

1 EXISTING OVERALL LEVEL 4 FLOOR PLAN
SCALE: 1/16"=1'-0"

Rev.	Date	Rev.	Date

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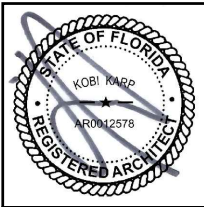
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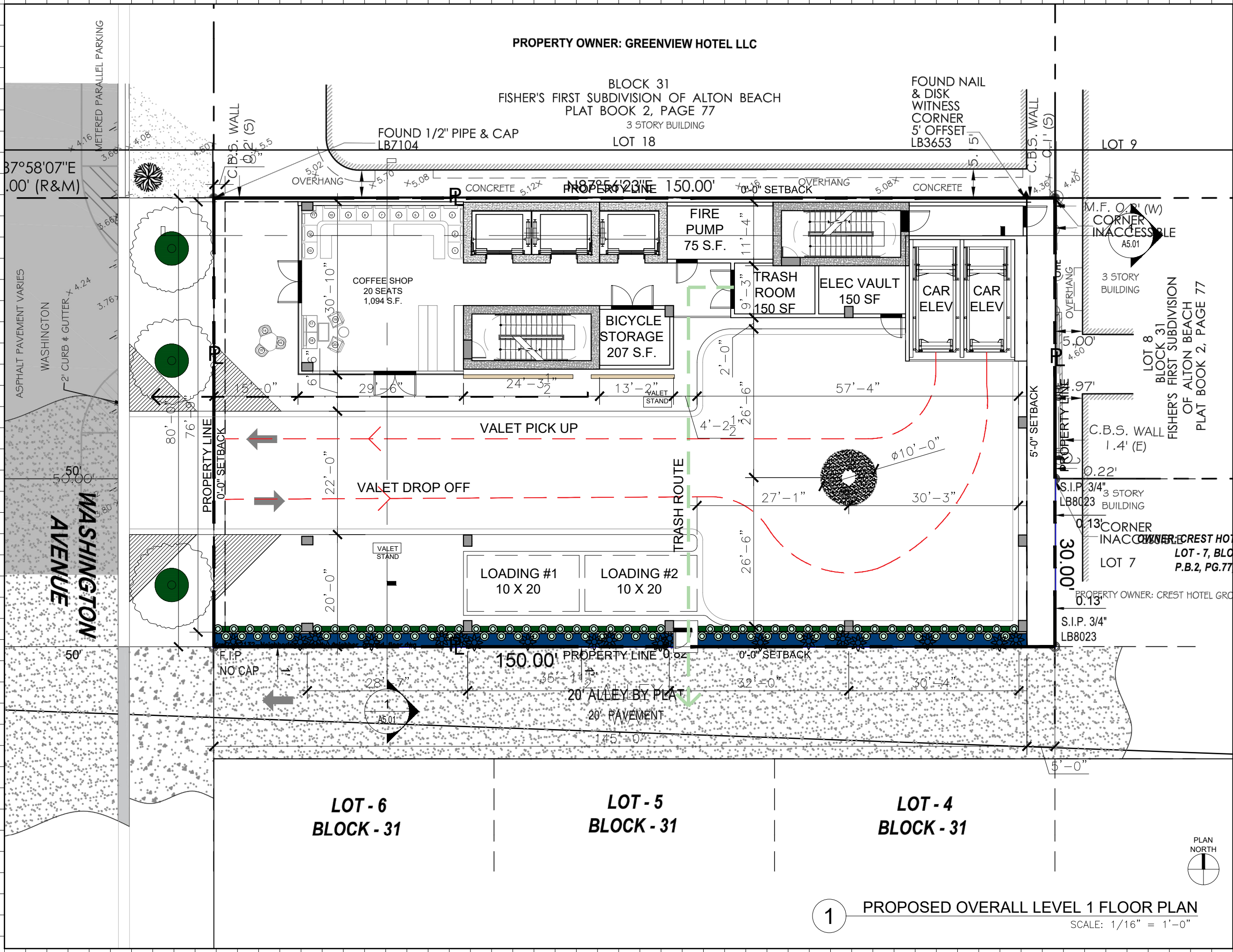
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EXISTING LEVEL 4

Date	07.01.2022	Sheet No.
Scale	1" = 30'-0"	A2.03
Project	2132	



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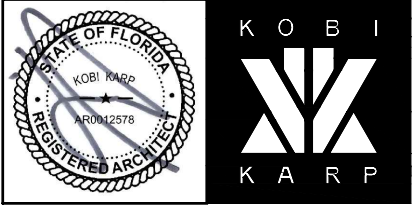
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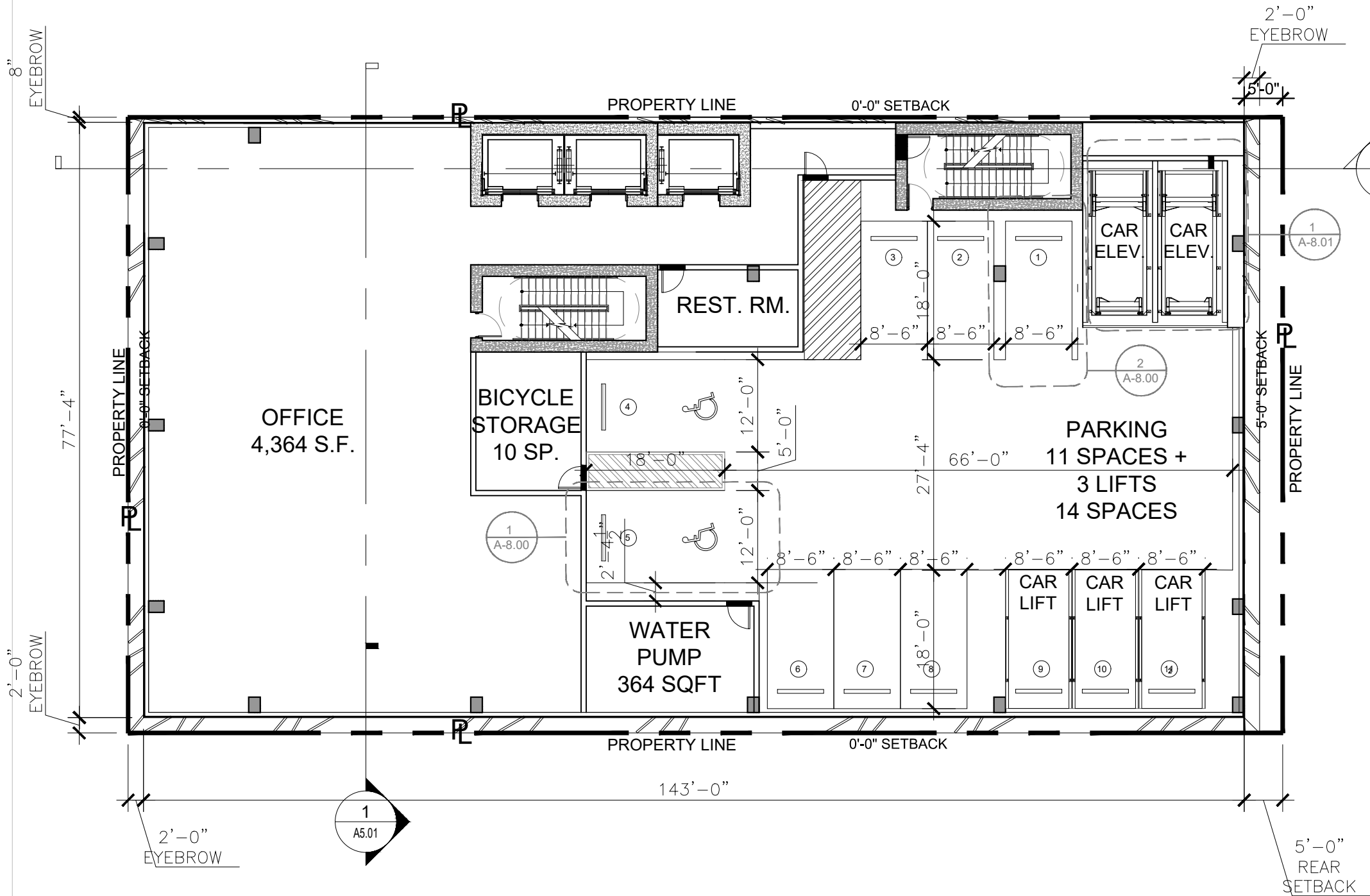
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PROPOSED LEVEL 1

