

CUMENAL - DIAMOND RESIDENCE

1600 CLEVELAND ROAD, MIAMI BEACH, FL 33141

Folio: 02-3203-001-0940

2nd Floor Addition to Existing Residence

Board of Adjustments

Final Submittal

ZBA22-0138

11 JULY / 2022



7300 BISCAYNE BLVD. STE 200
MIAMI, FL 33138
Tel: 786.218.5335
License #AA 26002467

CASTELLANOSDESIGN.COM



JOHN IBARRA & ASSOCIATES, INC.
Professional Land Surveyors & Mappers
WWW.IBARRALANDSURVEYORS.COM

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LOCATION SKETCH

SCALE = N.T.S.

VIEW OF SUBJECT PROPERTY

1600 CLEVELAND ROAD, MIAMI BEACH, FLORIDA 33141

ABBREVIATIONS

A = ARC.
A/C = AIR CONDITIONER PAD
A.E. = ANCHOR EASEMENT
A.R. = ALUMINUM ROOF
A.S. = ALUMINUM SHED
ASPH. = ASPHALT
B.C. = BLOCK CORNER
BLDG. = BUILDING
B.M. = BENCH MARK
B.C.R. = BROWARD COUNTY RECORDS
B.O.B. = BASIS OF BEARING
B.S.L. = BUILDING SETBACK LINE
(C) = CALCULATED
C.B. = CATCH BASIN
C.B.S. = CONCRETE BLOCK STRUCTURE
C.B.W. = CONCRETE BLOCK WALL
CH. = CHORD
CH.B. = CHORD BEARING
CH.L. = CHORD LENGTH
CL. = CLEAR
C.O. = CLEAN OUT
C.L.F. = CHAIN LINK FENCE
C.M.E. = CANAL MAINTENANCE EASEMENT
CONC. = CONCRETE
C.U.P. = CONCRETE UTILITY POLE
C.P. = CONCRETE PORCH
C.S. = CONCRETE SLAB
C.W. = CONCRETE WALK
D.E. = DRAINAGE EASEMENT
D.M.E. = DRAINAGE MAINTENANCE EASEMENT
DRIVE = DRIVEWAY
° = DEGREES
EB = ELECTRIC BOX

E.T.P. = ELECTRIC TRANSFORMER PAD
ELEV. = ELEVATION
ENCR. = ENCROACHMENT
F.H. = FIRE HYDRANT
F.I.P. = FOUND IRON PIPE
F.I.R. = FOUND IRON ROD
F.F.E. = FINISHED FLOOR ELEVATION
F.N.D. = FOUND NAIL & DISK
FT. = FEET
FNIP. = FEDERAL NATIONAL INSURANCE PROGRAM
F.N. = FOUND NAIL
H. = HIGH OR (HEIGHT)
IN & EG. = INGRESS AND EGRESS EASEMENT
I.C.V. = IRRIGATION CONTROL VALVE
I.F. = IRON FENCE
L.B. = LICENSED BUSINESS
L.P. = LIGHT POLE
L.F.E. = LOWEST FLOOR ELEVATION
L.M.E. = LAKE MAINTENANCE EASEMENT
' = MINUTES
(M) = MEASURED DISTANCE
M.B. = MAIL BOX
M.D.C.R. = MIAMI DADE COUNTY RECORDS
M.E. = MAINTENANCE EASEMENT
M.H. = MANHOLE
N.A.P. = NOT A PART OF
NGVD = NATIONAL GEODETIC VERTICAL DATUM
N.T.S. = NOT TO SCALE
OR NO. = NUMBER
O/S = OFFSET
O.H. = OVERHEAD
O.H.L. = OVERHEAD UTILITY LINES

O.R.B. = OFFICIAL RECORDS BOOK
O.V.H. = OVERHANG
P.V.M.T. = PAVEMENT
PL. = PLANTER
P.L. = PROPERTY LINE
P.C.C. = POINT OF COMPOUND CURVATURE
P.C. = POINT OF CURVATURE
P.O.T. = POINT OF TANGENCY
P.O.C. = POINT OF COMMENCEMENT
P.O.B. = POINT OF BEGINNING
P.R.C. = POINT OF REVERSE CURVATURE
PWY. = PARKWAY
P.R.M. = PERMANENT REFERENCE MONUMENT
P.L.S. = PROFESSIONAL LAND SURVEYOR
P.P. = POWER POLE
P.P.S. = POOL PUMP SLAB
P.U.E. = PUBLIC UTILITY EASEMENT
(R) = RECORD DISTANCE
R.R. = RAIL ROAD
RES. = RESIDENCE
R/W = RIGHT-OF-WAY
RAD. = RADIUS OR RADIAL
RGE. = RANGE
R.O.E. = ROOF OVERHANG EASEMENT
SEC. = SECTION
STY. = STORY
SWK. = SIDEWALK
S.I.P. = SET IRON PIPE
S. = SOUTH
S.P. = SCREENED PORCH
S.V. = SEWER VALVE
" = SECONDS

T = TANGENT
TB = TELEPHONE BOOTH
T.B.M. = TEMPORARY BENCHMARK
T.U.E. = TECHNOLOGY UTILITY EASEMENT
TSB = TRAFFIC SIGNAL BOX
T.S.P. = TRAFFIC SIGNAL POLE
TWP. = TOWNSHIP
UTIL. = UTILITY
U.E. = UTILITY EASEMENT
U.P. = UTILITY POLE
W.M. = WATER METER
W.F. = WOOD FENCE
W.P. = WOOD PORCH
W.R. = WOOD ROOF
W.V. = WATER VALVE
M = MONUMENT LINE
C = CENTER LINE
Δ = DELTA

LEGEND

— — — — — = OVERHEAD UTILITY LINES
— — — — — = CONCRETE BLOCK WALL
— x — x — x — = CHAIN LINK FENCE
— o — o — o — = IRON FENCE
— // — // — // — = WOOD FENCE
— — — — — = BUILDING SETBACK LINE
— — — — — = UTILITY EASEMENT
— — — — — = LIMITED ACCESS R/W
— — — — — = NON-VEHICULAR ACCESS R/W
x 0.00 = EXISTING ELEVATIONS

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY :

- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND FINANCING AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.
- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
- LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND/ OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/ OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING PLOT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/ OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

FLOOD ZONE INFORMATION:

BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE AE (WITH A BASE FLOOD ELEVATION OF 8.00 FT). THIS PROPERTY WAS FOUND IN CITY OF MIAMI BEACH, COMMUNITY NUMBER 120651, DATED 09/11/09.

SURVEYOR'S NOTES:

1. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
3. CERTIFICATE OF AUTHORIZATION LB # 7806.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

BY:  11/08/2021
CARLOS IBARRA (DATE OF FIELD WORK)

PROFESSIONAL LAND SURVEYOR NO.: 6770 . STATE OF FLORIDA
(NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER).

REVISED ON: _____

REVISED ON: _____

TITLE COMPANY

MITCHELL SETH POLANSKY, P.A.

DRAWN BY:

L.B.

FIELD DATE:

11/8/2021

SURVEY NO:

21-003858

SHEET:

1 OF 2

UNDERWRITER





JOHN IBARRA & ASSOCIATES, INC.

Professional Land Surveyors & Mappers

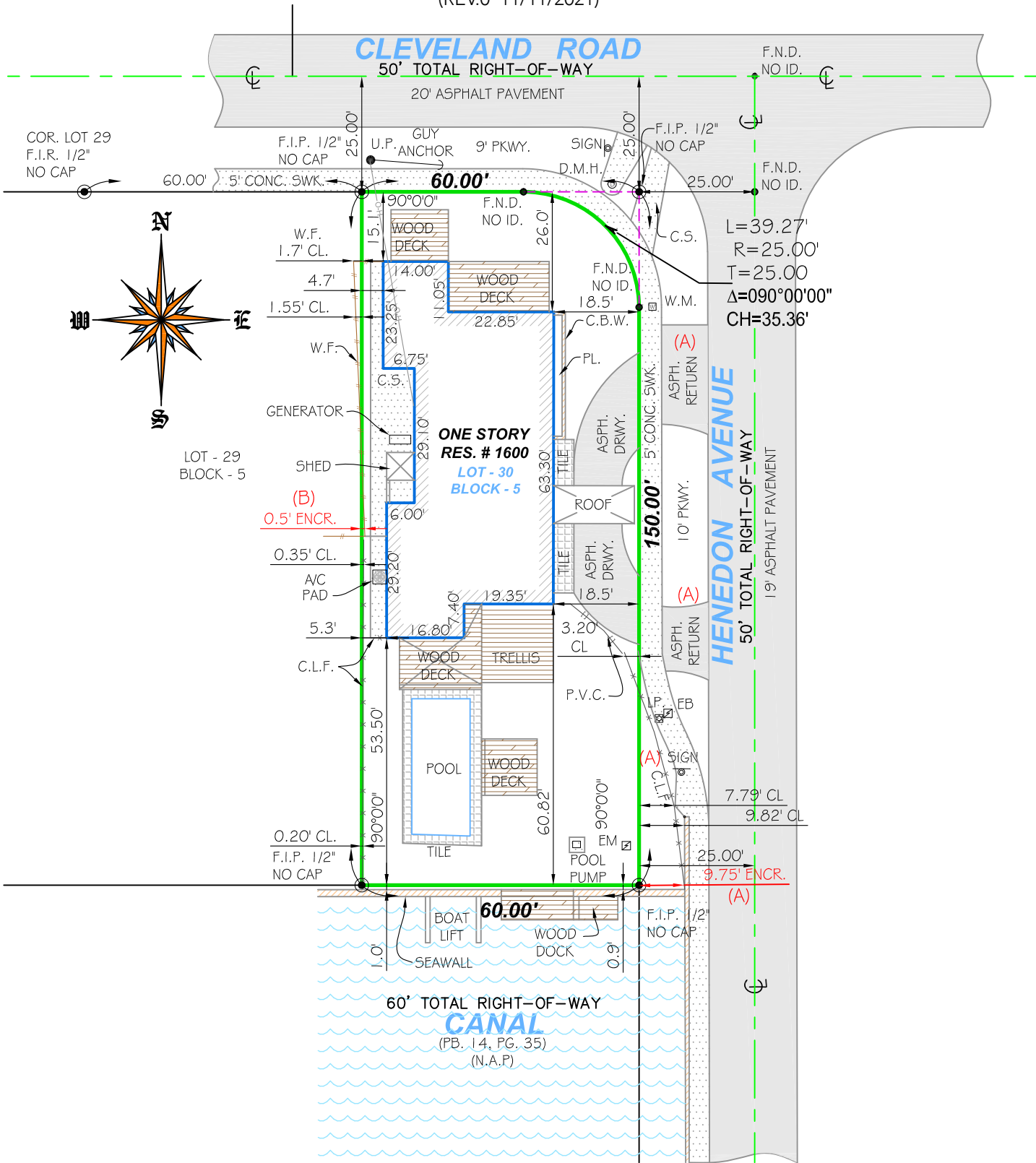
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FAX: (239) 540-2664



MAP OF BOUNDARY SURVEY

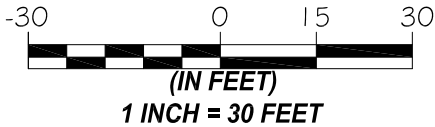
1600 CLEVELAND ROAD, MIAMI BEACH, FLORIDA 33141
(REV.0 11/11/2021)



ENCROACHMENT NOTES:

- A. EAST SIDE OF THE SUBJECT PROPERTY, ASPHALT RETURN AND CHAIN LINK FENCE ARE ENCROACHING INTO THE RIGHT OF WAY OF HENEDON AVENUE.
B. WEST SIDE OF THE SUBJECT PROPERTY, NEIGHBOR'S WOOD FENCE IS ENCROACHING INTO THE SUBJECT PROPERTY.

GRAPHIC SCALE



LEGAL DESCRIPTION:

LOT 30, BLOCK 5, BISCAYNE POINT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 14, PAGE 35 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

CERTIFICATION:

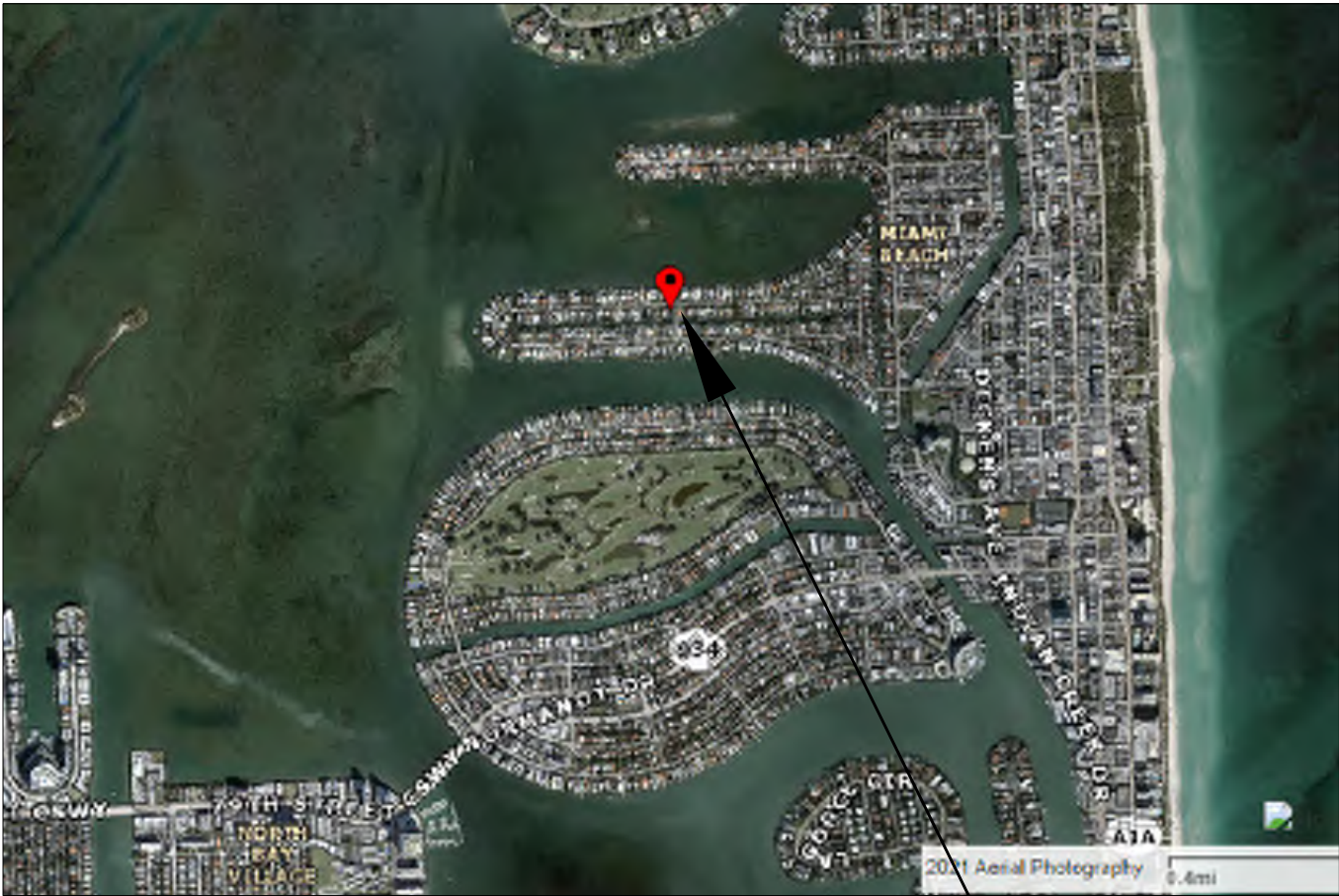
FREDERIC CUMENAL AND LESLIE DIAMOND; MITCHELL SETH POLANSKY, P.A.; OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

DRAWN BY: L.B.

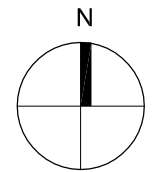
FIELD DATE: 11/8/2021

SURVEY NO: 21-003858

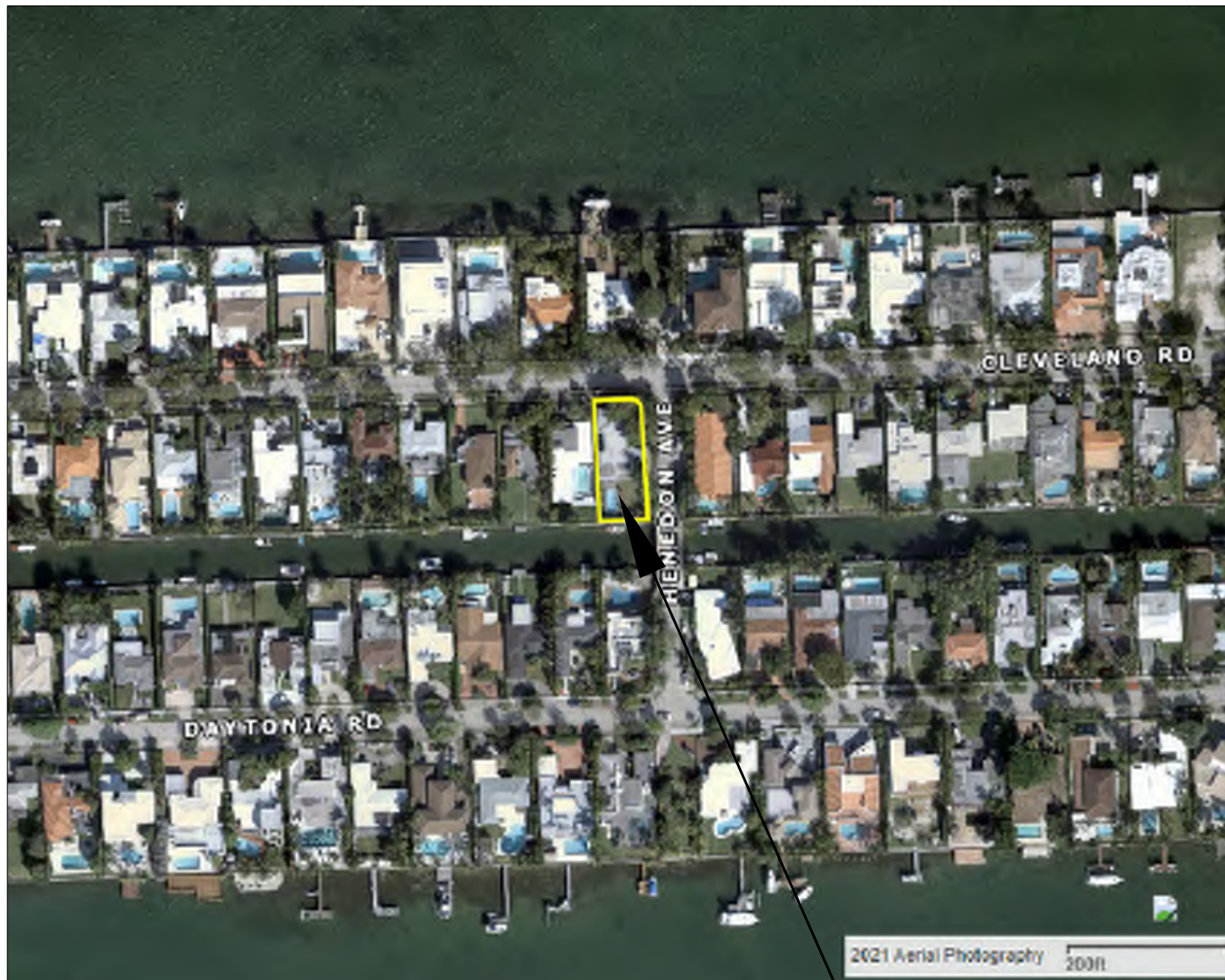
SHEET: 2 OF 2



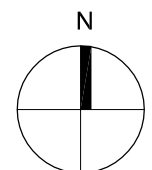
1 LOCATION MAP
SCALE: SCALE: N.T.S.



