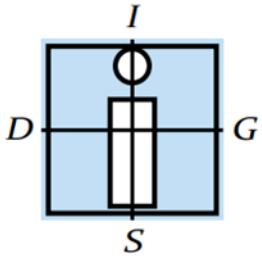


DRB22-0822

205 E. San Marino Drive

Design Review Board

July 5, 2022



IN-SITE DESIGN GROUP

ARCHITECTURAL SERVICES

1546 Jackson Street

Hollywood, Florida 33020

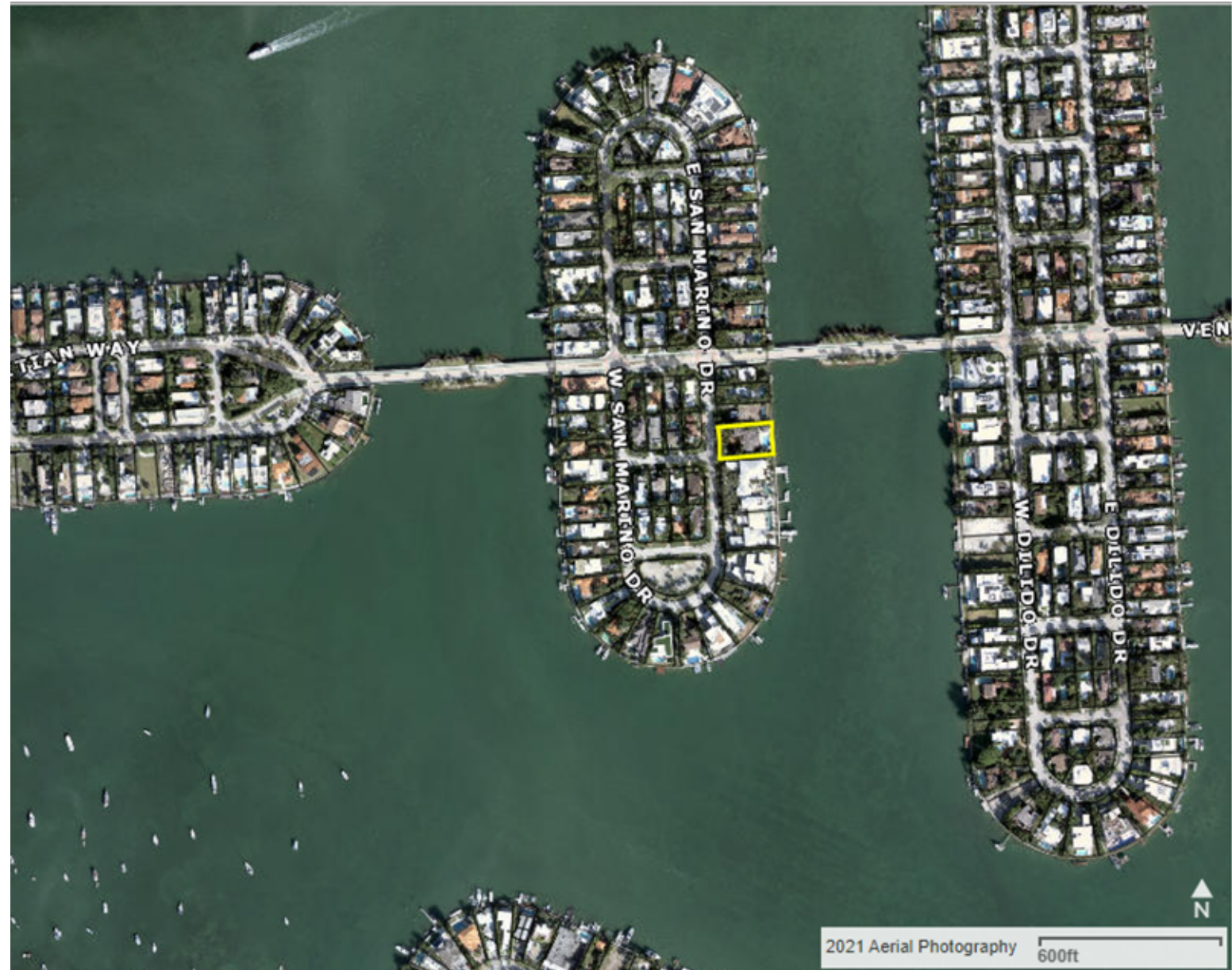
954-921-5333 www.insitedesigngroup.com



BERCOW RADELL FERNANDEZ LARKIN + TAPANES

ZONING, LAND USE AND ENVIRONMENTAL LAW

Property Location

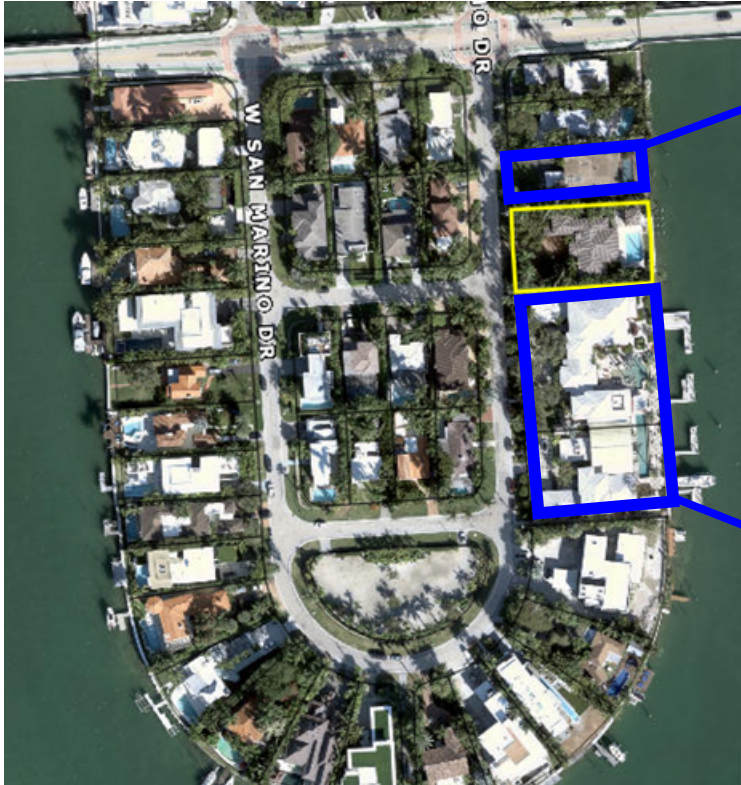


Applicant

- Gonzalo Pulido and his family
- Self-made entrepreneur
- Fell in love with Biscayne Bay
- Visited Miami Beach frequently
- Dream come true



Neighbor Support



June __, 2022

Design Review Board Members
c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139


Re: DRB22-0822, 205 East San Marino Drive, Miami Beach
Letter of Support

Dear Board Members:

I am the owner of 215 E. San Marino, Miami Beach, Florida, which is abutting the above-referenced property. I had a conversation with the applicant and reviewed plans, renderings and design requests for the proposed new, two-story single-family residence. The home is beautifully-designed, consistent with the scale of surrounding homes, and will be a welcome addition to the neighborhood. The applicant is not proposing a larger home than permitted. Additionally, with the large setbacks, the second story portion of the home will have a minimal impact.

Based on the foregoing, I fully support the applicant's new home, including the additional 2'-4" of height and ask the Design Review Board to grant the design review approval with the associated waiver.

Sincerely,


Signature
Charles Gratz
Print name

June 30, 2022

Design Review Board Members
c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

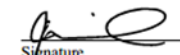
Re: DRB22-0822, 205 East San Marino Drive, Miami Beach
Letter of Support

Dear Board Members:

I am the owner of 105 and 125 E. San Marino Drive, Miami Beach, Florida, which is abutting the above-referenced property. I had a conversation with the applicant and reviewed plans, renderings and design requests for the proposed new, two-story single-family residence. The home is beautifully-designed, consistent with the scale of surrounding homes, and will be a welcome addition to the neighborhood. The applicant is not proposing a larger home than permitted. Additionally, with the large setbacks, the second story portion of the home will have a minimal impact.

Based on the foregoing, I fully support the applicant's new home, including the additional 2'-4" of height and ask the Design Review Board to grant the design review approval with the associated waiver.

Sincerely,


Signature
Jeffrey Miller
Print name

Current Application

- Meet with neighbors
- Refine design
- Improve materiality and articulation
- Incorporate additional outdoor space
- Present architectural necessity for height waiver

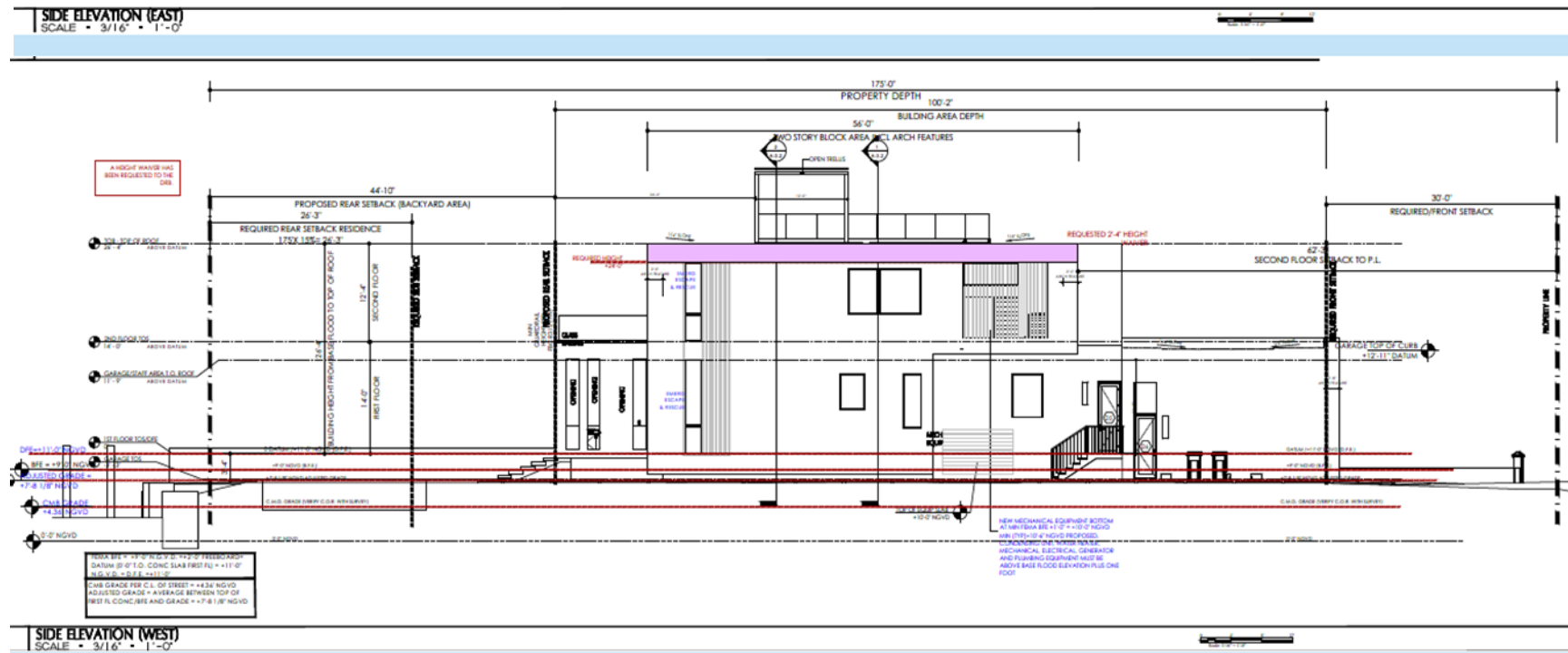


PREVIOUS FRONT ELEVATION DESIGN - DRB APPROVED - DRB 20-0618



NEW FRONT ELEVATION DESIGN - DRB CURRENT SUBMITTAL

- **Oversized lot**
 - 18,375 SF (10,000 SF min.)
- **Generous setbacks**
 - Front: 62'-3"
 - Rear: 44'-10"
- **Sensitive**
 - 22.8% unit size (30% max.)
 - 34.6% lot coverage (50% max.)
- **Lush landscaping**
- **Symmetry of design elements**
- **Neighbor support**



SCOPE OF WORK:

NEW TWO STORY SINGLE FAMILY RESIDENCE
WITH ROOF TOP ACCESSIBLE AREA:

- TWO CAR GARAGE
- 6 BEDROOM PLUS AN OFFICE
- 6 BATHROOMS & 2-1/2 BATHS
- 6,296.19 SF UNIT SIZE
- NEW POOL AND SPA
- NEW DRIVEWAY

LEGAL DESCRIPTION:

LOT 12 & 13, BLOCK 4 SAN MARINO
ACCORDING TO THE PLAT THEREOF, AS
RECORDED IN PLAT BOOK 9, PAGE 22 OF
THE PUBLIC RECORDS OF MIAMI-DADE
COUNTY, FLORIDA

PREVIOUS DRB APPROVALS:

DRB 17-0189
DRB 20-0618

OWNER:

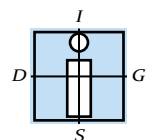
AZENDA PROPERTIES LLC

ARCHITECT:

ANNIE K. CARRUTHERS -AR-97156



DATE:
05-16-2022



IN-SITE DESIGN GROUP
ARCHITECTURAL SERVICES
1546 Jackson Street
Hollywood, Florida 33020
954-921-5333 www.insitedesigngroup.com

AZENDA RESIDENCE

205 E SAN MARINO DRIVE, MIAMI BEACH



Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	205 EAST SAN MARINO DR		
2	Folio number(s):	02-3232-003-0550		
3	Board and file numbers :	drb 22-0822 (CURRENT) DRB20- 0618 (PREVIOUS)/ DRB 17-0189 (PREVIOUS)		
4	Year built:	1938	Zoning District:	RESIDENTIAL - RS-3
5	Base Flood Elevation:	(+9'-0" NGVD) AE-9	Grade value in NGVD:	+4.36' NGVD
6	Adjusted grade (Flood+Grade/2):	(+7'-8 1/8"" NGVD)	Free board:	2'-0"
7	Lot Area:	18,375 sf		
8	Lot width:	105'-0"	Lot Depth:	175.00'
9	Max Lot Coverage SF and %:	5,512.50 SF 30%	Proposed Lot Coverage SF and %:	4,019.44 (22.87%)
10	Existing Lot Coverage SF and %:	3,871.36 (21.06%)	Lot coverage deducted (garage-storage) SF:	500 SF
11	Front Yard Open Space SF and %:	2,103 SF 66.7%	Rear Yard Open Space SF and %:	1,931.75 SF = 70%
12	Max Unit Size SF and %:	9,187.50 SF = 50%	Proposed Unit Size SF and %:	6,362.77 SF (34.6%)
13	Existing First Floor Unit Size:	4,300.71 SF	Proposed First Floor Unit Size:	3,424.68 (18.63%)
14	Existing Second Floor Unit Size	6,401SF PER TAX ROLL/ 7,742.72 sf PER SHADED DIAGRAM	Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval)	N/A
15			Proposed Second Floor Unit Size SF and % :	N/A
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	N/A

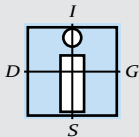
	Proposed lowest floor elevation	+11'-0" NGVD	Proposed Top of slab next higher floor	+25'-0" NGVD	
		Required	Existing	Proposed	Deficiencies
17	Height:	24'		26'-4" waiver	
18	Setbacks:				
19	Front First level:	30'-0"		30'-0"	0
20	Front Second level:			62'-3"	0
21	Side 1:	10'-6"		13'-2"	0
22	Side 2 or (facing street):	10'-6"		13'-2"	0
23	Rear:	26'-3"		44'-10"	0
	Accessory Structure Side 1:	7'-6"		N/A	
24	Accessory Structure Side 2 or (facing street) :			N/A	
25	Accessory Structure Rear:	n/a		N/A	
26	Sum of Side yard :	26'-3"		26'-4"	
27	Located within a Local Historic District?		NO		
28	Designated as an individual Historic Single Family Residence Site?		NO		
29	Determined to be Architecturally Significant?		NO		

Notes:

If not applicable write N/A

N/A

All other data information should be presented like the above format



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

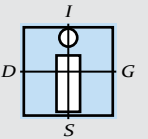
1546 Jackson Street
Hollywood, Florida 33020
AA26001758
WWW.INSITEDESIGNGROUP.COM
ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822
PROJECT:
AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

ZONING
INFORMATION

DATE:
05-16-2022

ITEM NUMBER:
12-D



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

**CONTEXT
LOCATION
PLAN**

DATE:

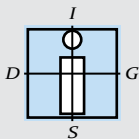
05-16-2022

ITEM NUMBER:

12-E



BISCAYNE BAY



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

**CONTEXT
LOCATION
PLAN**

DATE:

05-16-2022

ITEM NUMBER:

12-E

CURRENT CONDITIONS AS OF
NOVEMBER 12, 2020

YEAR BUILT:
BUILT IN 1938

ELEVATION HEIGHT:
8.43' NGVD



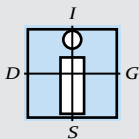
205 CURRENT FRONT



205 CURRENT FRONT



205 CURRENT FRONT



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES
1546 Jackson Street
Hollywood, Florida 33020
AA26001758
WWW.INSITEDESIGNGROUP.COM
ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

**CURRENT
PHOTOGRAPHS OF
PROJECT SITE**

DATE:

05-16-2022

ITEM NUMBER:

12-F



205 CURRENT REAR



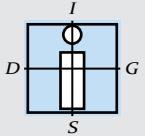
205 CURRENT REAR



205 CURRENT REAR



205 CURRENT REAR



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758
WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

**CURRENT
PHOTOGRAPHS OF
PROJECT SITE**

ITEM NUMBER:

12-F



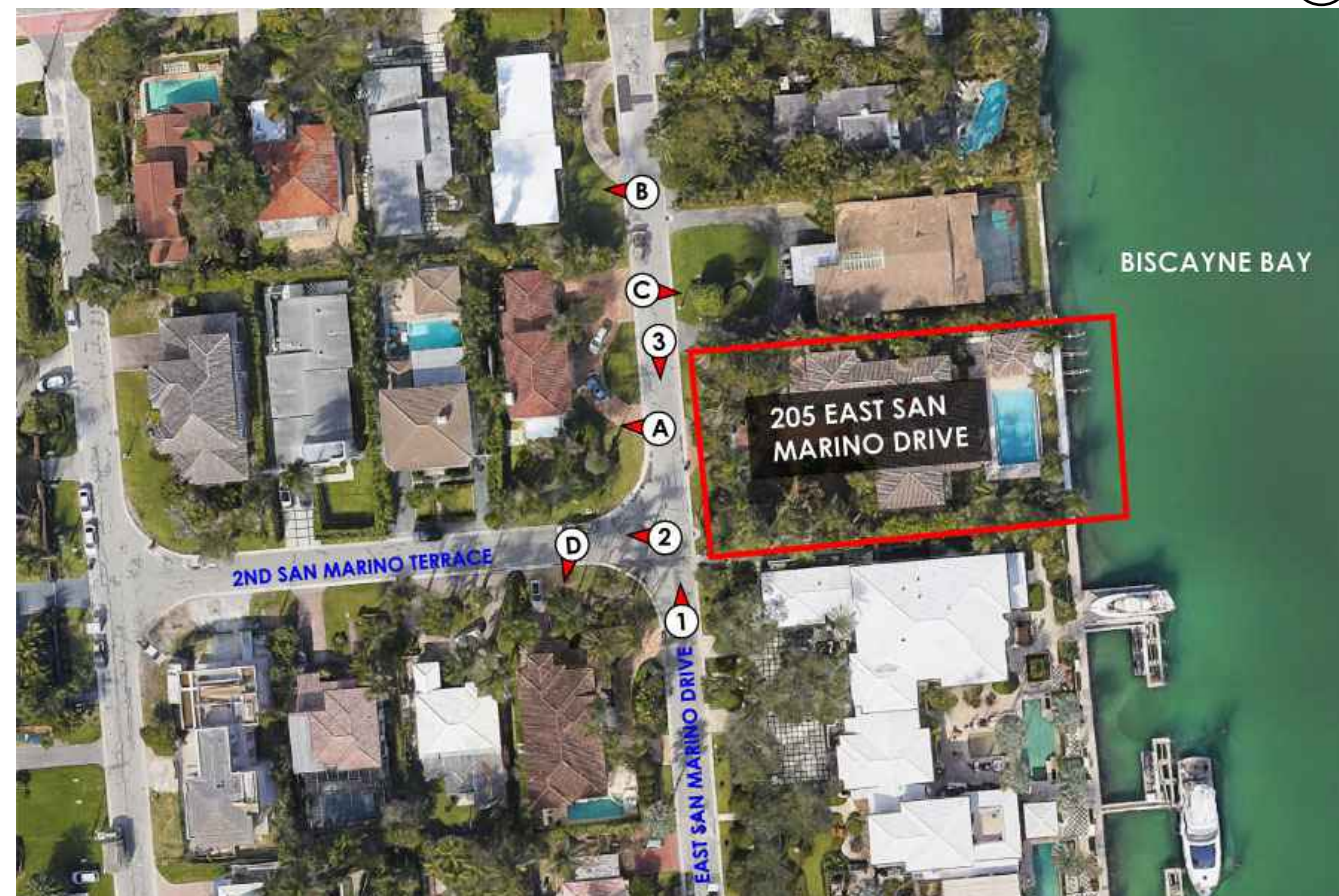
①



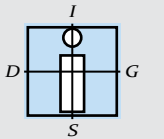
②



③



KEY DIRECTIONAL PLAN



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

Images Dated
11-12-2020

**CURRENT
PHOTOGRAPHS
SURROUNDING
PROPERTIES**

DATE:

05-16-2022

ITEM NUMBER:

12-G



(A)



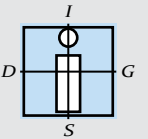
(B)



(C)



(D)



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

Images Dated
11-12-2020

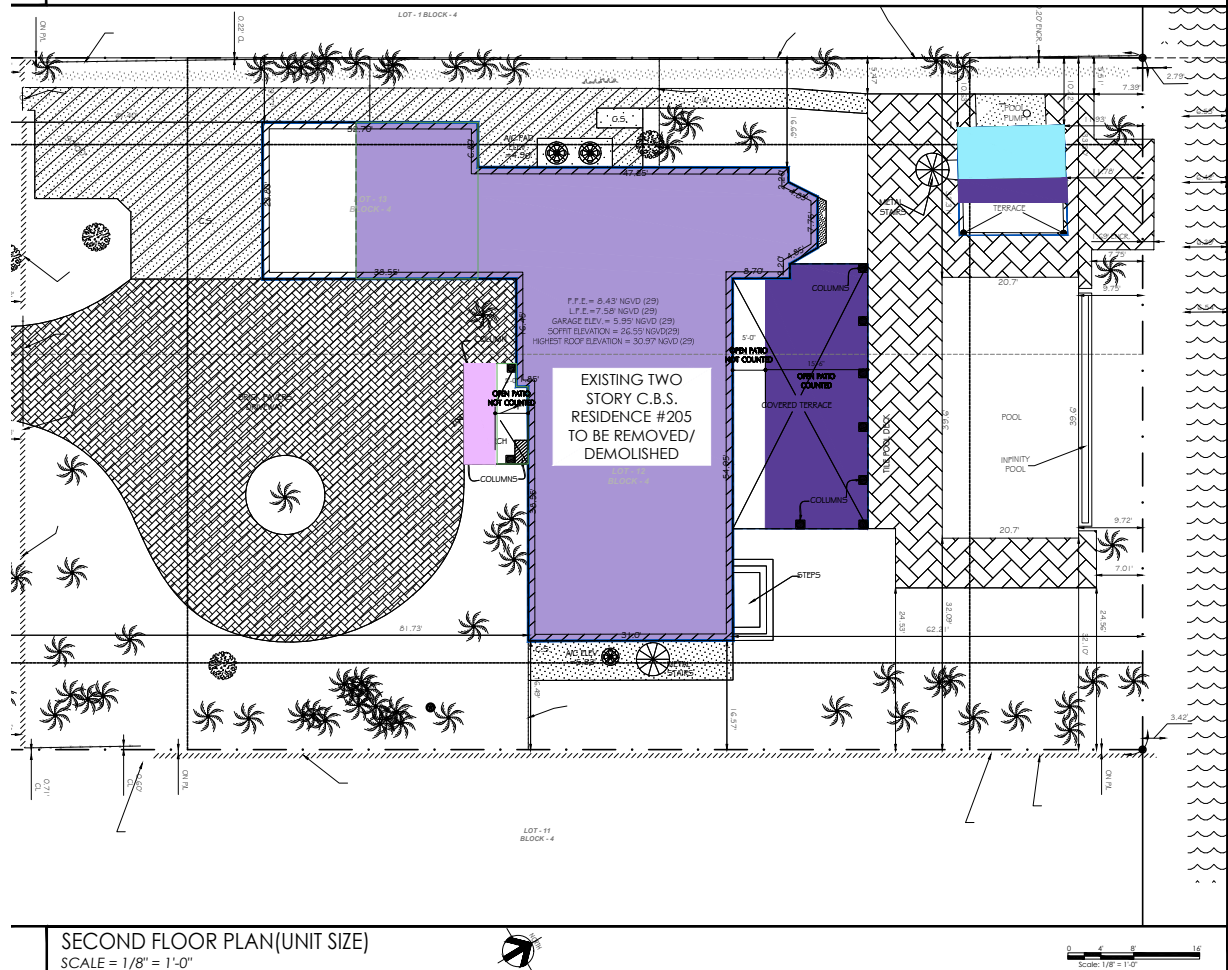
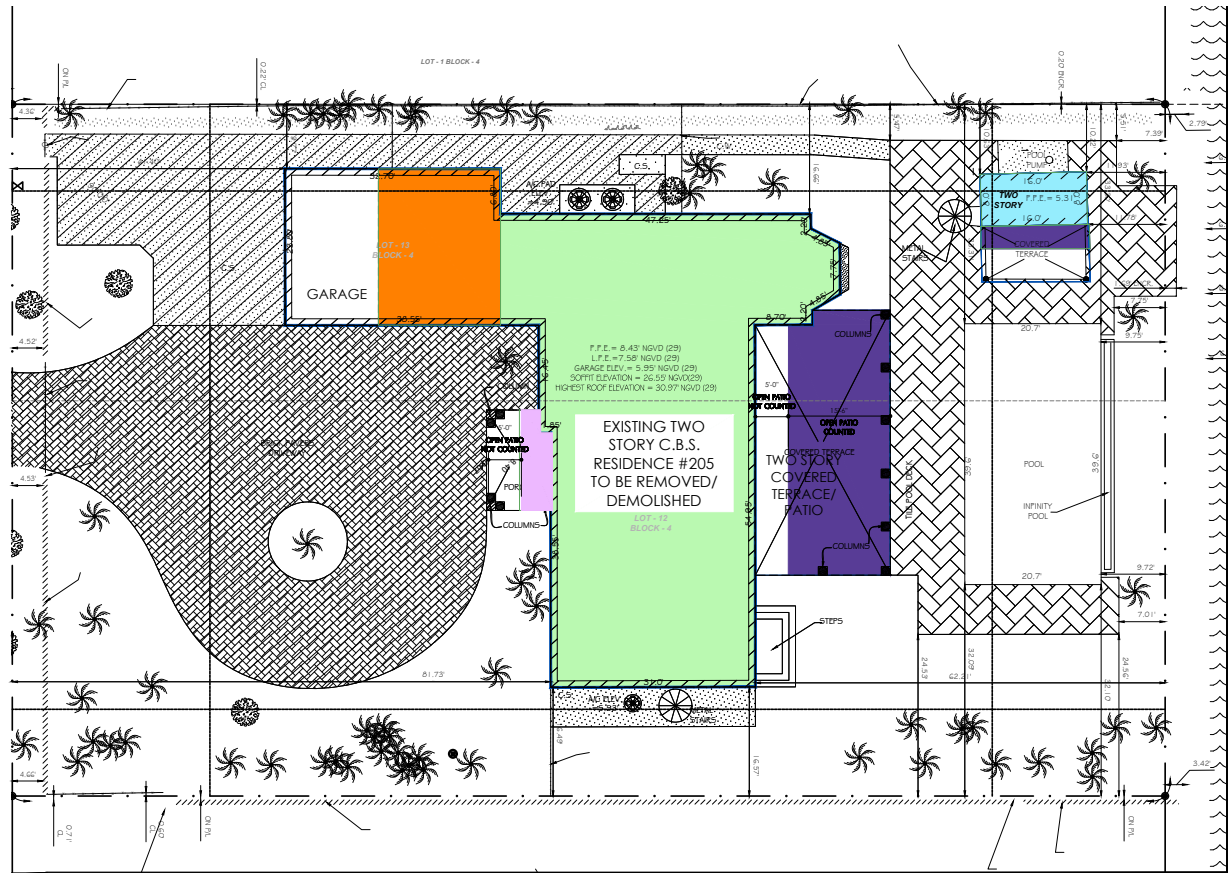
**CURRENT
PHOTOGRAPHS
SURROUNDING
PROPERTIES**

DATE:

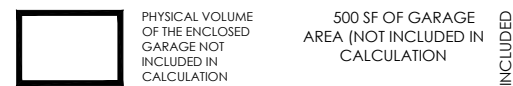
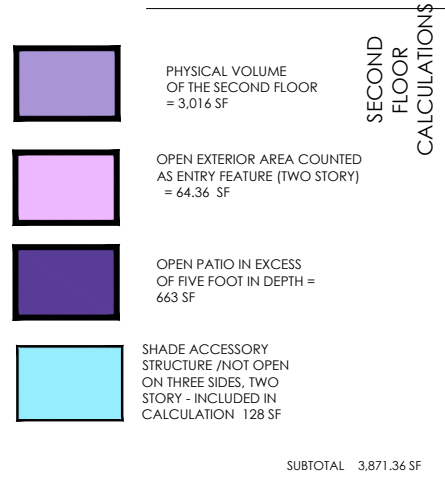
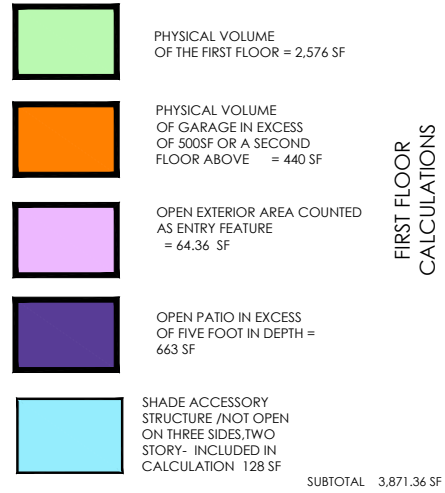
05-16-2022

ITEM NUMBER:

12-G

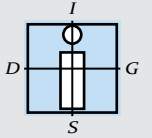


EXISTING FAR CALCULATIONS BASED ON AVAILABLE INFORMATION



EXISTING FAR
3,871.36 SF FIRST FLOOR
3,871.36 SF SECOND FLOOR
7,742.72 SF /18,375 SF =
(42.14%)

AREAS NOT INCLUDED



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

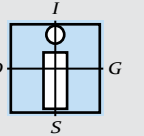
**EXISTING
UNIT SIZE
DIAGRAMS
1ST & 2ND FLOOR**

DATE:

05-16-2022

ITEM NUMBER:

12-H



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

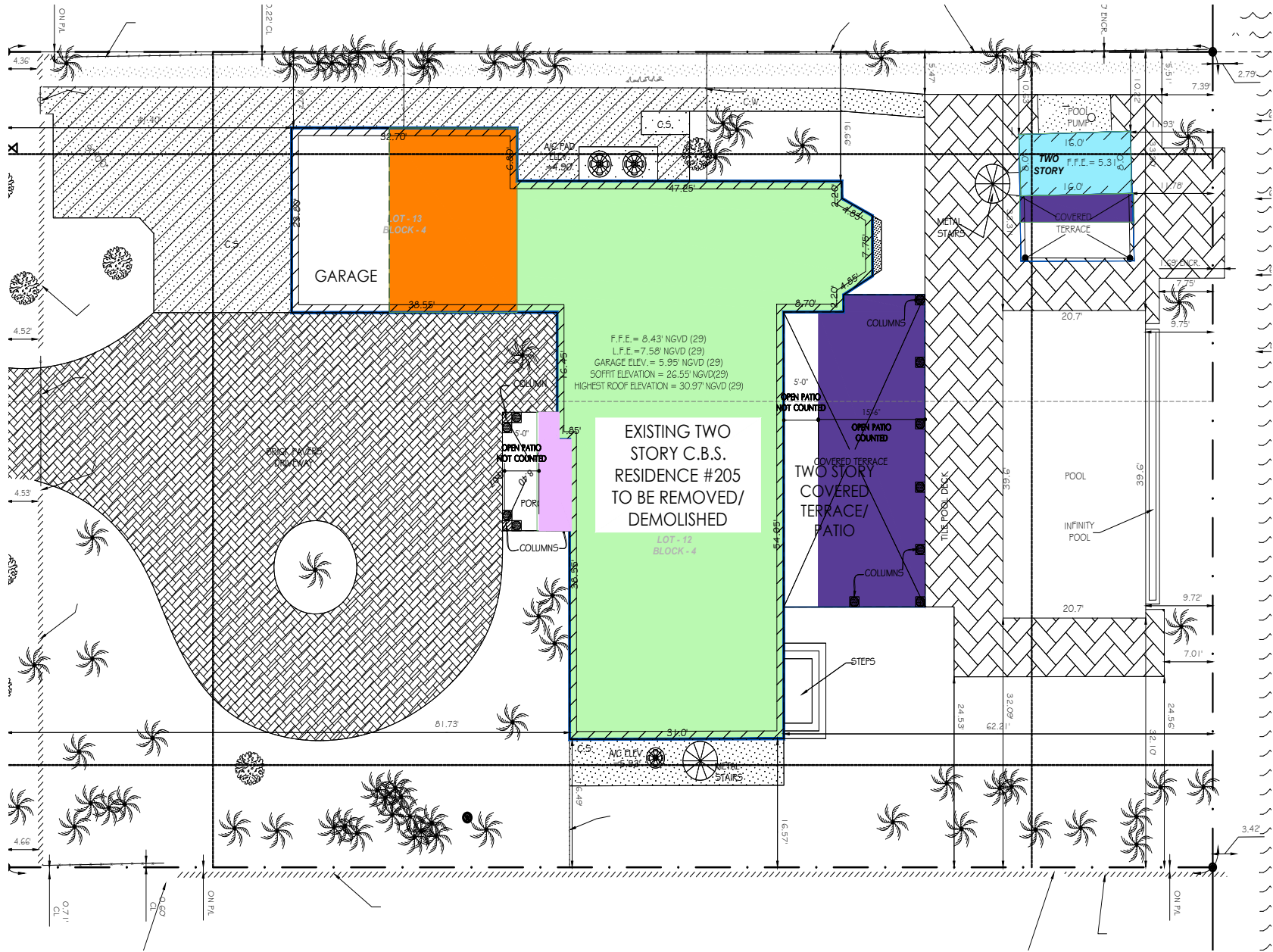
**EXISTING
LOT COVERAGE
SHADED
DIAGRAMS**

DATE:

05-16-2022

ITEM NUMBER:

12-H

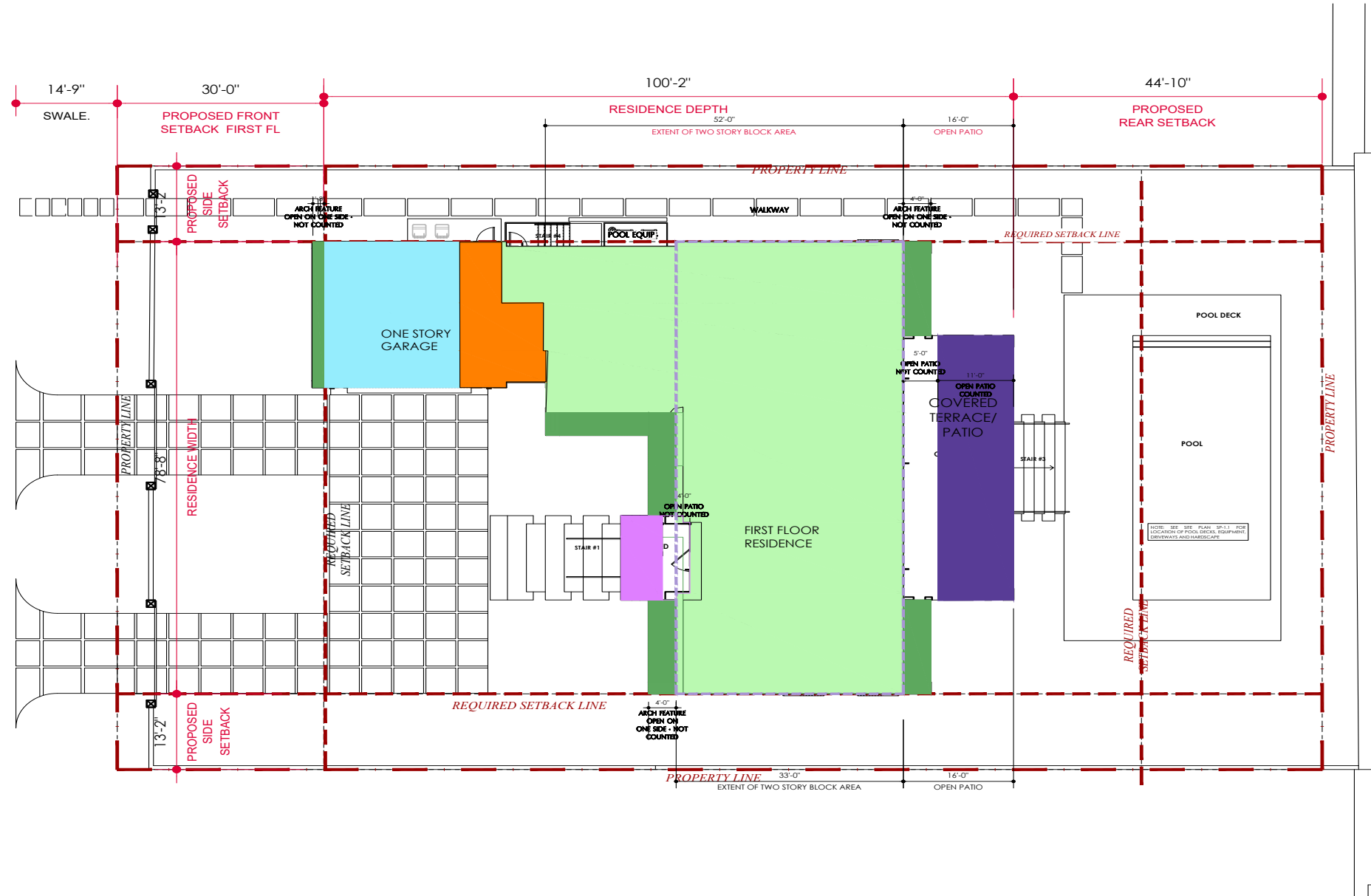


**EXISTING FAR CALCULATIONS
BASED ON AVAILABLE
INFORMATION**

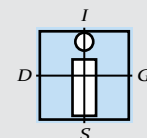
	PHYSICAL VOLUME OF THE FIRST FLOOR = 2,576 SF
	PHYSICAL VOLUME OF GARAGE IN EXCESS OF 500SF OR A SECOND FLOOR ABOVE = 440 SF
	OPEN EXTERIOR AREA COUNTED AS ENTRY FEATURE = 64.36 SF
	OPEN PATIO IN EXCESS OF FIVE FOOT IN DEPTH = 663 SF
	SHADE ACCESSORY STRUCTURE /NOT OPEN ON THREE SIDES.TWO STORY- INCLUDED IN CALCULATION 128 SF
SUBTOTAL 3,871.36 SF	

FIRST FLOOR
CALCULATIONS

EXISTING FAR
3,871.36 SF FIRST FLOOR
3,871.36 SF SECOND FLOOR
7,742.72 SF /18,375 SF =
(42.14%)