Date	07.01.2022	Sheet No.
Scale	1/16" = 1'-0"	A2.21
Project	2132	

1 PROPOSED OVERALL LEVEL 1 FLOOR PLAN
SCALE: 1/16" = 1'-0"



1 PROPOSED OVERALL LEVEL 2 FLOOR PLAN
SCALE: 1/16" = 1'-0"

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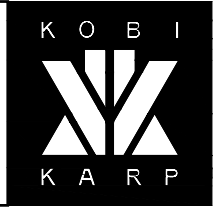
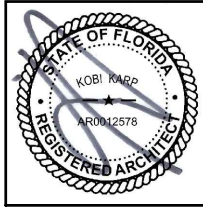
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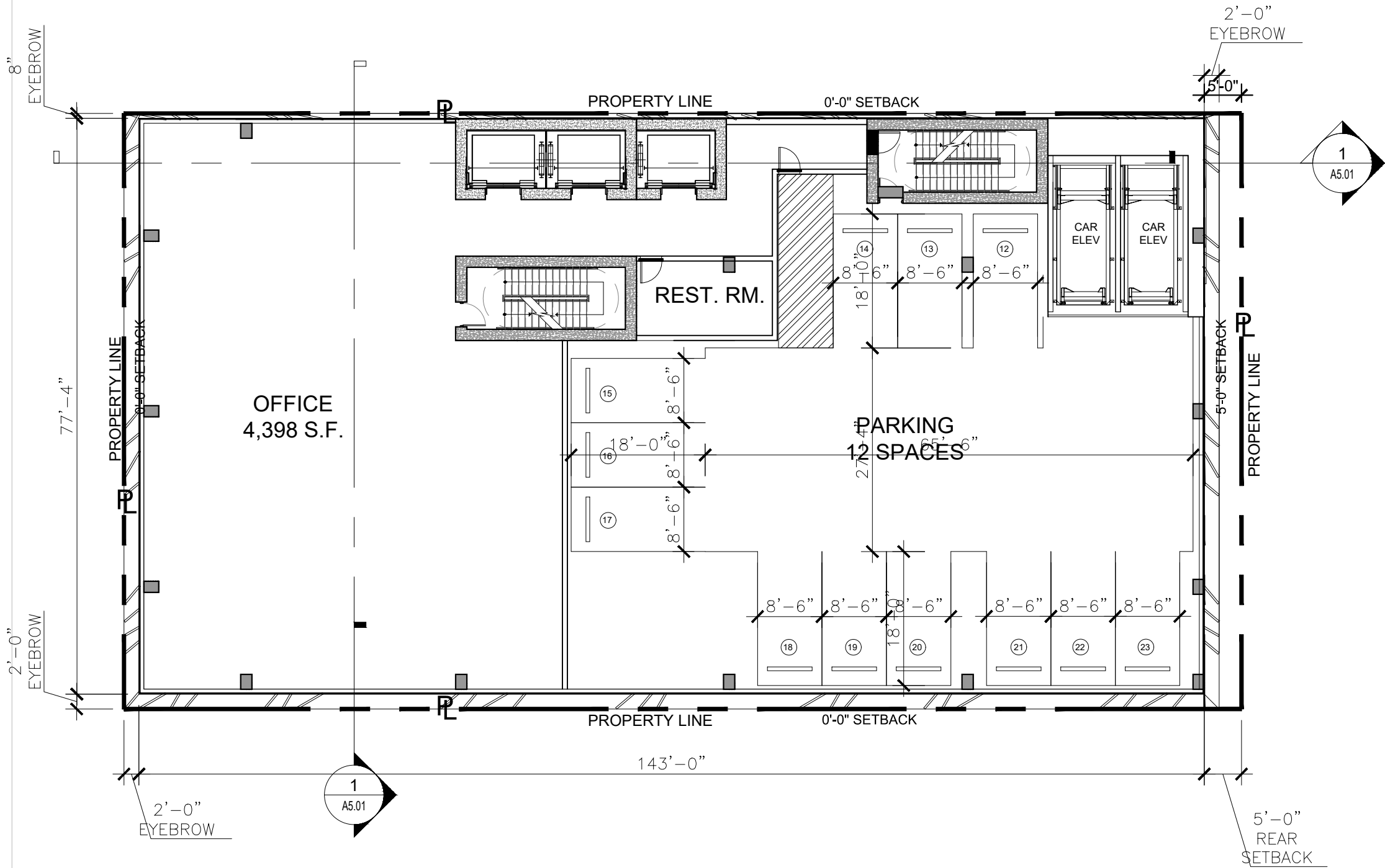
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PROPOSED LEVEL 2

Date	07.01.2022	Sheet No.
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Project	2132	



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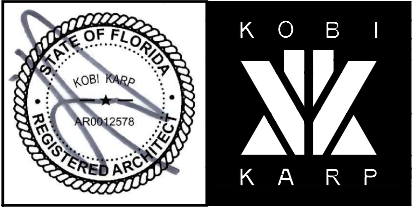
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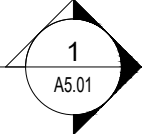
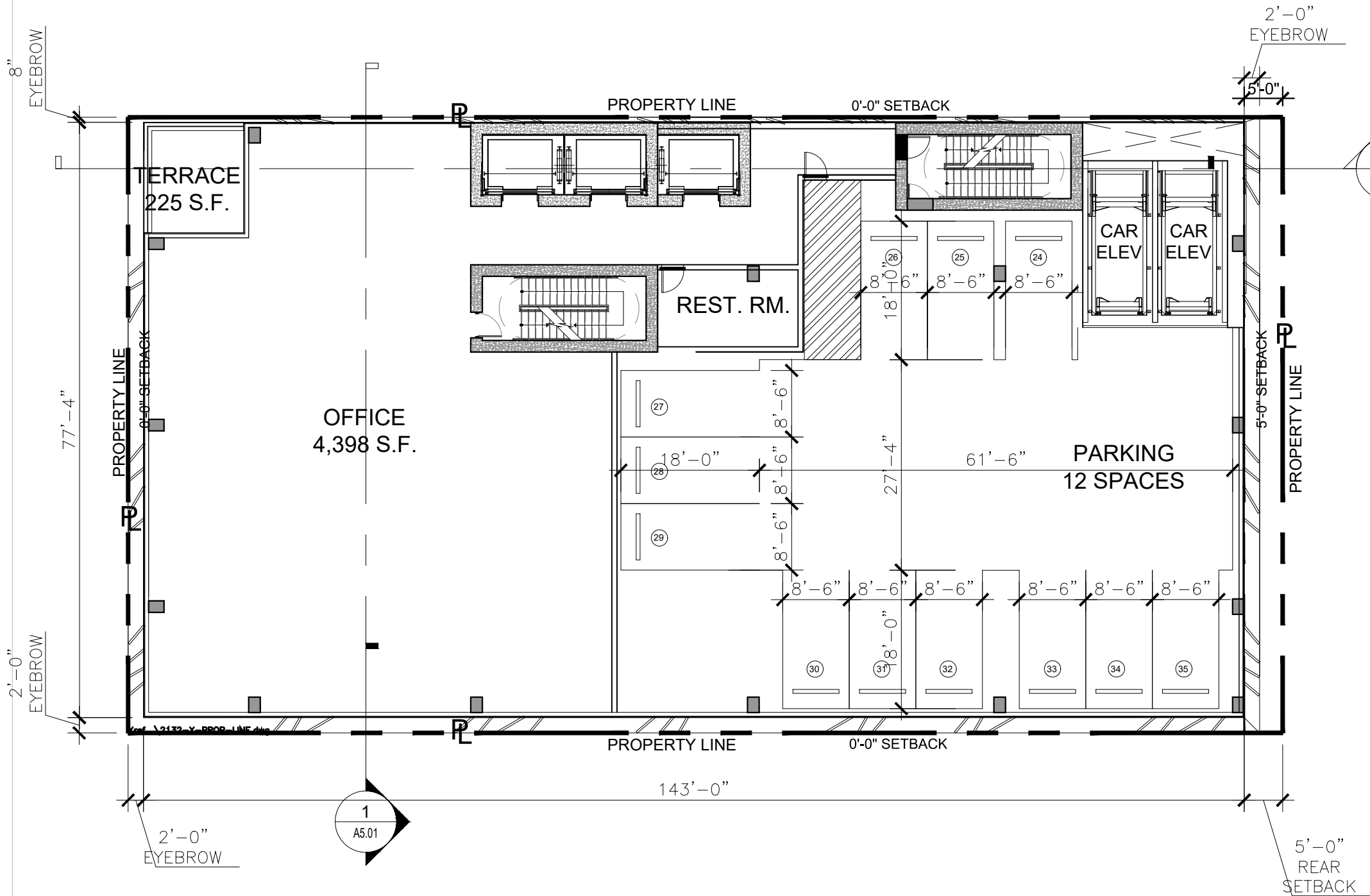
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PROPOSED LEVEL 3

