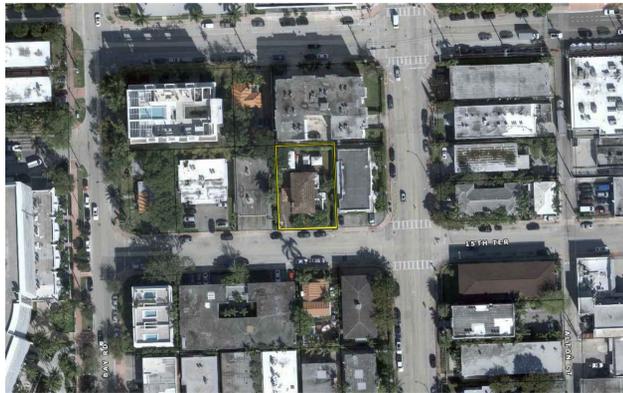


NOTE:
SURVEY PROVIDED FOR REFERENCE AND INFORMATIONAL PURPOSES ONLY. A SIGNED & SEAL VERSION FROM THE PROFESSIONAL SURVEYOR SHALL BE MADE AVAILABLE UPON REQUEST.



LOCATION
SCALE N.T.S



STREET VIEW 15 TER
SCALE N.T.S



STREET VIEW 15 TER
SCALE N.T.S



DRIVEWAY EXISTING
SCALE N.T.S



SIDEYARD EXISTING
SCALE N.T.S



BUILDING EXISTING
SCALE N.T.S



BUILDING EXISTING
SCALE N.T.S



BUILDING EXISTING
SCALE N.T.S



REAR YARD EXISTING
SCALE N.T.S



LIVING EXISTING
SCALE N.T.S



LIVING EXISTING
SCALE N.T.S



STUDIO EXISTING
SCALE N.T.S



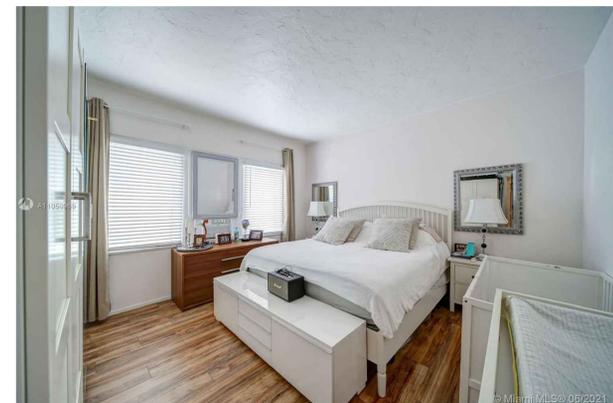
BATHROOM & BEDROOM EXISTING
SCALE N.T.S



STUDIO EXISTING
SCALE N.T.S



STUDIO EXISTING
SCALE N.T.S



BEDROOM EXISTING
SCALE N.T.S

DRAWN BY:
REVISIONS:

AAG003669
ANTHONY LEON
0016752

3 DESIGN
ARCHITECTURE

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SCALE

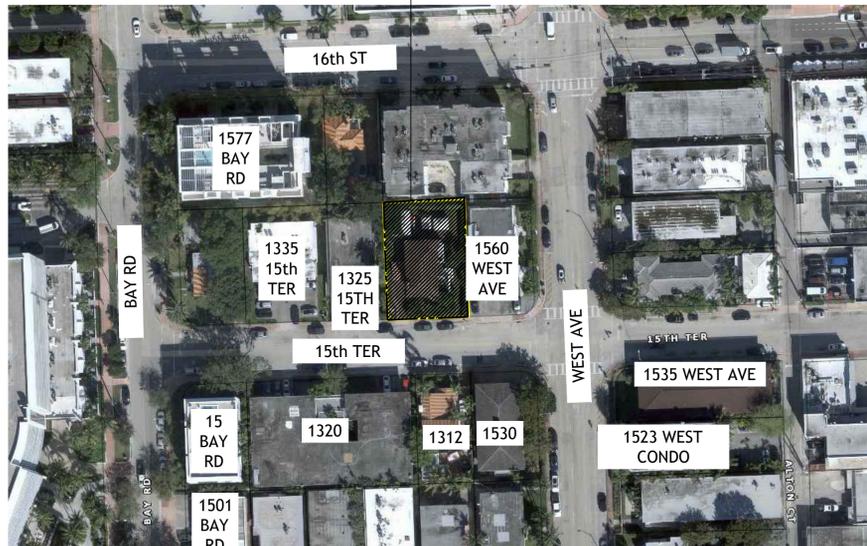
MULTI-FAMILY UNITS
1311 15th TER
MIAMI BEACH, FL 33139

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A-0.2

BUILDING EXISTING

AREA OF WORK
1311 15th TER



 LOCATION
SCALE N.T.S



1312 15 TER
SCALE N.T.S



1320 15 TER
SCALE N.T.S



1320 TER
SCALE N.T.S



1325 15 TER
SCALE N.T.S



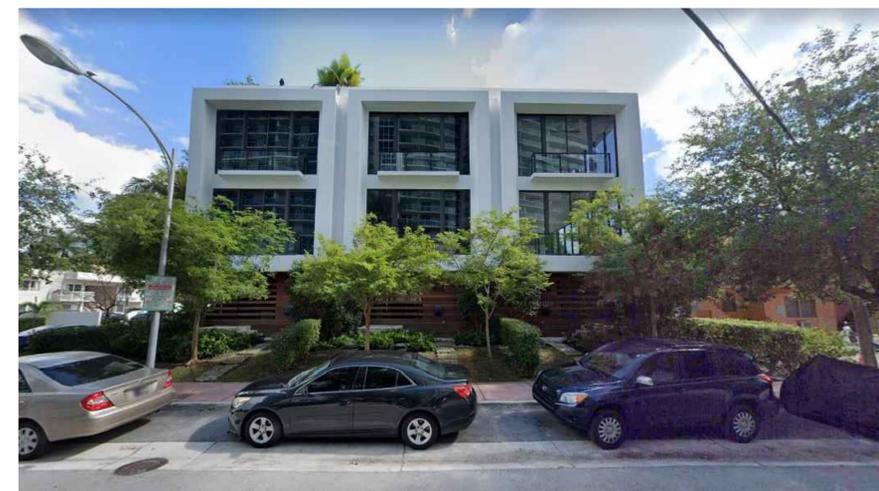
1335 15 TER
SCALE N.T.S



Google
1530 WEST AVE
SCALE N.T.S



1341 15 TER
SCALE N.T.S



15 BAY RD
SCALE N.T.S

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REVISIONS:

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SCALE

MULTI-FAMILY UNITS
1311 15th TER
MIAMI BEACH, FL 33139

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A-0.4
CONTEXT PICTURES

AREA OF WORK
1311 15th TER



 **LOCATION**
SCALE N.T.S



1501 BAY RD
SCALE N.T.S



1335 15 TER
SCALE N.T.S



1560 WEST AVE
SCALE N.T.S



1577 BAY RD
SCALE N.T.S



1501 BAY RD
SCALE N.T.S



1445 WEST AVE
SCALE N.T.S



1535 WEST AVE
SCALE N.T.S

DRAWN BY:
REVISIONS:

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SCALE

MULTI-FAMILY UNITS
1311 15th TER
MIAMI BEACH, FL 33139

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A-0.5
CONTEXT PICTURES



LOCATION MAP / AERIAL VIEW
SCALE N.T.S.