FIRST FLOOR LOT COVERAGE CALCULATIONS		
<div></div>	PHYSICAL VOLUME OF THE FIRST FLOOR = 3,185.28 SF	LOT COVERAGE 4,019.44 SF / 18,375 SF LOT = 22.87%
<div></div>	PHYSICAL VOLUME OF GARAGE IN EXCESS OF 500SF = 239.4 SF	
<div></div>	OPEN EXTERIOR AREA COUNTED AS ENTRY FEATURE = 88.01 SF	
<div></div>	OPEN PATIO IN EXCESS OF FIVE FOOT IN DEPTH = 506.75 SF	
	SUBTOTAL 4,019.44 SF	
<div></div>	ARCH FEATURE OPEN ON ONE SIDE/ NOT COUNTED = 503.09 SF	500 SF OF GARAGE AREA
<div></div>	PHYSICAL VOLUME OF THE ENCLOSED GARAGE NOT INCLUDED IN LOT COVERAGE	
<div></div>	AREAS NOT COUNTED	



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

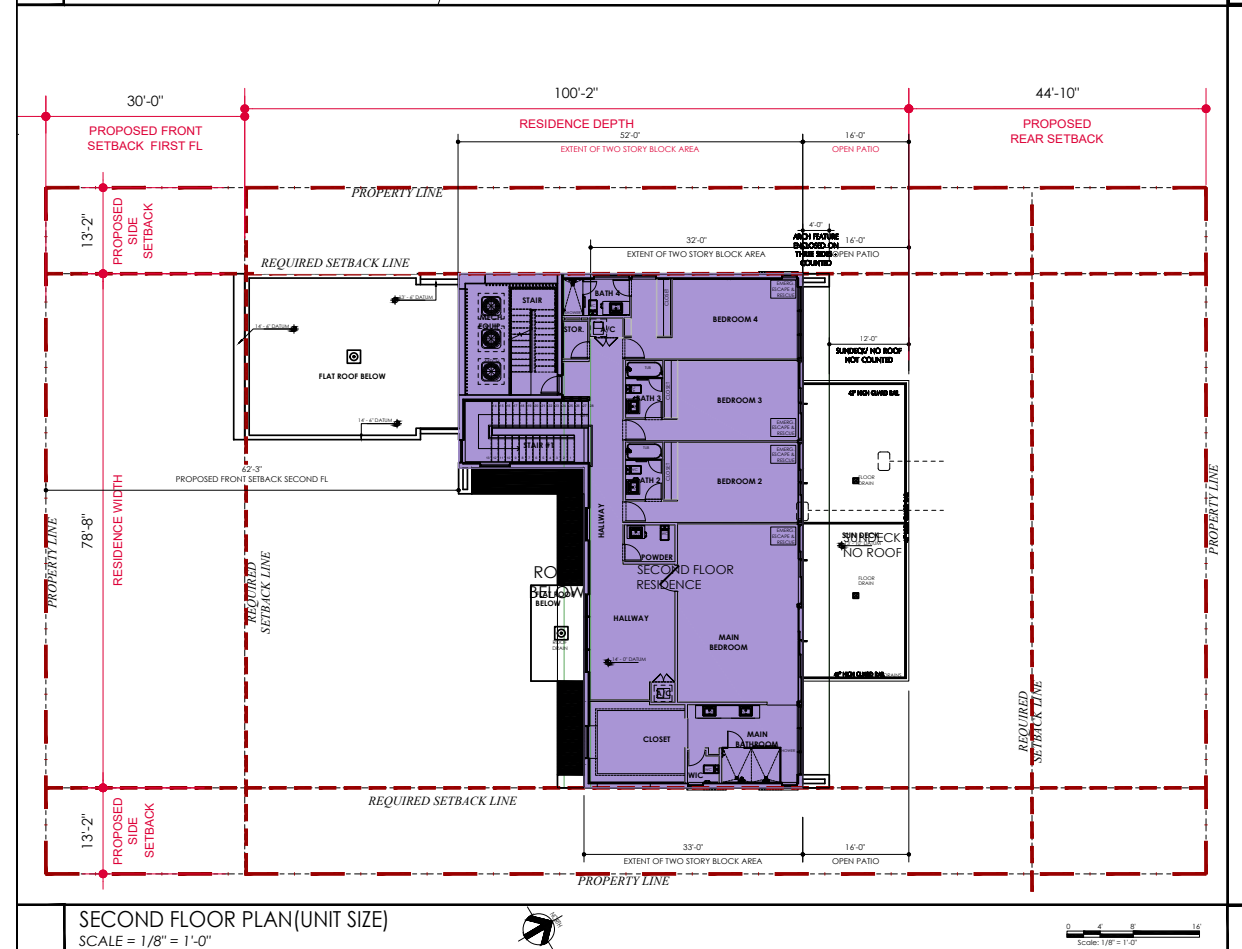
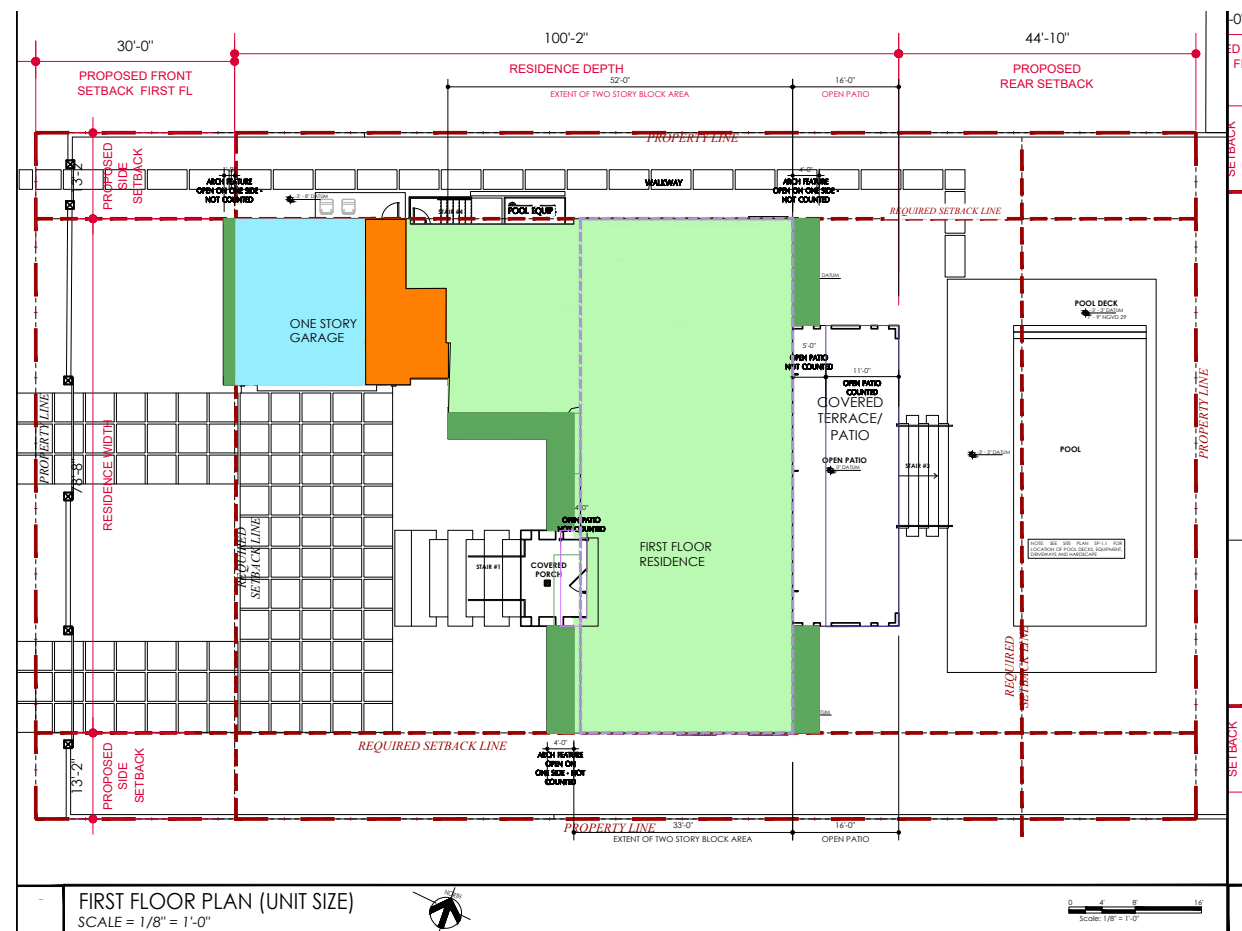
**PROPOSED
LOT COVERAGE
SHADED
DIAGRAMS**

DATE:

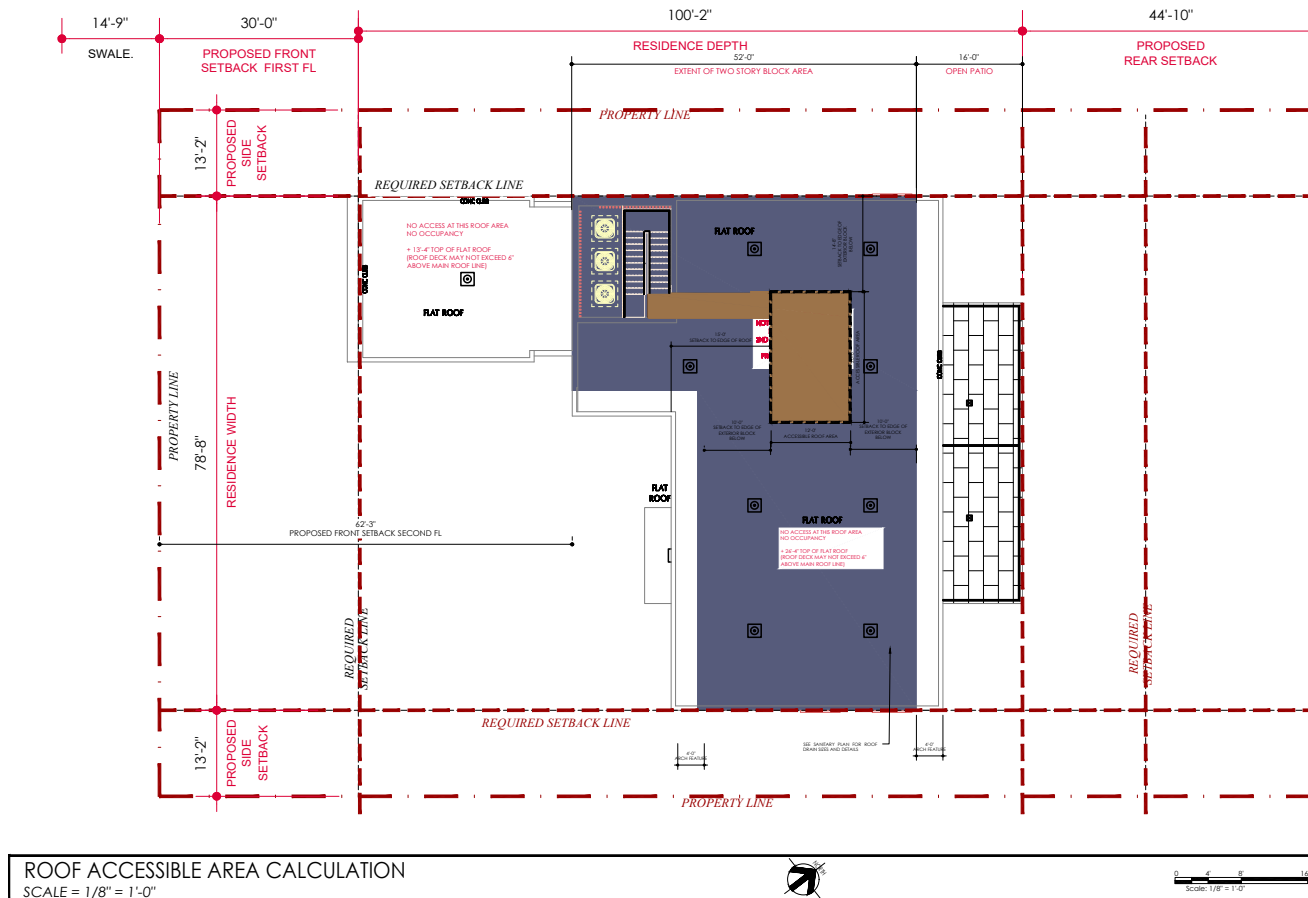
05-16-2022

ITEM NUMBER:

12-I



UNIT SIZE CALCULATIONS		
FIRST FLOOR CALCULATIONS		AREAS NOT INCLUDED
	PHYSICAL VOLUME OF THE FIRST FLOOR = 3,185.28 SF	
	PHYSICAL VOLUME OF GARAGE IN EXCESS OF 500SF = 239.4 SF	
	OPEN EXTERIOR AREA COUNTED AS ENTRY FEATURE = 55.12 SF	
	OPEN PATIO IN EXCESS OF FIVE FOOT IN DEPTH = 230 SF	
	FIRST FL ARCH FEATURE OPEN ON ONE SIDE/ NOT COUNTED = 503.09 SF	AREAS NOT INCLUDED
	PHYSICAL VOLUME OF THE SECOND FLOOR = 3,158 SF	
	SECOND FL ARCH FEATURE OPEN ON ONE SIDE/ NOT COUNTED = 552.51 SF	
	PHYSICAL VOLUME OF THE ENCLOSED GARAGE NOT INCLUDED IN CALCULATION	
	ROOF SHADE ACCESSORY STRUCTURE /OPEN ON THREE SIDES, LESS THAN 2% OF LOT- NOT INCLUDED IN CALCULATION	
SUBTOTAL 3,424.68 SF		
SUBTOTAL 3,158 SF		
UNIT SIZE		3,204.77 SF FIRST FLOOR 3,158 SF SECOND FLOOR 6,362.77 SF /18,375 SF = (34.6%)



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758
WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

PROPOSED UNIT SIZE DIAGRAMS 1ST & 2ND FLOOR

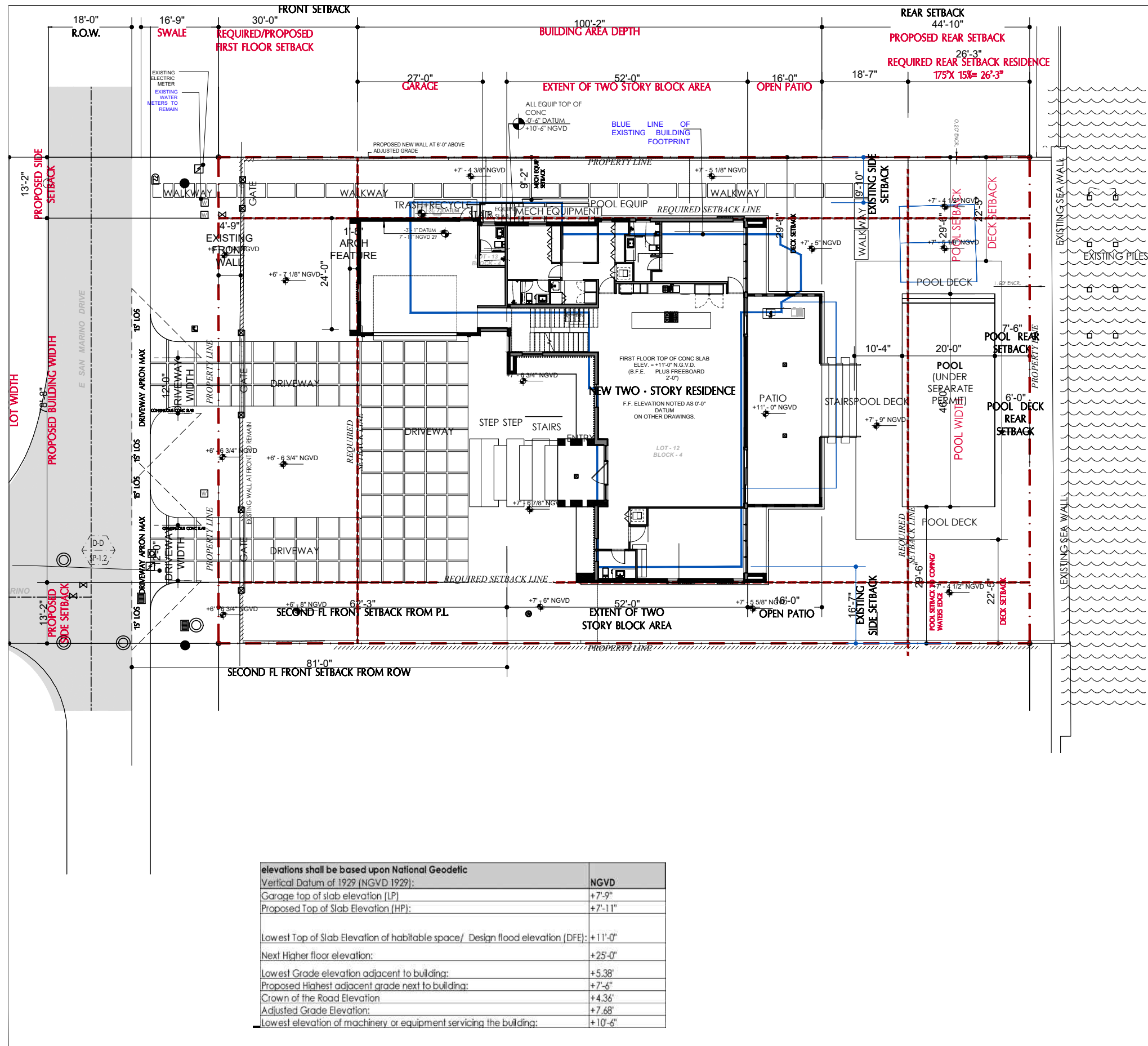
DATE:

05-16-2022

ITEM NUMBER:

12-J

PAGE 13



PROJECT SHALL COMPLY WITH URBAN HEAT ISLAND ORDINANCE Sec. 142- 1132. g) Driveways. (4) Driveways and parking areas that are open to the sky within any required yard shall be composed of porous pavement or shall have a high albedo surface consisting of a durable material or sealant, as defined in section 114- 1 of this Code. (5) Driveways and parking areas composed of asphalt that does not have a high albedo surface, as defined in section 114- 1 of this Code, shall be prohibited.

