

# CASA GRUBEA

1339 14TH TERRACE MIAMI BEACH, FL 33139

MA 2202



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MATEU ARCHITECTURE INC.

AA-26000522  
8887 SW 131ST STREET  
MIAMI, FLORIDA 33176  
PH: 305-233-3304  
FX: 305-233-3326

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DESIGN REVIEW BOARD

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CSS FIRST SUBMITTAL - MARCH 21, 2022  
CSS & PAPER FINAL SUBMITTAL - APRIL 18, 2022

# CASA LEROY

1339 14TH TERRACE MIAMI BEACH, FL 33139

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CSS FIRST SUBMITTAL - MARCH 21, 2022  
CSS & PAPER FINAL SUBMITTAL - AUGUST 8, 2022

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CASA GRUBEA

1205 16TH TERRACE MIAMI BEACH, FLORIDA 33139  
**MATEU ARCHITECTURE, INC.**  
8807 SW 131 STREET MIAMI, FLORIDA 33176  
TEL.: 305.233.3094  
FAX: 305.233.3326  
FINAL SUBMITTAL

04.18.2022

A-100

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CASA LEROY

1209 16TH TERRACE MIAMI BEACH, FLORIDA 33139

MATEU ARCHITECTURE, INC. MIAMI, FLORIDA 33176

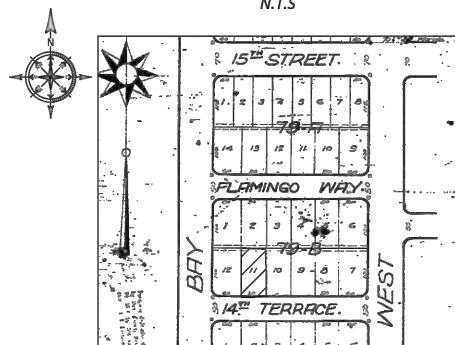
8807 SW 131 STREET  
TEL.: 305.233.3504  
FAX: 305.233.3508

FINAL SUBMITTAL

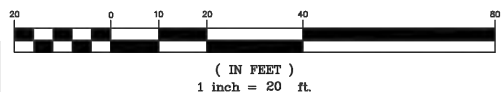
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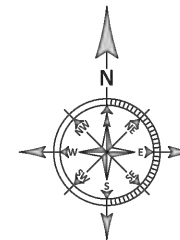
LOCATION MAP



GRAPHIC SCALE



BOUNDARY SURVEY



LEGAL DESCRIPTION:

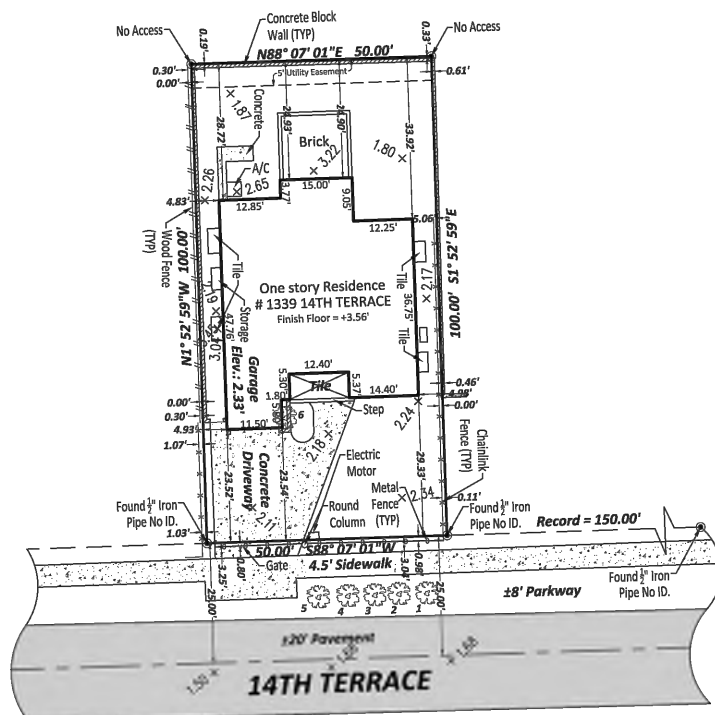
Lot Eleven (11), in Block Seventy-Nine-B (79-B), of A RESUBDIVISION OF BLOCKS 67 AND 79 ALTON BEACH REALTY CO'S, BAY FRONT SUBDIVISIONS, according to the Plat thereof, as recorded in Plat Book 16, Page 1, of the Public Records of Miami-Dade County, Florida.

SURVEY FOR:

1339 14TH TERRACE LLC

SURVEYOR'S NOTES:

- There may be additional restrictions that are not shown on this survey that may be found in the public records of this county.
- Examination of abstract of title will have to be made to determine recorded instruments, if any, affecting property.
- This certification is only for the lands as described, it is not a certification of title, zoning, easements, or freedom of encumbrances. Abstract not reviewed.
- Location and identification of utilities, if any, are shown in accordance with recorded plat.
- Ownership is subject to opinion of title.
- Type of Survey: BOUNDARY SURVEY
- The herein captioned property was surveyed and described based on the shown legal description: provided by client.
- Survey map and report or the copies thereof are not valid and for reference only, unless signed and sealed with the original raised seal of a Florida licensed surveyor and mapper.
- This plan of survey has been prepared for the exclusive use of the entities named hereon. The certificate does not extend to any unnamed parties.
- Underground utilities are not depicted hereon, contact the appropriate authority prior to any design work or construction on the property herein described. Surveyor shall be notified as to any deviation from utilities shown hereon.
- The surveyor of record does not determine ownership of fences, measurements shown hereon depict physical location of fence.
- Accuracy: The expected use of land as classified in the Minimum Technical Standards (SJ-17 FAC), is "suburban". The minimum relative distance accuracy for the type of boundary survey is 1 foot in 7,500 feet. The accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
- In some instances, graphic representations have been exaggerated to more clearly illustrate relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
- No attempt has been made to locate any foundation beneath the surface of the ground.
- Contact the appropriate authority prior to any design work on the herein described parcel for building and zoning information.
- Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.
- Bearings shown are assumed and are based on the North Right-of-Way line of 14TH TERRACE, being  $S88^{\circ}07'01''W$ .



TREE TABULATION

NUMBER	COMMON NAME	SCIENTIFIC NAME	DIAMETER	HEIGHT	CANOPY
①	Areca Palm	Dypsis lutescens	6"	10'	8'
②	Areca Palm	Dypsis lutescens	7"	13'	8'
③	Areca Palm	Dypsis lutescens	7"	12'	8'
④	Areca Palm	Dypsis lutescens	7"	9'	8'
⑤	Areca Palm	Dypsis lutescens	7"	9'	8'
⑥	Avocado Tree	Persea americana	5"	16'	9'

LEGEND	
☐	WATER METER
☐	CATCH BASIN
☐	FIRE HYDRANT
☐	CLEAN OUT
☐	SANITARY MANHOLE
☐	STORM MANHOLE
☐	FPL MANHOLE
☐	BELL SOUTH MANHOLE
☐	INLET
☐	WATER VALVE
☐	GAS VALVE
☐	UTILITY POLE
☐	CONCRETE UTILITY POLE
☐	TRAFFIC BOX
☐	TREE
☐	P.B. PLAT BOOK
PG.	PAGE
SQ.FT.	SQUARE FEET
±	MORE OR LESS
ELEV.	ELEVATION
INV.	INVERT
☐	CENTERLINE
☐	CITY OF MIAMI MONUMENT LINE
☐	PROPERTY LINE
ENCR.	ENCROACHMENT
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(P)	PLAT
(A)	ATLAS SHEET
---	OVERHEAD POWER LINES
---	WATER MAIN
---	SEWER MAIN
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---	GAS LINE
---	CHAIN LINK FENCE
---	BACKFLOW PREVENTER
☐	HANDICAP PARKING
☐	ELECTRIC BOX
☐	COLUMN
TBM	TEMPORARY BENCH MARK
☐	STREET LIGHT POLE

THIS NOT A VALID CERTIFICATION WITHOUT THE SURVEYOR'S ORIGINAL SIGNATURE AND RAISED SEAL. THE SURVEYOR'S SIGNATURE AND RAISED SEAL SHALL BE PLACED ON THE SURVEY MAP AND RAISED SEAL SHALL BE PLACED ON THE SURVEY REPORT. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS IN CHAPTER 51-17 FLORIDA ADMINISTRATIVE CODE. PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

ADDRESS: 1339 14TH TERRACE, MIAMI BEACH, FL 33139  
FOLIO NO.: 02-3233-016-0410

CHECKED BY: Waldo F. Palcz  
DRAWN BY: V.C.

SCALE: 1" = 20'

FLOOD ZONE INFORMATION:  
COMMUNITY NAME & NUMBER: 120651  
CITY OF MIAMI BEACH  
MAP/PANEL NUMBER: 120651  
FLOOD ZONE(S): AE  
FIRM PANEL: AE  
EFFECTIVE/REVISED DATE: 08-11-2009  
BASE FLOOD ELEVATION: 8.0'

DELTA MAPPING & SURVEYING, Inc  
LAND SURVEYORS & PLANNERS  
1339 14th Terrace, Suite 117  
Miami, Florida 33139  
P.O. Box 7909  
MIAMI, FL 33152  
PHONE: (786) 425-3024 FAX: (786) 592-1152

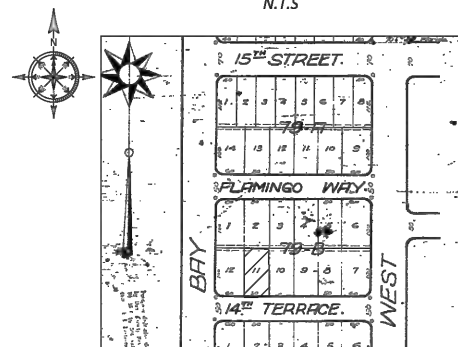
BY: WALDO F. PALCZ, P.E., S.M., No. 3284  
DATE: \_\_\_\_\_  
SIGNED: \_\_\_\_\_  
FOR THE FIRM  
STATE OF FLORIDA

ELEVATION NOTE: (IF REQUESTED AND SHOWN)		BENCHMARK INFORMATION:	
1.	+0.00' Indicates existing Elevations	NAME:	D-104, DESCRIPTION: PK NAIL AND BRASS WASHER W/ CONG DECK FOR CATCH BASIN, LOCATION: 14 ST --- 50' SOUTH OF C/L, ALTON RD --- 35' WEST OF C/L, ELEVATION: (+3.05' NGVD)(+1.49' NAVD)
2.	Elevations are referred to the North American Vertical Datum of 1988		
REVISIONS:	JOB NO.:	DATE:	REVISIONS:

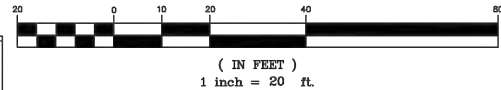
SHEET:  
**1**  
OF 1 SHEET(S)  
SURVEY DATE:  
7-27-2021  
JOB NO.:  
21-0250



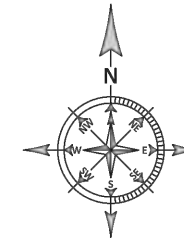
**LOCATION MAP**



**GRAPHIC SCALE**



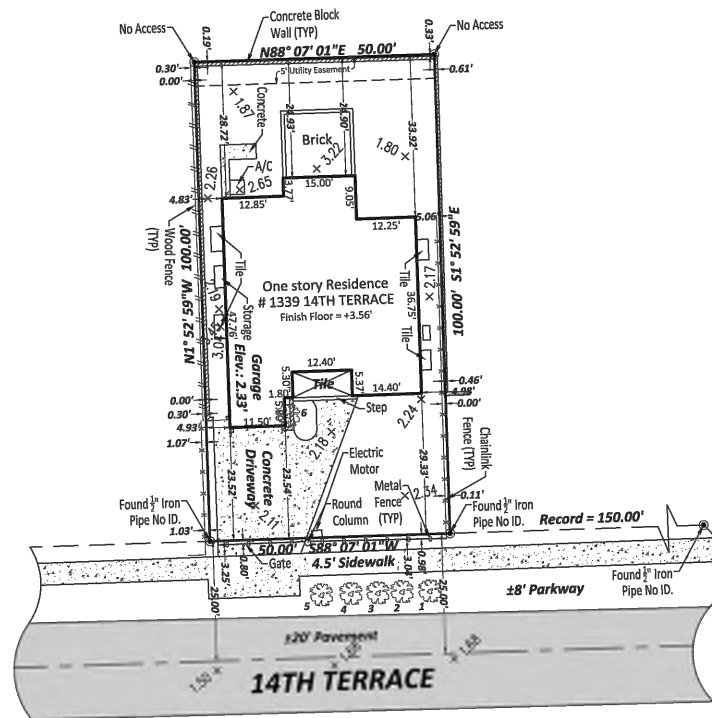
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 1339 14TH TERRACE LLC

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**ADDRESS:** 1339 14TH TERRACE, MIAMI BEACH, FL 33139  
**FOLIO NO.:** 02-3233-016-0410

**SHEET:**  
**1**  
 OF 1 SHEET(S)  
**SURVEY DATE:**  
 7-27-2021  
**JOB NO.:**  
 21-0250

**BY:** FOR THE FIRM  
 WALDO F. PALCZ, P.S.M., No. 3284  
 STATE OF FLORIDA

**DELTA MAPPING & SURVEYING, Inc**  
 LAND SURVEYORS & PLANNERS  
 1339 14th Terrace, Suite 117  
 Miami, Florida 33139  
 P.O. Box 7909  
 Miami, Florida 33108  
 PHONE: (786) 425-3024 FAX: (786) 592-1152

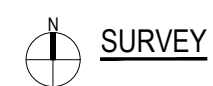
**FLOOD ZONE INFORMATION:**  
 COMMUNITY NAME & NUMBER: 120651  
 CITY OF MIAMI BEACH  
 MAP/PANEL NUMBER: 120651  
 FLOOD ZONE(S): AE  
 FIRM PANEL: 120651  
 BASE FLOOD ELEVATION: 8.0'

