LEGG

Owner S. A. LYNCH, Jr. Mailing Address Permit No. 11535 Date Sept. 12-1938

Lot 1 Block 3-D Subdivision Sunset Island 3 Address ~~1675~~ 1717 West 24th street

General Contractor Patrick McCarl 9986 Address 3228-01-1390

Architect Robert L. Weed Address

Front 64-10 Depth 87-6 Height 23' Stories 2 Use Residence-10 rms & 2 - car GARAGE

Type of construction c-b-s- Cost $ 24,500.00 Foundation concrete piling Roof tile-

---

Plumbing Contractor Bell # 11289 Address Date Sep. 15-1938

Plumbing Fixtures 15 Rough approved by Date

Gas Stoves

Gas Heaters Address Date

Final approved by Date

Sewer connection Septic tank 1- 600 gals # 11330 -- Make Miami Concrete Product Date Sep. 24-1938

Electrical Contractor F.C. AST ELECTRIC # 11641 Address Date Oct. 26-1938

Switch 38 Range 1 Motors Fans Temporary service - Sep. 20-1938

OUTLETS Light 43 HEATERS Water 1 # 11386- F C Ast Electric

Receptacles 43 Space 7 Centers of Distribution 5

Refrigerator 1 Iron 1

Electrical Contractor Address Date

No. fixtures set 40 Final approved by Lincoln Brown, jr Date

Date of service Jan. 5- 1939 --

Alterations or repairs # 29501 Superior Septic Tank Co. Inc.-relay drain field- Date March 23, 1950

ELECTRICAL PERMIT # 33456 Lysinger & Wirick: 1 Appliance: 2/15/1951 2/26/51 HOR

.Legg PLUMBING PERMIT # 35654 Superior Septic Tank Co: 125' Drainfield Relay: Dec 16, 1953

Over

ALTERATIONS & ADDITIONS

Building Permits: # 49646 Associated Elevator & Supply Co: HOMELIFT ELEVATOR $ 2,698. Jan.23,1956

#56691 Jack G. Baum: 17 x 35 Gunite Pool $4,500.00 July 8, 1958

#57404 C. H. Ervin Heating & Ventilating: 2 - 1 HP window air conditioners - $400 - Sept. 25, 1958

#58024 Little River Marine Construction: Extend present timber dock 28' total length 44' - $700 - Dec. 3, 1958OK 11/24/58 Plaag

#64422 Sears, Roebuck & Co: 3 - 1½ HP window air conditioners - $900 - March 17, 1961

#81454 Adams & Beagles Roofing Co., Inc. Re-roof 33 Squares $1886.00 11/26/68

#1880 - Acme Gas Corp. - 1-120 gal L.P. gas above ground tanks 12/30/71

Plumbing Permits:

#39253 Stolpmann Plbg: 1 4" Sewer - March 25, 1957 OK 3/29/57 Rothman

#40975 Alexander & Dulbs: 1 laundry washing machine, 1 floor drain - Sept. 19, 1958

#42282 Serota Plbg: 1 water closet, 1 lavatory - March 30, 1960

#48836 - Sunny Pools - new pool heater 12/20/71

#72036-Penny Electric- 200 amps service-4-2-75

Electrical Permits: #46624 Astor Electric Service, Inc: one center of distribution, 1 motor January 20, 1956 ok Fidler 1-23-56

#52471 Kenny Elec: 1 Range Connect - August 11, 1958

#52502 Interstate Elec: 1 switch outlet, 1 light outlet, 1 fixture, 1 motor(1HP)-8/14/58 OK 1/11/60 Newbold

#52746 Astor Elec: 1 Appliance Outlet - Oct. 1, 1958

#53041 Astor Elec: 1 switch outlet, 2 receptacles, 2 light outlets, 2 fixtures - Nov. 28, 1958

BUILDING PERMITS: #92395 - 1-11-88 - Urban 4 Dev. Corp. - Interior Renovations - $45,000.00 CK.
#M9715 - Solo A/C - Central heating, A/C central, duct work - 1-15-88 CK.
#31756 - 2-3-88 - Allied Roofing Inc. - Reroof with 1-30# 1-90# and install white gory flat cement til
32 sqs. - $9,750.00 CK.

ELECTRICAL PERMITS: #82761 - M.C.G. Electric - 1 Service repair/meter change, repairs - 1-12-88 CK.

COASTAL CONTROL ZONE

CUMULATIVE COST OF CONSTRUCTION OF PERMITS ISSUED

DATE ISSUED	PROCESS NO.	DESCRIPTION OF WORK	WORK COST	CUMULATIVE WORK COST	APPRAISED BLDG. VALUE BEFORE REMODEL	%	COMMENTS	BUILDING PERMIT NO.
11-88		Interior Renovations	$45,000.00					92395
2-3-88		Reroof 32 sq.	$9,750.00					31756

PERMIT #

B0101419

27

CITY OF MIAMI BEACH
Miami Beach, Florida 33139
Receipt of Payment

New/Addition/Remodel

04-03-2001

Receipt: R0000119083

Activity Number: BN000429
Status: APPLIED

Date Applied: 01/19/2001
Date Completed:

Date Issued:
Date Expired:

Entered By: BUILDER

Site Address: 1717 W 24TH ST MBCH
Parcel #: 32280001300

Balance Due: 50.00
Valuation: $16,000.00

Applicant: ARM STRUCTURAL INC
3656 SW 108 AVENUE
MIAMI FLORIDA 33165
305-229-9948

Owner: GILMER M CASTILLO
1717 W 24 ST
MIAMI BEACH FL 33140

Description: ADDITION OF 2 BALCONIES

Payments made for this receipt:

Type	Method	Description	Amount
Payment	Check	1266	351.60

Payment Made: 04/03/2001 12:06 PM Accepted By: CH

TyLal Payment: 351.60 Payme:

PAID
APR 03 2001
CITY OF MIAMI BEACH
BUILDING DEPARTMENT

Current Payment Made to the Following Items:

Account Code	Description	Amount
011800032210	Building Permits	250.00
011800032252	Zoning	16.00
011800032256	Fire	19.00
015800032232	Sanitation Impact Fees	48.00
681700032232	Training Surcharge	4.80
681700032231	SFBC Compliance Fee	9.60
681700032231	Training	4.80

Account Summary for Fees and Payments:

Item#	Description	Account Code	Tot Fee	Paid	Prev. Paid	Cur. Paid
10	Building Permits	011800032210	315.00	315.00	65.00	250.00
270	Zoning	011800032252	16.00	16.00	.00	16.00
280	Fire	011800032256	19.00	19.00	.00	19.00
430	SFBC Compliance Fee	681700032231	9.60	9.60	.00	9.60
434	Training	681700032231	4.80	4.80	.00	4.80
440	Sanitation Impact Fe	015800032232	48.00	48.00	.00	48.00
444	BSCW Surcharge	681700032232	4.80	4.80	.00	4.80

[DOCSOFT]

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

CONTRACTOR LICENSING SECTION
(305) 375-2527 FAX (305) 375-2558

CONTRACTOR ENFORCEMENT SECTION
(305) 375-2906 FAX (305) 375-2908

PRODUCT CONTROL DIVISION
(305) 375-2902 FAX (305) 372-4339

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Southeastern Metals Manufacturing Co., Inc.
11801 Industry Drive
Jacksonville FL 32226

Your application for Product Approval of:
Truss Hanger & Straps
under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This approval shall not be valid after the expiration date stated below. BCCO reserves the right to secure this product or material at anytime from a jobsite or manufacturer's plant for quality control testing.
If this product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined BCCO that this product or material fails to meet the requirements of the South Florida Building Code.
The expense of such testing will be incurred by the manufacturer.

Acceptance No.: 98-1016.06
Expires: 01/11/2002

Raul Rodriguez
Chief Product Control Division

THIS IS THE COVERSHEET, SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS

BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Dade County, Florida under the conditions set forth above.

Approved: 04/15/1999

Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

Internet mail address: postmaster@buildingcodeoffice.com Homepage: http://www.buildingcodeoffice.com

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Southeastern Metals Mfg. Co., Inc.

ACCEPTANCE NO: 98-1016.06
APPROVED : APR 15 1999
EXPIRES : 01/11/2002

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

1. **SCOPE**
1.1 This renews and revises the Notice of Acceptance No. 95-0818.15 that was issued on 01/11/96. It approves wood connectors; as described in Section 2 of this Notice of Acceptance, designed to comply with the South Florida Building Code (SFBC), 1994 Edition for Miami-Dade County. For the locations where the actual loads as determined by SFBC Chapter 23, do not exceed the design load indicated in the approved drawings.

1. **PRODUCT DESCRIPTION**
2.1 The Seasco Wood Connectors shall be fabricated and used in strict compliance with the following documents: Drawing No. 95-0818.15, titled "Truss Hanger and Straps", prepared by Southeastern Metals Mfg. Co., Inc., dated 11/17/98, with no revisions, sheet 1 & 2 of 2. The drawings shall bear the Miami-Dade County Product Control Approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade Product Control Division. These documents shall hereinafter be referred to as the approved drawings.

2. **LIMITATIONS**
2.1 Allowable loads are for Southern Yellow Pine with a specific gravity of 0.55 and moisture content of 19% or less.
2.2 Allowable loads are based on testing per ASTM D1761 and calculations per National Design Specifications for wood construction 1991 Edition.

3. **INSTALLATION**
4.1 The wood connectors shall be installed in strict compliance with the approved drawings.

4. **LABELING**
5.1 Each wood connector shall bear a permanent label with the manufacturer's name or logo, city, state and the following statement: "Miami-Dade County Product Control Approved".

5. **BUILDING PERMIT**
6.1 Application for Building Permit shall be accompanied by copies of the following:
6.1.1 This Notice of Acceptance
6.1.2 Duplicate copies of the approved drawings as identified in Section 2 of this Notice of Acceptance, clearly marked to show the hangers and angles selected for the proposed installation.
6.1.3 Any other document required by the Building Official or the SFBC in order to properly evaluate the installation of these products.

Candido Font, PE, Sr. Product Control Examiner
Product Control Division

Southeastern Metals Mfg. Co., Inc.

ACCEPTANCE NO.: 98-1916.06

APPROVED : APR 15 1999

EXPIRES : 01/11/2002

NOTICE OF ACCEPTANCE STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, are no older than eight (8) years.

2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state, and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.

3. Renewals of Acceptance will not be considered if:
   a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
   b) The product is no longer the same product (identical) as the one originally approved;
   c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
   d) The engineer who originally prepared, signed and sealed the required documentation initially submitted is no longer practicing the engineering profession.

4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.

5. Any of the following shall also be grounds for removal of this Acceptance:
   a) Unsatisfactory performance of this product or process.
   b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purpose.

6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.

7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer need not reseal the copies.

8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.