SITE

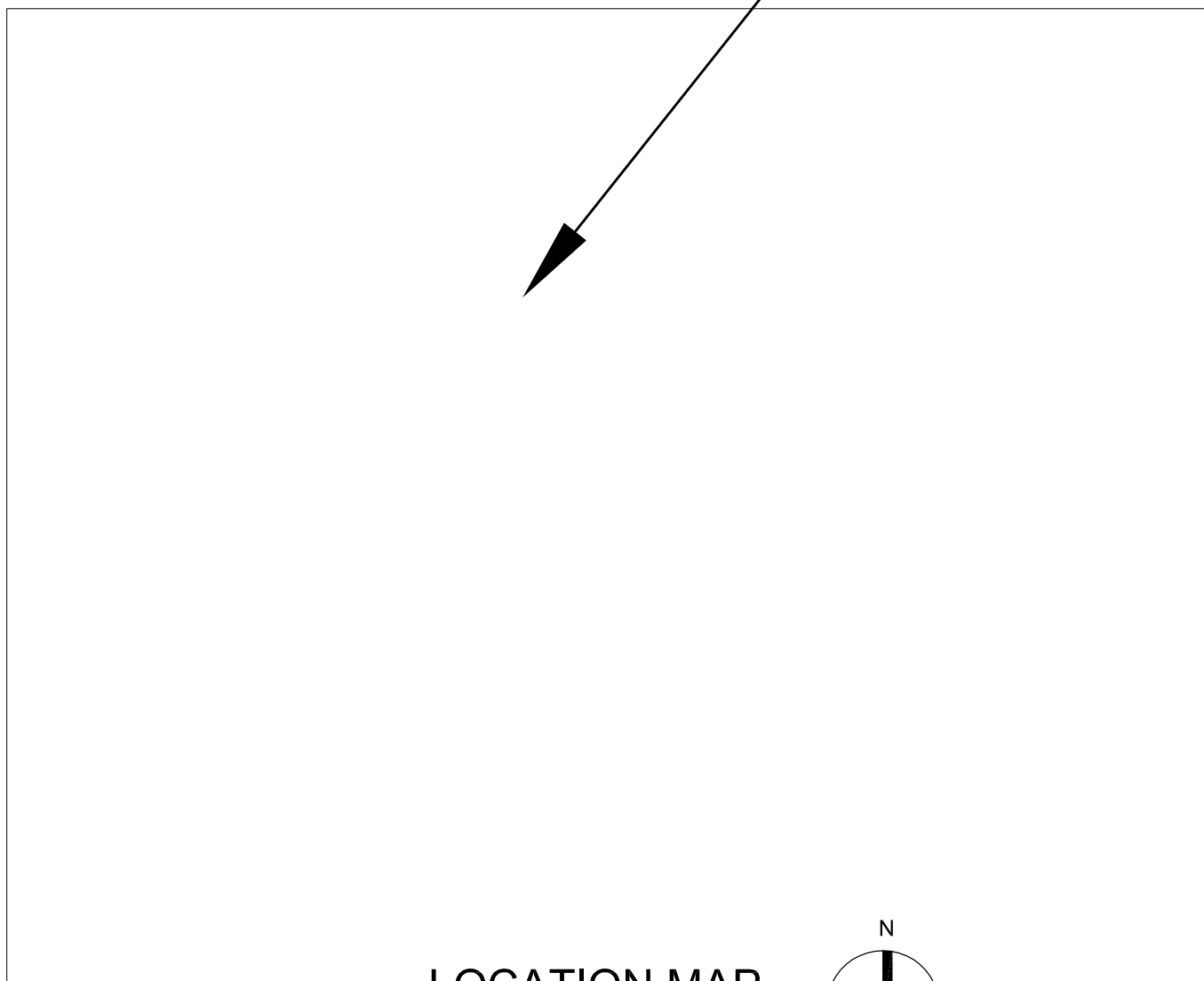


2 LOCATION MAP
SCALE: SCALE: N.T.S.

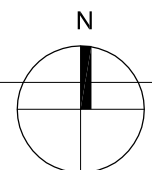


SITE

SITE



3 LOCATION MAP
SCALE: SCALE: N.T.S.



SCOPE OF WORK

1. THE CLIENT HAS REQUESTED 2 STORY ADDITION TO THE EXISTING HOME.
2. WE ARE REQUESTING THE FOLLOWING VARIANCES WITH THE CITY OF MIAMI BEACH
 - 2.1. FRONT SETBACK AT 2ND FLOOR TO 26'-0" IN LIEU OF 40'-0". 14'-0" VARIANCE REQUEST.
 - 2.2. SIDE SETBACK (CORNER LOT) AT 2ND FLOOR TO 5'-0" IN LIEU OF THE 7'-6". 2'-6" VARIANCE REQUEST.

THE SITE WILL RECEIVED SITE IMPROVEMENTS WITH LANDSCAPING.

THE EXISTING HOME IS 2,363 ACTUAL AREA AS PER MDC PROPERTY APPRAISER.

THE PROPOSED SECOND FLOOR ADDITION IS 1,984 S.F.

THE PROPOSED GROUND FLOOR STORAGE ADDITION IS 100 S.F.

THE TOTAL APPROXIMATELY SQUARE FEET OF THE PROPERTY IS 4,447 S.F.

SQUARE FOOTAGES:
EXISTING: 2,363 S.F.
1ST FL ADDITION: 100 S.F.
2ND FL ADDITION: 1,984 S.F.
TOTAL: 4,447 S.F.

INTERIOR GROUND RENOVATION AREAS:
DINING ROOM: 240 S.F.
BATHROOM IN PANTRY: 32 S.F.
TOTAL: 272 S.F.

ALL ALTERATIONS ARE UNDER ALTERATION LEVEL II.

BLDG. & LIFE SAFETY INFO.

OCCUPANCY CLASSIFICATION:	SINGLE FAMILY RES.
CONSTRUCTION TYPE:	III (F.B.C. 2020)
ALLOWABLE AREA:	N/A
DEADEND CORRIDOR:	20'-0" MAXIMUM
MAXIMUM TRAVEL DISTANCE:	150'-0" MAXIMUM
EGRESS WIDTH:	36" MINIMUM
STAIR WIDTH:	44" MINIMUM
HORIZ. FIRE SEPERATION:	1 HOUR
CEILING / ROOF ASSEMBLY:	1 HOUR
VERTICAL FIRE SEPERATION:	NOT APPLICABLE
PARTY WALL SEPERATION:	1 HOUR
MINIMUM DOOR WIDTH:	32" MINMIUM CLEAR
EXIT ACCESS CORRIDOR RATING:	1 HOUR
MECHANICAL RM. SEPERATION:	1 HOUR
MAXIMUM CHANGE IN ELEVATION:	1/2"
MINIMUM NO. OF EXITS:	2

GOVERNING CODES

ALL CONSTRUCTION WORK, ACTIVITIES AND ALTERATIONS SHALL COMPLY WITH THE FLORIDA BUILDING CODE (FBC) 7TH EDITION, (2020).

ALL CONSTRUCTION WORK, ACTIVITIES AND ALTERATIONS SHALL COMPLY WITH THE FLORIDA BUILDING CODE (FBC) 7TH EDITION (2020), EXISTING FLORIDA BUILDING CODE WITH 2020 SUPPLEMENTS..

ALL CONSTRUCTION WORK, ACTIVITIES AND ALTERATIONS SHALL COMPLY WITH THE LATEST EDITION OF O.S.H.A. REQUIREMENTS.

CODE STATEMENT

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND 633 FLORIDA STATUTES.

ARCHITECTURAL STATEMENT:
ALL ARCHITECTURAL WORK SHALL BE UNDER FLORIDA BUILDING CODE, EXISTING 7TH EDITION (2020).

ZONING STATEMENT:
ALL WORK MEETS THE CURRENT CITY OF MIAMI BEACH & MIAMI-DADE COUNTY ZONING DESIGNATION ORDINANCES AND FLORIDA BUILDING CODE 5TH EDITION (2020).

CIVIL ENGINEERING STATEMENT:
NO WORK IS TO BE PERFORMED

LANDSCAPING & IRRIGATION STATEMENT:
ALL LANDSCAPING WORK SHALL MEET CITY OF MIAMI BEACH & MIAMI DADE COUNTY ORDINANCES

STRUCTURAL STATEMENT:
ALL STRUCTURAL WORK SHALL BE UNDER FLORIDA BUILDING CODE, EXISTING 7TH EDITION (2020).

PLUMBING STATEMENT:
NO PLUMBING WORK SHALL BE UNDER FLORIDA BUILDING CODE, EXISTING 7TH EDITION (2020).

MECHANICAL STATEMENT:
ALL MECHANICAL WORK SHALL BE UNDER FLORIDA BUILDING CODE, EXISTING 7TH EDITION (2020).

ELECTRICAL STATEMENT:
ALL ELECTRICAL WORK SHALL BE UNDER FLORIDA BUILDING CODE, EXISTING 7TH EDITION (2020).

DRAWING INDEX

ARCHITECTURAL DRAWING LIST

CVR	COVER SHEET
	BOUNDARY SURVEY
GN-1	PROJECT DATA
GN-2	ZONING INFORMATION & GENERAL NOTES
GN-3.1	ZONING DIAGRAM LOT COVERAGE
GN-3.2	UNIT SIZE DIAGRAM
GN-3.3	FRONT AND REAR LANDSCAPE DIAGRAMS
GN-3.4	VARIANCE DIAGRAM
GN-4.1	CONTEXT PHOTOGRAPHS
GN-4.2	CONTEXT PHOTOGRAPHS
GN-4.3	CONTEXT PHOTOGRAPHS
GN-4.4	CONTEXT PHOTOGRAPHS
GN-4.5	CONTEXT PHOTOGRAPHS
GN-4.6	CONTEXT PHOTOGRAPHS
GN-4.7	SITE PHOTOGRAPHS - EXISTING BUILDINGS
GN-4.8	SITE PHOTOGRAPHS - PROPOSED AREA OF WORK
GN-4.9	SITE PHOTOGRAPHS - PROPOSED AREA OF WORK

AS-1	PROPOSED SITE PLAN & SETBACKS
EX-1	EXISTING FLOOR PLAN
D-1.01	DEMOLITION FLOOR PLAN
A-1.01	PROPOSED GROUND PLAN
A-1.02	PROPOSED SECOND FLOOR PLAN
A-1.03	PROPOSED ROOF PLAN
A-3.1	EXISTING & PROPOSED ELEVATION
A-3.2	EXISTING & PROPOSED ELEVATION
A-3.3	EXISTING & PROPOSED ELEVATION
A-3.4	EXISTING & PROPOSED ELEVATION
A-4.0	SECTIONS
A-5.0	CONCEPTUAL RENDERING
A-5.1	MATERIAL & FINISH SELECTIONS

X-X	BACK COVER SHEET
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ABBREVIATIONS

A.B.	ANCHOR BOLT	HB.	HOSE BIBB
A/C	AIR CONDITIONER	HC.	HANDICAP / HOLLOW CORE
ACCOM.	ACCOMMODATE	HDWR.	HARDWARE
A.F.F.	ABOVE FINISH FLOOR	H.M.	HOLLOW METAL
A.H.U.	AIR HANDLING UNIT	HORIZ.	HORIZONTAL
ALUM.	ALUMINUM	HT.	HEIGHT
AUX.	AUXILIARY	H.V.A.C.	HEATING VENTILATING & AIR CONDITIONING
BLDG.	BUILDING	I.D.	INSIDE DIAMETER
BLK.	BLOCK	INFO.	INFORMATION
BM.	BEAM	INSUL.	INSULATION
B.M.	BENCH MARK	INT.	INTERIOR
BOTT.	BOTTOM	INTERM.	INTERMEDIATE
BRD.	BOARD	JAN.	JANITOR
BTWN.	BETWEEN	JT.	JOINT
C.B.	CATCH BASIN	JST.	JOIST
C.I.P.	CAST-IN-PLACE	LAM.	LAMINENT
C.J.	CONTROL JOINT	LAV.	LAVATORY
C.L.	CHAIN LINK	L.P.	LIGHT POLE
CLG.	CEILING	MAT.	MATERIAL
C.	CENTER LINE	MAX.	MAXIMUM
CL.O.	CLOSET	MECH.	MECHANICAL
CMU	CONCRETE MASONRY UNIT	MFR.	MANUFACTURER
CNTR.	COUNTER	M.H.	MAN HOLE
CO	CLEANOUT	MIN.	MINIMUM
COL.	COLUMN	MISC.	MISCELLANEOUS
CONC.	CONCRETE	MTL.	METAL
CONN.	CONNECTION	N.	NORTH
CONSTR.	CONSTRUCTION	N.G.V.D.	NATIONAL GEODESIC
CONTR.	CONTRACTOR	N.I.C.	NOT IN CONTRACT
CPT	CARPET	NO.	NUMBER
C.T.	CERAMIC TILE	N.T.S.	NOT TO SCALE
DBL.	DOUBLE	O.C.	ON CENTER
DEMO.	DEMOLITION	O.D.	OUTSIDE DIAMETER
DET.	DETAIL	PART.	PARTITION
DIA.	DIAMETER	PLYWD.	PLYWOOD
DIM.	DIMENSION	PNT.	PAINT
D.F.	DRINKING FOUNTAIN	P.T.	PRESSURE TREATED
DOC.S.	DOCUMENTS	REINF.	REINFORCING
DWG.	DRAWINGS	REQ.	REQUIRED
DWN.	DOWN	RM.	ROOM
EA.	EACH	R.D.	ROOF DRAIN
EL.	ELEVATION	SC.	SOLID CORE
ELEC.	ELECTRICAL	SCHED.	SCHEDULE
ELEV.	ELEVATION / ELEVATOR	SECT.	SECTION
EQ.	EQUAL	SF.	SQUARE FOOTAGE
EQUIP.	EQUIPMENT	SHT.	SHEET
ESC	ESCALATOR	SIM.	SIMILAR
E.W.	EACH WAY	SPECS.	SPECIFICATIONS
EXH.	EXHAUST	S.S.	STAINLESS STEEL
EXIST.	EXISTING	STD.	STANDARD
EXP	EXPOSED / EXPANSION	STL.	STEEL
EXT	EXTERIOR	STRUCT.	STRUCTURE
EXTING.	EXTINGUISHER (FIRE)	SQ. FT.	SQUARE FOOTAGE
FAB.	FABRICATE	TEL.	TELEPHONE
F.D.	FLOOR DRAIN	TEMP.	TEMPERED / TEMPORARY
FE	FIRE EXTINGUISHER	THK.	THICK
FIN.	FINISH	TYP.	TYPICAL
FIXT.	FIXTURE	U.C.	UNDERCUT
F.F.	FINISH FLOOR	U.N.O.	UNLESS NOTED OTHERWISE
FLR.	FLOOR	V.B.	VINYL BASE
FTG.	FOOTING	V.C.T.	VINYL COMPOSITE TILE
F.V.	FIELD VERIFY	VERT.	VERTICLE
GA.	GAUGE	VEST.	VESTIBULE
GALV.	GALVANIZED	V.T.R.	VENT THRU ROOF
G.B.	GRAB BAR	W/	WITH
G.C.	GENERAL CONTRACTOR	WD.	WOOD
GL.	GLASS	WC	WATER CLOSET
GYP.	BD. GYPSUM WALL BOARD		

MIAMI BEACH WATERMARK

CLIENT :

2nd Floor Addition
to Existing Home

1600 Cleveland Road
Miami Beach, FL 33141
Folio: 02-3203-001-0940

CDS
CASTELLANOS DESIGN STUDIO

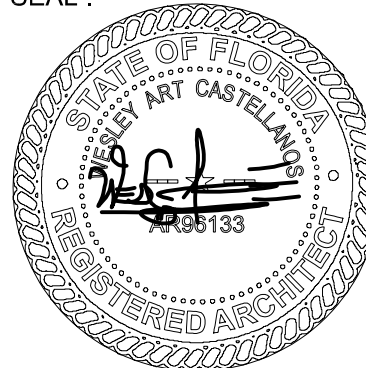
7300 BISCAYNE BLVD., SUITE 200
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Tel: 786.218.5335
License #AA 26002467

CASTELLANOSDESIGN.COM

No.	DATE	ISSUED / REVISED
1	21JUN/22	BOA APPLICATION
2	01JUL/22	P&Z COMMENTS
3	11JUL/22	FINAL SUBMITTAL

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SEAL :



WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2022-02

PROJECT
DATA &
INFORMATION

CHECKED BY : WC SHEET NO :

DRAWN BY : WC

SCALE:

© 2022 BY CDS

GN-1

GENERAL NOTES - DEMOLITION PLAN

1. SCOPE OF REQUIRED DEMOLTION IS TO BE COORDINATED WITH ARCHITECTUAL AND ENGINEERING DRAWINGS. DEMOLITION PLAN IS SCHEMATIC IN NATURE INDICATING ARCHITECT'S INTENT. EXACT QUANTITIES AND EXTENT OF REQUIRED DEMOLITION IS TO BE DETERMINED BY THE GENERAL CONTRACTOR TO ACCOMPLISH PROPOSED SCOPE OF WORK AT NO ADDITIONAL COST. IN THE CASE OF ANY CONTRADICTION, CONTRACTOR IS TO CONTACT DPM ARCHITECTURE FOR CLARIFICATION.
2. REFER TO NOTED EXISTING CONSTRUCTION TO BE REMOVED AND SALVAGED FOR REINSTALLATION ON PLAN. DOOR AND FRAME UNITS, MILLWORK, LIGHT FIXTURES, MECHANICAL, ELECTRICAL AND SPRINKLER DEVICES, ETC. COORDINATE EXACT LOCATIONS AND QUANTITIES.
3. PRIOR TO DISPOSAL OF EXISTING DOORS, FRAMES, MILLWORK AND OTHER EXISTING CONSTRUCTION SCHEDULED TO BE REMOVED, REVIEW WITH BUILDING MANAGEMENT IF UNITS ARE TO BE SALVAGE, IF NOT DISPOSE OF ALL ITEMS.
4. PRIOR TO DEMOLITION OF EXISTING PERIMETER CHASE WALLS / COLUMN ENCLOSURES SCHEDULE FOR DEMOLITION, PROBE WALL TO DETERMINE & LOCATE ANY PLUMBING, MECHANICAL OR OTHER AMENITIES WHICH MAY EXIST WITHIN AND PREVENT REMOVAL OF THE PARTITION. COORDINATE IN THE FIELD WITH DPM.
5. REMOVE EXISTING CARPET AND WALL BASE WITHIN THE SCOPE OF WORK IN THEIR ENTIRETY.
6. ALL EXIT STAIRS AND PASSAGEWAYS WILL BE ALLWAYS KEPT CLEAN AND FREE OF ANY CONSTRUCTION DEBRIS.

LEGEND - DEMOLITION PLAN

EXISTING PARTITION TO BE DEMOLISHED.

EXISTING PARTITION TO REMAIN.

EXISTING DOOR TO BE REMOVED.

EXISTING TO BE DEMOLISHED.

EXISTING METAL AWNING SHUTTER TO BE DEMOLISHED.

EXISTING WINDOW TO BE DEMOLISHED.
EXISTING CENTER SUPPORT TO REMAIN

REFERENCE NOTE

REVISION NO.

ELEVATION MARKER
+0'-0"
A.F.F.

BUILDING SECTION LINE

SECTION CUT LINE

EXISTING PARTITION TO BE DEMOLISHED.

EXISTING PARTITION TO REMAIN.

EXISTING DOOR TO BE REMOVED.

EXISTING TO BE DEMOLISHED.

EXISTING METAL AWNING SHUTTER TO BE DEMOLISHED.

EXISTING WINDOW TO BE DEMOLISHED.
EXISTING CENTER SUPPORT TO REMAIN

REFERENCE NOTE

REVISION NO.