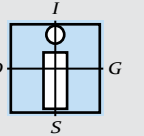
DRB 22-0822
PROJECT:
AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

SITE PLAN

DATE:
05-16-2022

ITEM NUMBER:

12-K



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758
WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

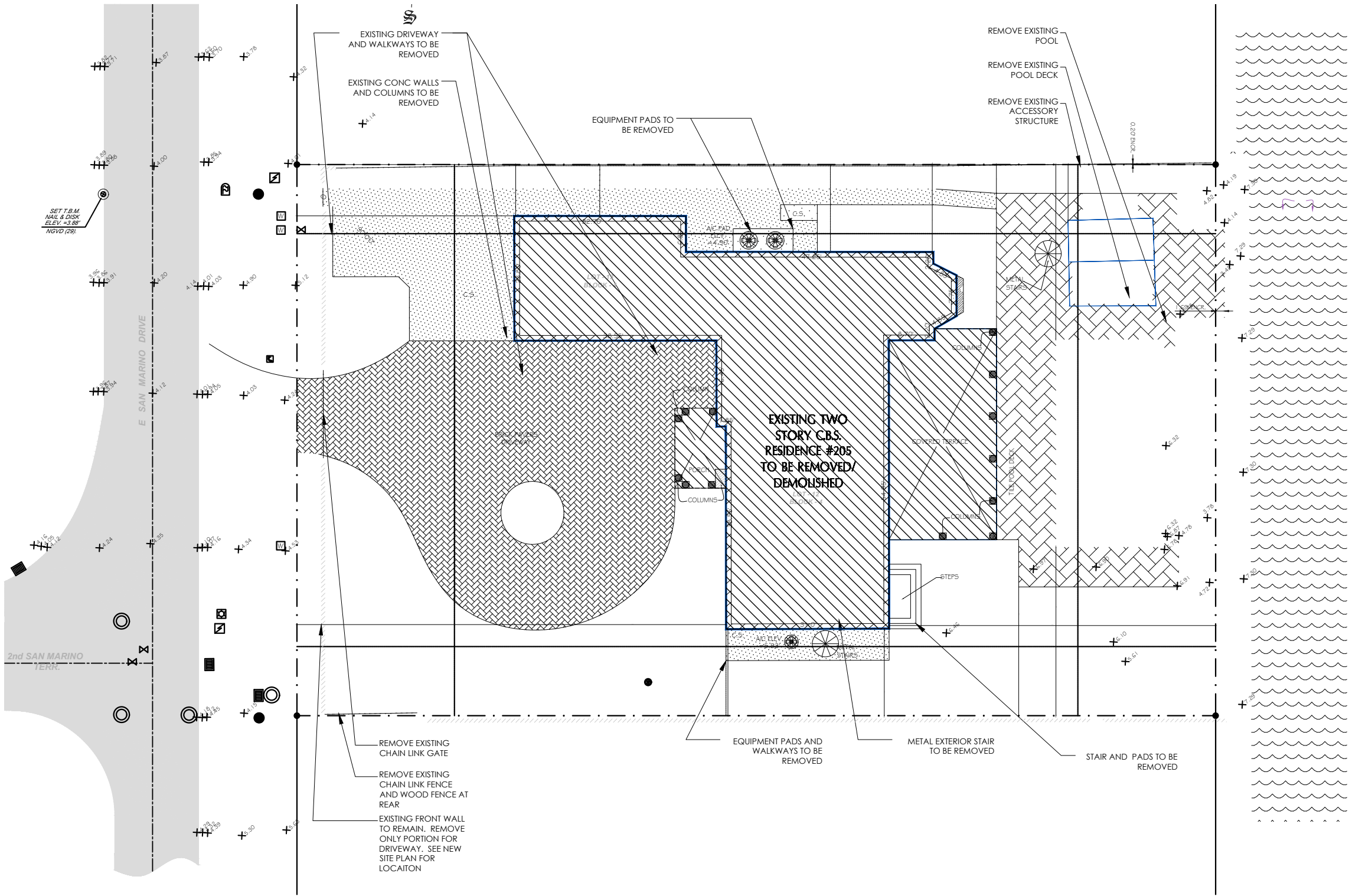
DEMO PLANS

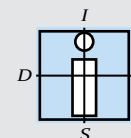
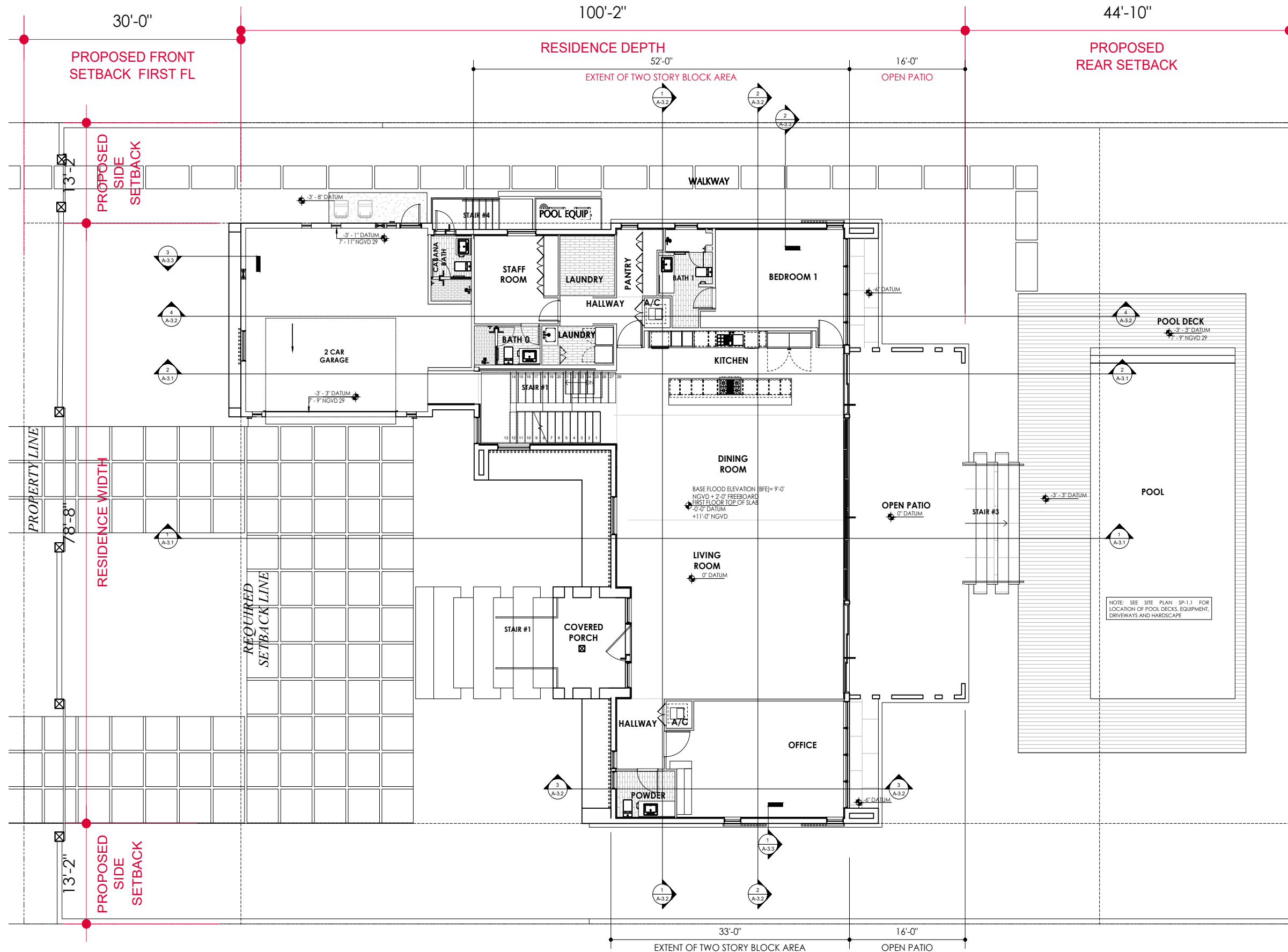
DATE:

05-16-2022

ITEM NUMBER:

12-L





IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

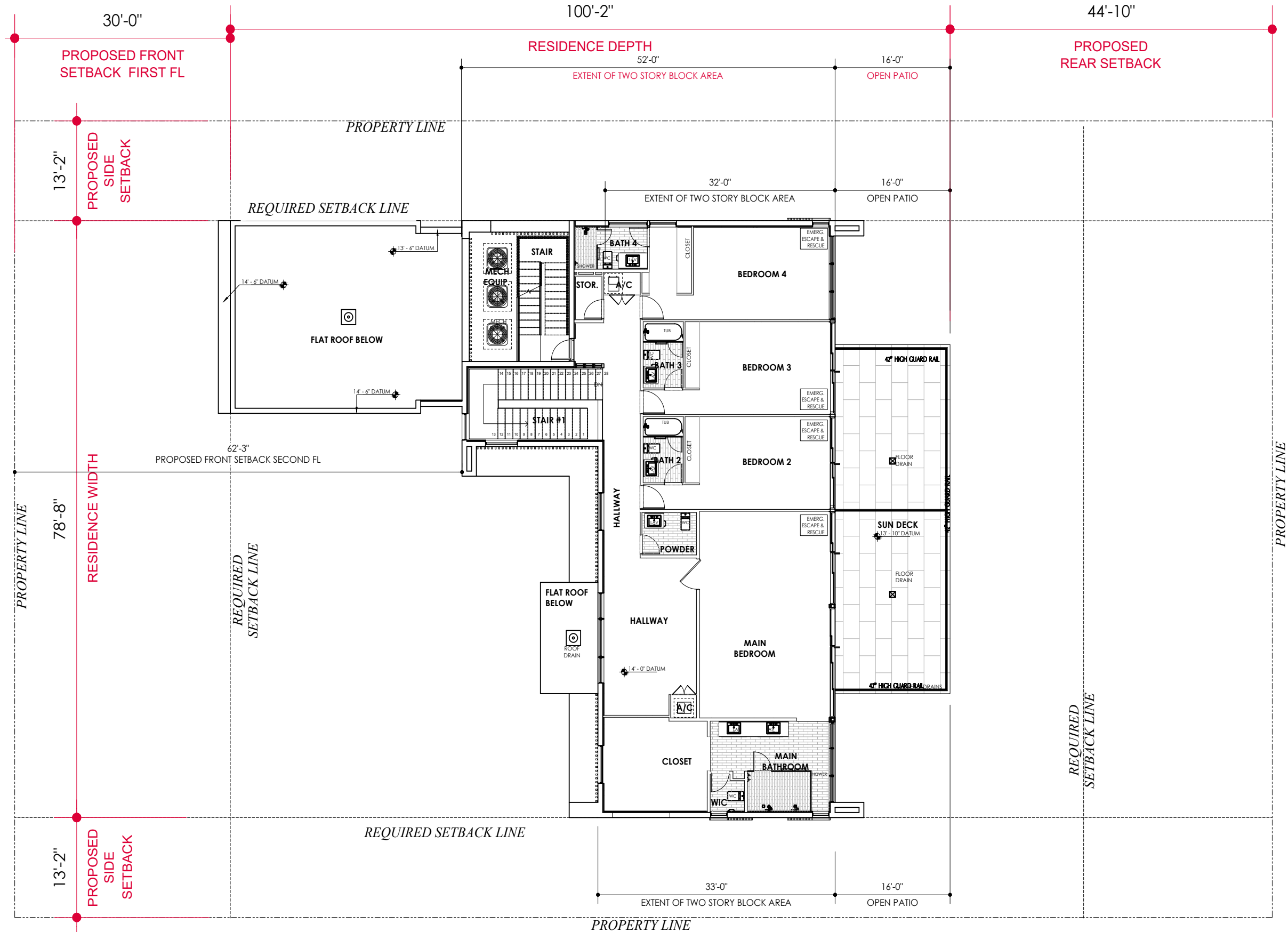
**PROPOSED
1ST FLOOR PLAN**

DATE:

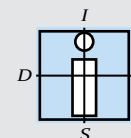
05-16-2022

ITEM NUMBER:

12-M



1 | SECOND FLOOR PLAN
SCALE = 3/16" = 1'-0"



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

**PROPOSED
2ND FLOOR PLAN**

DATE:

05-16-2022

ITEM NUMBER:

12-M



1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

PROPOSED ROOF PLAN

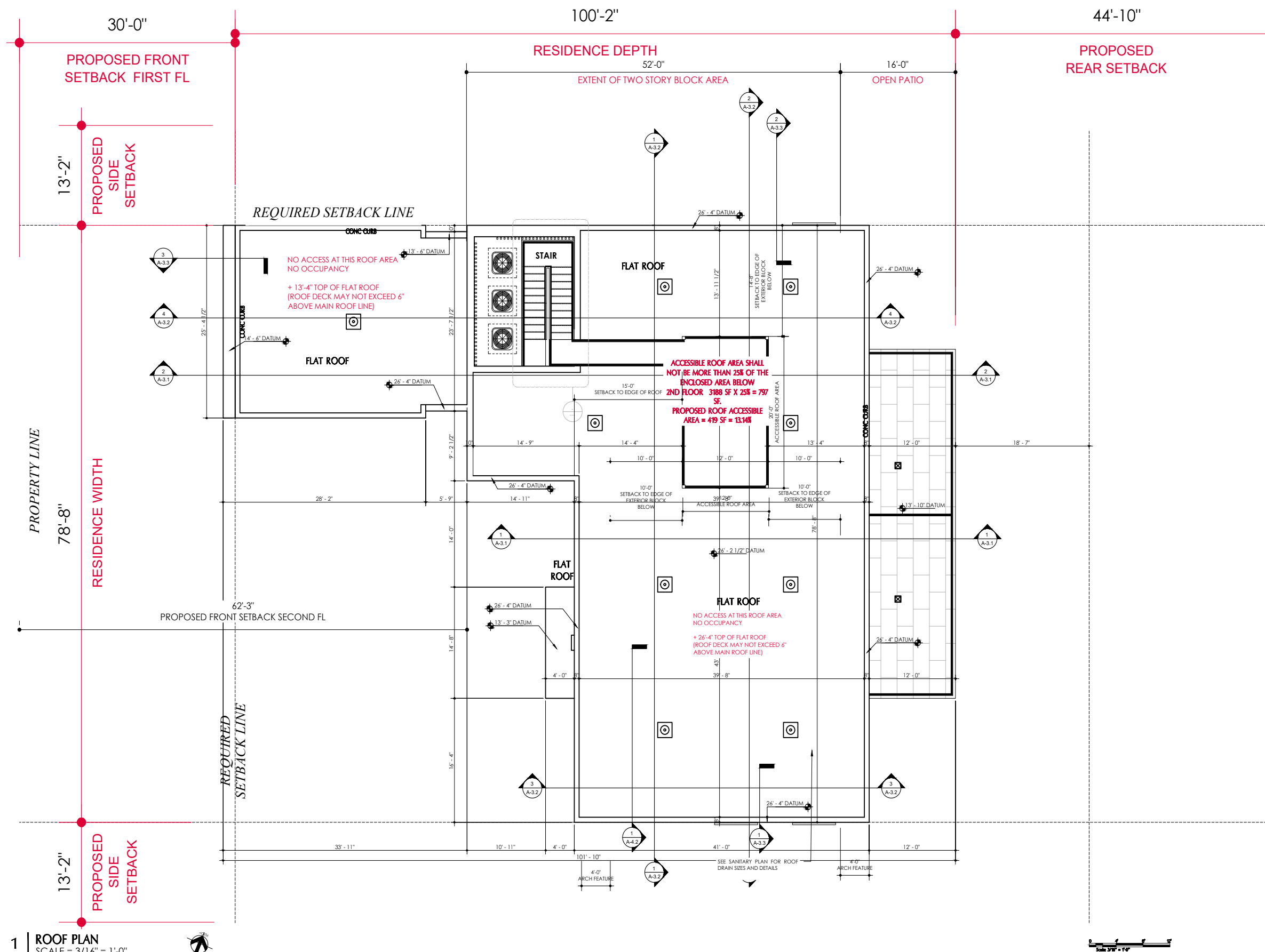
DATE:

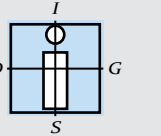
05-16-2022

ITEM NUMBER:

12-M

PAGE
18





IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

**PROPOSED
ELEVATIONS**

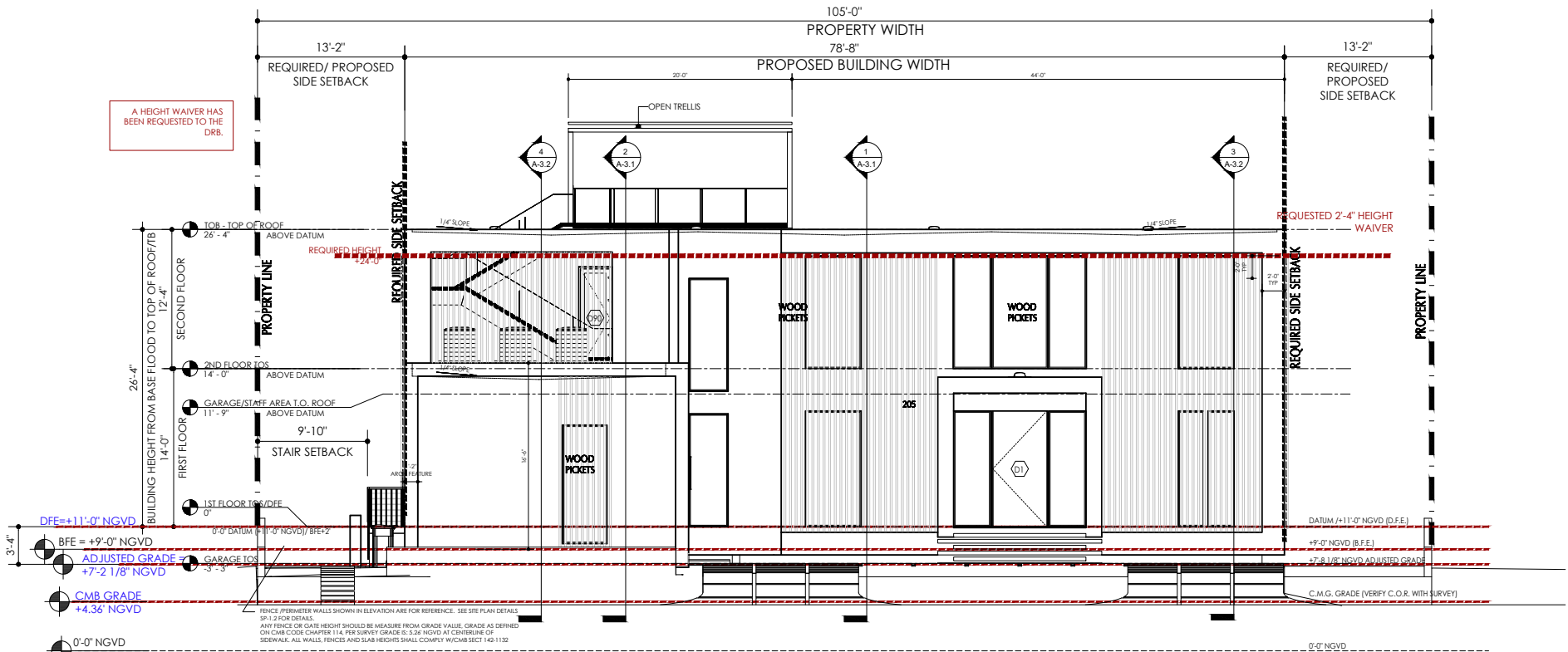
DATE:

05-16-2022

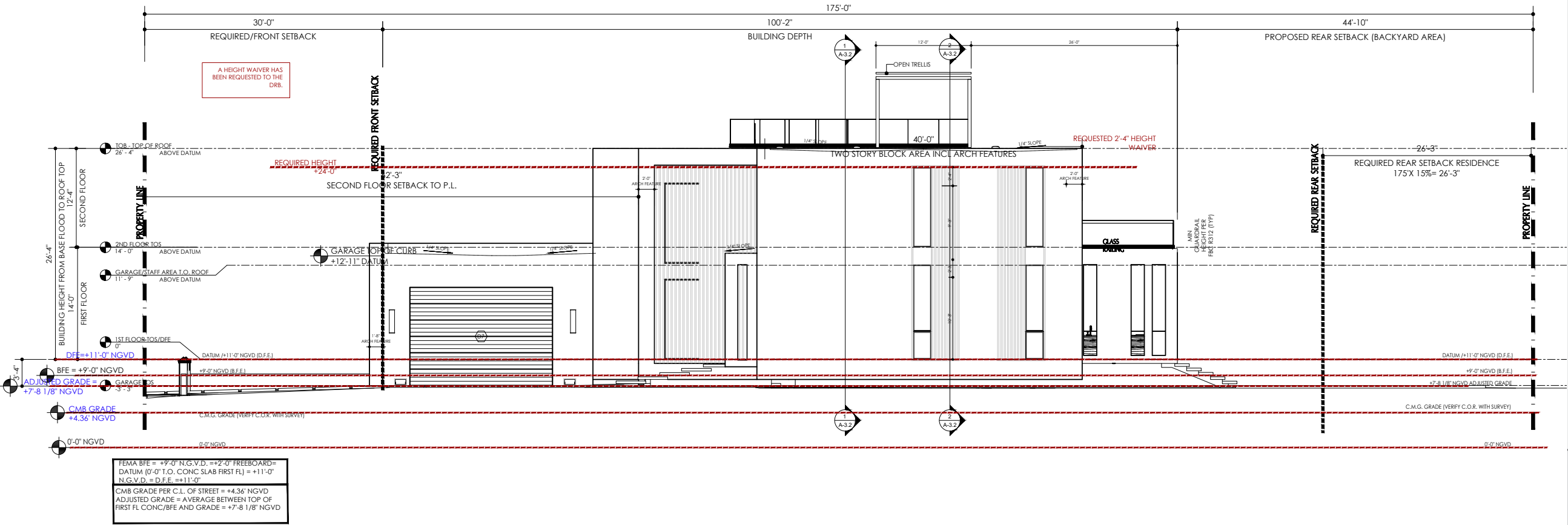
ITEM NUMBER:

12-N

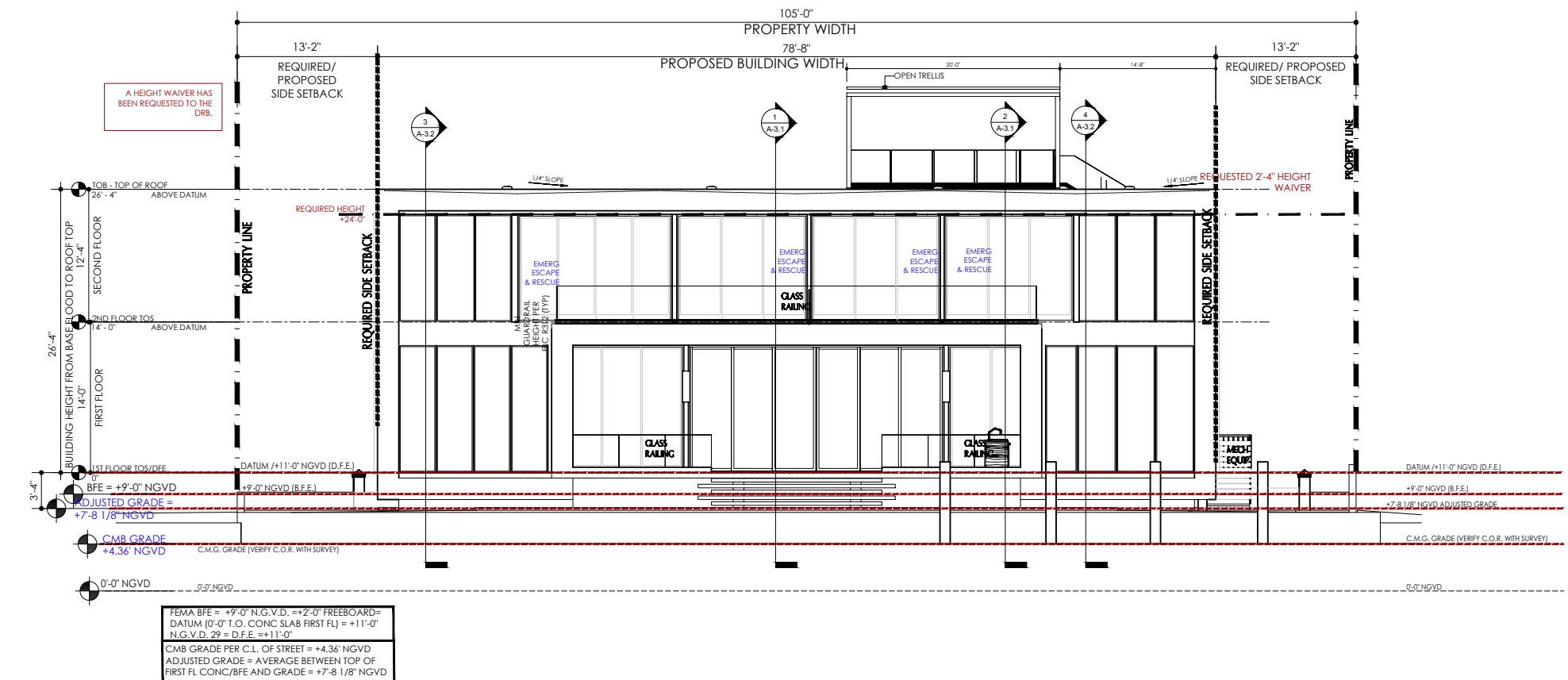
**PAGE
19**



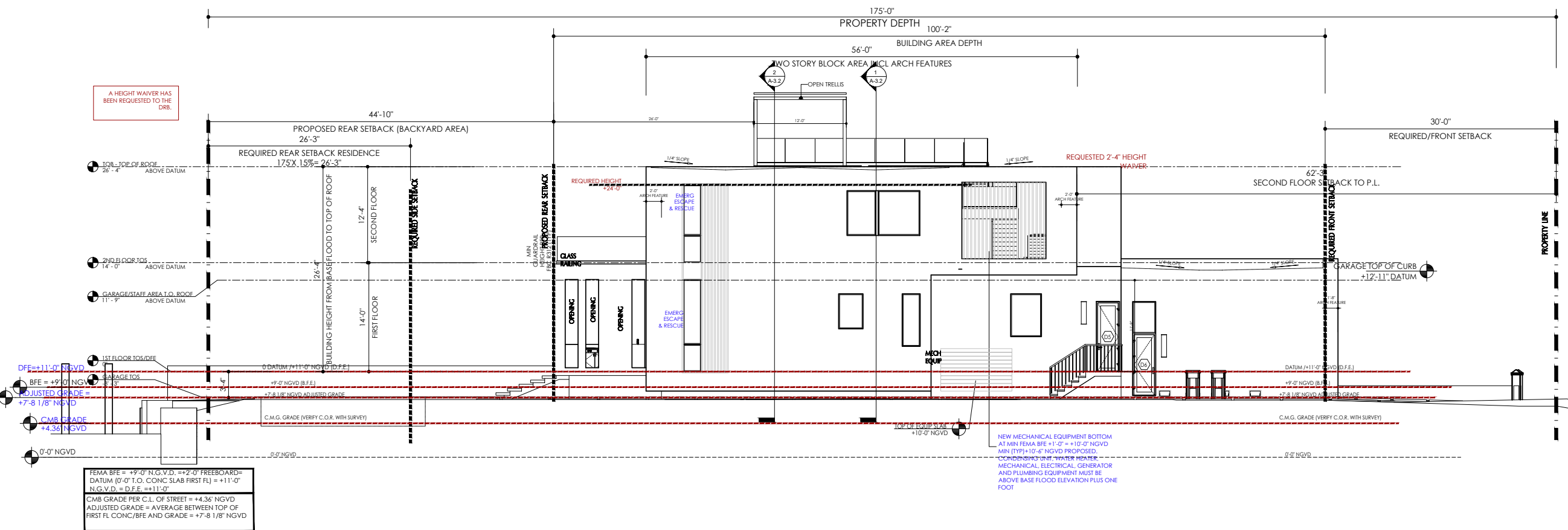
FRONT ELEVATION
SCALE = 3/16" = 1'-0"



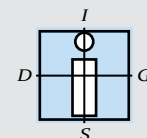
SIDE ELEVATION (EAST)
SCALE = 3/16" = 1'-0"



REAR ELEVATIONS
SCALE = 3/16" = 1'-0"



SIDE ELEVATION (WEST)
SCALE = 3/16" = 1'-0"



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

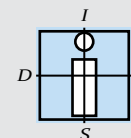
**PROPOSED
ELEVATIONS**

DATE:

05-16-2022

ITEM NUMBER:

12-N



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020
AA26001758
WWW.INSITEDESIGNGROUP.COM
ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

**PROPOSED
MATERIALS &
FINISHES**

DATE:

05-16-2022

ITEM NUMBER:

12-N



STUCCO: SW 7570 EGRET WHITE

ES WINDOWS ALUMN IN BRONZE
COLOR

STUCCO: SW 7047 PORPOISE

RESYSTA TRUGRAIN POLYMER
COMPOST - STAINED C-29

CONCRETE DRIVEWAY

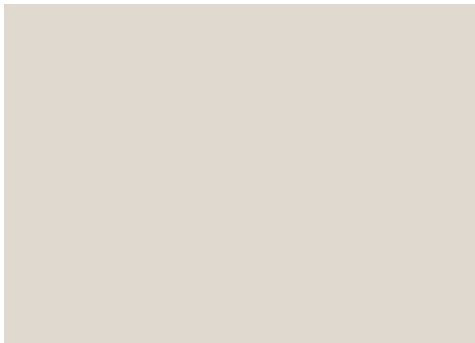
STUCCO

EXT. WINDOWS & DOORS

STUCCO

EXT. VENEER

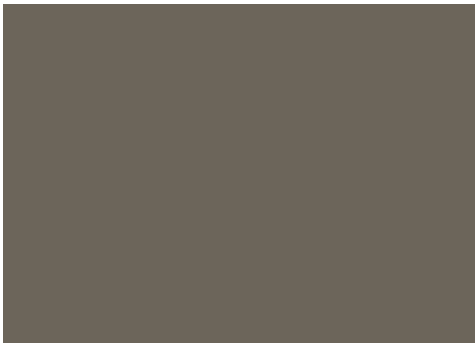
DRIVEWAY



STUCCO: SW 7570 EGRET WHITE



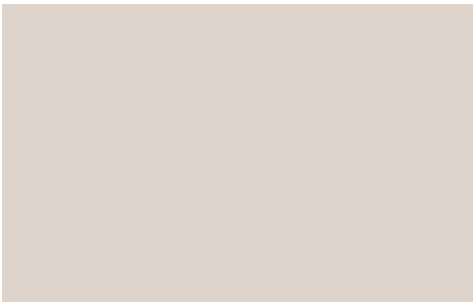
ES WINDOWS ALUMN IN BRONZE
COLOR



STUCCO: SW 7047 PORPOISE



RESYSTA TRUGRAIN POLYMER
COMPOSIT - STAINED C-29



CONCRETE DRIVEWAY TO
COMPLY WITH URBAN HEAT
ISLAND ORDINANCE



1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

PROPOSED BUILDING SECTION

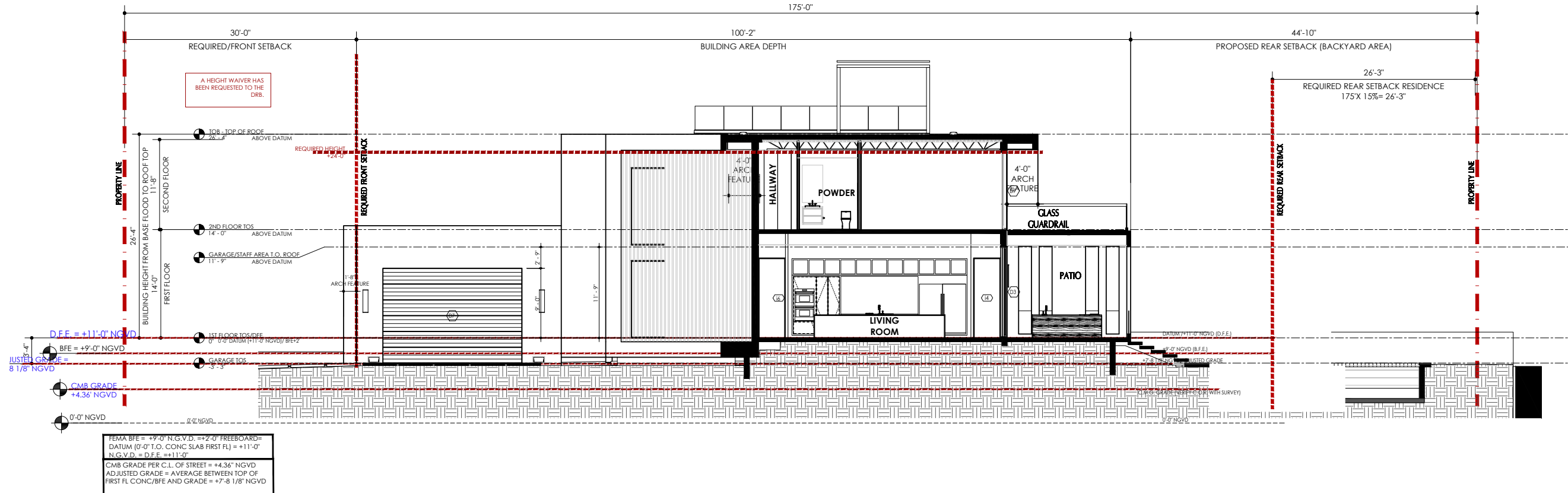
DATE:

05-16-2022

ITEM NUMBER:

12-O

PAGE
22





1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

PROPOSED BUILDING SECTION

DATE:

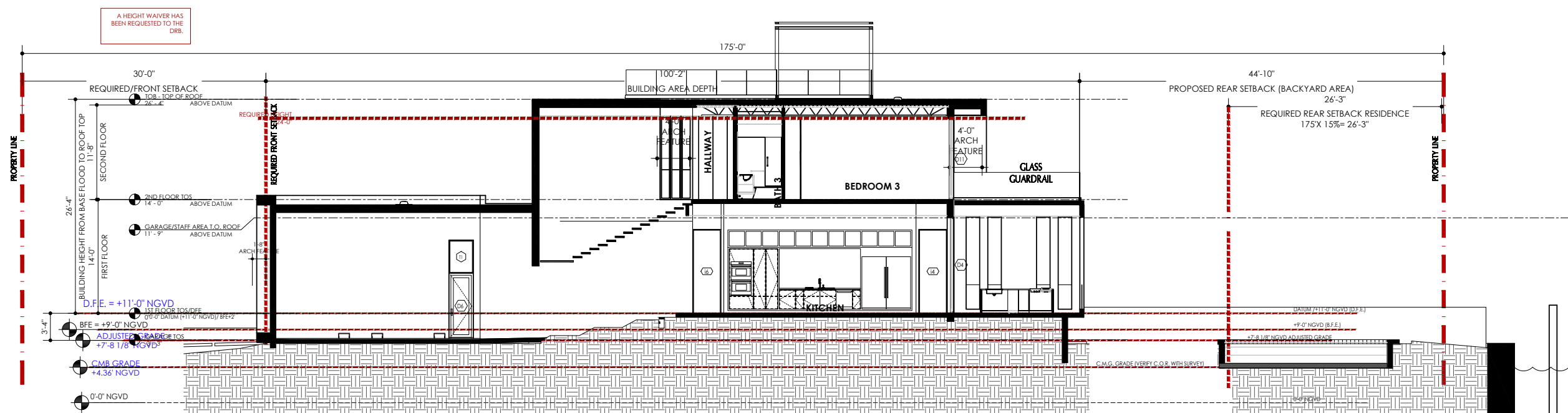
05-16-2022

ITEM NUMBER:

12-O

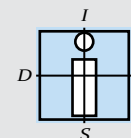
PAGE
23

SECTION LOCATION PLAN



B | **BUILDING SECTION**
SCALE = 3/16" = 1'-0"





IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020
AA26001758
WWW.INSITEDESIGNGROUP.COM
ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

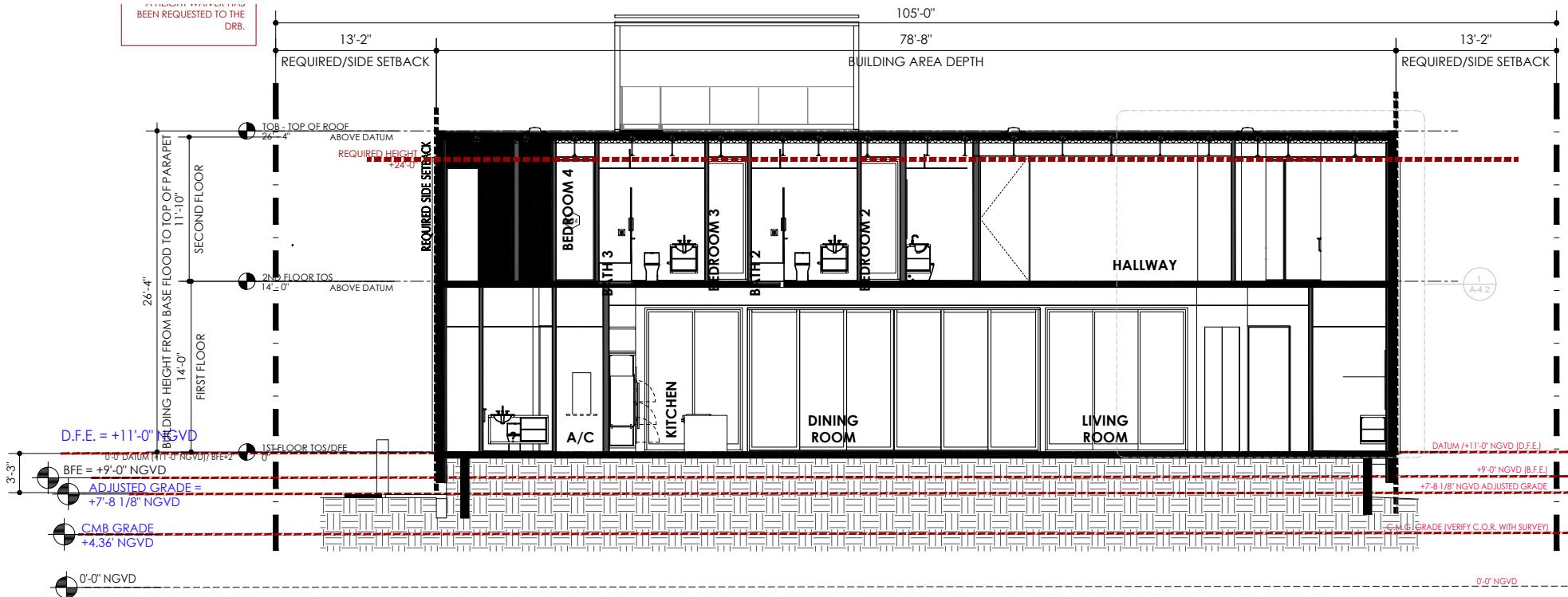
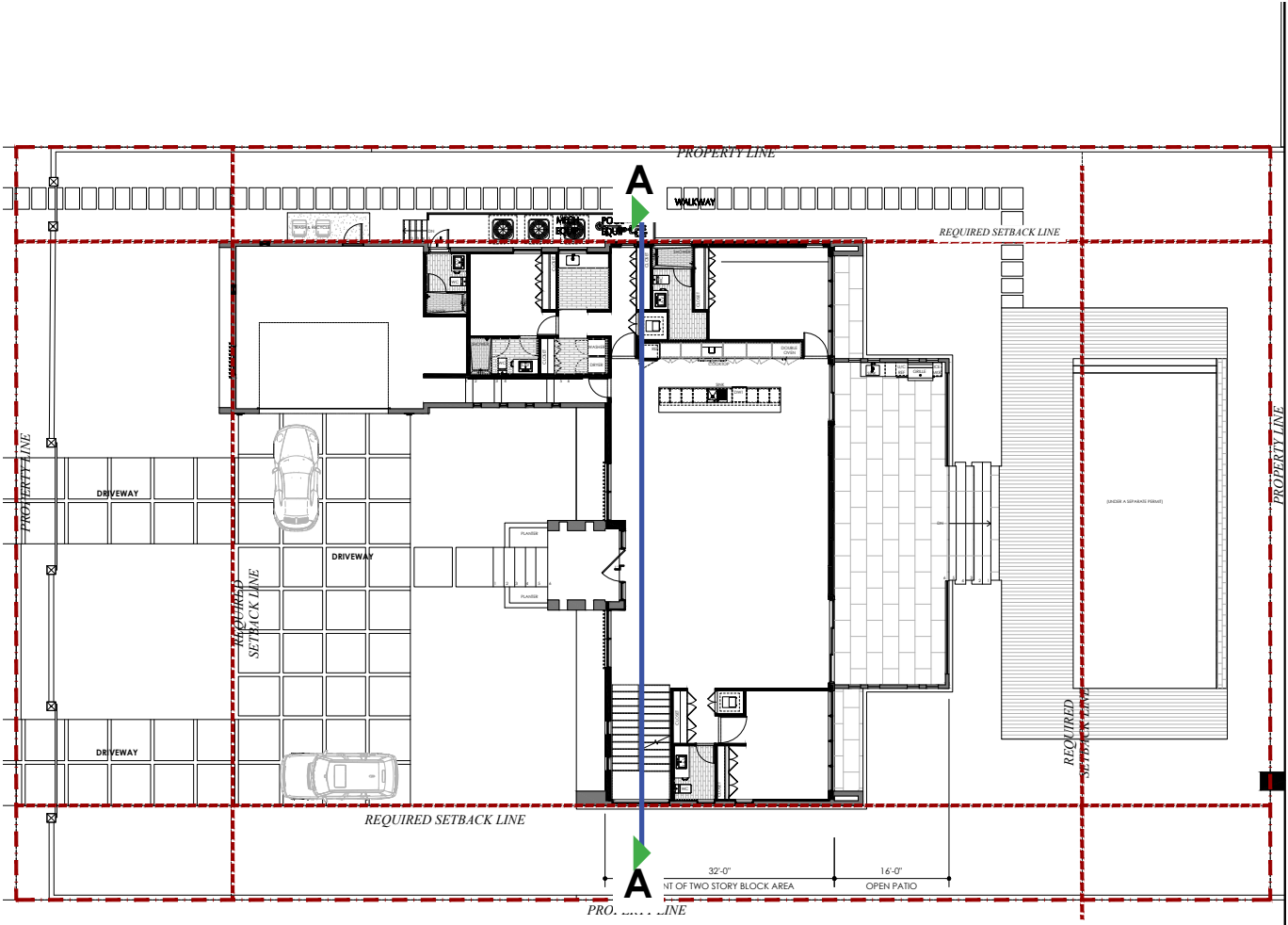
PROJECT:
AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