9. This Notice of Acceptance consists of pages 1, 2 and this last page 3.

Candido Tom, PE, Sr. Product Control Examiner
Product Control Division

END OF THIS ACCEPTANCE
3 of 3

MIAMI BEACH
FIRE DEPARTMENT

Fire Marshal's Office
2300 Pennsylvania Ave.
Miami Beach, FL 33140
Telephone (305) 673-7123
Facsimile (305) 673-7981

FIRE PREVENTION BUREAU

DEFICIENCY REPORT

ADDRESS: 1717 West 24 St. PERMIT #:

GUARD RAIL TO REFLECT 4' ϕ

PROVIDE HANDRAIL @ ALL STEPS W/ EXTENSIONS

PROVIDE SCHEDULE BACK FOR APPROVAL AND ALL DRAWINGS & VOID OUT OLD DRAWINGS

R. Sedas
Fire Protection Analyst

3/30/2001
Date

Property Representative

Initial Inspection

Print Name

Page 1 of 1

PROPERTY OWNERS ARE ULTIMATELY RESPONSIBLE FOR COMPLIANCE WITH

WHITE - PROPERTY REP YELLOW - FIRE PREVENTION BUREAU LIBRARY

TABLE OF CONTENTS FOR CALCULATIONS

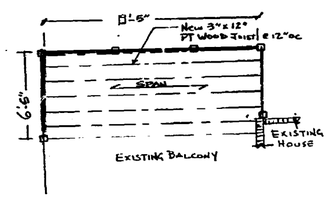
	NO. #
• BALCONY DESIGN	1
• LEDGER DESIGN	2
• PAD FOOTING DESIGN	3-5
• CONNECTIONS FOR UPLIFT	6
• CONCRETE BEAM DESIGN	7-8

Apr. 17/01

27

1

Calculations for Balcony design



Check 3"x12" Joist

(Loads on Wood Bns.)

Live Load - Balcony - 60 psf
Dead Loads - 3"x12" joist - 8 psf
Light Weight - Topping Calc. - 9 psf
Plywood - 8 psf (T+G 8 th)
Stucco/Metal Lath - 15 psf

Total Load = 100 psf
Uniform Load on Wood Beam = 100 x 1.4' = 140 #/ft
Max Moment = $\frac{wL^2}{8} = 100\frac{(19.4)^2}{8} = 4705$ #-ft

M_{max} (max) = 56.4 k-in

Check Bending per NDS

F_b = 1500 psi F_{cl} (No. 2 Southern Pine Select Structural)
F_v = 90 psi
E = 1,600,000 psi

Section Mod.

$S = \frac{1}{6} bd^2$
$S = \frac{1}{6} 2.5(11.5)^2$
$S = 55 in^3$

$f_b = \frac{M}{S} = \frac{56.4 k\text{-}in}{55.1 in^3} = 1.03$ psi x

f_b = 1030 psi ≤ 1500 psi O.K.

Check Shear

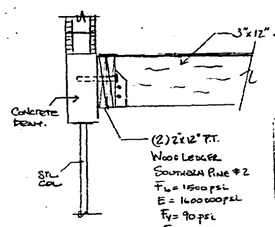
$f_v = \frac{3V}{2bd} = \frac{3(970)}{(2)(2.5)(11)}$

f_v = 50.6 psi

F_v = 90 psi ≤ 50.6 p. O.K.

2

Design Ledger



Attach w/ 3/4" Hilti Bolts @ 8" oc Min Embedment 4-3/4"

Loads: 100 #/ft²
Uniform Load on Ledger
100 x 19'-5/2 = 970 #/ft

Check Shear

$f_v = \frac{3V}{2bde} = \frac{3(970 \times 8/12)}{(2)(3)(5.75)}$

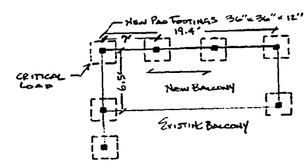
f_v = 56.2 psi ≤ 90 psi OK

Check Bolt Compression ⊥ to Grain,
Load on bolt = 970 #/ft x 8"/12
= 646 #
Contact area on bolt = 3/4" x 3
= 2.25 in²

Stress = 646/2.25 = 404 psi
F_{cl} = 565 psi ≥ 287 psi OK.

3

Check Soil Pressure for New Pad Ftgs.



Loads:

Floor: 100 psf x 19.4'/2 = 970 #/ft
Bh: 150 pcf x 8x12" = 100 #/ft
Masonry Wall: 66 psf x 9' = 210 #/ft

Total load = 1240 #/ft

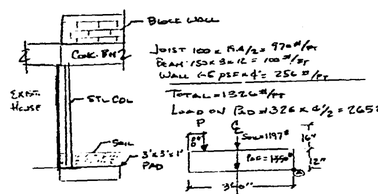
Critical Load @ Stl Column = 1240 $(7' \pm \frac{6.5'}{2})$ = 8570 #

Pad Load = 3'x3'x1'x150 = 1350 #
Soil Load = 3'x3'x1.33'x100 = 1197 #

Total load for Footing = 10,917 #
$q_s = P/A$ = 10917/3'x3' = 1213 psf
q_a = 2000 psf ≥ 1213 psf OK.

27

CHECK ECCENTRIC FOOTING



JOIST 100 x 14/2 = 970#/FT
BEAM: 150 x 8 x 1/2 = 100#/FT
WALL 65 PSF x 4' = 260#/FT

TOTAL = 1326#/FT

LOAD ON PAD = 1326 x 4/2 = 2652#

$\Sigma M_A = 0$

$1197(1.5) + 1350(1.5) + 2652(2.25) = R(2)$

$R = 1796 + 2025 + 6179 / 5199$

$R = 1.92$

KERN = L/6 = 3/6 = 0.5'

$E = 1.92 - 1.5 = 0.42 \leq 0.5$ WITHIN KERN OK

CHECK SOIL PRESSURE DISTRIBUTION

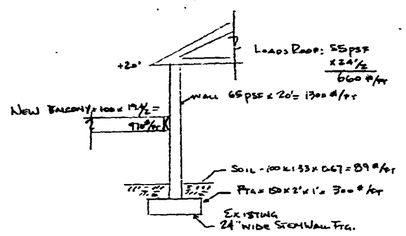
$q_s = \frac{P}{A} \pm \frac{M}{S}$ $\quad S = \frac{1}{6}(3' \times 3')^2$

$q_s = \frac{5199}{9\,ft^2} + \frac{2183}{4.5}$ $\quad S = 4.5\ ft^3$

$M = 5199 \times 0.42' = 2183$ #-FT

$q_s = 577 + 485 = 1062$ psf ≤ 2000 psf OK

CHECK EXISTING WALL FTG.



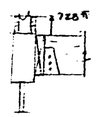
TOTAL LOAD = 3319 #/FT

$q_c = P/A = 3319/2 = 1660$ psf

$q_A = 2000$ psf ≥ 1660 psf OK.

LOAD FROM NEW BALCONY WILL NOT OVERSTRESS THE SOIL @ THE EXISTING FOOTING

CHECK CAPACITY OF JOIST CONNECTION FOR UPLIFT



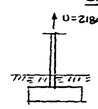
UPLIFT PRESSURE = 75 psf (OPEN STRUCTURE)

$75\ psf \times \frac{19.4'}{2} = 728\ \#/FT \times 4'$ (SPACING)

UPLIFT = 728#

SENCO THDS210D HANGER
UPLIFT CAPACITY = 3255# $\geq$ 728# OK

CHECK PAD FOOTING FOR UPLIFT AT CRITICAL LOCATION



$728\ \#/FT \times 6'/2 = 2184\#$

PAD LOAD = 150 x 5' x 5' x 1' = 1350#
SOIL LOAD = 100 x 5' x 5' x 1.33 = 1197#
GRAVITY LOAD = BEAM + WALL = 3600#/FT x 6'/2 = 1080#

TOTAL GRAVITY = 3627#

S.F. = 1.5 (AGAINST UPLIFT)

$\frac{3627\#}{2184\#} = 1.66 \geq 1.5$ OK

27

CHECK 8"x12" CONCRETE BEAM

LOADS: BEAM - 150 x 8 x 12 x 1.4 = 140 #/FT
JOIST - 100 x 19.5/12 x 1.55 = 1504 #/FT
WALL - 65 x 4 x 1.4 = 364 #/FT

TOTAL LOAD = 2008 #/FT (FACTORED)

SPAN = 6'-0"

$M = \frac{wL^2}{8} = \frac{2008(6^2)}{8} = 9036 \times 12/1000 = 108$ K-IN

$R_u = \frac{M}{\phi b d^2} = \frac{108 K\text{-}IN}{(0.9)(8)(7.8125)^2} = 156$

$f_y = 60{,}000$ psi

$f'_c = 3000$ psi

$\rho = 0.00268$ $\rho_{MIN} = \frac{200}{f_y} = 0.0033$

$A_{ST} = \rho b d = 0.033(8)(7.8125)$

$A_{ST} = 0.26 \text{ IN}^2$

A_{ST} USE $= 0.31 \times 2 = 0.62 \text{ IN}^2 \geq 0.26 \text{ IN}^2$ O.K.

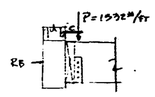
MAX SHEAR $= \frac{wL}{2} = \frac{2008}{2}(6) = 6024$ #

$\frac{\phi V_c}{2} = \frac{0.85(2)bd\sqrt{f'_c}}{2} = \frac{0.85(2)(8)(7.8)\sqrt{3000}}{2}$

$\frac{\phi V_c}{2} = 3650$ # ≤ 6024 # ∴ SHEAR TIES REQ'D.

SPACING MAX $\frac{d}{2} = \frac{7.8125}{2} = 4.1$"

PROVIDE #3 TIES @ 4½" OC SPACING W/ 2 ES TOP AND BOTTOM



LOADS ON BEAM

LIVE LOAD - 60 PSF x 1.7 = 102 PSF
DEAD LOADS - 40 PSF x 1.4 = 56 PSF

TOTAL = 158 PSF (FACTORED)

MAX TORSION $T_U = 158 \times \frac{19.5}{2} = 1532$ #/FT

$T_U = 1532 \times 4/12 = 510$ #/FT²

$T_U = 510 \times \frac{6'}{2} = 1530$ #-FT

$T_U = 1530 \times 12/1000 = 18.36$ K

PER ACI 318 $T = \phi(0.5\sqrt{f'_c}\,\Sigma x^2 y)$

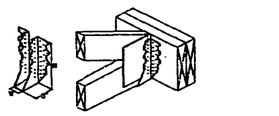
$T = 0.85(0.5\sqrt{3000}\,8^2 \times 11$

$T = 23836$ K-IN/1000

$T = 23.8$ K-IN

$T_U \leq 23.8$ K-IN
NEGLECT TORSION

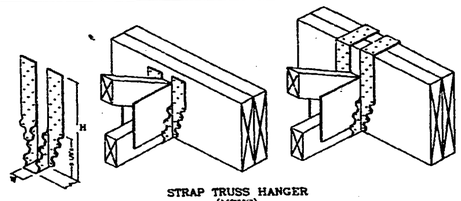
27



HEAVY DUTY TRUSS HANGER (THDS)

Product Code	Gauge	Dimensions V	Dimensions H	Fasteners Header	Fasteners Joist	Allowable Loads Downward	Allowable Loads Uplift 133%
THDS26	16	1 5/8	3 1/8	26-16d	14-16d L/2"	2416	1293
THDS28	16	1 5/8	7	26-16d	20-16d L/2"	2416	1293
THDS210	16	1 5/8	9	26-16d	26-16d L/2"	2416	1293
THDS210-18	16	1 7/8	9	26-16d	26-16d L/2"	2416	1293
THDS24	14	3 1/8	3 5/8	26-16d	14-16d	3536	2124
THDS26	14	3 1/8	5 1/4	26-16d	20-16d	4976	3465
THDS26R	14	3 1/8	5 1/4	36-16d	26-16d	5556	3556
THDS44	14	3 5/8	3 1/4	26-16d	14-16d	3536	2124
THDS46	14	3 5/8	5	26-16d	20-16d	4976	3465
THDS48	14	3 5/8	6 3/4	26-16d	26-16d	5556	3556