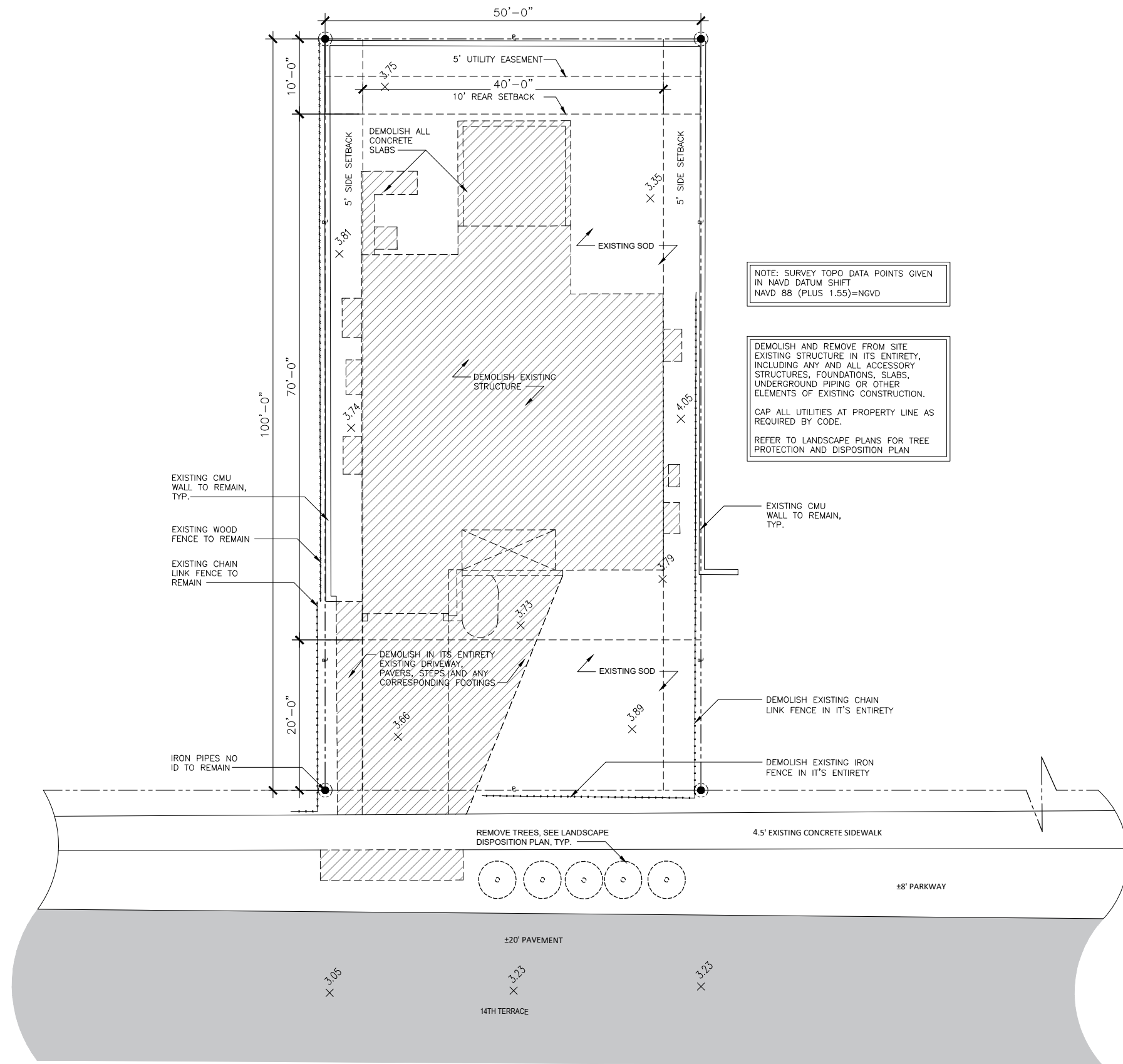
**ELEVATION NOTE: (IF REQUESTED AND SHOWN)**

- +0.00' Indicates existing Elevations
- Elevations are referred to the North American Vertical Datum of 1988

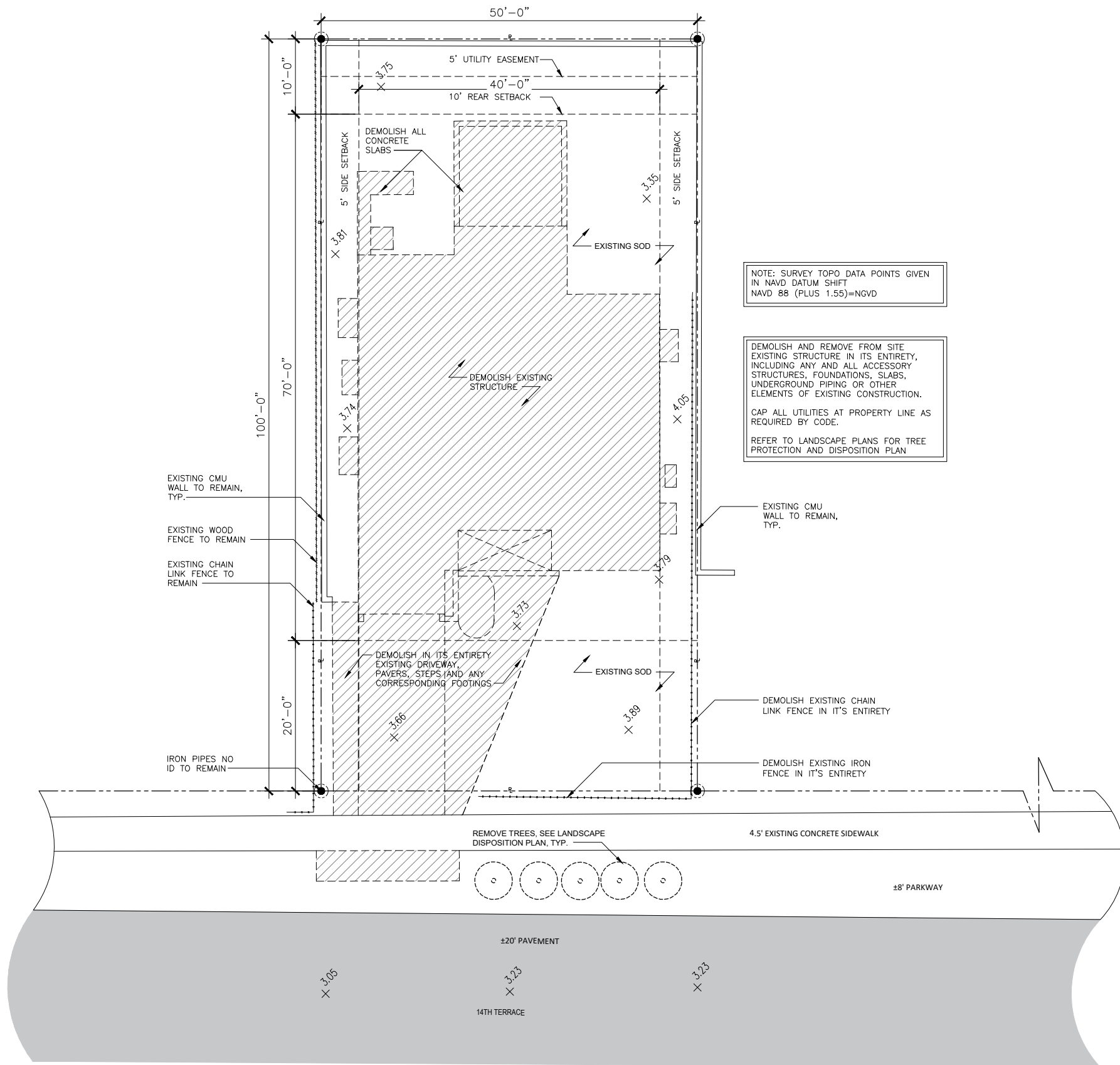
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REVISIONS:	JOB NO.:	DATE:	REVISIONS:	JOB NO.:	DATE:





DEMOLITION SITE PLAN



NOTE: SURVEY TOPO DATA POINTS GIVEN  
IN NAVD DATUM SHIFT  
NAVD 88 (PLUS 1.55)=NGVD

DEMOLISH AND REMOVE FROM SITE  
EXISTING STRUCTURE IN ITS ENTIRETY,  
INCLUDING ANY AND ALL ACCESSORY  
STRUCTURES, FOUNDATIONS, SLABS,  
UNDERGROUND PIPING OR OTHER  
ELEMENTS OF EXISTING CONSTRUCTION.  
CAP ALL UTILITIES AT PROPERTY LINE AS  
REQUIRED BY CODE.  
REFER TO LANDSCAPE PLANS FOR TREE  
PROTECTION AND DISPOSITION PLAN

N  
DEMOLITION SITE PLAN  
0 2' 4' 8' 16'





Planning Department, 1700 Convention Center Drive  
 Miami Beach, Florida 33139, www.miamibeachfl.gov  
 305.673.7550

**MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET**

ITEM #	Zoning Information			
1	Address:	1339 14th terrace, Miami Beach, FL		
2	Board and file numbers :	DRB22-0809		
3	Folio number(s):	02-3233-016-0410		
4	Year constructed:	N/A	Zoning District:	RM-1
5	Based Flood Elevation:	8'-0"	Grade value in NGVD:	+3.66' N.G.V.D
6	Adjusted grade (Flood+Grade/2):	+5.83' N.G.V.G	Lot Area:	5,000 sf.
7	Lot width:	50 ft	Lot Depth:	100ft
8	Minimum Unit Size	N/A	Average Unit Size	N/A
9	Existing use:	Single Family Residential	Proposed use:	Single Family Residential

	Maximum	Existing	Proposed	Deficiencies
10	Height	55 ft	51 ft 3 in	
11	Number of Stories		3	
12	FAR	6,250 sf.	4,074 sf.	
13	Gross square footage			
14	Square Footage by use	N/A		
15	Number of units Residential	N/A		
16	Number of units Hotel	N/A		
17	Number of seats	N/A		
18	Occupancy load	N/A		

	Setbacks	Required	Existing	Proposed	Deficiencies
	<b>Subterranean:</b>	N/A			
19	Front Setback:				
20	Side Setback:				
21	Side Setback:				
22	Side Setback facing street:				
23	Rear Setback:				
	<b>At Grade Parking:</b>				
24	Front Setback:	20 ft		20 ft	
25	Side Setback:	5.0 ft		7.5 ft	
26	Side Setback:	5.0 ft		7.5 ft	
27	Side Setback facing street:	N/A		N/A	
28	Rear Setback:	10 ft		10 ft	
	<b>Pedestal:</b>				
29	Front Setback:	20 ft			
30	Side Setback:	7.5 ft		20 ft	
31	Side Setback:	7.5 ft		7.5 ft	
32	Side Setback facing street:	N/A		N/A	
33	Rear Setback:	10 ft		10 ft	
	<b>Tower:</b>	N/A		N/A	
34	Front Setback:				
35	Side Setback:				

ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback:				



Calculation of Minimum and Maximum Yards

PROPERTY CONDITIONS

Waterfront Lot (Yes/No)	NO
Corner property (Yes/No)	NO
Sidewalk (Yes/No)	YES
Sidewalk elevation at the centerline of the front of the property	3.660
Crown of road at center of property (if no sidewalk exists or is proposed)	0.000
Flood Elevation	8.000
Freeboard (provided)	1.000

INTERIOR SIDEYARD CONDITIONS

Indicate yes only for the condition that applies

Yes	Default Condition unless one of the below applies	Maximum Yard Elevation
	Maximum Yard Elevation	6.160
	Is the average grade of adjacent lot along the abutting side yard equal or greater than adjusted grade?	8.330
	Is the abutting property vacant?	8.330
	Is there a joint agreement between abutting properties, for a higher elevation, not to exceed flood elevation?	8.000

REAR YARD CONDITIONS

Indicate yes only for the condition that applies

Yes	Default Condition unless one of the below applies	Maximum Yard Elevation
	Maximum Yard Elevation	6.160
	Is the average grade of adjacent lot along the abutting side yard equal or greater than adjusted grade?	8.330
	Is the abutting property vacant?	8.330
	Is there a joint agreement between abutting properties, for a higher elevation, not to exceed flood elevation?	8.000

RESULTS

Grade	3.66
Adjusted Grade	5.83
3" Above Grade	6.38
Future Crown of Road	3.25
Future Adjusted Grade	7.325
Minimum Freeboard Elev.	9.000
Maximum Freeboard Elev.	13.000
Minimum Yard Elevation	6.56
Min. Garage elevation (for a detached or attached garage, not under the house)	5.83
Minimum garage ceiling elevation	17.000

<b>Front Yard</b>	
Min Yard Elevation	6.560
Max Yard Elevation	7.325
<b>Interior Side</b>	
Min Yard Elevation	6.560
Max Yard Elevation	6.560
<b>Interior Side</b>	
Min Yard Elevation	6.560
Max Yard Elevation	6.560
<b>Non-Waterfront</b>	
Min Yard Elevation	6.560
Max Yard Elevation	6.560





Planning Department, 1700 Convention Center Drive  
Miami Beach, Florida 33139, www.miamibeachfl.gov  
305.673.7550

**MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET**

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1	Address:	1339 14th terrace, Miami Beach, FL		
2	Board and file numbers :	DRB22-0809		
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5	Based Flood Elevation:	8'-0"	Grade value in NGVD:	+3.66' N.G.V.D
6	Adjusted grade (Flood+Grade/2):	+5.83' N.G.V.G	Lot Area:	5,000 sf.
7	Lot width:	50 ft	Lot Depth:	100ft
8	Minimum Unit Size	N/A	Average Unit Size	N/A
9	Existing use:	Single Family Residential	Proposed use:	Single Family Residential

	Maximum	Existing	Proposed	Deficiencies
10	Height	55 ft	46 ft 10 in	
11	Number of Stories		3	
12	<b>FAR</b>	6,250 sf.	4,157 sf.	
13	Gross square footage			
14	Square Footage by use	N/A		
15	Number of units Residential	N/A		
16	Number of units Hotel	N/A		
17	Number of seats	N/A		
18	Occupancy load	N/A		

	Setbacks	Required	Existing	Proposed	Deficiencies
	<b>Subterranean:</b>	N/A			
19	Front Setback:				
20	Side Setback:				
21	Side Setback:				
22	Side Setback facing street:				
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	<b>At Grade Parking:</b>				
24	Front Setback:	20 ft		20 ft	
25	Side Setback:	5.0 ft		7.5 ft	
26	Side Setback:	5.0 ft		7.5 ft	
27	Side Setback facing street:	N/A		N/A	
28	Rear Setback:	10 ft		10 ft	
	<b>Pedestal:</b>				
29	Front Setback:	20 ft			
30	Side Setback:	7.5 ft		20 ft	
31	Side Setback:	7.5 ft		7.5 ft	
32	Side Setback facing street:	N/A		N/A	
33	Rear Setback:	10 ft		10 ft	
	<b>Tower:</b>	N/A		N/A	
34	Front Setback:				
35	Side Setback:				
ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback:				