MIAMI BEACH

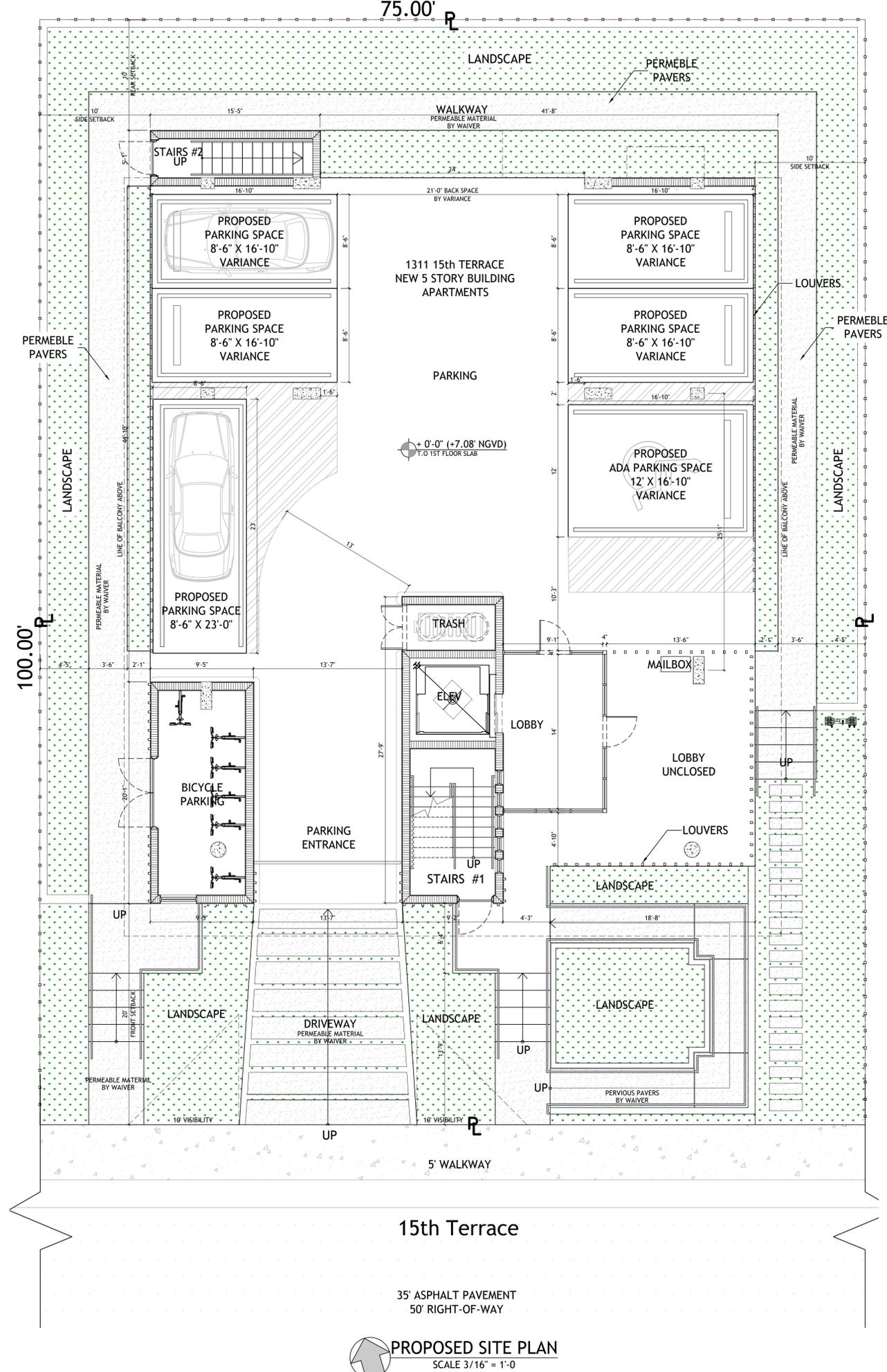
PLANNING DEPARTMENT 1700 CONVENTION CENTER DR
MIAMI BEACH, FLORIDA 33139, WWW.MIAMIBEACHFL.GOV
305.673.7550

ITEM #	PROJECT INFORMATION	REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
1	ADDRESS:	1311 15th TER, MIAMI BEACH, FL 33139			
2	FOLIO NUMBER:	02-3233-016-0050			
3	BOARD AND FILE NUMBER:				
4	YEAR BUILT:	N/A	ZONING DISTRICT:	RM-1	
5	BASE FLOOD ELEVATION:	8'	GRADE VALUE IN NGVD:	4.17' NGVD	
6	ADJUSTED GRADE (FLOOD+GRADE/2):	5.62' NGVD	FREE BOARD:	1'	
7	LOT AREA:	7,500 SQ FT			
8	LOT WIDTH:	75'			
9	MINIMUM UNIT SIZE:	550 SQ FT			
9	EXISTING USE:	30 - MULTI-FAMILY, LOW-DENSITY			
9	EXISTING USE:	PROPOSE USE: 0803 MULTIFAMILY 2-9 UNITS : MULTIFAMILY 3 OR MORE UNITS. SEC 142-152 (3)			
10	MAX LOT COVERAGE FT 45 %:	3,375 SF (45%)		3,205.73 S.F. (42.74%)	
11	HEIGHT	55'	+25'-0"	+52.7'	
12	# OF STORIES		2 STORIES	5 STORIES	
13	FAR	(1.25) 9,375 SQ FT	N/A	9,162.33 SQ FT	
14	GROSS SQUARE FOOTAGE		3,216 SQ FT	17,897.46 SQ FT	
15	SQUARE FOOTAGE BY USE	N/A	N/A		
16	# OF UNITS RESIDENTIAL	LOW DENSITY	7	6	
17	# OF UNITS HOTEL	N/A			
18	# OF SEATS	N/A			
19	OCCUPANCY LOAD			R-1	
20					
SUBTERRANEAN					
21	FRONT SETBACK	20 FT		N/A	
22	SIDE SETBACK	10 FT		N/A	
23	SIDE SETBACK	10 FT		N/A	
24	SITE SETBACK FACING STREET	10 FT		N/A	
25	REAR SETBACK	10% = 10%		N/A	
26	AT GRADE PARKING				
27	FRONT SETBACK	20 FT		20.00'	
28	SIDE SETBACK	10 FT		10.00'	
29	SIDE SETBACK	10 FT		10.00'	
30	SITE SETBACK FACING STREET	10 FT or 8%			
31	REAR SETBACK	10%=10 ft		10.00'	
32	FRONT SETBACK	20 FT		20.00'	
33	SIDE SETBACK	10 FT		10.00'	
34	SIDE SETBACK	10 FT		10.00'	
35	SITE SETBACK FACING STREET	N/A		N/A	
36	REAR SETBACK	10 FT		10.00'	
37	FRONT SETBACK	20 FT		20'	
38	SIDE SETBACK	25%		14.62'	
39	PARKING DISTRICT	1	1	1	
40	# OF PARKING SPACES:	6	5	5 + ADA	
41	# OF PARKING SPACES PER USE:	N/A	N/A	N/A	
42	# OF PARKING SPACES PER LEVEL:				
43	# OF PARKING SPACES PER LEVEL:	N/A	N/A	N/A	
44	PARKING SPACE DIMENSION:	8'-6" x 18'-0"		8'-6" x 16'-10"	VARIANCE
45	PARKING SPACE CONFIG.:	N/A		90°	
46	ADA SPACES:	1		1	VARIANCE
47	TANDEM SPACES:	0		0	
48	DRIVE AISLE WIDTH:	0		21'-0" Two way traffic	VARIANCE
49	VALET DROP OFF AND PICK UP	NONE	NONE	NONE	
50	LOADING ZONE AND TRASH			ENCLOSED: 4'-2" x 8'-8"	
51	COLLECTION AREAS				
52	RACKS	0	0	0	

WALL LEGEND (PLAN)

	NEW CONCRETE WALL
	PERMEABLE MATERIAL BY WAIVER
	NEW STUD PARTITION WALL

DIMENSION LINES ARE FROM FACE TO FACE OF METAL STUD WALL AND/OR CMU &/OR CONCRETE WALL (U.O.N.)



PROPOSED SITE PLAN
SCALE 3/16" = 1'-0"

DRAWN BY:
REVISIONS:

A.A0003569
ANTHONY LEON
0016/52

3 DESIGN ARCHITECTURE
3260 NW 7TH ST, Miami, FL 33125
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SEAL

MULTI-FAMILY UNITS
1311 15th TER
MIAMI BEACH, FL 33139

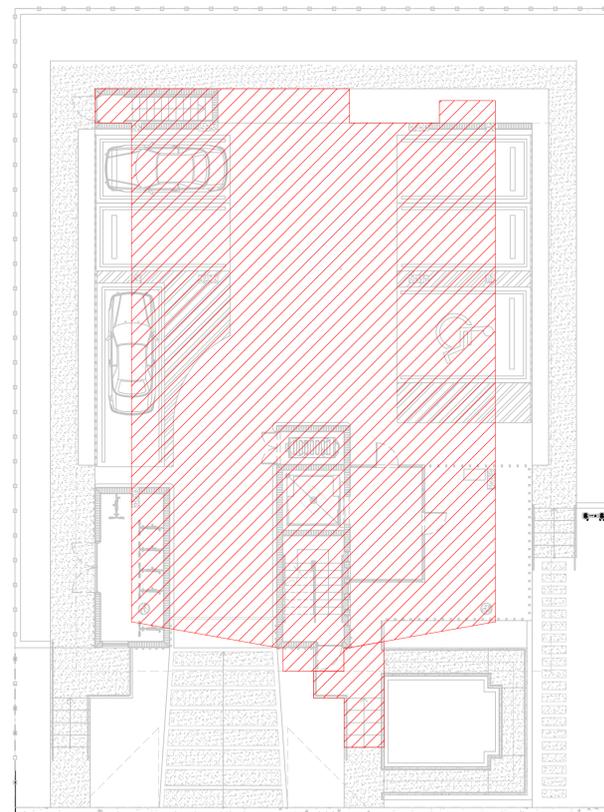
THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW ONLY. THEY ARE NOT TO BE CONSIDERED AS CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED.