Minimum Header Thickness is 3"



STRAP TRUSS HANGER (MSHS)

Product Code	Gauge	Dimensions V	Dimensions H	Fasteners Header	Fasteners Joist	Allowable Loads Downward	Allowable Loads Uplift 133%
MSHS26	16	1 5/8	9	14-16d	10-16d L/2"	1645	1375
MSHS26	16	1 5/8	13	14-16d	18-16d L/2"	2445	1375
MSHS26	16	1 5/8	15	14-16d	18-16d L/2"	2305	1375
MSHS26R	16	1 7/8	13	18-16d	18-16d L/2"	3691	1375
MSHS210-2	16	3 1/8	9 1/4	14-16d	10-16d	2843	1425
MSHS210-2	16	3 1/8	9 1/4	14-16d	10-16d	2305	1425
MSHS210-2	16	3 1/8	11 1/4	18-16d	10-16d	3691	1425
MSHS410	16	3 3/4	13	10-16d	10-16d	2843	1425
MSHS410	16	3 3/4	15	10-16d	10-16d	2305	1425
MSHS410	16	3 3/4	11	10-16d	10-16d	3691	1425

Minimum Header Thickness is 3"

GENERAL NOTES

1) The engineered products shall be made of steel conforming to ASTM A653 structural quality Grade 33 (min. yield 33ksi) and a minimum galvanized coating of G60 per ASTM 525.

2) Fasteners are common wire nails or bolts in single shear as shown and noted on each approval.

3) All horizontal anchor tab except MCFTA (Tress Tie) shall require two (2) anchors to be installed diagonally across from each other or back to back in order to achieve a minimum allowable uplift of 700 lbs. See detail A.

4) All installations shall be done in accordance with the manufacturers instructions, this notice of acceptance and the applicable sections of the South Florida Building Code.

5) Allowable loads are based on National Design Specifications for Wood Construction 1991 Edition & 1993 Errata, for Southern Pine (SG=0.55) or better and test performed in accordance with ASTM D-1761.

6) Allowable loads for wind uplift have already been increased by a duration load of 1.33 and no other increase is allowed.

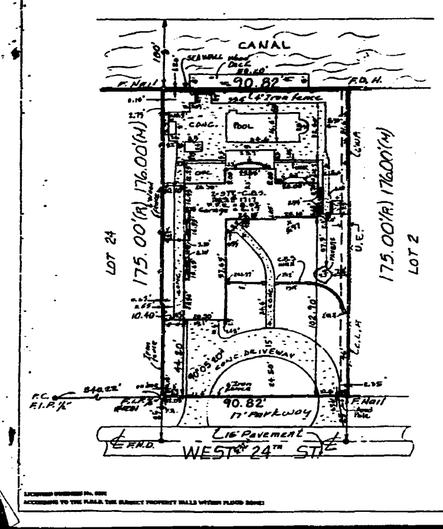
APPROVED AS COMPLYING WITH THE SOUTH FLORIDA BUILDING CODE
DATE 11-29-99
BY
PRODUCT CONTROL DIV.S ON
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 99-1016.06

SEMCO
SOUTHEASTERN METALS MFG. CO., INC
11601 INDUSTRY DRIVE
JACKSONVILLE, FLORIDA 32218

Truss Hanger & Straps

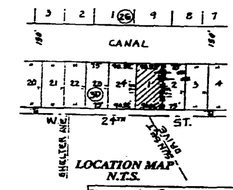
1of2

SKETCH OF BOUNDARY SURVEY
SCALE: 1"=30'



LICENSED BUSINESS No. 6595
ACCORDING TO THE F.I.R.M. THIS SUBJECT PROPERTY SHALL WITHIN FLOOD ZONE:

LEGAL DESCRIPTION: LOT 40 OF 3RD. REVISED PLAT OF SUNSET ISLANDS
ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 40 PAGE 9 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.
PREPARED FOR: CERTIFIED TO:



LOCATION MAP
N.T.S.

MANUEL FELIPE & ASSOCIATES, INC.
2414 S.W. 137 Ave.
Miami, Florida 33175
Phone: (305) 554-6592

P.K.	PARK STRAIGHT "LEGEND"		
F.I.P.	FOUND IRON PIPE	U.E.	UTILITY EASEMENT
F.C.P.	PERMANENT CONTROL POINT	W.F.	WOOD FENCE
S.I.P.	SET IRON PIPE	N	NORTH
F.P.K.	FOUND PARK. "X" STAMPED	W	WEST
F.D.H.	FOUND DRILL HOLE	P.R.D.	SET NAIL & DISC STAMPED P.L.S.
S.D.H.	SET DRILL HOLE	F.R.D.	FOUND NAIL, & DISC
S.P.	SET POINT	C.B.S.	CONCRETE BLOCK STRUCTURE
REF.	REFERENCE	C.L.	CENTER LINE
L.F.E.	LOWEST FLOOR ELEVATION	SIDW	SIDEWALK
F.F.E.	FINISH FLOOR ELEVATION	R/W	RIGHT OF WAY
		C.L.F.	CHAIN LINK FENCE

ELEVATIONS SHOWN ARE REFERRED TO: N.G.V.D. BM. 54.02 ELEV. 4.38
BEARINGS SHOWN ARE BASED UPON
PROPOSED LOCATION: FINAL LOCATION:

I HEREBY CERTIFY THE ATTACHED SKETCH OF BOUNDARY SURVEY OF THE ABOVE DESCRIBED PROPERTY IS A TRUE AND CORRECT REPRESENTATION OF A FIELD SURVEY MADE UNDER MY DIRECTION AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 61G17-6 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

JOB NUMBER: 15673
FIELD BOOK: E-285
FIELD WORK DATE: 01-26-01
DRAWN DATE: 01-29-01
DATE: 01-29-01

MANUEL FELIPE
Professional Land Surveyor
Certificate No. 4349

1. EXAMINATION OF ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THIS PROPERTY.
2. LOCATION AND IDENTIFICATION OF UTILITIES IF ANY, ARE SHOWN IN ACCORDANCE WITH RECORDED PLAT.
3. OWNERSHIP IS SUBJECT TO OPINION OF TITLE.
4. TYPE OF SURVEY: "BOUNDARY SURVEY".
5. UNLESS IT BEARS SIGNATURE OF THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID".
6. ALL RIGHT OF WAYS SHOWN ARE PUBLIC UNLESS OTHERWISE NOTED.
7. LANDS SURVEYED AS DESCRIBED
8. NO UNDERGROUND INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED, EXCEPT AS NOTED.
9. THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON.

