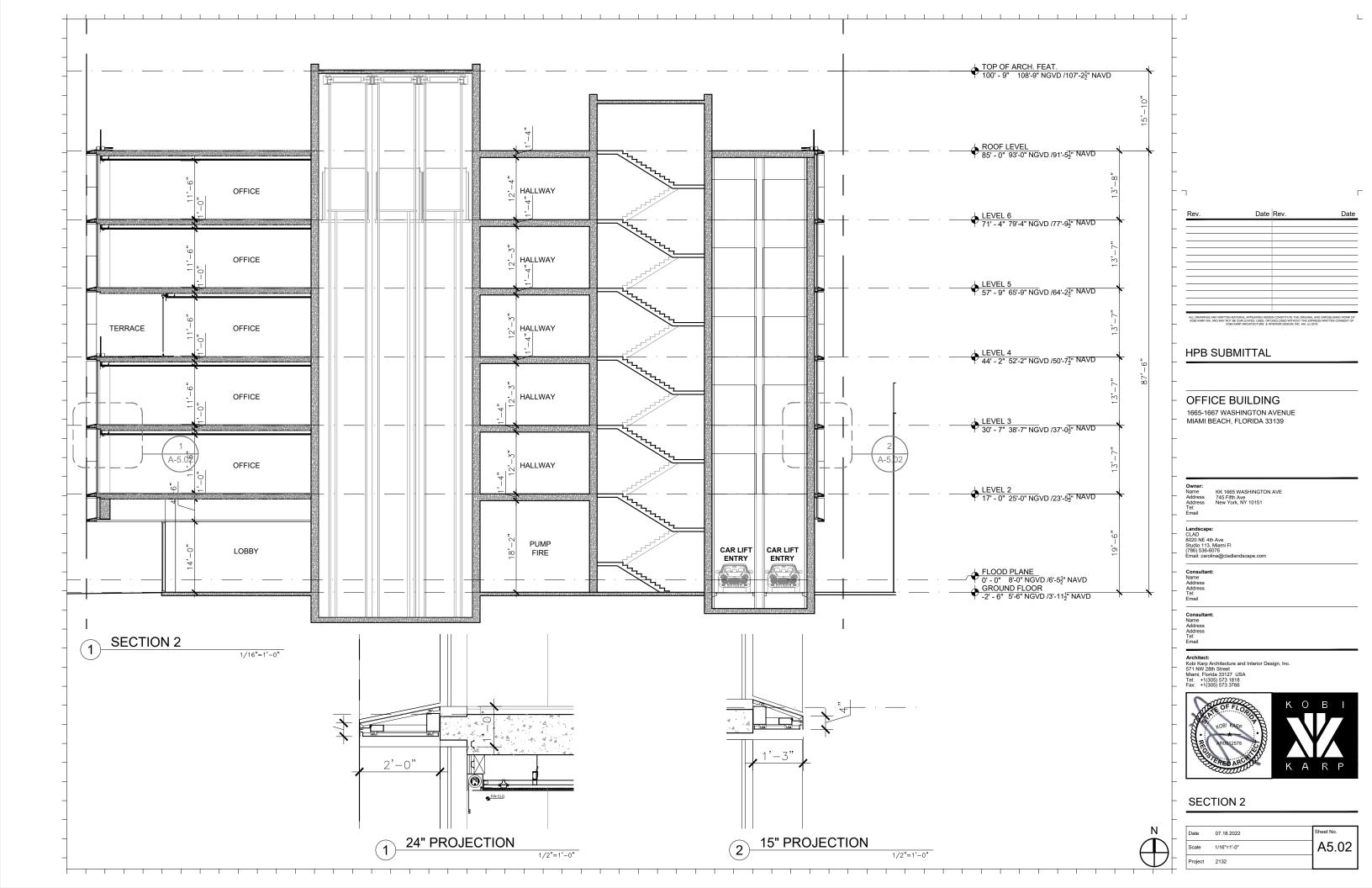
## PROPOSED COLOR EAST **ELEVATION**

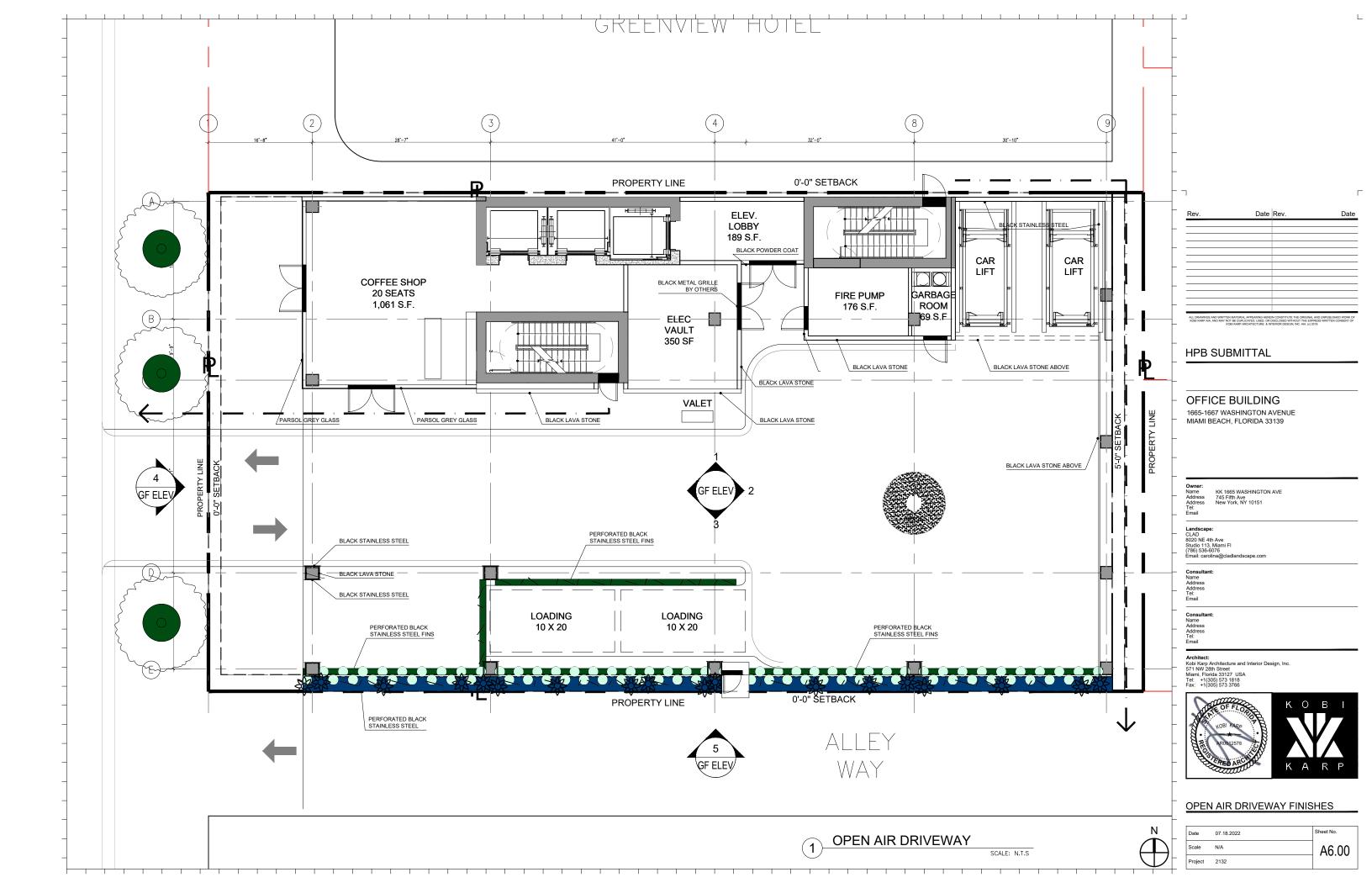
|   | Date    | 07.18.2022  | Sheet No. |
|---|---------|-------------|-----------|
|   | Scale   | 1/16"=1'-0" | A4.50     |
| _ | Project | 2132        | 711100    |