A-1.0
DATA-SITE PLAN

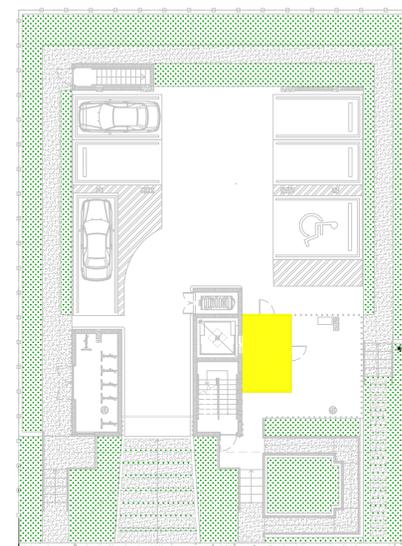
-  LOT COVERAGE
-  OPEN SPACE AREA
-  GREENSPACE AREA
-  F.A.R.
-  PERMEABLE AREA PROPOSED

FLOOR AREA RATIO:

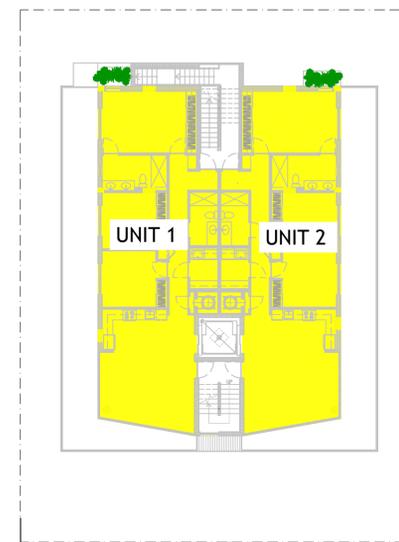
FAR ALLOWED RM-1:	1.25 X 7,500 SF = 9,375 SF
FAR PROVIDED:	
UNITS	1,310.58 SF X 6 = 7,999.19 SF
STAIRS, ELEVATOR AND HALLWAYS:	1,163.14 SF
TOTAL	9,162.62 SF



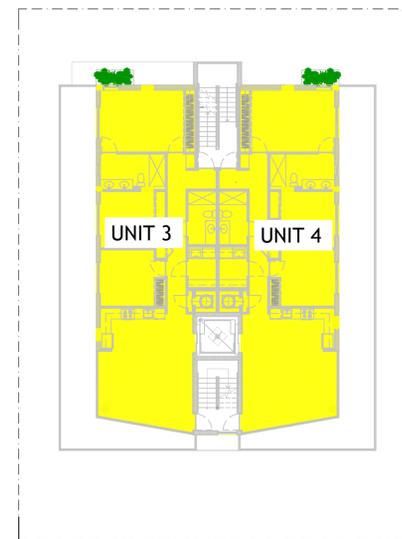
LOT COVERAGE: SCALE: 3/32" - 1'-0"
 ZONING DISTRICT: RM-1
 LOT AREA: 7,500 SF (75'x100')
 MAX. LOT COVERAGE 45%: 3,375 SF
 LOT COVERAGE PROPOSED 42.74%: 3,205.73 SF
 RAMP, DRIVEWAYS, WALKWAYS WILL BE PERMEABLE BY WAIVER.



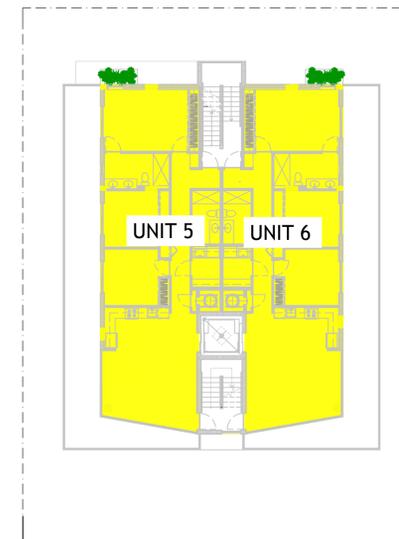
1ST FLOOR F.A.R.
SCALE: 1/16" - 1'-0"



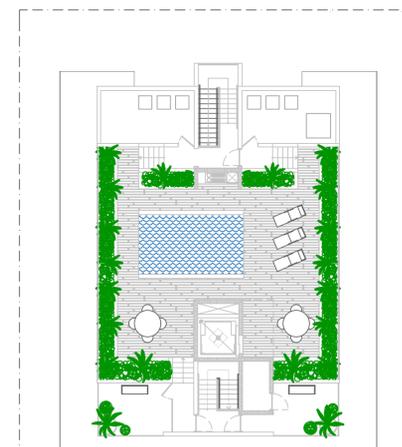
2ND FLOOR F.A.R.
SCALE: 1/16" - 1'-0"



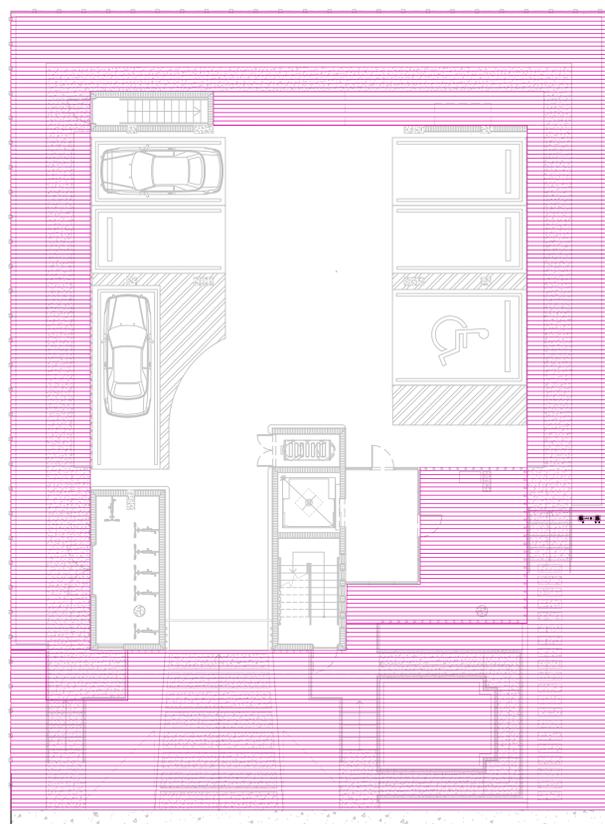
3RD FLOOR F.A.R.
SCALE: 1/16" - 1'-0"



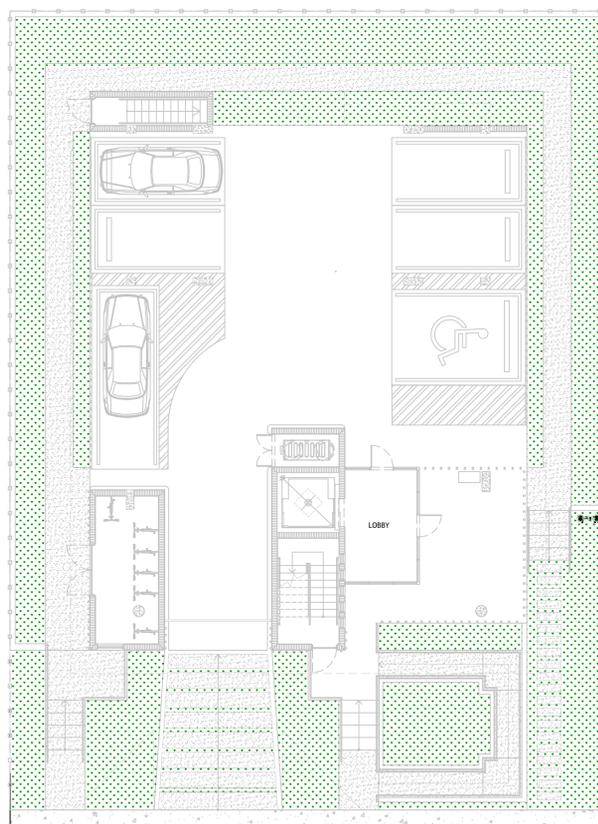
4TH FLOOR F.A.R.
SCALE: 1/16" - 1'-0"



5TH FLOOR F.A.R.
SCALE: 1/16" - 1'-0"



OPEN SPACE AREA: SCALE: 3/32" - 1'-0"
 LOT AREA: 7,500 SF (75' x 100')
 MAX. LOT COVERAGE 45%: 3,375 SF
 OPEN SPACE REQUIRED 55%: 4,125 SF
 OPEN SPACE PROPOSED 56%: 4,206.76 SF



GREEN SPACE AREA: SCALE: 3/32" - 1'-0"
 MAX. LAWN AREA
 % OF REQUIRED OPEN SPACE
 RM-1 30% REQUIRED= 1237.5 SF
 GREENSPACE PROPOSED: 27%= 1,121.37 SF
 PERMEABLE AREA DRIVEWAYS, WALKWAY, RAMP.

UNDER AC SQ. FT.