ELEVATION MARKER
+0'-0"
A.F.F.

BUILDING SECTION LINE

SECTION CUT LINE

GENERAL NOTES - CONSTRUCTION PLAN

1. CONTRACTOR TO REPAIR ALL DAMAGE TO EXISTING CONSTRUCTION CAUSED BY SCOPE OF DEMOLITION.
2. CONTRACTOR IS TO VERIFY THE FREIGHT ELEVATOR SIZE TO DETERMINE MAXIMUM TRANSPORTATION SIZE FOR MILLWORK. CONTRACTOR TO COORDINATE.
3. FURNISH AND INSTALL OR REPAIR EXISTING FIREPROOFING SYSTEMS AS REQUIRED BY SCOPE OF WORK AND CODE.
4. FIRE TREATED WOOD BLOCKING IS TO BE USED AT ALL LOCATIONS REQUIRING BLOCKING IN WALLS.
5. REFER TO ENGINEERING DRAWINGS FOR FULL SCOPE OF REQUIRED PLENUM WORK. FURNISH AND INSTALL AS REQUIRED. REMOVAL, REPAIR, REPLACEMENT OF CEILING AND NEW CEILING MATERIALS, TO ACCOMPLISH INTENT OF SCOPE OF WORK.
6. REFER TO ENGINEERING DRAWINGS FOR FULL SCOPE OF MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION WORK REQUIRING EXISTING CONSTRUCTION MODIFICATION. FURNISH AND INSTALL ALL REQUIRED REMOVAL, REPAIR, REPLACEMENT OF ALL AFFECTED EXISTING CONSTRUCTION AS REQUIRED TO ACCOMPLISH INTENT OF ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION SCOPE OF WORK.
7. ALL HARDWARE FINISH TO BE STAINLESS STEEL US26D UNLESS OTHER NOTED.
8. CONTRACTOR TO QUALIFY COMPATIBILITY OF SPECIFIED HARDWARE WITH EXISTING DOORS AND FRAMES BEING REUSED.
9. KEY DOORS AS PER TENEANT/BUILDING STANDARDS.

LEGEND - CONSTRUCTION PLAN

OFFICE
1010

ROOM NAME
ROOM NUMBER

REFERENCE NOTE

EXISTING PARTITION

NEW PARTITION
(FOR DETAIL OF PARTITION
TYPES, SEE DWG. # AO.04)

U. O. N.
DOOR NUMBER
NEW DOOR

ELEVATION NUMBER
DRAWING NUMBER

ELEVATION NUMBER
DRAWING NUMBER

ALIGN

REVISION NO.

OFFICE
1010

ROOM NAME
ROOM NUMBER

REFERENCE NOTE

EXISTING PARTITION

NEW PARTITION
(FOR DETAIL OF PARTITION
TYPES, SEE DWG. # AO.04)

U. O. N.
DOOR NUMBER
NEW DOOR

ELEVATION NUMBER
DRAWING NUMBER

ELEVATION NUMBER
DRAWING NUMBER

ALIGN

REVISION NO.

ZONING INFORMATION

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Project information			
1	Address:	1600 CLEVELAND ROAD, MIAMI BEACH, FL 33141		
2	Folio number(s):	02-3203-001-0940		
3	Board and file numbers:			
4	Year built:	1952 - 1,779 S.F. 1963 - 584 S.F.	Zoning District:	RS-4
5	Based Flood Elevation:	9.00' NGVD	Grade Value in NGVD:	6.28' NGVD
6	Adjusted grade (Flood+Grade/2):	8.00' NGVD.	Free Board:	N/A
7	Lot Area:	9,000 SQ.FT.		
8	Lot width:	60'-0"	Lot Depth:	150'-0"
9	Max Lot Coverage SF and %>	2,700 SQ. FT. (30%)	Proposed Lot Coverage SF and %:	2,521 SQ. FT. (28%)
10	Existing Lot Coverage SF and %:	2,259 SQ. FT. (25.1%)	Lot Coverage Deducted (garage-storage) SF:	N/A
11	Front Yard Open Space SF and %:	985 SQ. FT. (92%)	Existing Rear Yard Open Space SF and %: (POOL AT GRADE)	1,224 SQ. FT. (78.46%)
12	Max Unit Size SF and %:	4,500 SQ. FT. (50%)	Proposed Unit Size SF and %:	4,367 SQ. FT. (48.52%)
13	Existing First Floor Unit Size:	2,281 SQ. FT.	Proposed First Floor Unite Size:	2,386 SQ. FT.
14	Existing Second Floor Unit Size:	N/A		
15			Proposed Second Floor Unit Size SF	1,981

		REQUIRED	EXISTING	PROPOSED - MAIN RESIDENCE	DEFICIENCIES
16	Height:	24'-0" FLAT 27'-0" SLOPED	10'-10"	21'-6" (FROM EST GRADE)	N/A
17	Setbacks:				
18	Front First Level:	20'-0"	15'-1"	15'-1"	N/A
19	Front Second Level:	40'-0"	N/A	26'-0"	VARIANCE #1 REQUESTED (14'-0")
20	Side 1: (STREET SIDE HENEDON)	18'-6"	18'-6"	18'-6"	N/A
21	Side 2: (ADJACENT HOME)	7'-6"	5'-0"	5'-0"	VARIANCE #1 REQUESTED (2'-6")
22	Rear:	26'-0"	53'-6"	53'-6"	N/A
23	Accessory Structure Side 1:	7'-6"	N/A	N/A	N/A
24	Accessory Structure Side 2 or (facing street):	7'-6"	N/A	N/A	N/A
25	Accessory Structure Rear:	7'-6"	N/A	N/A	N/A
26	Sum of Side yard:	15'-0" (150' X 10%)	23'-6"	23'-6"	N/A

27	Located within a Local Historic District?	YES or <input type="text" value="NO"/>
28	Designated an individual Historic Single Family Residence Site?	YES or <input type="text" value="NO"/>
29	Determited to be Architecturally Significant?	YES or <input type="text" value="NO"/>

MIAMI BEACH WATERMARK

CLIENT :

2nd Floor Addition
to Existing Home

1600 Cleveland Road
Miami Beach, FL 33141
Folio: 02-3203-001-0940

CDS

CASTELLANOS DESIGN STUDIO

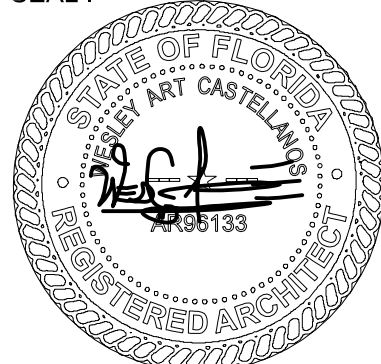
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Tel: 786.218.5335
License #AA 26002467

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No.	DATE	ISSUED / REVISED
1	21JUN/22	BOA APPLICATION
2	01JUL/22	P&Z COMMENTS
3	11JUL/22	FINAL SUBMITTAL

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SEAL :



WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2022-02

ZONING
INFORMATION
GENERAL
NOTES

CHECKED BY : WC

SHEET NO :

DRAWN BY : WC

SCALE:

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GN-2

50' Total Right-of-Way
19' PAVEMENT



CLIENT:

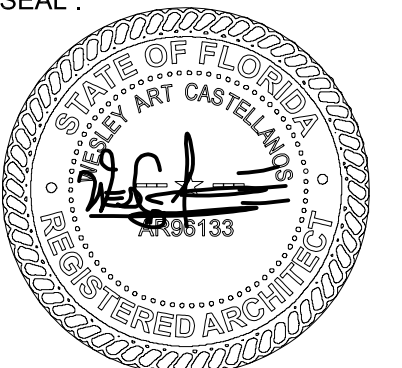
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SEAL :



WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2022-02

LOT COVERAGE DIAGRAM

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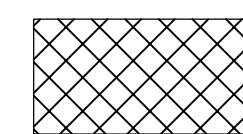
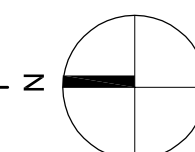
SCALE:

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GN-3.1

Lot 29
Block - 5

1 **PROPOSED LOT COVERAGE**
SCALE: 3/16" = 1'-0"



EXISTING LOT COVERAGE



PROPOSED LOT COVERAGE

CLEVELAND STREET

50' Total Right-of-Way
20' PAVEMENT

HENEDON AVENUE

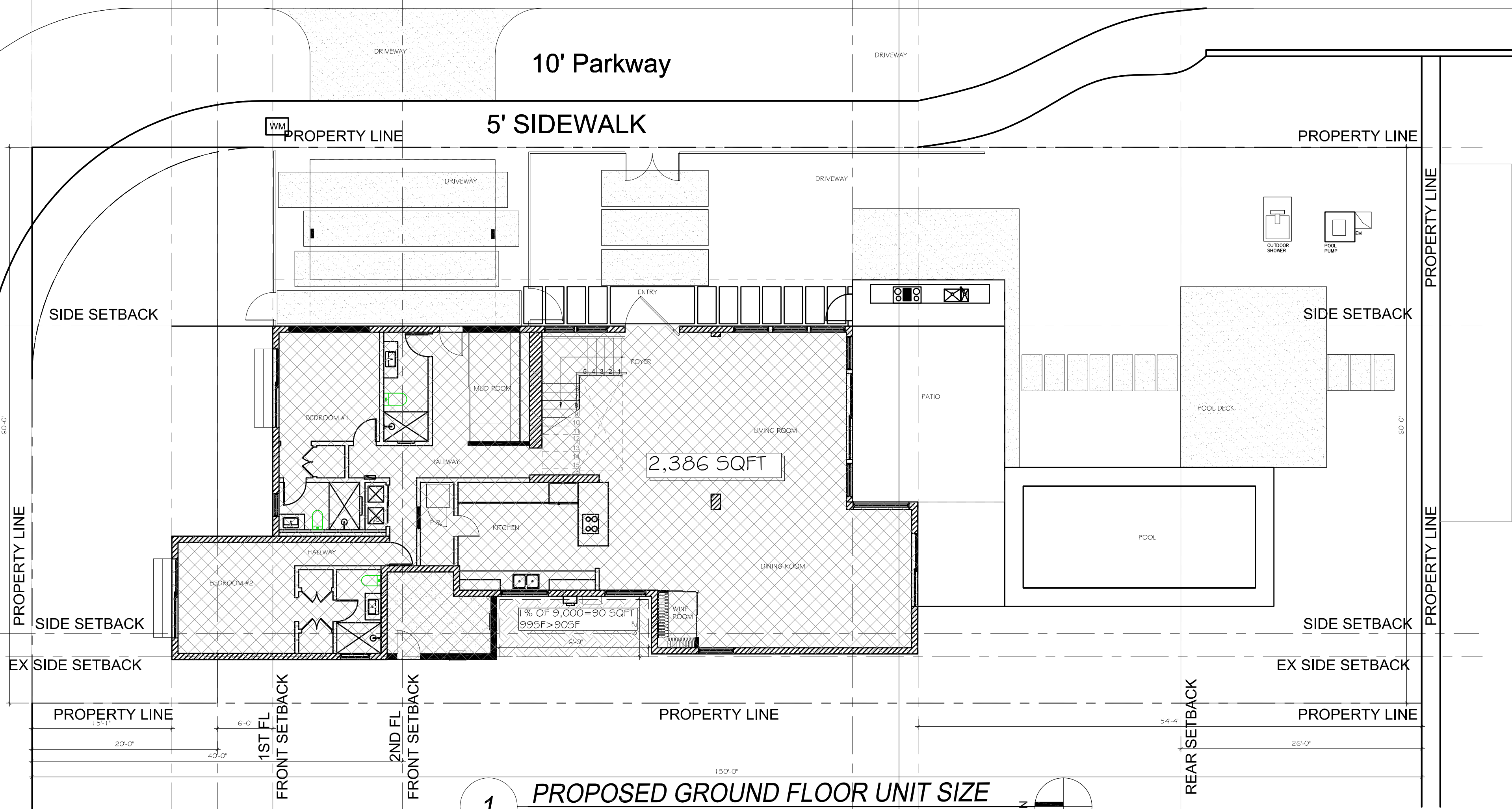
50' Total Right-of-Way
19' PAVEMENT

10' Parkway

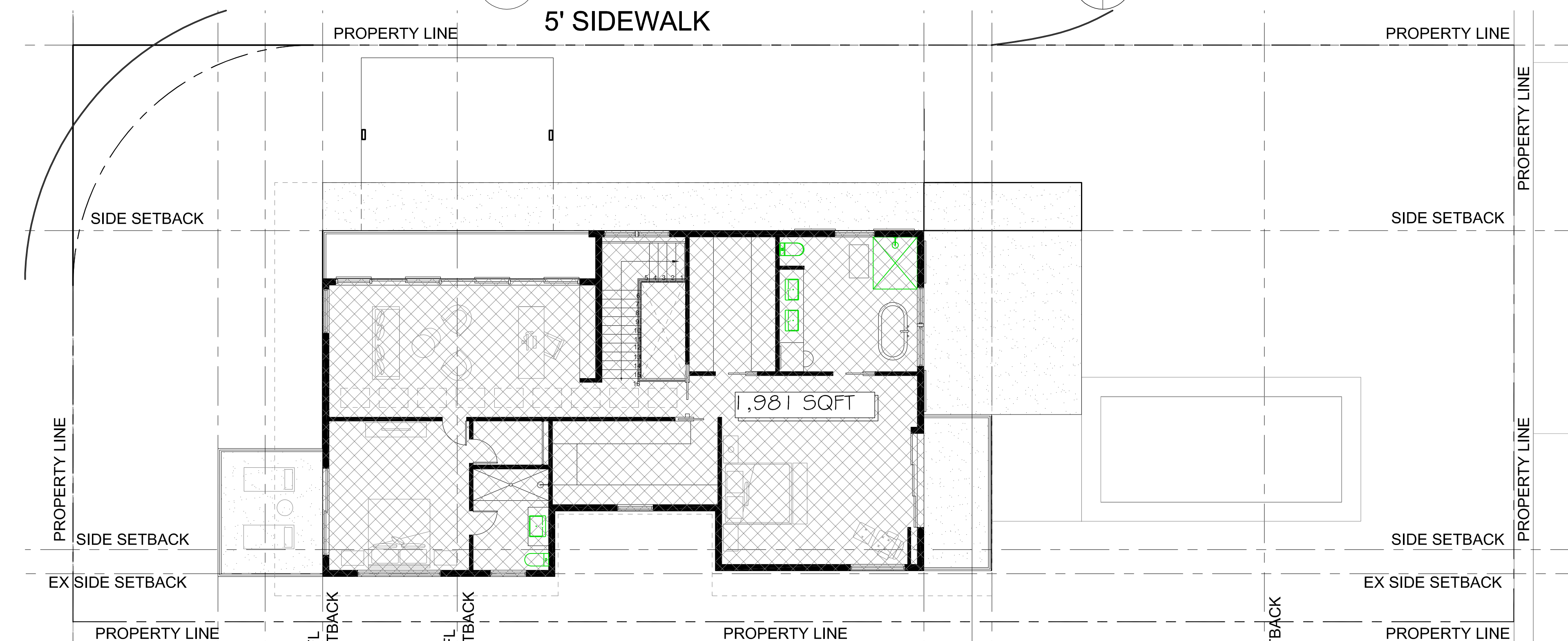
5' SIDEWALK

CANAL

60' Total Right-of-Way



1 PROPOSED GROUND FLOOR UNIT SIZE
SCALE : 1/8" = 1'-0"



2 PROPOSED SECOND FLOOR UNIT SIZE
SCALE : 1/8" = 1'-0"

MIAMI BEACH WATERMARK

CLIENT :

2nd Floor Addition
to Existing Home

1600 Cleveland Road
Miami Beach, FL 33141
Folio: 02-3203-001-0940

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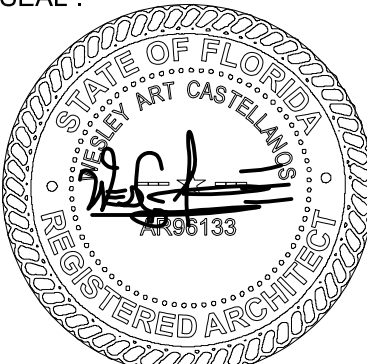
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WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2022-02

UNIT SIZE
DIAGRAM

CHECKED BY : WC
DRAWN BY : WC
SCALE:
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SHEET NO :
GN-3.2

50' Total Right-of-Way
19' PAVEMENT

CLIENT:

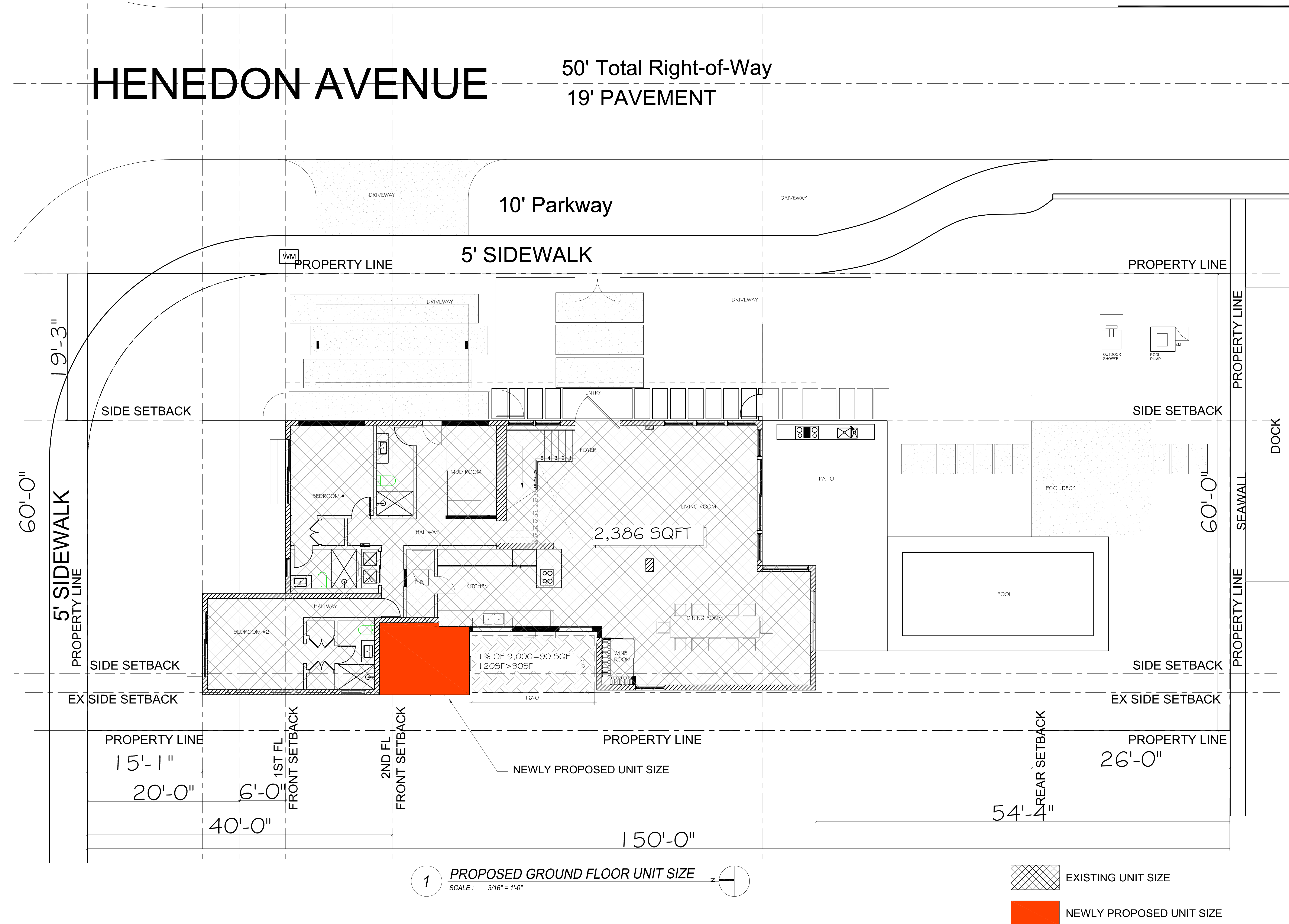
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Folio: 02-3203-001-0940