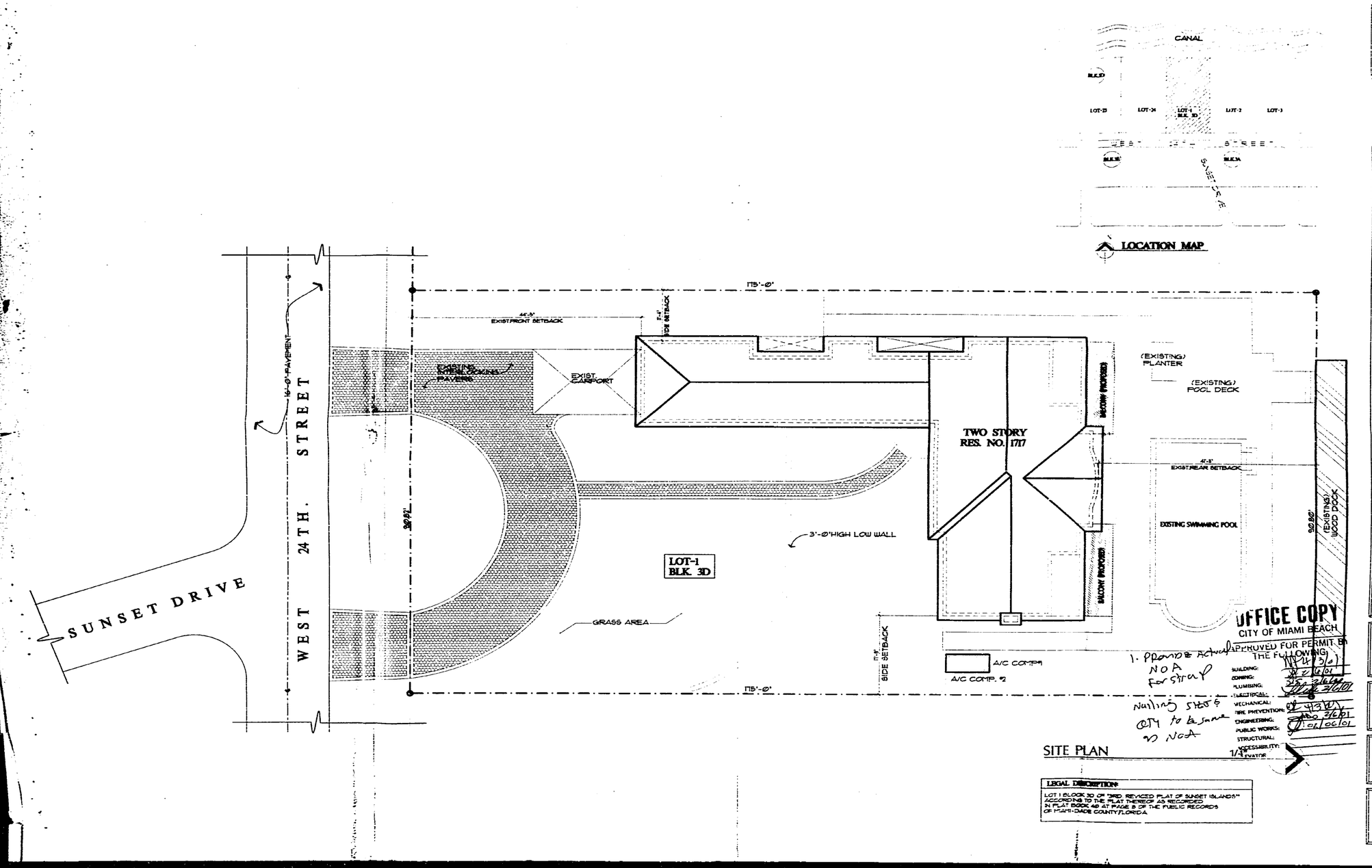
REVISIONS: _____ State of Florida

27

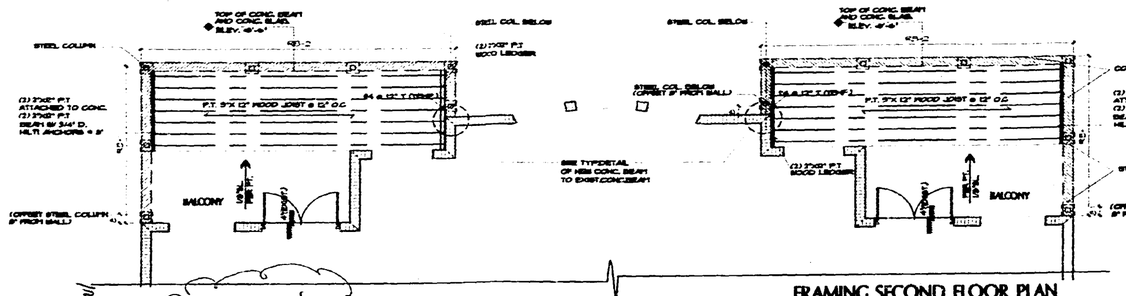
PERMIT #

B0101419

28

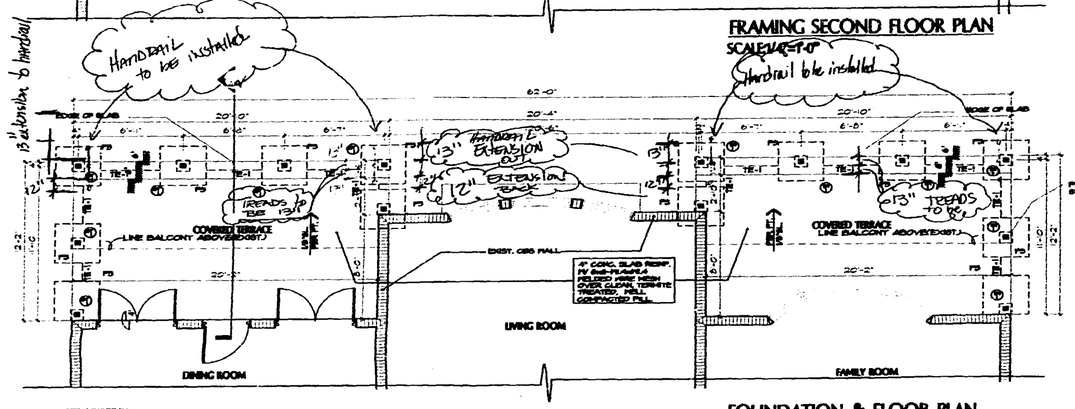

CANAL
LOT-23
LOT-24
LOT-1 BLK. 3D
LOT-2
LOT-3
BLK.3D
BLK.3E
BLK.3A
SUNSET DRIVE
LOCATION MAP
115'-0"
44'-9" EXIST.FRONT SETBACK
7'-6" SIDE SETBACK
EXISTING INTERLOCKING PAVERS
EXIST. CARPORT
16'-0" PAVEMENT
24TH. STREET
WEST
SUNSET DRIVE
TWO STORY RES. NO. 1717
BALCONY (PROPOSED)
(EXISTING) PLANTER
(EXISTING) POOL DECK
42'-9" EXIST.REAR SETBACK
EXISTING SWIMMING POOL
(EXISTING) WOOD DECK
3'-0" HIGH LOW WALL
LOT-1 BLK. 3D
GRASS AREA
11'-9" SIDE SETBACK
A/C COMP.
A/C COMP. #2
115'-0"
SITE PLAN
1/4" = 1'-0"
LEGAL DESCRIPTION:
LOT 1 BLOCK 3D OF "3RD REVISED PLAT OF SUNSET ISLANDS" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 46 AT PAGE 8 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA
OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:
BUILDING:
ZONING:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:
1. Provide Actual NOA for strap
Nailing sheet & City to be same as NOA
Consultants Engineer State of Florida
Emilio R. Piñero
Professional Engineer Certificate #19333
ADDITION BALCONY AT EXIST.SINGLE FAMILY RES.:
MR.GILMER M. CASTILLO
1717 WEST 24 STREET,SUNSET ISLANDS
MIAMI BEACH, FLORIDA 33140
TELEPHONE: (305) 29-9948
REVISIONS:
DATE: JANUARY, 2001
SCALE: SHOWN
DRAWN: G.P.
JOB NO.: 2001-A-6
SP-1
SHEET NO. OF

28



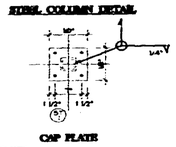
FRAMING SECOND FLOOR PLAN

SCALE:1/4"=1'-0"



FOUNDATION & FLOOR PLAN

SCALE:1/4"=1'-0"

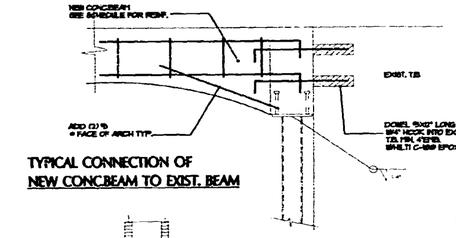


FOOTING SCHEDULE			
MARK	SIZE	REINFORCING	REMARKS
F-3	3'-6" X 3'-6" X 12"	4-#5 BOTTOM EA WAY	POUR MONOLITHIC W/SLAB
TE-1	12" X 12"	2-#5 BOTTOM CONT	POUR MONOLITHIC W/SLAB

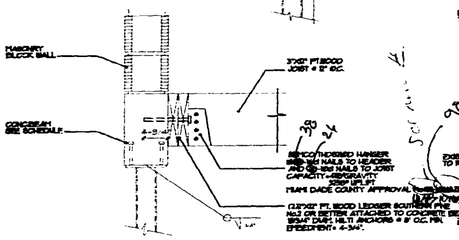
COLUMN SCHEDULE				
MARK	SIZE	REINFORCING: VERT. OR CAP PLATE	REINFORCING: TIES OR CAP PLATE	REMARKS
(37)	3½" X 3½" X ¼" TS	10"X10"X¼" BASE & W/ 4-#4 ANCHOR BOLTS	8"X8"X¼" CAP & W/ 4-#12X11" LONG HEADED STUDS	FY = 46 KSI

• PROPERTY LINE

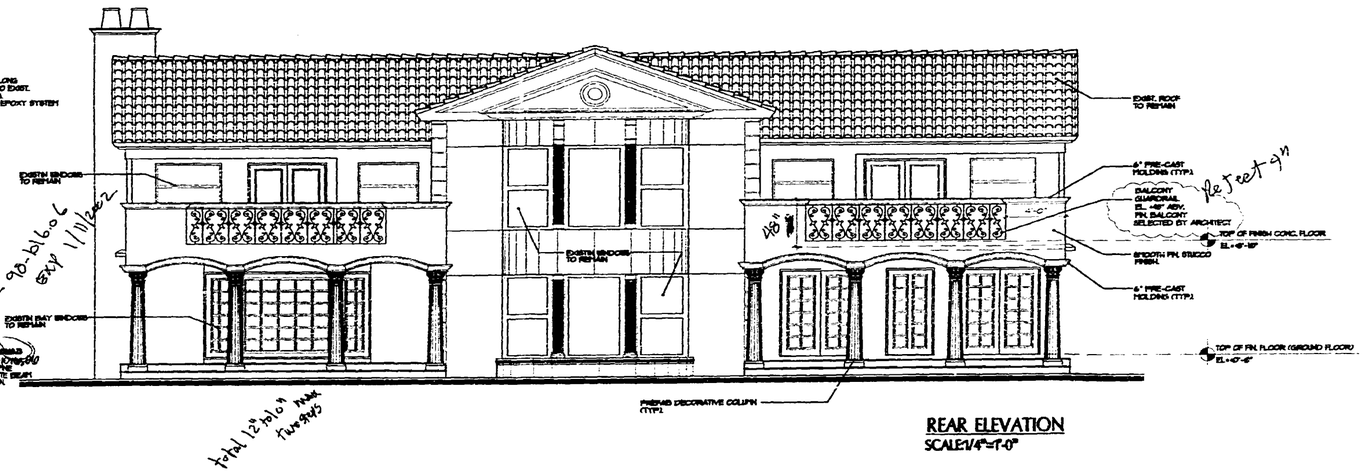
BEAM SCHEDULE									
MARK	TOP OF BEAM	SIZE (IN) b x d	REINFORCING: B	T	C	E	NO.	STIRRUPS: SPACING	REMARKS
RB-1	-8'-6"	8"X16"	2-#5	2-#5			3 O	• 43" C/C ADDITIONAL @ BALANCE OF ARCH	• CONT. ARCHED BEAM
RB-2	-8'-6"	8"X16"	2-#5	2-#5			3 O	• 48" C/C ADDITIONAL	ARCHED BEAM, SEE DETAIL



TYPICAL CONNECTION OF NEW CONC.BEAM TO EXIST. BEAM



WOOD LEDGER DETAIL



REAR ELEVATION

SCALE:1/4"=1'-0"

JOB COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:
BUILDING:
ZONING:
DRAINAGE:
CONC. STRUCTURAL:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PROTECTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:

Design Consultants
Consultants Engineer State of Florida
Emilio R. Piñero
Professional Engineer Certificate No.

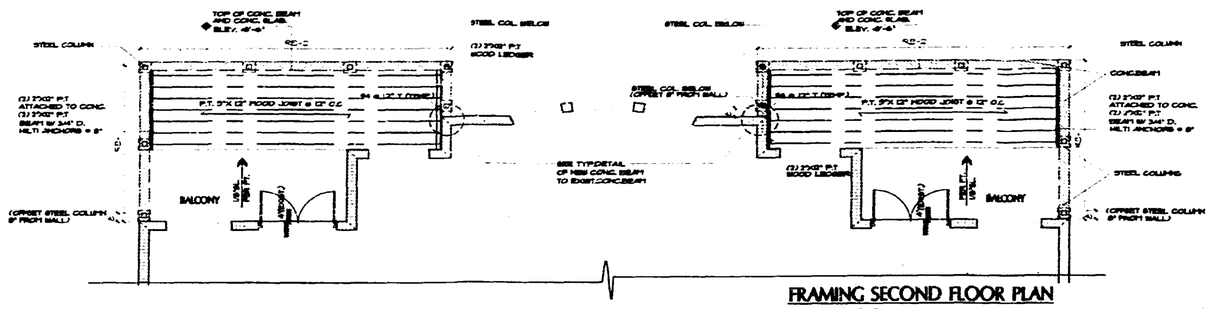
ADDITION BALCONY AT EXIST.SINGLE FAMILY RES:
MR.GILMER M. CASTILLO
1717 WEST 24 STREET,SUNSET ISLANDS
MIAMI BEACH, FLORIDA 33140
TELEPHONE: (305) 29-948

REVISIONS:
1:
2:
3:
4:

DATE: JANUARY, 2001
SCALE: SHOWN
DRAWN: O.F.
JOB NO.: 2001-A-2

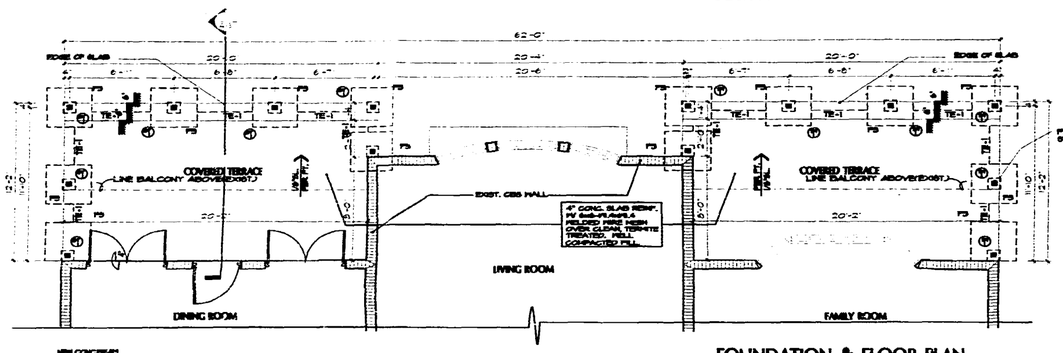
A-1

28



FRAMING SECOND FLOOR PLAN

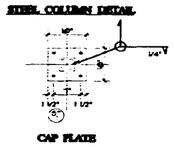
SCALE:1/4"=1'-0"