1ST FLOOR	135.71 SF
2nd FLOOR	
UNIT 1	1,310.58 SF
UNIT 2	1,310.58 SF
3rd FLOOR	
UNIT 3	1,310.58 SF
UNIT 4	1,310.58 SF
4th FLOOR	
UNIT 5	1,310.58 SF
UNIT 6	1,310.58 SF
TOTAL	7,999.19 SF

DRAWN BY:
REVISIONS:

AAG003669
ANTHONY LEON
0016152

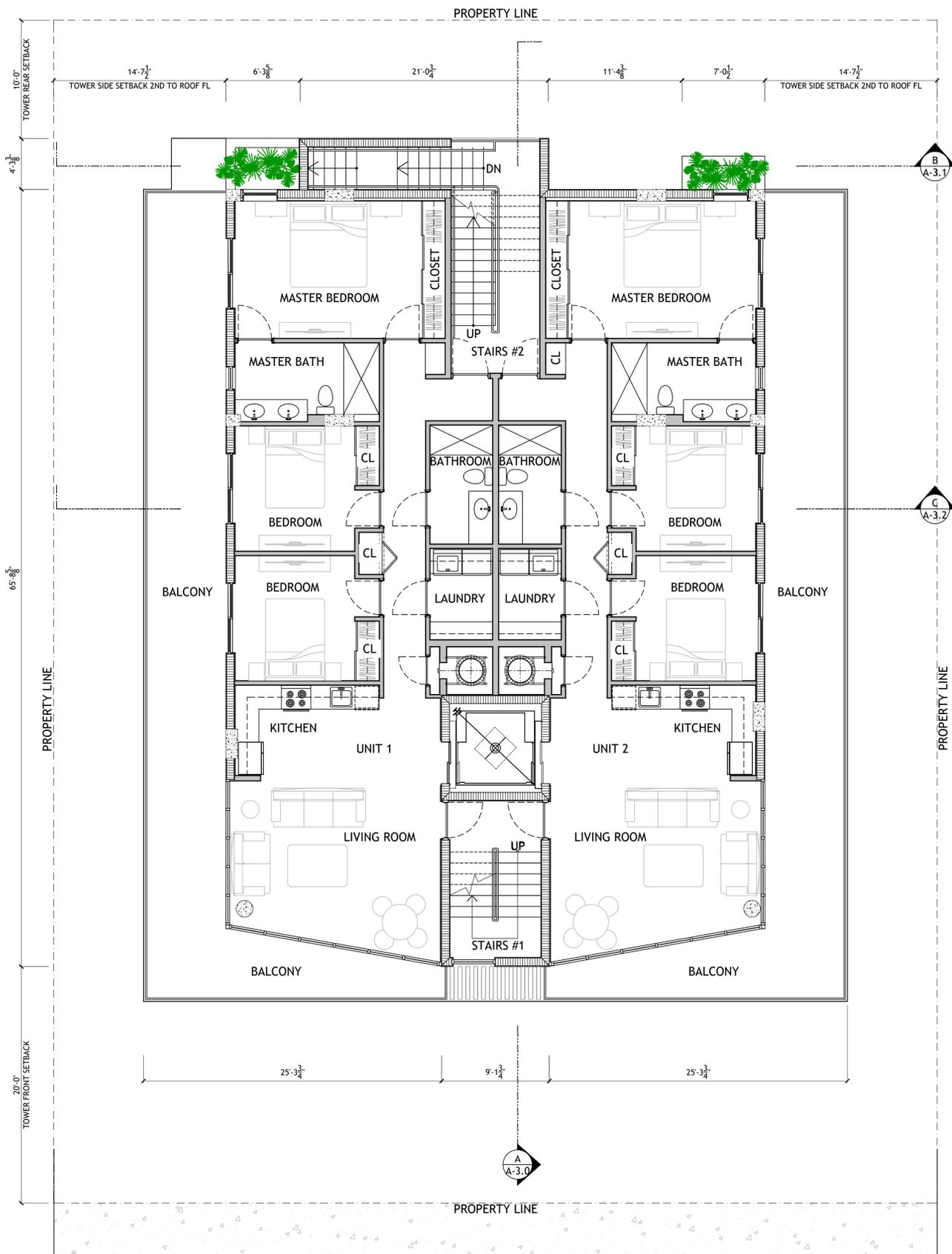
3 DESIGN
ARCHITECTURE
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SEAL

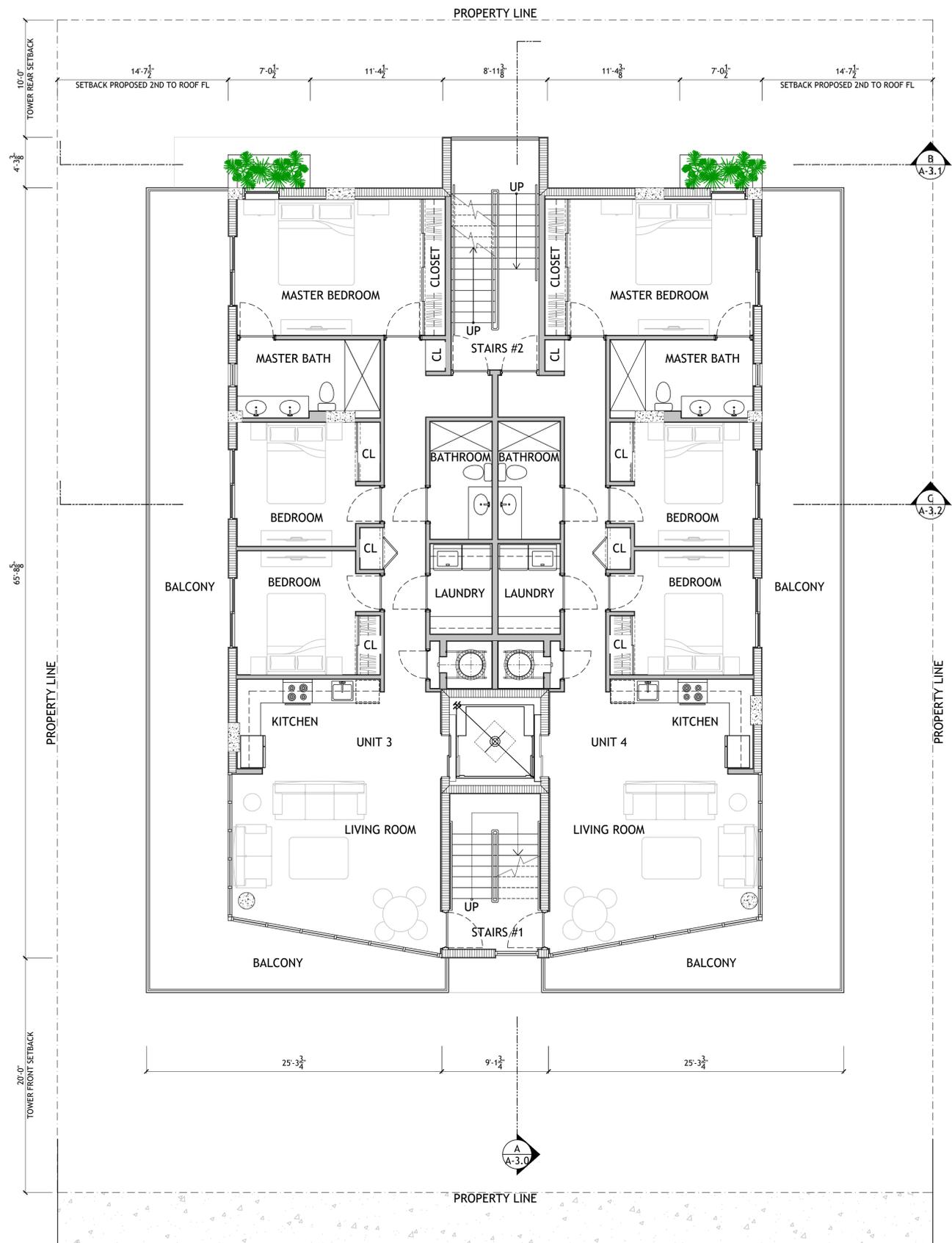
MULTI-FAMILY UNITS
1311 15th TER
MIAMI BEACH, FL 33139

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A-1.1
LOT COVERAGE
UNIT SIZE DIAGRAMS



PROPOSED 2ND FLOOR
SCALE 3/16" = 1'-0"



PROPOSED 3RD FLOOR
SCALE 3/16" = 1'-0"

LEGEND (PLAN)

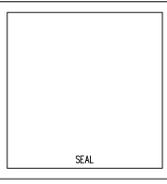
- NEW CONCRETE WALL
- NEW STUD PARTITION WALL

DIMENSION LINES ARE FROM FACE TO FACE OF METAL STUD WALL AND/OR CMU &/OR CONCRETE WALL (U.O.N.)