Date	07.01.2022	Sheet No.
Scale	1/16" = 1'-0"	A2.23
Project	2132	

1 PROPOSED OVERALL LEVEL 3 FLOOR PLAN
SCALE: 1/16" = 1'-0"



1 PROPOSED OVERALL LEVEL 4 FLOOR PLAN
SCALE: 1/16" = 1'-0"

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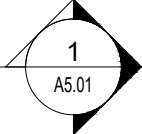
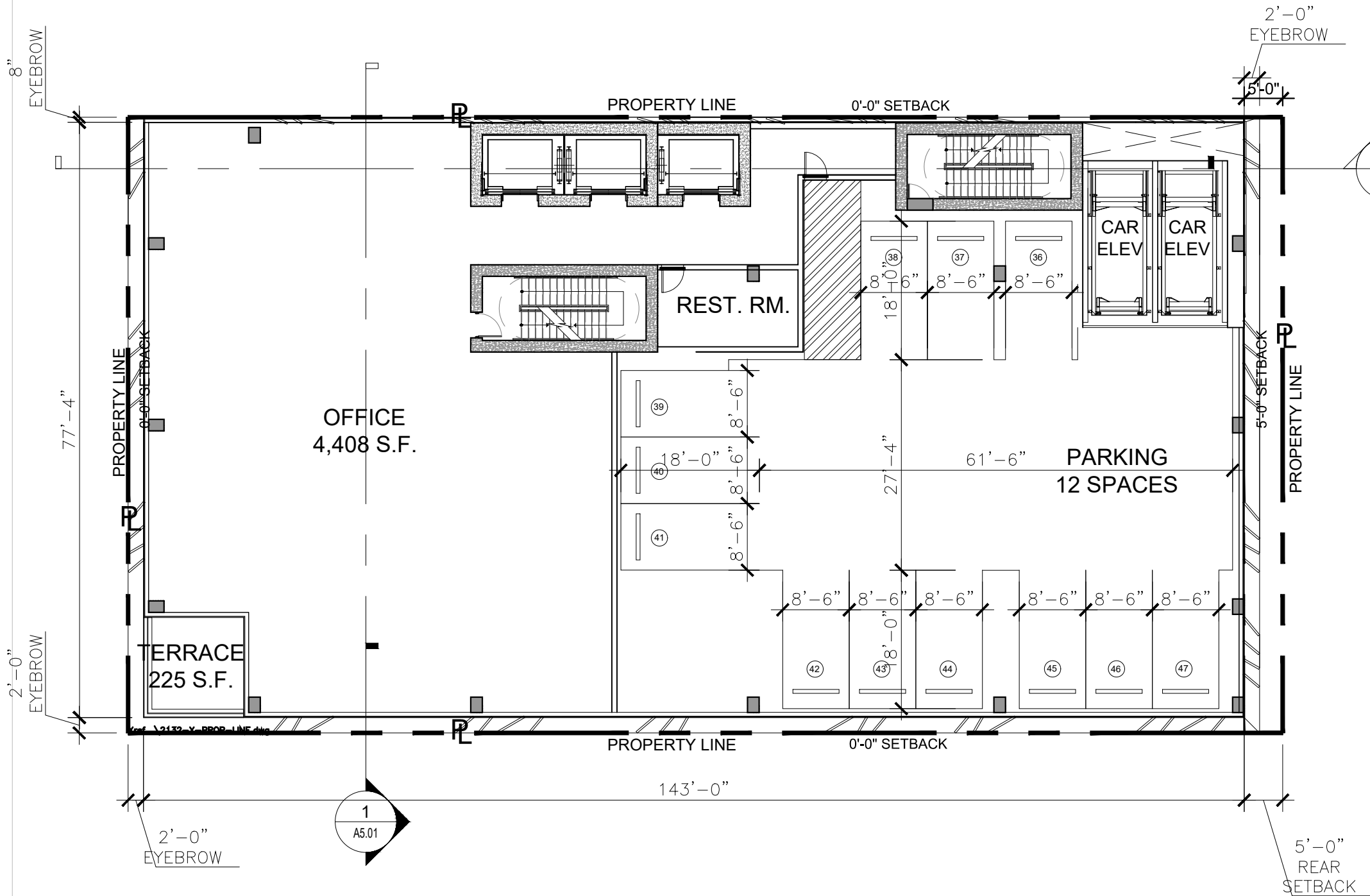
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PROPOSED LEVEL 4