Calculation of Minimum and Maximum Yards

PROPERTY CONDITIONS		
Waterfront Lot (Yes/No)		NO
Corner property (Yes/No)		NO
Sidewalk (Yes/No)		YES
Sidewalk elevation at the centerline of the front of the property		3.660
Crown of road at center of property (if no sidewalk exists or is proposed)		0.000
Flood Elevation		8.000
Freeboard (provided)		1.000

INTERIOR SIDEYARD CONDITIONS		Max. Yard Elevation
Yes	Default Condition unless one of the below applies Maximum Yard Elevation	6.160
	is the average grade of adjacent lot along the abutting side yard equal or greater than adjusted grade?	8.330
	is the abutting property vacant?	8.330
	is there a joint agreement between abutting properties, for a higher elevation, not to exceed flood elevation?	8.000

REAR YARD CONDITIONS		Max. Yard Elevation
Yes	Default Condition unless one of the below applies Maximum Yard Elevation	6.160
	is the average grade of adjacent lot along the abutting side yard equal or greater than adjusted grade?	8.330
	is the abutting property vacant?	8.330
	is there a joint agreement between abutting properties, for a higher elevation, not to exceed flood elevation?	8.000

RESULTS	
Grade	3.66
Adjusted Grade	5.83
32" Above Grade	6.38
Future Crown of Road	5.25
Future Adjusted Grade	7.325
Minimum Freeboard Elev.	9.000
Maximum Freeboard Elev.	13.000
Minimum Yard Elevation	6.56
Min. Garage elevation (for a detached or attached garage, not under the house)	5.83
Minimum garage ceiling elevation	17.000

Front Yard	
Min Yard Elevation	6.560
Max Yard Elevation	7.325

Interior Side	
Min Yard Elevation	6.560
Max Yard Elevation	6.560

Interior Side	
Min Yard Elevation	6.560
Max Yard Elevation	6.560

Non-Waterfront	
Min Yard Elevation	6.560
Max Yard Elevation	6.560





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37	Side Setback facing street:			
38	Rear Setback:			

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district				
40	Total # of parking spaces	1		2	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	N/A			
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A			
43	Parking Space Dimensions	8 ft 6in -18 ft		8 ft 6in - 18 ft	
44	Parking Space configuration (45o,60o,90o,Parallel)	90		90	
45	ADA Spaces	N/A			
46	Tandem Spaces	N/A			
47	Drive aisle width	N/A			
48	Valet drop off and pick up	N/A			
49	Loading zones and Trash collection areas	N/A			
50	racks	N/A			

	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	N/A			
52	Total # of seats	N/A			
53	Total # of seats per venue (Provide a separate chart for a breakdown calculation)	N/A			
54	Total occupant content	N/A			
55	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A			

56	Is this a contributing building?	Yes or no	NO
57	Located within a Local Historic District?	Yes or no	NO

**Notes:**

If not applicable write N/A

All other data information may be required and presented like the above format.

**MULTYFAMILY - COMMERCIAL - ZONING CHECK LIST**

CHECK LIST of required Items	Included	PAGE # (s)
Survey (signed and sealed in the last 6 months)	Yes	1
Final Recorded Order to be delivered to our department	Yes	
ZONING DATA SHEET	Yes	A-103/A-103A
Unit size (provide table)	N/A	
Parking Spaces (Provide Table)	N/A	
<b>Site plan showing:</b>		
Required setbacks with dimensions	Yes	A-109
Accessory structures with setbacks with dimensions	N/A	
Mechanical/pool equipment setbacks with dimensions	N/A	
Backflowpreventor and Siamese pipes	No	
Projections into required setbacks with dimensions	N/A	
Driveways, walkways, decks with setbacks and dimensions	Yes	A-109
Swimming pool, decks with setbacks and dimensions	Yes	A-109
Docks with setbacks and dimensions	N/A	
Elevations showing dimensions from flood to maximum height	Yes	A-113/A-114
Section showing dimensions from flood to maximum height	Yes/No	A-115
Landscape plan	Yes	LP-100
Irrigation plan	No	

**Notes:**

If not applicable write N/A

This check list is only a part of all Items and plans that are required for permit approval

A complete set of plans shall be submitted for permit approval

Upon review of the submitted material it may be deemed that further information be required



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 305.673.7550

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38	Rear Setback:			

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district				
40	Total # of parking spaces	1		2	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	N/A			
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44	Parking Space configuration (45o,60o,90o,Parallel)	90		90	
45	ADA Spaces	N/A			
46	Tandem Spaces	N/A			
47	Drive aisle width	N/A			
48	Valet drop off and pick up	N/A			
49	Loading zones and Trash collection areas	N/A			
50	racks	N/A			

	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	N/A			
52	Total # of seats	N/A			
53	Total # of seats per venue (Provide a separate chart for a breakdown calculation)	N/A			
54	Total occupant content	N/A			
55	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A			

56	Is this a contributing building?	Yes or no	NO
57	Located within a Local Historic District?	Yes or no	NO

**Notes:**

If not applicable write N/A

All other data information may be required and presented like the above format.

**MULTYFAMILY - COMMERCIAL - ZONING CHECK LIST**

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Section showing dimensions from flood to maximum height	Yes/No	A-115
Landscape plan	Yes	LP-100
Irrigation plan	No	

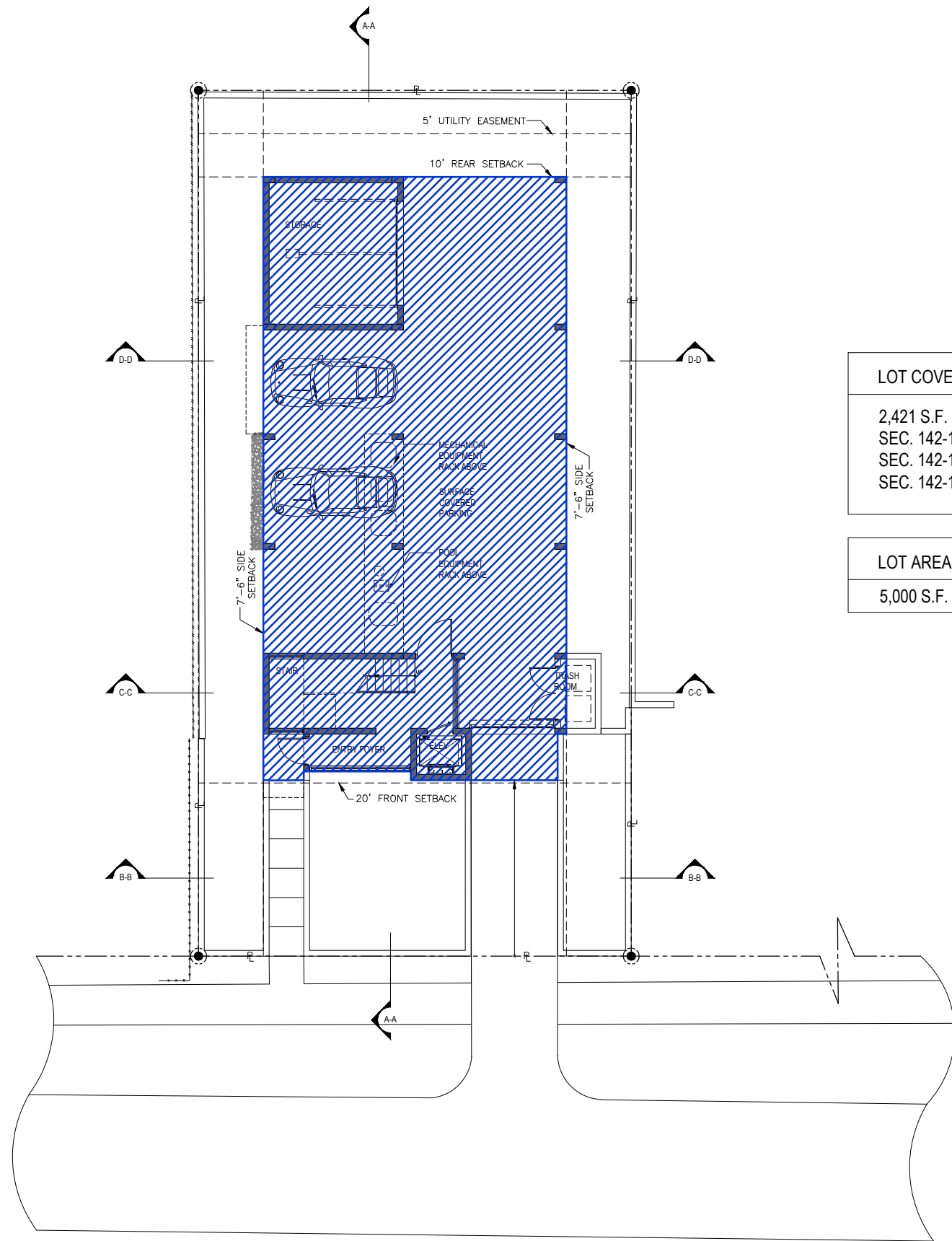
**Notes:**

If not applicable write N/A

This check list is only a part of all Items and plans that are required for permit approval

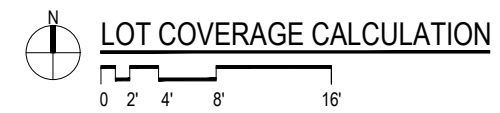
A complete set of plans shall be submitted for permit approval

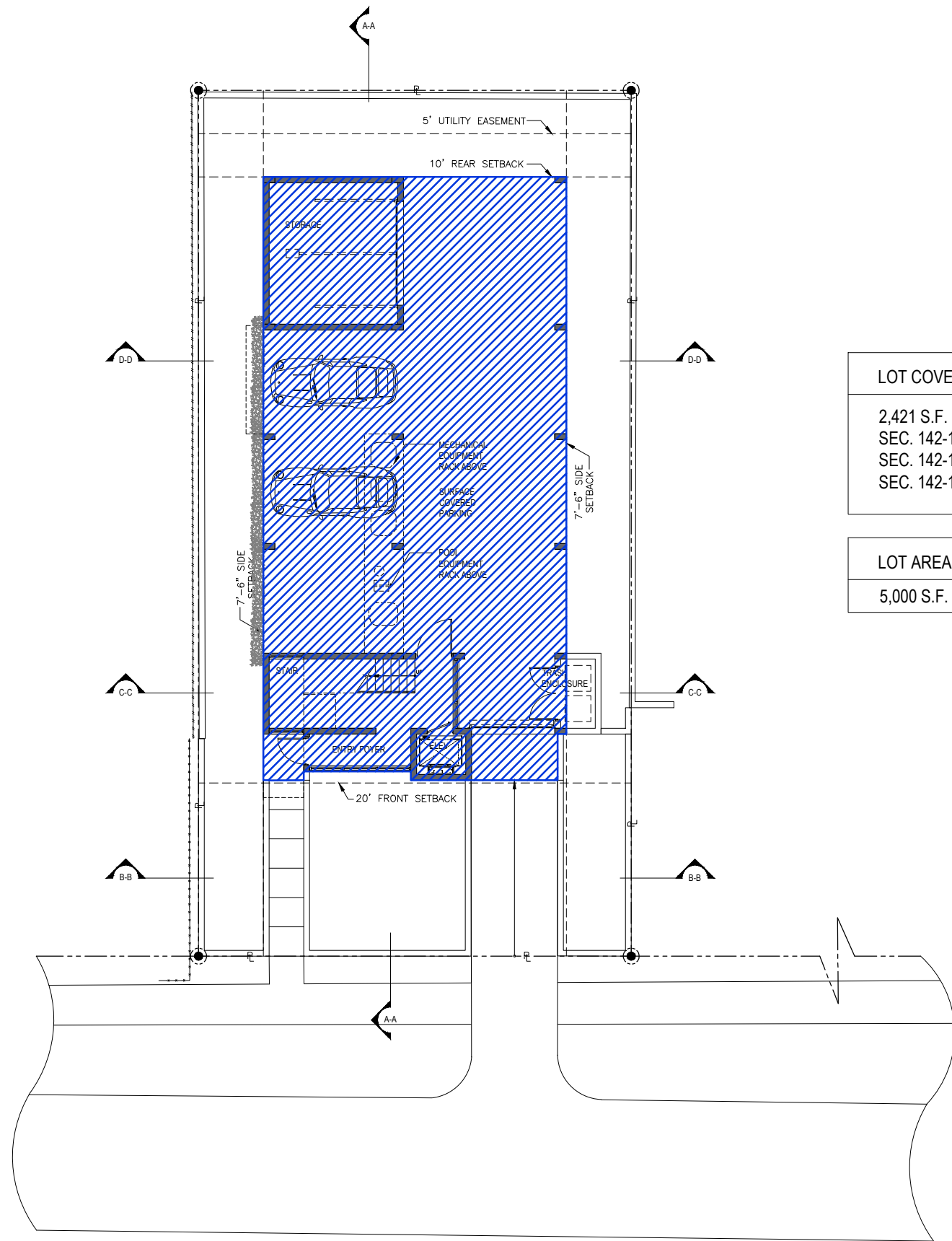
Upon review of the submitted material it may be deemed that further information be required




LOT COVERAGE	
2,421 S.F. (48.42%)	
SEC. 142-155.a.3.e	
SEC. 142-155.a.3.b.1	
SEC. 142-1132.h.1.a	

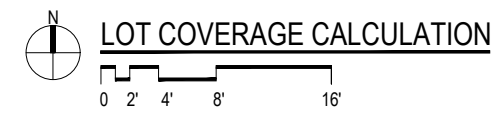
LOT AREA	
5,000 S.F. (.11 ACRES)	