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1	21JUN/22	BOA APPLICATION
2	01JUL/22	P&Z COMMENTS
3	11JUL/22	FINAL SUBMITTAL

SEAL :



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SCALE:	
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50' Total Right-of-Way
19' PAVEMENT

MIAMI BEACH WATERMARK

CLIENT:

1600 Cleveland Road
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Folio: 02-3203-001-0940

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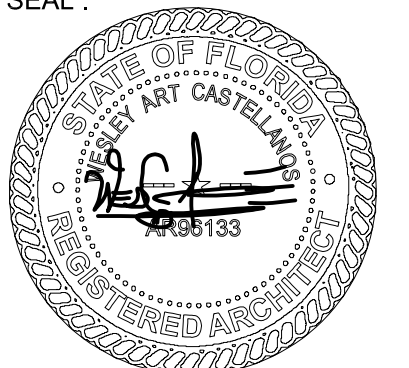
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FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2022-02

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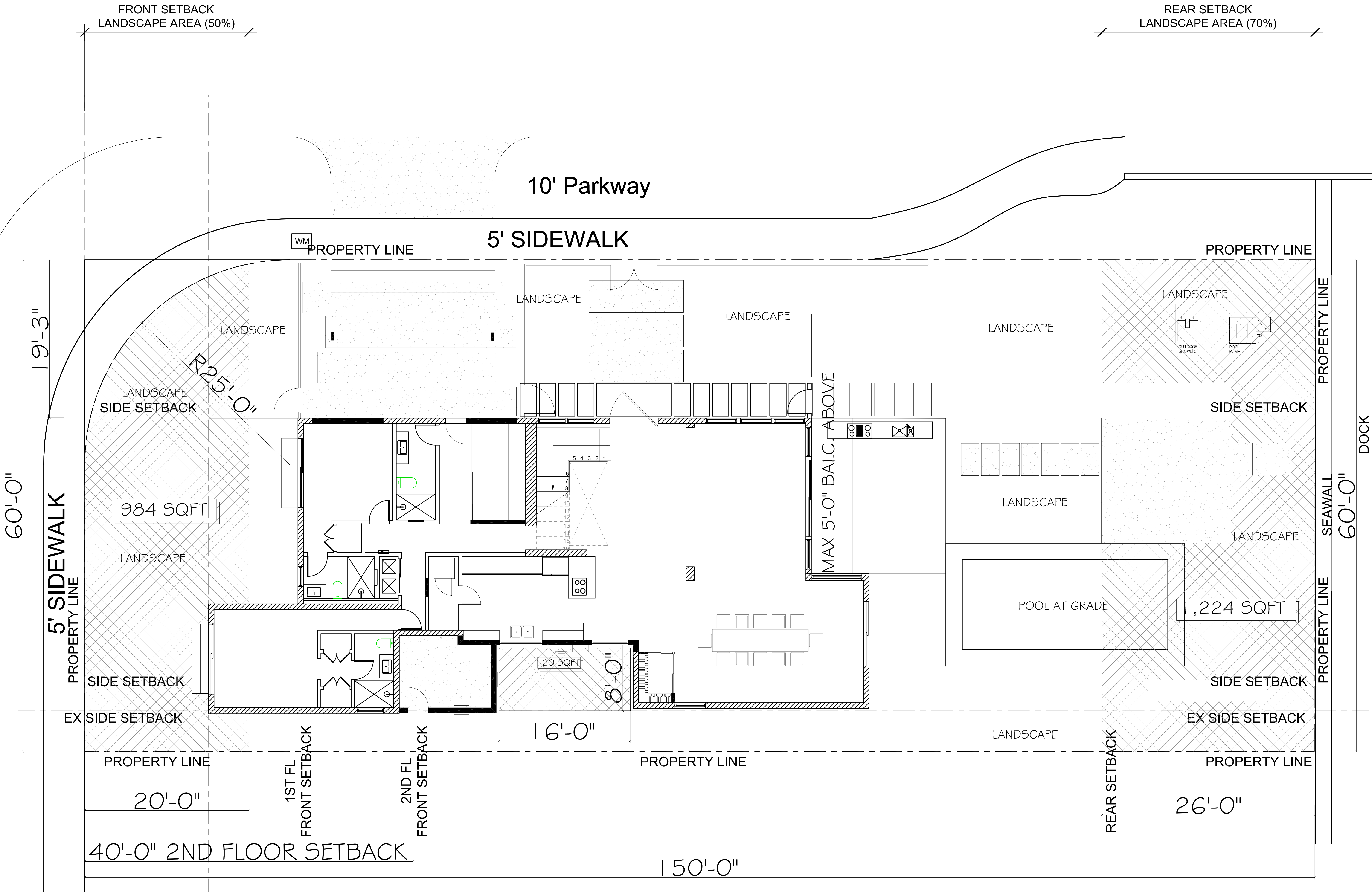
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GN-3.2B

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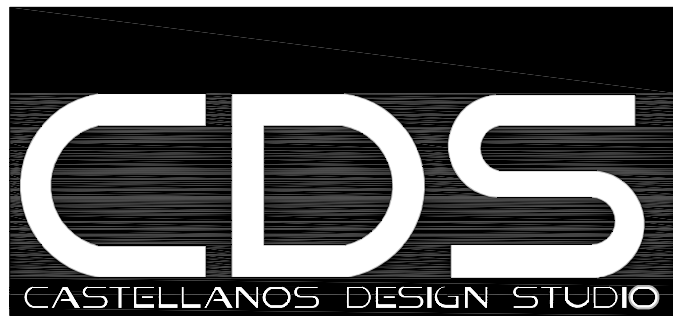


MIAMI BEACH WATERMARK

CLIENT:

2nd Floor Addition
to Existing Home

1600 Cleveland Road
Miami Beach, FL 33141
Folio: 02-3203-001-0940



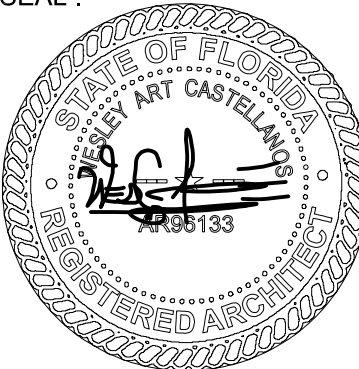
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PROJECT NO : 2022-02

FRONT AND
REAR
LANDSCAPE
DIAGRAMS

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DRAWN BY : WC

SCALE:

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GN-3.3

VARIANCE #2
SIDEYARD SETBACK
7'-6" REQ.
2'-6" REQUEST FOR
STRUCTURAL

VARIANCE #2
SIDEYARD SETBACK
7'-6" REQ.
2'-6" REQUEST FOR
STRUCTURAL

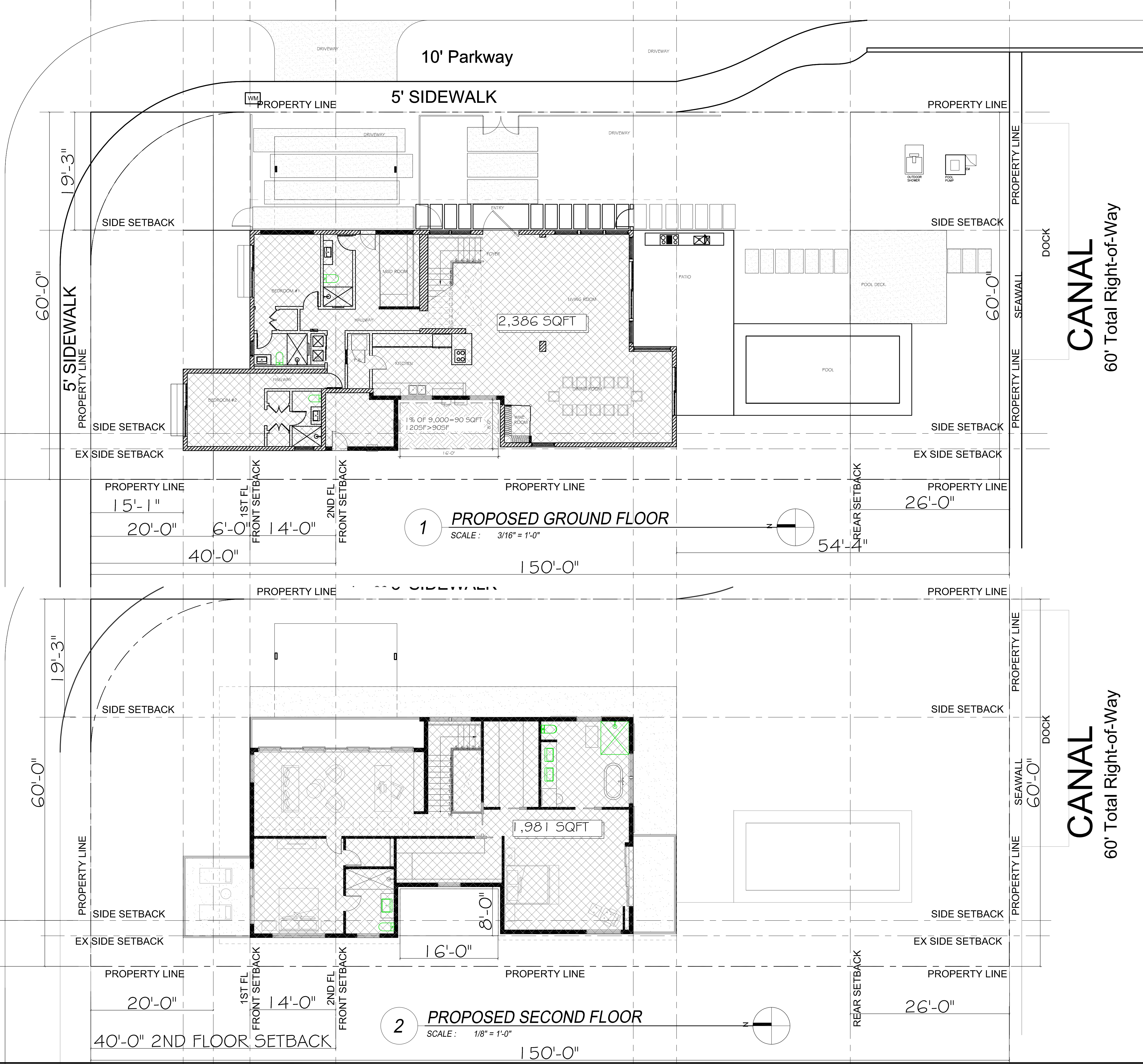
CLEVELAN

CLEA

50' Total Right-of-Way
20' PAVEMENT

50' Total Right-of-Way
20' PAVEMENT

VARIANCE #1
FRONT YARD SETBACK
2 STORY 40'0" REQ.
14'-0" REQUEST FOR
STRUCTURAL ELEMENTS



MIAMI BEACH WATERMARK

CLIENT :

2nd Floor Addition
to Existing Home

1600 Cleveland Road
Miami Beach, FL 33141
Folio: 02-3203-001-0940

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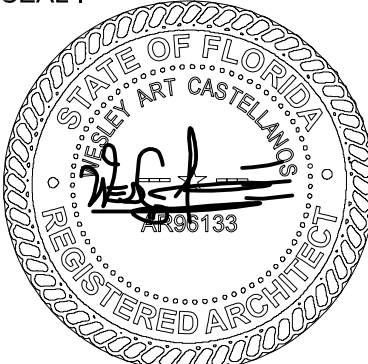
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SEAL :



WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2022-02

VARIANCE
DIAGRAM

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DRAWN BY : WC
SCALE:
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SHEET NO :

GN-3.4



A *AERIAL VIEW FOR REFERENCE*

SCALE : N.A.



1 1600 CLEVELAND RD
SCALE: N.A.



2 1610 CLEVELAND RD
SCALE: N.A.



3 1620 CLEVELAND RD
SCALE : N.A.

MIAMI BEACH WATERMARK

CLIENT:

2nd Floor Addition to Existing Home

1600 Cleveland Road
Miami Beach, FL 33141
Folio: 02-3203-001-0940

CDS

7300 BISCAYNE BLVD., SUITE 200

MIAMI, FL 33138

Tel: 786.218.5335

License #AA 26002467

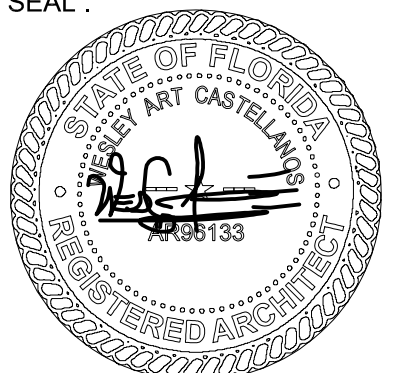
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[illegible]

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SEAL :



WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2022-02

CONTEXT PHOTOGRAPHS

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DRAWN BY : WC	
SCALE:	
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A *AERIAL VIEW FOR REFERENCE*
SCALE: N.A.



4 1630 CLEVELAND RD
SCALE: N.A.



5 1640 CLEVELAND RD
SCALE: N.A.

MIAMI BEACH WATERMARK

CLIENT:

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Folio: 02-3203-001-0940

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Tel: 786.218.5335
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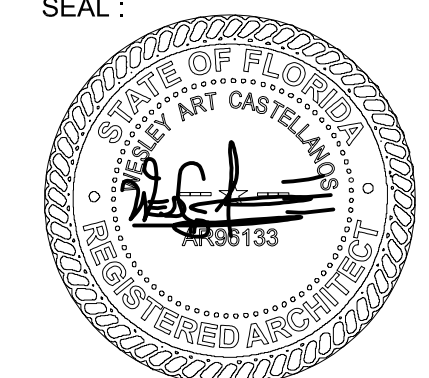
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SEAL :



WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2022-02

CONTEXT PHOTOGRAPHS

CHECKED BY : WC	SHEET NO :
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DRAWN BY : WC

SCALE:

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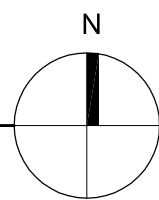
GN-4.2



A

AERIAL VIEW FOR REFERENCE

SCALE : N.A.



2

1615 CLEVELAND RD

SCALE : N.A.



1

1601 CLEVELAND RD

SCALE : N.A.



3

1625 CLEVELAND RD

SCALE : N.A.

MIAMI BEACH WATERMARK

CLIENT :

2nd Floor Addition
to Existing Home

1600 Cleveland Road
Miami Beach, FL 33141
Folio: 02-3203-001-0940

CDS
CASTELLANOS DESIGN STUDIO

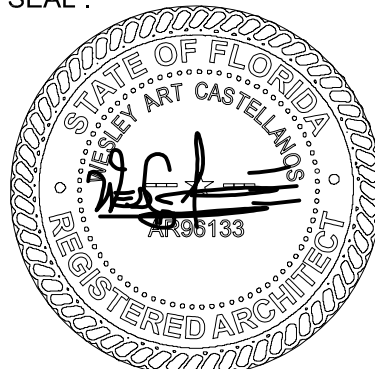
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License #AA 26002467

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No.	DATE	ISSUED / REVISED
1	21JUN/22	BOA APPLICATION
2	01JUL/22	P&Z COMMENTS
3	11JUL/22	FINAL SUBMITTAL

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FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2022-02

CONTEXT
PHOTOGRAPHS

CHECKED BY : WC

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SHEET NO :

GN-4.3



A AERIAL VIEW FOR REFERENCE
SCALE : N.A.



4 1645 CLEVELAND RD
SCALE : N.A.



5 1655 CLEVELAND RD
SCALE : N.A.

MIAMI BEACH WATERMARK

CLIENT :

2nd Floor Addition
to Existing Home

1600 Cleveland Road
Miami Beach, FL 33141
Folio: 02-3203-001-0940

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FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2022-02

CONTEXT
PHOTOGRAPHS

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SCALE:
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SHEET NO :
GN-4.4



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A HENEDON AVE STREET VIEWS
SCALE: N.A.



B HENEDON AVE STREET VIEWS
SCALE: N.A.



C HENEDON AVE STREET VIEWS
SCALE: N.A.



D HENEDON AVE STREET VIEWS
SCALE: N.A.



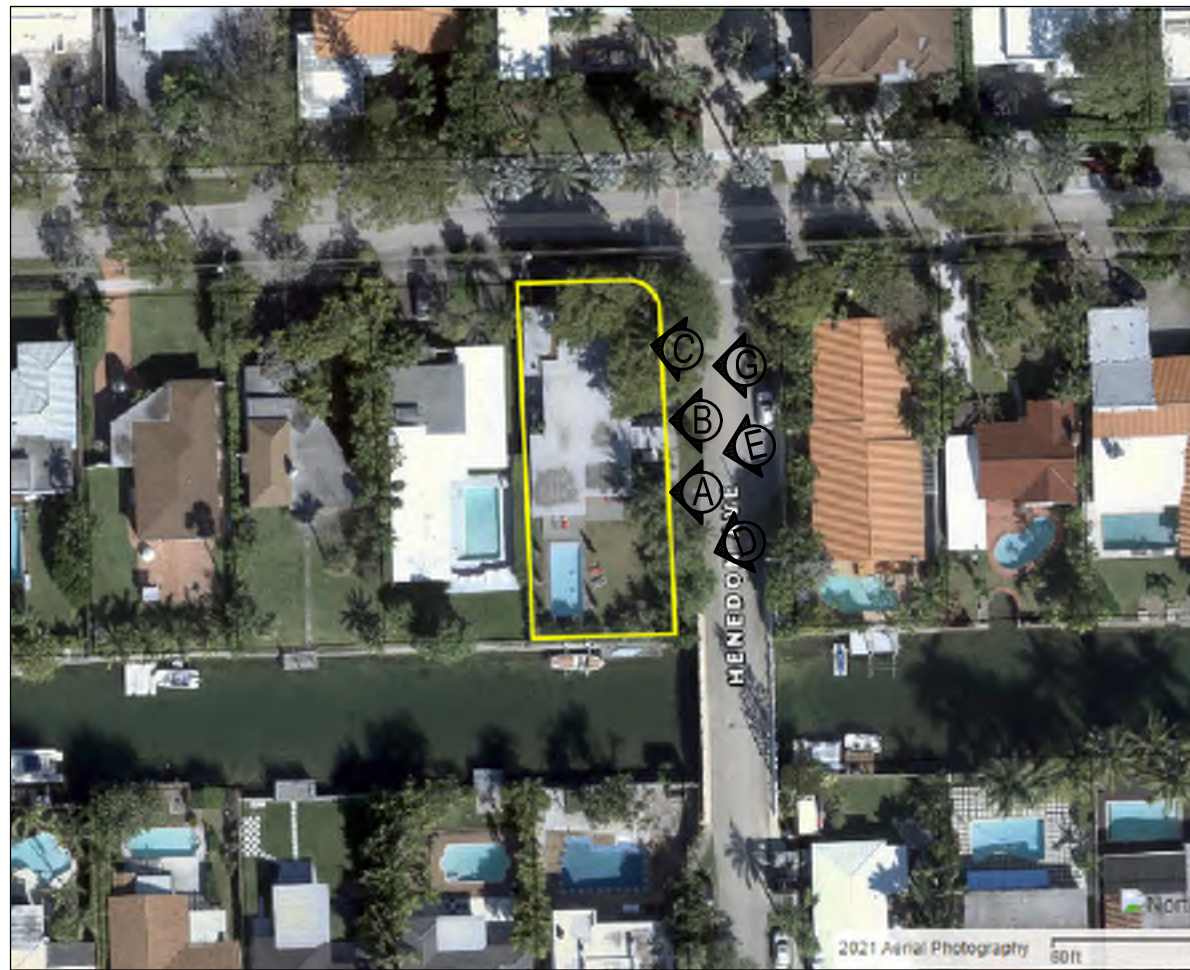
E HENEDON AVE STREET VIEWS
SCALE: N.A.