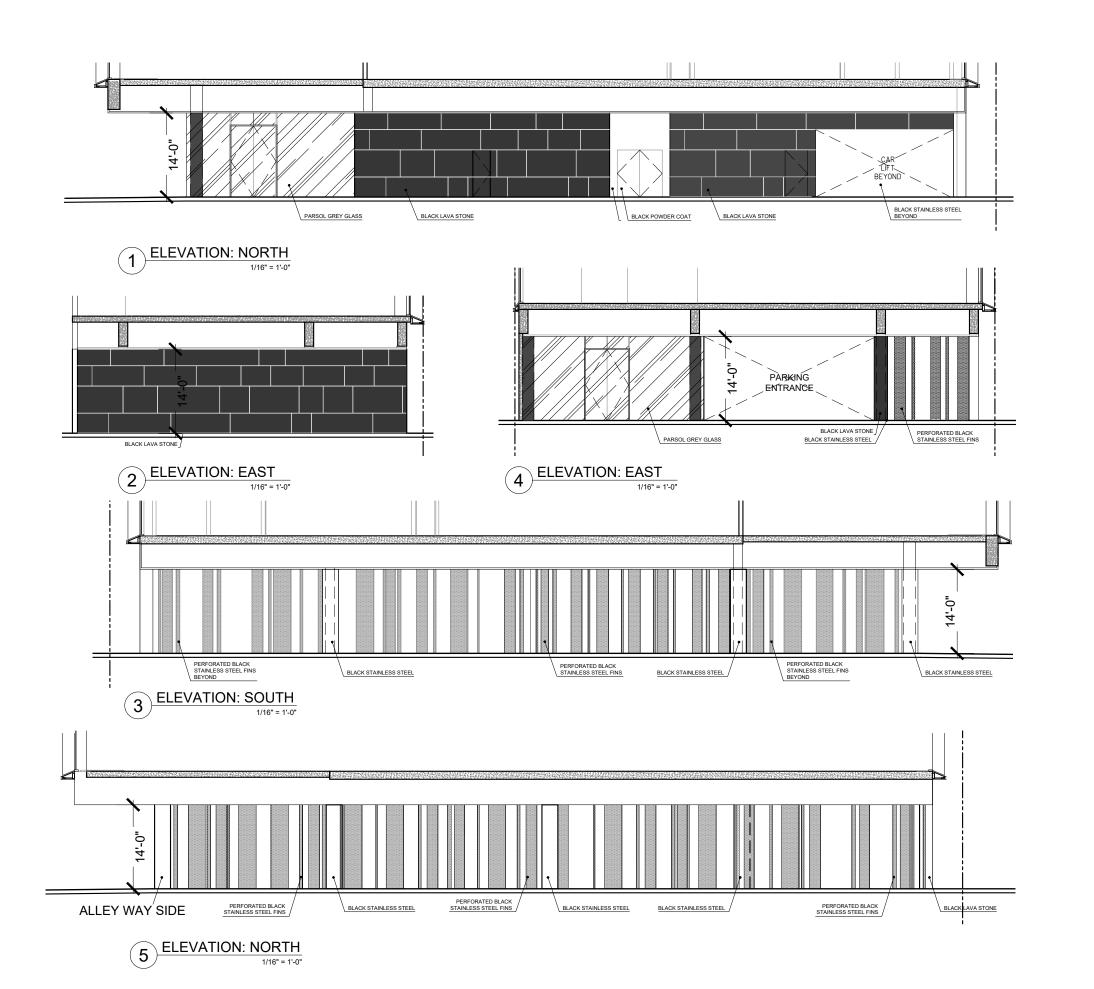
PROPOSED COLOR ELEVATION EAST

SCALE: 1/16" = 1'-0"









