

CATCH RESTAURANT

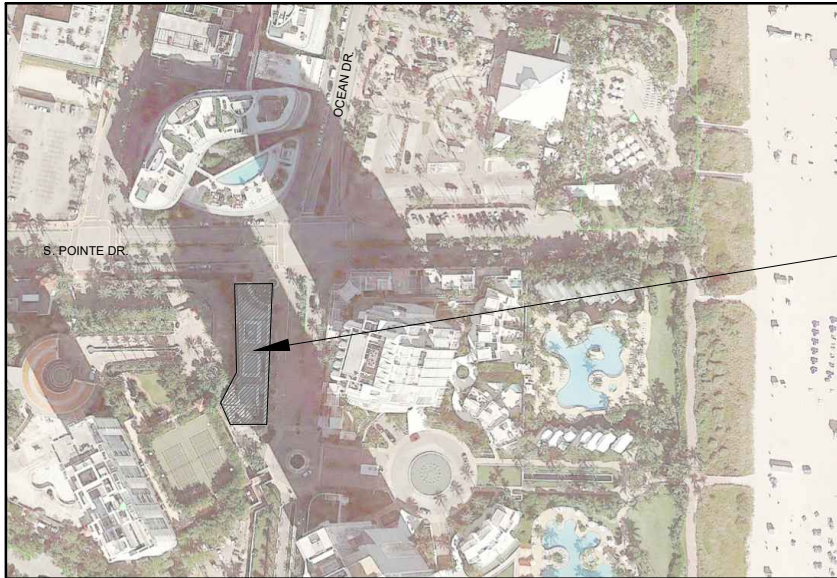
200 SOUTH POINT DRIVE
MIAMI BEACH , FL 33139

PLANING & ZONING FINAL SUBMITTAL

PB22-0542

JULY 22, 2022

KEY PLAN N.T.S.



PROJECT SITE



LOCATION MAP N.T.S.



AREA OF WORK



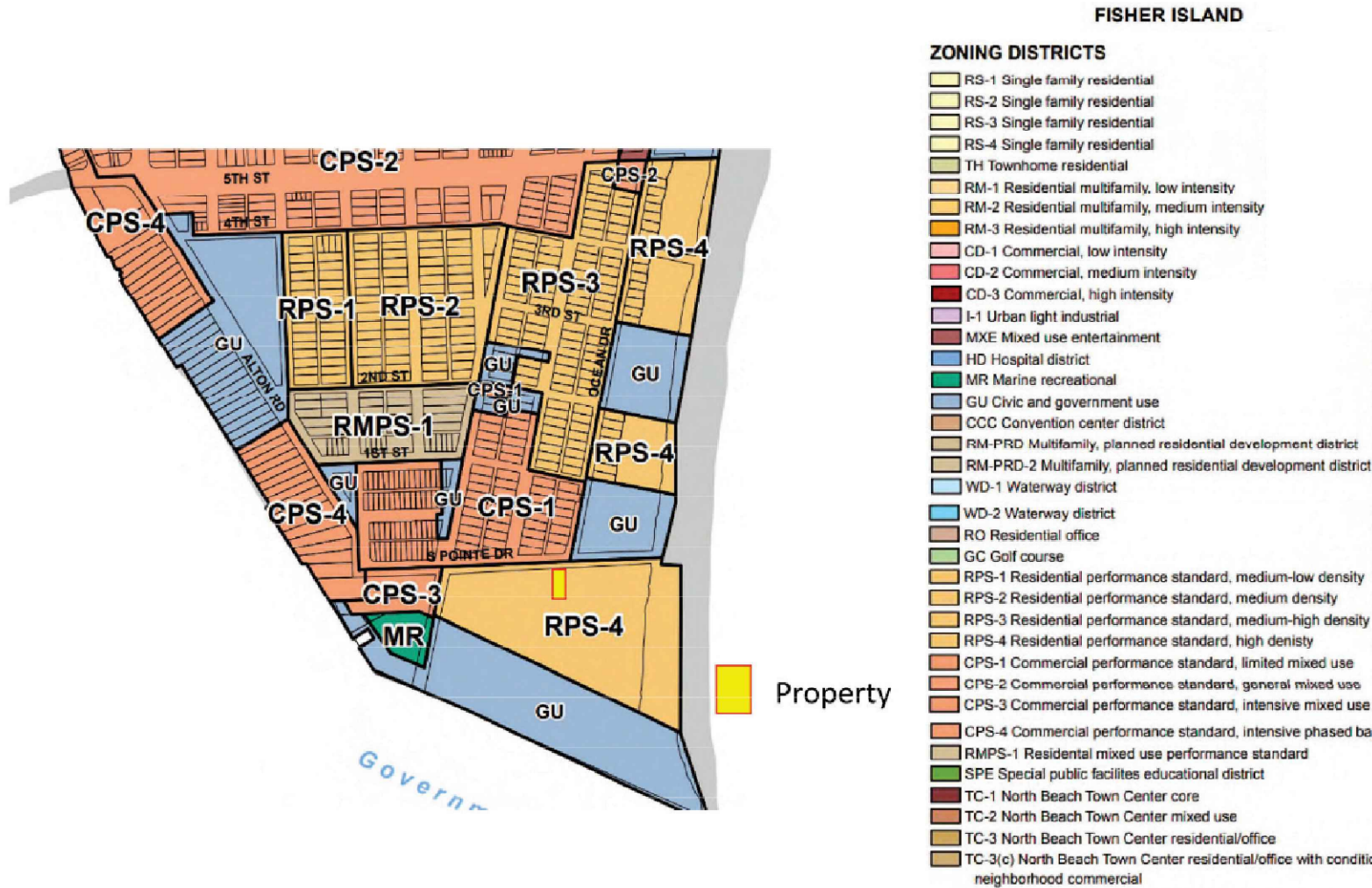
PROJECT TEAM

CLIENT: CATCH
200 SOUTH POINTE DR.
MIAMI BEACH, FLORIDA 33139

ARCHITECT: KOBI KARP ARCHITECTURE
7700 CONGRESS AVENUE, SUITE 1114
BOCA RATON, FLORIDA 33487
P: 561.997.1244
F: 561.997.1675
WWW.AWARCHS.COM

INTERIOR DESIGNER: ROCKWELL GROUP
5 UNION SQUARE WEST, 8/F
NEW YORK, NY. 10003
P: 212-463-0334
WWW.ROCKWELLGROUP.COM

ZONING KEY PLAN N.T.S.



FOR AN OFFICIAL ZONING DETERMINATION
PLEASE CONTACT THE PLANNING DEPARTMENT.

Rev. Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN
CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBI
KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED
WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBI KARP
ARCHITECTURE & INTERIOR DESIGN, INC. AIA (c) 2022

PERMIT SET

PLANNING BOARD
FINAL SUBMITTAL

CATCH RESTAURANT
RENOVATIONS

200 SOUTH POINT DR
MIAMI BEACH, FLORIDA. 33139

Owner:
Name OWNER
Address OWNER_ADDRESS1
Address OWNER_ADDRESS2
Tel. OWNER_PHONE
Email OWNER_EMAIL