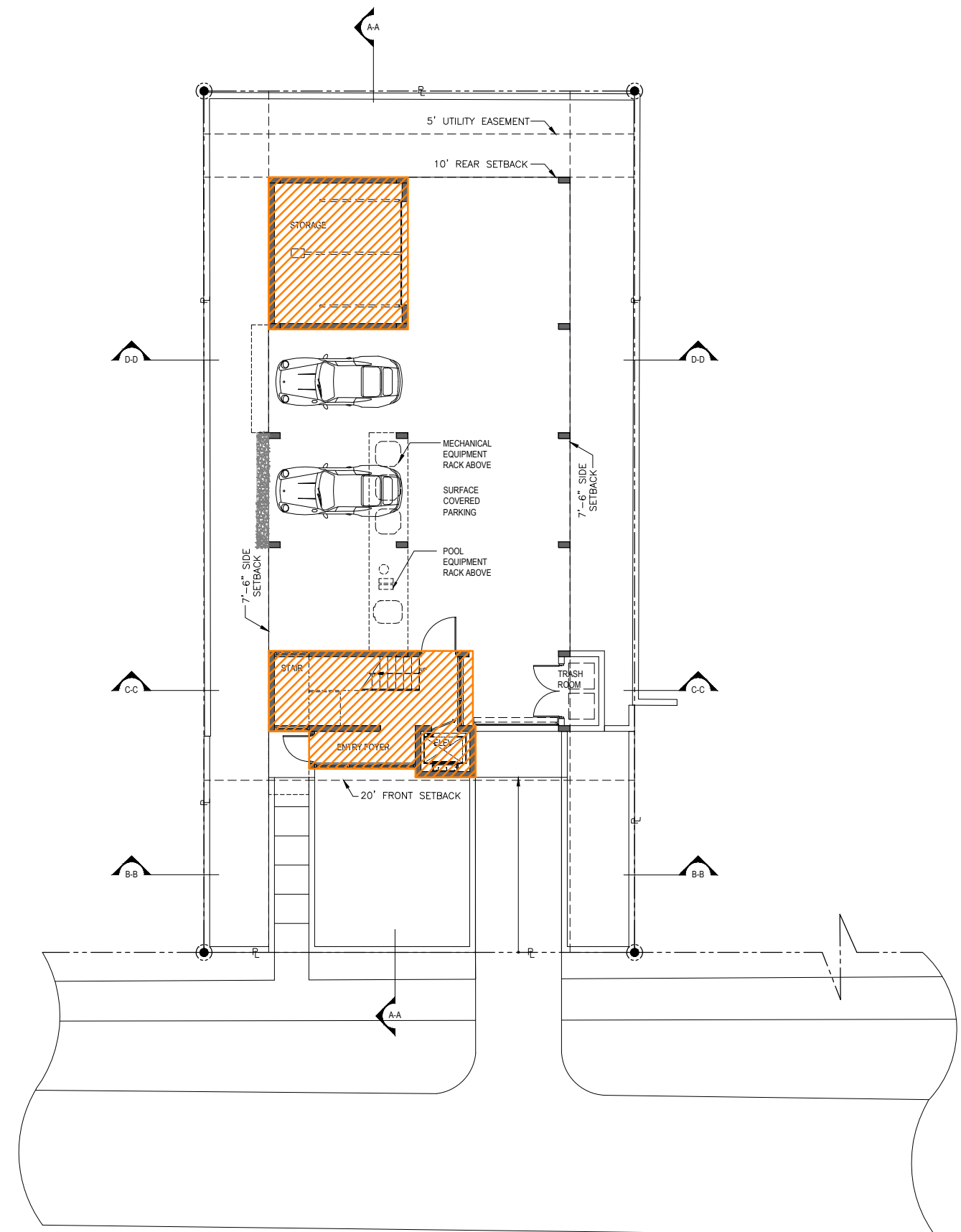
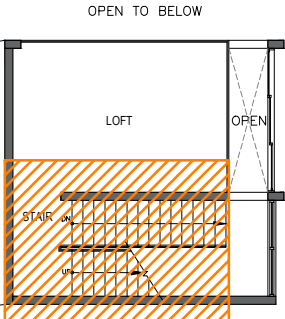
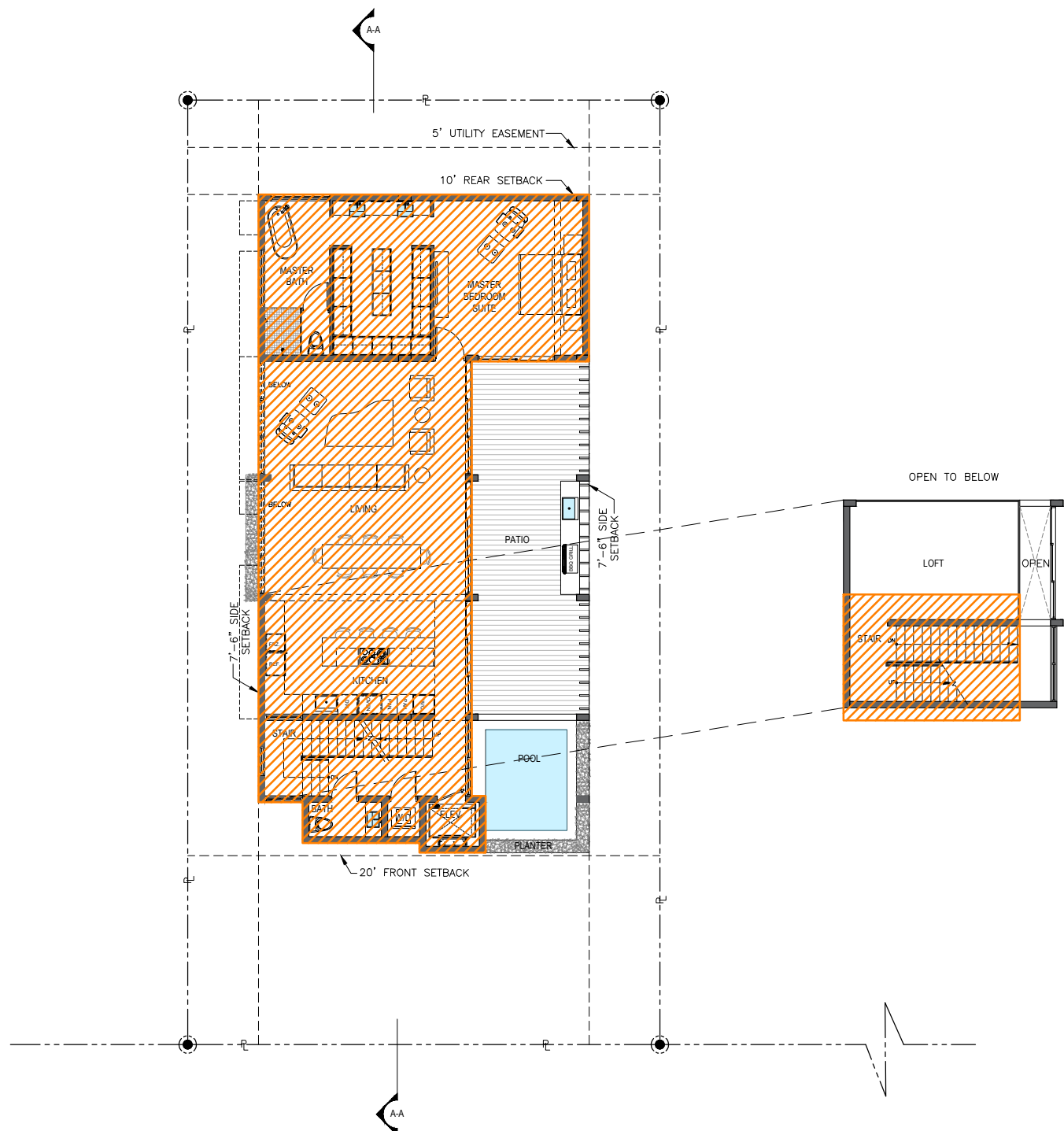




LOT COVERAGE	
2,421 S.F. (48.42%)	
SEC. 142-155.a.3.e	
SEC. 142-155.a.3.b.1	
SEC. 142-1132.h.1.a	

LOT AREA	
5,000 S.F. (.11 ACRES)	



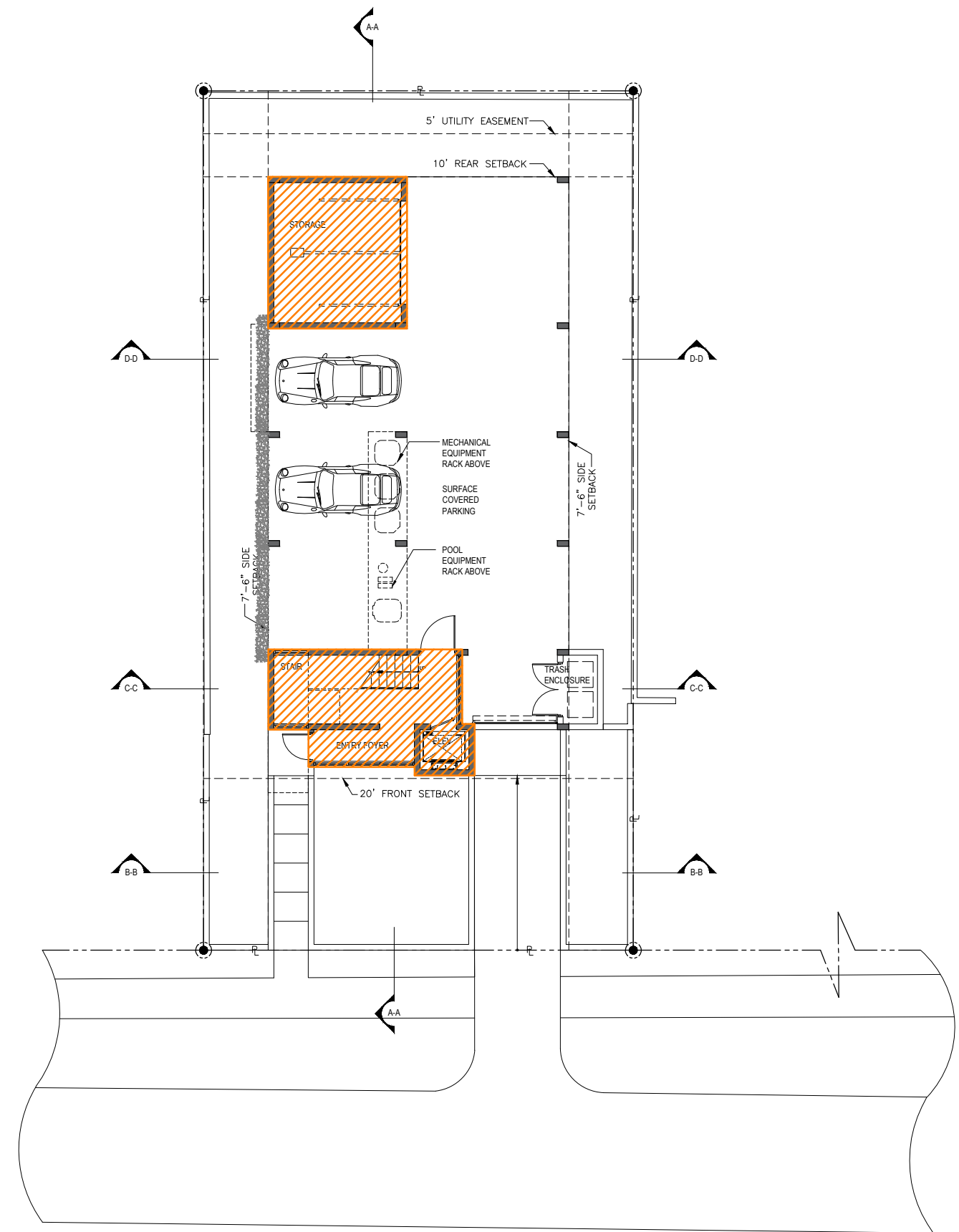
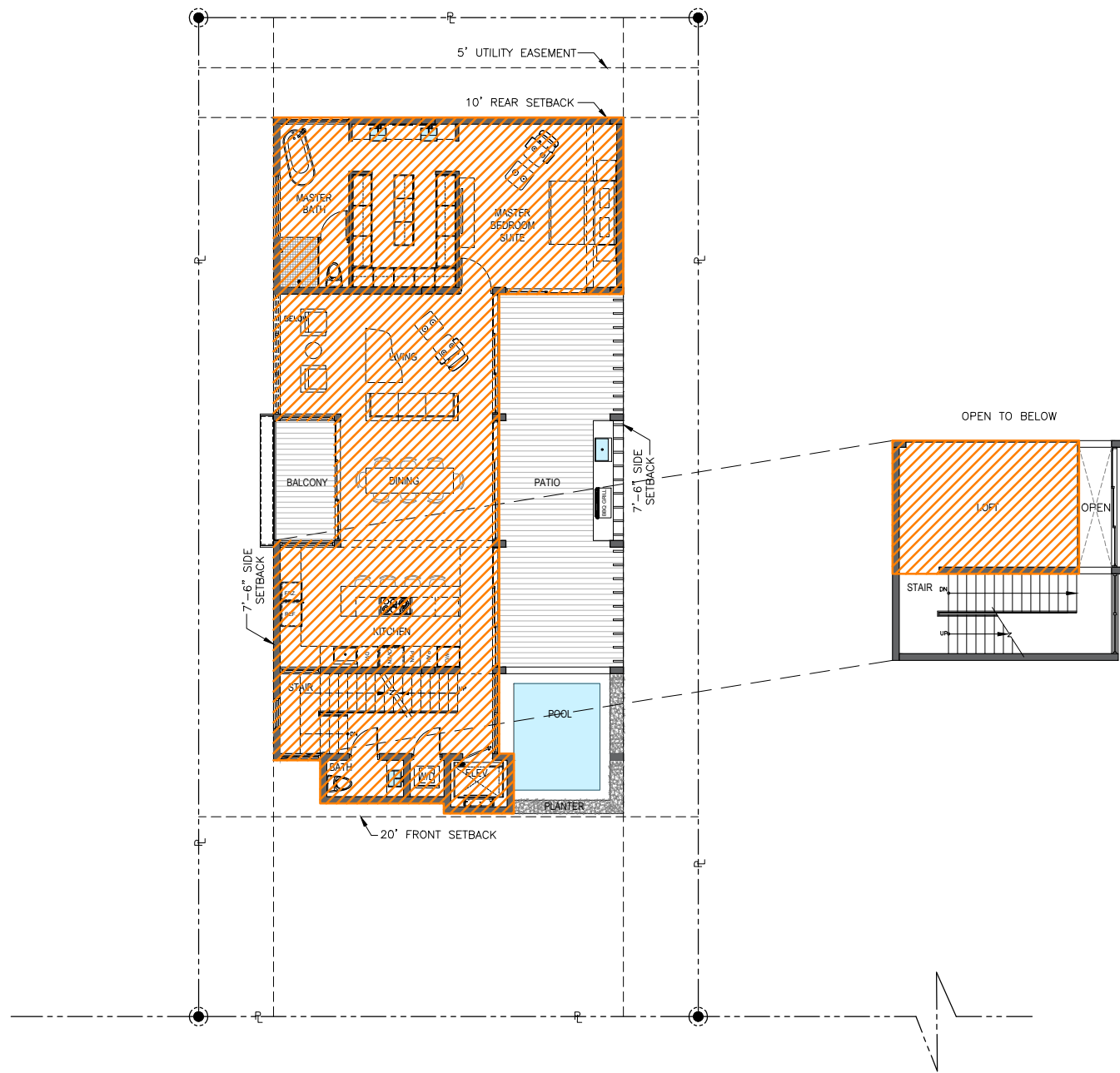


SECOND FLOOR AREA FOR F.A.R. CALCULATION	
1759 S.F.	
INTERSTITIAL LOFT AREA FOR F.A.R. CALCULATION	
249 S.F.	