| ı |     |   |            |   |     |
|---|-----|---|------------|---|-----|
|   | Ε.  | Rev.                                    | Date       | Rev.                                      | Da  |
|   |     |   |            |   |     |
| ı | _   |   |            |   |     |
|   |     |   |            |   |     |
|   | L . |   |            |   |     |
|   |     |   |            |   |     |
|   |     |   |            |   |     |
| H | -   |   |            |   |     |
|   |     |   |            |   |     |
| F |     |   |            |   | _   |
|   |     |   |            |   | _   |
| L |     |   |            |   |     |
|   |     |   |            |   |     |
|   | · ' | ALL DRAWINGS AND WRITTEN MATERIAL APPE. | ARING HERE | N CONSTITUTE THE ORIGINAL AND UNPUBLISHED | WOR |

## OFFICE BUILDING

1665-1667 WASHINGTON AVENUE MIAMI BEACH, FLORIDA 33139

KK 1665 WASHINGTON AVE 745 Fifth Ave New York, NY 10151

Landscape: CLAD 8020 NE 4th Ave Studio 113, Miami FI (786) 536-6076 Email: carolina@cladla

Consultant: Name Address Address Tel: Email

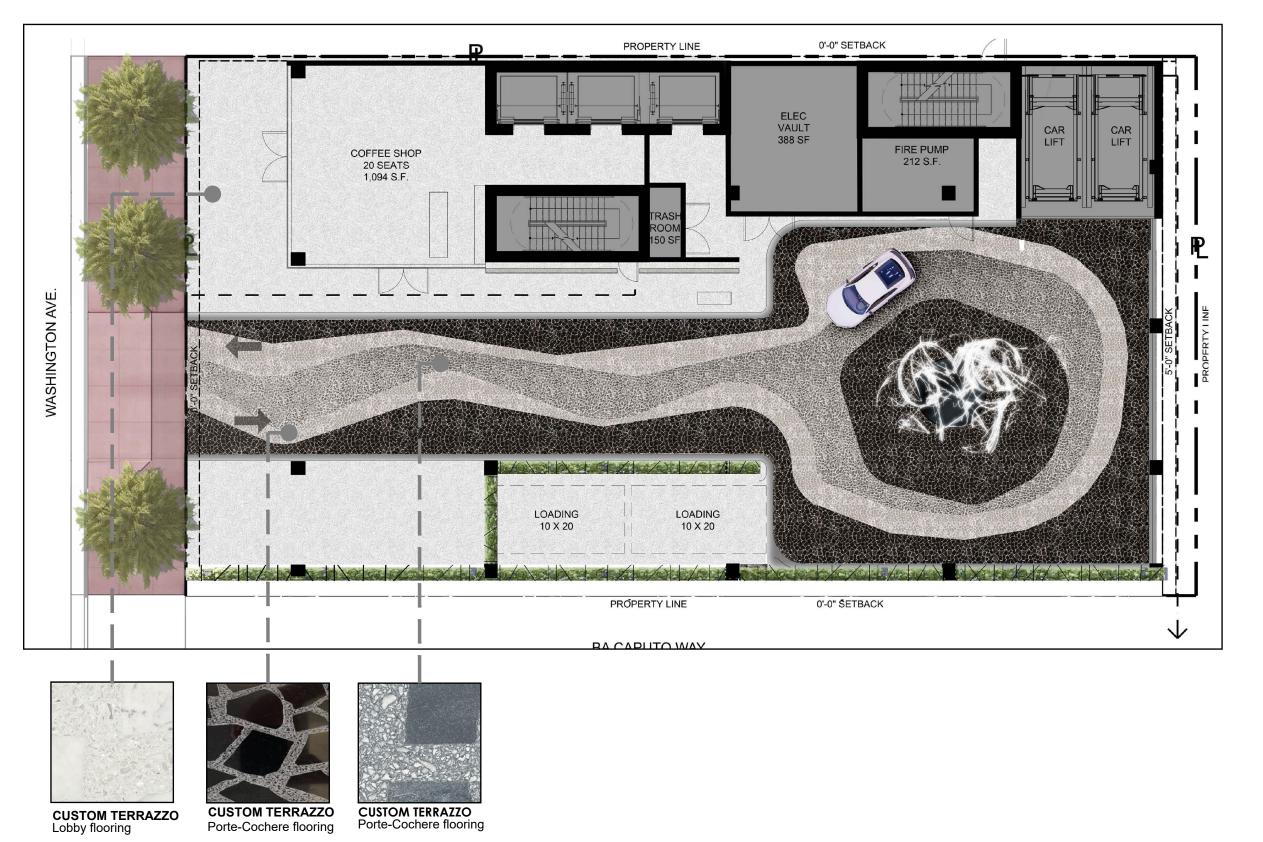
Consultant: Name Address Address Tel: Email