**PROPOSED
BUILDING SECTION**

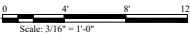
DATE:
05-16-2022

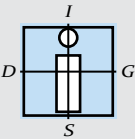
ITEM NUMBER:
12-O

SECTION LOCATION PLAN



A | BUILDING SECTION
SCALE = 3/16" = 1'-0"





IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

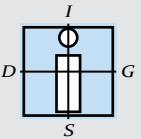
**PROPOSED
FRONT
ELEVATION
RENDERING**

DATE:

05-16-2022

ITEM NUMBER:

12-P



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

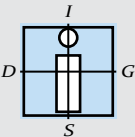
**PROPOSED
FRONT
ELEVATION
RENDERING**

DATE:

05-16-2022

ITEM NUMBER:

12-P



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

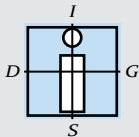
**PROPOSED
FRONT
ELEVATION
RENDERING**

DATE:

05-16-2022

ITEM NUMBER:

12-P



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

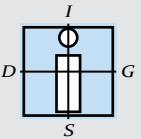
**PROPOSED
FRONT
ELEVATION
RENDERING**

DATE:

05-16-2022

ITEM NUMBER:

12-P



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758
WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

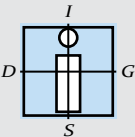
**PROPOSED
SOUTH SIDE
ELEVATION
RENDERING**

DATE:

05-16-2022

ITEM NUMBER:

12-P



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758
WWW.INSITEDESIGNGROUP.COM
ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

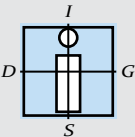
PROJECT:
AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

**PROPOSED
NORTH SIDE
ELEVATION
RENDERING**

DATE:
05-16-2022

ITEM NUMBER:

12-P



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

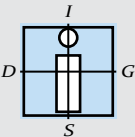
**PROPOSED
REAR
ELEVATION
RENDERING**

DATE:

05-16-2022

ITEM NUMBER:

12-P



IN-SITE DESIGN GROUP LLC

ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

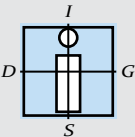
**PROPOSED
REAR
ELEVATION
RENDERING**

DATE:

05-16-2022

ITEM NUMBER:

12-P



IN-SITE DESIGN GROUP LLC

ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

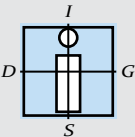
AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

**PROPOSED
REAR
ELEVATION
RENDERING**

DATE:

ITEM NUMBER:

12-P



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

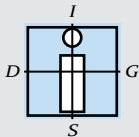
**PROPOSED
REAR
ELEVATION
RENDERING**

DATE:

05-16-2022

ITEM NUMBER:

12-P



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

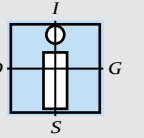
**PROPOSED
REAR
ELEVATION
RENDERING**

DATE:

05-16-2022

ITEM NUMBER:

12-P



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020
AA26001758
WWW.INSITEDESIGNGROUP.COM
ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:
AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

**CONTEXTUAL
ELEVATION**

DATE:
05-16-2022

ITEM NUMBER:


12-Q



UNIT SIZE CALCULATIONS

<div></div>	PHYSICAL VOLUME OF THE FIRST FLOOR = 3,185.28 SF	FIRST FLOOR CALCULATIONS
	PHYSICAL VOLUME OF GARAGE IN EXCESS OF 500SF = 239.4 SF	
	SUBTOTAL 3,424.68 SF	

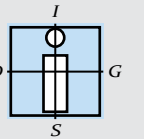
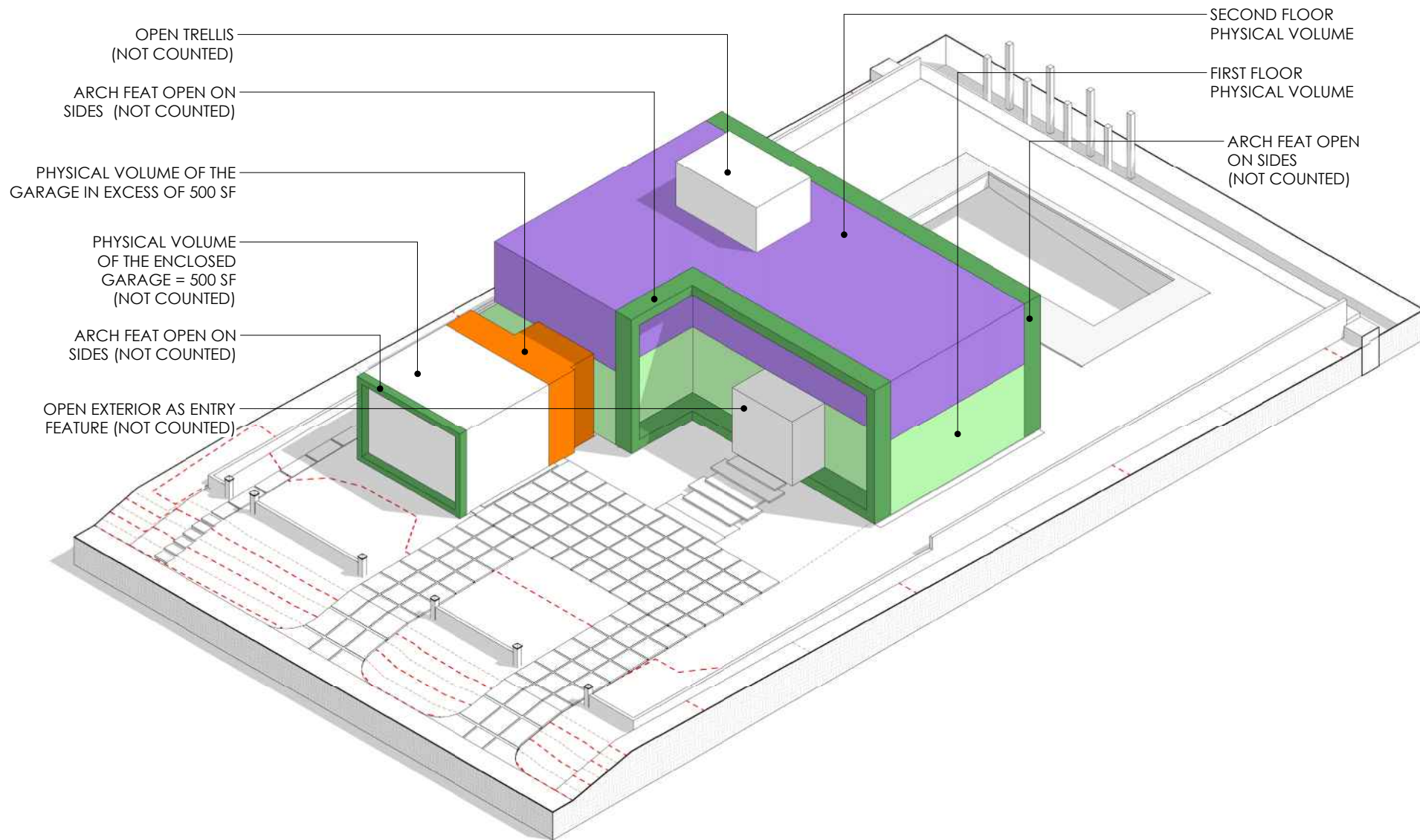
<div></div>	OPEN EXTERIOR AREA COUNTED AS ENTRY FEATURE = 55.12 SF	AREAS NOT INCLUDED
<div></div>	OPEN PATIO IN EXCESS OF FIVE FOOT IN DEPTH = 230 SF	
<div></div>	FIRST FL ARCH FEATURE OPEN ON ONE SIDE/ NOT COUNTED = 503.09 SF	

	PHYSICAL VOLUME OF THE SECOND FLOOR = 3,158 SF	SECOND FLOOR CALCULATIONS
SUBTOTAL 3,158 SF		

<div></div>	SECOND FL ARCH FEATURE OPEN ON ONE SIDE/ NOT COUNTED = 552.51 SF	AREAS NOT INCLUDED
<div></div>	PHYSICAL VOLUME OF THE ENCLOSED GARAGE NOT INCLUDED IN CALCULATION	
<div></div>	ROOF SHADE ACCESSORY STRUCTURE /OPEN ON THREE SIDES, LESS THAN 2% OF LOT- NOT INCLUDED IN CALCULATION	

UNIT SIZE
3,204.77 SF FIRST FLOOR
3,158 SF SECOND FLOOR
6,362.77 SF / 18,375 SF =
(34.6%)

500 SF OF GARAGE AREA (NOT INCLUDED IN CALCULATION)



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

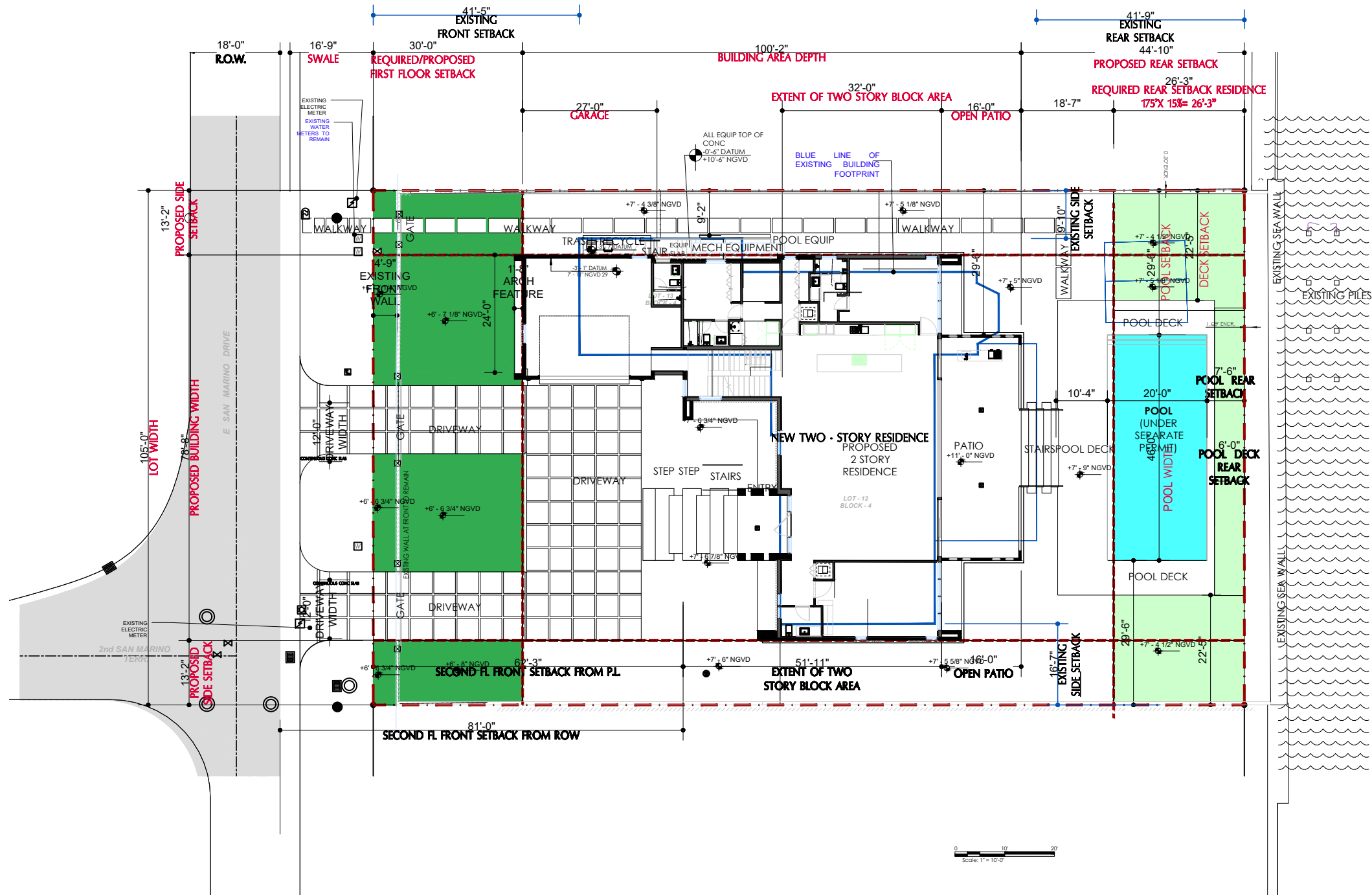
**EXPLODED
AXONOMETRIC
DIAGRAM
UNIT SIZE**

DATE:

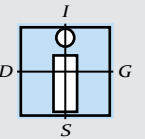
05-16-2022

ITEM NUMBER:

12-R



OPEN SPACE	LEGEND	CALCULATION	
<div></div> FRONT SETBACK MIN PVIOUS		REQUIRED 50% MIN	PROVIDED 2,103 SF/3150 = 66.7%
		30' X 105' = 3150 TOTAL SPACE FRONT YARD X 50% = 1,575 SF MIN REQ FRONT YARD PVIOUS 2,103 SF (66.7%) FRONT YARD IMPVIOUS 1,047 SF 33.3%	2,103 SF OPEN
<div></div> REAR SETBACK MIN PVIOUS		70% MIN	1,500.5 SF+ (862.5/2)431.25= 1,931.75SF/2,756.25 SF (70%)
		2,756.25 SF TOTAL SPACE REAR YARD X 70% = 1,929.3 SF MIN REQ	1,931.75 SF OPEN AT REAR (70%)
<div></div> POOL WATER COUNTED 50%			



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

**REQUIRED YARDS
OPEN SPACE
CALCULATIONS
AND
SHADED
DIAGRAMS**

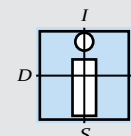
DATE:

05-16-2022

ITEM NUMBER:

12-S





IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

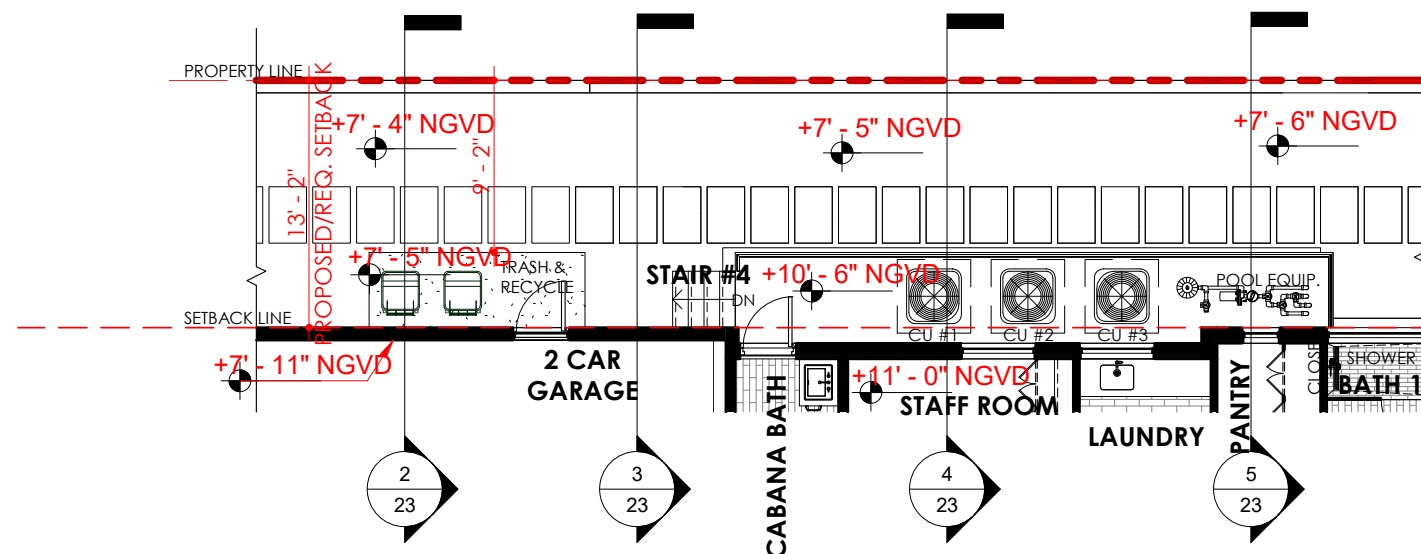
**REQUIRED YARDS
SECTION
DRAWINGS**

DATE:

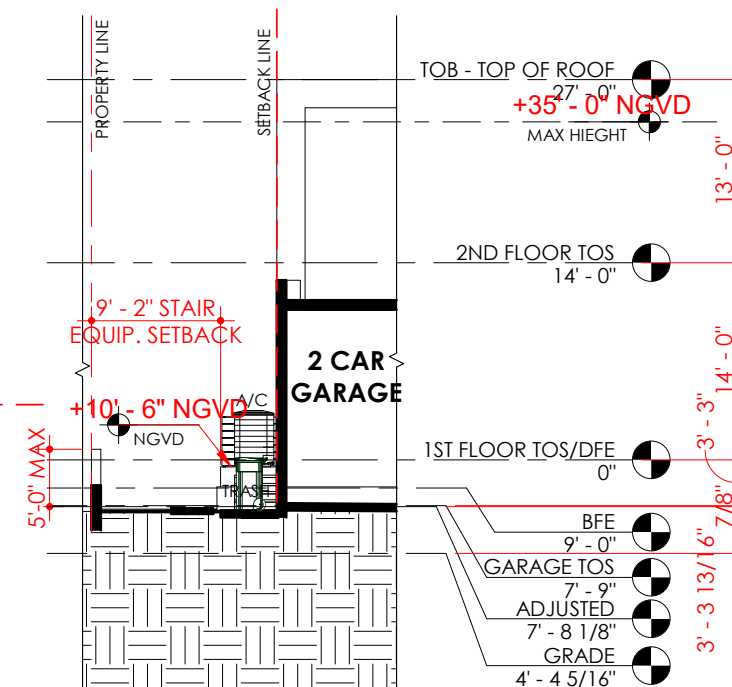
05-16-2022

ITEM NUMBER:

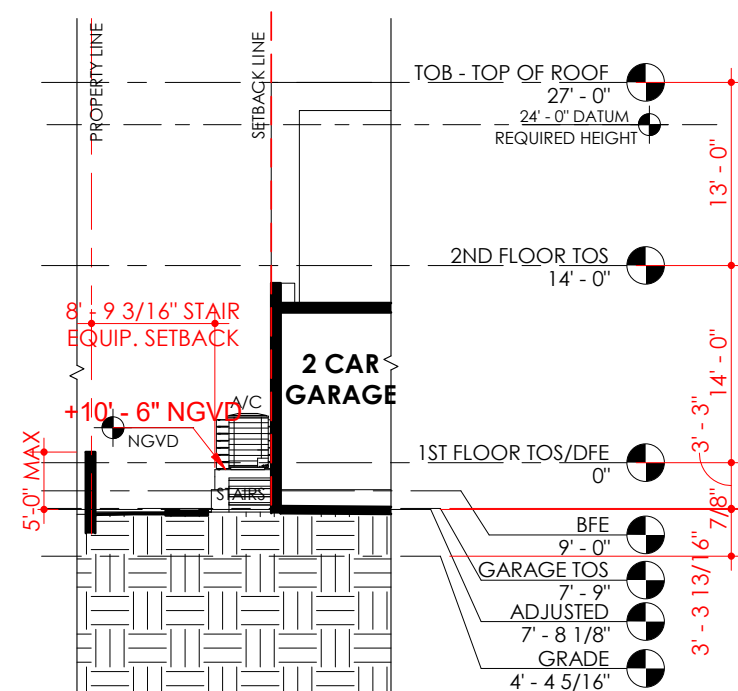
12-T



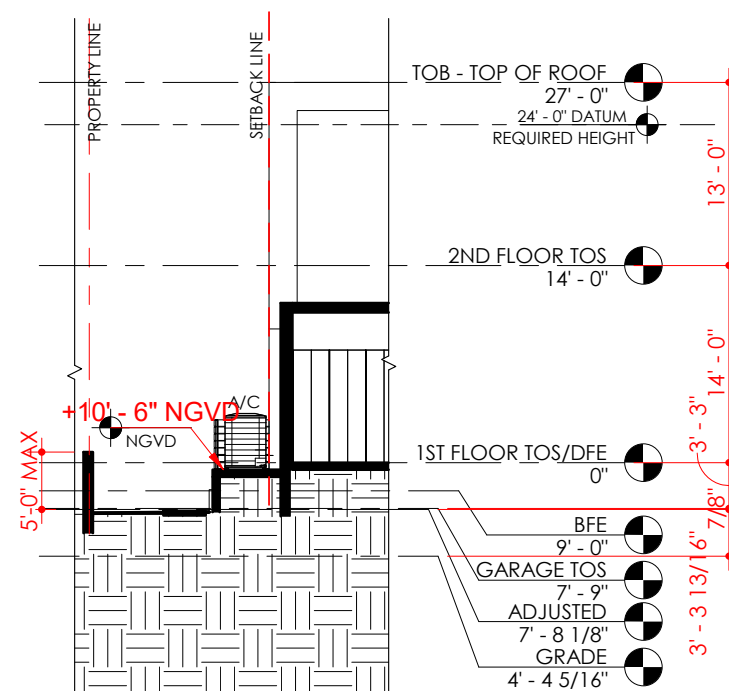
① YARD SECTION-FLOOR PLAN



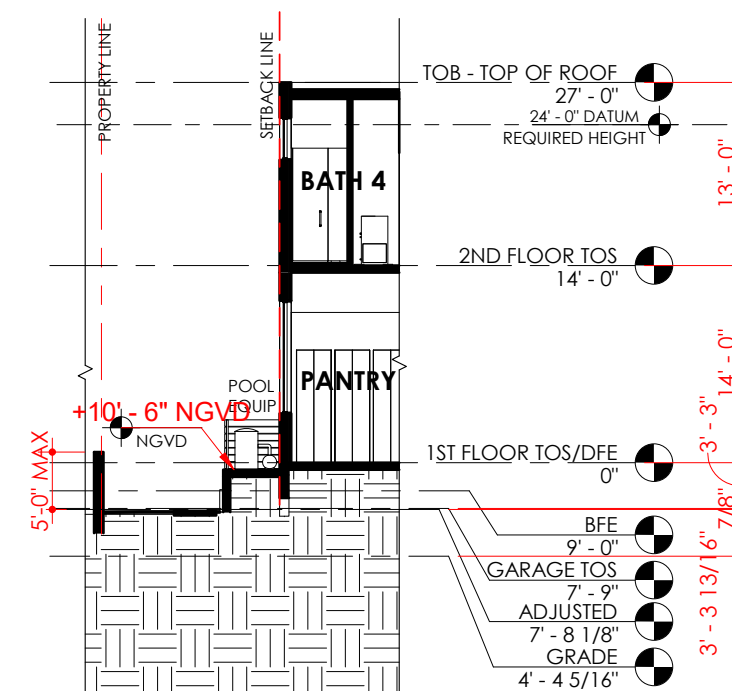
② YARD SECTION 2



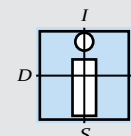
③ YARD SECTION 3



④ YARD SECTION 4



⑤ YARD SECTION 5



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

**REQUIRED YARDS
SECTION
DRAWINGS**

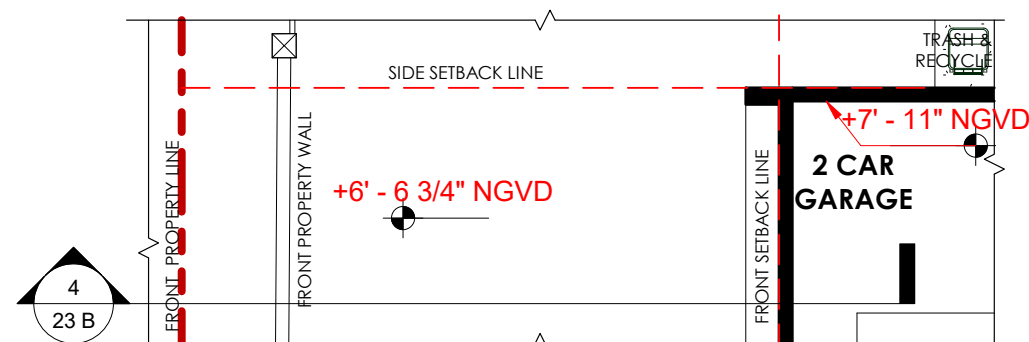
DATE:

05-16-2022

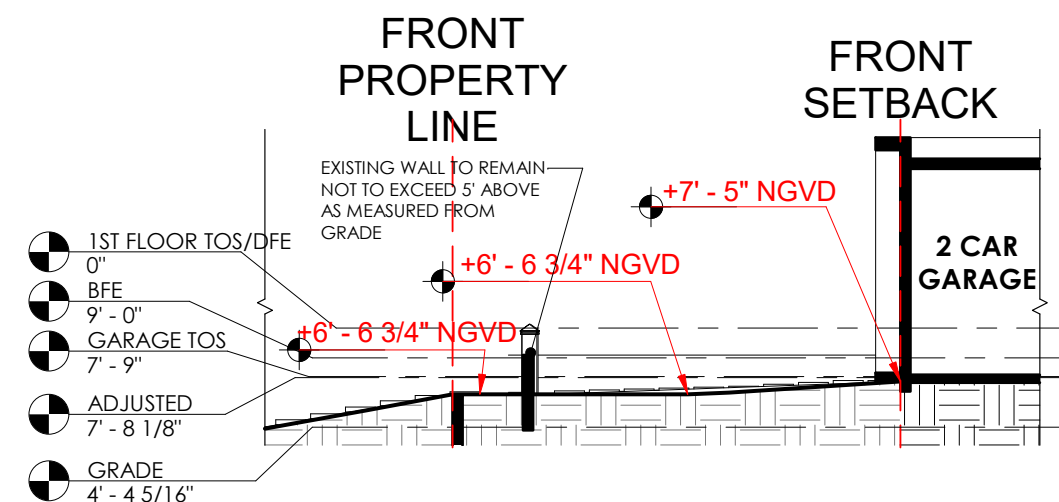
ITEM NUMBER:

12-T

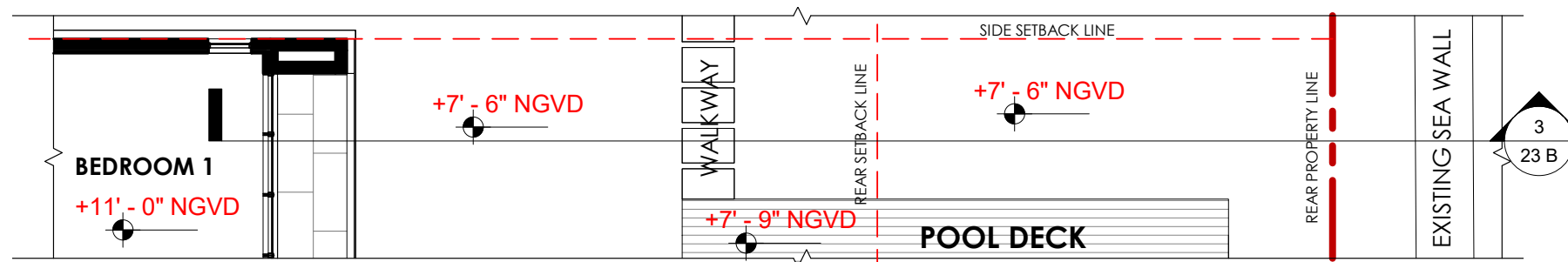
**PAGE
40**



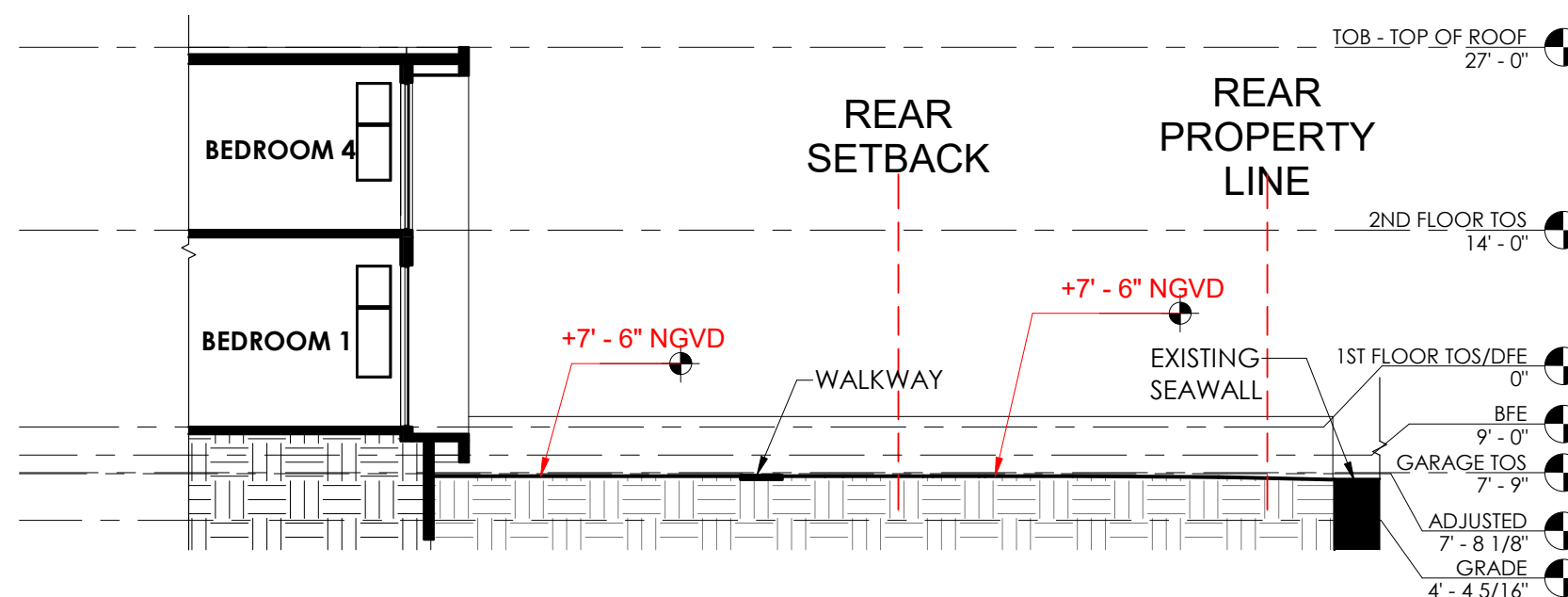
1 FRONT YARD SECTION-FLOOR PLAN



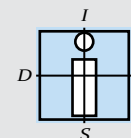
4 YARD SECTION-FRONT



2 REAR YARD SECTION-FLOOR PLAN



3 YARD SECTION-REAR



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020
AA26001758
WWW.INSITEDESIGNGROUP.COM
ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

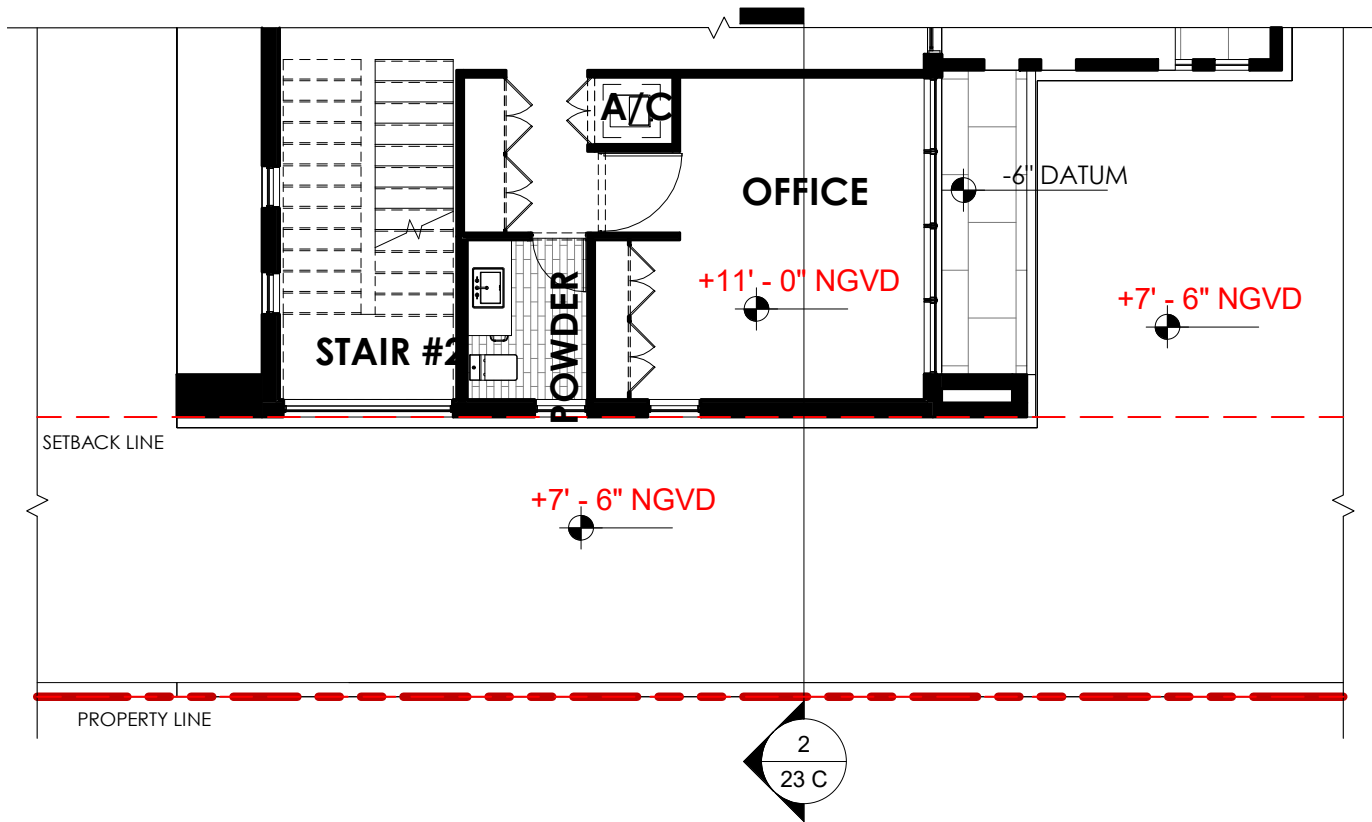
**REQUIRED YARDS
SECTION
DRAWINGS**

DATE:

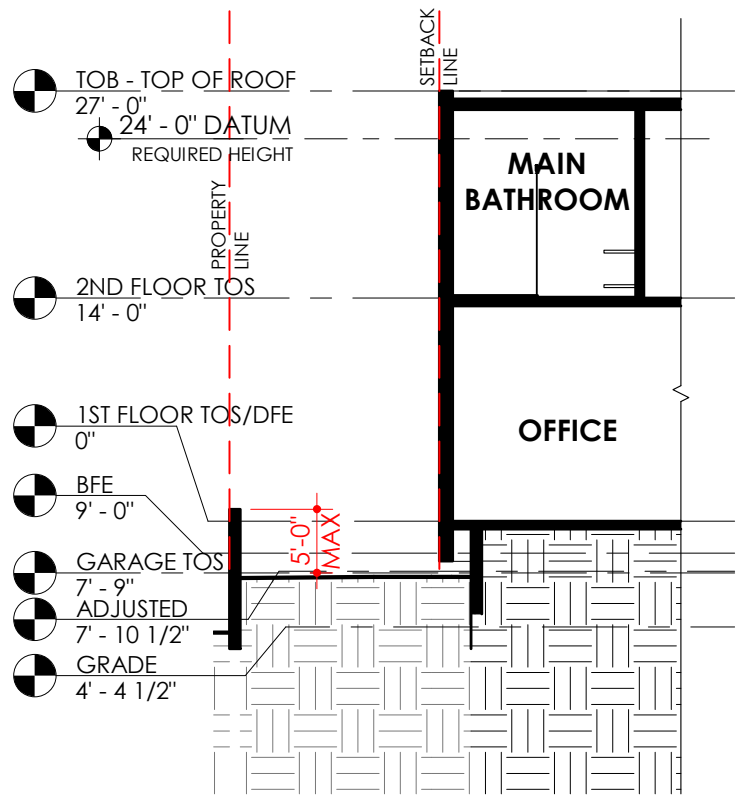
05-16-2022

ITEM NUMBER:

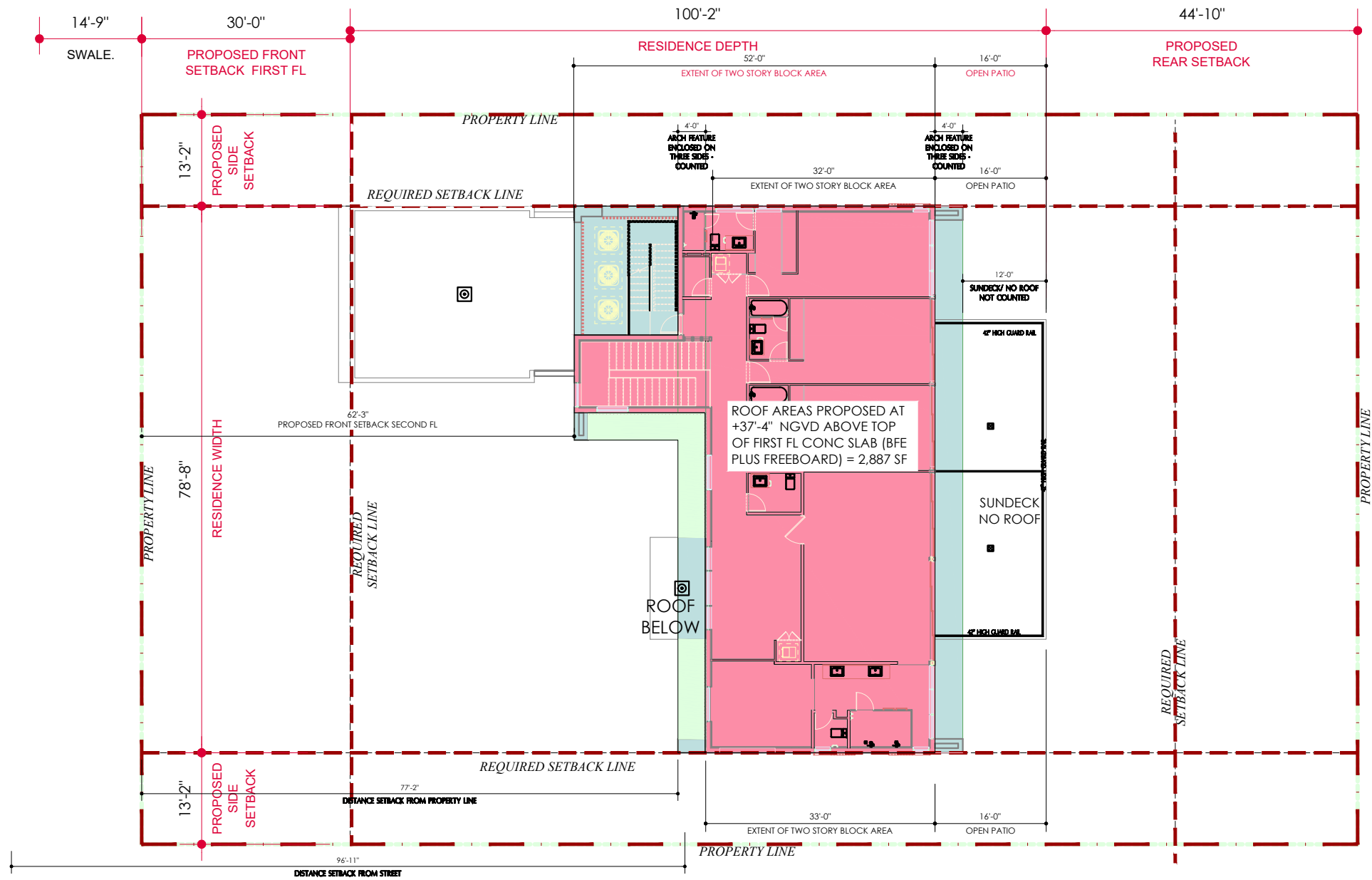
12-T



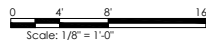
① YARD SECTION-FLOOR PLAN-2



② YARD SECTION 6



HEIGHT WAIVER DIAGRAM
SCALE = 1/8" = 1'-0"