FOUNDATION & FLOOR PLAN

SCALE:1/4"=1'-0"

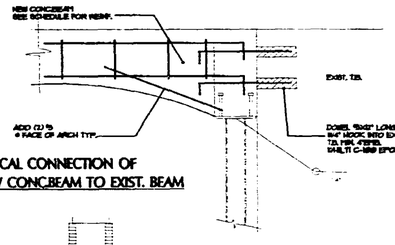
STEEL COLUMN DETAIL



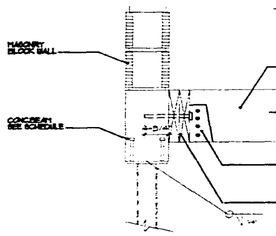
FOOTING SCHEDULE			f'c 3000 psi
MARK	SIZE	REINFORCING	REMARKS
F-3	3'-0" X 3'-0" X 12"	4-#5 BOTTOM EA WAY	POUR MONOLITHIC W/SLAB
TE-1	12" X 12"	2-#5 BOTTOM CONT	POUR MONOLITHIC W/SLAB

COLUMN SCHEDULE				f'c 3000 psi
MARK	SIZE	REINFORCING: VERT. OR CAP PLATE	REINFORCING: TIES OR CAP PLATE	REMARKS
(S1)	3½" X 3½" X ¼" TS	10"x10"x¼" BASE & 12" x ¼" x ¼" ANCHOR BOLTS * FINISHED PAINT *	8"x8"x¼" CAP & 12" x ½"x½" LONG HEADED STUDS	FY = 46 KSI

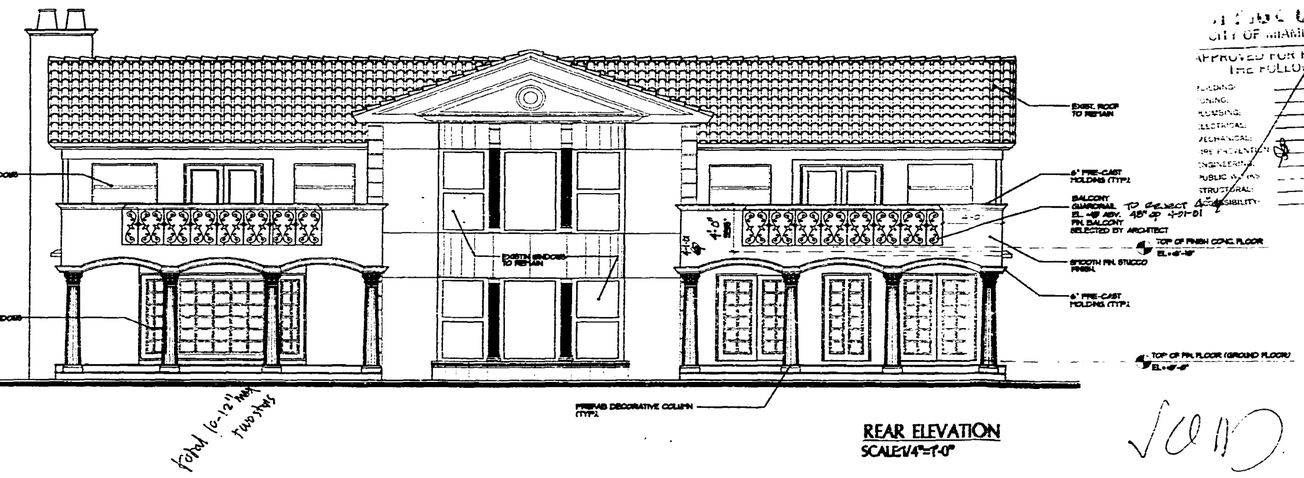
BEAM SCHEDULE										f'c 3000 psi
MARK	TOP OF BEAM	SIZE (N.) b x d	REINFORCING B	T	C	E	NO.	STIRRUPS SPACING	REMARKS
RB-1	8'-4"	8"X36"	2-#5	2-#5			3 ⊓	@ 48" C/C ADDITIONAL IN SURFACE OF ARCH.	* CONT. ARCHED BEAM.
RB-2	8'-4"	8"X36"	2-#5	2-#5			3 ⊓	@ 48" C/C ADDITIONAL	ARCHED BEAM, SEE DETAIL



TYPICAL CONNECTION OF NEW CONCBEAM TO EXIST. BEAM



WOOD LEDGER DETAIL



REAR ELEVATION

SCALE:1/4"=1'-0"

Fold 10-12" max. floor step

CITY OF MIAMI BEACH
APPROVED FOR PERMIT
THE FOLLOWING:
BUILDING
ZONING
PLUMBING
ELECTRICAL
MECHANICAL
FIRE PREVENTION
ENGINEERING
PUBLIC WORKS
STRUCTURAL

Design Consultants
Consultant Engineer
State of Florida
Emilio R. Piñero
Professional Engineer
Certificate No.

ADDITION BALCONY AT EXIST.SINGLE FAMILY RES:
MR.GILMER M. CASTILLO
1717 WEST 24 STREET,SUNSET ISLANDS
MIAMI BEACH, FLORIDA 33140
TELEPHONE: (305) 295-9940

REVISIONS:
1-
2-
3-
4-

DATE: JANUARY, 2001
SCALE: SHOWN
DRAWN: G.P.
JOB NO.: 2001-4-6

A-1

SHEET NO. OF

28

GENERAL STRUCTURAL NOTES

SOIL STATEMENT:
BASED ON A VISUAL INSPECTION ON SITE THE SOIL BEARING WITH AN APPARENT 1000 PSF MAY NOT BE BEARING CONDITION. THE ENGINEER OF CONSTRUCTION AT DENSED ARCHITECT OR PROFESSIONAL ENGINEER SHALL SUBMIT TO THE BUILDING OFFICIAL A LETTER STATING THAT THE SITE HAS BEEN OBSERVED AND THE FOUNDATION CONDITIONS ARE SIMILAR TO THOSE UPON WHICH THE DESIGN IS BASED.

2. CONCRETE
ALL CONCRETE SHALL ATTAIN A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS. AGGREGATES TO BE CLEAN AND WELL GRADED. MAX. SIZE TO BE 1" CONCRETE SLUMP SHALL NOT EXCEED 5" MAX. NO ADDITIONAL CONCRETE DROP NOT TO EXCEED 8'

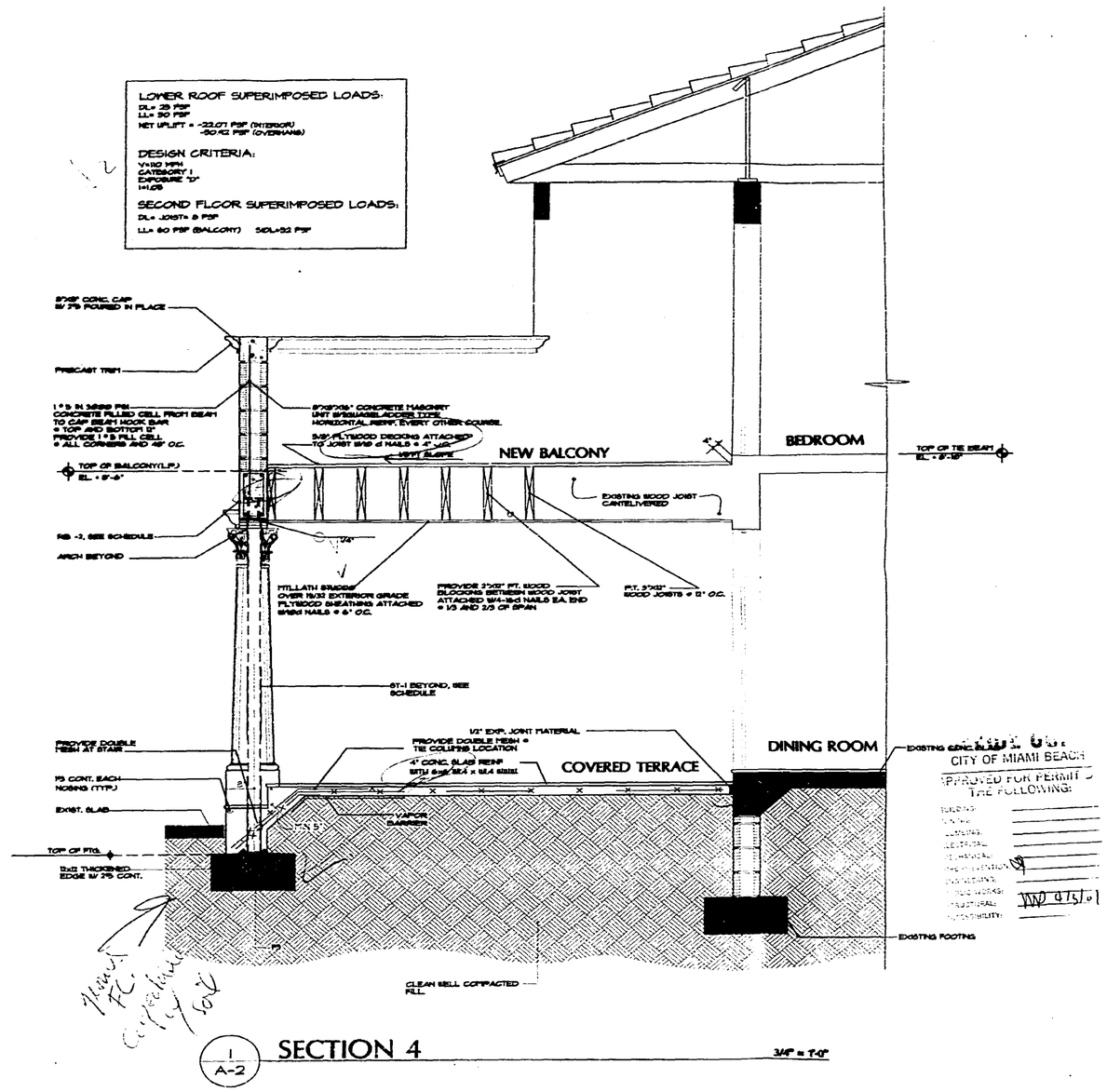
3. CONCRETE COVER
TO BE AS FOLLOWS

	BOTTOM	TOP	SIDES
FOOTING	3"	1"	2"
BEAMS	1.5"	1.5"	2"
COLUMNS	---	---	2"
SLABS	1"	0.5"	---
WALLS	---	---	1.5"

4. REINFORCING STEEL
TO BE NEW HIGH STRENGTH BILLET STEEL DEFORMED, 3 PER ASTM A-305, AND CONFORMING TO ASTM A-615 GRADE 60. PLACE CONTINUOUS BARS 30 BAR DIAMETERS UNLESS OTHERWISE NOTED. PLACING LOCATE BOTH LOOSE ENDS OF ALL TOP BARS. REINFORCING STEEL TO BE DETAILED AND FABRICATED IN ACCORDANCE WITH MANUAL OF STANDARD PRACTICE OF DETAILING REINFORCING CONCRETE STRUCTURES, AND THE ACI BUILDING CODE 318, LATEST EDITION.