### OPEN AIR DRIVEWAY FINISHES

| Date    | 07.18.2022 | Sheet No. |
|---------|------------|-----------|
| Scale   | N/A        | A6.01     |
| Project | 2132       | , 10.0    |



## OFFICE BUILDING

1665-1667 WASHINGTON AVENUE MIAMI BEACH, FLORIDA 33139

KK 1665 WASHINGTON AVE 745 Fifth Ave New York, NY 10151

Landscape: CLAD 8020 NE 4th Ave Studio 113, Miami FI (786) 536-6076 Email: carolina@cladla

Consultant: Name Address Address Tel: Email





FINISH AND MATERIAL EXHIBITS

| Date    | 07.18.2022 | Sheet No. |
|---------|------------|-----------|
| Scale   | N/A        | A6.02     |
| Project | 2132       | / 10.02   |



BLACK STAINLESS STEEL Porte-Cochere ceiling



BLACK LAVASTONE Porte-Cochere walls



SELENITE Lobby feature wall



PARSOL GREY GLASS Lobby perimeter

AUTOMOTIC SILVER Reception desk

| Η.  | Rev. [ | Date Rev. | Dat |
|-----|--------|-----------|-----|
| L : |        |           |     |
|     |        |           |     |
|     |        |           |     |
| L : |        |           |     |
|     |        |           |     |
|     |        |           |     |
| L   |        |           |     |
|     |        |           |     |

## **HPB SUBMITTAL**

## OFFICE BUILDING

1665-1667 WASHINGTON AVENUE MIAMI BEACH, FLORIDA 33139

| Own |
|-----|
|     |

KK 1665 WASHINGTON AVE 745 Fifth Ave New York, NY 10151

Landscape: CLAD 8020 NE 4th Ave Studio 113, Miami FI (786) 536-6076 Email: carolina@cladl

Consultant: Name Address Address Tel: Email





## FINISH AND MATERIAL EXHIBITS

| L | Date    | 07.18.2022 | Sheet No. |
|---|---------|------------|-----------|
|   | Scale   | N/A        | A6.03     |
| F | Project | 2132       |           |