Date	07.01.2022	Sheet No.
Scale	1/16" = 1'-0"	A2.24
Project	2132	



1 PROPOSED OVERALL LEVEL 5 FLOOR PLAN
SCALE: 1/16" = 1'-0"

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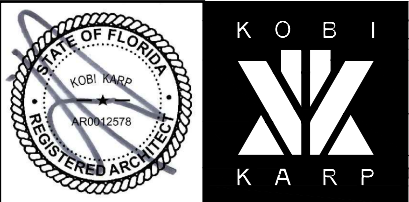
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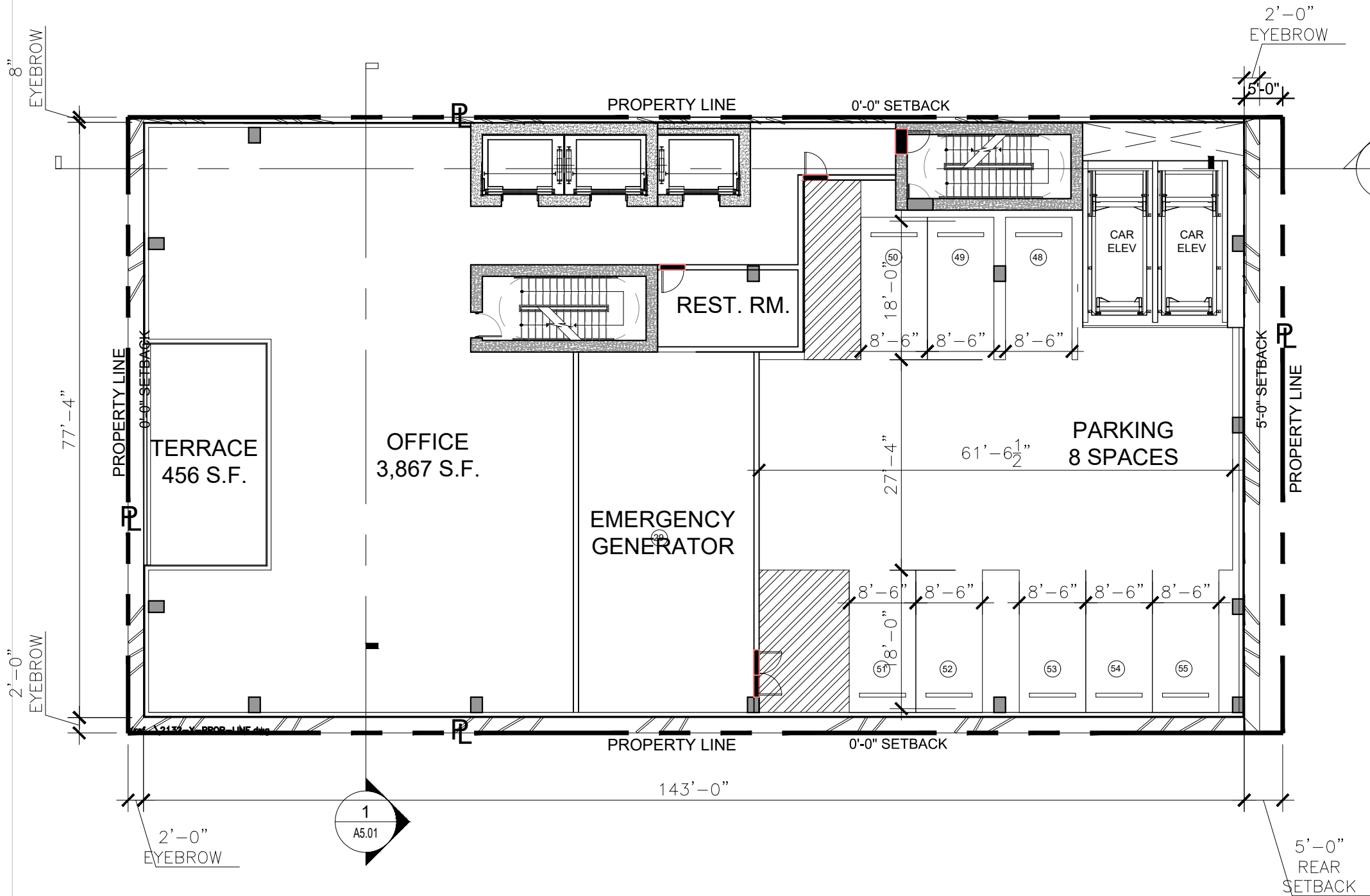
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PROPOSED LEVEL 5

Date	07.01.2022	Sheet No.
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Project	2132	



1 PROPOSED OVERALL LEVEL 6 FLOOR PLAN
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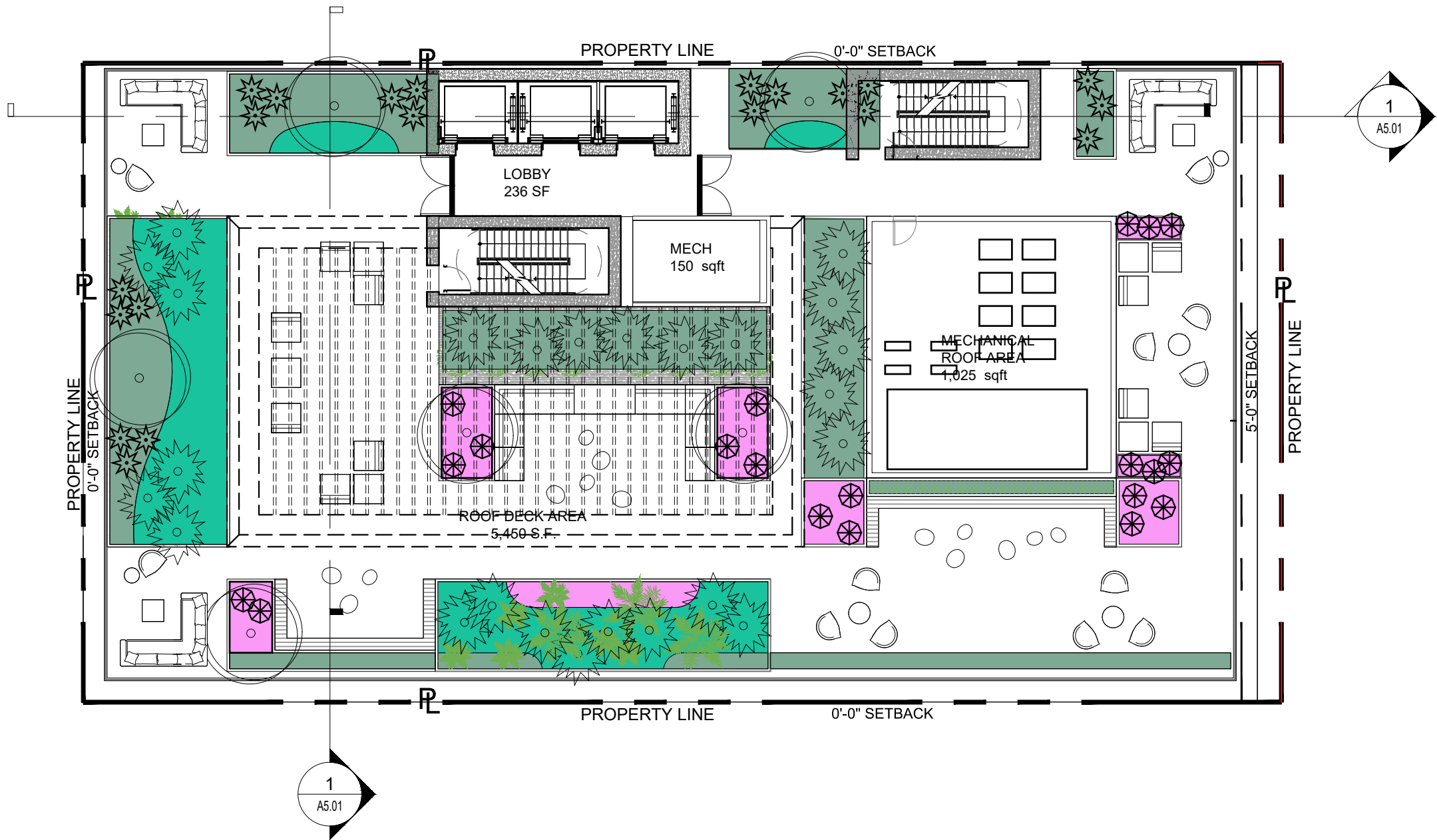
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PROPOSED LEVEL 6

Date	07.01.2022	Sheet No.
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Project	2132	



1 PROPOSED ROOF PLAN

SCALE: 1" = 16'-0"