DRAWN BY:	
REVISIONS:	

A.A0003569
ANTHONY LEON
0016152

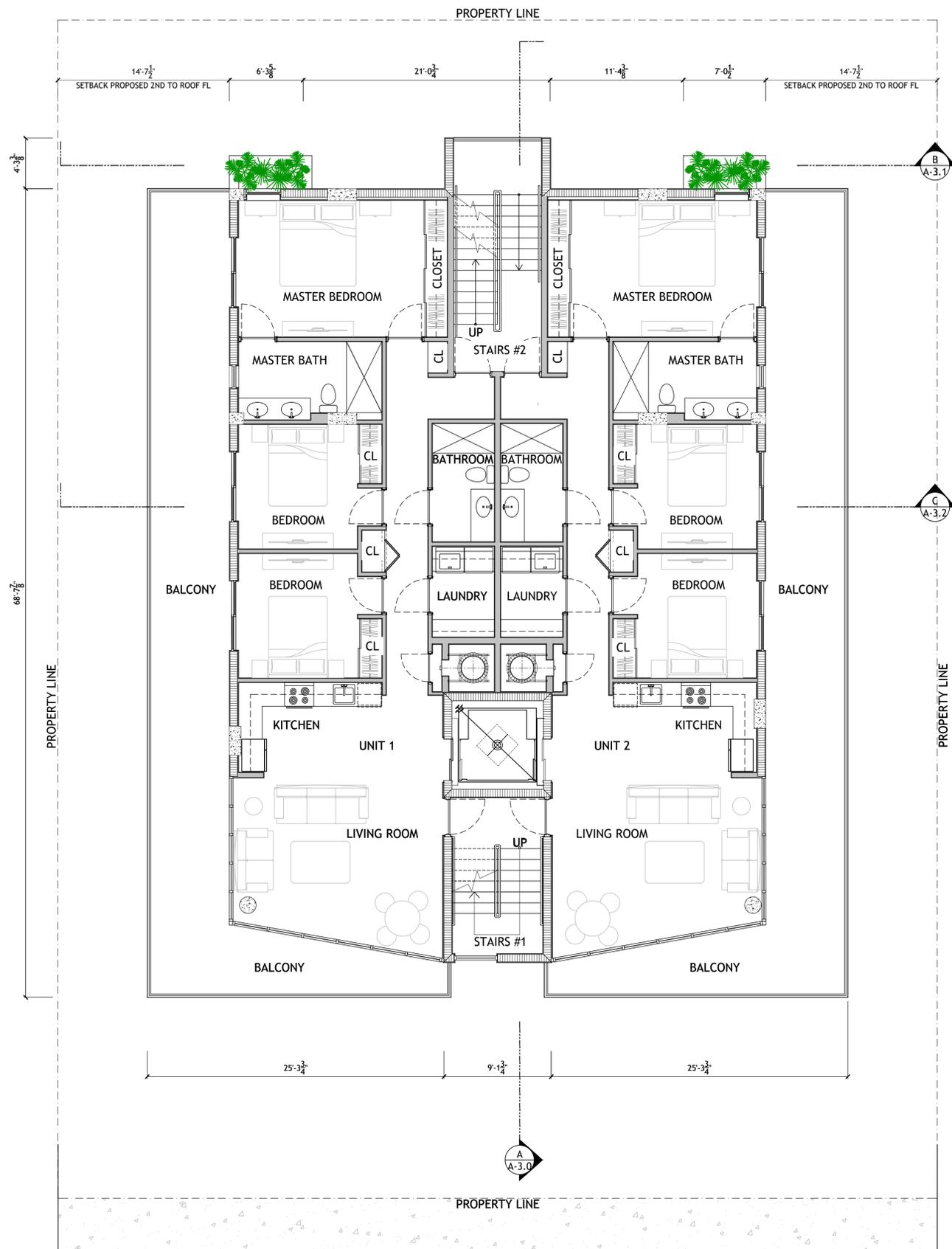
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MULTI-FAMILY UNITS
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MIAMI BEACH, FL 33139

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A-2.0
2ND FLOOR PROPOSAL
3RD FLOOR PROPOSAL

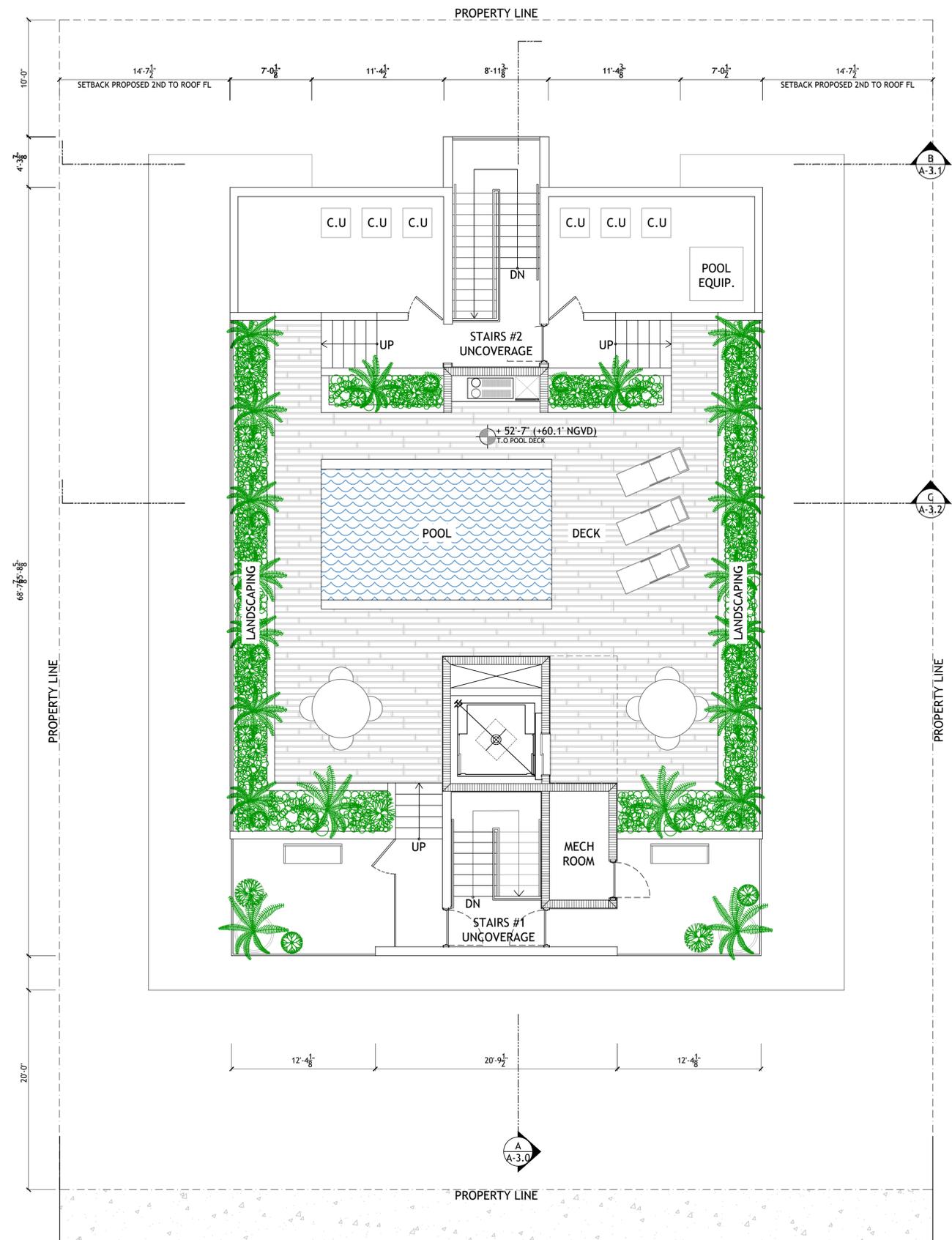


LEGEND (PLAN)

	NEW CONCRETE WALL
	NEW STUD PARTITION WALL

DIMENSION LINES ARE FROM FACE TO FACE OF METAL STUD WALL AND/OR CMU &/OR CONCRETE WALL (U.O.N.)

PROPOSED 4TH FLOOR
SCALE 3/16" = 1'-0"



PROPOSED ROOF - POOL DECK
SCALE 3/16" = 1'-0"

DRAWN BY:

REVISIONS:

AAG003569
ANTHONY LEON
0016152

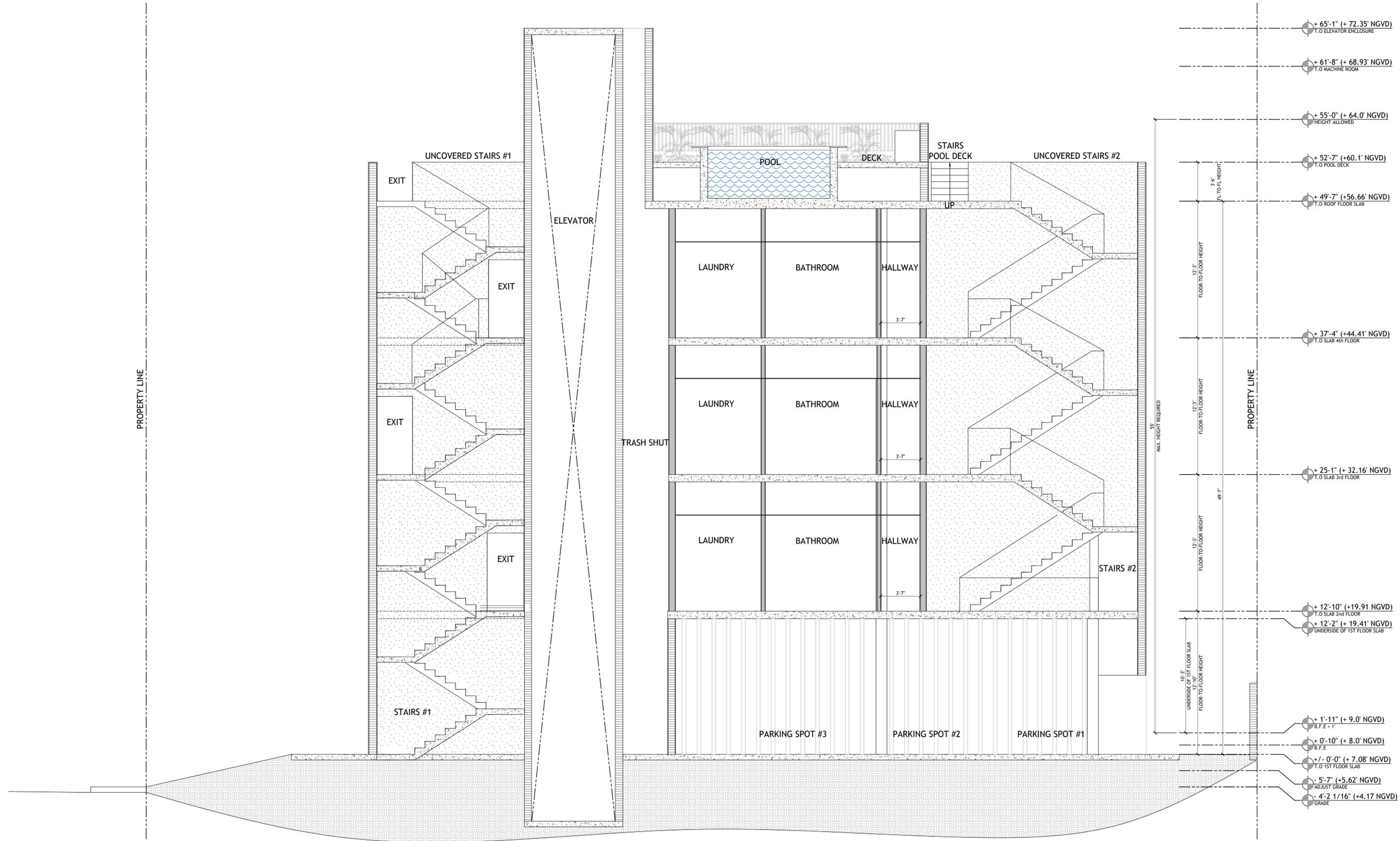
DESIGN ARCHITECTURE
3
3260 NW 7TH ST, Miami, FL 33125
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FL