## OFFICE BUILDING

1665-1667 WASHINGTON AVENUE MIAMI BEACH, FLORIDA 33139

KK 1665 WASHINGTON AVE 745 Fifth Ave New York, NY 10151

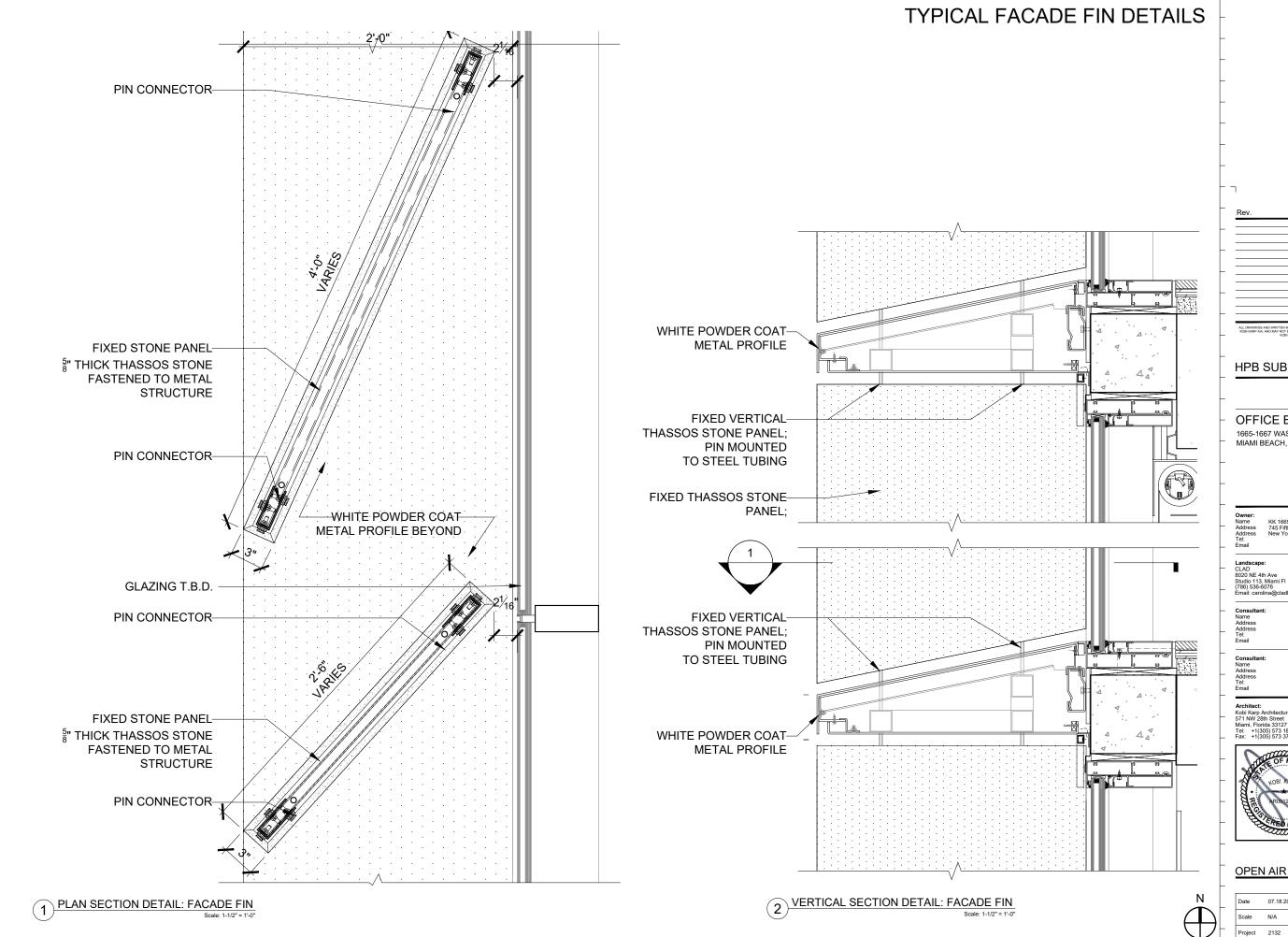
Landscape: CLAD 8020 NE 4th Ave Studio 113, Miami FI (786) 536-6076 Email: carolina@cladl





## FINISH AND MATERIAL EXHIBITS

|   | Date    | 07.18.2022 | Sheet No. |
|---|---------|------------|-----------|
|   | Scale   | N/A        | A6.04     |
| _ | Project | 2132       |           |