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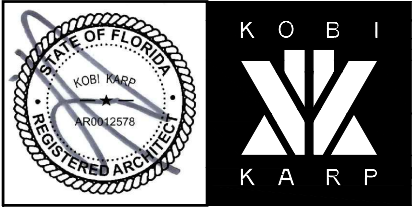
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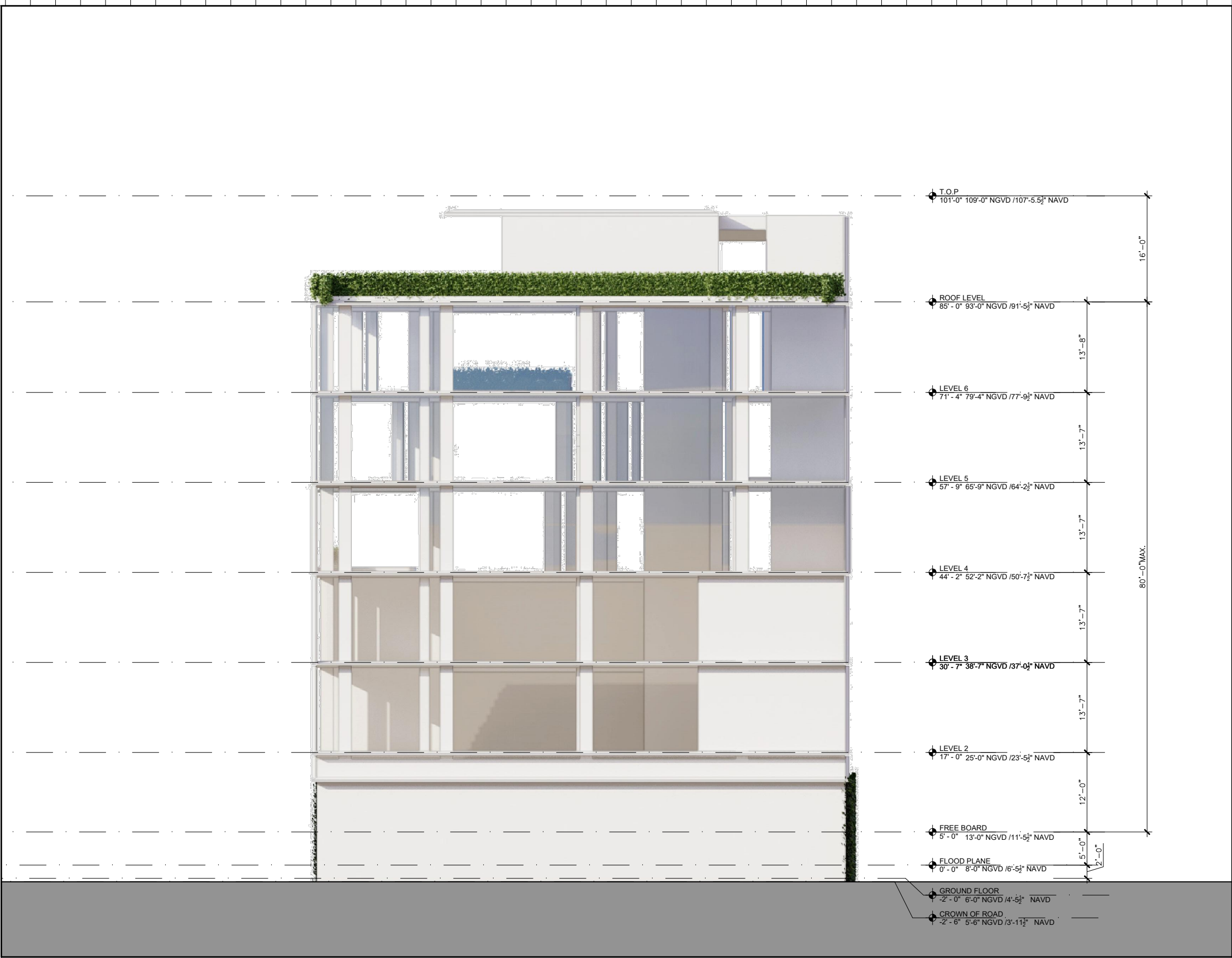
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PROPOSED ROOF PLAN

Date	07.01.2022	Sheet No.
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PROPOSED COLOR EAST
ELEVATION

Date	07.01.2022	Sheet No.
Scale	1/16"=1'-0"	A4.40
Project	2132	

1 PROPOSED COLOR ELEVATION EAST
SCALE: 1/16" = 1'-0"



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PROPOSED COLOR NORTH
ELEVATION

Date	07.01.2022	Sheet No.
Scale	1/16"=1'-0"	A4.41
Project	2132	

1 PROPOSED COLOR ELEVATION NORTH
SCALE: 1/16" = 1'-0"



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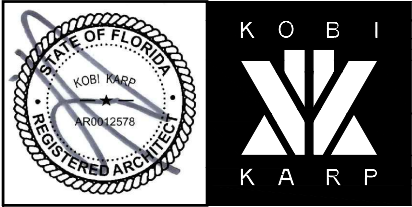
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PROPOSED COLOR SOUTH
ELEVATION

Date	07.01.2022	Sheet No.
Scale	1/16"=1'-0"	A4.42
Project	2132	

1 PROPOSED COLOR ELEVATION SOUTH
SCALE: 1/16" = 1'-0"



1 PROPOSED COLOR ELEVATION WEST
SCALE: 1/16" = 1'-0"

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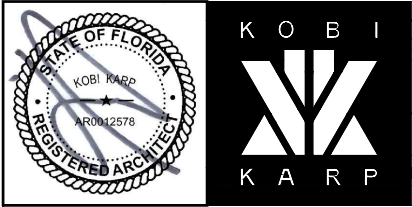
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PROPOSED COLOR WEST
ELEVATION

Date	07.01.2022	Sheet No.
Scale	1/16"=1'-0"	A4.43
Project	2132	

Sec. 142-1161. - Height regulation exceptions.

(a)The height regulations as prescribed in these land development regulations shall not apply to the following when located on the roof of a structure or attached to the main structure. For exceptions to the single-family residential districts, see subsection 142-105(e).

(1)Air conditioning, ventilation, electrical, plumbing equipment or equipment rooms.

(2)Chimneys and air vents.

(3)Decks, not to exceed three feet above the main roofline and not exceeding a combined deck area of 50 percent of the enclosed floor area immediately one floor below.

(4)Decorative structures used only for ornamental or aesthetic purposes such as spires, domes, belfries, not intended for habitation or to extend interior habitable space. Such structures shall not exceed a combined area of 20 percent of the enclosed floor area immediately one floor below.

(5)Elevator bulkheads or elevator mechanical rooms.

(6)Flagpoles subject to the provisions of section 138-72.

(7)Parapet walls, not to exceed three and one-half feet above the main roofline unless otherwise approved by the design review board up to a maximum of 25 feet in height.

(8)Planters, not to exceed three feet in height above the main roofline.

(9)Radio, television, and cellular telephone towers or antennas, and rooftop wind turbines.

(10)Stairwell bulkheads.

(11)Skylights, not to exceed five feet above the main roofline.

(12)Stage towers or scenery lofts for theaters.

(13)Swimming pools, whirlpools or similar structures, which shall have a four-foot wide walkway surrounding such structures, not to exceed five feet above the main roofline.

(14)Trellis, pergolas or similar structures that have an open roof of cross rafters or latticework.

(15)Water towers.

(16)Bathrooms required by the Florida Building Code, not to exceed the minimum size dimensions required under the Building Code, provided such bathrooms are not visible when viewed at eye level (five feet, six inches from grade) from the opposite side of the adjacent right-of-way; for corner properties. Such bathrooms shall also not be visible when viewed at eye level (five feet, six inches from grade) from the diagonal corner at the opposite side of the right-of-way and from the opposite side of the side street right-of-way.