Consultant:
Name
Address
Address
Tel.
Email

Consultant:
Name
Address
Address
Tel.
Email

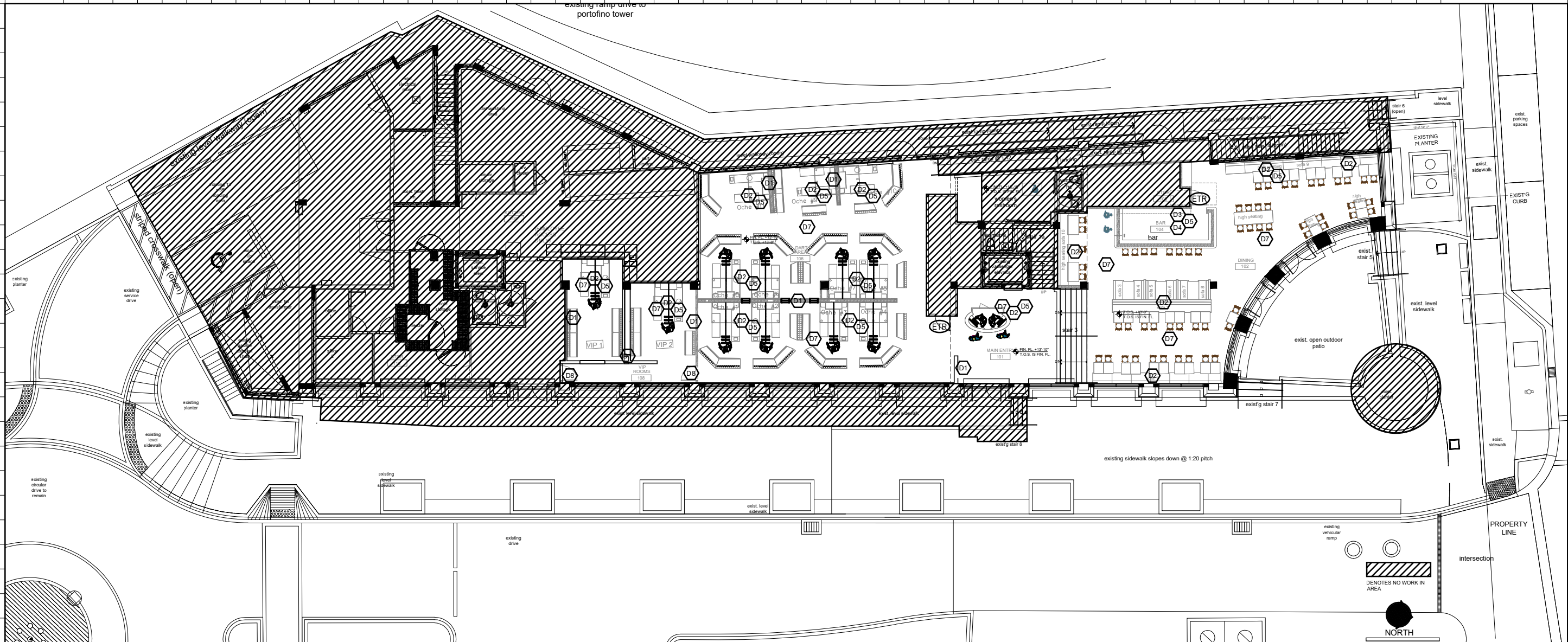
Architect:
Kobi Karp Architecture and Interior Design,
Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766



KOBI KARP
Lic. # AR0012578

COVER ZONING DATA

Date	--	Sheet No.
Scale	--	A0.00
Project	2239	



1 DEMOLITION FLOOR PLAN
SCALE: 3/64" = 1'-0"

DEMOLITION PLAN GENERAL NOTES

- THE CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT AND ANY OTHER REQUIRED APPROVALS PRIOR TO THE EXECUTION OF ANY DEMOLITION, AND FURNISH ALL LABOR AND MATERIALS REQUIRED TO COMPLETE THE DEMOLITION, SELECTIVE REMOVAL AND SUBSEQUENT OFF SITE DISPOSAL OR STORAGE OF ALL ITEMS WITHIN THE PROJECT AREA. A SCHEDULE SHALL BE SUBMITTED TO OWNER ALONG WITH THE DEMOLITION BID.
- THE CONTRACTOR SHALL COORDINATE DEMOLITION WITH THE LANDLORD, OWNER, LEASING AGENT AND/OR TENANT AND SHALL MEET THE RULES AND REGULATIONS SET FORTH BY THE LANDLORD, OWNER, AND/OR LEASING AGENT.
- THE CONTRACTOR SHALL SUPPLY THE LANDLORD & CLIENT WITH ALL DOCUMENTATION REQUESTED.
- THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION DUMPSTER AND/OR CHUTE LOCATION WITH LANDLORD PRIOR TO PLACEMENT. THE CONTRACTOR SHALL PROTECT THE ARCADE, BUILDING EXTERIOR, ROADWAY, AND LANDSCAPE FROM DAMAGE DURING THE DEMOLITION THE PROJECT AREA SHALL BE MAINTAINED IN A SAFE AND CLEAN CONDITION AT ALL TIMES.
- IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION, COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES RELATIVE TO REMOVAL, HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION. NOTIFY LANDLORD AND OWNER IMMEDIATELY.
- ALL ITEMS OF SALVAGEABLE VALUE AS DETERMINED BY THE CLIENT, LANDLORD, LEASING AGENT AND/OR TENANT SHALL BE CAREFULLY REMOVED, SURFACE CLEANED, LABELED, STORED AND TURNED OVER TO THE OWNER AND/OR LANDLORD.
- RECONNECT ELECTRICAL OUTLETS AFFECTED BY DEMOLITION TO PANELS AS REQUIRED BY NEW LAYOUT. TERMINATE EXPOSED CONNECTIONS PER N.E.C. ANY PLUMBING ENCOUNTERED IN AREA AFFECTED BY DEMOLITION SHALL BE CAPPED TO BUILDING STANDARD.
- REMOVE EXISTING INTERIOR PARTITIONS AS INDICATED ON THE DEMOLITION PLAN. ALL FIRE PROTECTION DEVICES SUCH AS HORN STROBES, PULL STATIONS, SMOKE DETECTORS, FIRE EXTINGUISHERS, HOSE CABINETS ETC. SHALL BE SALVAGED, LABELED AND STORED FOR RE-USE. THE FIRE ALARM, FIRE SPRINKLER SYSTEM SHALL BE MAINTAINED IN OPERABLE CONDITION AT ALL TIMES.
- CONTRACTOR SHALL COORDINATE DEMOLITION WITH CLIENT SPECIFICATIONS AND TENANT'S DRAWINGS. CONTACT ARCHITECT AND CLIENT PRIOR TO DEMOLISHING ITEMS NOT SPECIFIED ON THE PLANS.
- COORDINATE WITH CONSTRUCTION DRAWINGS PRIOR TO BEGINNING DEMOLITION.
- THE DISPOSAL OF ALL DEMOLITION ITEMS TO BE BY THE CONTRACTOR. HAULED AWAY FROM THE SITE. OWNER RESERVES THE RIGHT OF FIRST REFUSAL.
- CONTRACTOR TO CAREFULLY REMOVE AND STORE ALL DOORS AND FRAMES THAT ARE INDICATED TO BE REMOVED FOR POSSIBLE LANDLORD STORAGE.
- POWER TO BUILDING SHALL BE MAINTAINED AT ALL TIMES. COORDINATE WITH LANDLORD AND OBTAIN APPROVAL WITH LANDLORD 72 HOURS PRIOR TO PROPOSED INTERRUPTION.
- REMOVE ALL WIRING FROM DEMOLISHED RECEPTACLES TO SOURCE PANEL. REMOVE ALL ABANDONED WIRING.
- THE CONTRACTOR SHALL FULLY ACQUAINT HIMSELF WITH THE EXISTING CONDITIONS AND SHALL HAVE VISITED THE JOB SITE AND BE FULLY INFORMED AS TO THE NATURE OF THE EQUIPMENT AND FACILITIES NEEDED FOR THE PROPER EXECUTION OF THE WORK.
- CONTRACTOR IS RESPONSIBLE TO FURNISH, INSTALL AND MAINTAIN CLEAN CONSTRUCTION FILTERS ON THE FLOOR AIR HANDLERS AND TO FURNISH, INSTALL AND MAINTAIN AIR FILTERS PRIOR TO PERFORMING TEST AND BALANCE OF AIR CONDITIONING SYSTEM.
- THE CONTRACT DOCUMENTS ARE INTENDED TO BE COMPLIMENTARY. DEMOLITION SHALL NOT BE LIMITED TO THE WORK SHOWN ON THESE DRAWINGS BUT SHALL INCLUDE ALL DEMOLITION NECESSARY TO ACCOMMODATE THE NEW WORK.
- ALL FIRE EXTINGUISHERS AND F.E. CABINETS SCHEDULED TO BE REMOVED AND STORED FOR REUSE.
- RETAIN EXISTING EXIT LIGHTS. CLEAN, REPAIR AND REUSE IF IN GOOD CONDITION WHERE APPLICABLE AT LOCATIONS SHOWN ON REFLECTED CEILING PLAN.
- PATCH ALL HOLES AND OPENINGS CREATED AS A RESULT OF DEMOLITION. SUCH PATCHING SHALL INCLUDE BUT IS NOT LIMITED TO, REMOVED DUCTWORK, PIPING, PLUMBING FIXTURES, CONDUIT, SWITCHES, RECEPTACLES, LIGHT FIXTURES, CONTROLS AND JUNCTION BOXES. THE DEMOLITION OPERATIONS SHALL AT ALL TIMES BE CARRIED ON IN SUCH A MANNER SO AS TO PREVENT DAMAGE OR DUSTING TO ADJOINING SPACES.
- MAINTAIN PREMISES AND PUBLIC PROPERTIES FREE FROM ACCUMULATION OF WASTE, DEBRIS, AND RUBBISH CAUSED BY OPERATIONS. AT COMPLETION OF WORK, LEAVE PREMISES AND PUBLIC PROPERTIES BROOM CLEAN ON A DAILY BASIS.
- NO STRUCTURAL ELEMENTS SHALL BE REMOVED. CONTACT ARCHITECT PRIOR TO REMOVAL OF ANY CONCRETE, MASONRY OR STRUCTURAL STEEL.
- THE G.C. SHOULD MAINTAIN LIFE SAFETY STANDARDS AT ALL TIMES.
- G.C. TO STRIP DOWN PARTITIONS THAT ARE PART OF THE SCOPE OF WORK TO DETERMINE IF IT CAN BE DEMOLISHED OR NOT. G.C. TO NOTIFY ARCHITECT BEFORE REMOVING ANY ADDITIONAL OR STRUCTURAL ELEMENTS.