### OFFICE BUILDING

1665-1667 WASHINGTON AVENUE MIAMI BEACH, FLORIDA 33139

KK 1665 WASHINGTON AVE 745 Fifth Ave New York, NY 10151

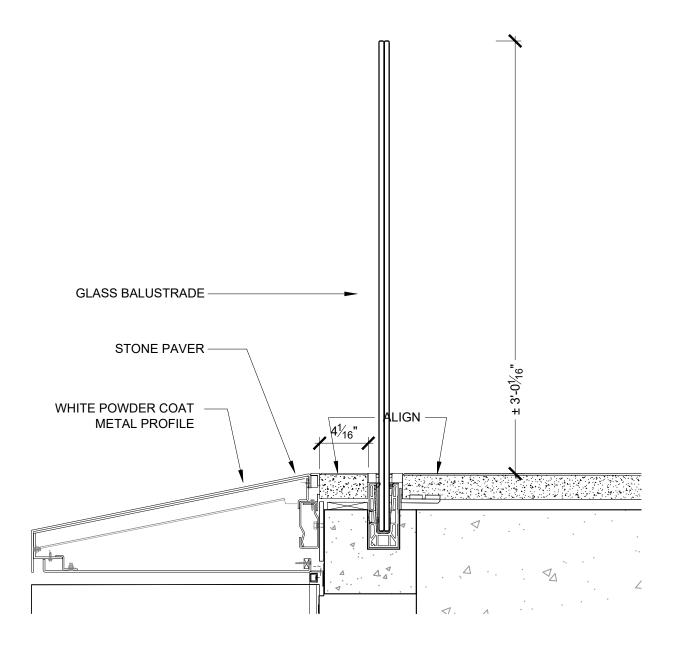




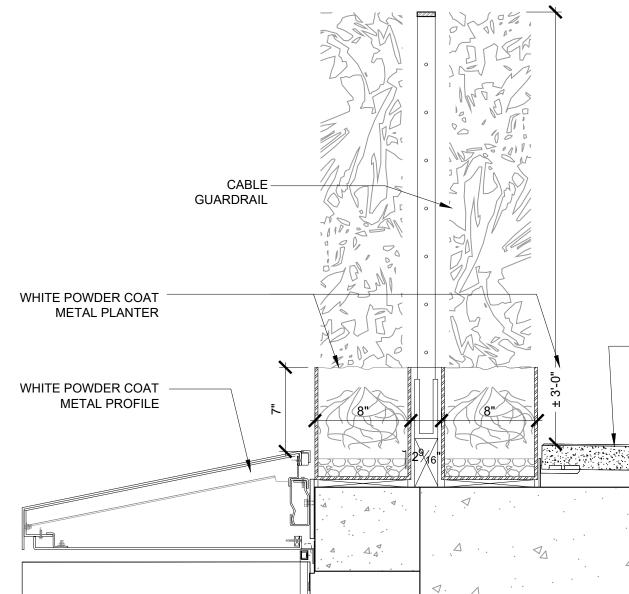
### OPEN AIR DRIVEWAY FINISHES

| Date    | 07.18.2022 | Sheet No. |
|---------|------------|-----------|
| Scale   | N/A        | A7.00     |
| Project | 2132       | 7 11 100  |

## TYPICAL ROOF DECK RAILING DETAILS



**ROOF DECK** VERTICAL SECTION DETAIL: GLASS BALLUSTRADE Scale: 1-1/2" = 1'-0"



VERTICAL SECTION DETAIL: PLANTERS / CABLE GUARDRAIL Scale: 1-1/2" = 1'-0"

### **HPB SUBMITTAL**

## OFFICE BUILDING

1665-1667 WASHINGTON AVENUE MIAMI BEACH, FLORIDA 33139

### STONE

LANGE KY 1665 WASHINGTON AVE MASS Fifth Ave Address New York, NY 10151 Tel: Email

Landscape: CLAD 8020 NE 4th Ave Studio 113, Miami FI (786) 536-6076 Email: carolina@cladl





## OPEN AIR DRIVEWAY FINISHES

|   | Date    | 07.18.2022 | Sheet No. |
|---|---------|------------|-----------|
|   | Scale   | N/A        | A6 01     |
| - | Project | 2132       | / .0.0 !  |