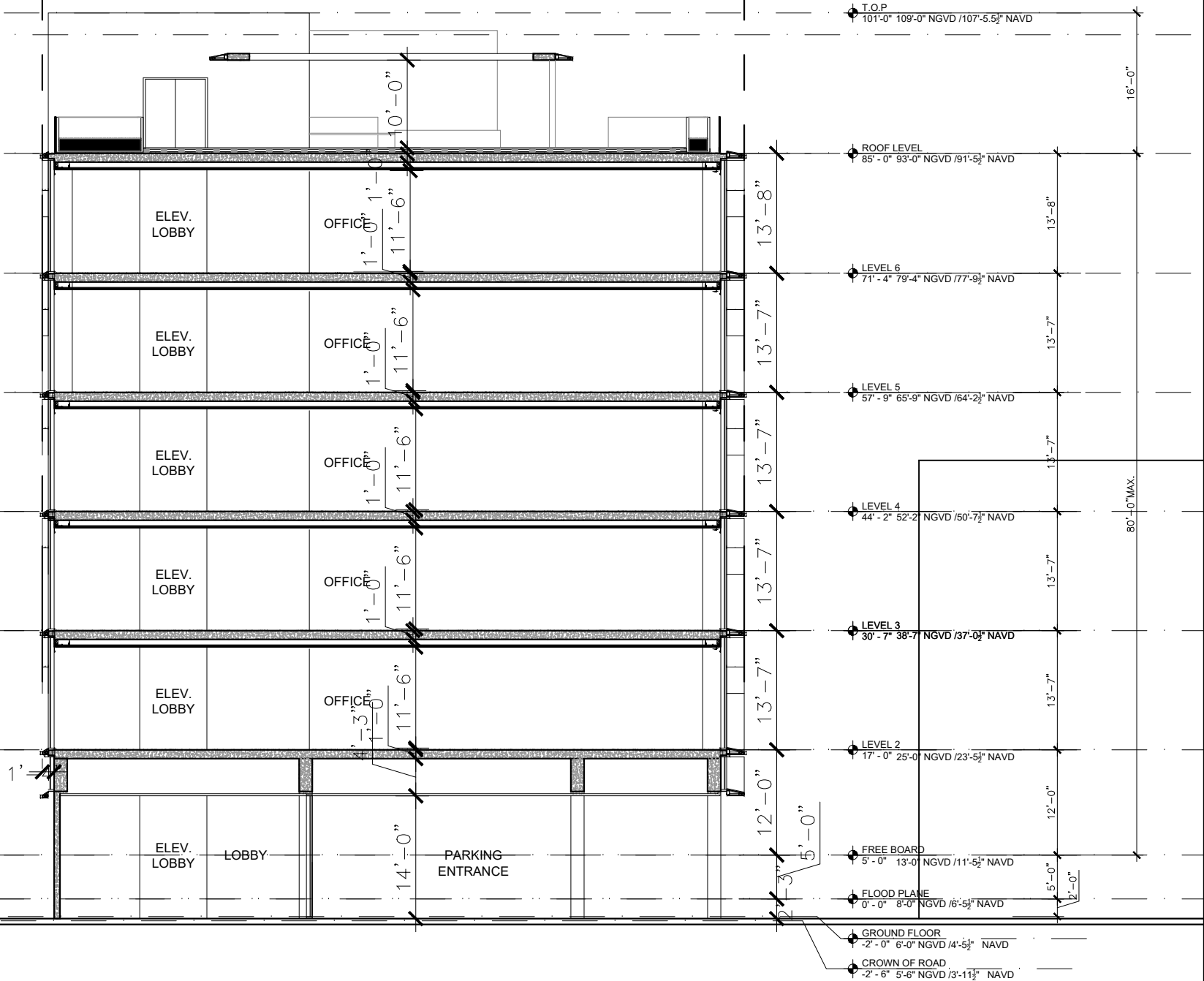
(17)Solar panels.

(18)Wind turbines on oceanfront properties.

(19)Sustainable roofing systems.

(20)Display or screen structures, projection devices, lobby, concession space, and sound attenuation and screening devices, any of which serve an outdoor movie theater fronting on Alton Road as provided in section 142-310 of this chapter.(b)The height of all allowable items in subsection (a) of this section, unless otherwise specified, shall not exceed 25 feet above the height of the roofline of the main structure. With the exception of items described in subsection (a)(17) and (a)(18) of this section, when any of the above items are freestanding, they shall follow the height limitations of the underlying zoning district (except flagpoles which are subject to section 138-72).(c)Notwithstanding other provisions of these regulations, the height of all structures and natural growth shall be limited by the requirements of the Federal Aviation Agency and any airport zoning regulations applicable to structure and natural growth.

(4)Decorative structures used only for ornamental or aesthetic purposes such as spires, domes, belfries, not intended for habitation or to extend interior habitable space. Such structures shall not exceed a combined area of 20 percent of the enclosed floor area immediately one floor below.



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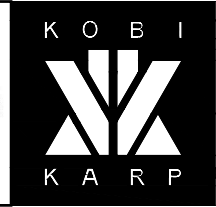
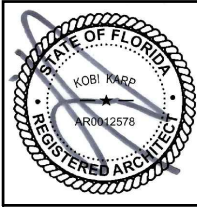
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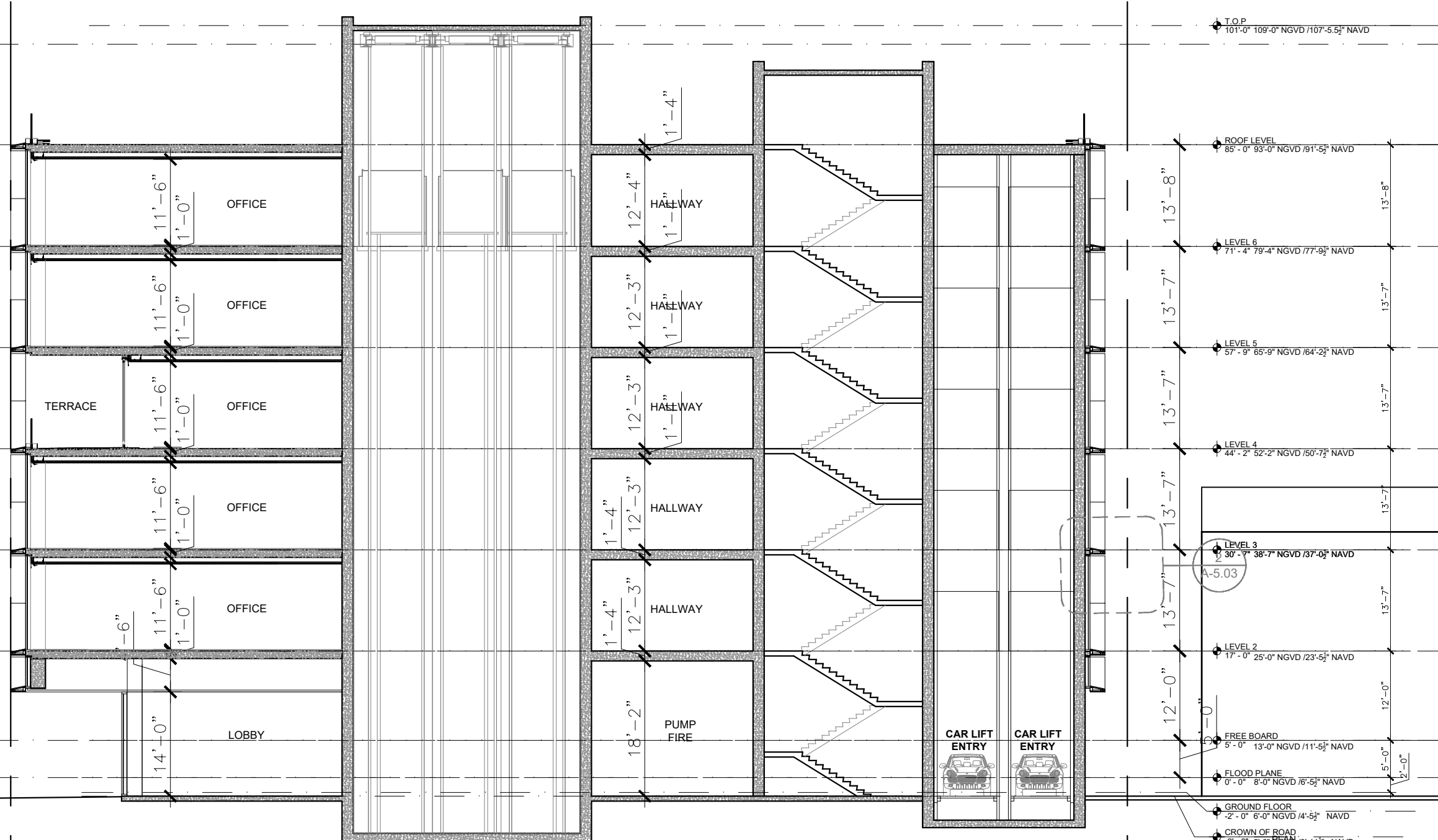
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PROPOSED SECTION