F HENEDON AVE STREET VIEWS
SCALE: N.A.



G HENEDON AVE STREET VIEWS
SCALE: N.A.



1 HENEDON AVE STREET VIEWS
SCALE: N.A.

MIAMI BEACH WATERMARK

CLIENT:

2nd Floor Addition
to Existing Home

1600 Cleveland Road
Miami Beach, FL 33141
Folio: 02-3203-001-0940

CDS
CASTELLANOS DESIGN STUDIO

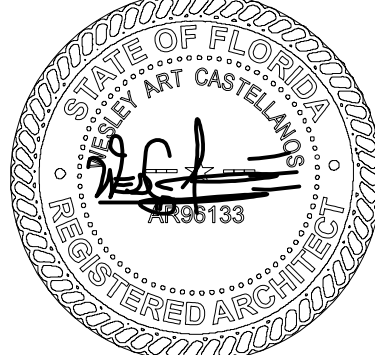
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3	11JUL/22	FINAL SUBMITTAL

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WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO: 2022-02

**SITE
PHOTOGRAPHS
- EXISTING
BUILDING**

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DRAWN BY: WC

SCALE:

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GN-4.7



A 1600 CLEVELAND ST VIEWS
SCALE: N.A.



B 1600 CLEVELAND ST VIEWS
SCALE: N.A.



C 1600 CLEVELAND ST VIEWS
SCALE: N.A.



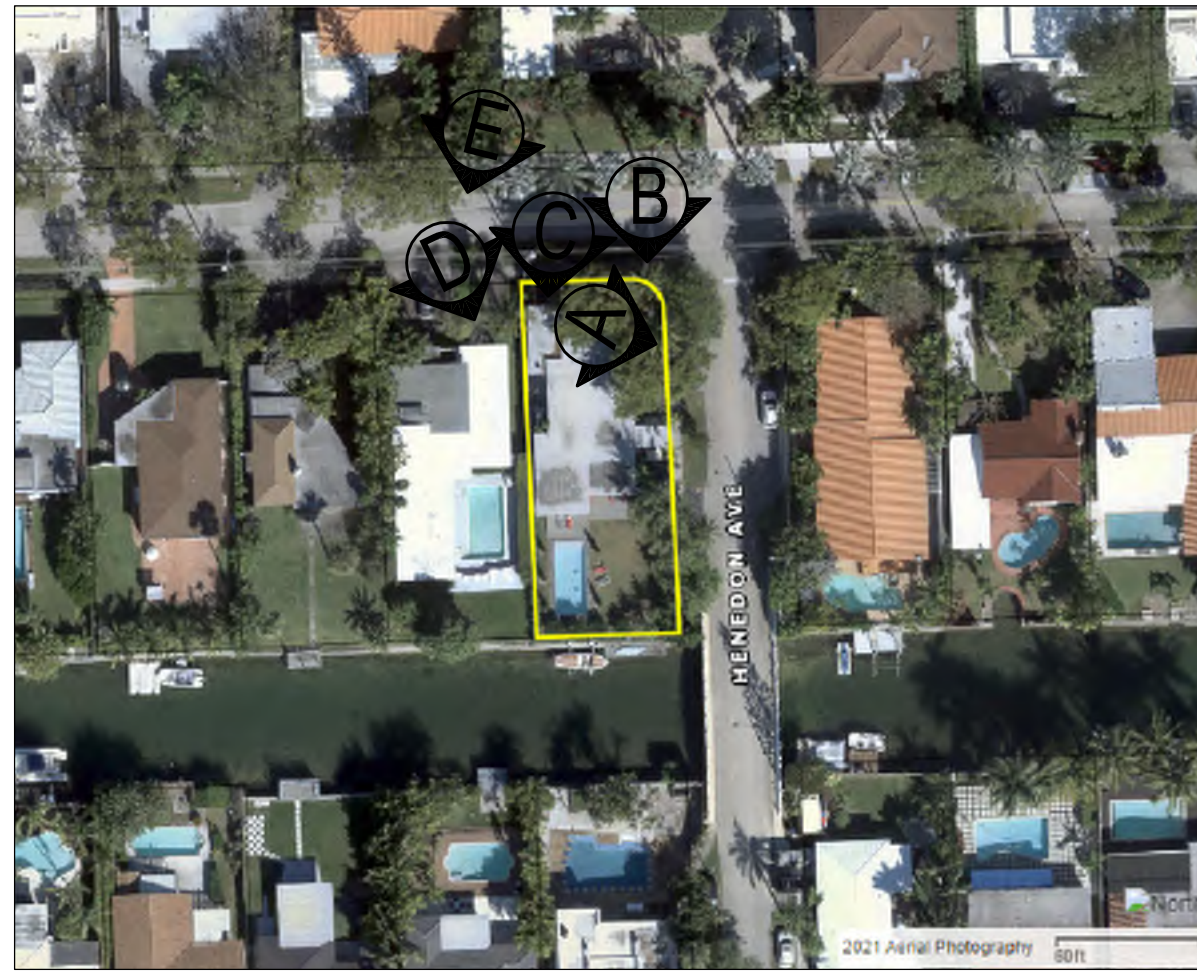
D 1600 CLEVELAND ST VIEWS
SCALE: N.A.



E 1600 CLEVELAND ST VIEWS
SCALE: N.A.



F 1600 CLEVELAND ST VIEWS
SCALE: N.A.



1 1600 CLEVELAND RD
SCALE: N.A.

MIAMI BEACH WATERMARK

CLIENT :

2nd Floor Addition
to Existing Home

1600 Cleveland Road
Miami Beach, FL 33141
Folio: 02-3203-001-0940

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CASTELLANOS DESIGN STUDIO

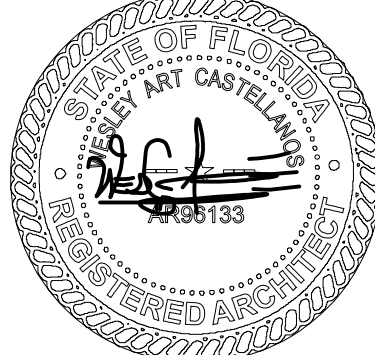
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3	11JUL/22	FINAL SUBMITTAL

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PROJECT NO : 2022-02

**SITE
PHOTOGRAPHS
- EXISTING
BUILDING**

CHECKED BY : WC

DRAWN BY : WC

SCALE:

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SHEET NO :

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A **CANAL VIEWS BACKYARD**
SCALE: N.A.



B **CANAL VIEWS BACKYARD**
SCALE: N.A.



C **CANAL VIEWS BACKYARD**
SCALE: N.A.



D **CANAL VIEWS BACKYARD**
SCALE: N.A.

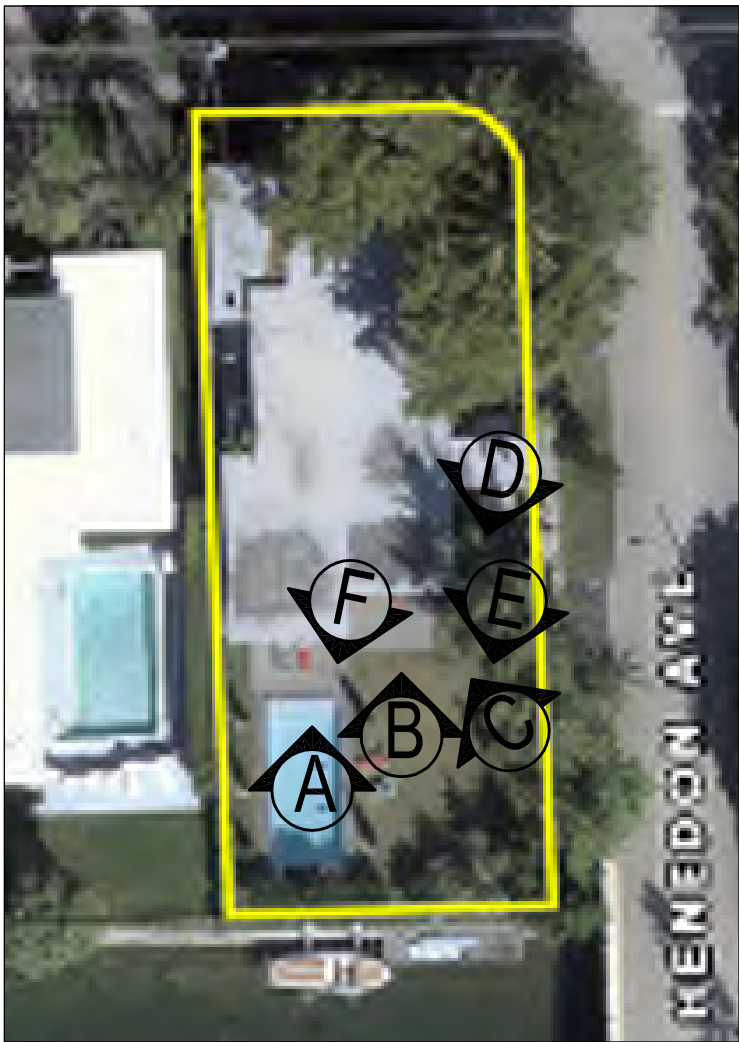


E **CANAL VIEWS BACKYARD**
SCALE: N.A.



F **CANAL VIEWS BACKYARD**
SCALE: N.A.

1 **CANAL VIEWS BACKYARD**
SCALE: N.A.



1600 CLEVELAND RD
SCALE: N.A.

MIAMI BEACH WATERMARK

CLIENT :

**2nd Floor Addition
to Existing Home**

1600 Cleveland Road
Miami Beach, FL 33141
Folio: 02-3203-001-0940

CDS
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FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2022-02

**SITE
PHOTOGRAPHS
- EXISTING
BUILDING**

CHECKED BY : WC

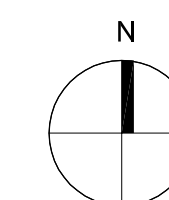
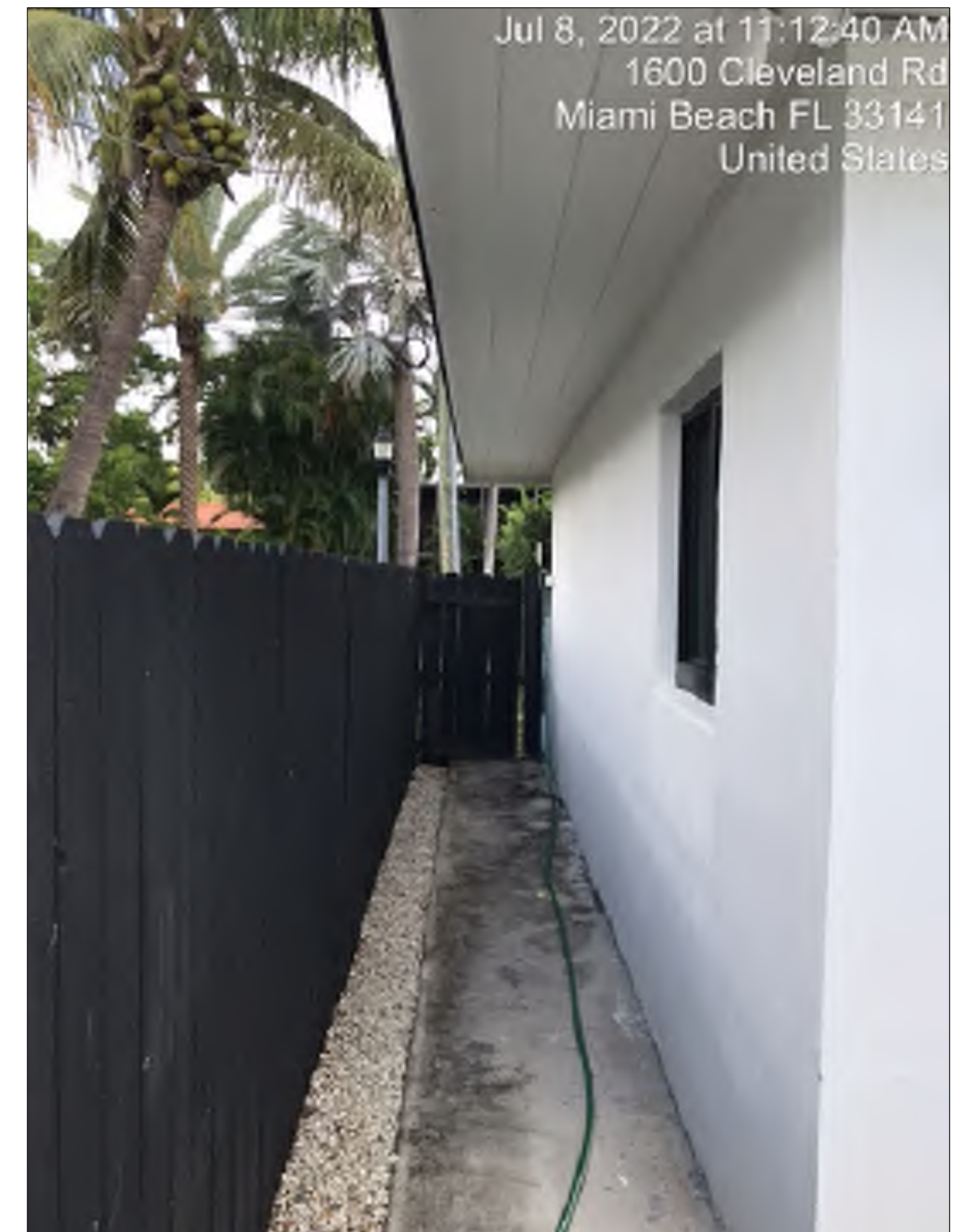
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MIAMI BEACH WATERMARK

CLIENT:

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Folio: 02-3203-001-0940

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FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2022-02

**SITE
PHOTOGRAPHS
- EXISTING
BUILDING**

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SHEET NO :

~~DRAWN BY : WC~~

SCALE:

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GN-4.10

50' Total Right-of-Way
19' PAVEMENT

MIAMI BEACH WATERMARK

CLIENT:

2nd Floor Addition to Existing Home

1600 Cleveland Road
Miami Beach, FL 33141
Folio: 02-3203-001-0940

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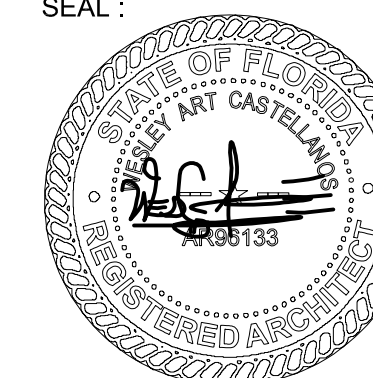
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License #AA 26002467

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3	11JUL/22	FINAL SUBMITTAL

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SEAL



WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2022-02

PROPOSED SITE PLAN & SETBACKS

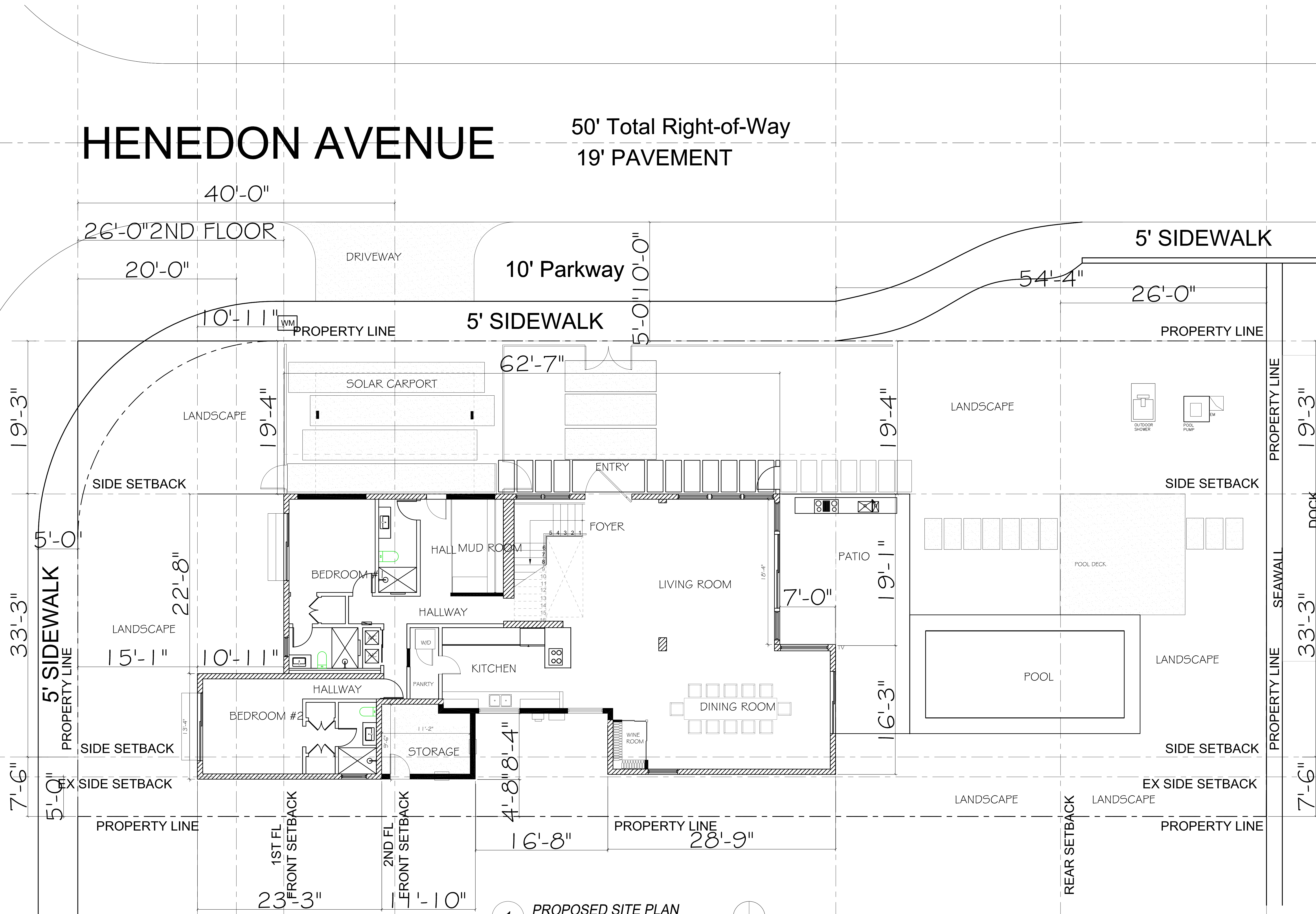
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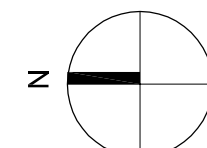
SCALE:

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AS-1



1 PROPOSED SITE PLAN
SCALE: 3/16" = 1'-0"



- PROPOSED REFERENCE NOTES:
- 1 NEW POROUS CONCRETE DRIVEWAY
 - 2 NEW POROUS CONCRETE WALKWAY
 - 3 NEW CARPORT AWNING
 - 4 NEW CONCRETE DECK
 - 5 NEW 5'-0" FENCE

MIAMI BEACH WATERMARK

CLIENT :

2nd Floor Addition
to Existing Home

1600 Cleveland Road
Miami Beach, FL 33141
Folio: 02-3203-001-0940

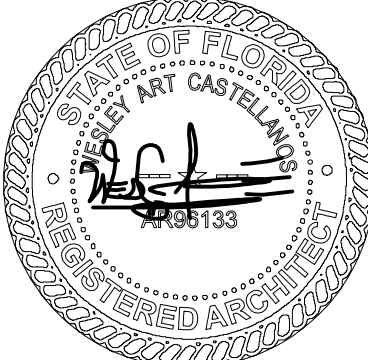
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MIAMI, FL 33138
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SEAL :