DEMOLITION KEYNOTES	
MARK	DESCRIPTION
D1	DEMOLISH EXISTING WALL. REFER TO DEMOLITION NOTES.
D2	DEMOLISH EXISTING MILLWORK. REFER TO DEMOLITION NOTES.
D3	DEMOLISH EXISTING BAR EQUIPMENT. REFER TO DEMOLITION NOTES.
D4	DEMOLISH EXISTING BAR PLUMBING FIXTURES AND CAP ALL PIPES.
D5	SOFFITS TO BE DEMOLISHED REFER TO DEMOLITION NOTES.
D6	REMOVE ELECTRICAL BACK TO SOURCE. REFER TO DEMOLITION NOTES.
D7	REMOVE EXISTING LIGHT FIXTURE. REFER TO DEMOLITION NOTES
D8	REMOVE EXISTING DOOR AND ITS COMPONENTS. REFER TO DEMOLITION NOTES

LEGEND	
	DENOTES EXISTING WALL TO REMAIN
	DENOTES EXISTING WALL TO BE DEMOLISHED
	DENOTES EXISTING DOOR / WINDOW TO REMAIN
	EXISTING RATED TENANT DEMISING WALL

Rev. Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOB KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOB KARP ARCHITECTURE, & INTERIOR DESIGN, INC. AIA (S) 2022

PERMIT SET
PLANNING BOARD
FINAL SUBMITTAL

CATCH RESTAURANT
RENOVATIONS

200 SOUTH POINT DR
MIAMI BEACH, FLORIDA. 33139

Owner:
Name OWNER
Address OWNER ADDRESS1
Address OWNER ADDRESS2
Tel. OWNER PHONE
Email OWNER_EMAIL

Consultant:
Name
Address
Address
Tel.
Email

Consultant:
Name
Address
Address
Tel.
Email

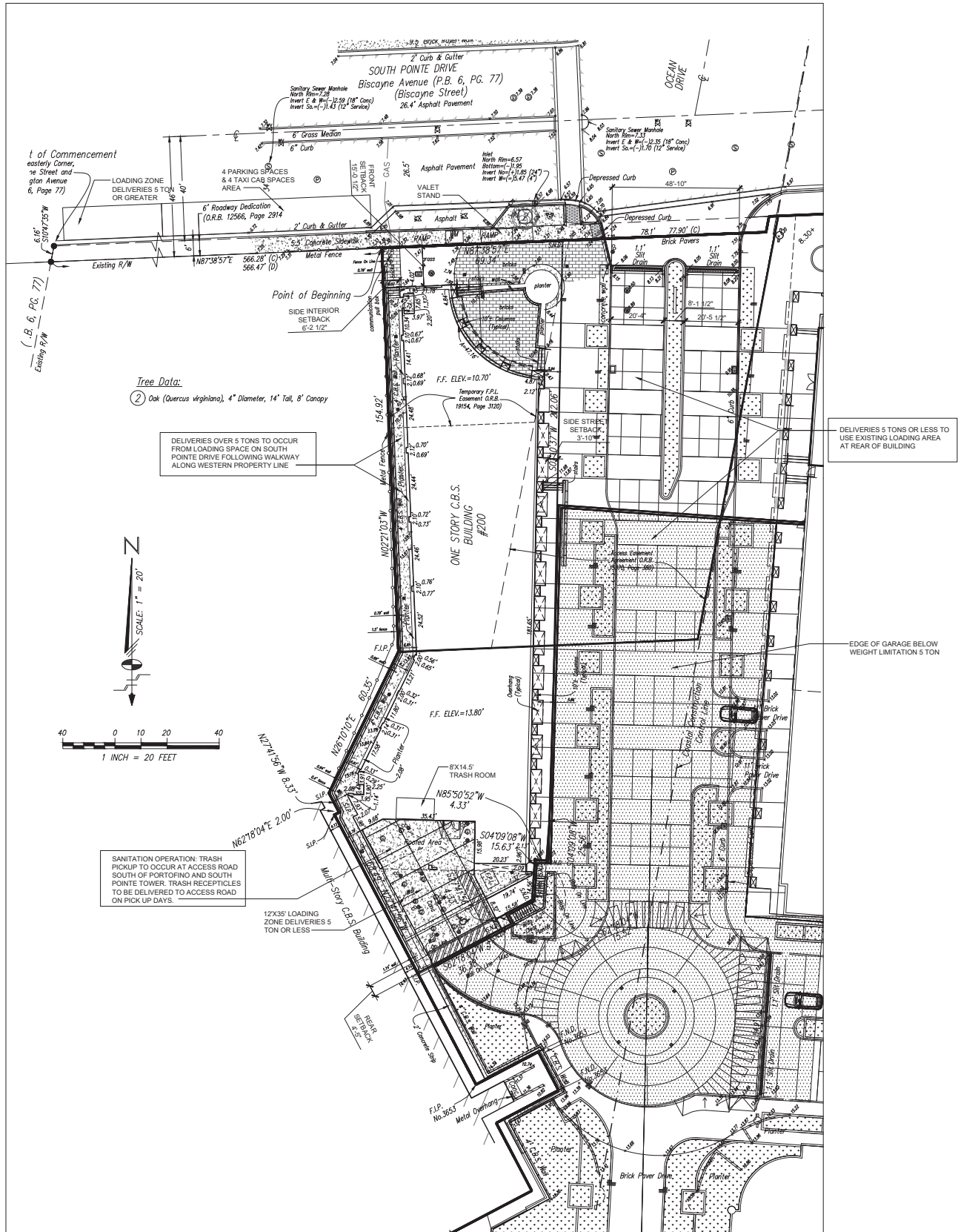
Architect:
Kobi Karp Architecture and Interior Design
Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 3768
Fax: +1(305) 573 3768