Date	07.01.2022	Sheet No.
Scale	1/16"=1'-0"	A5.01
Project	2132	

1 PROPOSED SECTION
SCALE: 1/16" = 1'-0"



T.O.P
101'-0" 109'-0" NGVD /107'-5.5" NAVD

ROOF LEVEL
85'-0" 93'-0" NGVD /91'-5" NAVD

LEVEL 6
71'-4" 79'-4" NGVD /77'-9" NAVD

LEVEL 5
57'-9" 65'-9" NGVD /64'-2" NAVD

LEVEL 4
44'-2" 52'-2" NGVD /50'-7" NAVD

LEVEL 3
30'-7" 38'-7" NGVD /37'-0" NAVD

LEVEL 2
17'-0" 25'-0" NGVD /23'-5" NAVD

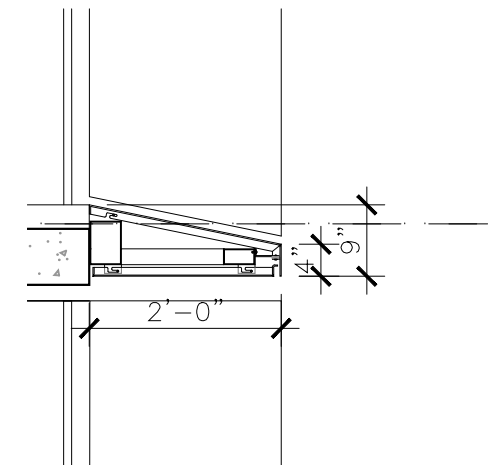
FREE BOARD
5'-0" 13'-0" NGVD /11'-5" NAVD

FLOOD PLANE
0'-0" 8'-0" NGVD /6'-5" NAVD

GROUND FLOOR
-2'-0" 6'-0" NGVD /4'-5" NAVD

CROWN OF ROAD
-2'-6" 5'-6" NGVD /3'-11" NAVD

1 SECTION 2
1/16"=1'-0"



3 24" PROJECTION
1/4"=1'-0"

Rev.	Date	Rev.	Date

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MIAMI BEACH, FLORIDA 33139

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Consultant:
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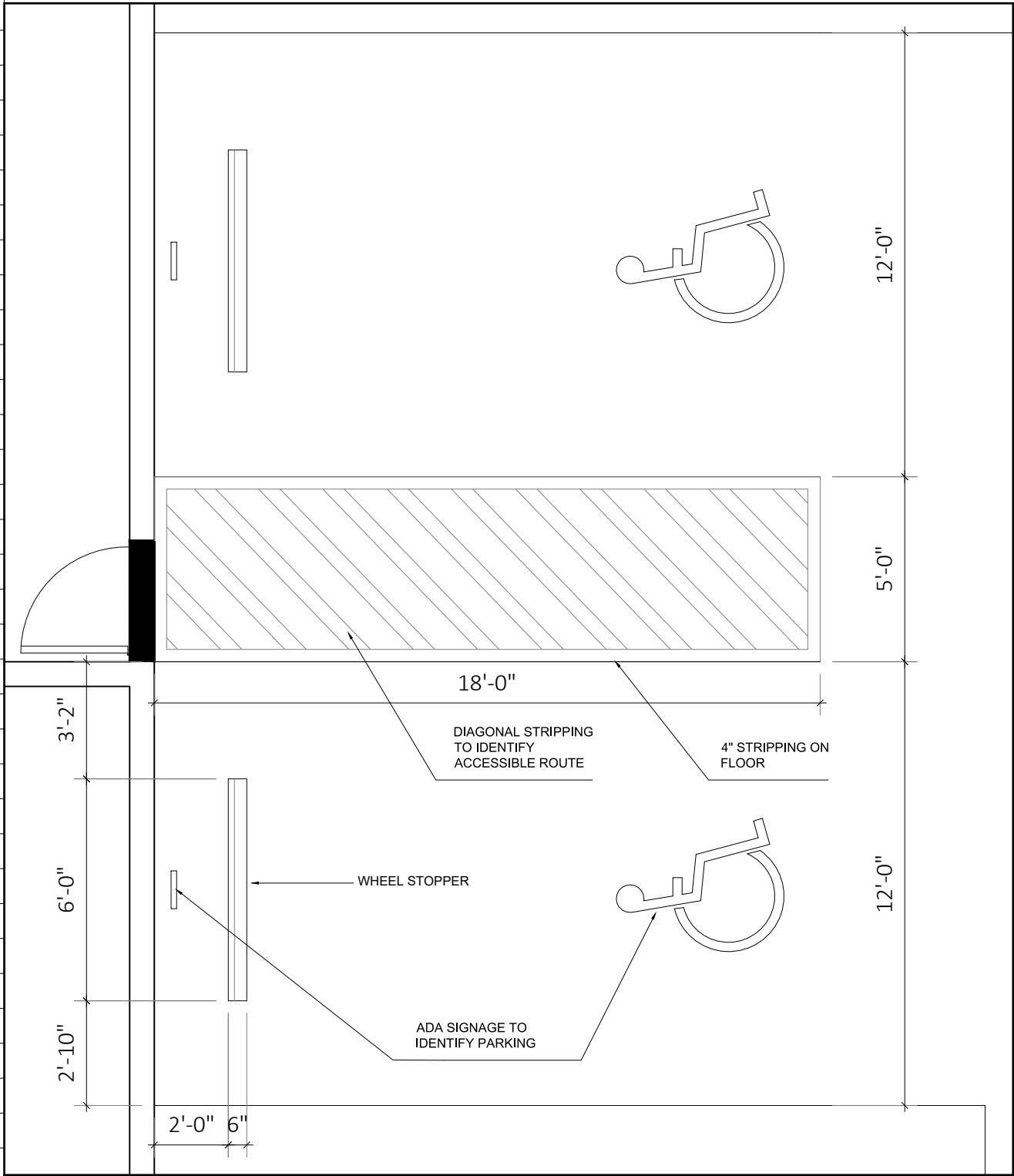
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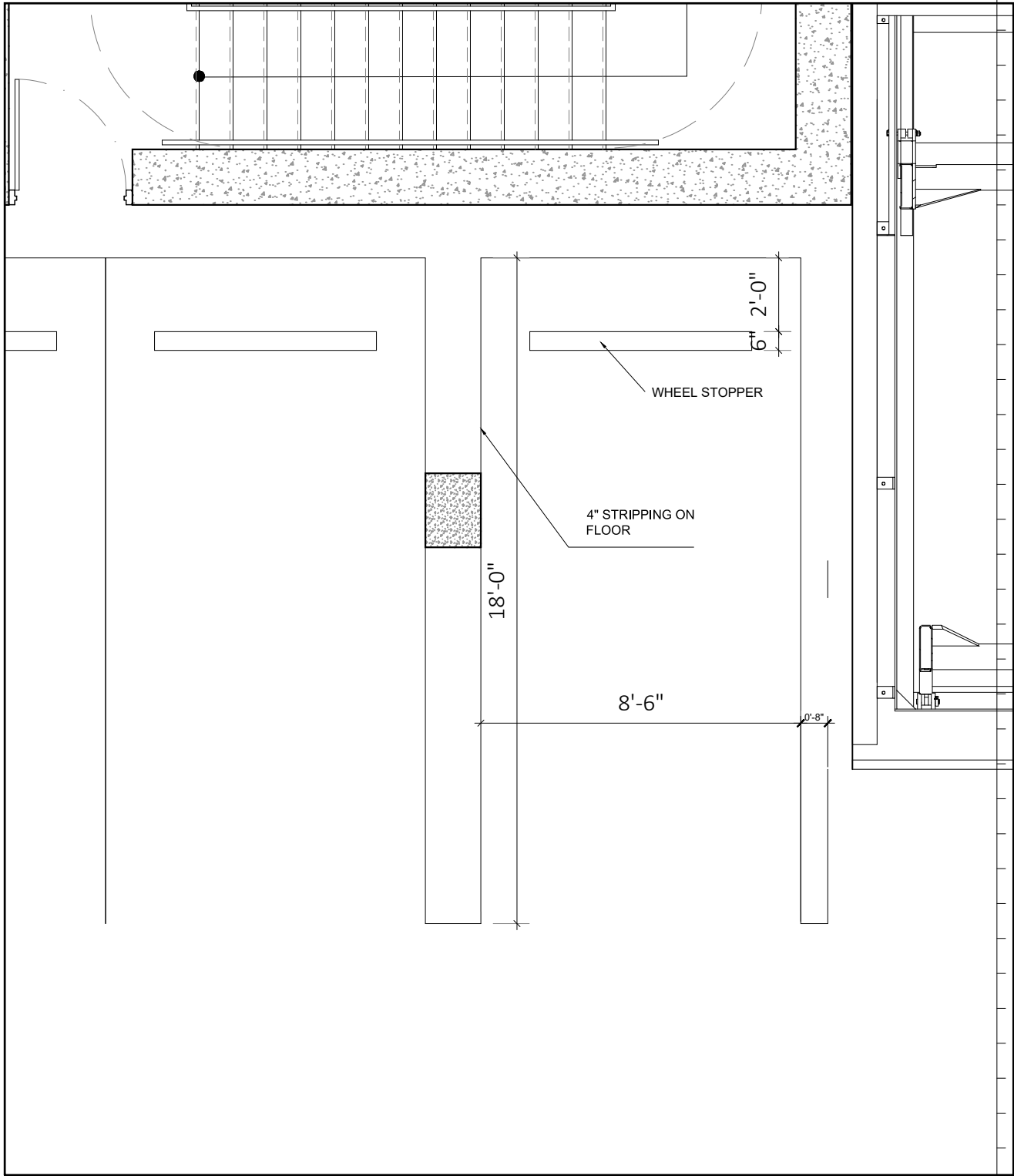