5. SHOP DRAWINGS
NO SHOP DRAWING SHALL BE SUBMITTED FOR ARCHITECT/ENGINEER'S REVIEW UNTIL AFTER THEY HAVE BEEN REVIEWED AND NOTED FOR CONSTRUCTION METHOD, DIMENSIONS AND OTHER TRADE REQUIREMENTS BY THE CONTRACTOR AND STAMPED WITH THE CONTRACTOR'S APPROVAL SEAL. ENGINEER ASSUMES NO RESPONSIBILITY FOR DIMENSIONS, QUANTITIES, ERRORS OR OMISSIONS AS A RESULT OF CHECKING AND REVIEWING ANY SHOP DRAWINGS. ANY ERRORS OR OMISSIONS MUST BE MADE GOOD BY CONTRACTOR, IRRESPECTIVE OF RECEIPT CHECKING OR REVIEW OF DRAWINGS BY ENGINEER, AND EVEN THOUGH WORK IS DONE IN ACCORDANCE WITH SUCH SHOP DRAWINGS.

8. GENERAL
a. IF ANY ERRORS OR OMISSIONS APPEAR IN THE DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS, THE CONTRACTOR MUST NOTIFY THE ARCHITECT AND ENGINEER IN WRITING OF THE SAME PRIOR TO PROCEEDING WITH THE WORK IN QUESTION. IN THE EVENT THAT THE CONTRACTOR FAILS TO GIVE NOTICE OR PROVIDE SUFFICIENT TIME FOR A RESPONSE, CONTRACTOR IS RESPONSIBLE OF SUCH ERRORS OR OMISSIONS, AND FOR ALL COSTS FOR RECTIFYING SAME AND FOR DELAYS OR ANY OTHER COSTS INCURRED BY SAME. THE CONTRACTOR SHALL USE THE STRUCTURAL DRAWINGS TOGETHER WITH THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS TO LOCATE DEPRESSED SLABS, SLOPES, DRAIN OUTLETS, RECESSES, OPENINGS, REGLETS, BOLT SETTINGS, SLEEVES, OPENINGS, ETC. POTENTIAL CONFLICTS SHALL BE TRANSMITTED TO THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH THE WORK. CONTRACTOR TO PROVIDE ADEQUATE TIME FOR RESPONSE FROM ARCHITECT/ENGINEER.
b. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL ACCUMULATED WATER FROM EXCAVATION AND DEWATERING OPERATIONS IN SUCH A WAY AS TO NOT CAUSE INCONVENIENCE TO THE WORK AND DAMAGE TO THE STRUCTURAL ELEMENTS.
c. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING HIS CONSTRUCTION DOCUMENTS WITH ANY REVISED DRAWINGS AND SPECIFICATIONS, FIELD ORDERS, CHANGE ORDERS AND CLARIFICATION SKETCHES ISSUED DURING THE COURSE OF CONSTRUCTION.
d. TYPICAL DETAILS AND NOTES ON THESE DRAWINGS SHALL APPLY UNLESS SPECIFICALLY NOTED OTHERWISE. CONSTRUCTION DETAILS AND SECTIONS NOT COMPLETELY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS AND SECTIONS SHOWN OR NOTED FOR SIMILAR CONDITIONS.
e. TEMPORARY BRACING SHALL BE PROVIDED AS REQUIRED TO HOLD ALL COMPONENTS OF THE STRUCTURE IN PLACE UNTIL FINAL SUPPORT IS SECURELY ANCHORED.
f. THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES OF EVERY KIND, INCLUDING WATER AND POWER, NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHOWN OR INDICATED ON THESE DRAWINGS. ALL MATERIALS SHALL BE NEW. MATERIALS AND WORKMANSHIP SHALL BE OF GOOD QUALITY. ALL WORKMEN AND SUBCONTRACTORS SHALL BE SKILLED IN THEIR TRADE.
g. THE CONTRACTOR SHALL ADEQUATELY PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC AND BE RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLECT.
h. THE PREMISES SHALL BE KEPT FREE FROM ACCUMULATION OF WATER, MATERIALS, AND DEBRIS, AND AT THE END OF THE JOB THE CONTRACTOR SHALL REMOVE ALL RUBBISH, SURPLUS MATERIALS AND TOOLS AND LEAVE THE BUILDING BROOM CLEAN.
i. THE GENERAL CONTRACTOR SHALL REVIEW ALL PROJECT DOCUMENTS PRIOR TO FABRICATION AND START OF CONSTRUCTION. REPORTS ANY DISCREPANCIES TO ARCHITECT OR STRUCTURAL ENGINEER PRIOR TO PROCEEDING WITH WORK.
j. NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED OR OTHERWISE REDUCED IN SIZE OR STRENGTH WITHOUT PRIOR APPROVAL IN WRITING FROM THE STRUCTURAL ENGINEER.
k. THE GENERAL CONTRACTOR SHALL COORDINATE STRUCTURAL AND OTHER DRAWINGS WHICH ARE PART OF THE CONTRACT DOCUMENTS FOR ANCHORED EMBEDDED OR SUPPORTED ITEMS WHICH MAY AFFECT THE STRUCTURAL DRAWINGS.



Design Consultants
Consultants Engineer State of Florida
Emilio L. Piñero
Registered Engineer Certificate #8292

ADDITION BALCONY AT EXIST.SINGLE FAMILY RES:
MR.GILMER M. CASTILLO
1717 WEST 24 STREET/SUNSET ISLANDS
MIAMI BEACH, FLORIDA 33140
TELEPHONE: (305) 29-1948

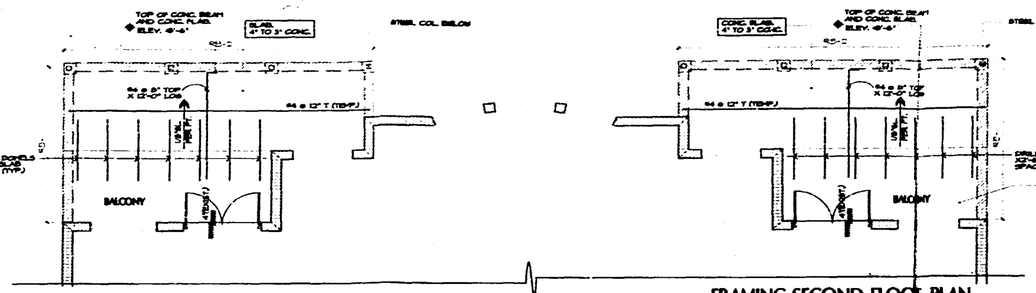
REVISIONS:
1-
2-
3-
4-

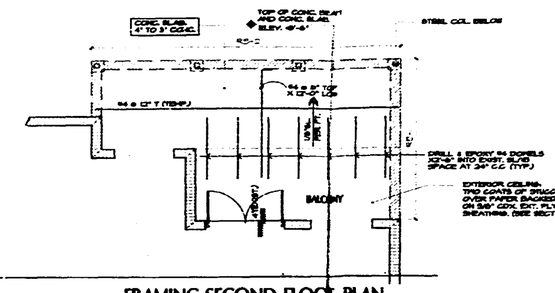
DATE: JANUARY, 2001
SCALE: SHOWN
DRAWN: O.P.
JOB NO.: 2001-1-6

A-2

SHEET NO. OF

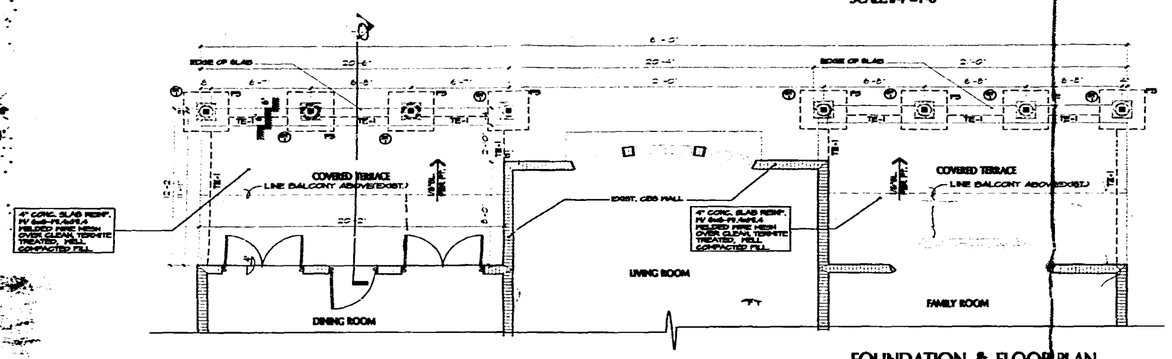
28





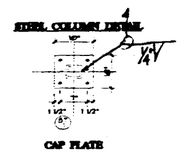
FRAMING SECOND FLOOR PLAN

SCALE:1/4"=1'-0"



FOUNDATION & FLOOR PLAN

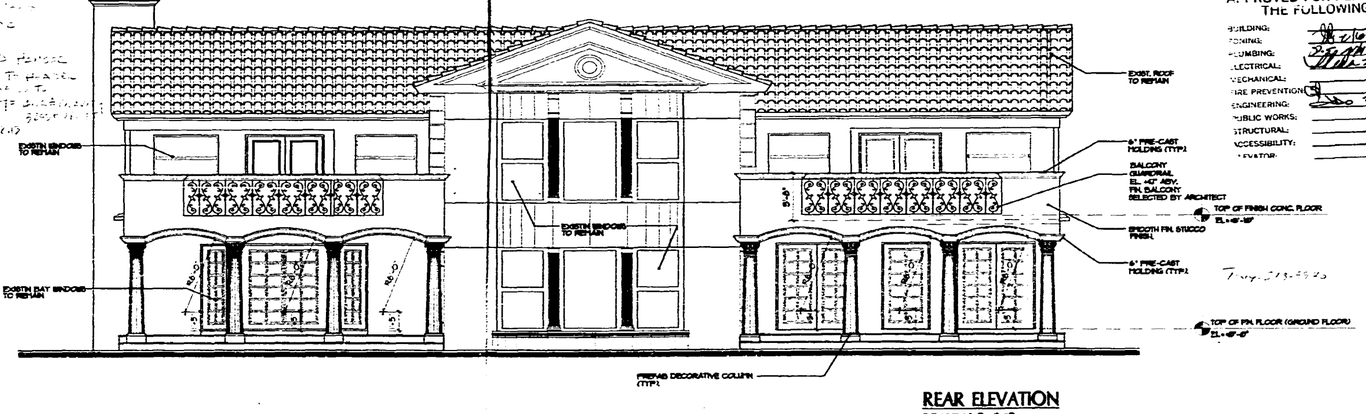
SCALE:1/4"=1'-0"