**SECOND FLOOR AREA CALCULATION**

GROUND FLOOR AREA FOR F.A.R. CALCULATION	
598 S.F.	

**GROUND FLOOR AREA CALCULATION**



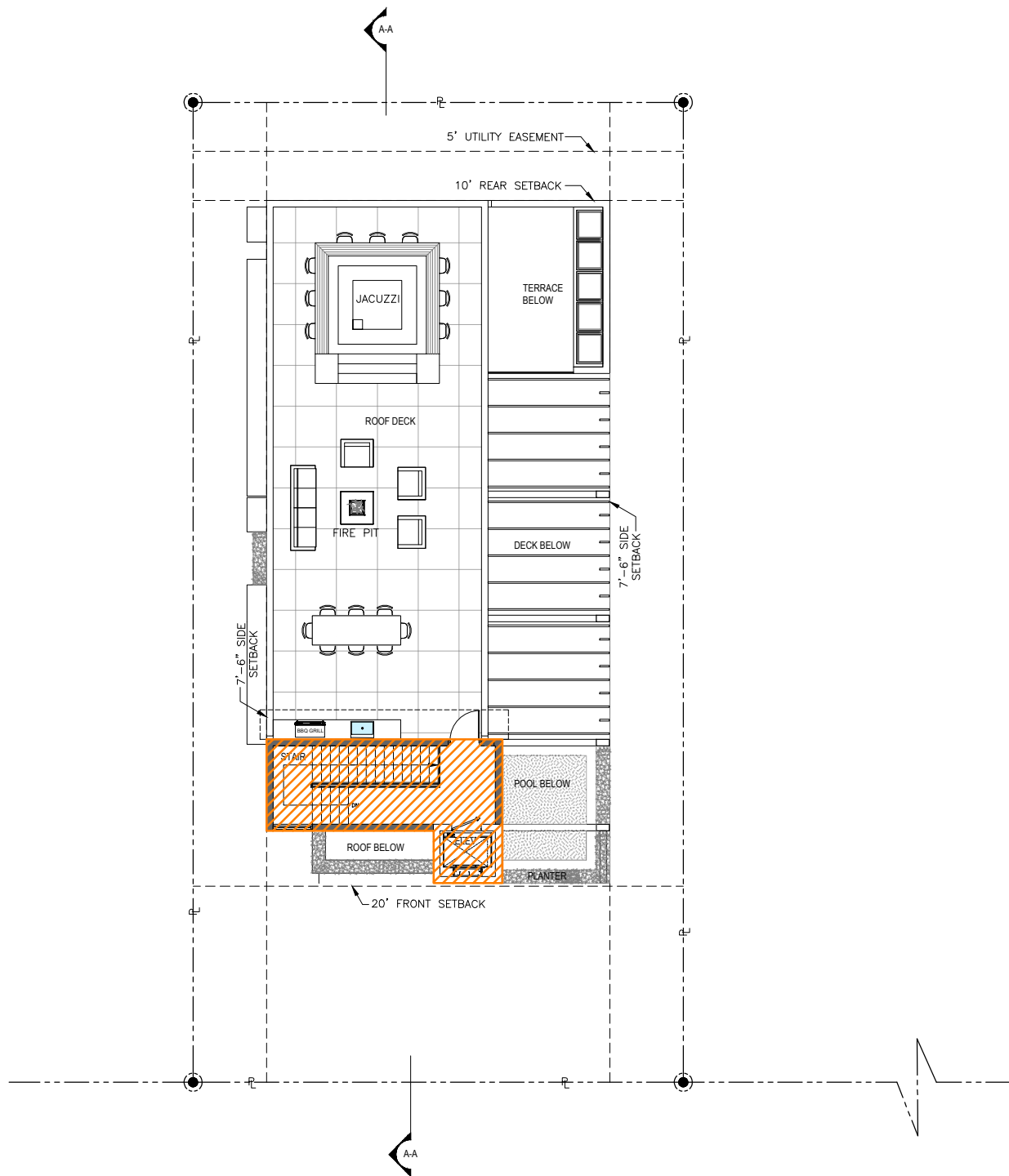
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1691 S.F.	
INTERSTITIAL LOFT AREA FOR F.A.R. CALCULATION	
249 S.F.	

**SECOND FLOOR AREA CALCULATION**


GROUND FLOOR AREA FOR F.A.R. CALCULATION	
588 S.F.	


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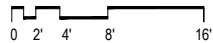


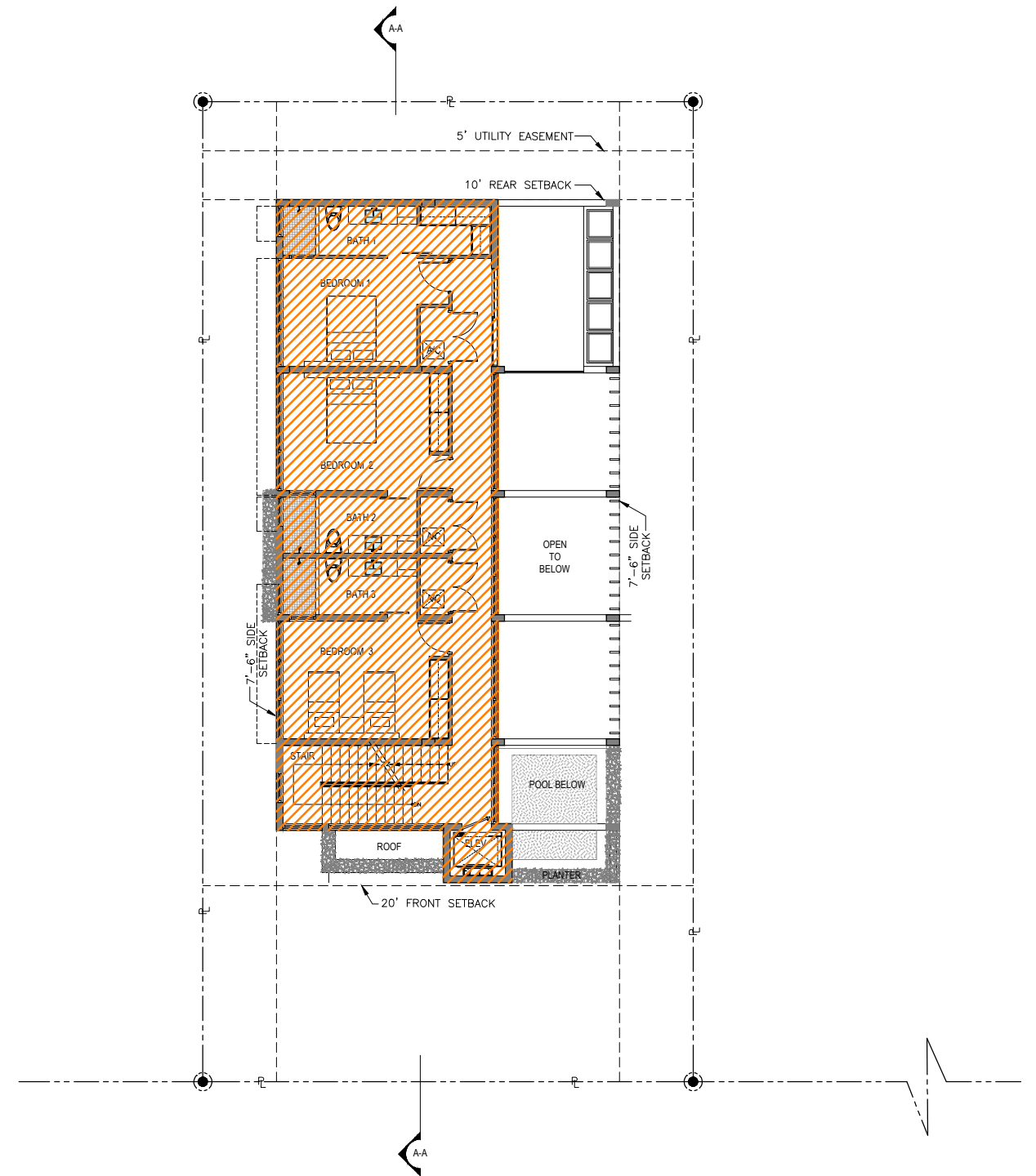


ROOF PLAN AREA  
FOR F.A.R. CALCULATION


262 S.F.  
SEC 114-1. (11) 


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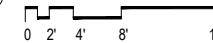


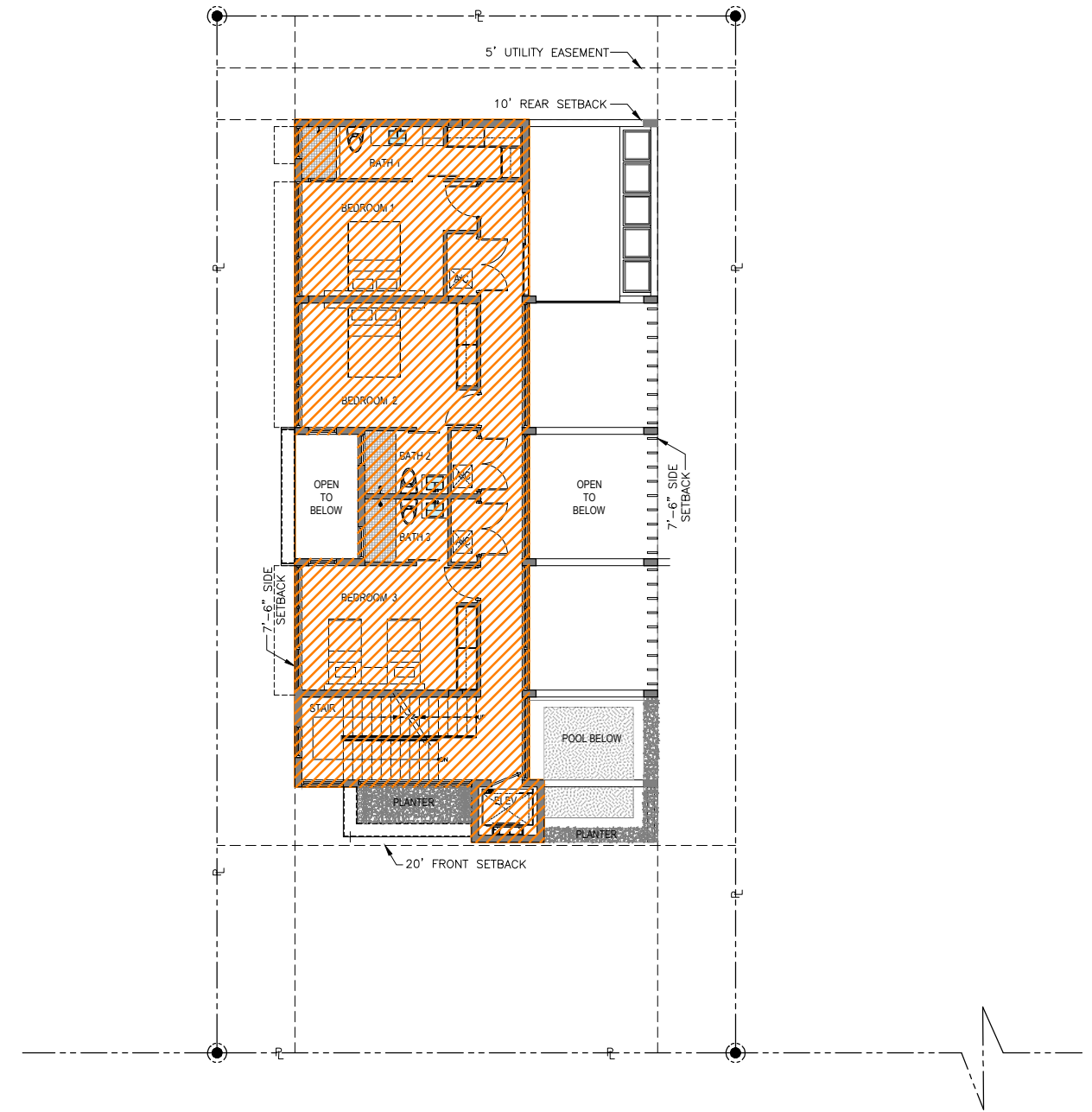
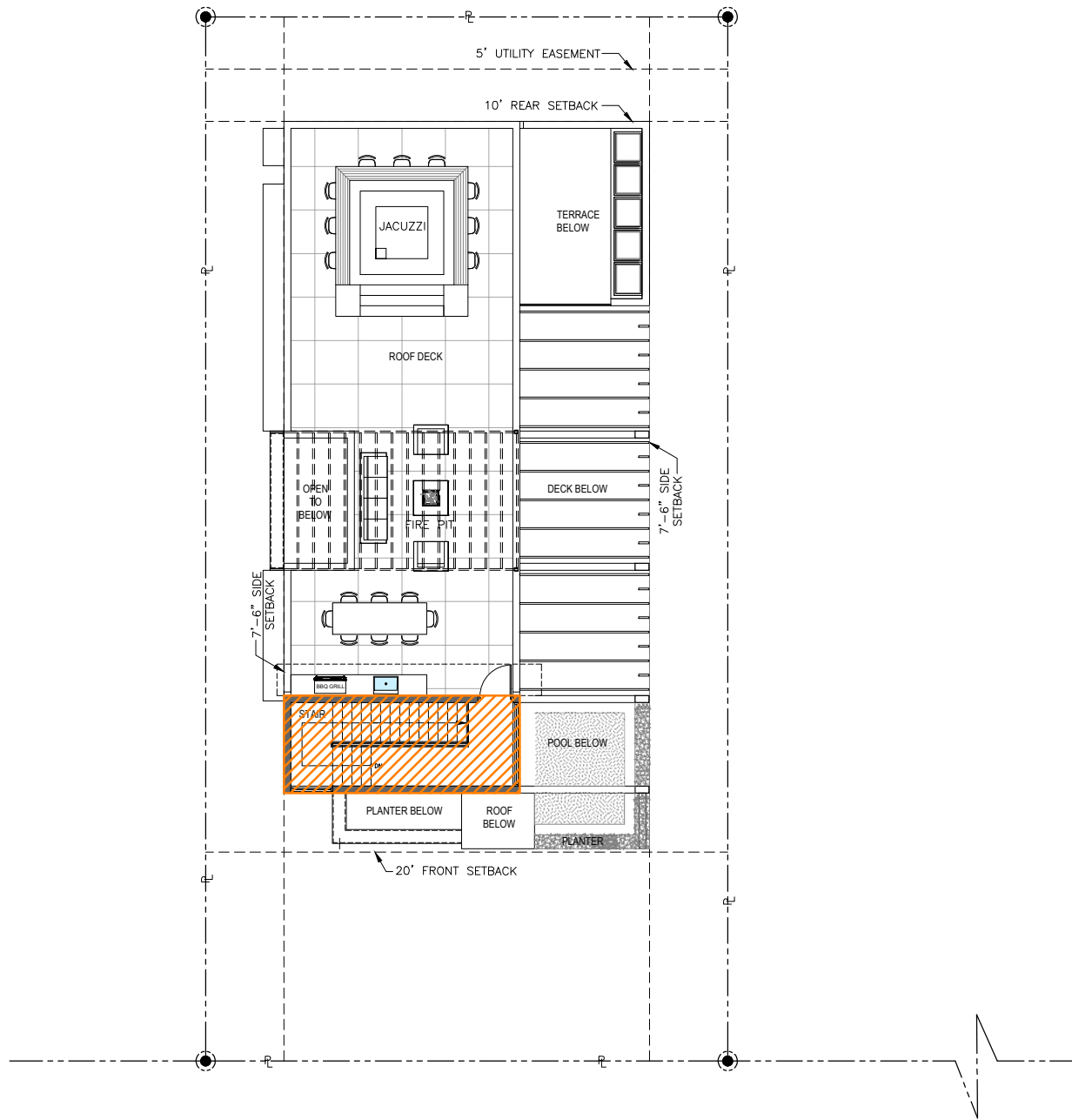