MULTI-FAMILY UNITS
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A-2.1
4TH FLOOR PROPOSED ROOF PLAN



SECTION A
SCALE 1/4"=1'-0"



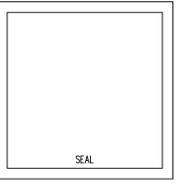
EAST ELEVATION
SCALE 1/4"=1'-0"

DRAWN BY:
REVISIONS:

AAG003569
ANTHONY LEON
0016152

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ARCHITECTURE

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MULTI-FAMILY UNITS
1311 15th TER
MIAMI BEACH, FL 33139

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A-4.1
EAST ELEVATION



PROPOSED FRONT VIEW 15 TER
RENDERING



PROPOSED REAR VIEW EAST
RENDERING



PROPOSED POOL DECK VIEW
RENDERING



PROPOSED LOBBY AREA
RENDERING

DRAWN BY:
REVISIONS:

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MULTI-FAMILY UNITS
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A-5.0
RENDERINGS

TREE DISPOSITION SCHEDULE AND LEGEND

Tree #	Common Name	Scientific Name	DBH (inches)	Condition	Height (feet)	Spread (feet)	Critical Root Zone Radius* (feet)	Prohibited?	Specimen?	Comments
1	Canary Island date palm	<i>Phoenix canariensis</i>	29 +	Fair	55	20	19		YES	
2	solitaire palm	<i>Ptychosperma elegans</i>	4 -	Good	18	8	10			Below size threshold to be regulated as a tree
3	bishopwood	<i>Bischofia javanica</i>	12 -	Fair	45	25	10	YES		X
4	strangler fig	<i>Ficus aurea</i>	72 +	Fair	60	40	48		YES	
5	sabal palm	<i>Sabal palmetto</i>	10 +	Good	12	12	10			
6	gumbo limbo	<i>Bursera simaruba</i>	3 +	Fair	16	8	10			
7	umbrella tree	<i>Scheffera heterophylla</i>	28 -	Fair	25	25	19	YES		X
8	solitaire palm	<i>Ptychosperma elegans</i>	4 +	Good	16	12	10			Below size threshold to be regulated as a tree
9	Christmas palm	<i>Adonidia merrellii</i>	6 +	Good	20	12	10			
10	seagrape	<i>Coccoloba uvifera</i>	5 +	Fair	20	12	10			
11	pink trumpet tree	<i>Tabebuia heterophylla</i>	6 +	Fair	18	12	10			
12	umbrella tree	<i>Scheffera actinophylla</i>	10 -	Fair	16	16	10	YES		X
13	gumbo limbo	<i>Bursera simaruba</i>	3 +	Fair	16	12	10			
14	strangler fig	<i>Ficus aurea</i>	11 +	Fair	20	16	10			
15	gumbo limbo	<i>Bursera simaruba</i>	3 +	Good	18	12	10			
16	areca palm	<i>Dypsis lutescens</i>	cluster-	Good	15	15	5			
17	Brazilian pepper	<i>Schinus terebinthifolius</i>	10 -	Fair	20	12	10	YES		X
18	strangler fig	<i>Ficus aurea</i>	15 +	Good	20	15	10		YES	
19	gumbo limbo	<i>Bursera simaruba</i>	7 +	Fair	5	8	10			
20	bishopwood	<i>Bischofia javanica</i>	15 -	Fair	20	12	10	YES		X

* CRZ is a planning estimate and may be adjusted based on field conditions

(+) indicates tree required for mitigation

(-) indicates tree "NOT" required for mitigation

(X) indicates species as prohibited by city / county and shall be removed without required mitigation

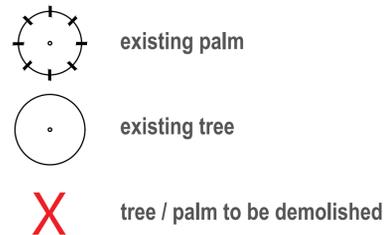
REQUIRED TREE REPLACEMENTS

total removals in DBH inches = 174
 required tree replacements = 30 trees (4" dbh, 8'sp. X 16'ht.)
 or
 60 trees (2" dbh, 6'sp. X 12'ht.)
 or
 \$60,000 paid to tree trust fund

NOTES:

refer to sheet L3a for proposed mitigation strategy and planting plan to fulfill requirements as listed above.

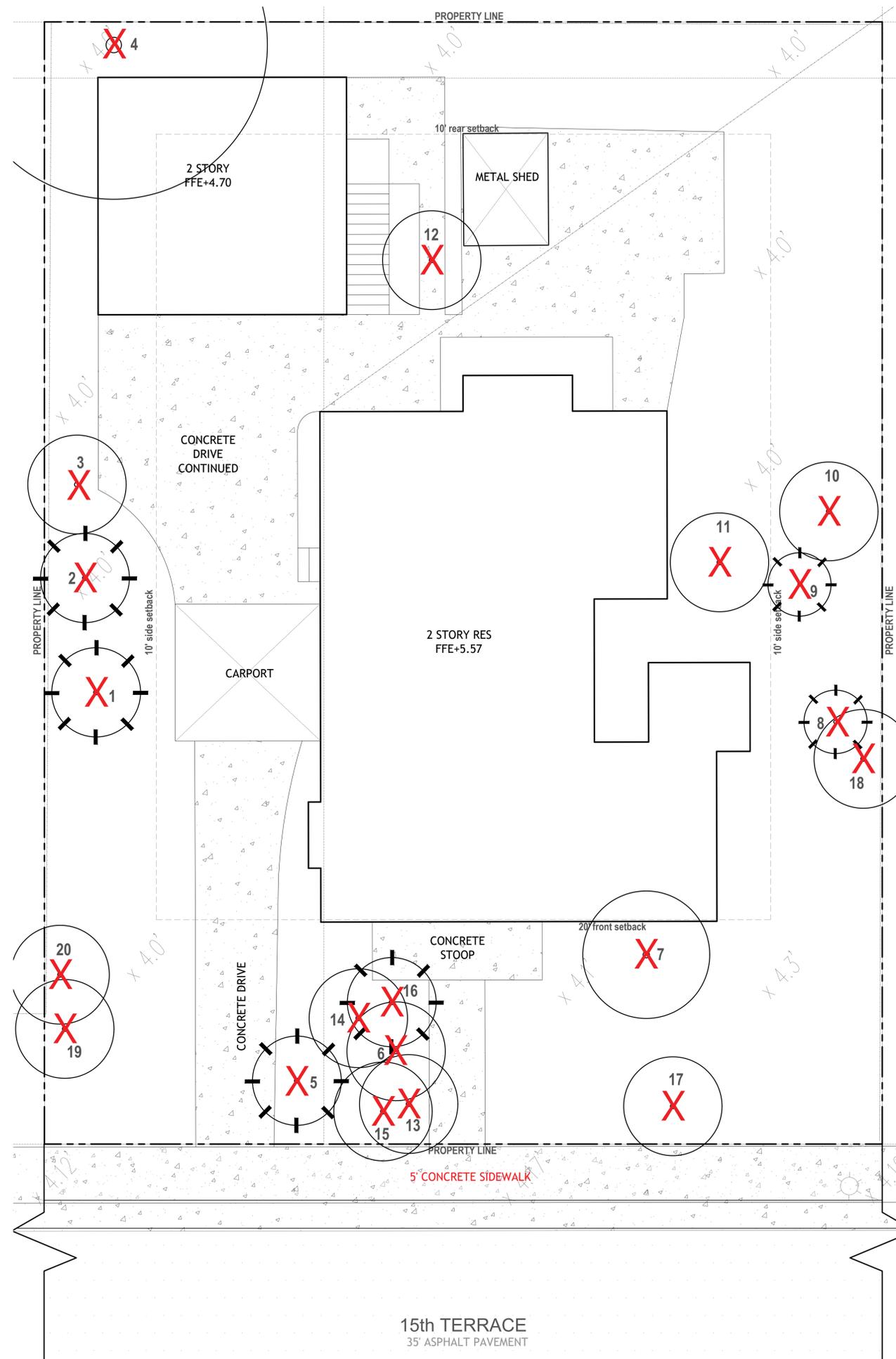
refer to arborist report for images and full descriptions of existing trees.