FOOTING SCHEDULE			
MARK	SIZE	REINFORCING	REMARKS
F-3	3'-0" X 3'-0" X 12"	4#5 BOTTOM EA WAY	POUR MONOLITHIC W/SLAB.
TE-1	12" X 12"	2#5 BOTTOM CONT	POUR MONOLITHIC W/SLAB

COLUMN SCHEDULE				
MARK	SIZE	REINFORCING: VERT. OR CAP PLATE	REINFORCING: TIES OR CAP PLATE	REMARKS
(S1)	3½" x 3½" x ¼" TS	12"x12"x¼" BASE E W/ 2-3/4" ANCHOR BOLTS	12"x12"x¼" CAP E W/ 4-3/4" HEADED STUDS	FY=46 KSI

BEAM SCHEDULE									
MARK	TOP OF BEAM	SIZE (in) b x d	REINFORCING B	T	C	E	STIRRUPS NO.	SPACING	REMARKS
RB-1	48'-6"	8"x28" (16")	2-#9	2-#9			36	#3 @ 6" C/C	• CONT. ARCHED BEAM
RB-2	48'-6"	8"x28" (16")	2-#9	2-#9			36	#3 @ 6" C/C	ARCHED BEAM, SEE DETAIL



REAR ELEVATION

SCALE:1/4"=1'-0"

Typical Section of Balcony Beam

8 Provide connections RB1 to existing structure
7. Verify existing slab hole bottom reinf
6. Dowel & Bell. Reinf.
5. Provide Bottom Reinf of slab
4- Spacing of slab reinf & Dowel to comply w/ ACI
1. Provide complete set of arch for all structural members
2- Verify existing ∅ & PTG could together added load
3- wind load shall be Per Group "D" Revised

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CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:
BUILDING:
ZONING:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE PREVENTION:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
EVATUR:

Design Consultants
Consultants Engineers State of Florida
Emilio R. Piñero
Professional Engineer Certificate

ADDITION BALCONY AT EXIST.SINGLE FAMILY RES.:
MR.GILMER M. CASTILLO
1777 WEST 24 STREET,SUNSET ISLANDS
MIAMI BEACH, FLORIDA
TELEPHONE: (305) 25-9446

REVISIONS:
1-
2-
3-
4-

DATE: JANUARY, 2001
SCALE: SHOWN
DRAWN: O.P.
JOB NO.: 2001-A-6

SHEET NO. A-1 OF

V0 A-1

28

GENERAL STRUCTURAL NOTES

SOIL SETTLEMENT
BASED ON A GEOTECHNICAL INSPECTION ON SITE THE SOIL BEARING WITH AN APPARENT GOOD RSF MINIMUM SOIL BEARING CAPACITY. THE TYPE OF CONSTRUCTION, ALL DESIGN, INSPECTION OR PROGRESS OVER ENGINEER SHALL SUBMIT TO THE BUILDING OFFICIAL A LETTER STATING THAT THE SITE HAS BEEN OBSERVED AND THE FOUNDATION CONDITIONS ARE SIMILAR TO THOSE UPON WHICH THE DESIGN IS BASED.

2. CONCRETE
ALL CONCRETE SHALL ATTAIN A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3,000 PSI IN 28 DAYS. AGGREGATES TO BE CLEAN AND WELL GRADED. SLUMP TO BE 5" TO BE [illegible] CONCRETE SLAB TO BE 3" MINIMUM TO 5" MAXIMUM. VERTICAL CONCRETE DROP NOT TO EXCEED 8'.

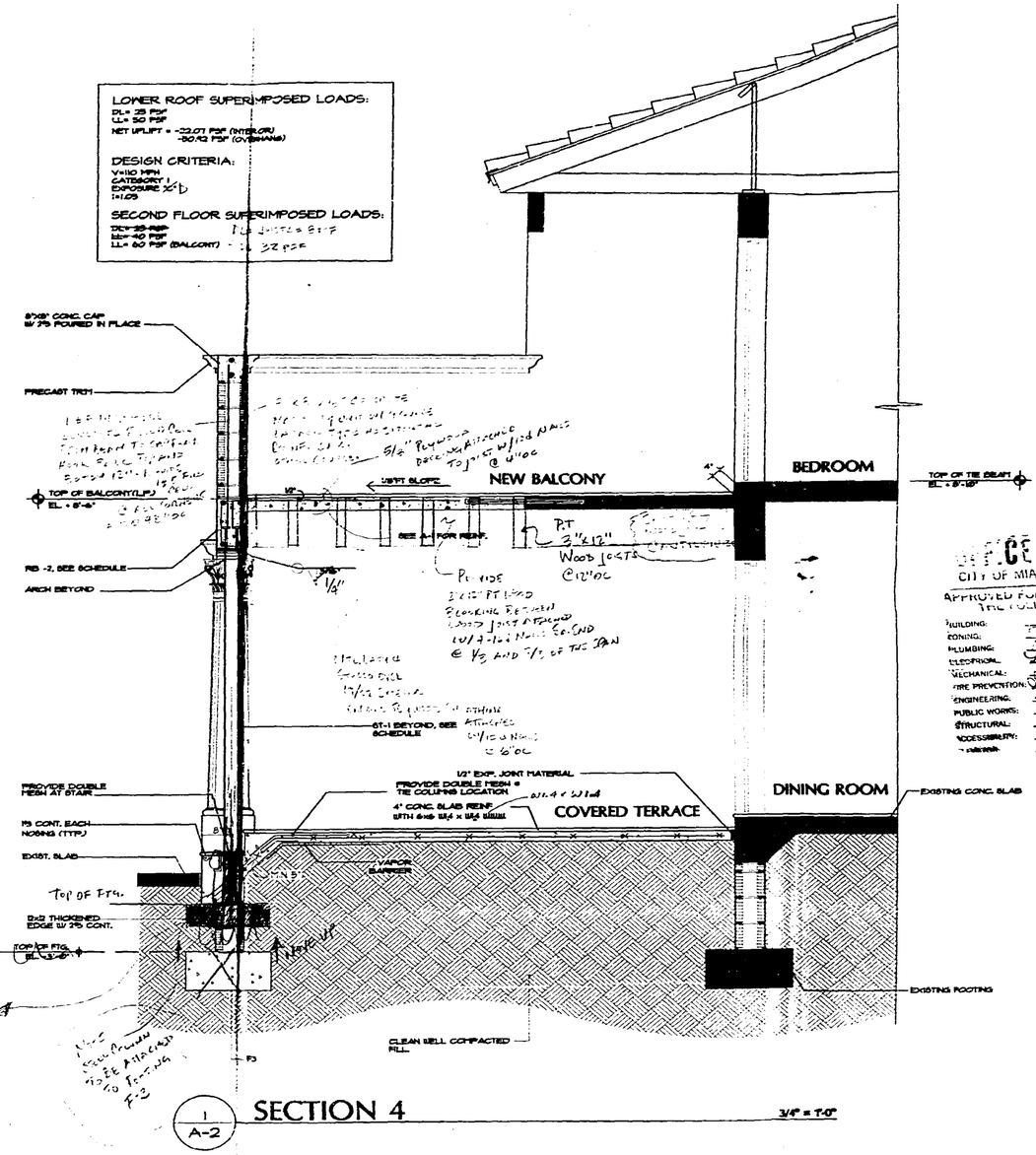
3. CONCRETE COVER
TO BE AS FOLLOWS

	BOTTOM	TOP	SIDES
FOOTING	3"	3"	3"
BEAMS	1½"	1½"	1½"
COLUMNS	1½"	1½"	1½"
SLABS	1½"	3/4"	1½"
WALLS	1½"	1½"	1½"

4. REINFORCING STEEL
TO BE NEW HIGH STRENGTH BILLET STEEL DEFORMED AS PER ASTM A615 AND CONFORMING TO ASTM A615, GRADE 60. USE CONTINUOUS BARS 30 BAR DIAMETERS UNLESS OTHERWISE NOTED. NO BARS HOOK OR BEND AT ENDS OF ALL TOP BARS. REINFORCING STEEL TO BE DETAILED AND FABRICATED IN ACCORDANCE WITH MANUAL OF STANDARDS PRACTICE OF DETAILING REINFORCING CONCRETE STRUCTURES, AND THE ACI BUILDING CODE 318 LATEST EDITION.

5. SHOP DRAWINGS
NO SHOP DRAWING SHALL BE SUBMITTED FOR ARCHITECT ENGINEER'S REVIEW UNTIL AFTER THEY HAVE BEEN REVIEWED AND NOTED FOR CONSTRUCTION METHODS, DIMENSIONS AND OTHER TRADE REQUIREMENTS BY THE CONTRACTOR AND STAMPED WITH THE CONTRACTOR'S APPROVAL SEAL. ENGINEER ASSUMES NO RESPONSIBILITY FOR DIMENSIONS, QUANTITIES, ERRORS OR OMISSIONS AS A RESULT OF CHECKING AND REVIEWING ANY SHOP DRAWINGS. ANY ERRORS OR OMISSIONS MUST BE MADE GOOD BY CONTRACTOR, RESPECTIVE OF RECEIPT, CHECKING OR REVIEW OF DRAWINGS BY ENGINEER, AND EVEN THOUGH WORK IS DONE IN ACCORDANCE WITH SUCH SHOP DRAWINGS.

