ORO RESTAURANT & ELIXIR LOUNGE

818 LINCOLN ROAD
MIAMI BEACH, FL 33139

LOCATION MAP

ISSUED CHANGE

PB22-0518 FINAL SUBMITTAL 07/25/22

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A0.02	1/2 MILE AERIAL MAP
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A4.02	PROPOSED THIRD FLOOR PLAN SPEAKERS LOCATION
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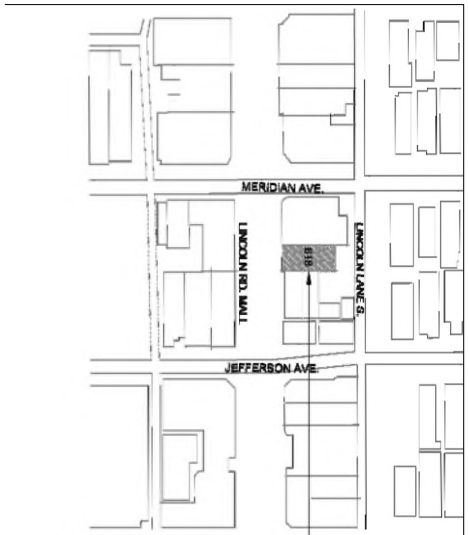
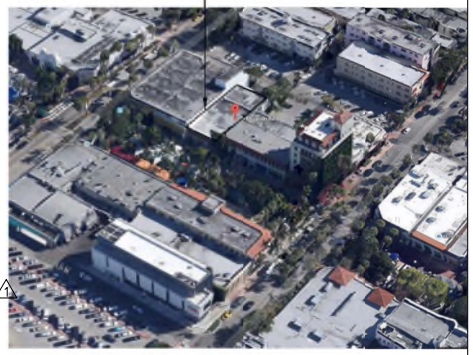


1 SITE PLAN
SCALE: N/A



2 AERIAL IMAGE
SCALE: N/A

NUMBER OF SEATS

ORO RESTAURANT INDOOR / 2ND FLR	154SEATS (8 ADA SEATS)
ORO RESTAURANT OUTDOOR / 2ND FLR	92 SEATS (5 ADA SEATS)
ELIXIR LOUNGE INDOOR / 3RD FLR	53 SEATS (3 ADA SEATS)
ELIXIR LOUNGE OUTDOOR / 3RD FLR	100 SEATS (5 ADA SEATS)
TOTAL	399 SEATS (21 ADA SEATS)

ARCHITECT OF RECORD:
drewtucker
1345 Lincoln Rd Ph 1
Miami Beach, Fl 33139
cell 520.891.0173
office 305.209.9573
www.drewtucker.com

PROJECT:
ORO RESTAURANT
ELIXIR LOUNGE
818 LINCOLN RD
MIAMI BEACH, FL 33139

OWNER:
GOLDEN ERA HOSPITALITY, LLC

REVISIONS

ISSUE	ISSUE DATE/FOR
1	JULY 25, 2022

Drew Tucker
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Drew Tucker, Architect
LIC#: AR98386

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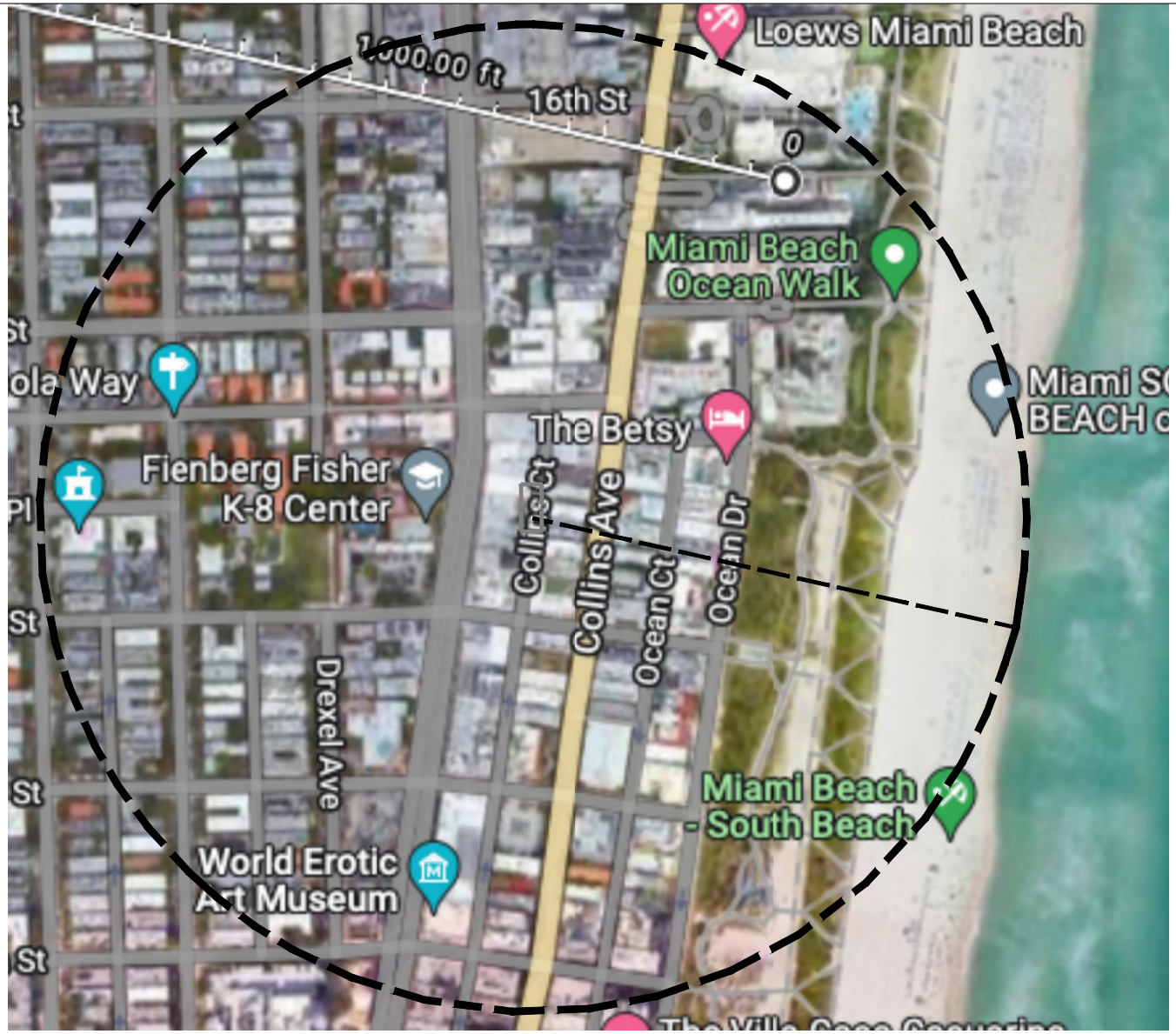
PROJECT No: 2022-04
DRAWN BY: DM/CAPU/PD
SCALE: AS SHOWN
CHECKED BY: DM/CAPU/PD
DATE: JULY 25, 2022
DRAWING TITLE: COVER SHEET
SHEET NO.: A0.01



1 1/2 MILE AERIAL MAP
SCALE: N.T.S.

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DATE: JULY 25, 2022	

DRAWING TITLE:
1/2 MILE AERIAL MAP

SHEET NO.:
A0.02

MIAMIBEACH

Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	818 Lincoln Road Miami Beach FL 33139		
2	Board and file numbers :	PB22-0518		
3	Folio number(s):	02-3234-002-0330		
4	Year constructed:	2018	Zoning District:	CD-3
5	Based Flood Elevation:	8.0' NGVD	Grade value in NGVD:	5.3' NGVD
6	Adjusted grade (Flood+Grade/2):	6.65' NGVD	Lot Area:	7,500 SF
7	Lot width:	50'-0"	Lot Depth:	150'-0"
8	Minimum Unit Size	n/a	Average Unit Size	N/A
9	Existing use:	Commercial Vacant	Proposed use:	Restaurant

		Maximum	Existing	Proposed	Deficiencies
10	Height	75'-0"	42'-0"	42'-0"	
11	Number of Stories	n/a	3	3	
12	**FAR**	16,875 SF	14,904 SF	14,904 SF	
13	Gross square footage		20,993		
14	Square Footage by use	N/A			
15	Number of units Residential	N/A	N/A	N/A	
16	Number of units Hotel	N/A	N/A	N/A	
17	Number of seats	N/A	0	399	
18	Occupancy load	N/A	0	592	

	Setbacks	Required	Existing	Proposed	Deficiencies
	Subterranean:				
19	Front Setback:	0'-0"	N/A	N/A	
20	Side Setback:	0'-0"	N/A	N/A	
21	Side Setback:	0'-0"	N/A	N/A	
22	Side Setback facing street:	5'-0"	N/A	N/A	
23	Rear Setback:		N/A	N/A	
	At Grade Parking:				
24	Front Setback:	5-0"	N/A	N/A	
25	Side Setback:	5'-0"	N/A	N/A	
26	Side Setback:	5'-0"	N/A	N/A	
27	Side Setback facing street:	5'-0"	N/A	N/A	
28	Rear Setback:	0'-0"	N/A	N/A	
	Pedestal:				
29	Front Setback:	0'-0"	10'-0"	10'-0"	
30	Side Setback:	0'-0"			
31	Side Setback:	0'-0"			
32	Side Setback facing street:	0'-0"			
33	Rear Setback:	5'-0"	5'-0"	5'-0"	
	Tower:				
34	Front Setback:	0'-0"	N/A	N/A	
35	Side Setback:	0'-0"	N/A	N/A	

MIAMIBEACH

Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback:	0'-0"	N/A	N/A	
37	Side Setback facing street:	0'-0"	N/A	N/A	
38	Rear Setback:	5'-0"	N/A	N/A	

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district No.1	0	0	0	Valet Parking proposed
40	Total # of parking spaces	0	0	0	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	0	0	0	
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	0	0	0	
43	Parking Space Dimensions	N/A	N/A	N/A	
44	Parking Space configuration (45o,60o,90o,Parallel)	N/A	N/A	N/A	
45	ADA Spaces	N/A	N/A	N/A	
46	Tandem Spaces	N/A	N/A	N/A	
47	Drive aisle width	N/A	N/A	N/A	
48	Valet drop off and pick up	in accordance with Lincoln Road Valet Parking Concession Agreement			
49	Loading zones and Trash collection areas	offsite see LOI for details			
50	racks	N/A	N/A	N/A	

	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	n/a	Vacant	Restaurant & Lounge	
52	Number of seats located outside on private property			192	
53	Number of seats inside			207	
54	Total number of seats			399	
55	Total number of seats per venue (Provide a separate chart for a breakdown calculation)			REFER TO SHEETS A2.02 & A2.03	
56	Total occupant content			399	
57	Occupant content per venue (Provide a separate chart for a breakdown calculation)			REFER TO SHEETS A2.02 & A2.03	

58	Proposed hours of operation	11:00AM to 4:00AM - Outdoor Counter closing at 12:00AM - Outdoor Terrace closing at 2:00AM
59	Is this an NIE? (Neighboot Impact stablishment, see CMB 141-1361)	Yes
60	Is dancing and/or entertainment proposed ? (see CMB 141-1361)	Yes
61	Is this a contributing building?	Yes or No - NO
62	Located within a Local Historic District?	Yes or No - YES

Notes:

If not applicable write N/A

All other data information may be required and presented like the above format.

ARCHITECT OF RECORD:
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1345 Lincoln Rd Ph 1
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office 305.209.9573
www.drewtucker.com

PROJECT:
ORO RESTAURANT
ELIXIR LOUNGE
818 LINCOLN RD
MIAMI BEACH, FL 33139

OWNER:
GOLDEN ERA HOSPITALITY, LLC

REVISIONS

ISSUE	ISSUE DATE/FOR
1	JULY 25, 2022

Drew Tucker
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Drew Tucker, Architect
LIC#: AR98386