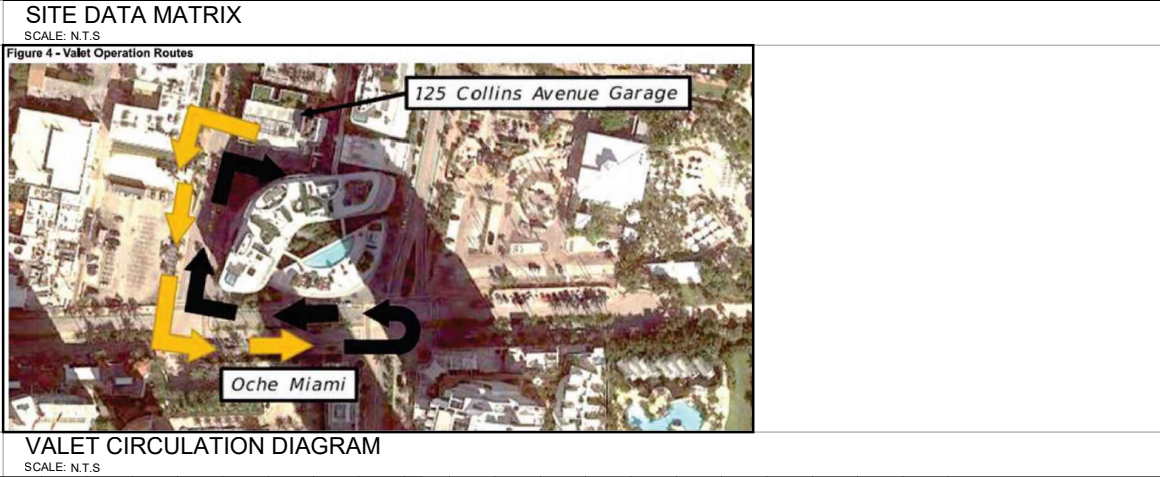
KOBI KARP
Lic. # AR0012578

LEVEL 01
DEMO PLAN

Date	--	Sheet No.
Scale	--	
Project	2239	A0.10



MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET					
ITEM #	Zoning Information				
1	Address:	200 SOUTH POINTE DR. MIAMI BEACH, FLORIDA 33139			
2	Board and file numbers:	PB22-0542			
3	Folio number(s):	02-4210-000-0134			
4	Year constructed:	2014	Zoning District:	R-PS4	
5	Base Flood Elevation:	AE-8.0	Grade value in NGVD:	7.27'	
6	Adjusted grade (Flood+Grade/2):		Lot Area (SF):	17,861 (0.41 acres)	
7	Lot width (FT):	69.34'	Lot Depth (FT):	277.67'	
8	Minimum Unit Size(SF):	N/A	Average Unit Size:	N/A	
9	Existing use:	ACCESSORY RESTAURANT (ASSEMBLY-GROUP A2)	Proposed use:	ACCESSORY RESTAURANT (ASSEMBLY- GROUP A2)	
		Maximum	Existing	Proposed	Deficiencies
10	Height:	80'	43'-3"		
11	Number of Stories:	8	2	SAME AS EXISTING	
12	FAR:	2	1.5	SAME AS EXISTING	
13	Gross square footage:	-	11,933	SAME AS EXISTING	
	Setbacks	Required	Existing	Proposed	Deficiencies
	Pedestal:				
14	Front Setback:	5'-0"	15'-0-1/2"	SAME AS EXISTING	
	Side / Interior Setback:	7'-6"	6'-2"	SAME AS EXISTING	
15					
16	Left Side Setback:	N/A	N/A	SAME AS EXISTING	
17	Right Side Setback:	5'-0"	3'-10"	SAME AS EXISTING	
18	Rear Setback:	27'-1"	4'-5"	SAME AS EXISTING	
	Parking	Required	Existing	Proposed	Deficiencies
19	Parking District: No. 1				
20	Total # of parking spaces:	1 SPACE PER 4 SEATS	0	120 VALET SPACES	0
	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
21	Type of use:			RESTAURANT	
22	Total # of seats:			391	
23	Total # of seats per venue (Provide a separate chart for a breakdown calculation)			N/A	
24	Total occupant load:			593	
25	Occupant load per venue (Provide a separate chart for a breakdown calculation)			N/A	



Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBI KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBI KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA (c) 2022

PERMIT SET

PLANNING BOARD
FINAL SUBMITTAL

CATCH RESTAURANT
RENOVATIONS

200 SOUTH POINTE DR.
MIAMI BEACH, FLORIDA. 33139

Owner:
Name OWNER
Address OWNER_ADDRESS1
Address OWNER_ADDRESS2
Tel. OWNER_PHONE
Email OWNER_EMAIL

Consultant:
Name
Address
Address
Tel.
Email

Consultant:
Name
Address
Address
Tel.
Email

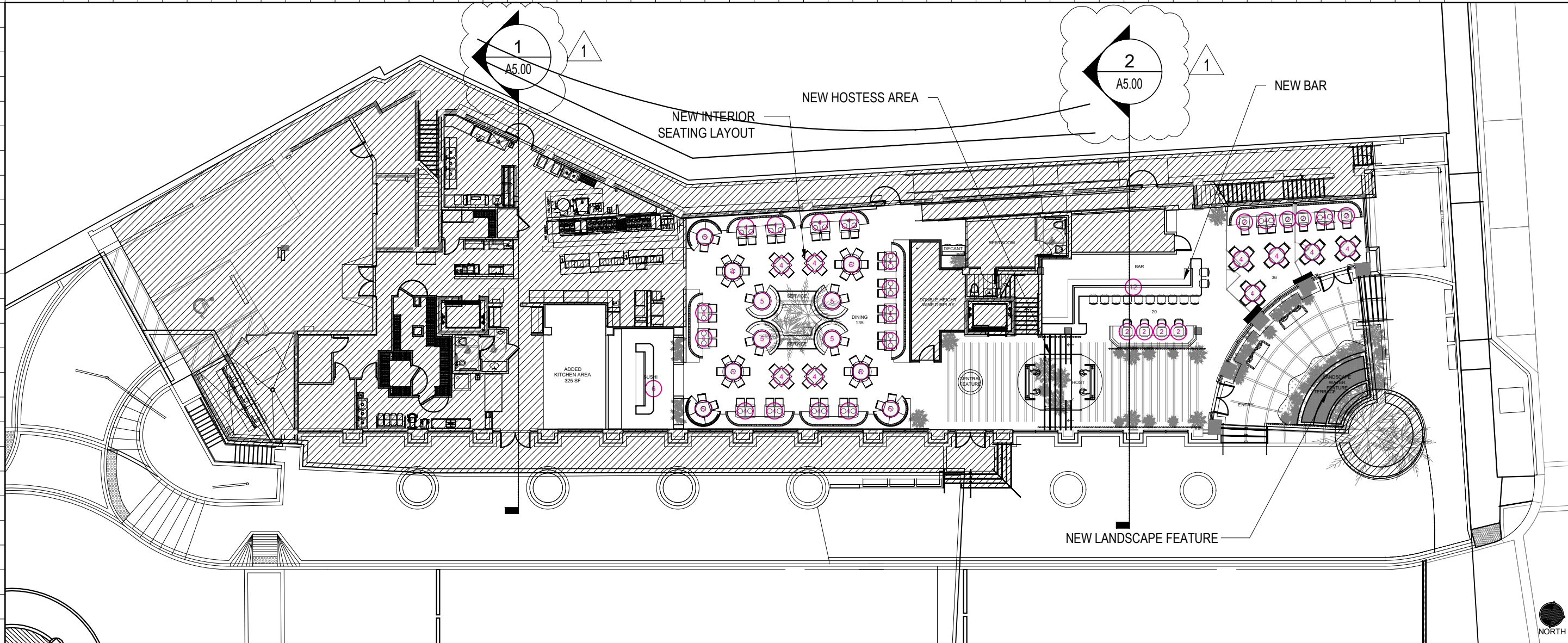
Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766



KOBI KARP
Lic. # AR0012578

SITE PLAN & DATA

Date	--	Sheet No.
Scale	--	A2.00
Project	2239	



1 PROPOSED FLOOR PLAN
SCALE: 3/64" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. SEPARATE PERMIT BY SPECIALTY CONTRACTOR FOR SPRINKLED SYSTEM, KITCHEN HOOD AND FIRE SUPPRESSANT
2. NO ARCHITECTURAL WORK TO BE DONE TO EXTERIOR OF BUILDING. SCOPE OF WORK LIMIT TO INTERIOR AND ENTRY OPEN PATIO
3. GROUND FLOOR OUTDOOR AREA TO CLOSE BY 12 AM



NOT INCLUDED IN CONSTRUCTION SCOPE



SEAT COUNT PER TABLE

FIRST FLOOR

BAR/DPR:	056 SEATS
DINING:	135 SEATS
SUSHI:	006 SEATS

TOTAL SEATING: 197 SEATS

ROOF TERRACE

OPEN LOUNGE SEATING: 194 SEATS

TOTAL SEATING: 194 SEATS

BUILDING TOTAL SEATING: 391 SEATS

NOTES:
IN ALL DINING AREAS AT LEAST 5% OF THE TOPS OF DINING SURFACES SHALL BE A MIN. OF 28" & MAX. 34" HIGH PER FLORIDA ACCESSIBILITY CODE SECTION 902.3.

TOTAL OCCUPANCY COUNT

FIRST FLOOR:	338.1 OCCUPANTS
MEZZANINE LEVEL:	6.4 OCCUPANTS
ROOF TERRACE:	248.4 OCCUPANTS

TOTAL OCCUPANCY LOAD: 592.9 = 593 OCCUPANTS

Rev.	Date
1	07.20.22

PLANNING DEPT. REVIEW

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBI KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBI KARP ARCHITECTURE, & INTERIOR DESIGN, INC. AIA (A) 2022

PERMIT SET
PLANNING BOARD
INITIAL SUBMITTAL

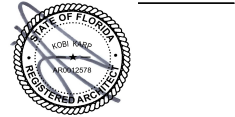
CATCH RESTAURANT
RENOVATIONS
200 SOUTH POINT DR
MIAMI BEACH, FLORIDA, 33139

Owner:
Name OWNER
Address OWNER_ADDRESS1
Address OWNER_ADDRESS2
Tel. OWNER_PHONE
Email OWNER_EMAIL