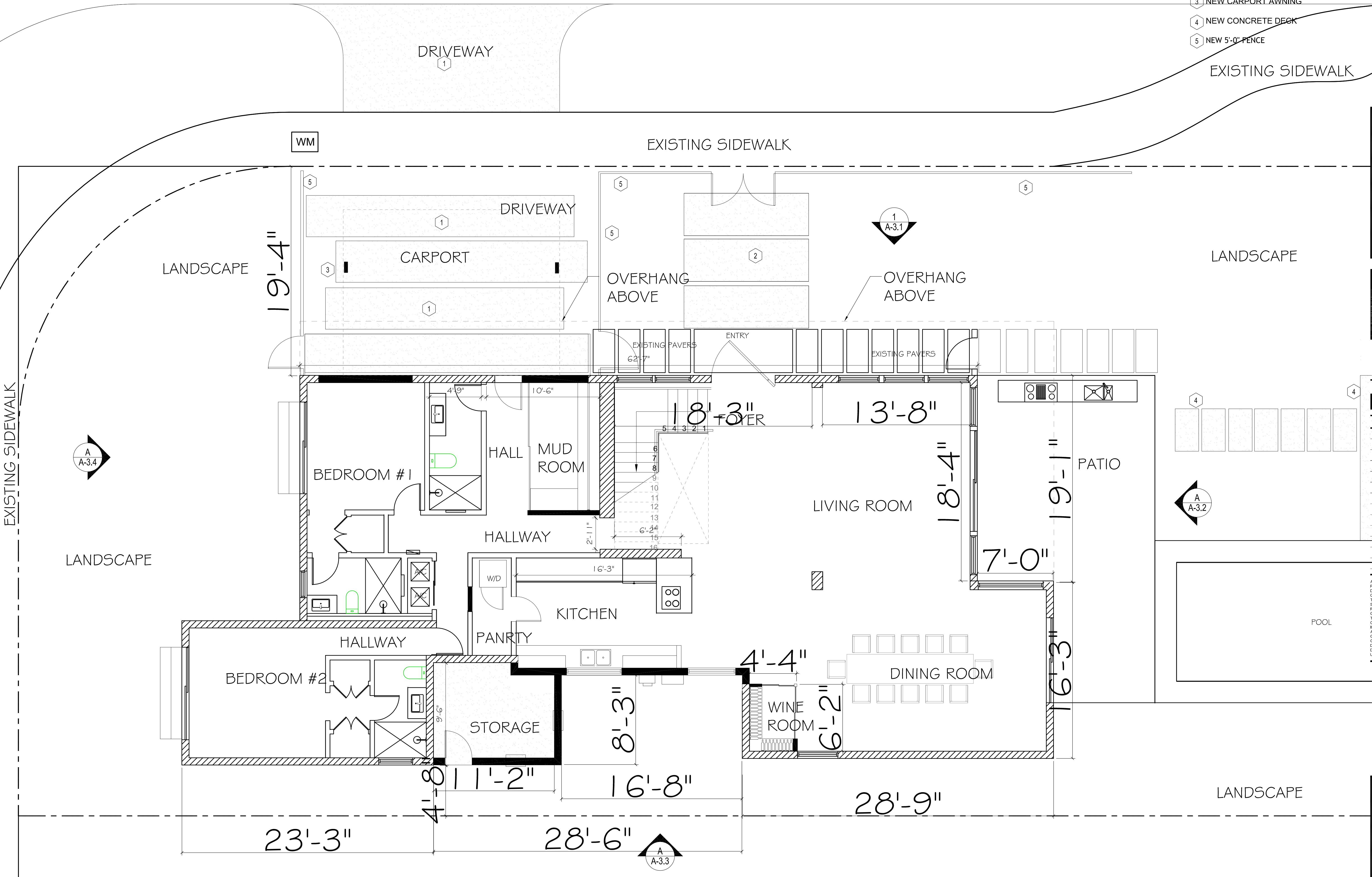
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FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2022-02

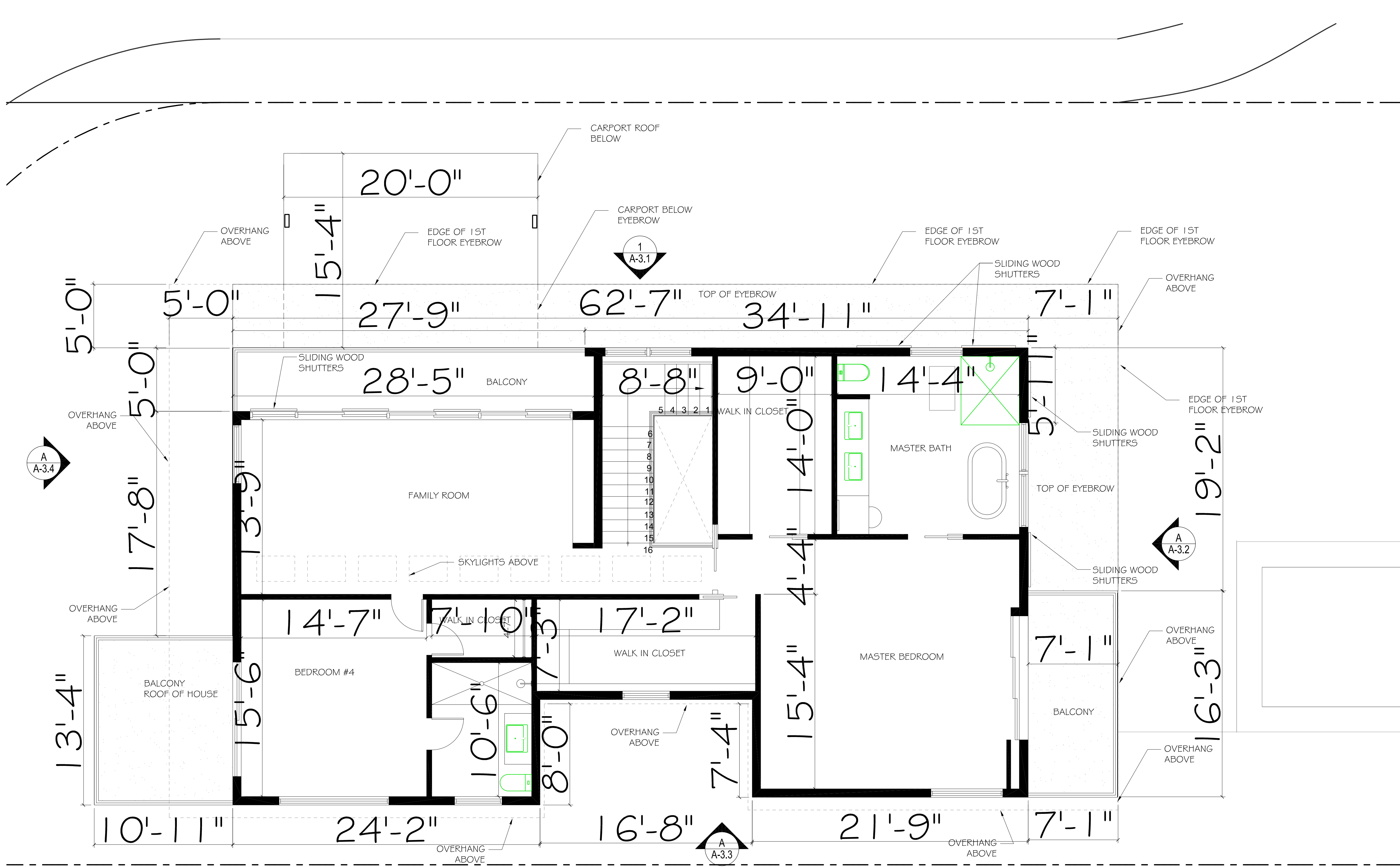
PROPOSED
GROUND
FLOOR PLAN

CHECKED BY : WC
DRAWN BY : WC
SCALE:
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SHEET NO :
A-1.01



1 PROPOSED GROUND FLOOR PLAN
SCALE : 1/4" = 1'-0"



1 **PROPOSED SECOND FLOOR PLAN**
SCALE : 1/4" = 1'-0"

MIAMI BEACH WATERMARK

CLIENT :

2nd Floor Addition
to Existing Home

1600 Cleveland Road
Miami Beach, FL 33141
Folio: 02-3203-001-0940

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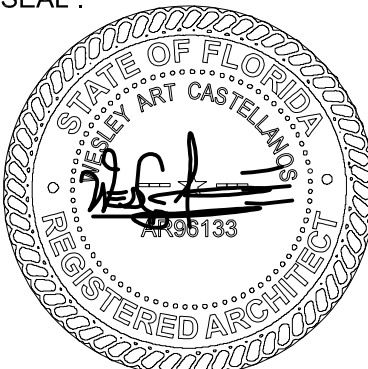
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3	11JUL/22	FINAL SUBMITTAL

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PROJECT NO : 2022-02

**PROPOSED
SECOND
FLOOR PLAN**

CHECKED BY : WC

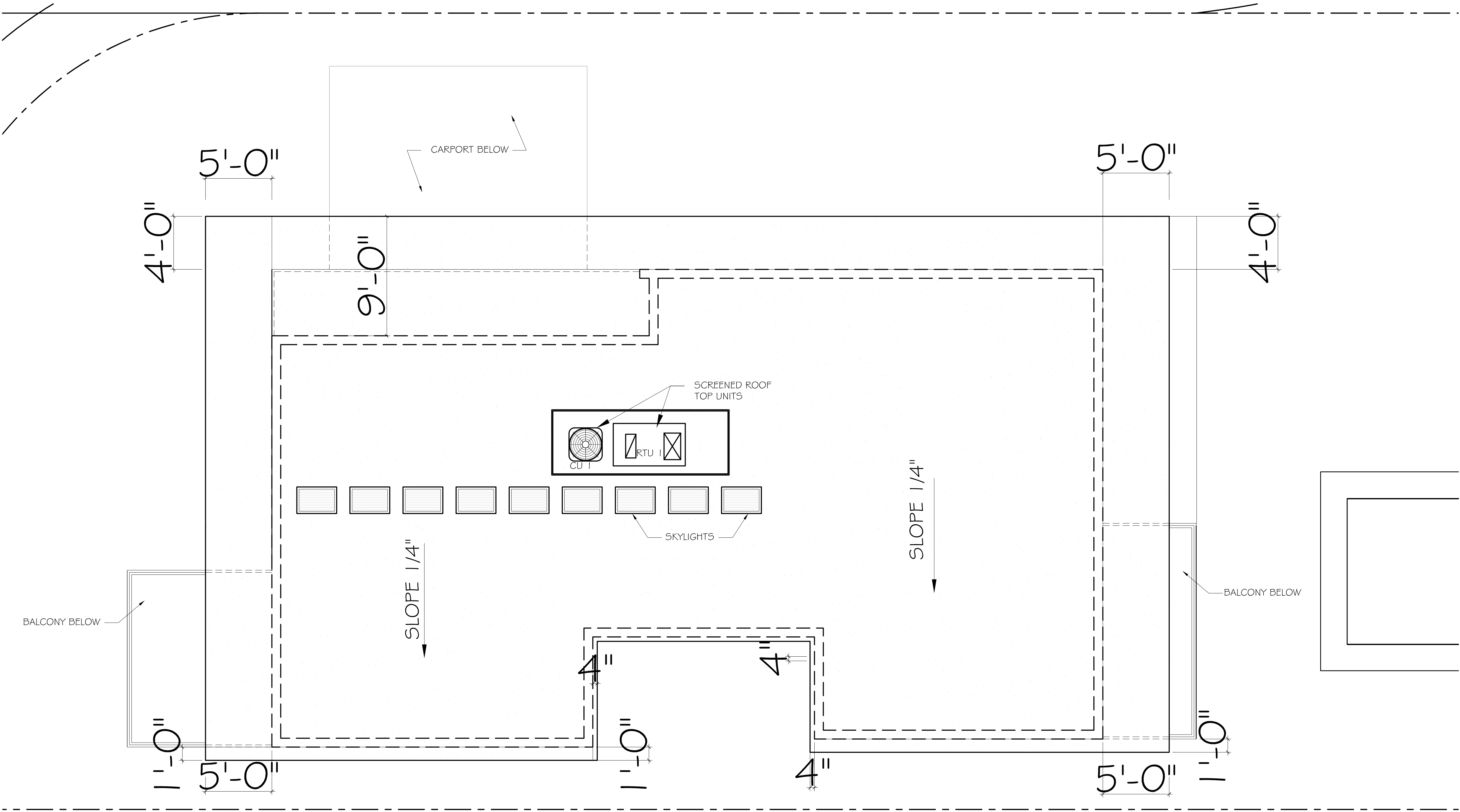
DRAWN BY : WC

SCALE:

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SHEET NO :

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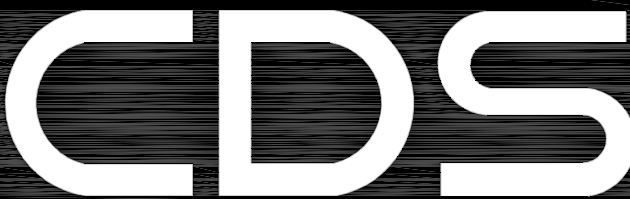
1 **PROPOSED ROOF PLAN**
SCALE : 1/4" = 1'-0"

MIAMI BEACH WATERMARK

CLIENT :

2nd Floor Addition
to Existing Home

1600 Cleveland Road
Miami Beach, FL 33141
Folio: 02-3203-001-0940



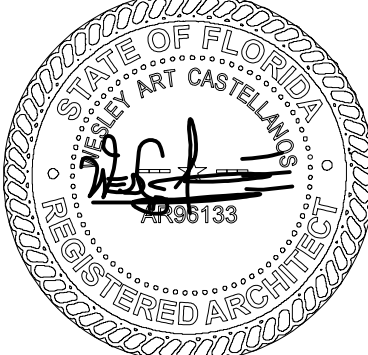
7300 BISCAYNE BLVD., SUITE 200
MIAMI, FL 33138
Tel: 786.218.5335
License #AA 26002467

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No.	DATE	ISSUED / REVISED
1	21JUN/22	BOA APPLICATION
2	01JUL/22	P&Z COMMENTS
3	11JUL/22	FINAL SUBMITTAL

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SEAL :



WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2022-02

PROPOSED
ROOF PLAN

CHECKED BY : WC

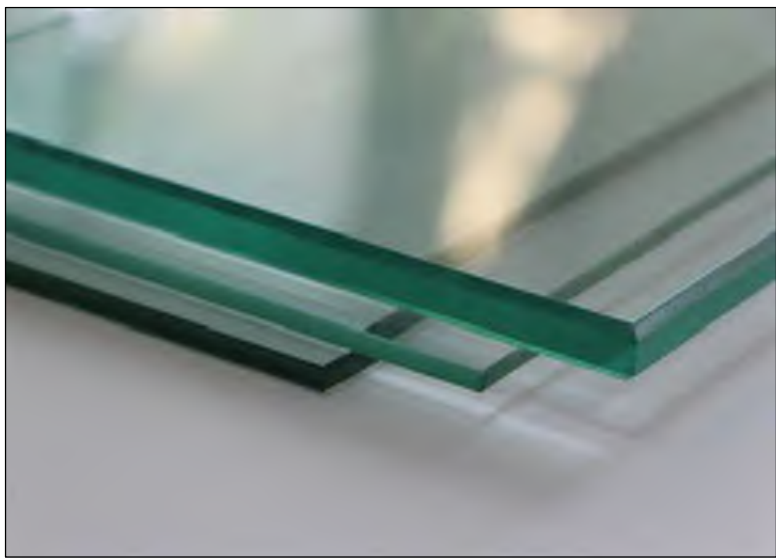
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SCALE:

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SHEET NO :

A-1.03



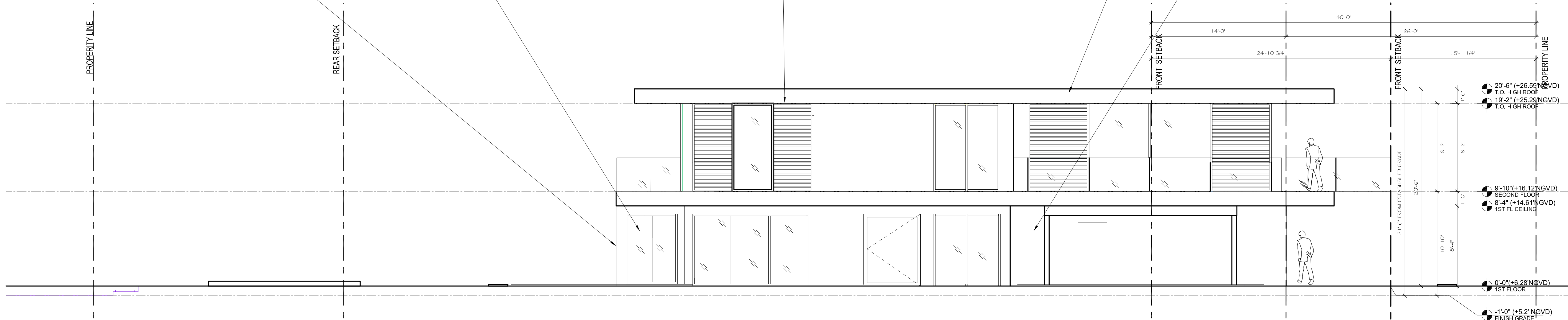
BRONZE ANODIZED
WINDOW & DOOR FRAMES

CLEAR LOW E
GLASS

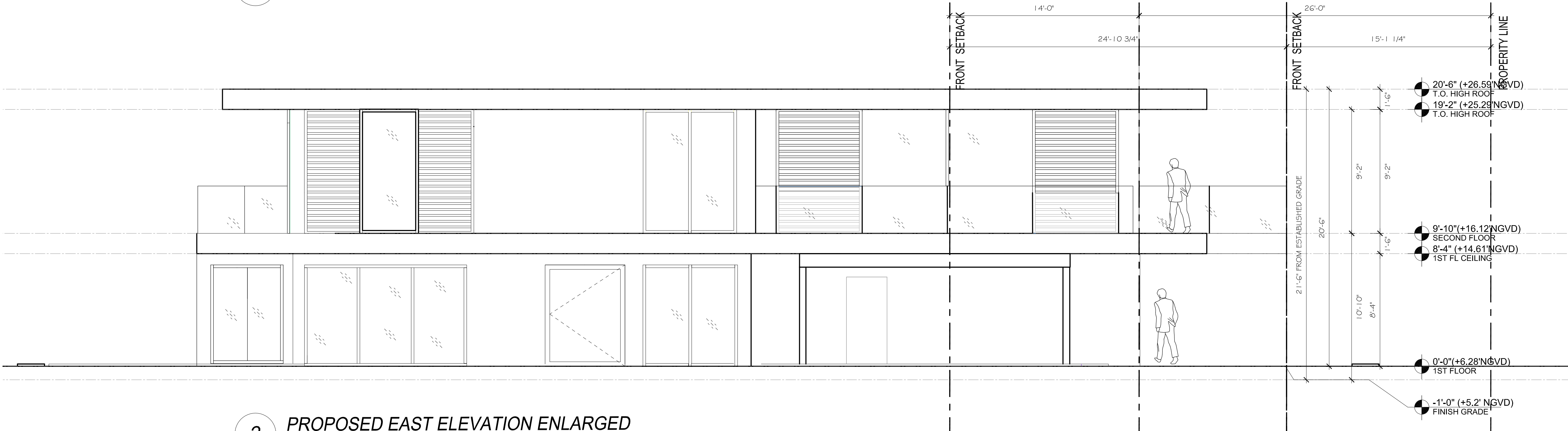
IPE SLIDING SHUTTERS

IPE UNDERSIDE OF OVERHANG
WITH BRONZE ANODIZED FASCIA

STUCCO TRAVERTINE FINISH



2 **PROPOSED EAST ELEVATION**
SCALE : 3/16" = 1'-0"