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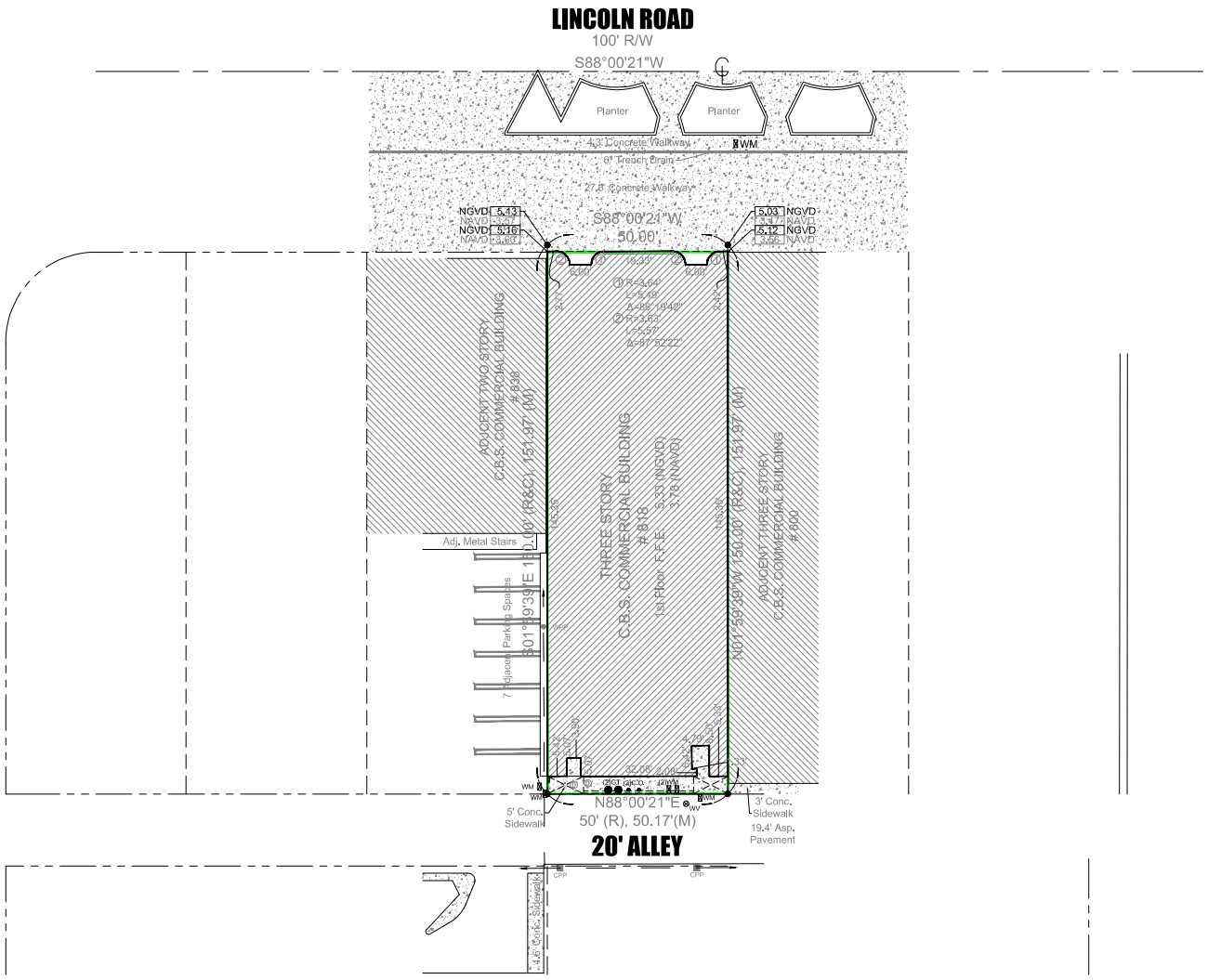
PROJECT No.: 2022-04
DRAWN BY: DM/CAPU/PD
SCALE: AS SHOWN
CHECKED BY: DM/CAPU/PD
DATE: JULY 25, 2022
DRAWING TITLE: ZONING DATA SHEET
SHEET NO.: A0.03



1 SITE PLAN/ SURVEY
SCALE 1/32" = 1'-0"

ARCHITECT OF RECORD:

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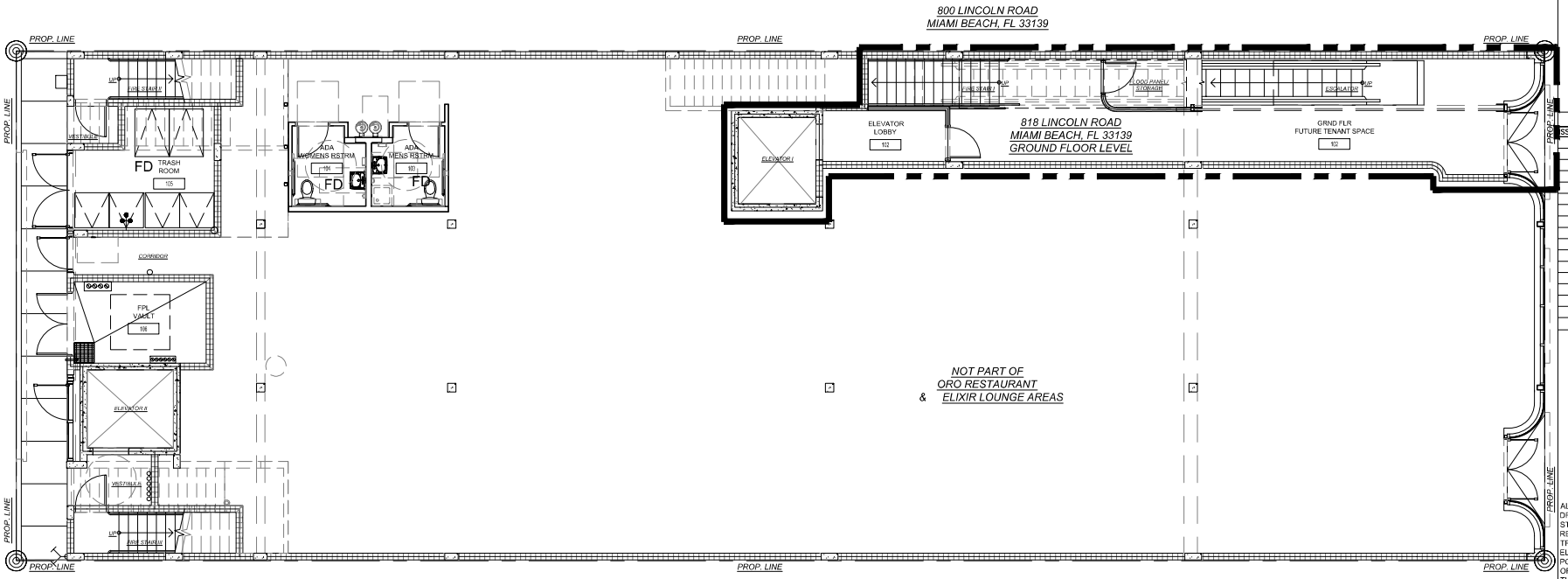
PROJECT No.: 2022-04
DRAWN BY: DM/CAPU/PD
SCALE: AS SHOWN
CHECKED BY: DM/CAPU/PD
DATE: JULY 25, 2022
DRAWING TITLE: SITE PLAN/ SURVEY
SHEET NO.: A0.04



TRUE NORTH

1 EXISTING GROUND FLOOR LEVEL

SCALE 3/32"=1'-0"

GENERAL NOTE:

-PATRON ACCESS WOULD BE FROM LINCOLN ROAD BOULEVARD SIDE ONLY, BACK ELEVATOR AND REAR AREAS OF THE BUILDING IS MEANT TO BE FOR SERVICE USE.

GROUND FLOOR LEVEL
AREA: 1,191 SQ.FT

ARCHITECT OF RECORD:

drewtucker

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REVISIONS

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1	JULY 25, 2022

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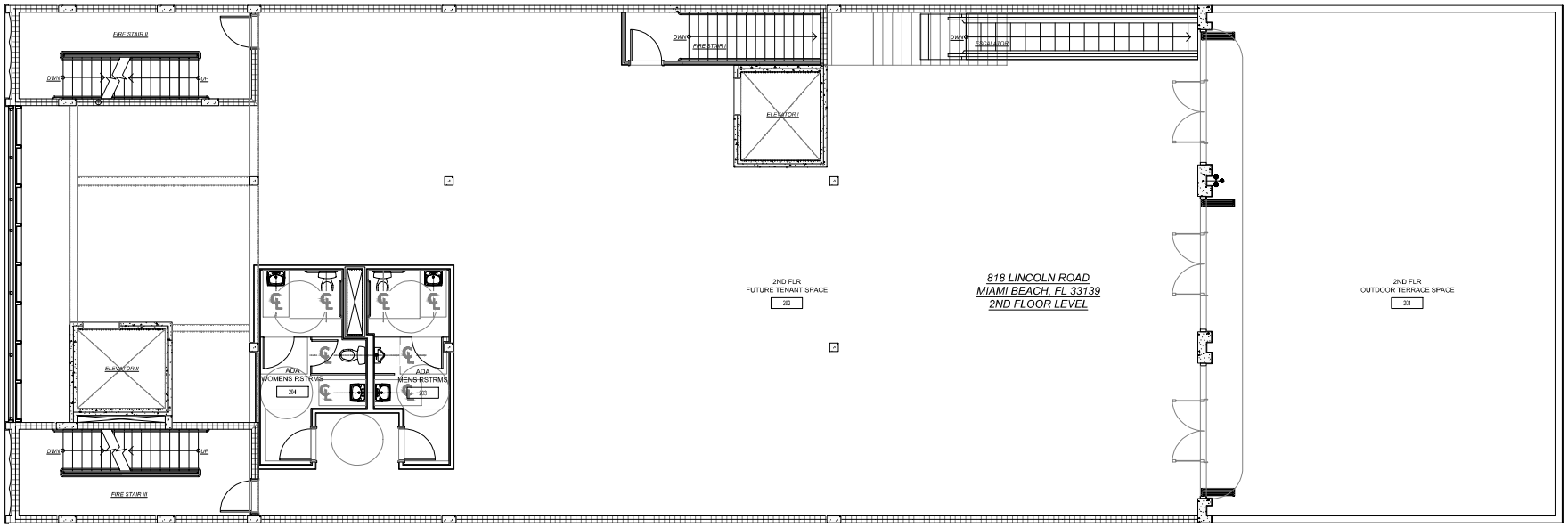
PROJECT No.: 2022-04	DRAWN BY: DM/CAPU/PD
SCALE: AS SHOWN	CHECKED BY: DM/CAPU/PD
DATE: JULY 25, 2022	

DRAWING TITLE:

EXISTING GROUND FLOOR LEVEL

SHEET NO.:

A1.01



TRUE NORTH

1 EXISTING SECOND FLOOR LEVEL
SCALE 3/32"=1'-0"

SECOND FLOOR LEVEL
AREA: 7,431 SQ.FT

ARCHITECT OF RECORD:

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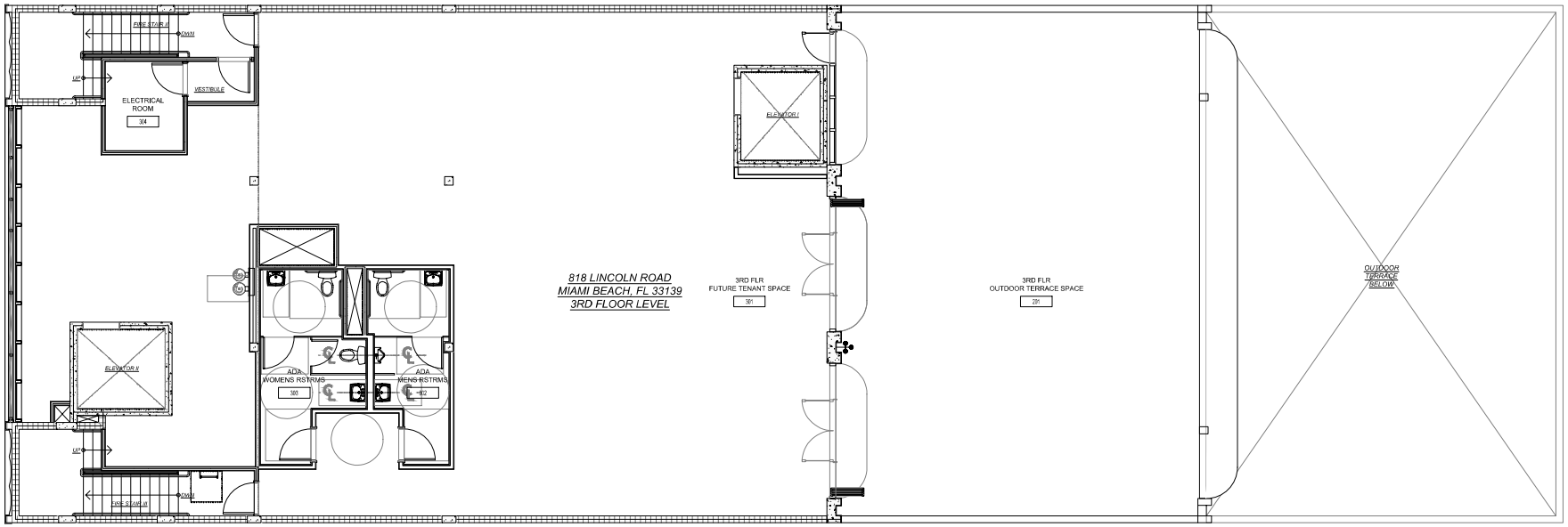
DRAWN BY: DM/CAPU/PD
SCALE: AS SHOWN
CHECKED BY: DM/CAPU/PD
DATE: JULY 25, 2022
DRAWING TITLE: EXISTING SECOND FLOOR LEVEL
SHEET NO.: A1.02



1 EXISTING THIRD FLOOR LEVEL 1

SCALE 3/32"=1'-0"

THIRD FLOOR LEVEL
AREA: 5,627 SQ.FT

ARCHITECT OF RECORD:

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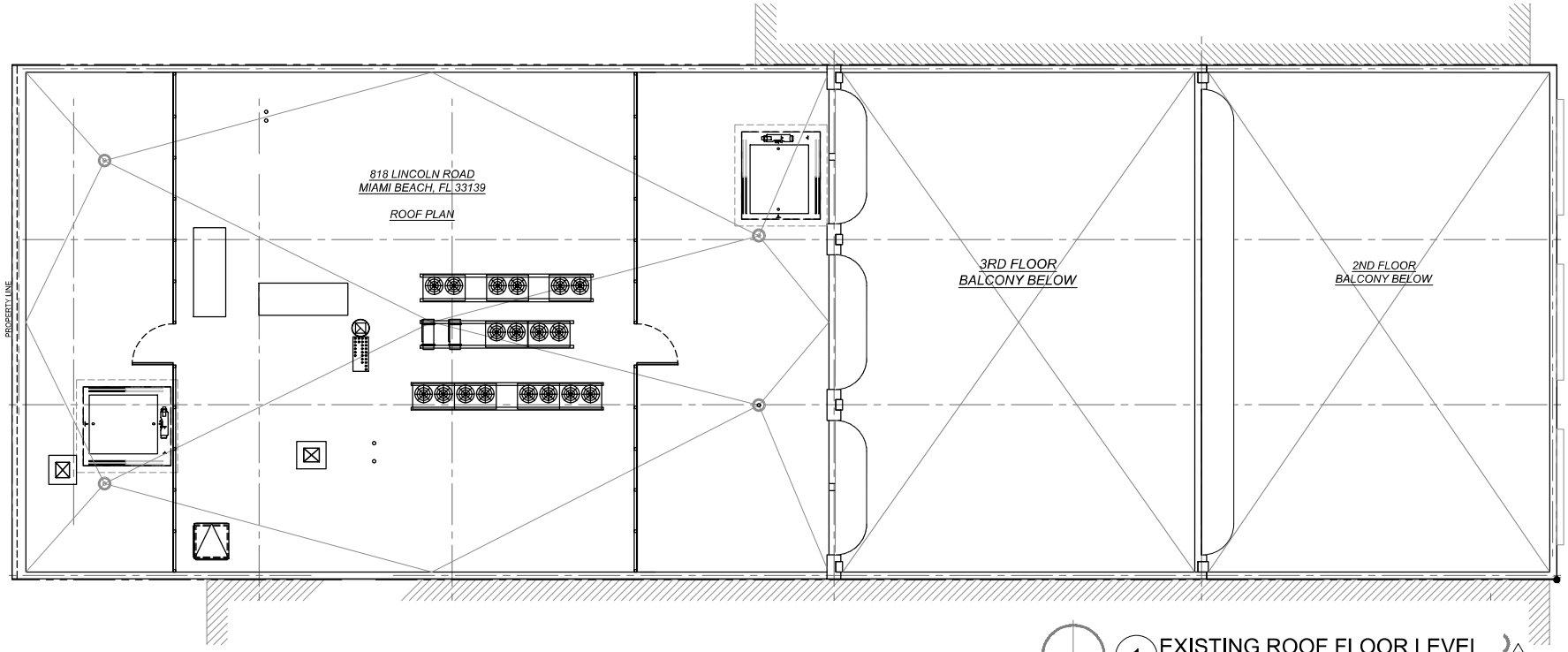
DATE: JULY 25, 2022	

DRAWING TITLE:

EXISTING
THIRD FLOOR LEVEL

SHEET NO.:

A1.03



TRUE NORTH

1 EXISTING ROOF FLOOR LEVEL
SCALE 3/32"=1'-0"

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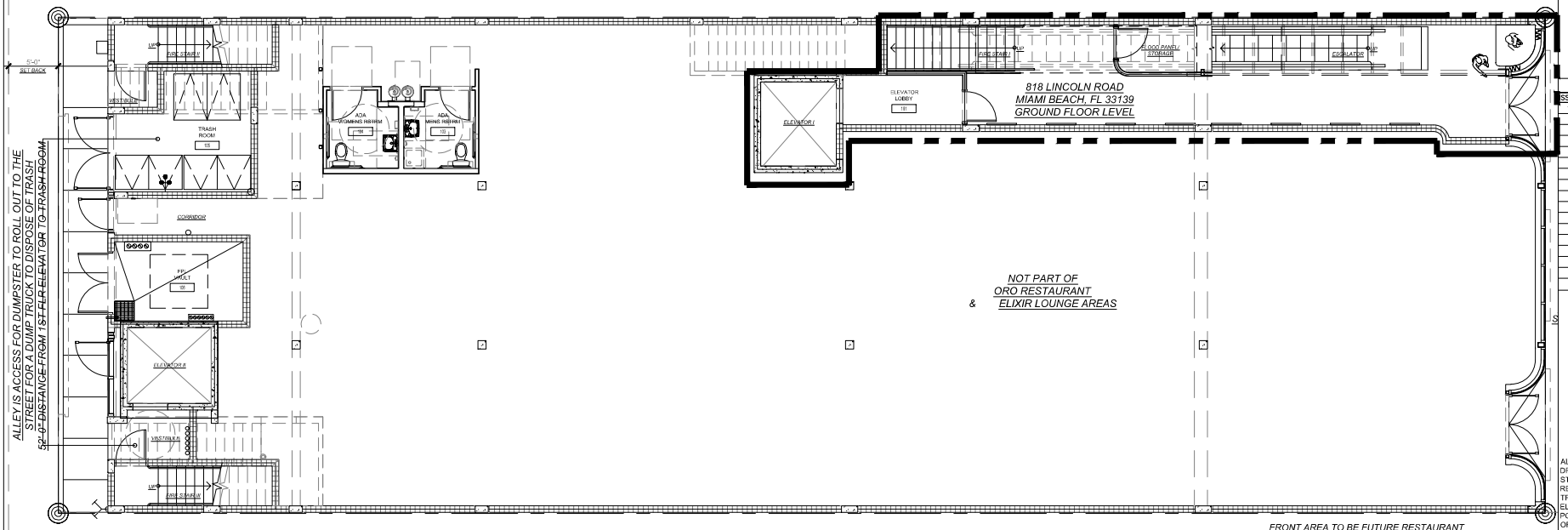
PROJECT No.: 2022-04
DRAWN BY: DM/CAPU/PD
SCALE: AS SHOWN
CHECKED BY: DM/CAPU/PD
DATE: JULY 25, 2022
DRAWING TITLE: EXISTING ROOF PLAN LEVEL

SHEET NO.: A1.04



FRONT AREA TO BE FUTURE RESTAURANT
UNDER APPROVED CAFE
SEATING WARRANT

TRUE NORTH

1 PROPOSED GROUND FLOOR LEVEL 1
SCALE 3/32"=1'-0"

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PROJECT No.: 2022-04
DRAWN BY: DM/CAPU/PD
SCALE: AS SHOWN
CHECKED BY: DM/CAPU/PD
DATE: JULY 25, 2022
DRAWING TITLE: PROPOSED GROUND FLOOR LEVEL
SHEET NO.: A2.01

2ND FLR LIFE SAFETY

OCCUPANCY TYPE	ASSEMBLY/ A-2		
TOTAL AREA	7,431 S.F.		
TOTAL OCCUPANCY LOAD INSIDE	325 OCCUPANTS		
ITEM	REQUIRED/ ALLOWED	PROVIDED	NOTE
EGRESS WIDTH	2'-5"	3'-0"	N/A
MINIMUM NUMBER OF EXITS	1	6	N/A
MAXIMUM TRAVEL DISTANCE	200'-0"	86'-0"	N/A
MAXIMUM COMMON PATH	75'-0"	50'-0"	N/A
MAXIMUM DEAD END CORRIDOR	20'-0"	16'-0"	N/A

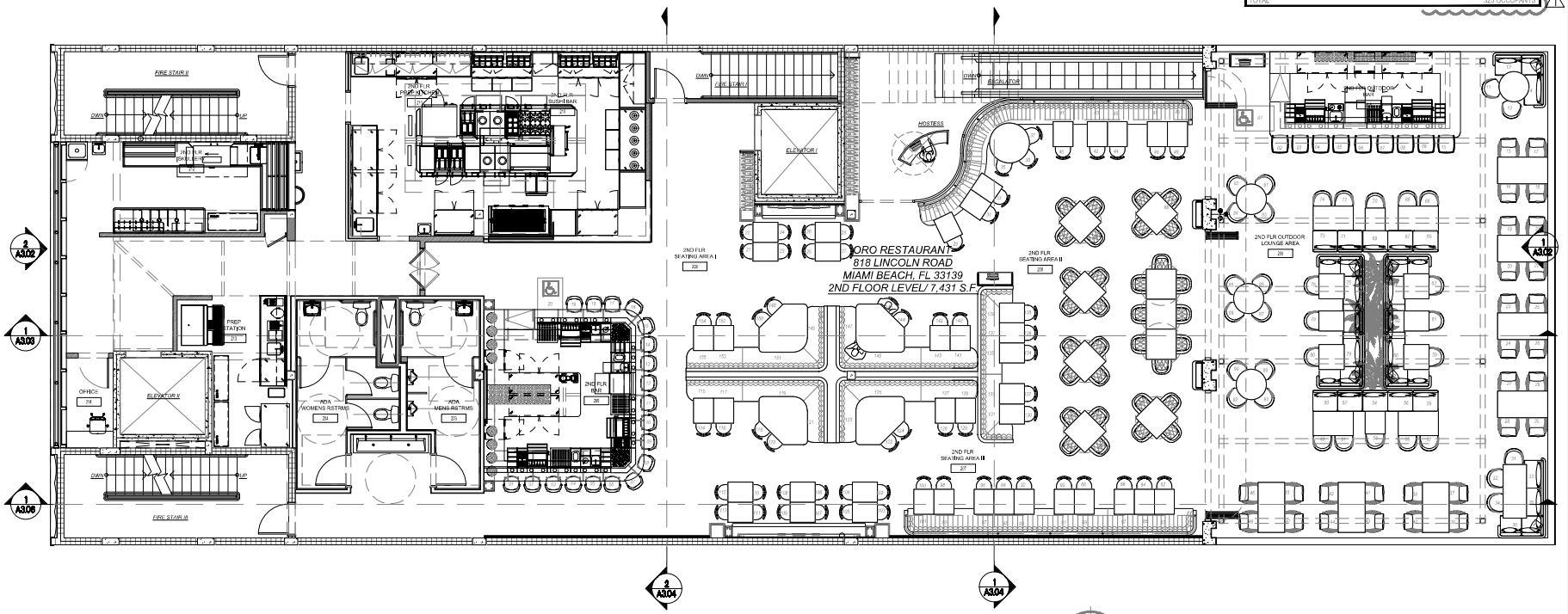
NUMBER OF SEATS

INDOOR	154 SEATS (8 ADA SEATS)
OUTDOOR	92 SEATS (5 SEATS)
TOTAL	246 SEATS (13 SEATS)

OCCUPANCY AREAS

UNCONCENTRATED OCCUPANCY INDOOR	1,151 SQ. FT./ 15 NET	77 OCCUPANTS
UNCONCENTRATED OCCUP. / OUTDOOR	1,130 SQ. FT./ 15 NET	75 OCCUPANTS
CONCENTRATED (PATRONS ORDERING)	283 SQ. FT. / 7 NET	40 OCCUPANTS
BANQUETTES	2,136" OF BANQUETTE/ 18"	119 OCCUPANTS
KITCHEN	1,055 SQ. FT./ 100 GROSS AS PER TABLE 7-A IBC	11 OCCUPANTS
BAR	130 SQ. FT./ 100 GROSS AS PER TABLE 7-A IBC	2 OCCUPANTS
OFFICE	34 SQ. FT./ 100 GROSS	1 OCCUPANTS
TOTAL		325 OCCUPANTS

1



NORTH

1 PROPOSED SECOND FLOOR LEVEL 1

SCALE: 3/32"=1'-0"

ARCHITECT OF RECORD:

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Drew Tucker
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Date: 2022.07.25 09:20:51 -04'00'

Drew Tucker, Architect
LIC#: AR98386

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PROJECT No.: 2022-04	DRAWN BY: DM/CAPU/PD
SCALE: AS SHOWN	CHECKED BY: DM/CAPU/PD
DATE: JULY 25, 2022	

DRAWING TITLE:

PROPOSED SECOND FLOOR LEVEL

SHEET NO.:

A2.02

3RD FLR LIFE SAFETY

OCCUPANCY TYPE	ASSEMBLY/ A-2		
TOTAL AREA	5,627 S.F.		
TOTAL OCCUPANCY LOAD INSIDE	267 OCCUPANTS		
ITEM	REQUIRED/ ALLOWED	PROVIDED	NOTE
EGRESS WIDTH	2'-0"	3'-0"	N/A
MINIMUM NUMBER OF EXITS	1	6	N/A
MAXIMUM TRAVEL DISTANCE	200'-0"	86'-0"	N/A
MAXIMUM COMMON PATH	75'-0"	50'-0"	N/A
MAXIMUM DEAD END CORRIDOR	20'-0"	16'-0"	N/A