Consultant:
Name
Address
Address
Tel.
Email

Consultant:
Name
Address
Address
Tel.
Email

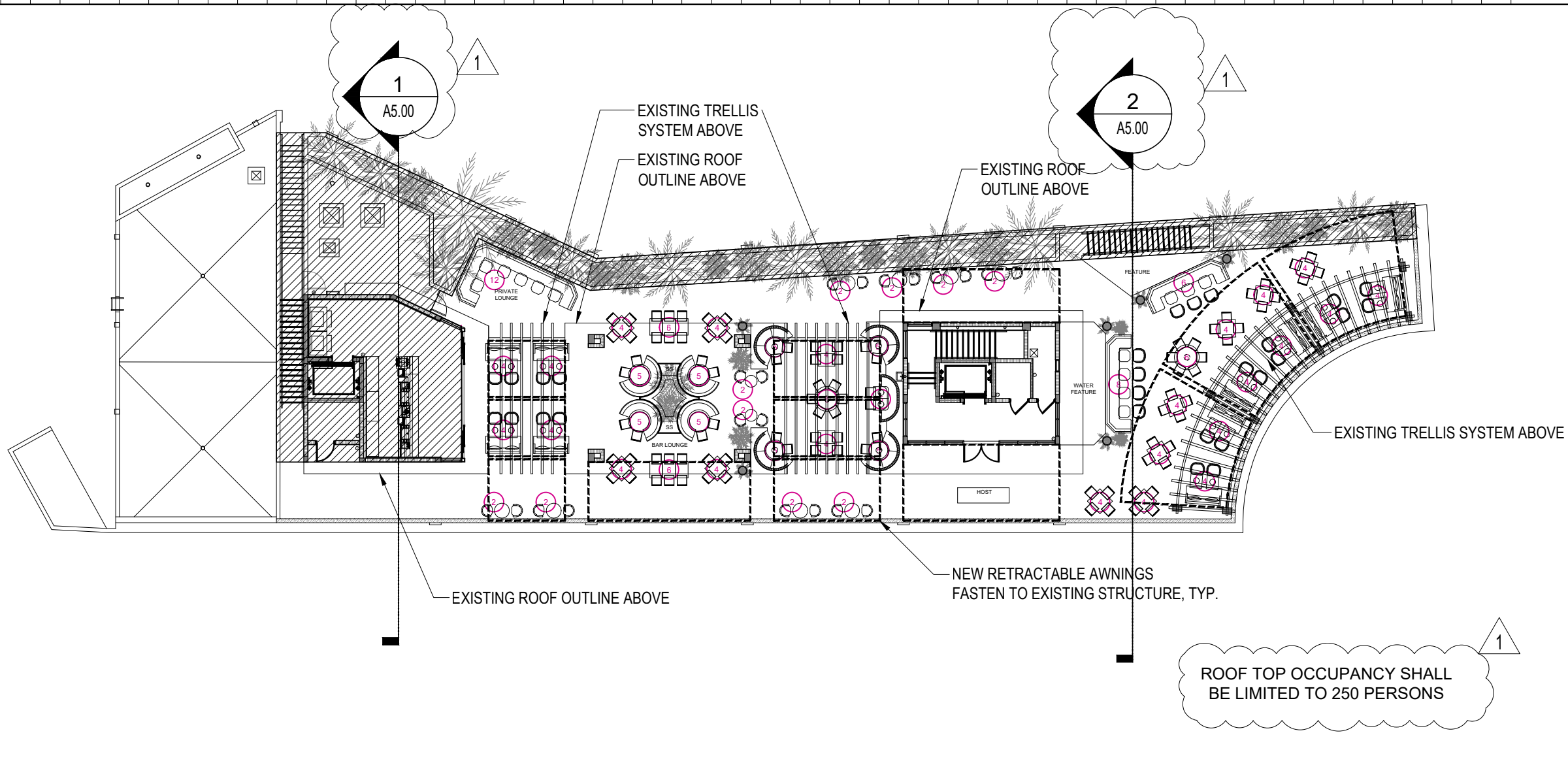
Architect:
Kobi Karp Architecture and Interior Design
Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766



KOBI KARP
Lic. # AR0012578

LEVEL 01
FLOOR PLAN

Date	--	Sheet No.
Scale	--	A3.00
Project	2239	



ROOF TOP OCCUPANCY SHALL
BE LIMITED TO 250 PERSONS

NORTH

1 PROPOSED ROOF PLAN
SCALE: 3/64" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. SEPARATE PERMIT BY SPECIALTY CONTRACTOR FOR SPRINKLED SYSTEM, KITCHEN HOOD AND FIRE SUPPRESSANT
2. NO ARCHITECTURAL WORK TO BE DONE TO EXTERIOR OF BUILDING. SCOPE OF WORK LIMIT TO INTERIOR AND ENTRY OPEN PATIO
3. GROUND FLOOR OUTDOOR AREA TO CLOSE BY 12 AM



NOT INCLUDED IN CONSTRUCTION SCOPE



SEAT COUNT PER TABLE



NEW RETRACTABLE AWNINGS FASTEN TO EXISTING STRUCTURE

FIRST FLOOR

BAR/DPR:	056 SEATS
DINING:	135 SEATS
SUSHI:	006 SEATS

TOTAL SEATING: 197 SEATS

ROOF TERRACE

OPEN LOUNGE SEATING: 194 SEATS

TOTAL SEATING: 194 SEATS

BUILDING TOTAL SEATING: 391 SEATS

NOTES:
IN ALL DINING AREAS AT LEAST 5% OF THE TOPS OF DINING SURFACES SHALL BE A MIN. OF 28" & MAX. 34" HIGH PER FLORIDA ACCESSIBILITY CODE SECTION 902.3.

TOTAL OCCUPANCY COUNT

FIRST FLOOR:	338.1 OCCUPANTS
MEZZANINE LEVEL:	6.4 OCCUPANTS
ROOF TERRACE:	248.4 OCCUPANTS

TOTAL OCCUPANCY LOAD: 592.9 = 593 OCCUPANTS

Rev.	Date
1	PLANNING DEPT. REVIEW 07.20.22

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBI KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBI KARP ARCHITECTURE, & INTERIOR DESIGN, INC. AIA (U) 2022

PERMIT SET

PLANNING BOARD
FINAL SUBMITTAL

CATCH RESTAURANT
RENOVATIONS

200 SOUTH POINT DR
MIAMI BEACH, FLORIDA. 33139

Owner:
Name
Address
Address
Tel:
Email
OWNER
OWNER_ADDRESS1
OWNER_ADDRESS2
OWNER_PHONE
OWNER_EMAIL

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Architect:
Kobi Karp Architecture and Interior Design
Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766



KOBI KARP
Lic. # AR0012578

ROOF
FLOOR PLAN

Date	--	Sheet No.
Scale	--	A3.01
Project	2239	

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP A.Ş. AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN INC. A.Ş. (01.2022)

PLANNING BOARD
INITIAL SUBMITTAL

200 SOUTH POINT DR
MIAMI BEACH, FLORIDA. 33139

Consultant:
Name
Address
Address
Tel:
Email

Architect:
Kobi Karp Architecture and Interior Design
Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

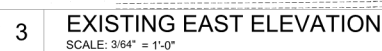
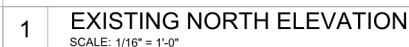