DRAWING SCALE AND NORTH ARROW



SCALE: 3/16" = 1'-0" NORTH



DRAWN BY:
REVISIONS:

REVIEWED BY:
LANDSCAPE ARCHITECT:
LA 0000850
Patrick K. Hodges
880.283.1925
patrick@prlandstudio.com

DRAWINGS BY:
LANDSCAPE DESIGNER:
C. Right Studios
Corey R. Selznight
1810 E. Terra Mar Drive
Deerfield Beach, FL 33442
corey@crighstudios.com

right studios



MULTI-FAMILY UNITS
1311 15th TER
MIAMI BEACH, FL 33139

SPACE RESERVED FOR
CITY OF MIAMI BEACH STAMPS

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L1
TREE DISPOSITION PLAN

DRB ISSUED 06-16-22

MATERIAL SPECIFICATIONS LEGEND



Granite Gravel
 source: sutton brick and stone
 spec: granite chips
 size: 1/4" - 5/8" max.
 color: natural grey only
 finish: natural tumbled (no sharp edges)
 set: over landscape fiber fabric
 contact: 954.472.7646
 700 SW 21st Terrace
 Ft. Lauderdale, FL 33312
 web: www.suttonbrick.com

(508 sf)



Concrete Step Finish (non-pervious surface)
 source: per contractor
 spec: welded wire reinforced 3" min. thick
 size: per L3 layout plan
 color: standard grey or integral color to match arch. slabs
 finish: rocksalt (1/8"-1/4" and 5/8"-3/4" aggregate)
 contact: per contractor

(153 sf)



Permeable Paver Type 1
 source: Unilock - copyright © 2022 Hengestone Holdings, Inc.
 spec: ECO-PROGRA™
 size: 3.125" thick (staggered running bond)
 color: granite
 joints: black sand fill per manufacturer
 finish: N/A
 contact: https://unilock.com/contacts

(775 sf) or (558 sf) see alt. below



Permeable Paver Type 1 (Alt. drive surface only)
 source: Unilock - copyright © 2022 Hengestone Holdings, Inc.
 spec: TRIBECA COBBLE™
 size: 2.75" thick (staggered running bond)
 color: crystalline basalt
 joints: black sand fill per manufacturer
 finish: N/A
 contact: https://unilock.com/contacts

(217 sf)

hatch denotes landscape areas
 (2,041 sf)

NOTE: refer to sheet L3 for landscape calculations. for additional materials above ground level refer to architect's drawings

LANDSCAPE SITE CALCULATIONS:

total site	7,500 sf	
total landscape area	3,580 sf	48%
pervious landscape area	2,041 sf	70%
20% partial pervious (permeable pavers)	950 sf	26%
non-pervious surface	153 sf	4%

permeable paver type 1

granite gravel walkway per specifications

site wall per architect's drawings

landing to match concrete steps and finish

concrete steps with finish per specifications. refer to architect's drawings for required railing

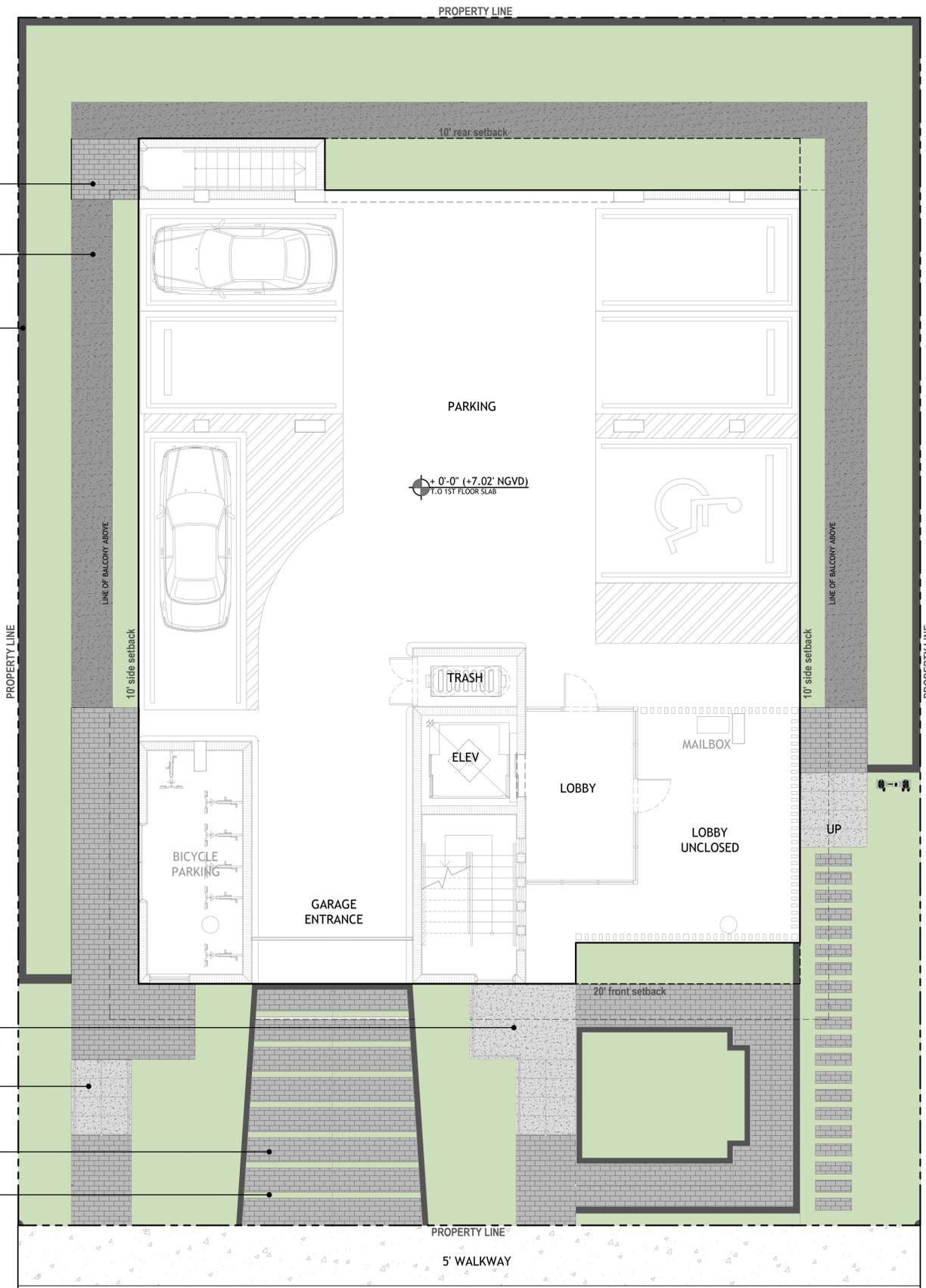
permeable paver type 1 (alternate option TBD)

artificial turf joints on drive slope

DRAWING SCALE AND NORTH ARROW



SCALE: 3/16" = 1'-0" NORTH



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MULTI-FAMILY UNITS
 1311 15th TER
 MIAMI BEACH, FL 33139

SPACE RESERVED FOR
 CITY OF MIAMI BEACH STAMPS

THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW ONLY. THEY ARE NOT TO BE CONSIDERED AS CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED.

L2
 GROUND MATERIALS PLAN

DRB ISSUED 06-16-22



gumbo limbo



pigeon plumb



simpson stopper



dahoon holly



sabal palm



giant leather fern



croton



green island ficus



crabwood



shiny lyonia



podocarpus



dwarf wild coffee



silver saw palmetto



coontie



cast iron plant



imperial bromeliad



bougainvillea



orange bulbine



golden creeper



big blue liriopse



creeping jenny

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L4
PLANT IMAGE BOARD
GROUND LEVEL

DRB ISSUED 06-16-22



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L5
 SITE RENDERING
 FRONT VIEW EAST



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L6
 SITE RENDERING
 REAR VIEW EAST

Thomas A. Hall, Inc.
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Hollywood, FL 33019
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tomhall1234@gmail.com

September 2, 2022

Katherina Bayer
3Design Architecture
3260 NW 7 ST
Miami, FL 33125

RE: 1311 15th Terrace Traffic Statement
Project No. 202224.01

Dear Ms. Bayer:

Thomas A. Hall, Inc. has completed a traffic analysis for your project to redevelop an existing residential housing site located at 1311 15th Terrace in the City of Miami Beach, Florida. The property's folio number is 02-3233-016-0050.