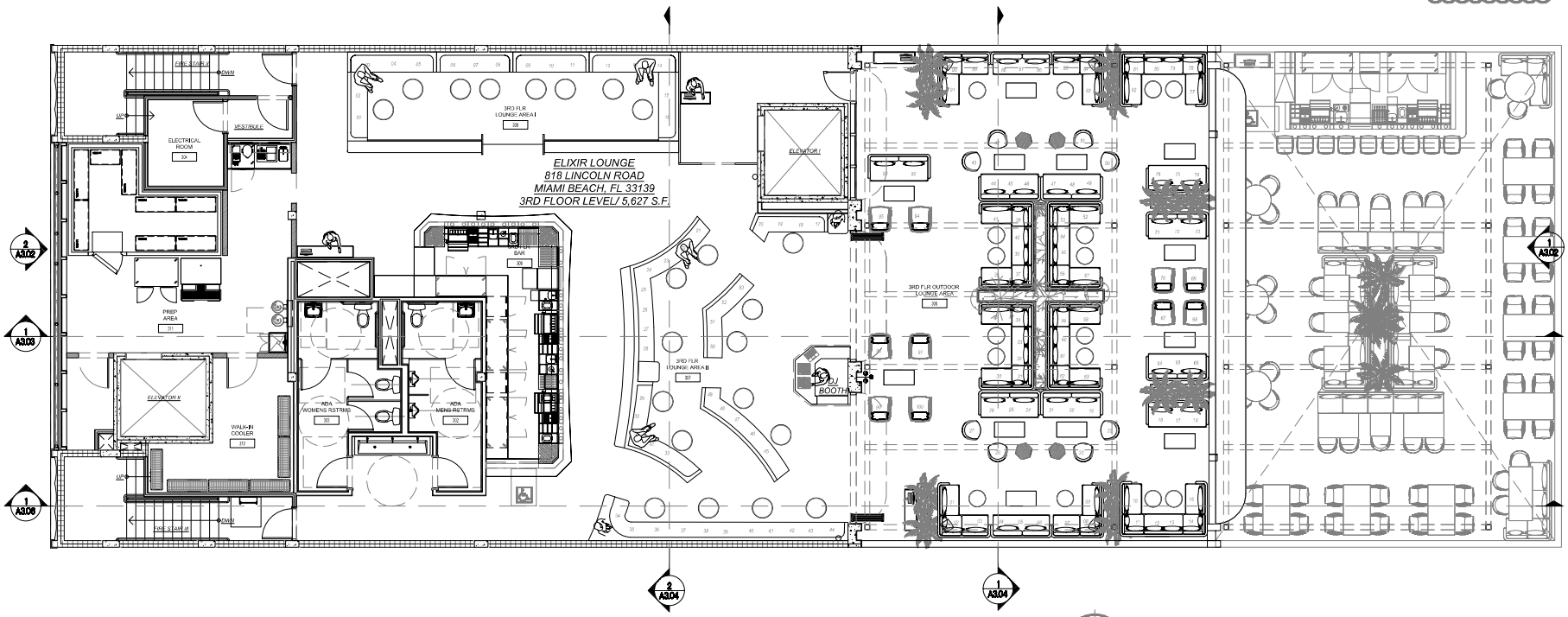
NUMBER OF SEATS

INDOOR	53 SEATS (3 ADA SEATS)
OUTDOOR	100 SEATS (5 SEATS)
TOTAL	153 SEATS (8 SEATS)

OCCUPANCY AREAS

UNCONCENTRATED OCCUP./ OUTDOOR	1,130 SQ. FT./ 15 NET	75 OCCUPANTS
CONCENTRATED (PATRONS ORDERING)	362 SQ. FT./ 7 NET	98 OCCUPANTS
BANQUETTES	1,550" OF BANQUETTE/ 18"	86 OCCUPANTS
KITCHEN	605 SQ. FT./ 100 GROSS AS PER FBPC (0)(TABLE F.2.1.3)	6 OCCUPANTS
BAR	107 SQ. FT./ 100 GROSS AS PER FBPC (0)(TABLE F.2.1.3)	1 OCCUPANTS
OFFICE	34 SQ. FT./ 100 GROSS	1 OCCUPANTS
TOTAL		267 OCCUPANTS

1



1 PROPOSED THIRD FLOOR LEVEL 1

SCALE: 3/32"=1'-0"

NORTH

ARCHITECT OF RECORD:

drewtucker

1345 Lincoln Rd Ph 1
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office 305.209.9573
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PROJECT:

ORO RESTAURANT
ELIXIR LOUNGE
818 LINCOLN RD
MIAMI BEACH, FL 33139

OWNER:

GOLDEN ERA HOSPITALITY, LLC

REVISIONS

ISSUE	ISSUE DATE/FOR
1	JULY 25, 2022

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Drew Tucker, Architect
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PROJECT No.: 2022-04
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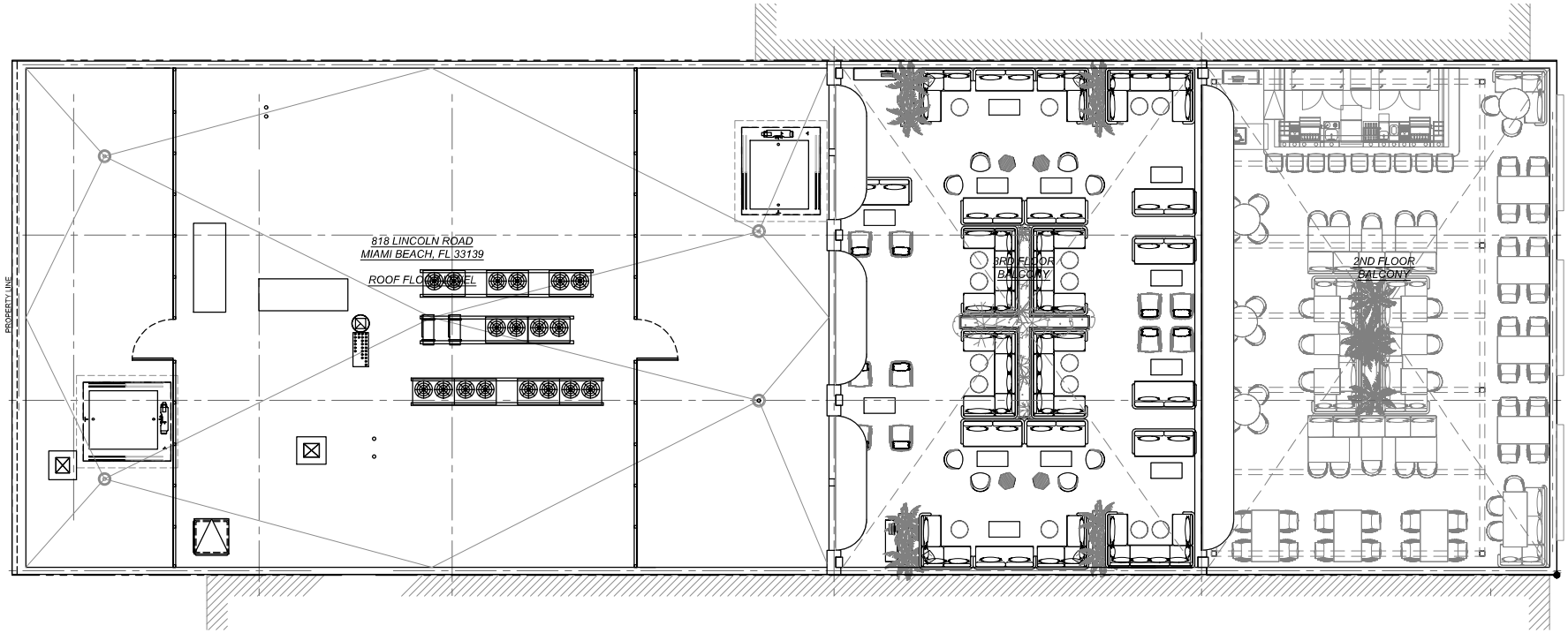
DATE: JULY 25, 2022
DRAWING TITLE: PROPOSED THIRD FLOOR LEVEL
SHEET NO.: A2.03



TRUE
NORTH

1 PROPOSED ROOF FLOOR LEVEL 1
SCALE: 3/32"=1'-0"

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SCALE: AS SHOWN
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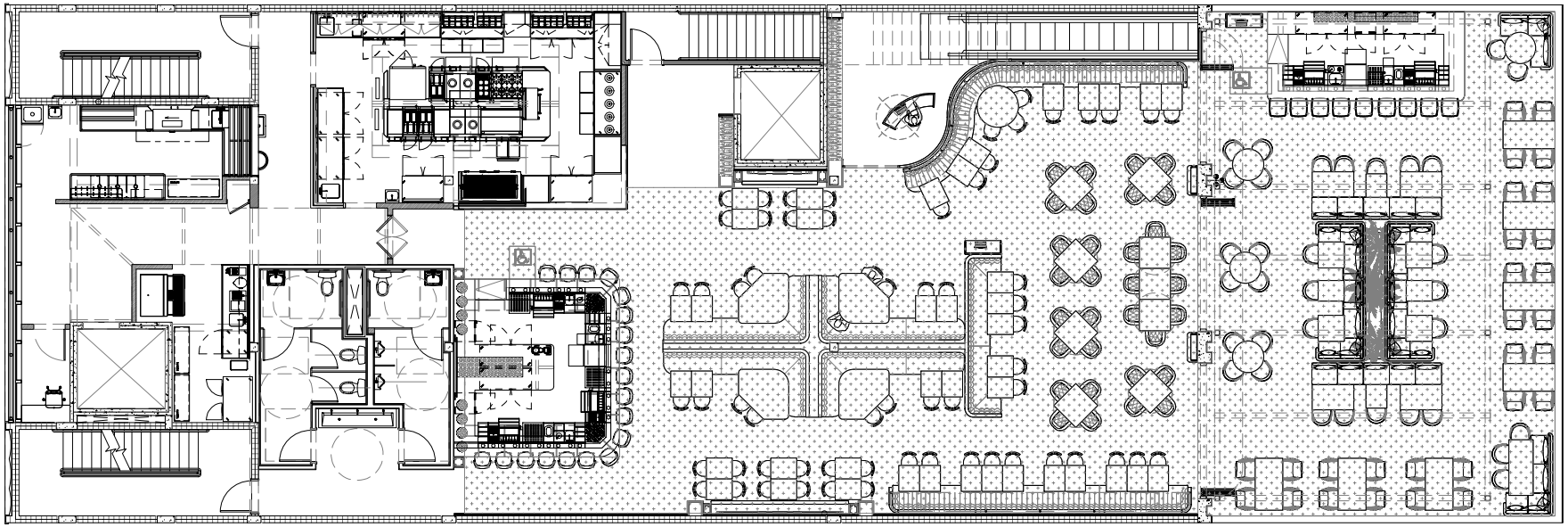
DATE: JULY 25, 2022
DRAWING TITLE: PROPOSED ROOF FLOOR LEVEL

SHEET NO.: A2.04



1 PROPOSED SECOND FLOOR LEVEL ENTERTAIMENT AREA

SCALE: 3/32"=1'-0"

TRUE NORTH

ENTERTAIMENT AREA INDEX

AREA OF ENTERTAINMEMT

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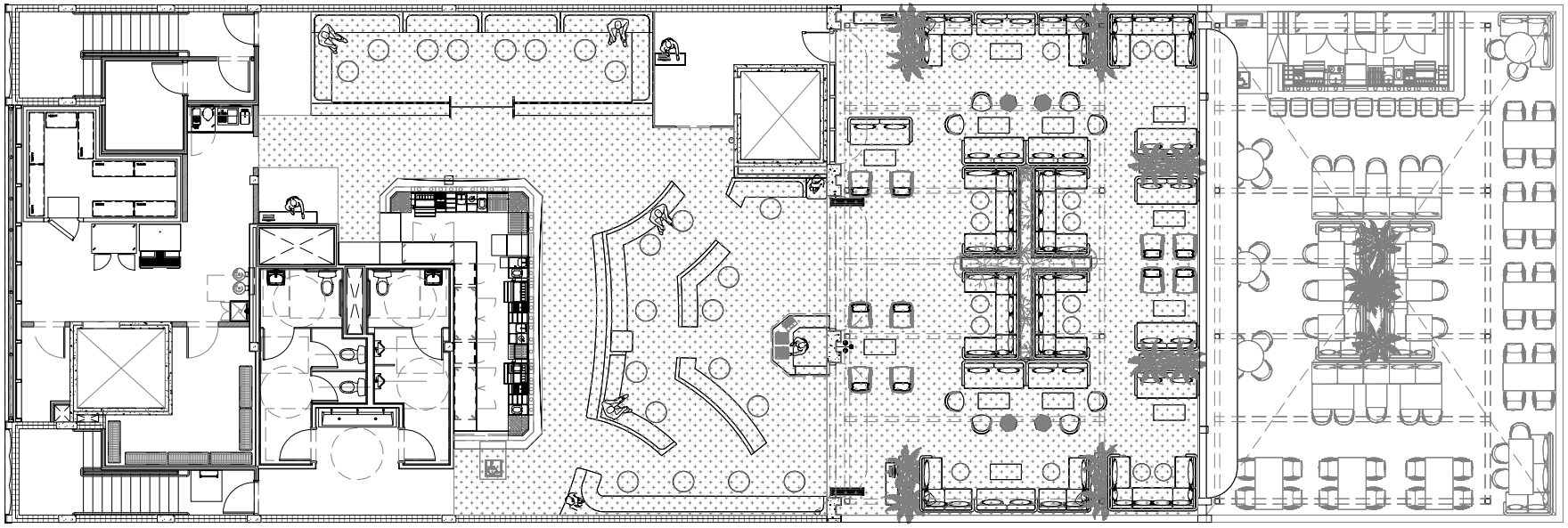
DRAWING TITLE:

PROPOSED SECOND FLOOR LEVEL ENTERTAINMENT AREA

SHEET NO.:

A2.05



1 PROPOSED THIRD FLOOR LEVEL ENTERTAINMENT AREA

SCALE: 3/32"=1'-0"