KOBI KARP
Lic. # AR0012578

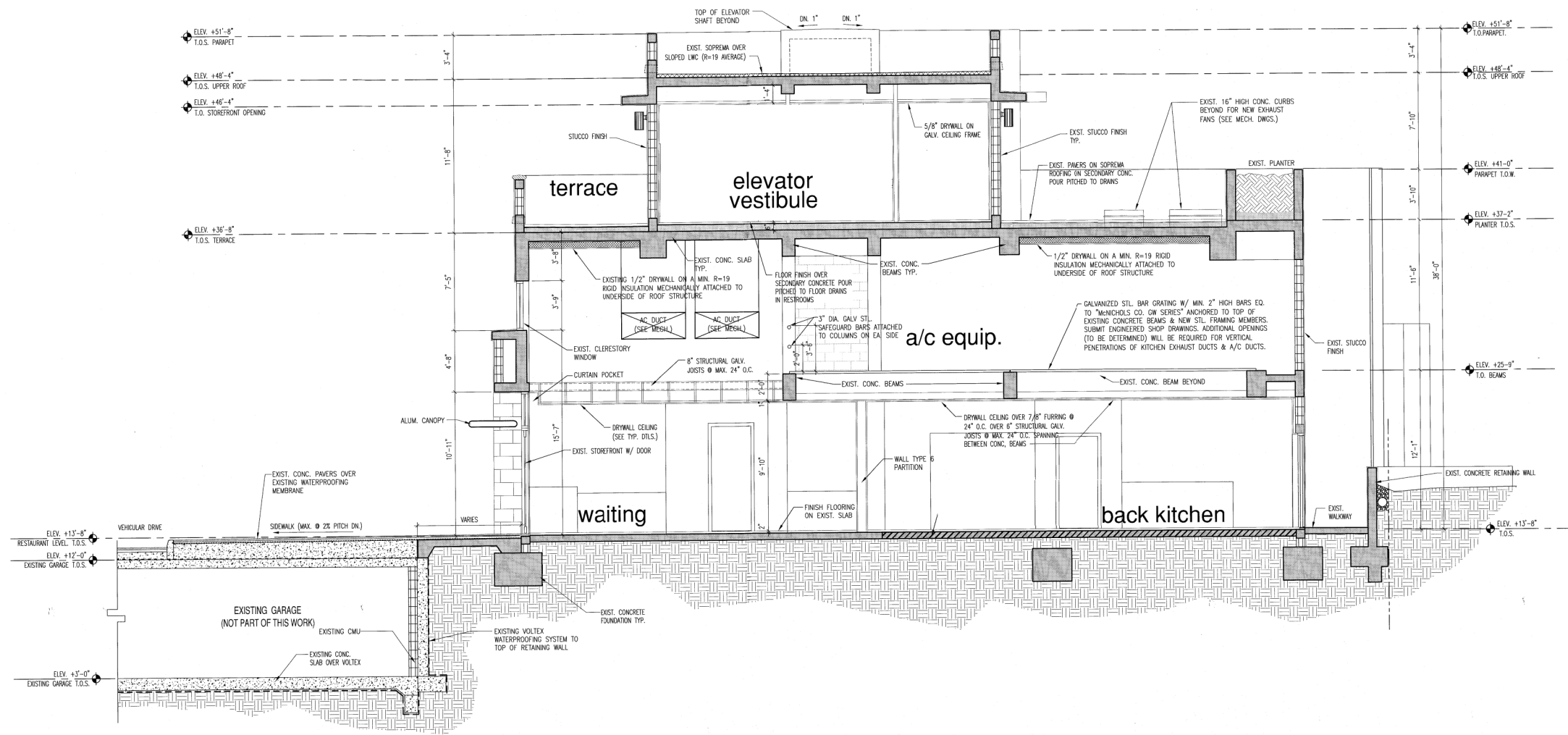
ELEVATIONS

Project 2:

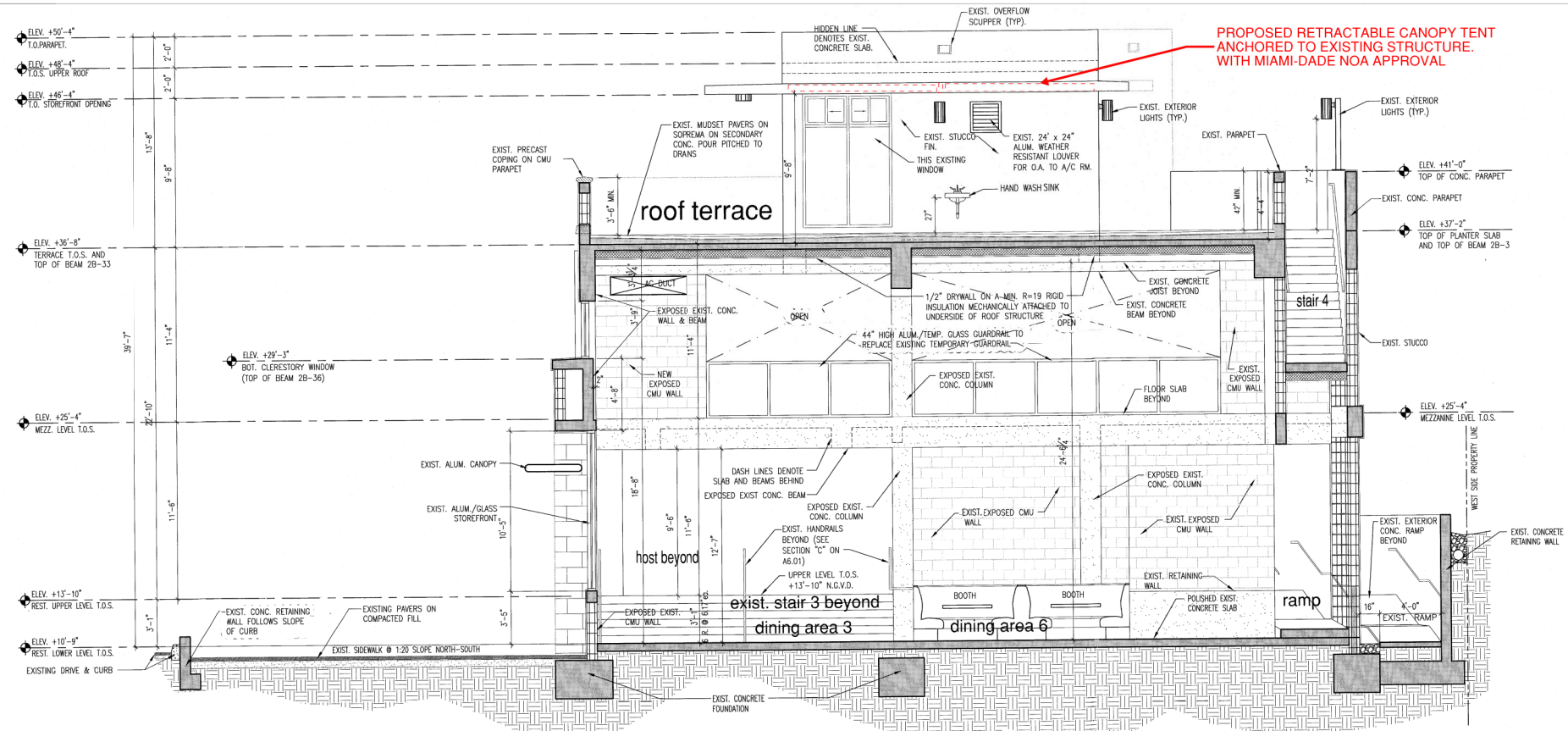
A4.00



NOTE: THIS DRAWING IS PROVIDED FOR REFERENCE ONLY AND REFLECTS WHAT HAS ALREADY BEEN BUILT. NO CHANGES ARE PROPOSED TO THE EXTERIOR ELEVATIONS OF THIS BUILDING UNDER THIS APPLICATION WITH EXCEPTION OF RETRACTABLE CANOPIES AT ROOF DECK.



1 EXISTING SECTION 1
SCALE: 3/32" = 1'-0"



4 EXISTING SECTION 2
SCALE: 3/32" = 1'-0"

NOTE: THIS DRAWING IS PROVIDED FOR REFERENCE ONLY AND REFLECTS WHAT HAS ALREADY BEEN BUILT. NO CHANGES ARE PROPOSED TO THE EXTERIOR ELEVATIONS OF THIS BUILDING UNDER THIS APPLICATION WITH EXCEPTION OF RETRACTABLE CANOPIES AT ROOF DECK.

1

Rev. Date
PLANNING DEPT. REVIEW 07.20.22

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOB KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOB KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA (U) 2022

PERMIT SET
PLANNING BOARD
INITIAL SUBMITTAL

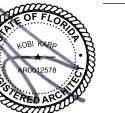
CATCH RESTAURANT
RENOVATIONS
200 SOUTH POINT DR
MIAMI BEACH, FLORIDA 33139

Owner:
Name OWNER
Address OWNER_ADDRESS1
Address OWNER_ADDRESS2
Tel. OWNER_PHONE
Email OWNER_EMAIL

Consultant:
Name
Address
Address
Tel.
Email

Consultant:
Name
Address
Address
Tel.
Email

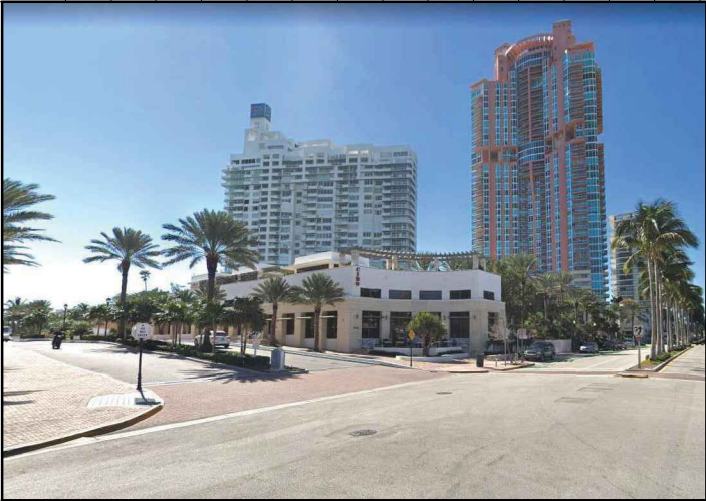
Architect:
Kobi Karp Architecture and Interior Design
Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766