2 **PROPOSED EAST ELEVATION ENLARGED**
SCALE : 1/4" = 1'-0"

MIAMI BEACH WATERMARK

CLIENT :

**2nd Floor Addition
to Existing Home**

1600 Cleveland Road
Miami Beach, FL 33141
Folio: 02-3203-001-0940

CDS
CASTELLANOS DESIGN STUDIO

7300 BISCAYNE BLVD., SUITE 200
MIAMI, FL 33138
Tel: 786.218.5335
License #AA 26002467

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WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2022-02

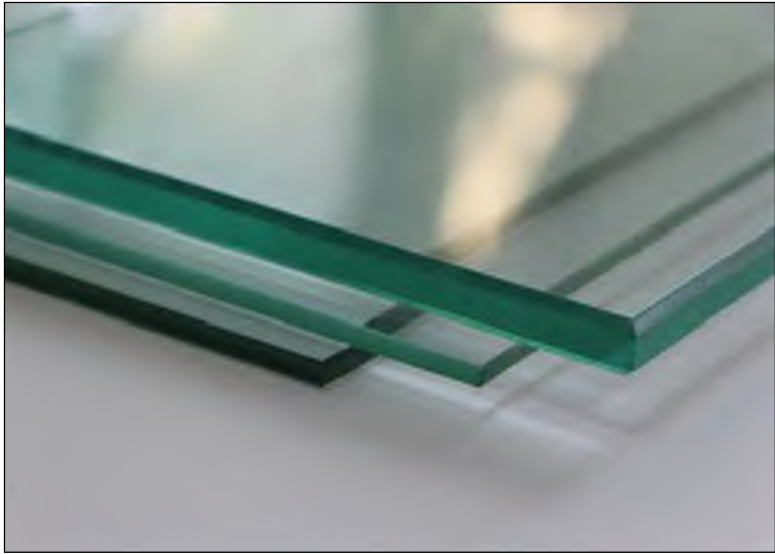
**PROPOSED
EAST
ELEVATION**

CHECKED BY : WC
DRAWN BY : WC
SCALE :
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SHEET NO :
A-3.1



BRONZE ANODIZED WINDOW & DOOR FRAMES



CLEAR LOW E GLASS



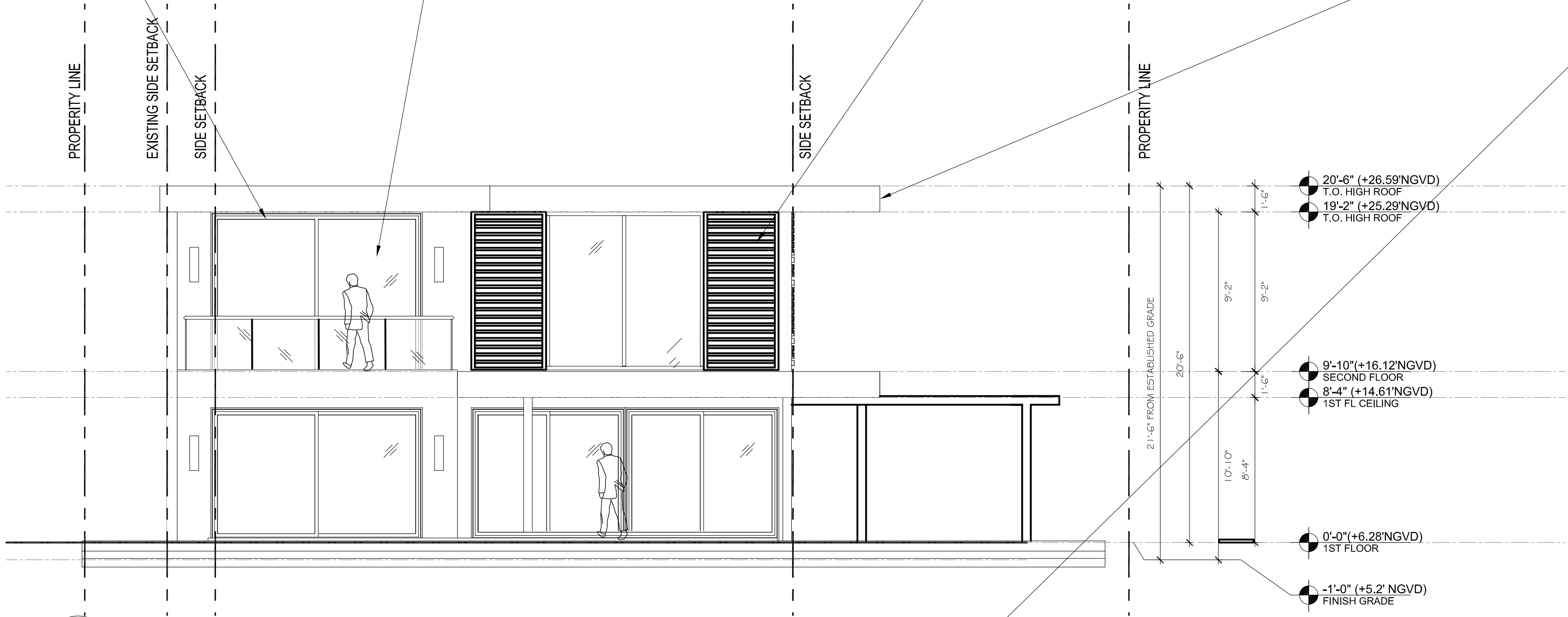
IPE SLIDING SHUTTERS



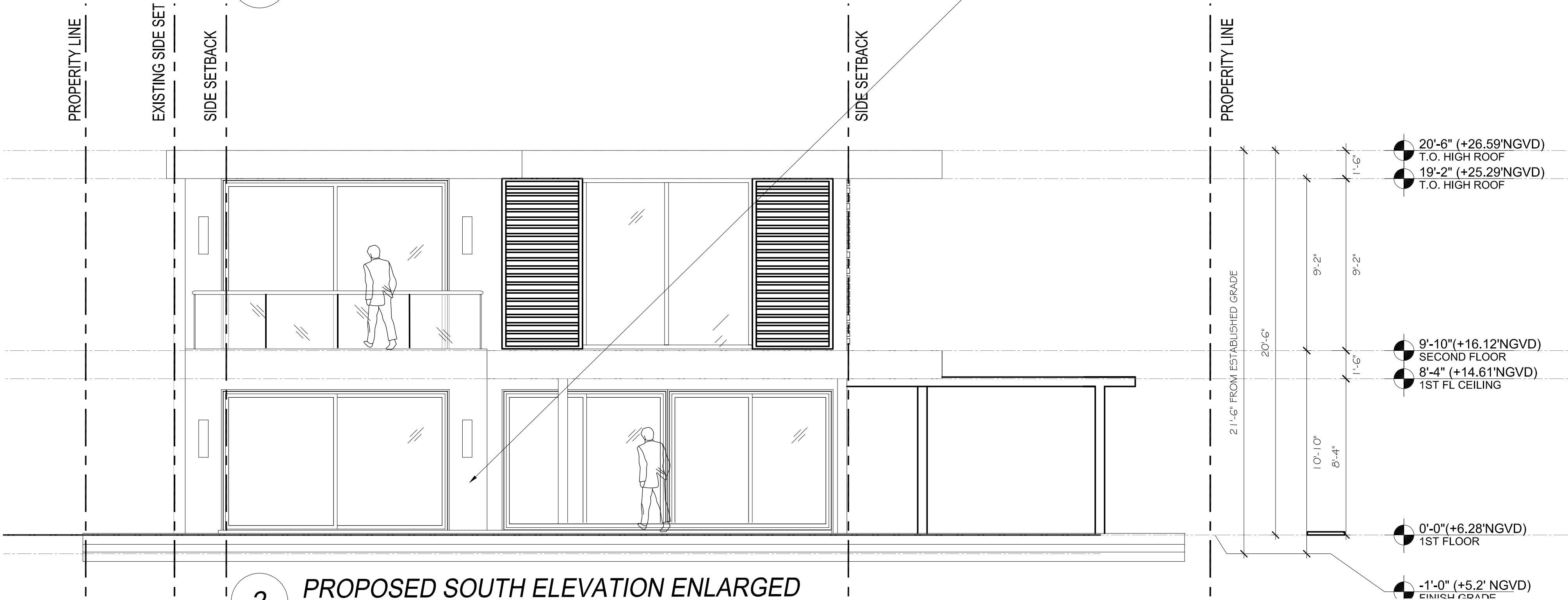
IPE UNDERSIDE OF OVERHANG WITH BRONZE ANODIZED FASCIA



STUCCO TRAVERTINE FINISH



2 PROPOSED SOUTH ELEVATION
SCALE : 3/16" = 1'-0"



2 PROPOSED SOUTH ELEVATION ENLARGED
SCALE : 1/4" = 1'-0"

MIAMI BEACH WATERMARK

CLIENT :

2nd Floor Addition to Existing Home

1600 Cleveland Road
Miami Beach, FL 33141
Folio: 02-3203-001-0940

CDS
CASTELLANOS DESIGN STUDIO

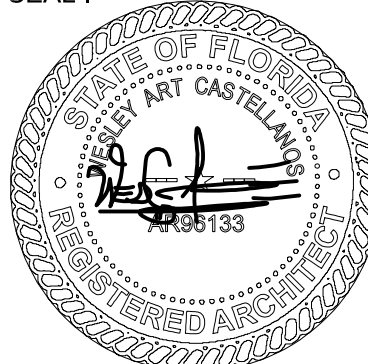
7300 BISCAYNE BLVD., SUITE 200
MIAMI, FL 33138
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License #AA 26002467

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WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2022-02

PROPOSED SOUTH ELEVATION

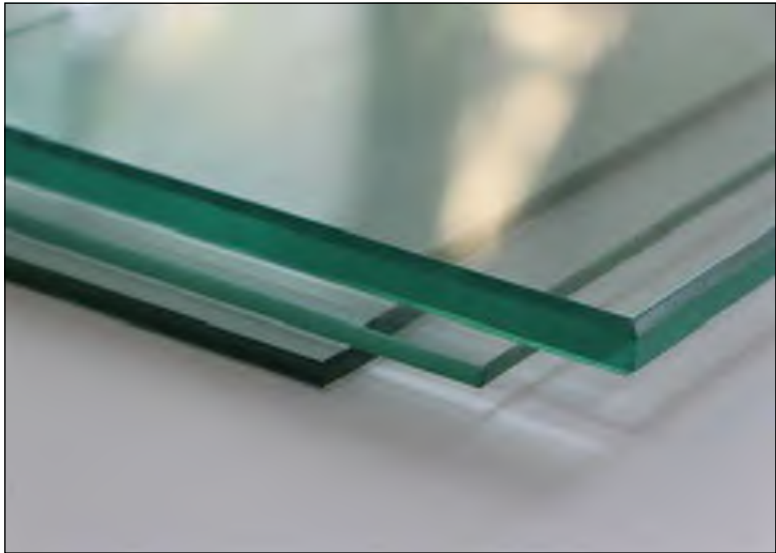
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DRAWN BY : WC
SCALE:
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SHEET NO :

A-3.2



BRONZE ANODIZED WINDOW & DOOR FRAMES



CLEAR LOW E GLASS



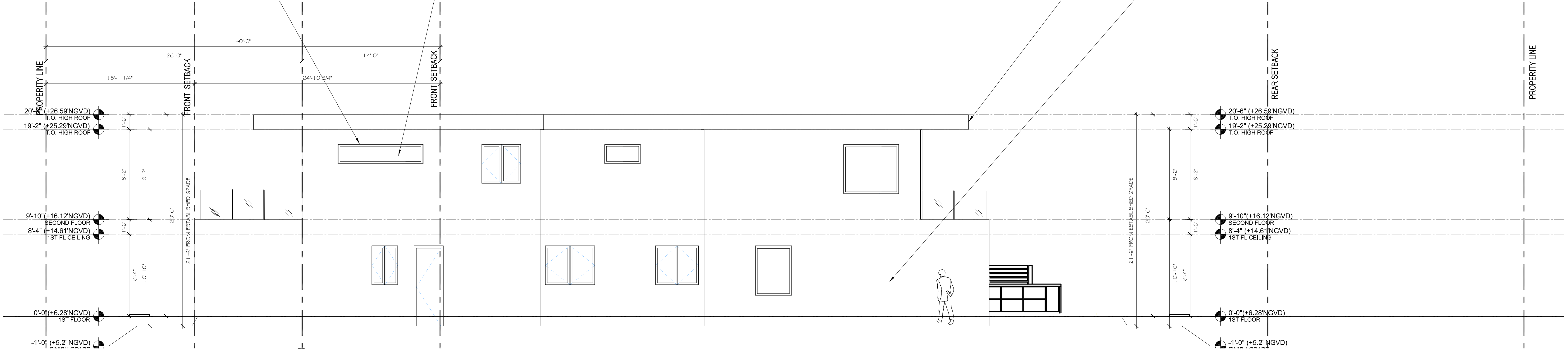
IPE SLIDING SHUTTERS



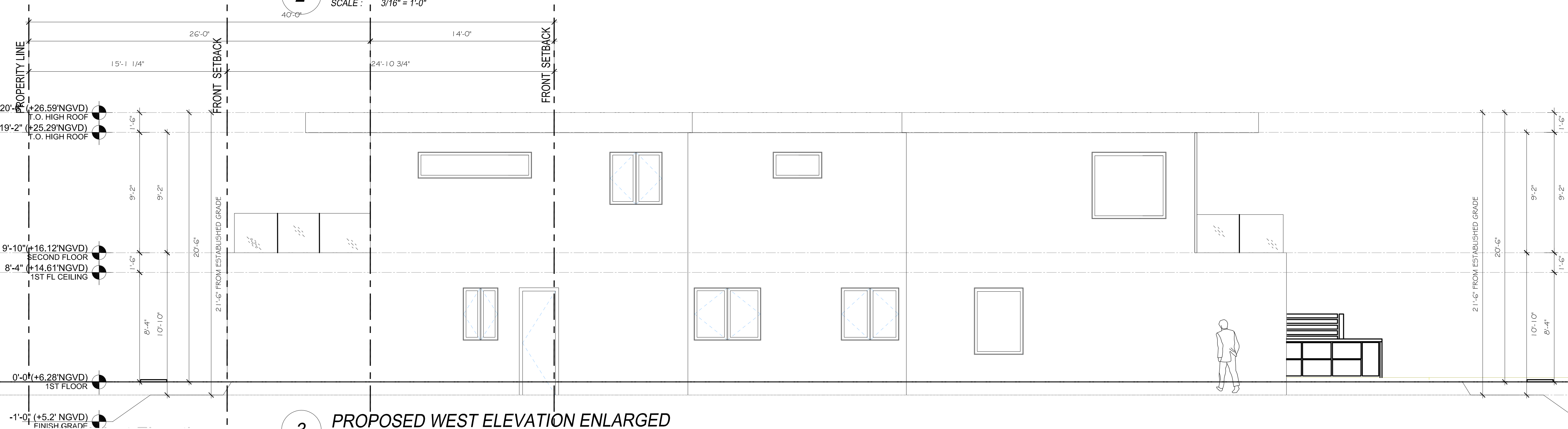
IPE UNDERSIDE OF OVERHANG WITH BRONZE ANODIZED FASCIA



STUCCO TRAVERTINE FINISH



2 PROPOSED WEST ELEVATION
SCALE: 3/16" = 1'-0"



3 PROPOSED WEST ELEVATION ENLARGED
SCALE: 1/4" = 1'-0"

MIAMI BEACH WATERMARK

CLIENT :

2nd Floor Addition
to Existing Home

1600 Cleveland Road
Miami Beach, FL 33141
Folio: 02-3203-001-0940

CDS
CASTELLANOS DESIGN STUDIO

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Tel: 786.218.5335
License #AA 26002467

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WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2022-02

PROPOSED
WEST
ELEVATION

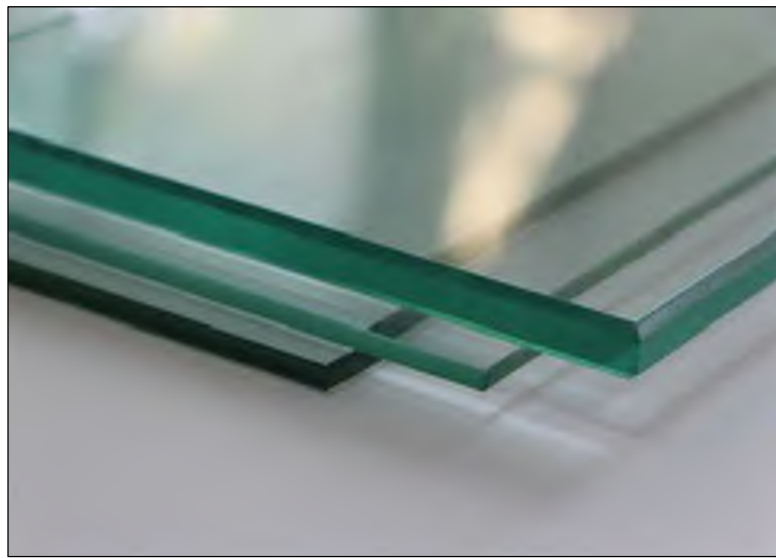
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SCALE:
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SHEET NO :

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BRONZE ANODIZED
WINDOW & DOOR FRAMES