THIRD FLOOR AREA  
FOR F.A.R. CALCULATION


1492 S.F. 


 **THIRD FLOOR PLAN AREA CALCULATION**




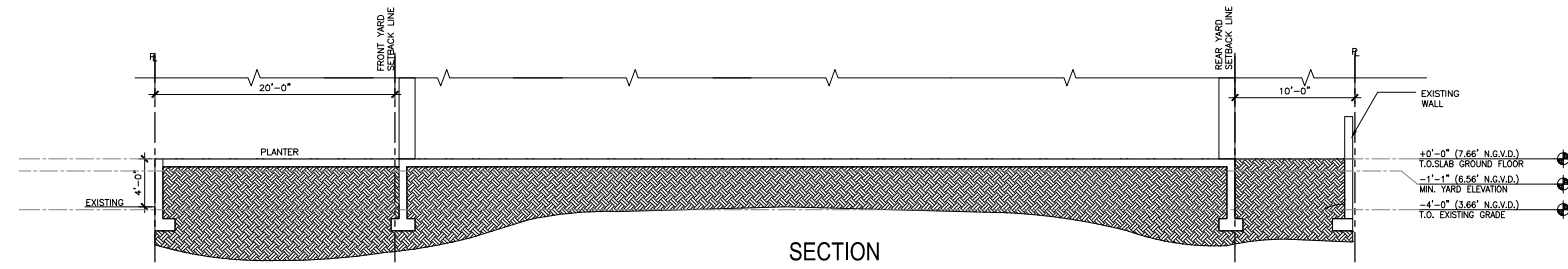


ROOF PLAN AREA  
FOR F.A.R. CALCULATION  
211 S.F.  
SEC 114-1. (11) 

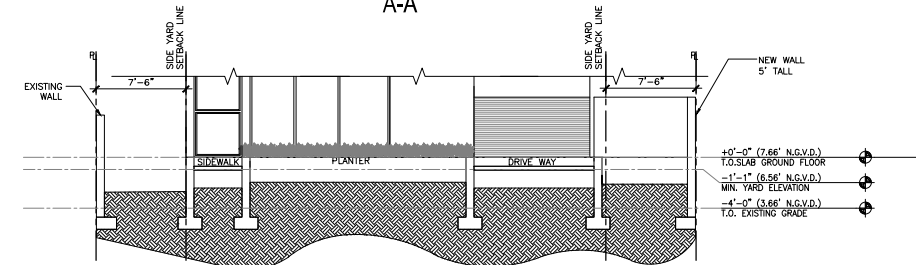
 **ROOF PLAN AREA CALCULATION**  
0 2' 4' 8' 16'

THIRD FLOOR AREA  
FOR F.A.R. CALCULATION  
1418 S.F. 

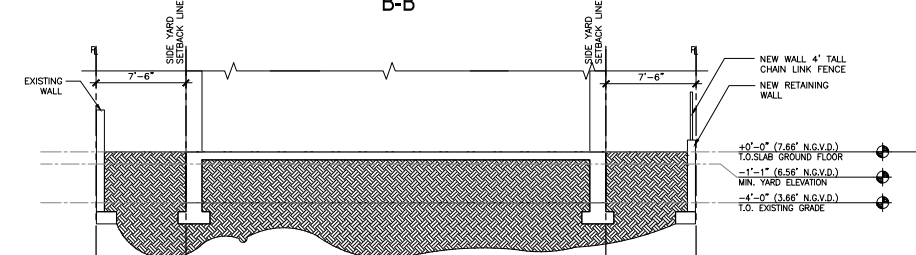
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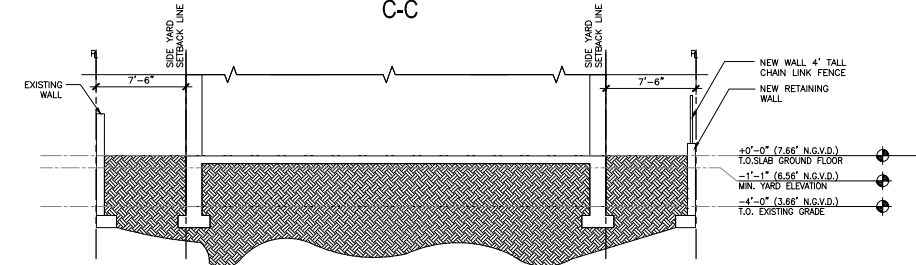
SECTION A-A



