

BOUNDARY SURVEY

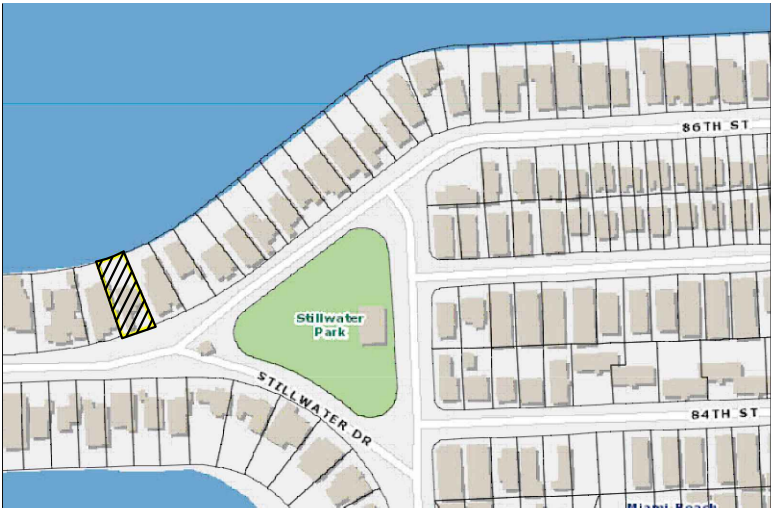
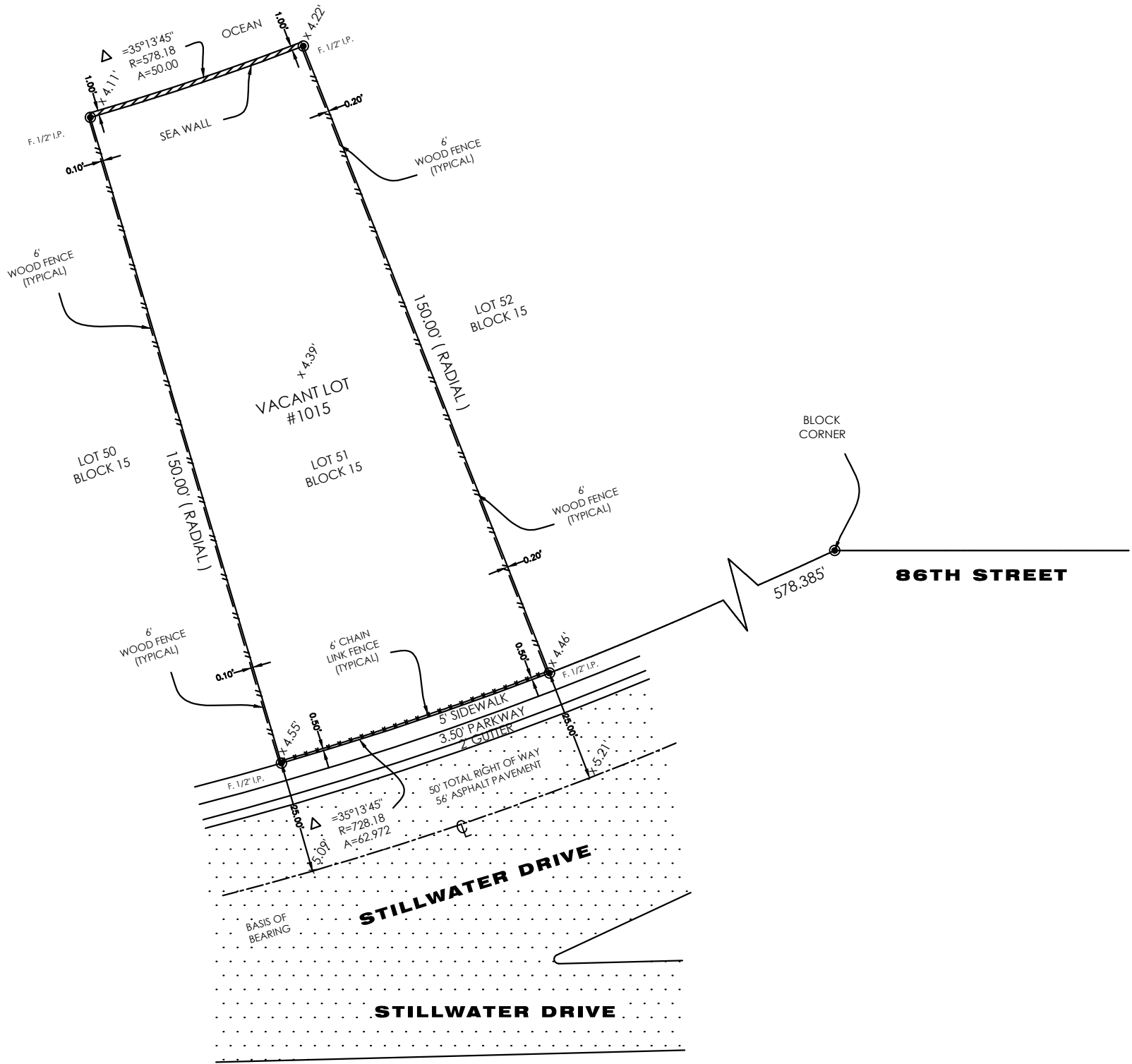
SCALE: 1" = 30'

VIZCAYA SURVEYING AND MAPPING Inc.