CLEAR LOW E
GLASS



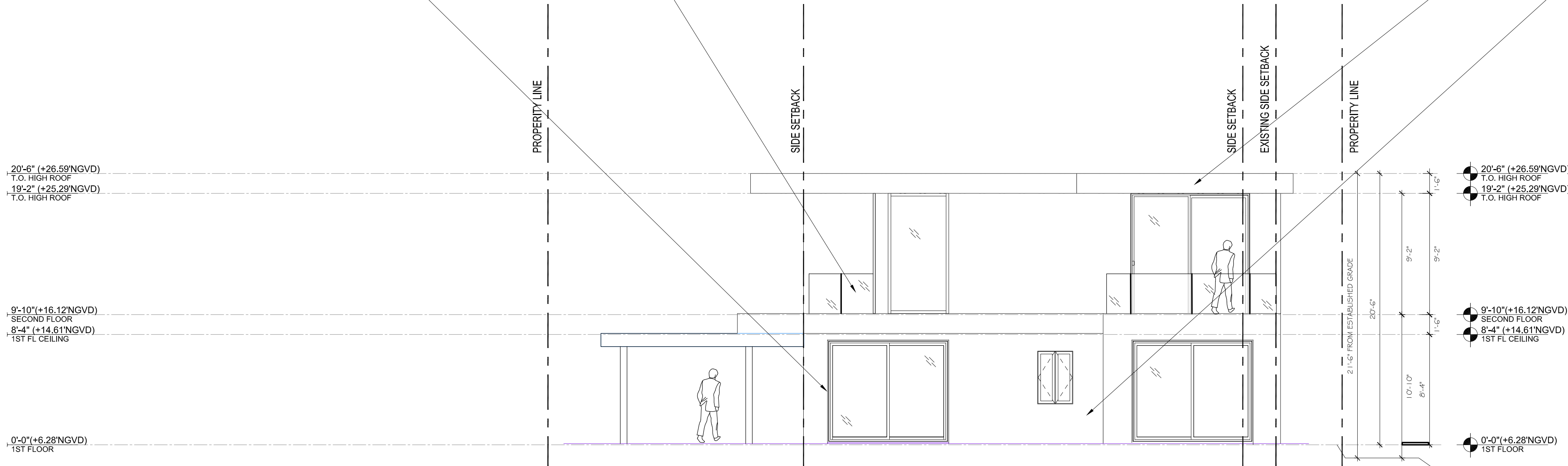
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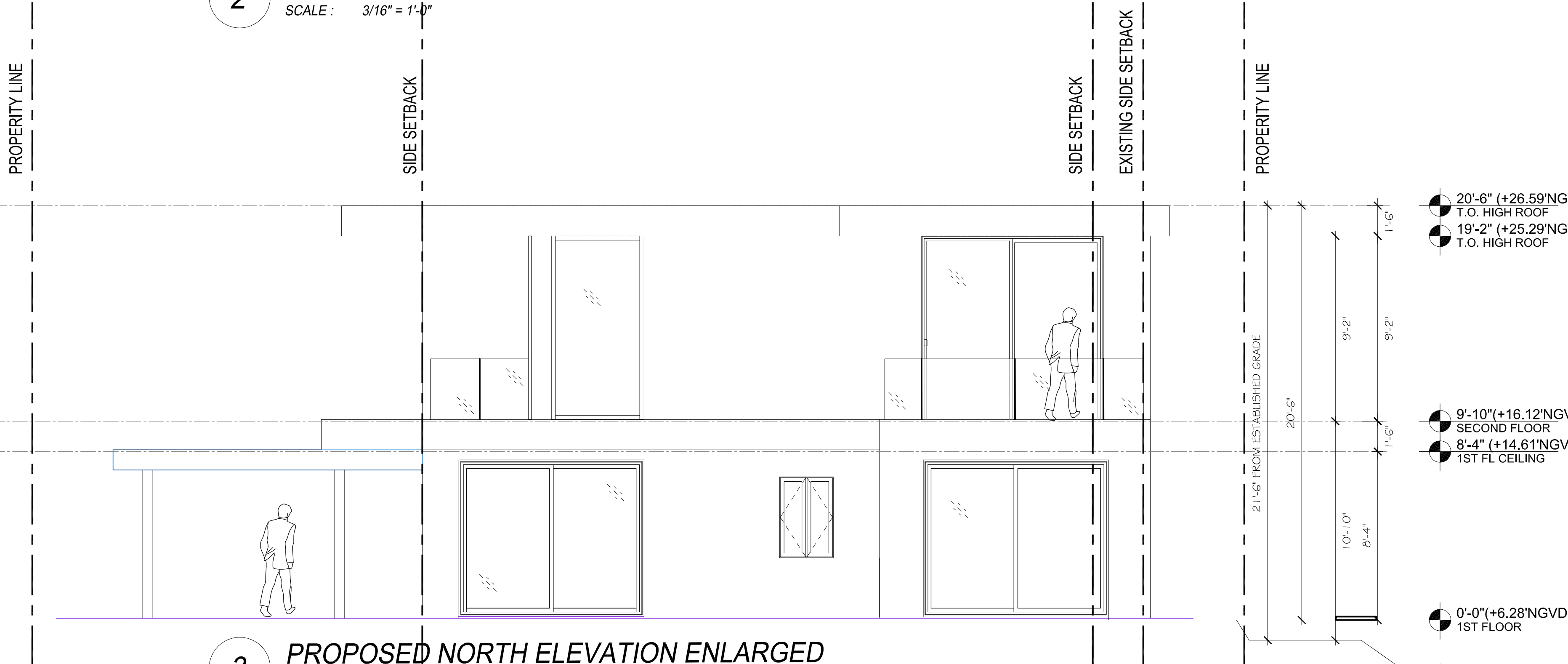
IPE UNDERSIDE OF OVERHANG
WITH BRONZE ANODIZED FASCIA



STUCCO TRAVERTINE FINISH



2 **PROPOSED NORTH ELEVATION**
SCALE : 3/16" = 1'-0"



3 **PROPOSED NORTH ELEVATION ENLARGED**
SCALE : 1/4" = 1'-0"

MIAMI BEACH WATERMARK

CLIENT :

2nd Floor Addition to Existing Home

1600 Cleveland Road
Miami Beach, FL 33141
Folio: 02-3203-001-0940

CDS
CASTELLANOS DESIGN STUDIO

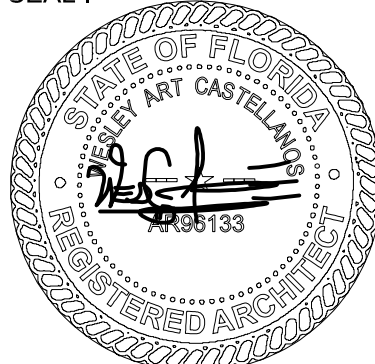
7300 BISCAYNE BLVD., SUITE 200
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License #AA 26002467

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No.	DATE	ISSUED / REVISED
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2	01JUL/22	P&Z COMMENTS
3	11JUL/22	FINAL SUBMITTAL

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FLORIDA ARCHITECT LICENSE AR 96133

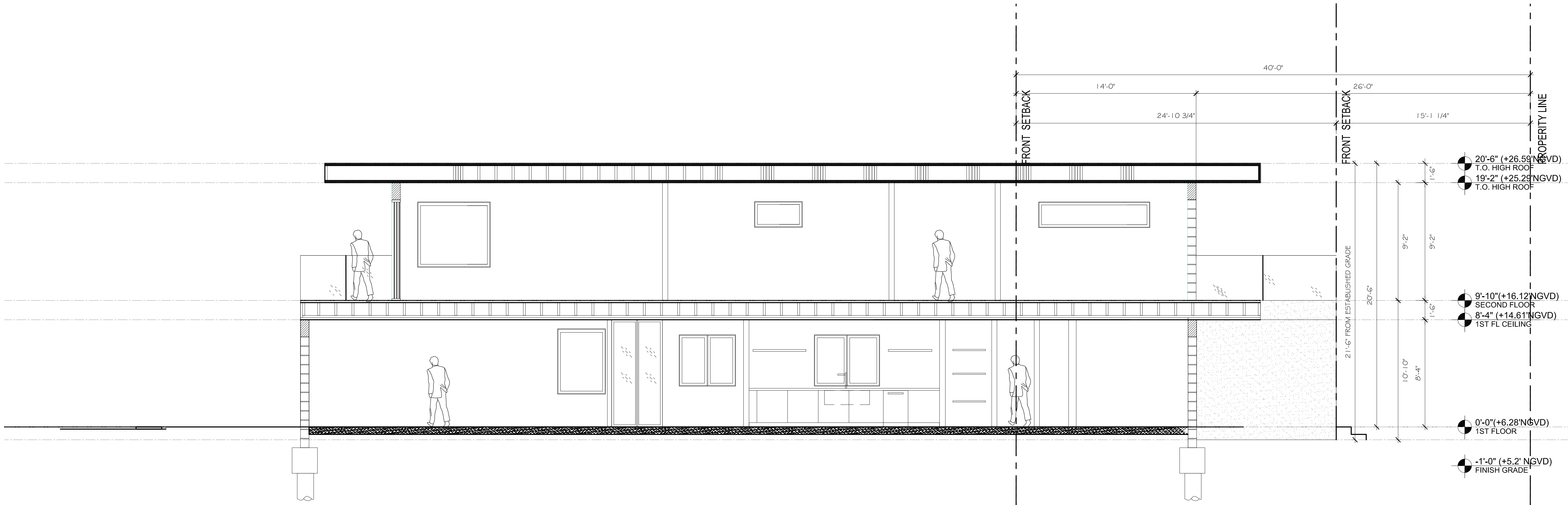
PROJECT NO : 2022-02

PROPOSED NORTH ELEVATION

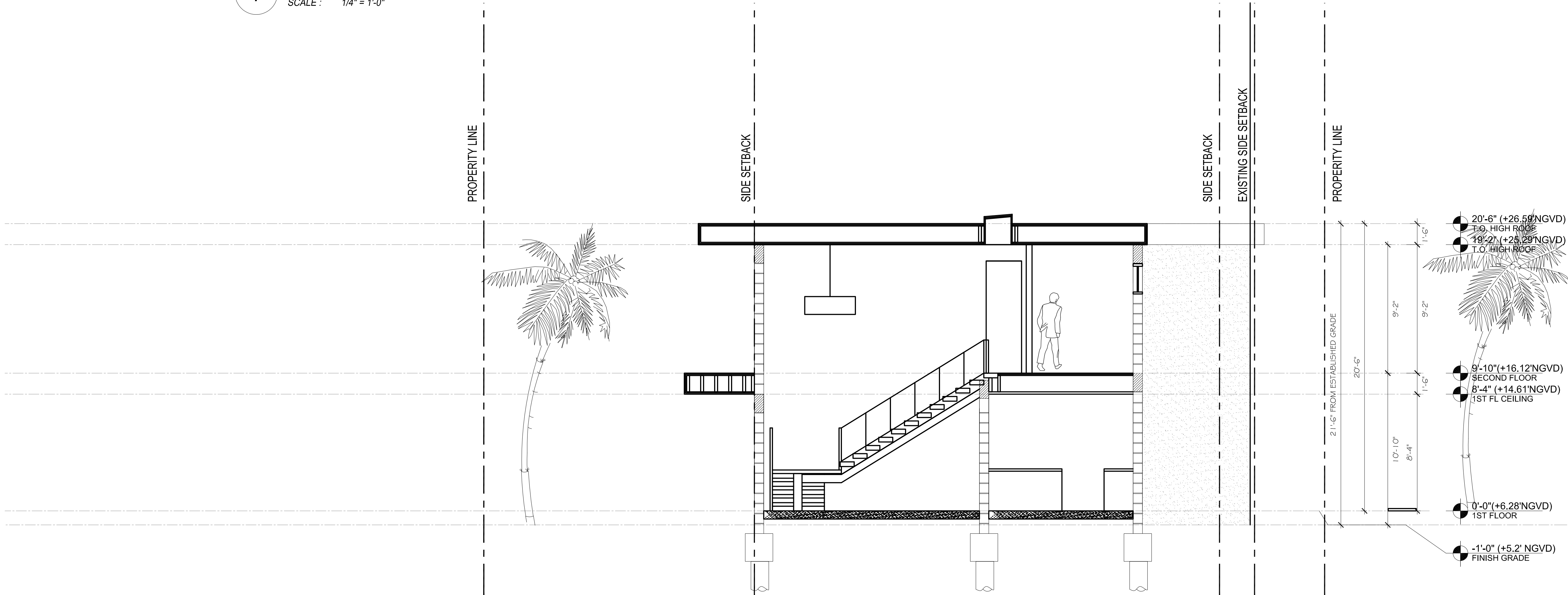
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SCALE:
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SHEET NO :

A-3.4



1 SECTION 1
SCALE: 1/4" = 1'-0"



2 SECTION 2
SCALE: 1/4" = 1'-0"

MIAMI BEACH WATERMARK

CLIENT :

2nd Floor Addition to Existing Home

1600 Cleveland Road
Miami Beach, FL 33141
Folio: 02-3203-001-0940

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CASTELLANOS DESIGN STUDIO

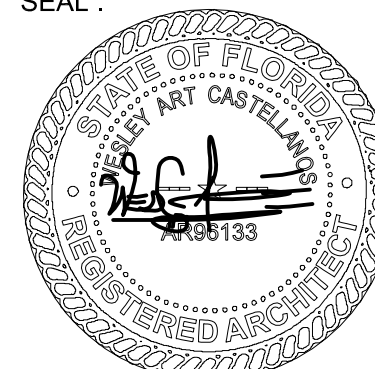
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3	11JUL/22	FINAL SUBMITTAL

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SEAL :



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FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2022-02

PROPOSED SECTIONS

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A-4.0



MIAMI BEACH WATERMARK

CLIENT :

2nd Floor Addition
to Existing Home

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Folio: 02-3203-001-0940

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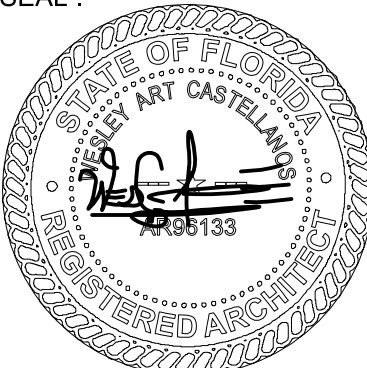
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3	11JUL/22	FINAL SUBMITTAL

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SEAL :



WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2022-02

CONCEPTUAL
RENDERING

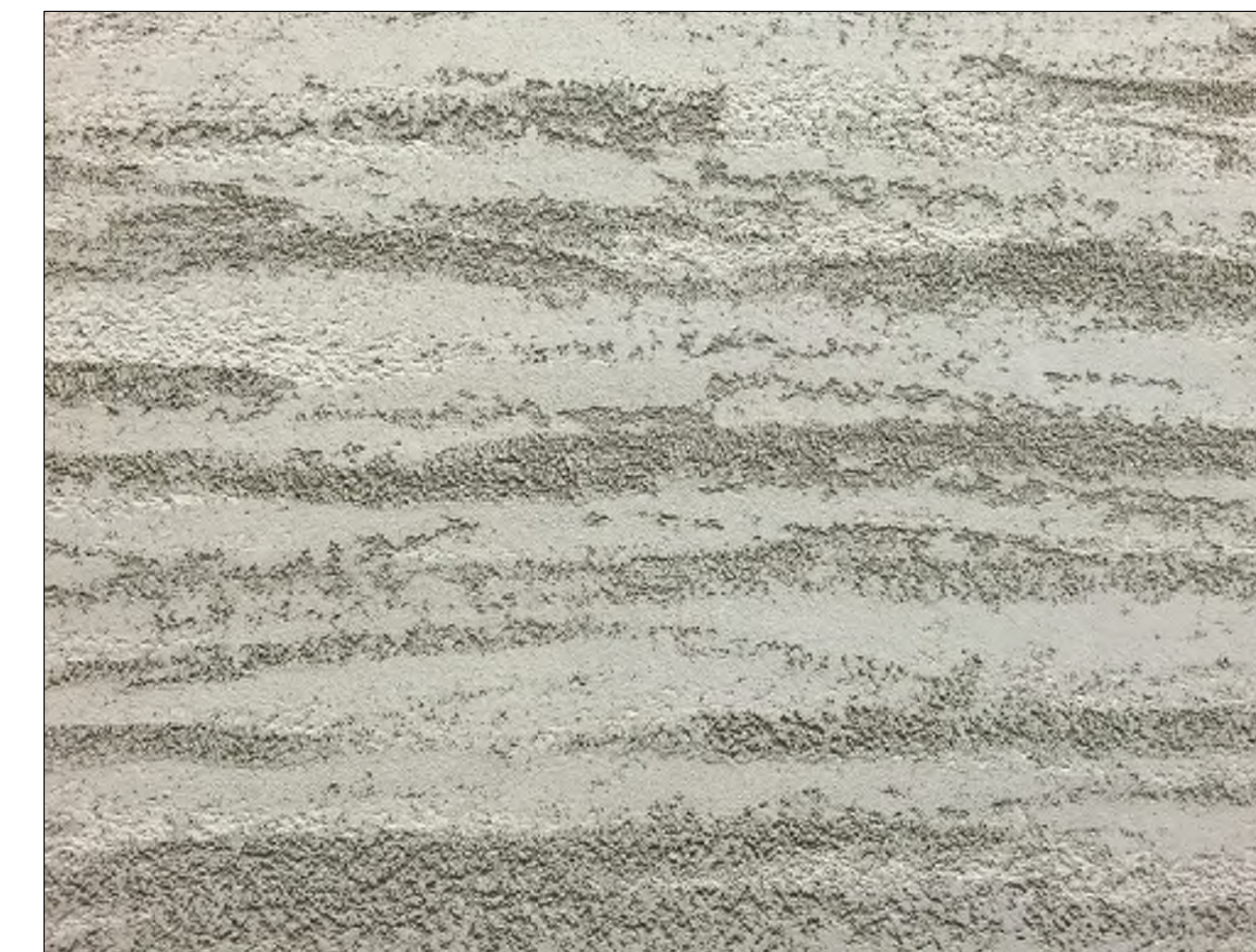
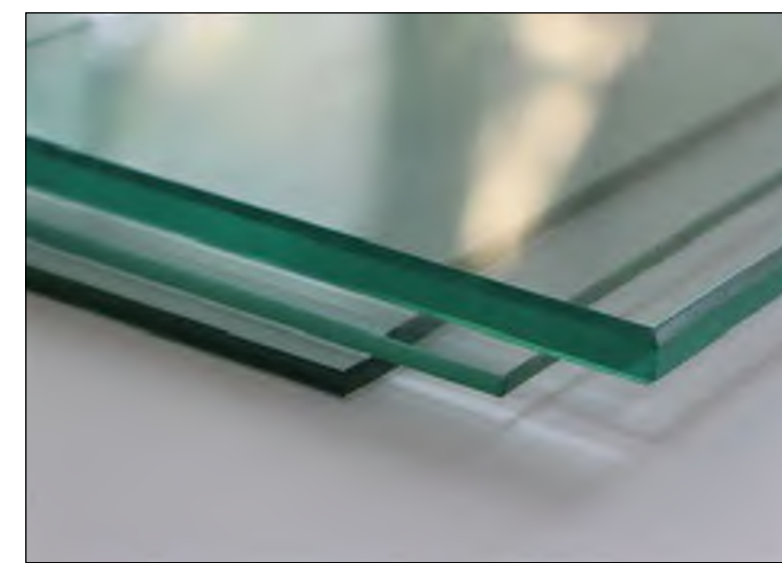
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MIAMI BEACH WATERMARK

CLIENT:

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MIAMI, FL 33138
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THIS CONTRACT AND SUCH OTHER DOCUMENTS AS MAY INDICATE THE GENERAL SCOPE OF WORK, AND SUCH, DO NOT NECESSARILY DESCRIBE ALL WORK REQUIRED FOR THE FULL PERFORMANCE AND COMPLETION OF THE WORK. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROPER COMPLETION OF ITS WORK, WITHOUT ADJUSTMENT TO THE CONTRACT AMOUNT, UNLESS SUCH WORK CHANGES FROM THAT ANTICIPATED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL RECORDS AMONG THE CONTRACT DOCUMENTS, THAT DOCUMENT PLACING THE GREATEST BURDEN UPON GENERAL CONTRACTOR SHALL GOVERN. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, DRAWINGS, REPORTING ANY ERROR, INCONSISTENCY OR OMISSION HE MAY OBSERVE AND REPORT TO CDS AND IN NO CASE SHALL PROCEED IN ANY MANNER WITHOUT THE WRITTEN APPROVAL OF CDS.

SEAL



WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2022-02

MATERIAL AND FINISH SELECTIONS

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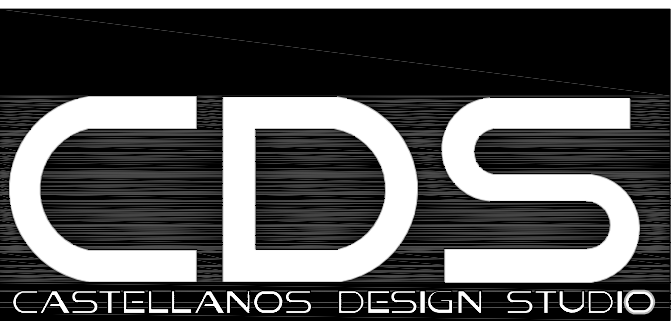
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MIAMI BEACH WATERMARK

CLIENT :

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THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INFORMATION INDICATED ON THE DRAWINGS, IN THE EVENT OF A CONFLICT WITHIN OR AMONG THE CONTRACT DOCUMENTS, THAT DOCUMENT PLACING THE GREATEST DEMAND ON THE CONTRACTOR SHALL PREVAIL.

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SEAL : _____



WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2022-02

BACK COVERSHEET

CHECKED BY : WC	SHEET NO : <div style="font-size: 2em; text-align: center;">X-X</div>
DRAWN BY : WC	
SCALE:	
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BACK COVER SHEET - LEFT INTENTIONALLY BLANK