SECTION B-B

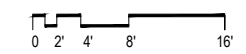


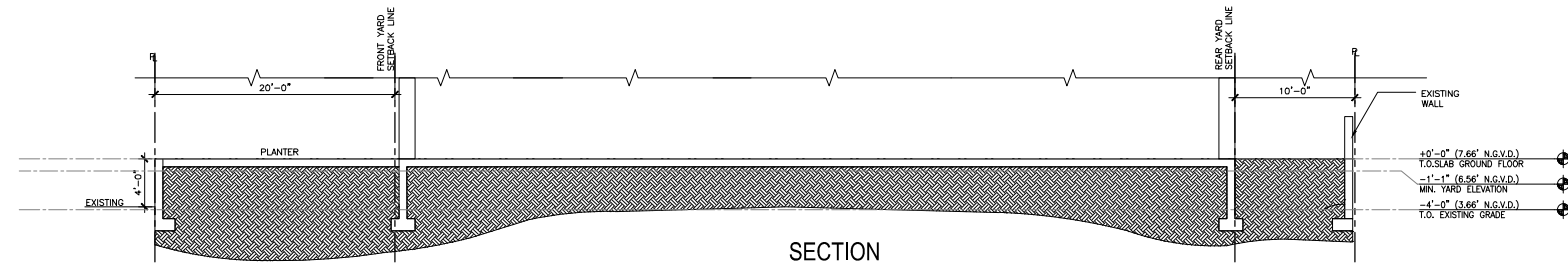
SECTION C-C



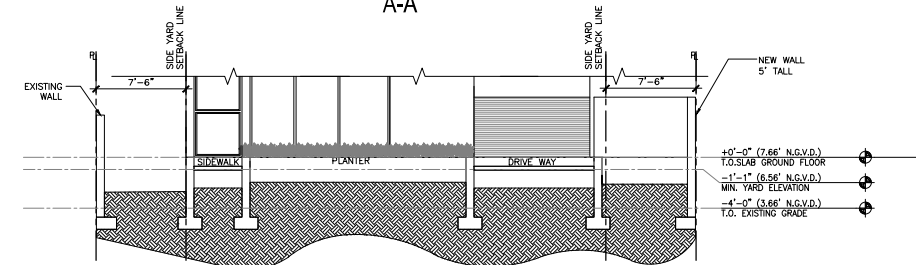
SECTION D-D

SETBACK SECTION DIAGRAMS

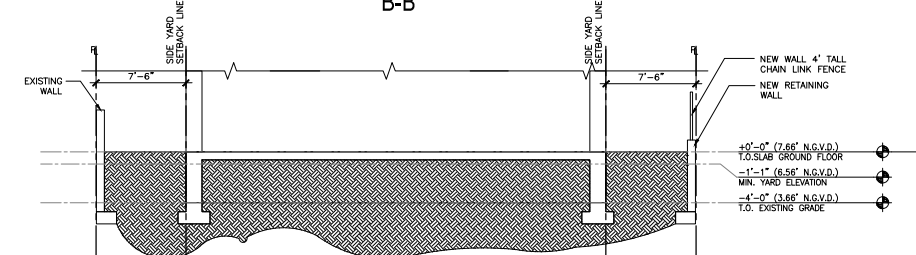




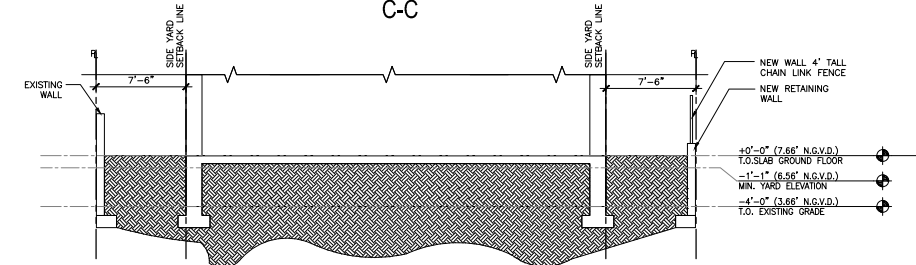
SECTION A-A



SECTION B-B

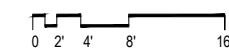


SECTION C-C



SECTION D-D

SETBACK SECTION DIAGRAMS





14TH TERRACE LOOKING EAST



EAST NEIGHBOR CONSTRUCTION



FRONT NEIGHBOR LOOKING EAST



FRONT NEIGHBOR



1339 14TH TERRACE EXISTING CONDITION



NEIGHBOR RIGHT SIDE NORTH



NEIGHBOR RIGHT SIDE NORTH



NEIGHBOR SIDE NORTH



BUILDING IN BAY ROAD NEAR 14TH TERRACE



BAY RD HOUSES NEAR 14TH TERRACE



14 TERRACE LOOKING WEST TO BAY RD



NEIGHBOR LEFT SIDE NORTH

SURROUNDING PROPERTIES ALONG 1339 14TH TERRACE



14TH TERRACE LOOKING EAST



EAST NEIGHBOR CONSTRUCTION



FRONT NEIGHBOR LOOKING EAST



FRONT NEIGHBOR



1339 14TH TERRACE EXISTING CONDITION



NEIGHBOR RIGHT SIDE NORTH



NEIGHBOR RIGHT SIDE NORTH



NEIGHBOR SIDE NORTH



BUILDING IN BAY ROAD NEAR 14TH TERRACE



BAY RD HOUSES NEAR 14TH TERRACE

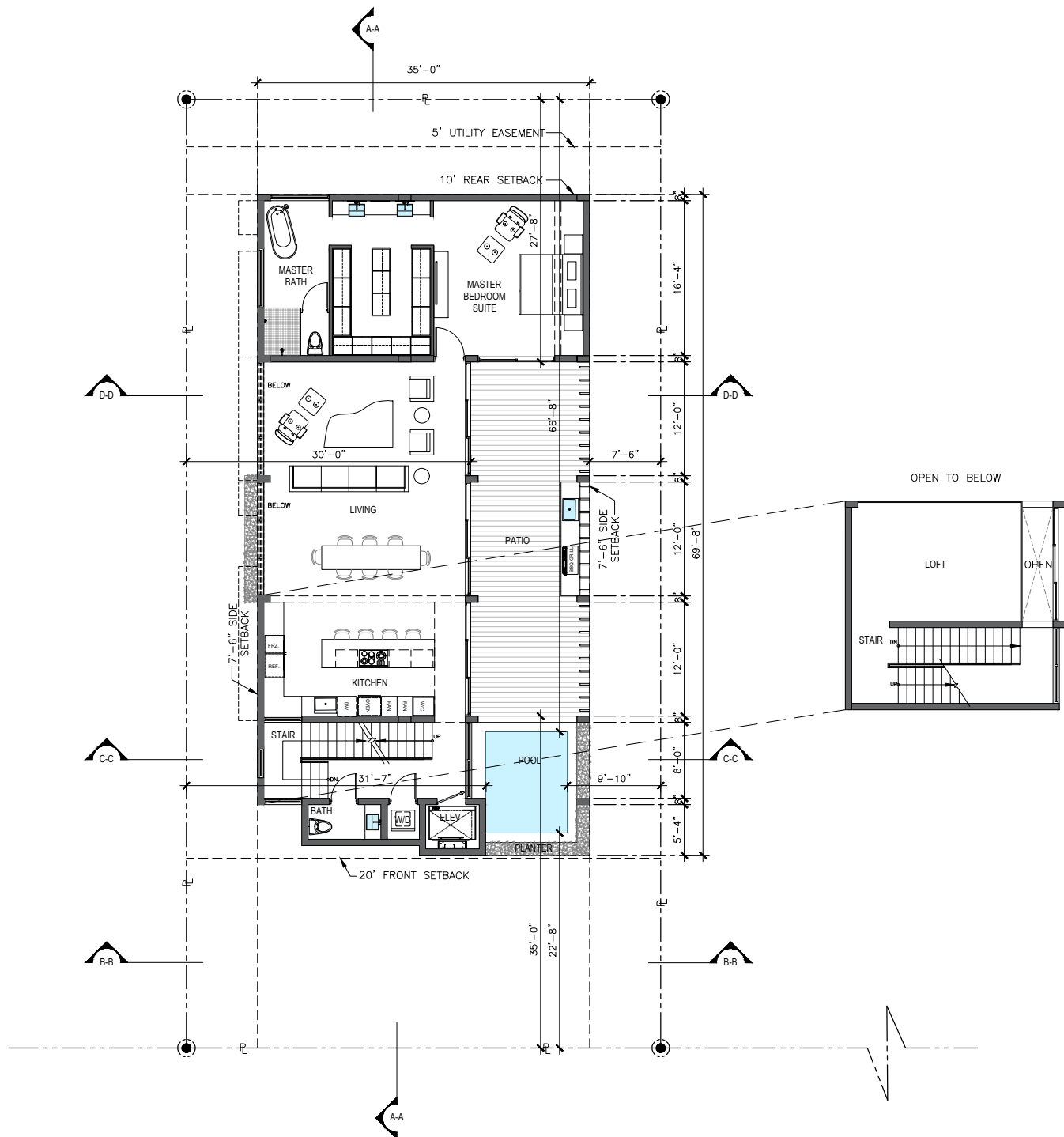


14 TERRACE LOOKING WEST TO BAY RD

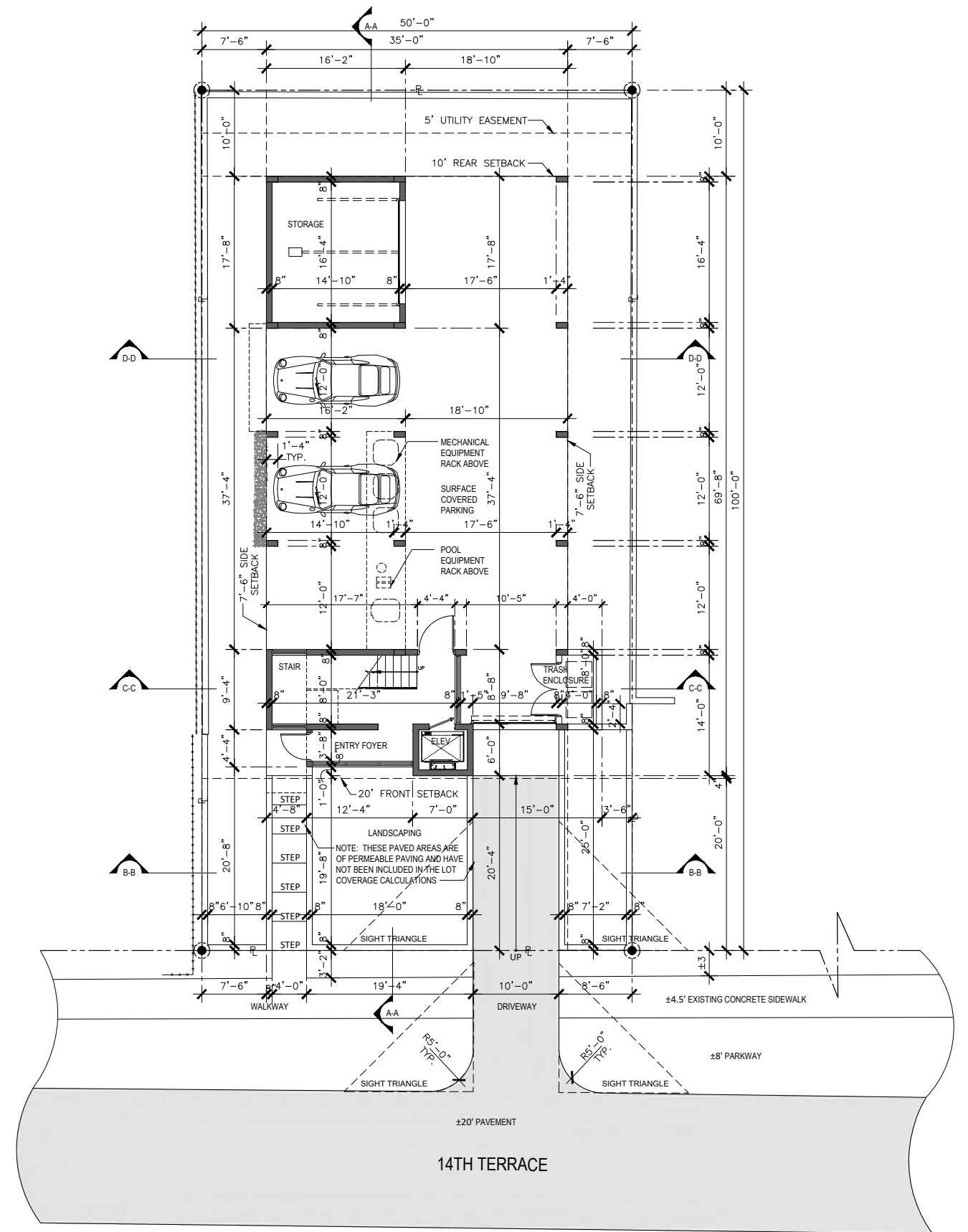


NEIGHBOR LEFT SIDE NORTH

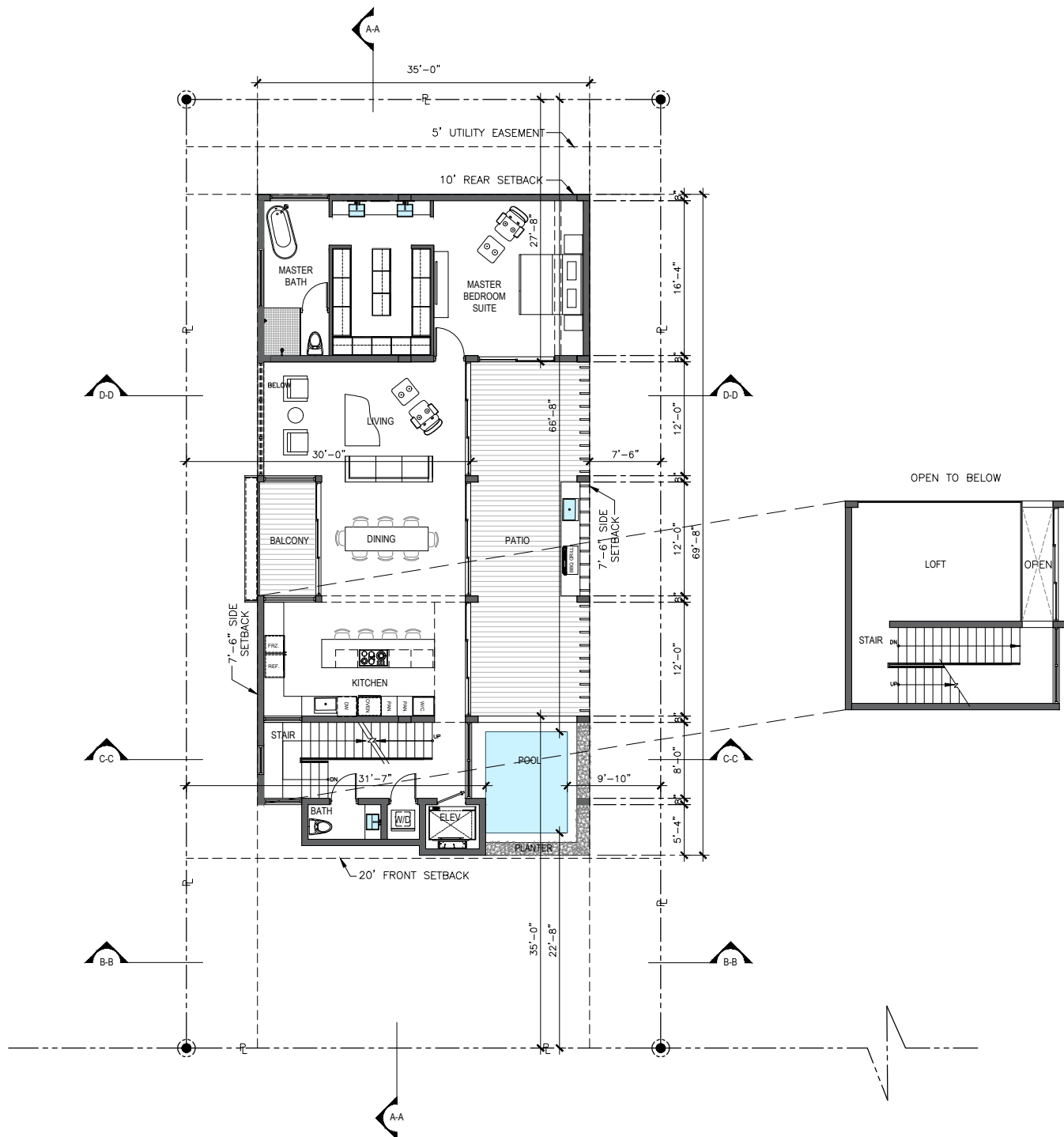
SURROUNDING PROPERTIES ALONG 1339 14TH TERRACE



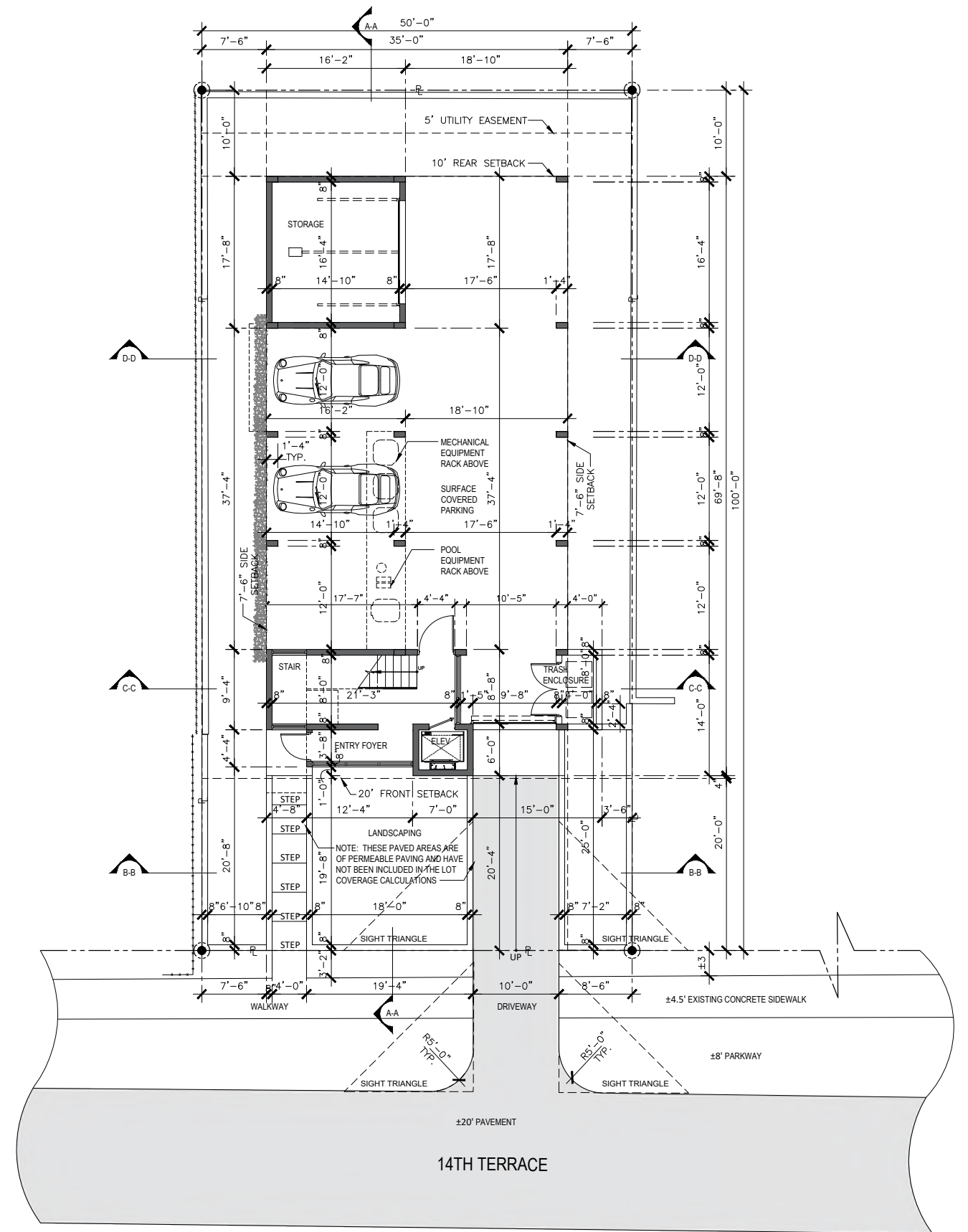
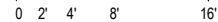
**SECOND FLOOR / LOFT PLAN**