NORTH

ENTERTAIMENT AREA INDEX

AREA OF ENTERTAINMEMT

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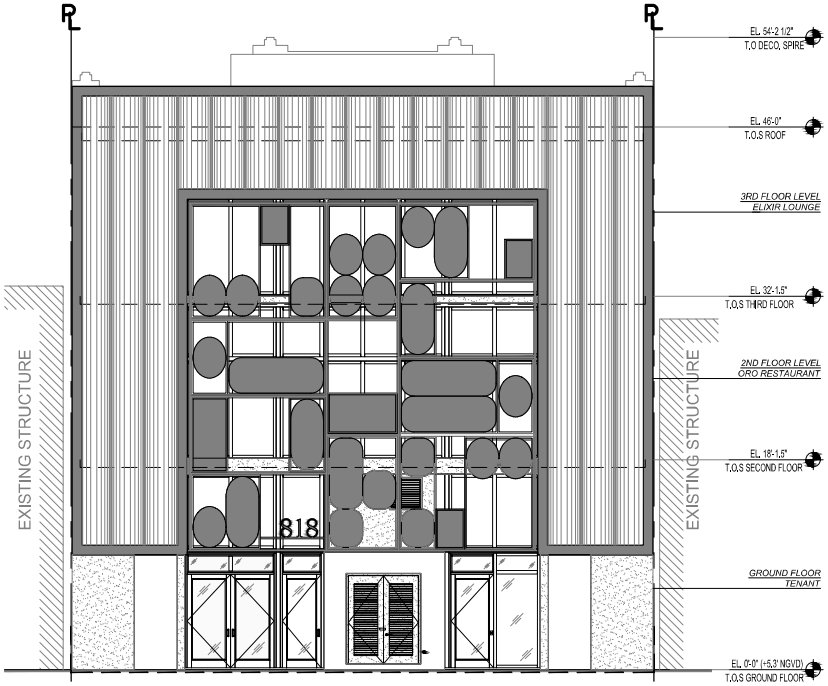
DRAWING TITLE:

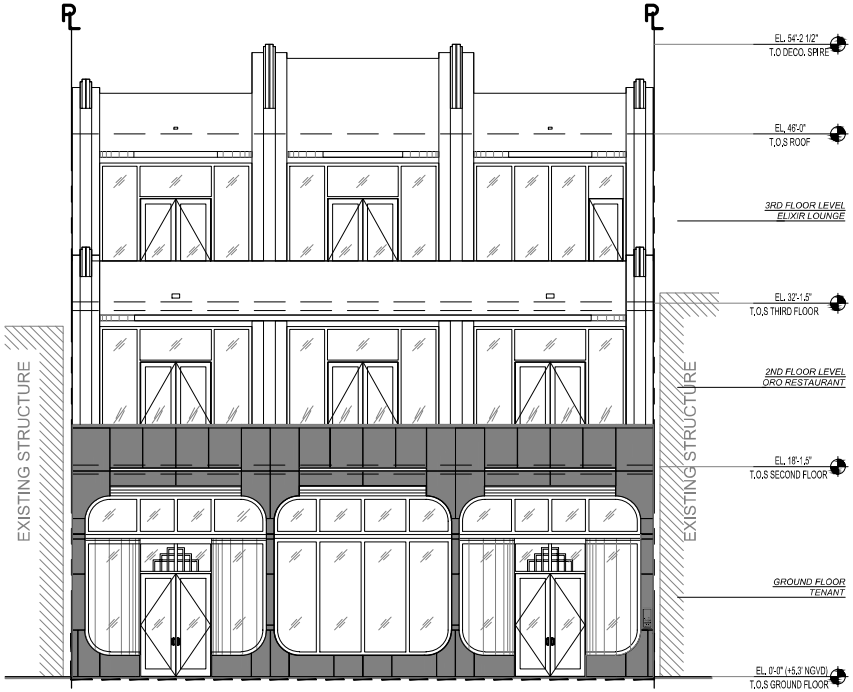
PROPOSED THIRD FLOOR LEVEL ENTERTAINMENT AREA

SHEET NO.:

A2.06



2 EXISTING EXTERIOR ELEVATION-SOUTH
SCALE 3/32"= 1'-0"



1 EXISTING EXTERIOR ELEVATION-NORTH
SCALE 3/32"=1'-0"

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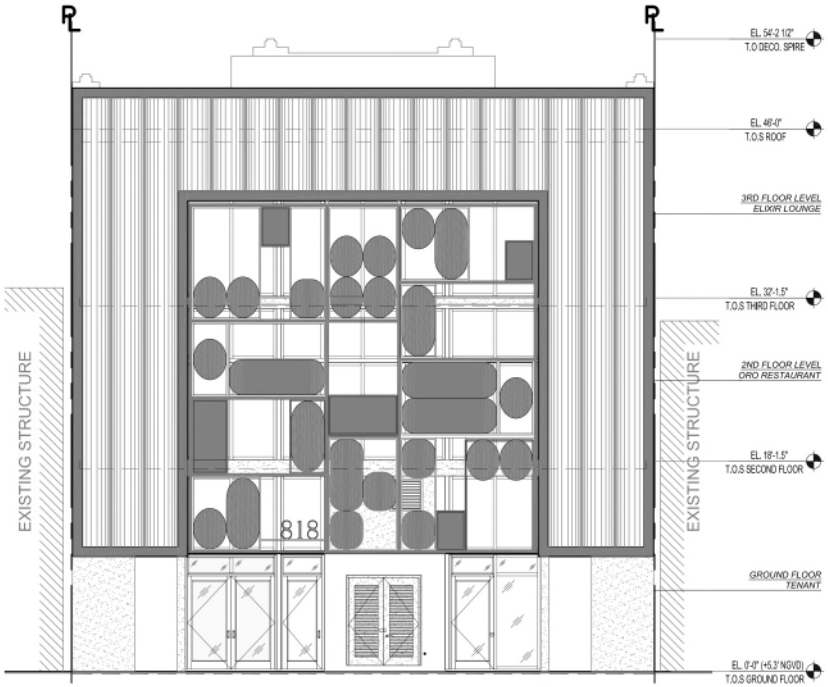
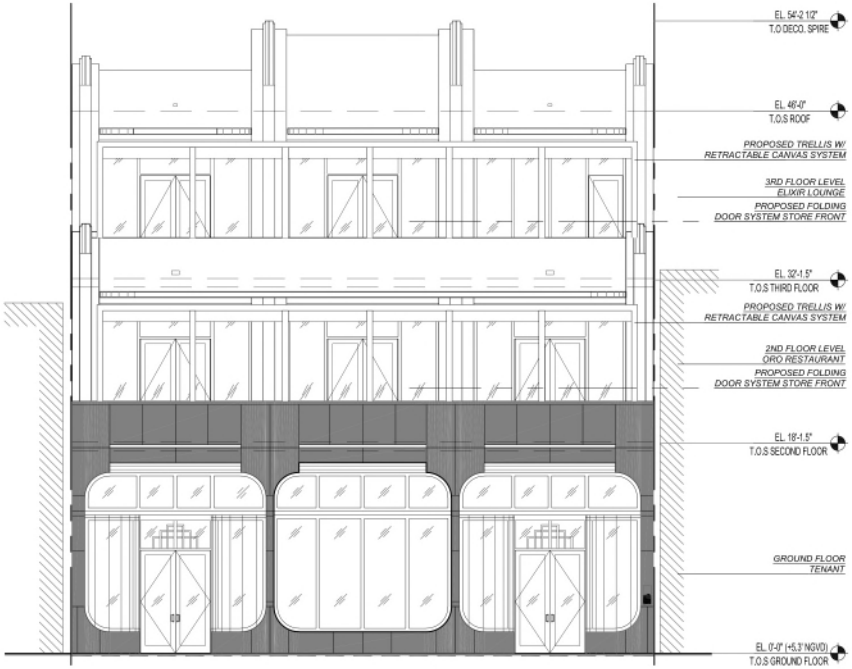
DRAWING TITLE:
EXISTING EXTERIOR ELEVATIONS

SHEET NO.:
A3.01



2 PROPOSED EXTERIOR ELEVATION-SOUTH
SCALE 3/32"=1'-0"



1 PROPOSED EXTERIOR ELEVATION-NORTH
SCALE 3/32"=1'-0"

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DATE: JULY 25, 2022	

DRAWING TITLE:
PROPOSED EXTERIOR ELEVATIONS

SHEET NO.:
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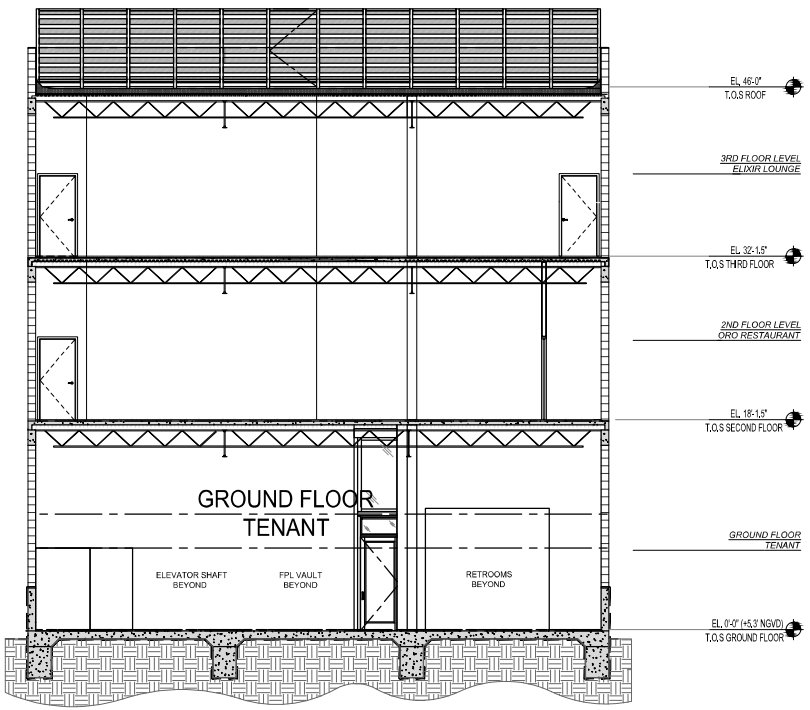

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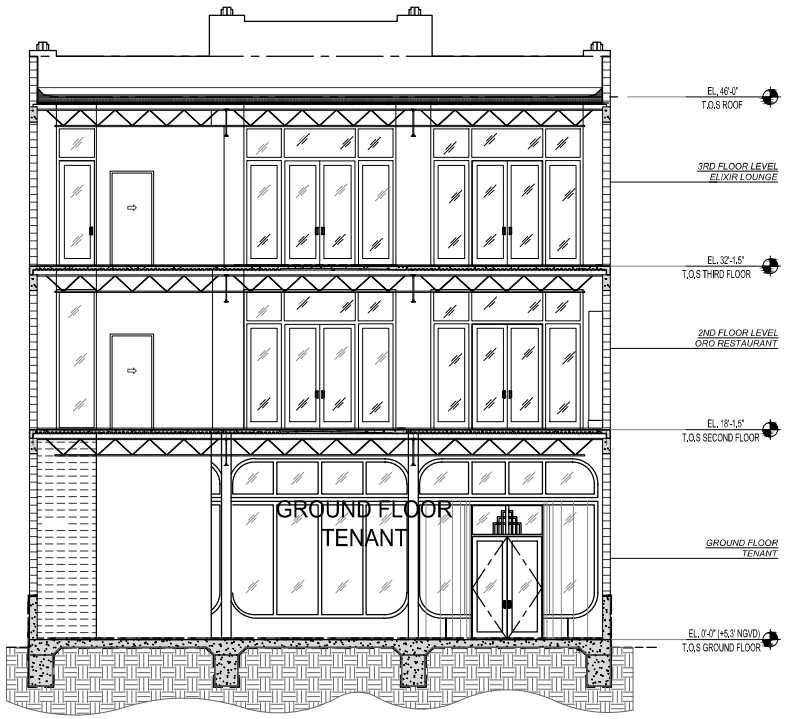

1 EXISTING SECTION
SCALE 3/32" = 1'-0"

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DRAWING TITLE:
EXISTING SECTIONS

SHEET NO.:
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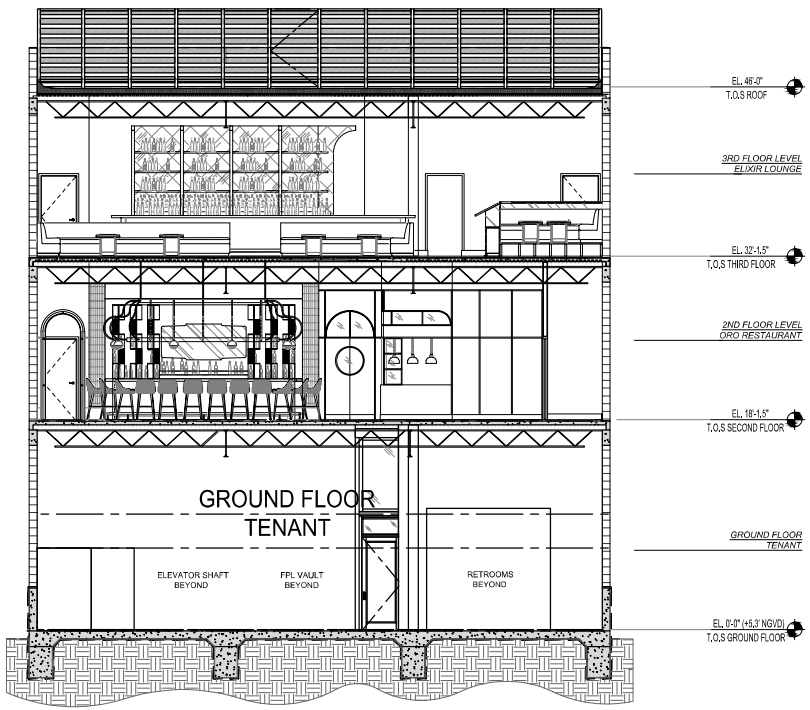
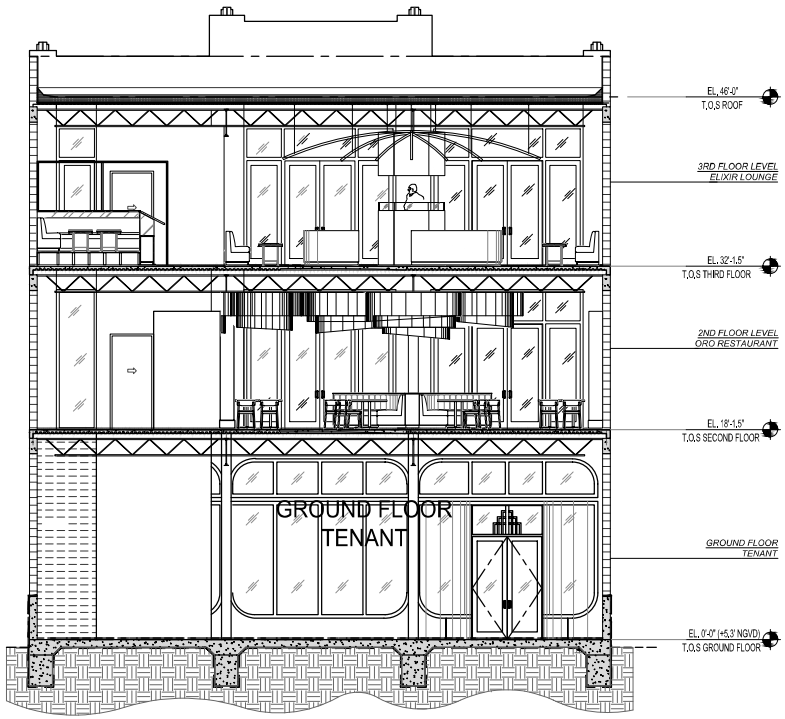