SECTION 2

Date	07.01.2022	Sheet No.	A5.02
Scale			
Project	2132		



1 ADA Parking Detail 1
SCALE: 1" = 1/4"



1 Standard Parking Detail 2
SCALE: 1" = 1/4"

Rev.	Date	Rev.	Date

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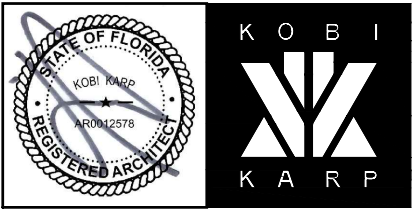
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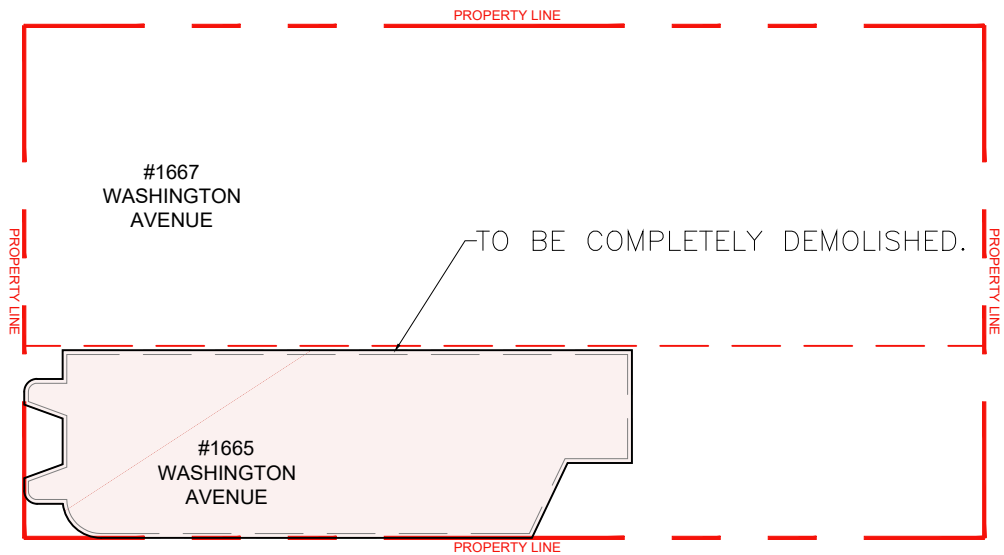
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PARKING DETAILS

Date	07.01.2022	Sheet No.
Scale	1" = 16'-0"	A8.00
Project	2132	



1 DEMOLITION LEVEL 1 FLOOR PLAN
SCALE: 1" = 30'-0"

DEMOLITION LEGEND

	EXISTING STRUCTURE TO BE REMOVED IN ITS ENTIRETY
	REMOVE INTERIOR PARTITION WALLS, WINDOWS, HARDSCAPE AND POOLS
	REMOVE SLAB
	NO DEMOLITION IN THIS AREA, EXISTING STRUCTURE TO REMAIN, PROTECT FROM DAMAGE

- | | |
|---|---------------------------------------|
| 1 | EXISTING DOOR / WINDOW TO REMAIN |
| 2 | EXISTING DOOR / WINDOW TO BE REPLACED |
| 3 | EXISTING CMU BLOCK TO BE REMOVED |

- | | |
|---|--|
| 4 | EXISTING RAILING TO BE REMOVED & REPLACED AS PER HISTORIC DATA |
| 5 | TERRAZZO FLOOR TO BE REPAIRED/ RESTORED |
| 6 | EXISTING DOOR / WINDOW TO BE REMOVED |

- | | |
|----|--|
| 7 | TILE ABOVE TERRAZZO TO BE REMOVED, TERRAZZO TO BE RESTORED |
| 8 | REMOVE PORTIONS OF WALL PER HISTORIC DESIGN |
| 9 | EXISTING COLUMNS TO BE REMOVED |
| 10 | EXISTING STEPS TO BE REMOVED |

DEMOLITION GENERAL NOTES

- 1- DEMOLITION IS INTENDED TO PRESERVE AND RESTORE ALL HISTORIC ELEMENTS OF THE BUILDING INCLUDING, BUT NOT LIMITED TO, ALL EXTERIOR WALLS, HISTORIC LOBBY FLOORS, LOBBY WALLS, LOBBY CEILING, PORCH AND THE ORIGINAL ELEVATOR SHAFT LOCATION, SIZE, UNLESS OTHERWISE NOTED.
- 2- ALL EXTERIOR WALLS AND ELEVATOR SHAFT MUST BE PROPERLY SHORED DURING AND AFTER DEMOLITION UNTIL SUCH TIME THAT THE STRUCTURAL ENGINEER AND THE CITY OF MIAMI BEACH AUTHORIZE THE REMOVAL OF SHORING. FULL SHORING SHOP DRAWINGS ENDORSED BY A FLORIDA REGISTERED ENGINEER SHALL BE SUBMITTED AND APPROVED BY THE CITY OF MIAMI BEACH PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION ACTIVITY.
- 3- EFFORTS WILL BE TAKEN TO PROTECT, RETAIN AND RESTORE ANY SIGNIFICANT ORIGINAL ARCHITECTURAL DETAILS THAT MAY EXIST BENEATH THE EXISTING FACADES AND ALL HISTORIC FEATURES TO BE PROTECTED.

Rev.	Date	Rev.	Date

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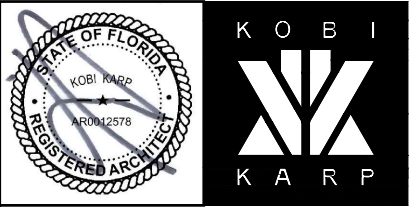
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DEMOLITION PLAN LEVEL 1

Date	07.01.2022	Sheet No. D2.01
Scale	1" = 30'-0"	
Project	2132	