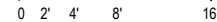
**SITE / GROUND FLOOR PLAN**



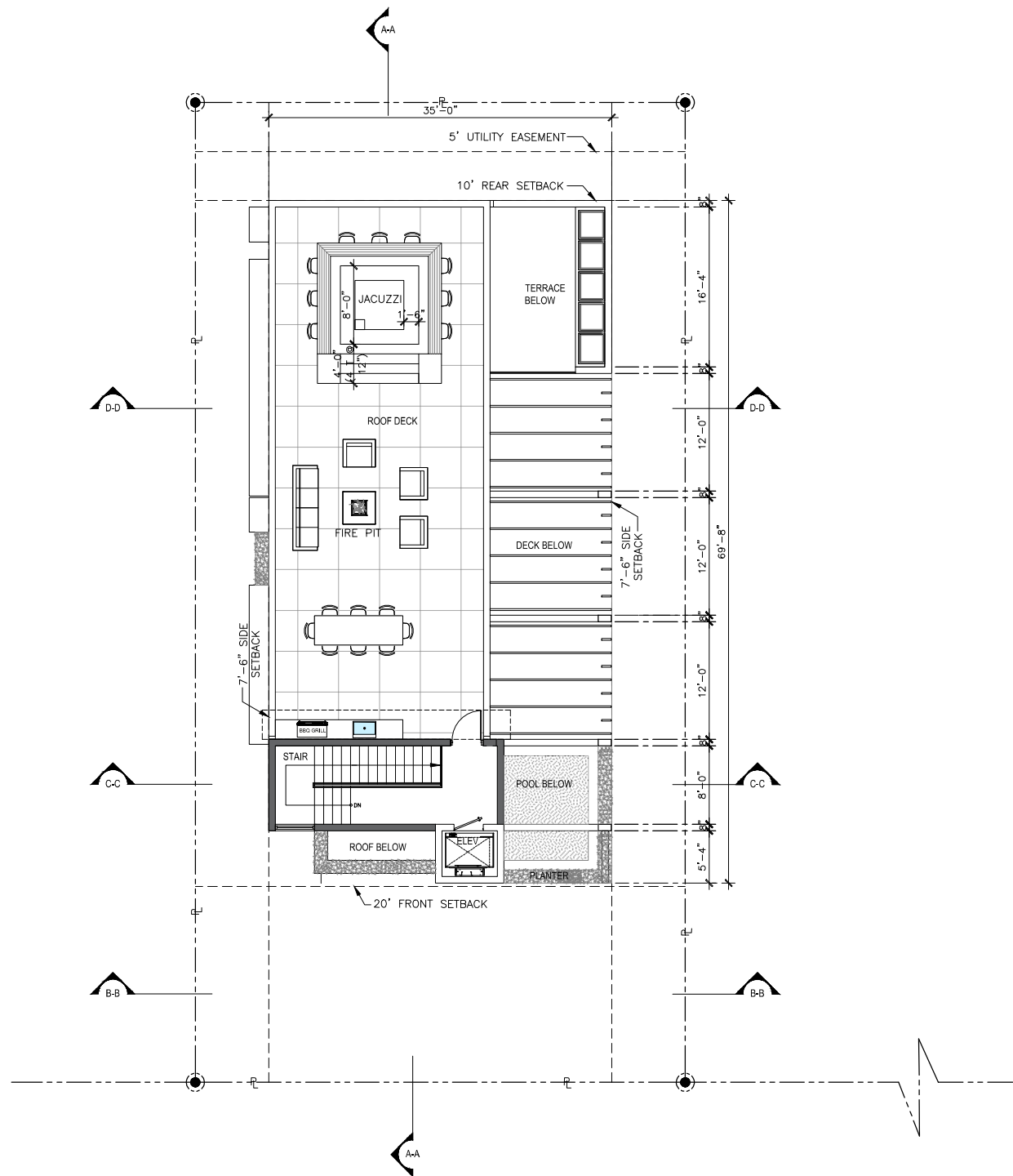
**SECOND FLOOR / LOFT PLAN**



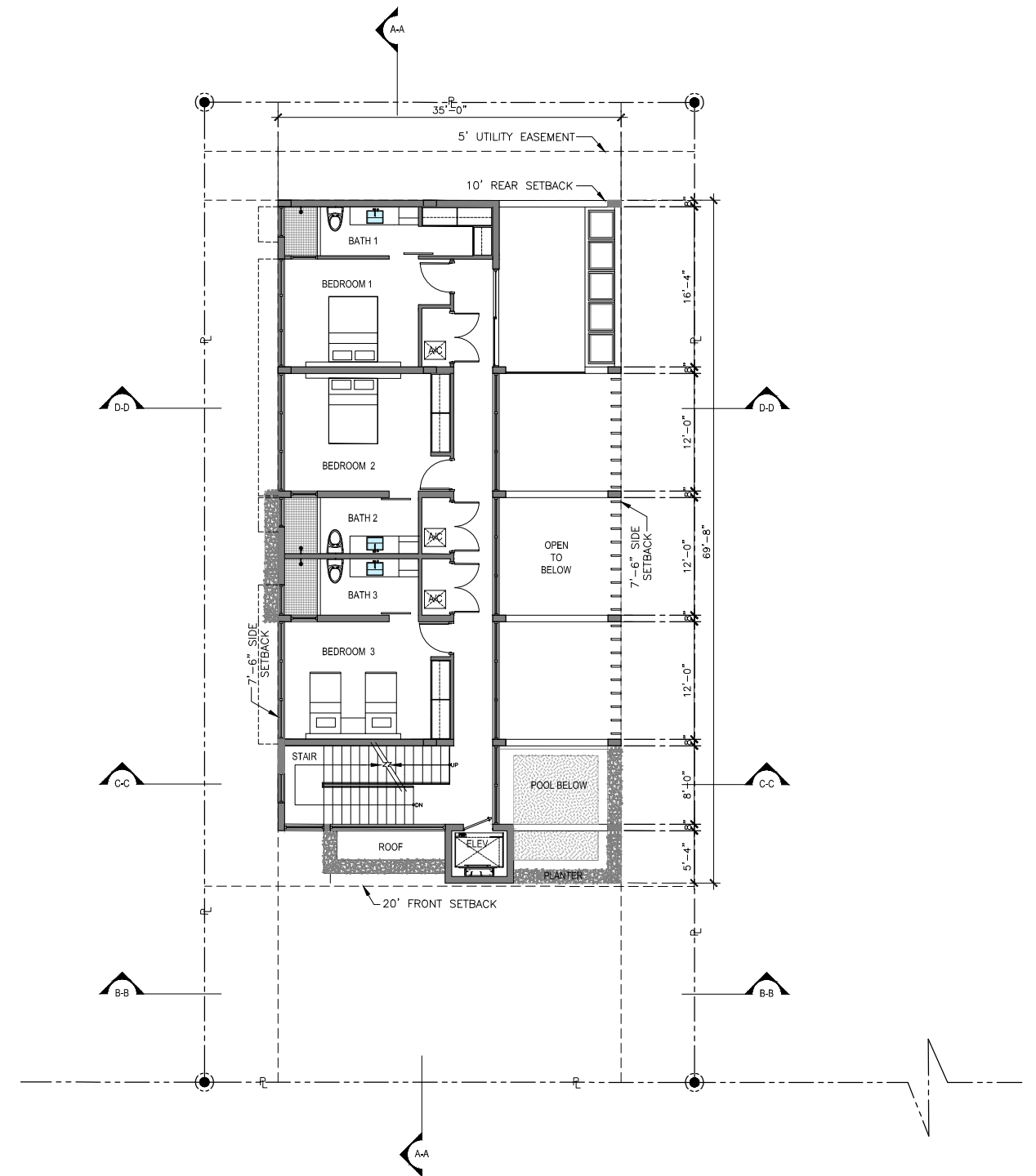
**SITE / GROUND FLOOR PLAN**



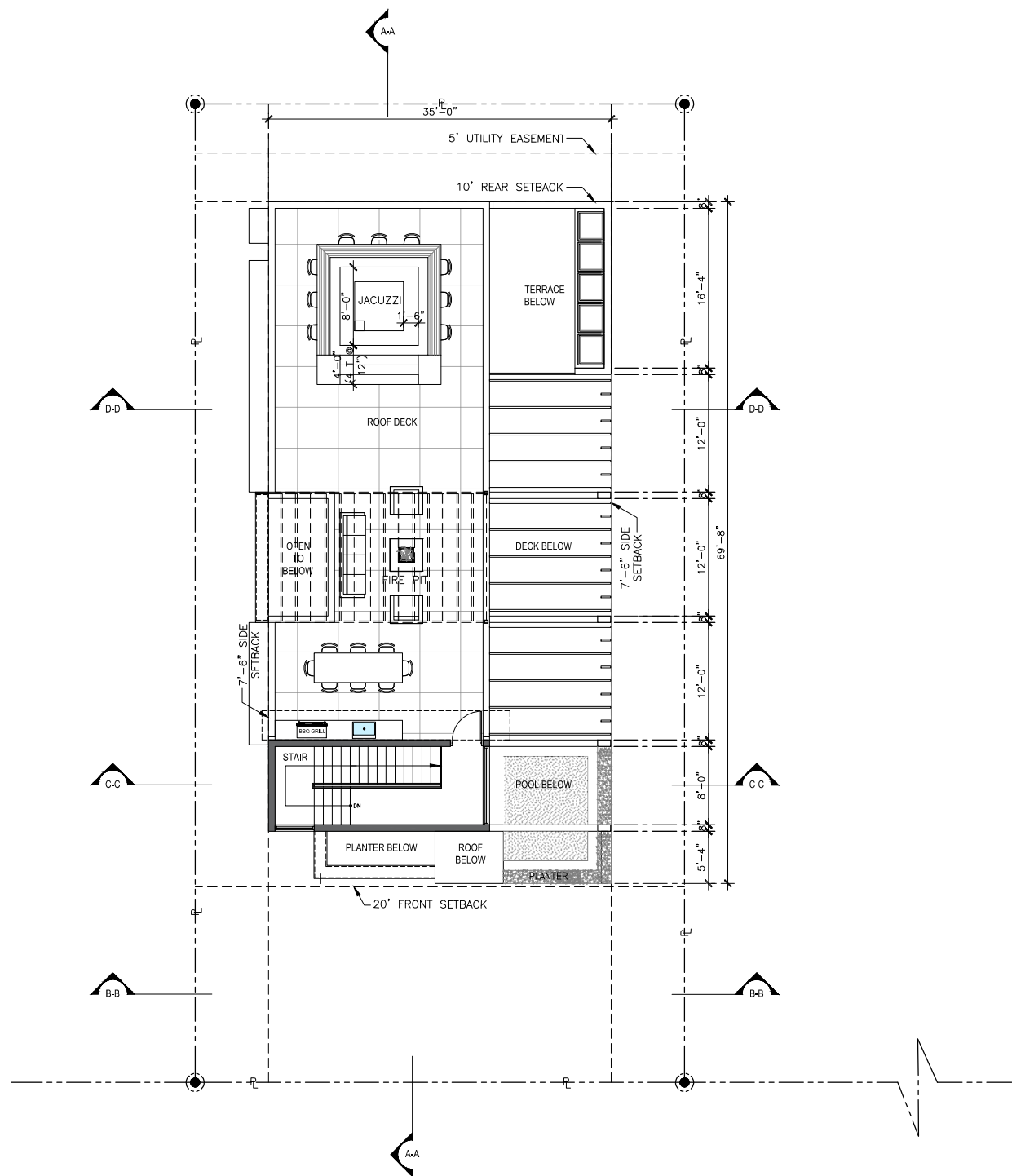




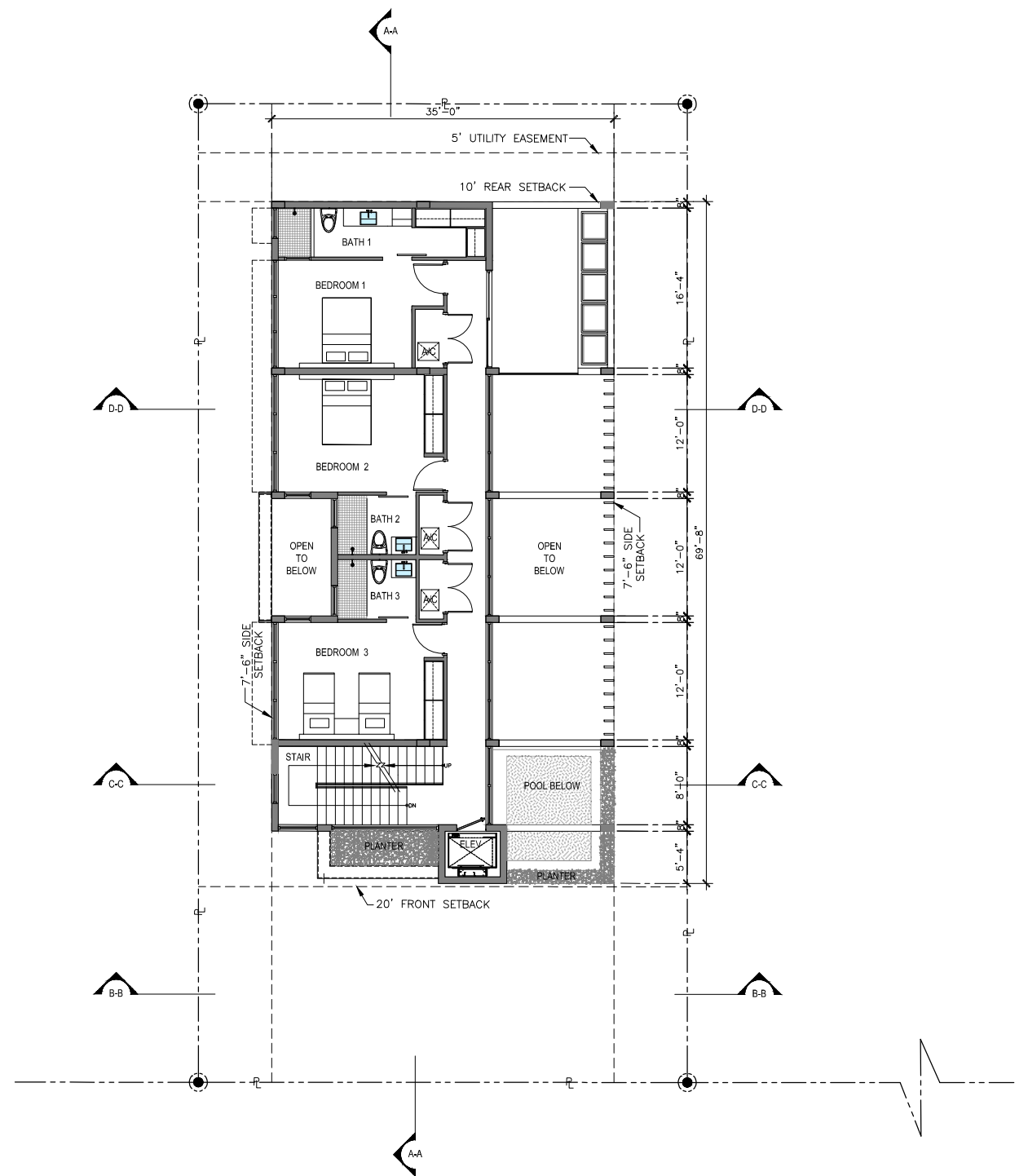
N  
**ROOF PLAN**  
 0 2' 4' 8' 16'



N  
**THIRD FLOOR PLAN**  
 0 2' 4' 8' 16'



N  
**ROOF PLAN**  
 0 2' 4' 8' 16'



N  
**THIRD FLOOR PLAN**  
 0 2' 4' 8' 16'