2 PROPOSED SECTION
SCALE 3/32" = 1'-0"



1 PROPOSED SECTION
SCALE 3/32" = 1'-0"

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PROPOSED SECTIONS

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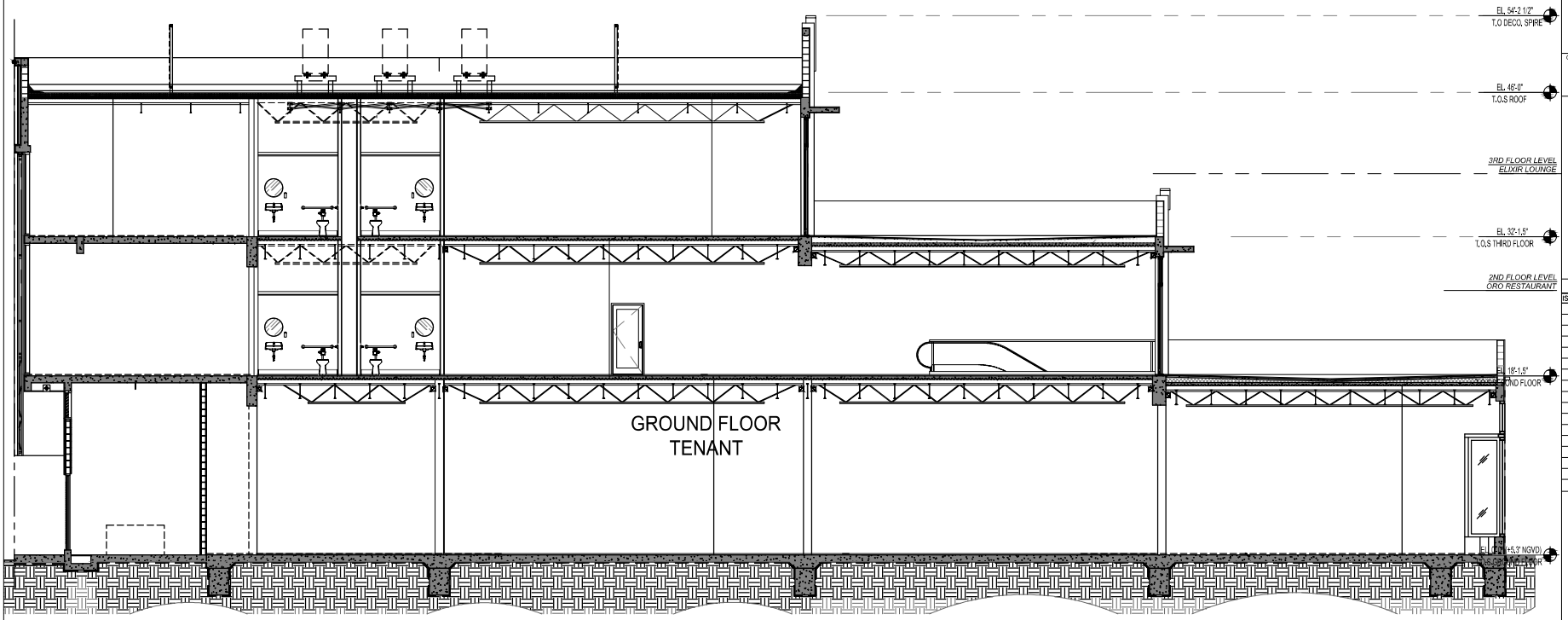
A3.04



1 EXISTING SECTION
SCALE: 3/32" = 1'-0"

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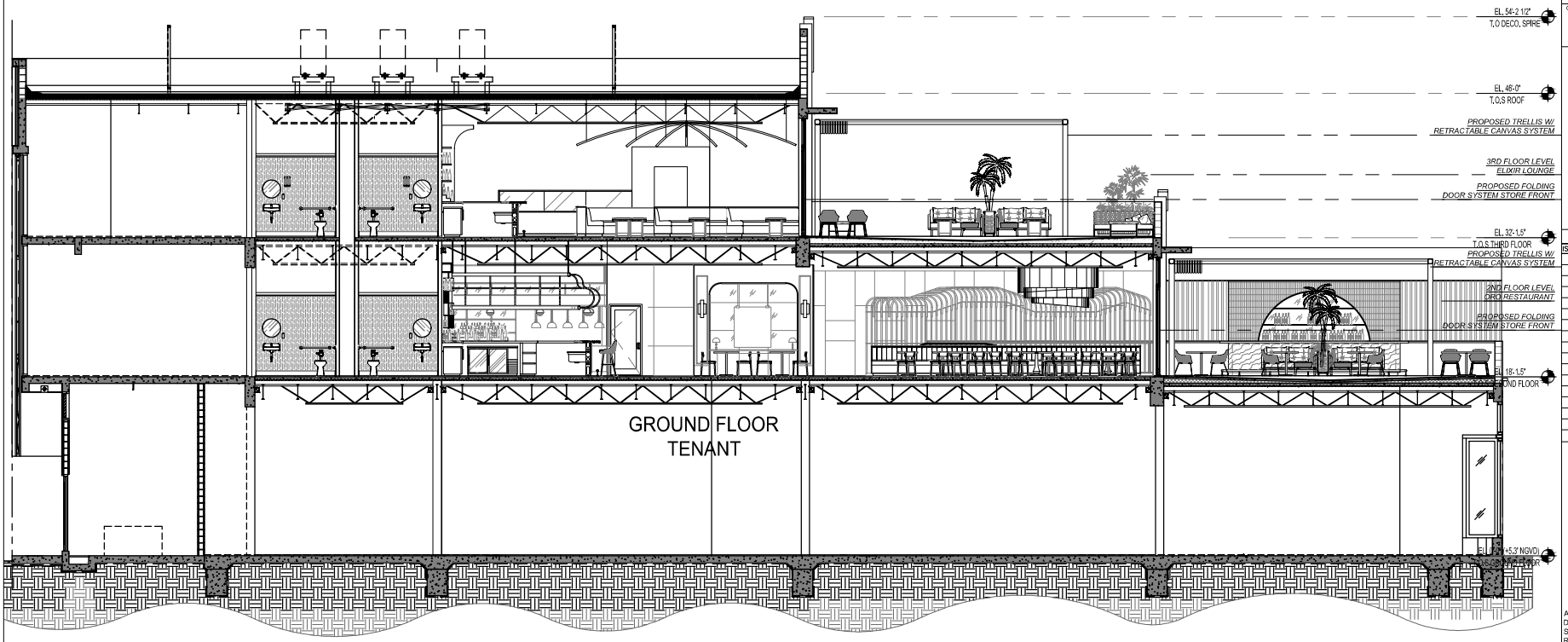

1 PROPOSED SECTION
SCALE 3/32" = 1'-0"

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CHECKED BY: DM/CAPU/PD
DATE: JULY 25, 2022
DRAWING TITLE: PROPOSED SECTIONS

SHEET NO.: A3.06

1 FRONT SHOPPING BUILDING SOUTH FACADE

1 FRONT SHOPPING BUILDING SOUTH FACADE

2 FRONT SHOPPING BUILDING SOUTH FACADE

3 FRONT SHOPPING BUILDING SOUTH FACADE

4 FRONT SHOPPING BUILDING SOUTH FACADE

5 FRONT SHOPPING BUILDING SOUTH FACADE

6 FRONT SHOPPING BUILDING SOUTH FACADE

7 FRONT SHOPPING BUILDING SOUTH FACADE

8 FRONT SHOPPING BUILDING SOUTH FACADE

9 FRONT SHOPPING BUILDING SOUTH FACADE

10 NEXT DOOR BUILDING EAST FACADE

2 KEY PLAN
SCALE: N.T.S

11 NEXT DOOR BUILDING EAST FACADE

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PROJECT No.: 2022-04
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SCALE: AS SHOWN
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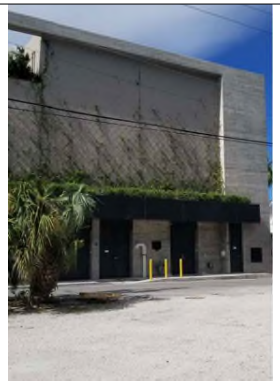
DATE: JULY 25, 2022
DRAWING TITLE: SURROUNDING VENUES PICTURES
SHEET NO.: A3.07

1 BUILDING
NORTH FACADE

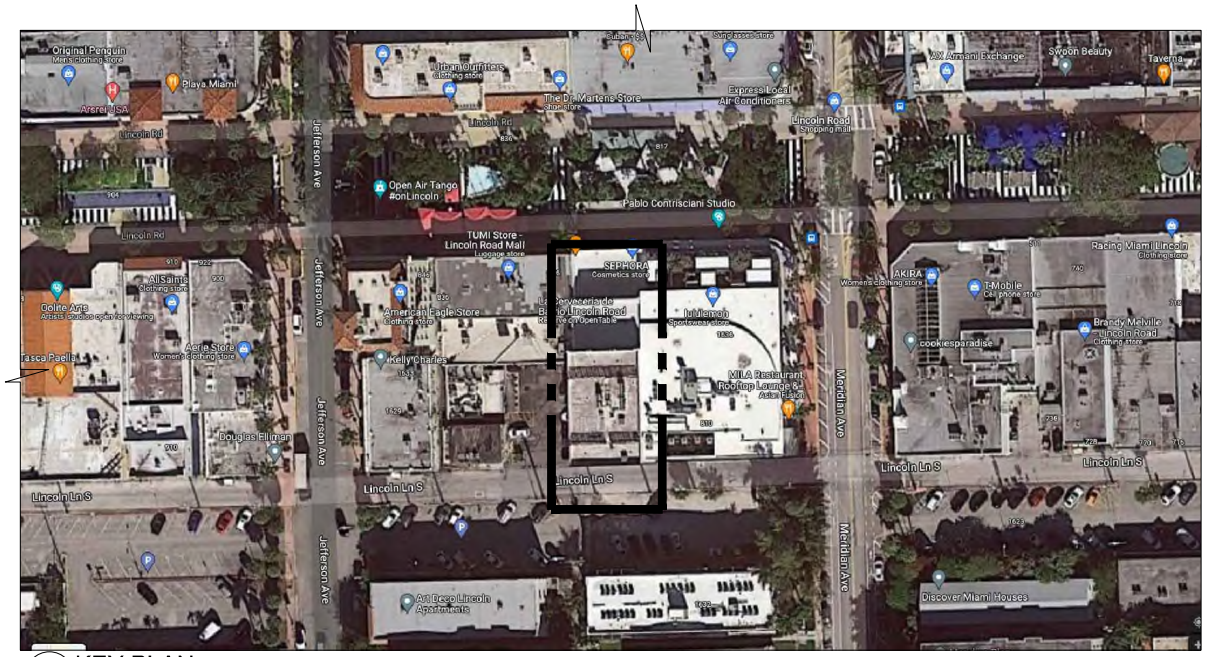
2 BUILDING
SOUTH FACADE

3 NEXT DOOR BUILDING
NORTH FACADE



4 NEXT DOOR BUILDING
SOUTH FACADE

5 NEXT DOOR BUILDING
NORTH FACADE



2 KEY PLAN
SCALE: N.T.S

6 NEXT DOOR BUILDING
SOUTH FACADE

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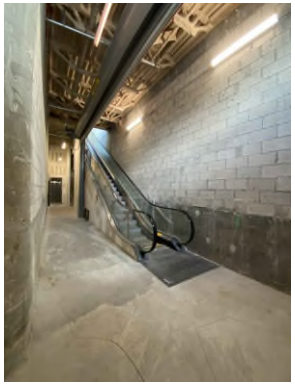
SCALE: AS SHOWN
CHECKED BY: DM/CAPU/PD
DATE: JULY 25, 2022