KOB KARP
Lic. # AR0012578

SECTIONS

Date	--	Sheet No.	
Scale	--		A5.00
Project	2239		



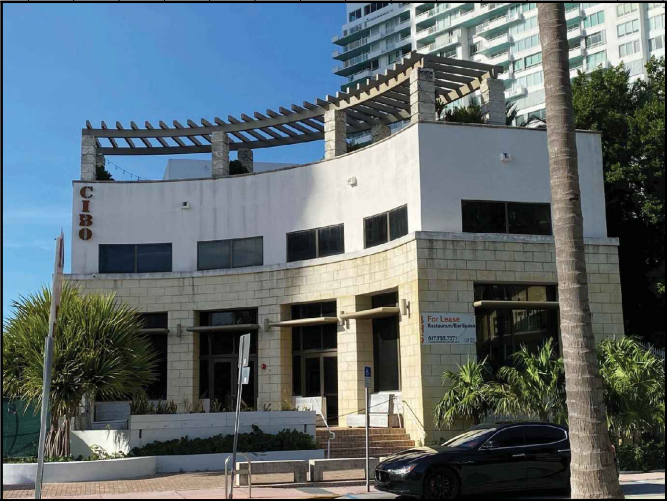
B OPPOSITE CORNER FACING SW
SCALE: NTS



E NORTH - ONE OCEAN CONDOMINIUMS
SCALE: NTS



H NIKKI BEACH - NE VIEW
SCALE: NTS



A SOUTH EXTERIOR ELEVATION
SCALE: NTS



D CORNER OF OCEAN DR & SOUTHPONTE DR
SCALE: NTS



G PORTOFINO TOWER
SCALE: NTS

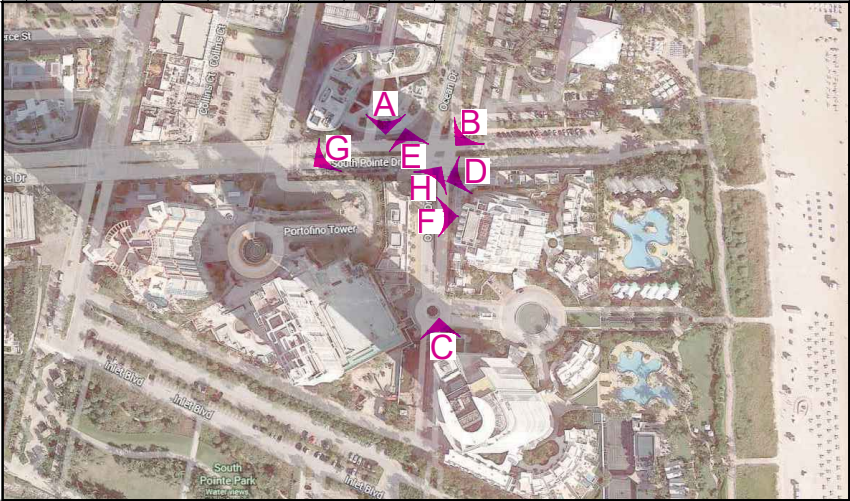


PHOTO LOCATION AERIAL
SCALE: NTS



C OCEAN DR VIEW NORTH
SCALE: NTS



F CONTINUUM CONDOMINIUM
SCALE: NTS

Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF Kobi Karp AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF Kobi Karp Architecture & Interior Design, Inc. AIA (s) 2022

PERMIT SET

PLANNING BOARD
FINAL SUBMITTAL

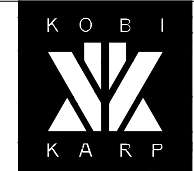
CATCH RESTAURANT
RENOVATIONS
200 SOUTH POINT DR
MIAMI BEACH, FLORIDA 33139

Owner:
Name OWNER
Address OWNER_ADDRESS1
Address OWNER_ADDRESS2
Tel. OWNER_PHONE
Email OWNER_EMAIL

Consultant:
Name
Address
Address
Tel.
Email

Consultant:
Name
Address
Address
Tel.
Email

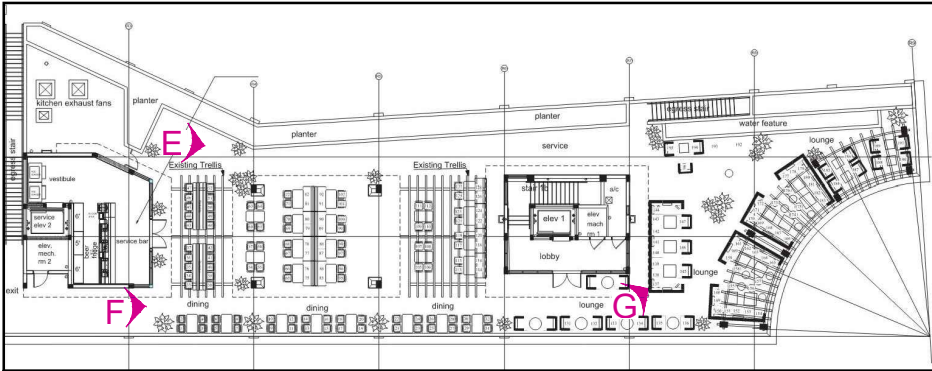
Architect:
Kobi Karp Architecture and Interior Design
Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766



KOBI KARP
Lic. # AR0012578

CONTEX EXISTING PHOTOS

Date	--	Sheet No.
Scale	--	A6.00
Project	2239	



Rev.	Date

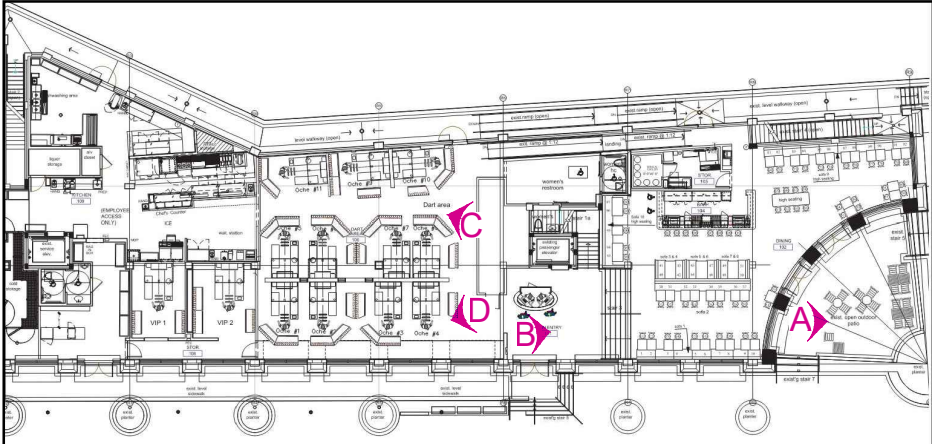
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF Kobi KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF Kobi KARP ARCHITECTURE, & INTERIOR DESIGN, INC. AIA (c) 2022

PERMIT SET

PLANNING BOARD
FINAL SUBMITTAL

M ROOF DECK - WEST PERIMETER
SCALE: NTS

J MAIN ENTRY - DINING
SCALE: NTS



CATCH RESTAURANT RENOVATIONS

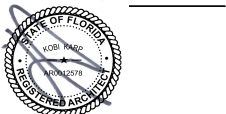
200 SOUTH POINT DR
MIAMI BEACH, FLORIDA. 33139

Owner:
Name: OWNER
Address: OWNER_ADDRESS1
Address: OWNER_ADDRESS2
Tel: OWNER_PHONE
Email: OWNER_EMAIL

Consultant:
Name:
Address:
Address:
Tel:
Email:

Consultant:
Name:
Address:
Address:
Tel:
Email:

Architect:
Kobi Karp Architecture and Interior Design
Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1918
Fax: +1(305) 573 3766