Based on our conversations with you, it is understood that the existing seven-dwelling-unit, multi-family apartment building is to be replaced with a new, six-dwelling-unit, multi-family apartment building. **Figure 1 – Project Site Location** shows the proposed development site.

What follows is a summary of the project-related trips associated with the proposed redevelopment project.

Trip Generation

Using trip generation characteristics information obtained from the Institute of Transportation Engineers' (ITE) *Trip Generation* manual, 11th Edition, trip generation estimates for both the existing and proposed land uses were completed. ITE Land Use Code 220 (Multi-Family Housing, Low-Rise) was used for both the existing and proposed land uses on the project site. **Table 1 – Daily Trip Generation, Table 2 – AM Peak Hour Trip Generation** and **Table 3 – PM Peak Hour Trip Generation**, enclosed, show the resulting daily, a.m. peak-hour, and p.m. peak-hour trips for the project. As the tables show, the proposed redevelopment project is expected to generate six (6) fewer daily trips, the same morning peak-hour trips, and one (1) fewer afternoon peak-hour trip than the current apartment building. The proposed project is expected to generate 114 daily trips, 25 morning peak-hour trips, and 23 afternoon peak-hour trips.

Conclusion

Based on the analysis findings described in this traffic statement, the proposed redevelopment of the 1311 15th Terrace property in the City of Miami Beach, Florida is expected to generate a net decrease in project trips. The proposed project is expected to

Katherina Bayer
September 2, 2022
Page 2 of 2

generate 114 net new daily trips, 25 net new morning peak-hour trips, and 23 net new afternoon peak-hour trips.

Should you have any questions or comments regarding these findings, please do not hesitate to contact this office.

Very truly yours,



Thomas A. Hall
President

TAH/kh

Enclosures

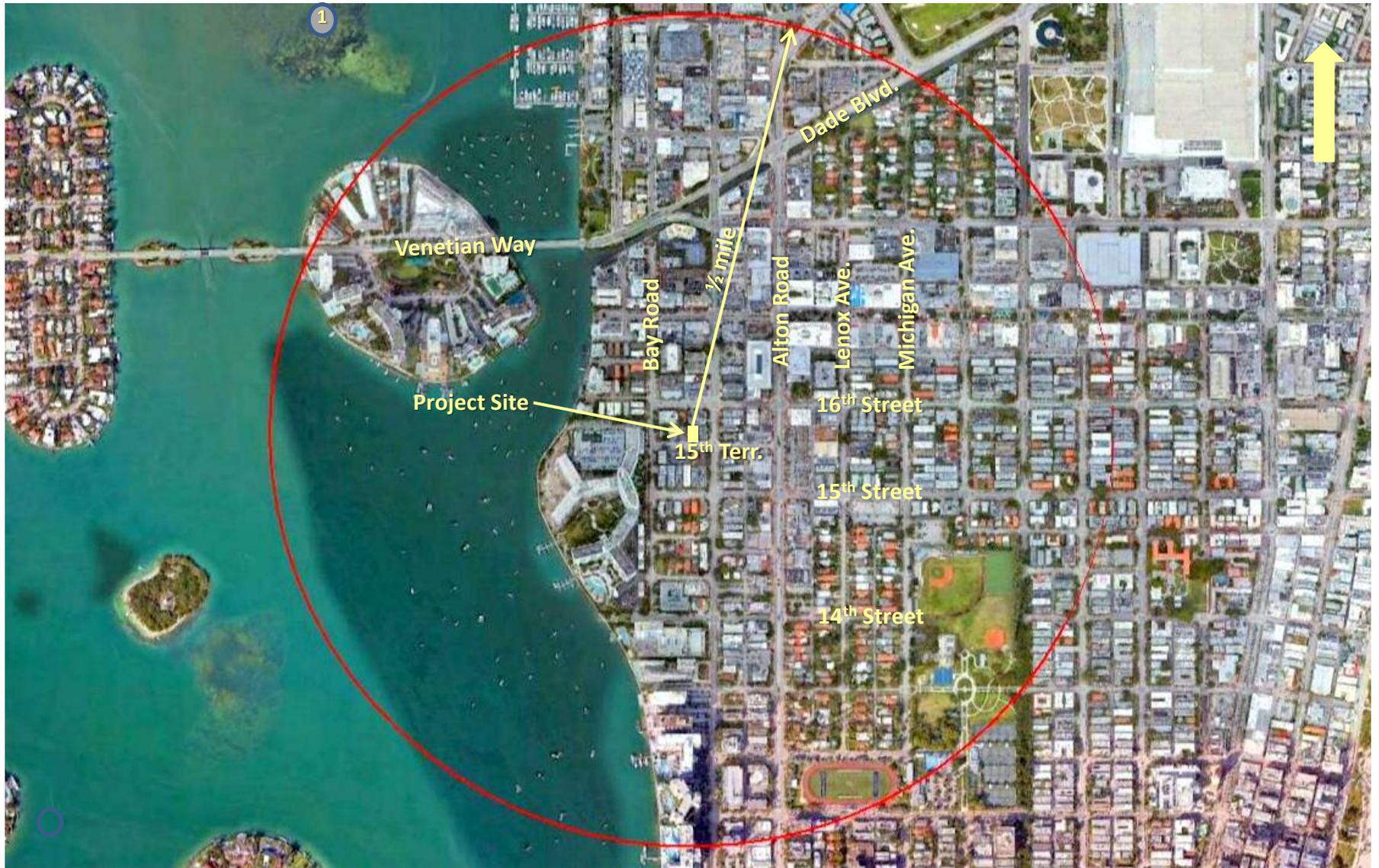


Figure 1 – Project Site Location
1311 15th Terrace
City of Miami Beach, Florida

Table 1
Daily Trip Generation
1311 15th Terrace

Land Use	ITE Code	Intensity	Trip Generation Rate ⁽¹⁾	Total Trips			Internal Trips					Adjusted Trips			Pass-by Trips		Net New Trips		
				In	Out	Total	In	%	Out	%	Total	In	Out	Total	In	Out	Total		
Existing Use																			
Multi-Family Housing (Low-Rise)	220	7 du	$T = 6.41(X) + 75.31 (50/50)$	60	60	120	0	0%	0	0%	0	60	60	120	0	0.00%	60	60	120
Proposed Use																			
Multi-Family Housing (Low-Rise)	220	6 du	$T = 6.41(X) + 75.31 (50/50)$	57	57	114	0	0%	0	0%	0	57	57	114	0	0.00%	57	57	114
Sub-Total				57	57	114	0		0		0	57	57	114	0		57	57	114
Net New Trips				-3	-3	-6	0		0		0	-3	-3	-6	0		-3	-3	-6

⁽¹⁾ Source: Institute of Transportation Engineers' *Trip Generation* manual, 11th Edition.

Table 2
AM Peak-Hour Trip Generation
1311 15th Terrace

Land Use	ITE Code	Intensity	Trip Generation Rate ⁽¹⁾	Total Trips			Internal Trips					Adjusted Trips			Pass-by Trips		Net New Trips		
				In	Out	Total	In	%	Out	%	Total	In	Out	Total	In	Out	Total		
Existing Use																			
Multi-Family Housing (Low-Rise)	220	7 du	$T = 0.31(X) + 22.85 (24/76)$	6	19	25	0	0%	0	0%	0	6	19	25	0	0.00%	6	19	25
Proposed Use																			
Multi-Family Housing (Low-Rise)	220	6 du	$T = 0.31(X) + 22.85 (24/76)$	6	19	25	0	0%	0	0%	0	6	19	25	0	0.00%	6	19	25
Sub-Total				6	19	25	0		0		0	6	19	25	0		6	19	25
Net New Trips				0	0	0	0		0		0	0	0	0	0		0	0	0

⁽¹⁾ Source: Institute of Transportation Engineers' *Trip Generation* manual, 11th Edition.

Table 3
PM Peak-Hour Trip Generation
1311 15th Terrace

Land Use	ITE Code	Intensity	Trip Generation Rate ⁽¹⁾	Total Trips			Internal Trips					Adjusted Trips			Pass-by Trips		Net New Trips		
				In	Out	Total	In	%	Out	%	Total	In	Out	Total	In	Out	Total		
Existing Use																			
Multi-Family Housing (Low-Rise)	220	7 du	$T = 0.43(X) + 20.55 (63/37)$	15	9	24	0	0%	0	0%	0	15	9	24	0	0.00%	15	9	24
Proposed Use																			
Multi-Family Housing (Low-Rise)	220	6 du	$T = 0.43(X) + 20.55 (63/37)$	15	8	23	0	0%	0	0%	0	15	8	23	0	0.00%	15	8	23
Sub-Total				15	8	23	0		0		0	15	8	23	0		15	8	23
Net New Trips				0	-1	-1	0		0		0	0	-1	-1	0		0	-1	-1

⁽¹⁾ Source: Institute of Transportation Engineers' *Trip Generation* manual, 11th Edition.