6. GENERAL:
a. IF ANY ERRORS OR OMISSIONS APPEAR IN THE DRAWINGS, SPECIFICATIONS, OR OTHER DOCUMENTS THE CONTRACTOR MUST NOTIFY THE ARCHITECT AND ENGINEER, IN WRITING OF THE SAME PRIOR TO PROCEEDING WITH THE WORK IN QUESTION. IN THE EVENT THAT THE CONTRACTOR FAIL TO GIVE NOTICE OR PROVIDE SUFFICIENT TIME FOR A RESPONSE, CONTRACTOR IS RESPONSIBLE OF SUCH ERRORS OR OMISSIONS AND FOR ALL COSTS FOR RECTIFYING SAME AND FOR DELAYS OR ANY OTHER COSTS INCURRED BY SAME. THE CONTRACTOR SHALL USE THE STRUCTURAL DRAWINGS TOGETHER WITH THE ARCHITECTURAL MECHANICAL AND ELECTRICAL DRAWINGS TO LOCATE DEPRESSED SLABS, SLOPES, DRAIN OUTLETS, RECESSES, OPENINGS, REGLETS, BOLT SETTINGS, SLEEVES, DIMENSIONS, ETC. POTENTIAL CONFLICTS SHALL BE TRANSMITTED TO THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH THE WORK. CONTRACTOR TO PROVIDE ADEQUATE TIME FOR RESPONSE FROM ARCHITECT ENGINEER.
b. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL ACCUMULATED WATER FROM EXCAVATION AND DEWATERING OPERATIONS IN SUCH A WAY AS TO NOT CAUSE INCONVENIENCE TO THE WORK AND DAMAGE TO THE STRUCTURAL ELEMENTS.
c. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING HIS CONSTRUCTION DOCUMENTS WITH ANY REVISED DRAWINGS AND SPECIFICATIONS FIELD ORDERS, CHANGE ORDERS AND CLARIFICATION SKETCHES ISSUED DURING THE COURSE OF CONSTRUCTION.
d. TYPICAL DETAILS AND NOTES ON THESE DRAWINGS SHALL APPLY UNLESS SPECIFICALLY NOTED OTHERWISE. CONSTRUCTION DETAILS AND SECTIONS NOT COMPLETELY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS AND SECTIONS SHOWN OR NOTED FOR SIMILAR CONDITIONS.
e. TEMPORARY BRACING SHALL BE PROVIDED AS REQUIRED TO HOLD ALL COMPONENTS OF THE STRUCTURE IN PLACE UNTIL FINAL SUPPORT IS SECURELY ANCHORED.
f. THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES OF EVERY KIND, INCLUDING WATER AND POWER NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHOWN OR INDICATED ON THESE DRAWINGS. ALL MATERIAL SHALL BE NEW MATERIALS AND WORKMANSHIP SHALL BE OF GOOD QUALITY. ALL WORKMEN AND SUBCONTRACTORS SHALL BE SKILLED IN THEIR TRADE.
g. THE CONTRACTOR SHALL ADEQUATELY PROTECT HIS WORK, ADJACENT PROPERTY AND THE PUBLIC, AND BE RESPONSIBLE FOR DAMAGE OR INJURY DUE TO HIS ACT OR NEGLECT.
h. THE PREMISES SHALL BE KEPT FREE FROM ACCUMULATION OF WATER, MATERIALS AND DEBRIS, AND AT THE END OF THE JOB THE CONTRACTOR SHALL REMOVE ALL RUBBISH, SURPLUS MATERIALS, AND TOOLS AND LEAVE THE BUILDING BROOM CLEAN.
i. THE GENERAL CONTRACTOR SHALL REVIEW ALL PROJECT DOCUMENTS PRIOR TO FABRICATION AND START OF CONSTRUCTION, REPORTS ANY DISCREPANCIES TO ARCHITECT OR STRUCTURAL ENGINEER PRIOR TO PROCEEDING WITH WORK.
j. NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED OR OTHERWISE REDUCED IN SIZE OR STRENGTH WITHOUT PRIOR APPROVAL IN WRITING FROM THE STRUCTURAL ENGINEER.
k. THE GENERAL CONTRACTOR SHALL COORDINATE STRUCTURAL AND OTHER DRAWINGS WHICH ARE PART OF THE CONTRACT DOCUMENTS FOR ANCHORED, EMBEDDED OR SUPPORTED ITEMS WHICH MAY AFFECT THE STRUCTURAL DRAWINGS.



1 / A-2 SECTION 4 3/4" = 1'-0"

Consulting Engineers
Design Consultants
Consultants Engineer
State of Florida
Emilio L. Piñero
Professional Engineer
Certificate 46338

ADDITION BALCONY AT EXIST.SINGLE FAMILY RES:
MR.GILMER M. CASTILLO
1717 WEST 24 STREET,SUNSET ISLANDS
MIAMI BEACH, FLORIDA 33140
TELEPHONE: (305) 29-9448

REVISIONS :
1:-
2:-
3:-
4:-

DATE : JANUARY, 2001
SCALE : 3/4"=1'-0"
DRAWN : D.F.
JOB NO. : 2001-44

A-2
SHEET NO. : OF

28

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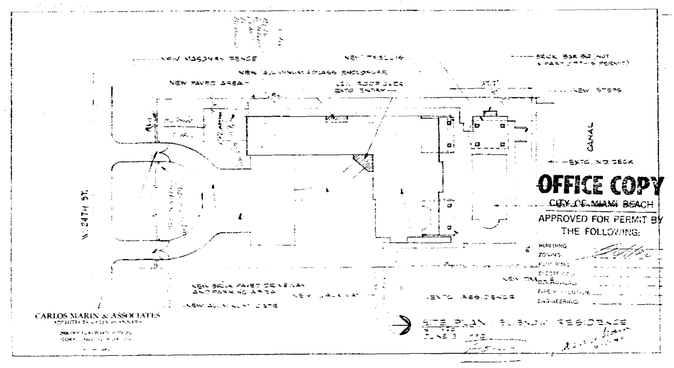
B010419
1717 W. 24th ST
Addition & Balconies

28

PERMIT #

ADDRESS:


CANAL
W. 24TH ST.
CARLOS MARIN & ASSOCIATES
OFFICE COPY
APPROVED FOR PERMIT BY
THE FOLLOWING:

MATCH LINE - CONTINUED IN SHEET A2
LIVING RM.
FAMILY RM.
DINING RM.
KITCHEN
BREAKFAST RM
EXTG. BEDROOM
GARAGE
PARTIAL FIRST FLOOR PLAN
FRONT FACADE MASONRY FENCE ELEVATION
TYP. COLUMN DETAIL
WALL DETAIL
DETAIL
ASPHALT DRIVE WAY
SURVEY, DETAILS, PARTIAL FIRST FLOOR PLAN
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CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:
CARLOS MARIN & ASSOCIATES
ARCHITECTS
Renovation of the Bubrow Residence
1717 West 24th St. MIAMI BEACH
AS NOTED
A-1

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BUILDING
ZONING
PLUMBING
ELECTRICAL
MECHANICAL
FIRE PREVENTION
ENGINEERING
REVISIONS
BY
Renovation of the Bubnow Residence
1717 WEST 24TH ST. MIAMI BEACH
CARLOS MARIN & ASSOCIATES
ARCHITECTS
A-2

FRONT ELEVATION
SECTION A-A
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ELECTRICAL:
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ARCHITECTS

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ELECTRICAL
MECHANICAL
FIRE PREVENTION
ENGINEERING
SECOND FLOOR PLAN
SECOND FLOOR PLANS
Renovation of the Bubnow Residence
1717 WEST 24TH ST. MIAMI BEACH
CARLOS MARIN & ASSOCIATES
ARCHITECTS
REVISIONS
BY

B9000300 – B9000300

PERMIT #	COMP_TYPE	SUB_TYPE	APPLIED	APPROVED	EXPIRED
BA900928	AUTOPROJ	OTH	25-Jan-90	25-Jan-90	
BA914353	AUTOPROJ	OTH	15-Dec-89	15-Dec-89	13-Jun-90
BA908049	AUTOPROJ	ALT	01-Jun-90		08-Nov-94
BA903374	AUTOPROJ	OTH	19-Mar-90	19-Mar-90	15-Sep-90
BCK91047	BADCHECK	OTH	29-Mar-91	23-Jan-91	20-Feb-91
BD040084	BDEMO	PARTIAL	03-Mar-04	03-Mar-04	05-Feb-05
BE011999	BELEC		18-Jul-01	18-Jul-01	25-Mar-02
BE031958	BELEC	ALTRMDL	12-Jun-03	12-Jun-03	28-Jan-04
BE960983	BELEC	ALT	13-Apr-96	15-Apr-96	16-Sep-96
BM031017	BMECH	A/C	24-Jun-03	24-Jun-03	28-Jan-04
BMS0401741	BMISC	CITATION	03-Mar-04		
BMS70635	BMISC	OTH	06-Feb-97	06-Feb-97	
BMS0103111	BMISC		03-Jul-01	06-Jul-01	
BMS0401505	BMISC	RESEARCH	09-Feb-04		
BMS41335	BMISC	OTH	23-Jun-94	23-Jun-94	
BMS10522	BMISC	OTH	20-Feb-91	20-Feb-91	
BMS0401496	BMISC	RESEARCH	09-Feb-04		
BMS0103141	BMISC		06-Jul-01		
BMS00539	BMISC	OTH	25-Jan-90	25-Jan-90	
BP040552	BPLUM	HEATERS	27-Jan-04	27-Jan-04	27-Jul-04
BP910363	BPLUM	OTH	25-Jan-91	25-Jan-91	24-Jul-91
BP031484	BPLUM	RGH_SETS	16-Jun-03	16-Jun-03	28-Jan-04
B0402041	BSBUILD	ADDTN	18-Feb-04	10-Mar-04	06-Sep-04
BS951250	BSBUILD	ALT	10-Apr-95	10-Apr-95	07-Oct-95
BS950226	BSBUILD	OTH	03-Nov-94	03-Nov-94	17-Jun-96
BS910773	BSBUILD	OTH	31-Jan-91		
B9601457	BSBUILD	ALT	19-Mar-96	20-Mar-96	16-Sep-96
B9601271	BSBUILD	ALT	28-Feb-96	22-Mar-96	18-Mar-97
B0301816	BUILD	ALTRMDL	11-Feb-03	16-May-03	28-Jan-04
B9000300	BUILD	ALT	01-Jun-90	05-Jun-90	08-Nov-94
B0101419	BUILD		19-Jan-01	03-Apr-01	25-Mar-02
BE901363	ELEC	ALT	13-Jul-90	13-Jul-90	08-Nov-94
BE901176	ELEC	ALT	08-Jun-90	08-Jun-90	08-Nov-94
BP900832	PLUM	ALT	08-Jun-90	08-Jun-90	08-Nov-94
BS901734	SBUIL	OTH	17-Jul-90	17-Jul-90	08-Nov-94
BS890427	SBUIL	OTH	15-Dec-89	15-Dec-89	13-Jun-90
BS900934	SBUIL	OTH	19-Mar-90	19-Mar-90	15-Sep-90

STATUS
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DESCRIPTION
THREE MICROFILM COPIES
TENT FUMIGATION
RMDL-2ND FLR,RE-TRUSS GRGE & KTCHEN-COMM
INT & EXT PAINTING & REPLACE 1 WINDOWS
REPLACE NSF CHECK #BP910363, PD BMS10522
Total Demolition of Shed
NEW HI HATS
SERVICE PANEL RANGE W/H W/M DRY REFRI
MOTORS,INTERCOM (GATES)
NEW 1.5T, DUCTS,5KW.
CITATION # 571A & 569 A
PERMIT EXTENSION #1
REV B0101419-ADD ELECT WORK TO BALCONIES
Research
RENEW P#92395
REPLACE NSF CHECK PERMIT #BP910363
permit research
RVSN TO ELECT/B0101419/ADD HI-HATS
THREE MICROFILM COPIES
NEW W/H
LAWN SPRINKLER
12/s/12/r
RENEW PERMIT B0301816 INTERIOR REMODELING (ADDITION WAS NEVER DONE AND WILL NOT BE DONE).
INSTALL 92 L/F WOOD FENCE
REPLACE TILE FLOOR & REPLACE MOLDINGS
67 L.F.CBS WALL ALUMNM TOP RLNG FRNT RES
CONSTRUCT STEEL PICKET FENCE 113 L/F
INSTALL AWNING
ADDITION & INTERIOR REMODELING.
RMDL-2ND FLR,RE-TRUSS GRGE & KTCHEN-COMM
TWO BALCONIES ADDITION
RECEPTACLES,LIGHT FIX
NEW OUTLETS APPL.LIGHT (SF)
PLBG ALTERATIONS
NEW 14 SQS TILE RF & 20.5 OF EXST ROOF
TENT FUMIGATION
INT & EXT PAINTING

STREET_NO	TREET_DIRECTIO	STREET_NAME	PARCEL_NO
1717	W	24TH ST	32280011390
1717	W	24TH ST	32280011390
1717	W	24TH ST	32280011390
1717	W	24TH ST	32280011390
1717	W	24TH ST	32280011390
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