Kobi Karp
Lic. # AR0012578

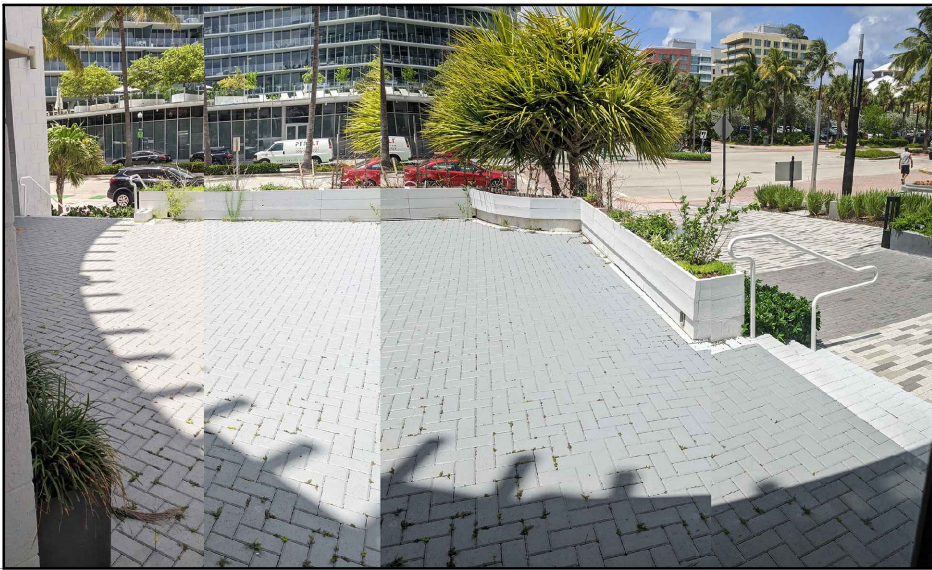
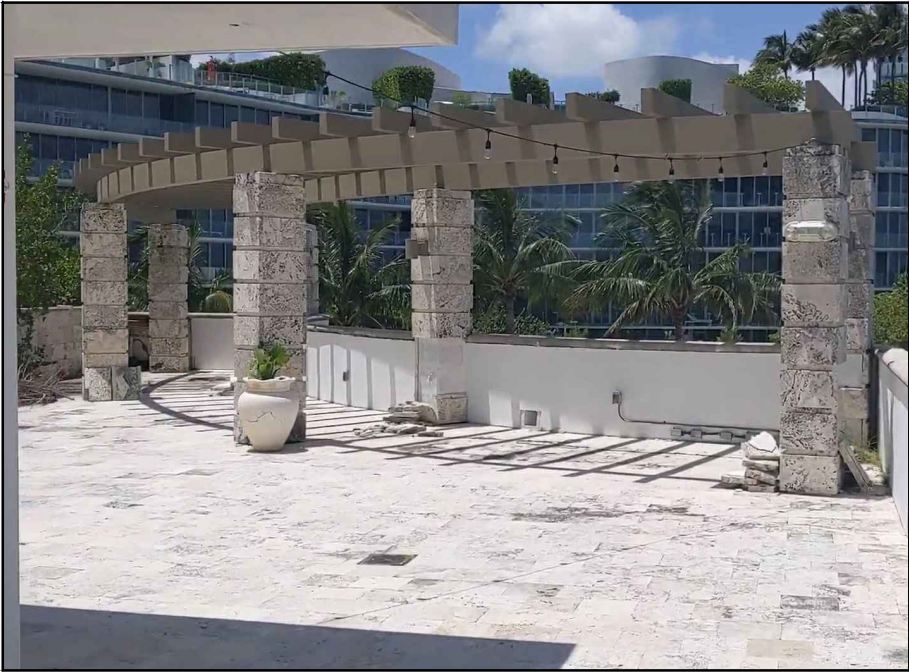
INTERIOR EXISTING PHOTOS

Date	--	Sheet No.
Scale	--	A6.00
Project	2239	

N ROOF DECK - EAST PERIMETER
SCALE: NTS

K DART AREA - BACK
SCALE: NTS

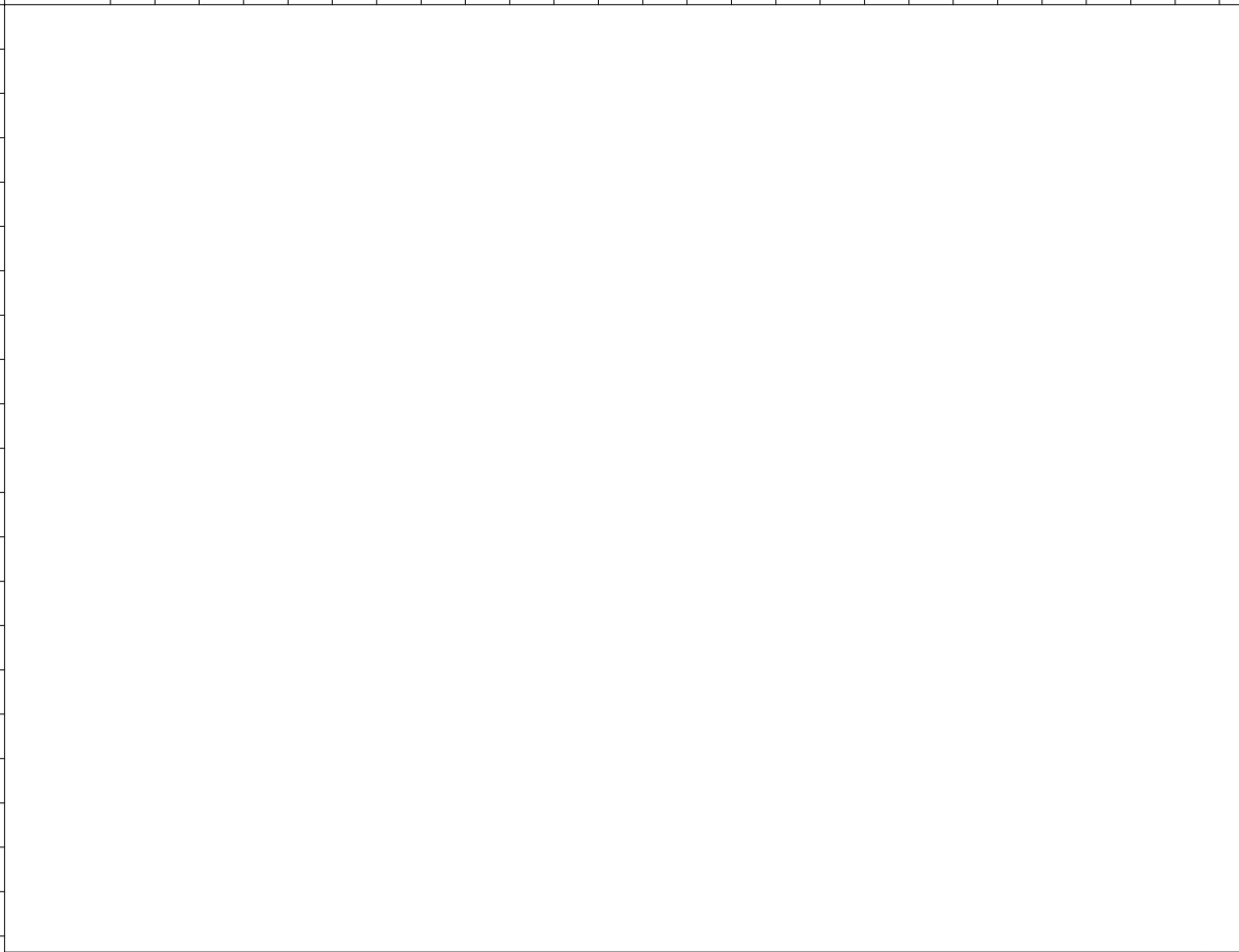
PHOTO LOCATION AERIAL
SCALE: NTS



O ROOF DECK - NORTH LOUNGE
SCALE: NTS

L DART AREA - FRONT
SCALE: NTS

I ENTRY COURTYARD
SCALE: NTS



1 NE CORNER OF ROOF TOP - AERIAL VIEW
SCALE: N.T.S



2 SE CORNER OF ROOF TOP - AERIAL VIEW
SCALE: NTS

Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN
CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOB
KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED
WITHOUT THE EXPRESS WRITTEN CONSENT OF KOB KARP
ARCHITECTURE & INTERIOR DESIGN, INC. AIA (c) 2022

PERMIT SET

PLANNING BOARD
FINAL SUBMITTAL

CATCH RESTAURANT
RENOVATIONS

200 SOUTH POINT DR
MIAMI BEACH, FLORIDA. 33139

Owner:

Name OWNER
Address OWNER_ADDRESS1
Address OWNER_ADDRESS2
Tel. OWNER_PHONE
Email OWNER_EMAIL

Consultant:

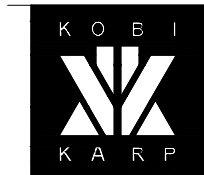
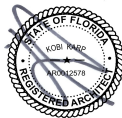
Name
Address
Address
Tel.
Email

Consultant:

Name
Address
Address
Tel.
Email

Architect:

Kobi Karp Architecture and Interior Design,
Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766



KOBI KARP
Lic. # AR0012578

RENDERS
ROOF TOP

Date	--	Sheet No.
Scale	--	A7.00
Project	2239	