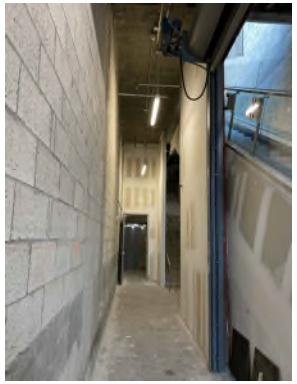
DRAWING TITLE:
EXTERIOR SITE PICTURES
(EXISTING CONDITIONS)

SHEET NO.:
A3.08

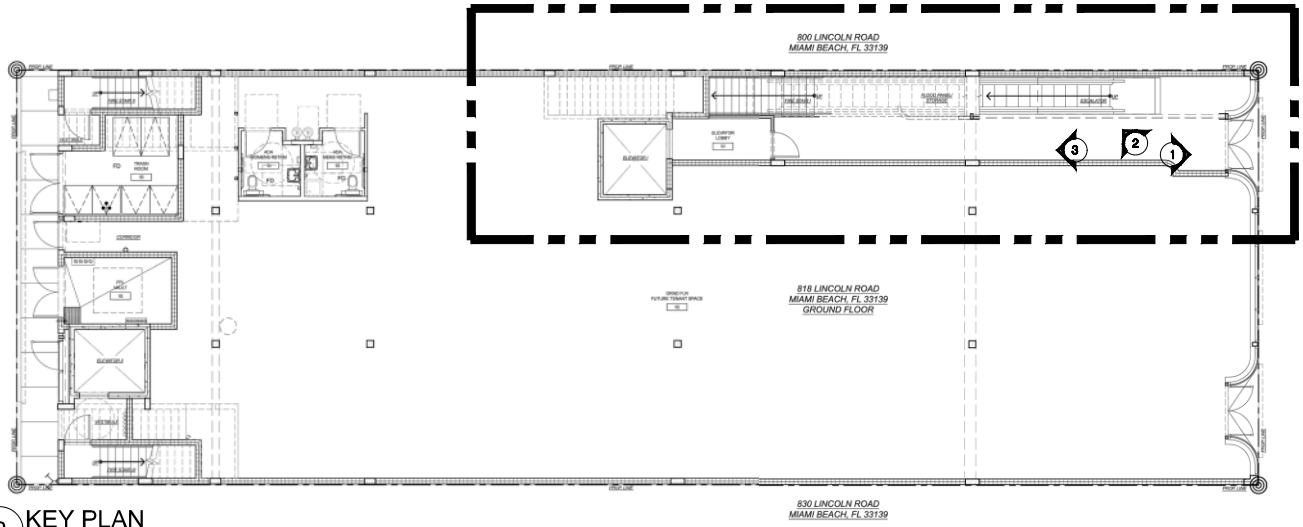
1 VENUE ENTRY-EXISTING CONDITIONS-GROUND FLOOR LEVEL



2 HALLWAY ENTRY-EXISTING CONDITIONS-GROUND FLOOR LEVEL



3 HALLWAY ENTRY-EXISTING CONDITIONS-GROUND FLOOR LEVEL



2 KEY PLAN
SCALE: N.T.S

ARCHITECT OF RECORD:

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MIAMI BEACH, FL 33139

OWNER:

GOLDEN ERA HOSPITALITY, LLC

REVISIONS

ISSUE	ISSUE DATE/FOR

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Drew Tucker, Architect
LIC#: AR98386

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PROJECT No.	DRAWN BY:
2022-04	DM/CAPU/PD
SCALE: AS SHOWN	CHECKED BY: DM/CAPU/PD

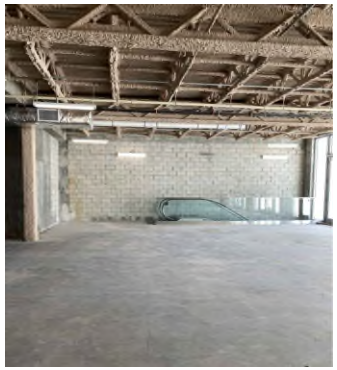
DATE: JULY 25, 2022

DRAWING TITLE:

INTERIOR SITE PICTURES
GROUND FLOOR LEVEL
(EXITING CONDITIONS)

SHEET NO.:

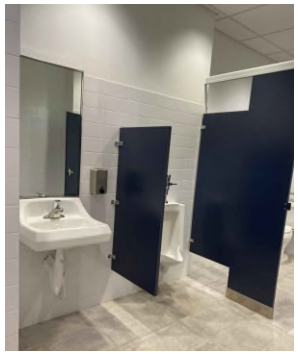
A3.09



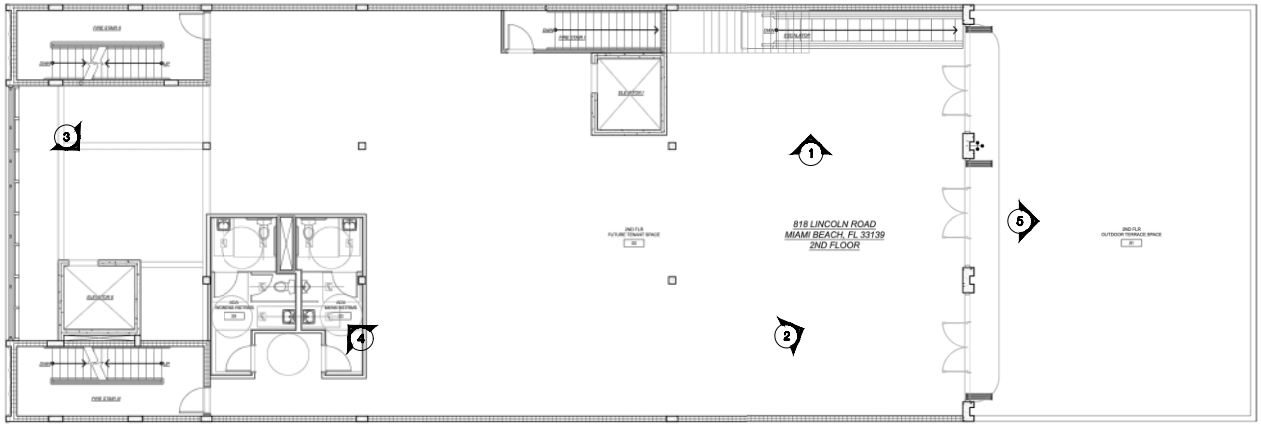
1 ESCALATOR-EXISTING CONDITIONS-SECOND FLOOR LEVEL

2 TERRACE-EXISTING CONDITIONS-SECOND FLOOR LEVEL

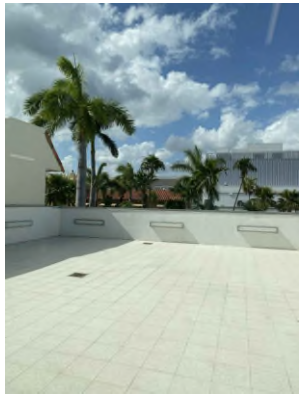
3 SERVICE AREA-EXISTING CONDITIONS-SECOND FLOOR LEVEL



4 RESTROOMS-EXISTING CONDITIONS-SECOND FLOOR LEVEL



2 KEY PLAN
SCALE: N.T.S



5 TERRACE-EXISTING CONDITIONS-SECOND FLOOR LEVEL

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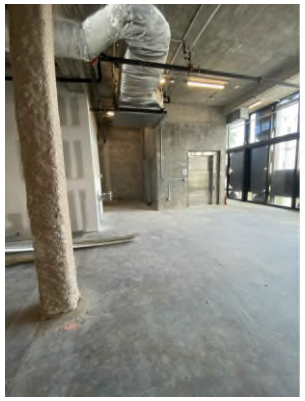
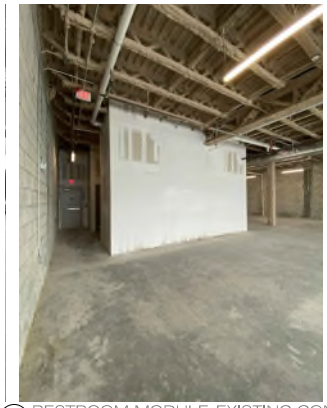
DRAWING TITLE:
INTERIOR SITE PICTURES SECOND FLOOR LEVEL (EXITING CONDITIONS)

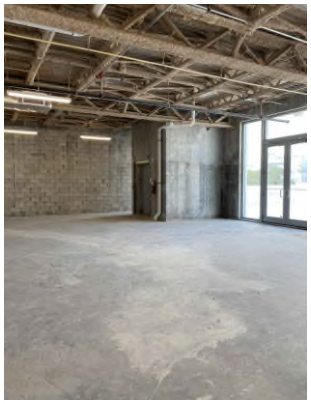
SHEET NO.:
A3.10



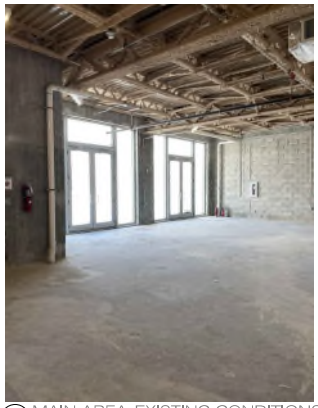
1 SERVICE AREA-EXISTING CONDITIONS-THIRD FLOOR LEVEL



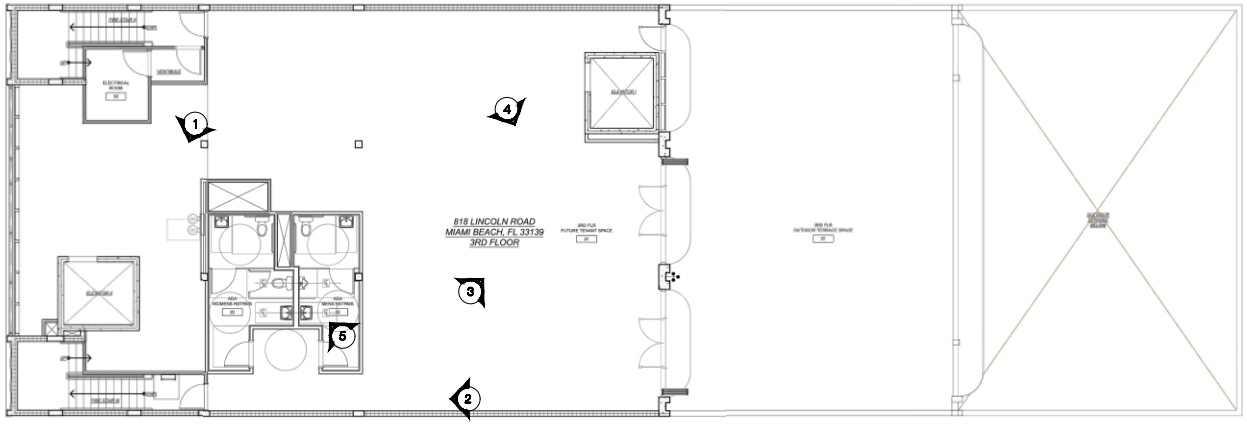
2 RESTROOM MODULE-EXISTING CONDITIONS-THIRD FLOOR LEVEL



3 ELEVATOR-EXISTING CONDITIONS-THIRD FLOOR LEVEL



4 MAIN AREA-EXISTING CONDITIONS-THIRD FLOOR LEVEL



2 KEY PLAN
SCALE N.T.S

5 RESTROOMS-EXISTING CONDITIONS-THIRD FLOOR LEVEL

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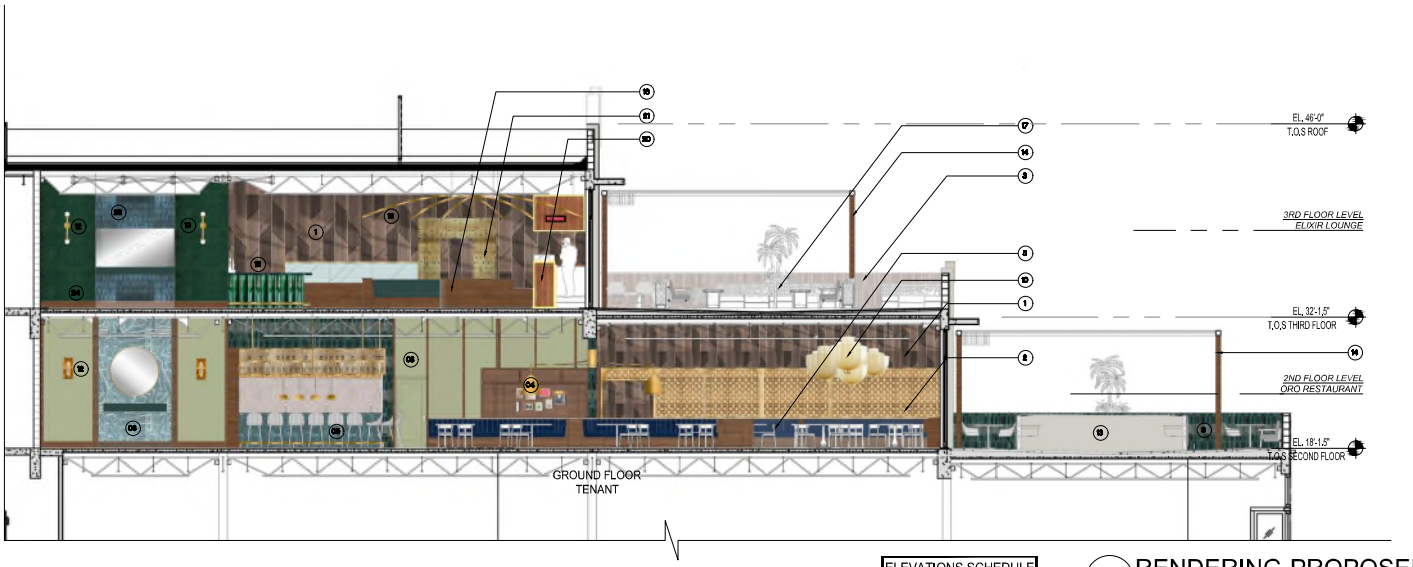
DRAWING TITLE:

INTERIOR SITE PICTURES
THIRD FLOOR LEVEL
(EXITING CONDITIONS)

SHEET NO.:

A3.11



1 RENDERING-PROPOSED SECTION
SCALE 3/32"=1'-0"

2 RENDERING-PRPOSED SECTION
SCALE 3/32"=1'-0"

ELEVATIONS SCHEDULE

TAG #	DESCRIPTION
1	WOOD & BRASS PANELING
2	DECORATIVE BRASS SCREEN
3	CERAMIC TILE FINISH
4	CUSTOM COLUMN SCONCES
5	CUSTOM DINING BANQUETTE
6	CUSTOM MILLWORK CABINET
7	CUSTOM MILLWORK BACK BAR
8	WALLPAPER FINISH W/ WOOD TRIMS
9	RESTAURANT FRONT BAR AND COUNTER W/ MARBLE SURFACE
10	CUSTOM PENDANT LAMPS
11	CERAMIC TILE FINISH
12	BRASS SCONCES
13	NEW OUTDOOR SERVICE BAR
14	NEW ALUMINUM CANOPY STRUCTURE
15	LOUNGE BAR FRONT BAR W/ LAVA STONE TILE SURFACE
16	LOUNGE CUSTOM BANQUETTE
17	LOUNGE CUSTOM OUTDOOR BANQUETTE
18	CUSTOM BRASS AND LED FIXTURE
19	STUCCO FINISHED WALL
20	CUSTOM DJ BOOTH
21	LOUNGE BRASS SCREEN
22	TEMPERED GLASS RAILING
23	PORCELAIN TILE WALL
24	WOOD BASEBOARD

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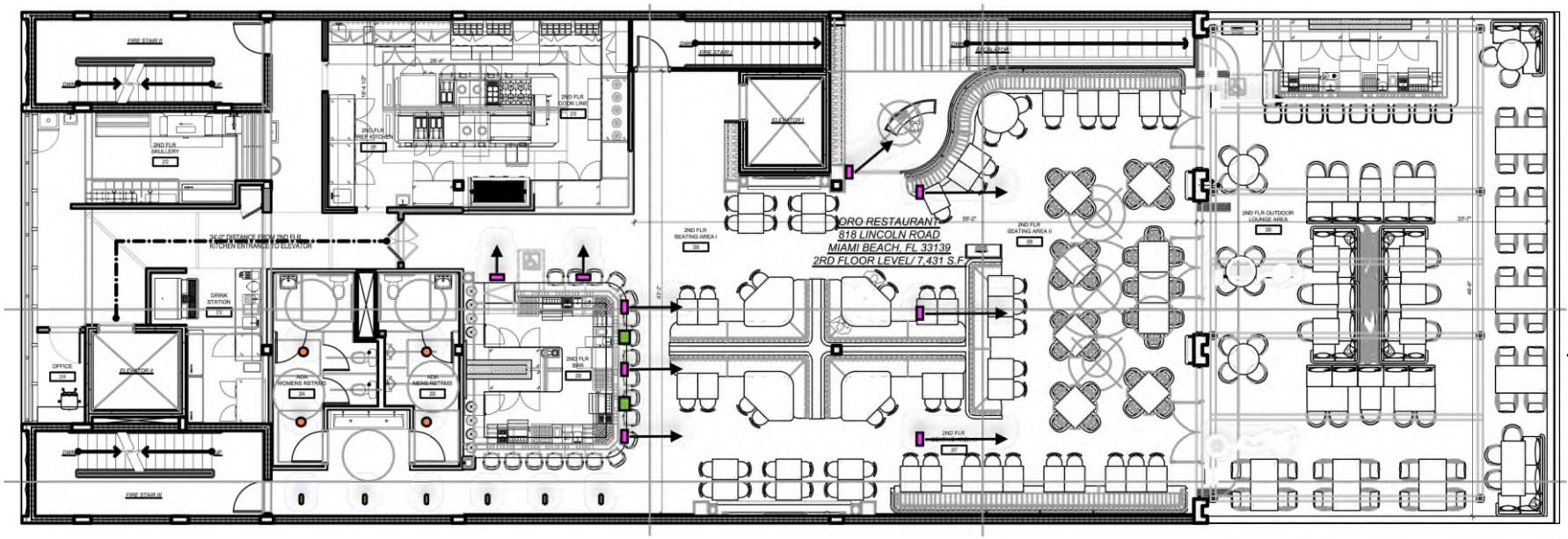
DATE: JULY 25, 2022

DRAWING TITLE:
PROPOSED RENDERING
INTERIOR SECTIONS

SHEET NO.:
A3.12

SPEAKERS SCHEDULE

- P10 Speaker with Hanging Bracket
- ID 24 Hanging Speaker (double 4")
- Flying L15 Subwoofer
- 6" Ceiling Speaker (70V)



1 SECOND FLOOR LEVEL SPEAKERS LOCATION PLAN
SCALE: 3/32"=1'-0"

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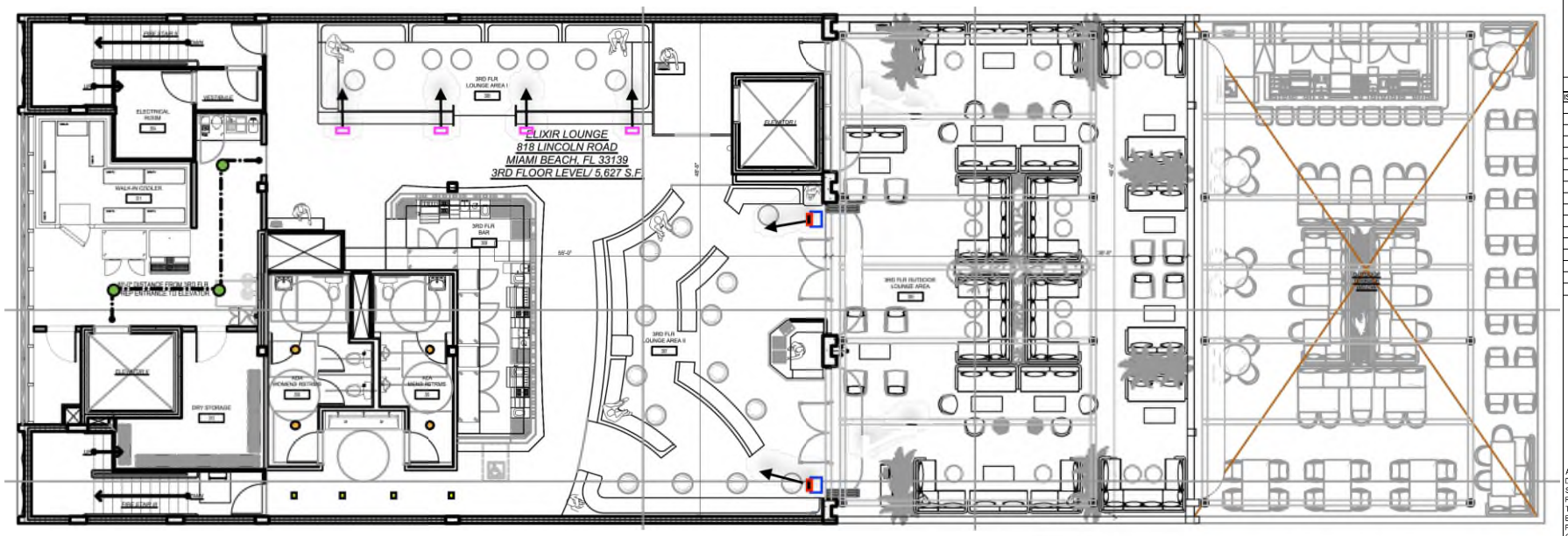
DATE: JULY 25, 2022	

DRAWING TITLE:
SECOND FLOOR LEVEL SPEAKERS LOCATION PLAN

SHEET NO.:
A4.01

SPEAKERS SCHEDULE

- Kiva II (4 Speaker Flying Line Array)
- X4i (Flying 4" delay Speaker)
- SB18 X 2 (Stacked 18" Subwoofers)
- OVI 12 (1 point Hanging Speaker)
- KS21 (Flying Subwoofers)
- 6" Ceiling Speaker (70V)



1 THIRD FLOOR LEVEL SPEAKERS LOCATION PLAN
SCALE: 3/32"=1'-0"

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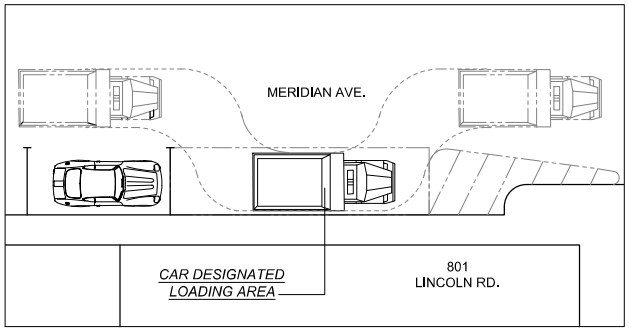
DATE: JULY 25, 2022	

DRAWING TITLE:
THIRD FLOOR LEVEL SPEAKERS LOCATION PLAN

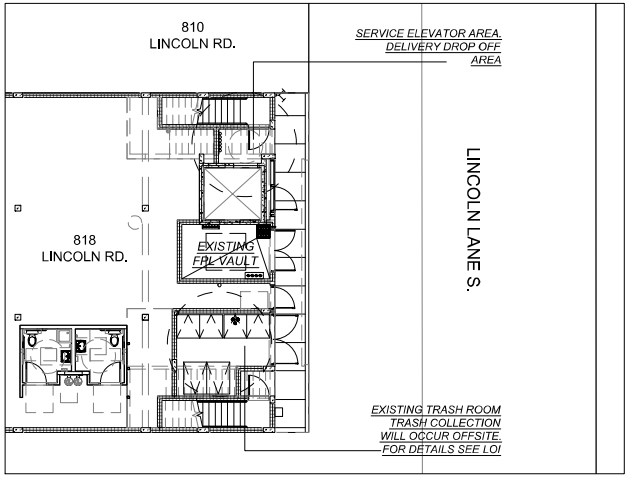
SHEET NO.:
A4.02

1 MERIDIAN AVE.
CAR DESIGNATED
LOADING ZONE AREA

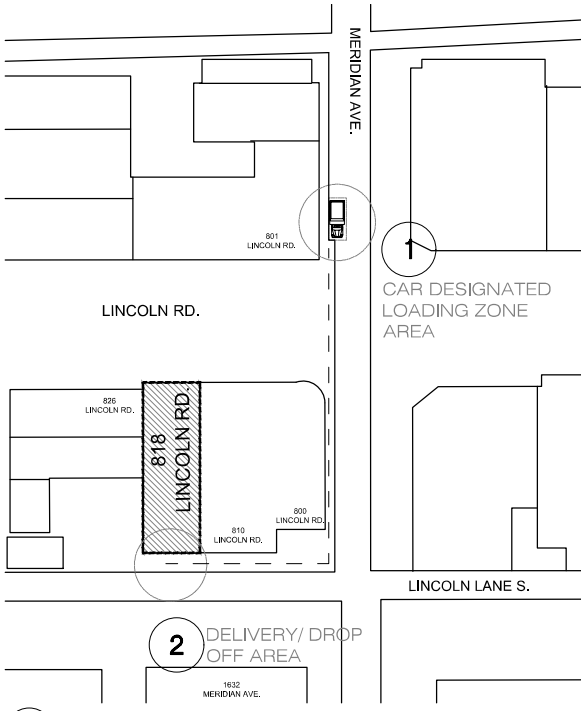
2 818 LINCOLN LANE SOUTH.
DELIVERY DROP-OFF AREA



1 LOADING AREA-CAR TURN DIAGRAM-MERIDIAN AVE.
SCALE N.T.S



2 DELIVERY DROP OFF AREA-LINCOLN LANES S.
SCALE N.T.S



3 PROPOSED LOADING/ DELIVERY AREAS PLAN
SCALE N.T.S

TRUE NORTH

DELIVERIES AND COLLECTIONS

THE FOLLOWING PROCEDURES WILL BE IMPLEMENTED TO ENSURE MINIMAL IMPACT ON LOCAL RESIDENTS. GOLDEN ERA HOSPITALITY, LLC WILL WORK WITH ONE OF THE CITY APPROVED WASTE COLLECTION COMPANIES FOR DAILY COLLECTIONS.

ENCLOSED TRASH ROOM AT THE SOUTHWEST REAR OF THE PROPERTY, LINCOLN LANES SOUTH .

ALL DELIVERIES WILL OCCUR DURING WEEKDAY AS WELL. FOR HOURS OF THESE ACTIVITIES PLEASE REFER TO LOI.

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DRAWING TITLE:
PROPOSED
LOADING ZONE
LOCATION PLAN

SHEET NO.:
A5.01