Phone/Fax: (305) 223-6060
E-mail: rvizcaya.13@gmail.com

L.B. 8000

13217 S.W. 46th Ln.
Miami, Florida 33175



LOCATION MAP
NOT TO SCALE

PROPERTY ADDRESS: 1015 STILLWATER DRIVE,
MIAMI BEACH, FLORIDA, 33141

LEGAL DESCRIPTION: LOT 51, BLOCK 15,
"BISCAYNE BEACH SECOND ADDITION",
ACCORDING TO THE PLAT THEREOF,
RECORDED IN PLAT BOOK 46, AT PAGE 39,
OF THE PUBLIC RECORDS OF
MIAMI DADE COUNTY, FLORIDA.

LEGEND AND ABBREVIATIONS

- A= ARC DISTANCE
AC= AIR CONDITIONED UNIT
B.C.= BLOCK CORNER
C.B.= CATCH BASIN
(C)= CALCULATED
CL= CLEAR
C.L.F.= CHAIN LINK FENCE
CONC.= CONCRETE
D.M.E.= DRAINAGE MAINT. EASEMENT
ENC.= ENCROACHMENT
FD.= FOUND
F.F.ELEV.: FINISHED FLOOR ELEVATION
I.F.= IRON FENCE
L.F.ELEV.: LOWEST FLOOR ELEVATION
(M)= MEASURED

M/L= MONUMENT LINE
O.H.= OVERHEAD UTILITIES
P.C.P.= PERMANENT CONTROL POINT
P.O.B.= POINT OF BEGINNING
P.O.C.= POINT OF COMMENCE
R= RADIUS
(R)= RECORD
RES.= RESIDENCE
R/W= RIGHT-OF-WAY
TYP.= TYPICAL
U.E.= UTILITY EASEMENT
W.F.= WOOD FENCE
W.M.= WATER METER
Ø= DIAMETER
C= CENTER LINE

∅0.00= ELEVATION
⊕= WATER METER
⊕= POWER POLE
⊕= LIGHT POLE
⊕= FIRE HYDRANT
⊕= MANHOLE

⊕= CATCH BASIN
⊕= SANITARY SEWER
⊕= WATER VALVE
⊕= TV BOX
⊕= FPL TRANS.
⊕= CONC. POWER POLE

JOB NUMBER: 211770

LEGAL NOTES

THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP. EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY. THIS SURVEY IS SUBJECT TO DEDICATION, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORDS. LEGAL DESCRIPTION PROVIDED BY CLIENT. THE LIABILITY OF THIS SURVEY IS LIMITED TO THE COST OF THE SURVEY. UNDERGROUND ENCROACHMENTS, IF ANY, ARE NOT SHOWN. THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS AND/OR UNDERGROUND IMPROVEMENTS OF ANY NATURE. IF SHOWN BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN. IF SHOWN ELEVATIONS ARE REFERRED TO N.G.V.D. OF 1929. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1: 7,500. THIS SURVEY IS NOT INTENDED FOR NEITHER DESIGN NOR CONSTRUCTION PURPOSES. FOR THOSE PURPOSES A TOPOGRAPHIC SURVEY IS REQUIRED.

FOR:

Official Investments LLC
Commonwealth Land Title Insurance Company
Official Investments LLC
Bennett G. Feldman, attorney at law

NOTES:

NO VISIBLE ENCROACHMENT IN THIS LOT.

DATE OF FIELD WORK: DECEMBER, 14, 2021

REVISED ON: FEB, 25, 2022

I hereby certify that the attached Sketch of Survey of the herein described property is to the best of my knowledge and belief, a true and correct representation, of a field survey performed under my direction. And also meets the Minimum Technical Standards as set forth by the Florida Board of Professional Surveyors and Mappers in chapter 5J-17.050 thru 5J-17.052 F.A.C. pursuant to Section 472.027 F. S.

ARTURO R. TOIRAC P.S.M. 3102

Not valid without the signature and the original embossed seal of a Florida Licensed Surveyor and Mapper.

COMMUNITY NAME AND NUMBER: CITY OF MIAMI BEACH : 120651	PANEL NUMBER AND SUFFIX: 12086 C 0307 - L	FIRM PANEL EFFECTIVE DATE: 09 / 11 / 2009
COUNTY NAME: MIAMI DADE	FLOOD ZONE: AE	BASE FLOOD ELEVATION : 8'
STATE: FLORIDA		