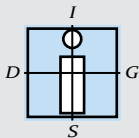


HEIGHT WAIVER CALCULATIONS

ARCH FEATURE
PROPOSED AT +26'-4" =
841.42 SF

ROOF AREAS PROPOSED
AT 26'-4" ABOVE F.F. =
+37'-4" NGVD ABOVE TOP
OF FIRST FL CONC SLAB
(BFE PLUS FREEBOARD) =
2886.91 SF

TOTAL AREA AT +26'-4" = 3,728.33 SF



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

HEIGHT
WAIVER
DIAGRAM

DATE:

05-16-2022

ITEM NUMBER:

12-U

IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSIDEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

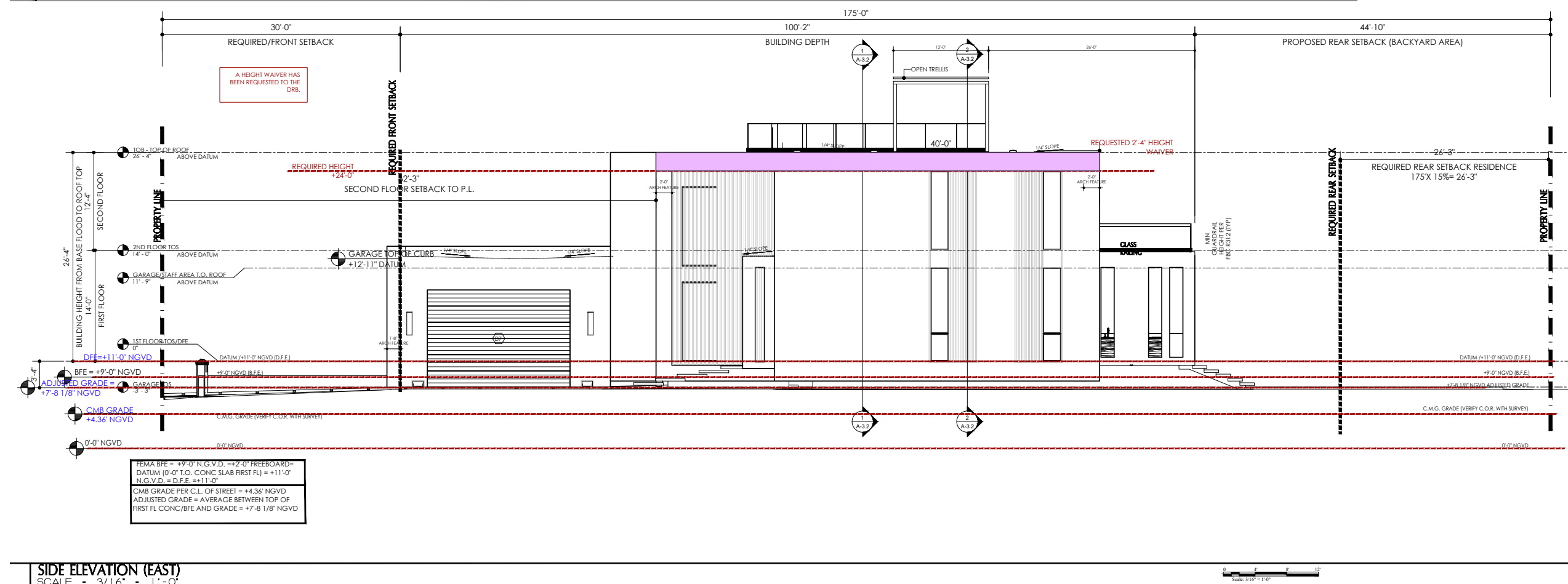
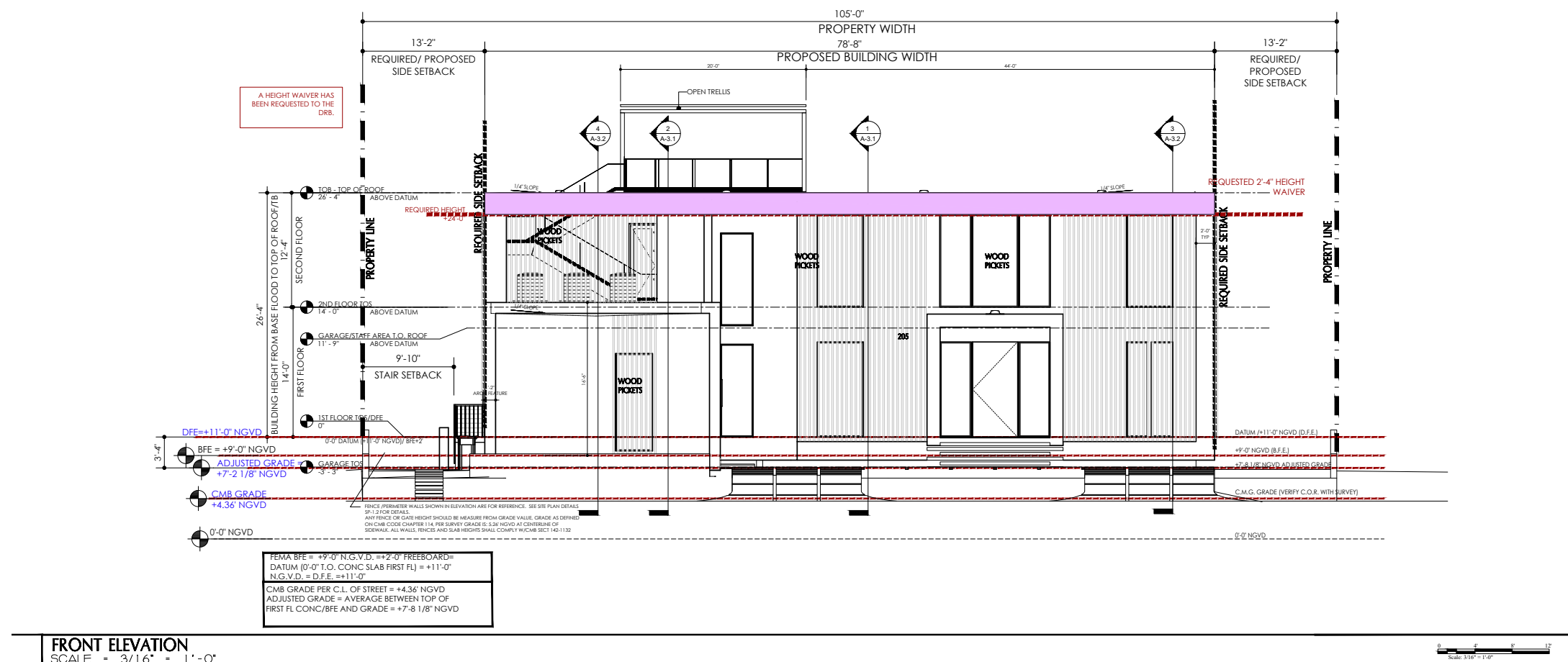
HEIGHT WAIVER ELEVATIONS

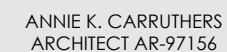
DATE:

05-16-2022

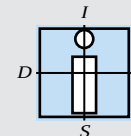
ITEM NUMBER:

12-U





SIDE ELEVATION (WEST)
SCALE = 3/16" = 1'-0"



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

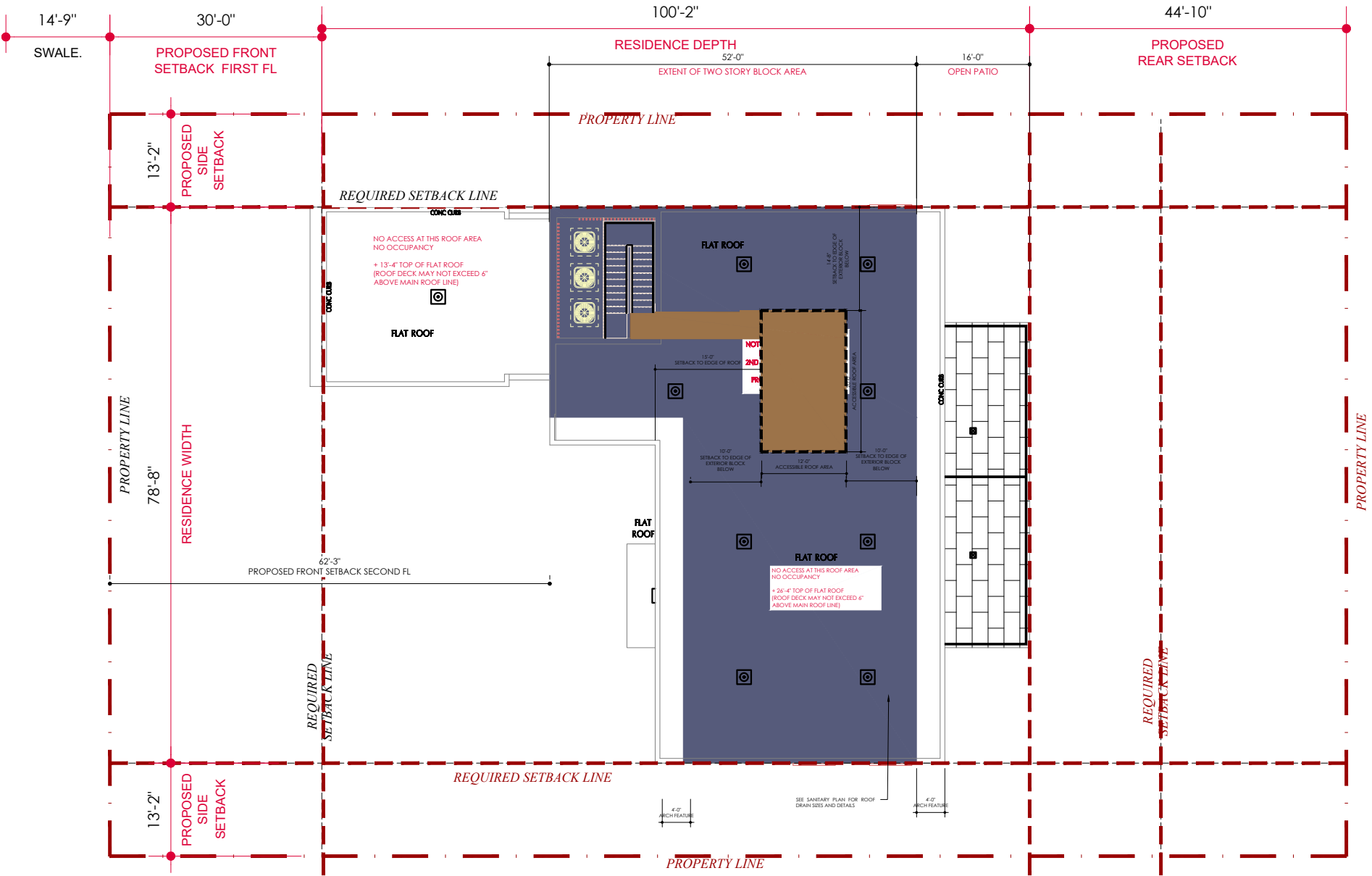
**ROOF
ACCESSIBLE AREA
&
ROOF TRELLIS
DIAGRAM**

DATE:

05-16-2022

ITEM NUMBER:

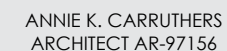
12-U



ROOF ACCESSIBLE AREA CALCULATION
SCALE = 1/8" = 1'-0"

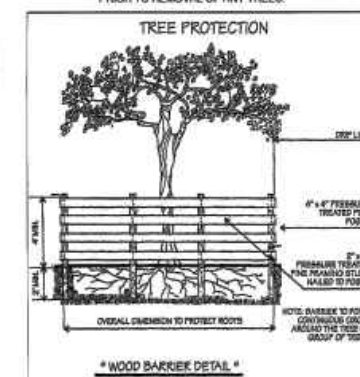
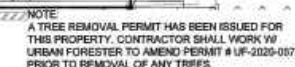


0 4' 8' 16'
Scale: 1/8" = 1'-0"



AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

PAGE
46



Note: A tree removal permit is required by City prior to removal of any trees on site.

LANDSCAPE ARCHITECT
KIM MOYER, A.S.L.A. - LA0000952

General Notes:

1. All plant material shall be Florida No. 1 or better as given in the current Florida Grades and Standards for Nursery Plants, 2015, Florida Department of Agriculture and Consumer Services.
2. All plant materials shall be subject to inspection and approval by the Landscape Architect at place of growth and upon delivery for conformity to specification.
3. All plants shall be true to species and variety and shall conform to measurements specified. All substitutions shall be submitted to the City and Landscape Architect for final approval.
4. All plants shall be exceptionally heavy, symmetrical, tight knit and so trained in appearance as to be superior to form, branching and symmetry.
5. Contractor shall notify Sunshine 811 (call 811) for location of existing utility lines 48 hours prior to beginning work. Contractor shall verify location of all utility lines and easements prior to commencing any work. Excavation in the vicinity of underground utilities shall be undertaken with care and by hand, if necessary. The Contractor bears full responsibility for the work and disruption or damage to utilities shall be repaired immediately at no expense to Owner.
6. Grade 6+ shredded sterilized Melaleuca or Eucalyptus mulch shall be used in all mass planting beds and for individual tree pits. All trees shall have a mulch ring with a depth of 3" and a diameter of 3'-4" around their base. All mulch shall be kept 4" from base of all plant material. Mulch beds shall be a minimum of 12" wider than plants measured from outside edge of foliage.
7. Soil shall be St Augustine and free of weeds, insects, fungus and disease, laid with alternating and shoring joints.
8. All trees and shrubs shall be backfilled with a suitable planting soil consisting of 50 percent sand and 50 percent approved compost. All plant materials shall be planted with a minimum of 6 to 18 inches of planting soil around the root ball. Refer to planting details. Planting soil to be backfilled into plant pits by washing in. Planting beds shall be free from mud, peat, egg or covered rock, building materials, debris, weeds, noxious pests and disease.
9. All sodded areas to have a minimum of 2" of planting soil as described in note 8B.
10. All trees shall be warranted by the Contractor and will be healthy and in flourishing condition of active growth one year from date of final acceptance.
11. All shrubs, groundcovers, vines and sod shall be fully warranted for 90 days under same condition as above.
12. All synthetic burlap, synthetic string or cords or wire baskets shall be removed before any trees are planted. All synthetic tape shall be removed from trunks, branches, etc before inspection. The top 1/3 of any natural burlap shall be removed or locked into the planting hole before trees are barked. Planting soil to be backfilled into pits by washing in.
13. All trees and palms shall be planted with the top of their rootballs 1"-2" above finished grade. All other plants shall be planted with top of their rootballs no deeper than the final grade surrounding the planting area.
14. In areas where paved surfaces abut sod or mulch, the final level of both surfaces should be even.
15. All planting shall be installed in a sound, workmanlike manner and according to good planting procedures. Installation shall include watering, weeding, fertilizing, mulching, selective pruning and removal of refuse and debris on a regular basis so as to prevent a nest and well kept appearance at all times.
17. All landscape and soil areas shall have an automatic irrigation system installed. Coverage should be 100% with 50% minimum overlap using roof free water to all landscape and soil areas. Spray upon public sidewalks, streets and adjacent properties should be minimized. Sodded areas and shrub groundcover beds should be on separate irrigation zones for a more efficient system. Irrigation system shall be installed with a rainwatch device.
18. All landscape and irrigation shall be installed in compliance with all local codes.
19. The plan shall take precedence over the plant list, should there be any discrepancy between the two.

Landscape Legend

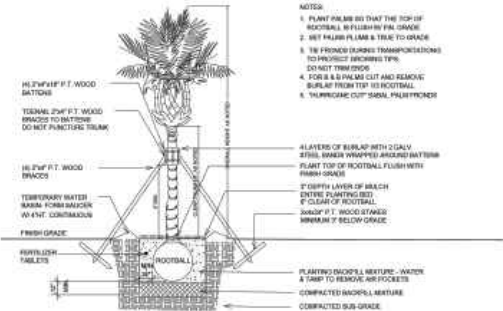
ZONING DISTRICT: RS-3			
NET LOT AREA: 18,375 sf (.42 AC)			
OPEN SPACE	Required	Provided	
A. Square feet of open space required, as indicated on site plan: Net lot area = 18,375sf x .25% =			
	4594 sf	8854.74 sf	
B. Square feet of parking lot open space required as indicated on site plan: Number of parking spaces 0 x 10 sf per parking space =			
	0	0	
C. Total square feet of landscaped open space required: A+B=			
	4594 sf	8854.74 sf	
TREES			
A. Number of trees required per net lot acre less existing number of trees meeting minimum requirements = 5 + 1 tree/ 1000 sf =			
	18	18	
B. Percentage of native trees required: 18 x .30 =			
	6	10	
C. Percentage drought tolerant and low maintenance: 18 x .50			
	9	10	
STREET TREES			
D. Street trees (maximum average spacing of 20' O.C.) 1057' 20			
	6	6	
Street trees located directly beneath power lines (maximum average spacing of 20' O.C.)			
	6	6	
SHRUBS			
A. Number of shrubs required: Number of trees required 24 x 12 =			
	288	587	
B. Percentage of native shrubs required: 288 x .50			
	144	275	
C. Percentage of large shrubs or small trees required: 288 x .10 =			
	29	28	
IRRIGATION: Automatic			

Tree mitigation shall be proposed based on tree removal as per CMB Chapter 46.

The proposed landscape plan shall satisfy or exceed minimum landscape code requirements as prescribed by CMB Code Chapter 126.

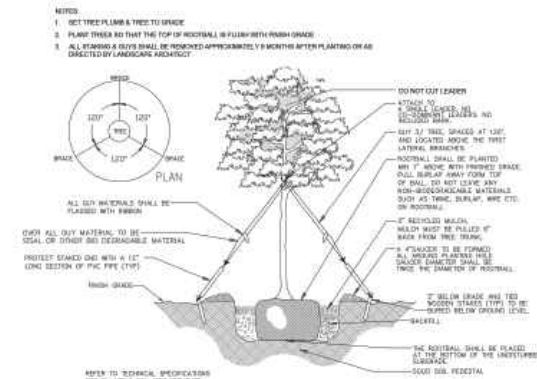
Plant List

Trees / Palms		Botanical / Common Name	Size	Native	Drought Tolerance
Item	Qty				
CD	3	Coccoloba diversifolia / Pigeon Plum	12" Ht. x 4" Spr, 2" cal.	Yes	High
ED	6	Elaeagnus decipiens/ Japanese Blueberry	12" Ht x 4" Spr, 2" cal.	No	Medium
QV	1	Quercus virginiana/ Live Oak	12" Ht. x 6" Spr, 2" cal.	Yes	High
BS	2	Bursera simaruba/ Gumbo Limbo	12" Ht x 6" Spr, 2" cal.	Yes	High
CS	4	Cordia alliodora/ Orange-Geiger Tree	10" Ht x 4" Spr, 1.5" cal	Yes	High
LI	6	Lagerstroemia indica / Muskogee/ Crape Myrtle	12"-14" Ht x 4" Spr, 2" cal single trunk	No	High
Shrubs/Groundcovers					
CM	25	Caryota mitis/ Palmetto Palm	8" x 4"	No	High
AP	3	Alcaesia 'Portora' / Giant Elephant Ear	38" Ht	No	Low
AL	4	Alcaesia 'California' / California Alcaesia	24" x 24", 24" O.C.	No	Low
CF	13	Clusia flava/ Small Leaf Clusia	24" x 24", 24" O.C.	No	High
HD	120	Helianthus debilis/ Beach Sunflower	5" x 10", 18" O.C.	Yes	High
IV	95	Ilex vomitoria 'Stokes Dwarf'/ Dwarf Ilex	10" x 10", 18" O.C.	Yes	High
TF	60	Tripsacum dandane/ Florida Gamma Grass	18" x 18", 24" O.C.	Yes	High
NO	33	Nerium oleander 'Petite Pink'/ Dwarf Pink Oleander	20" x 20", 24" O.C.	No	High
TF	4	Trifurca 'Swirls'/ Giant Pink Agave	24" x 24"	No	High
JU	80	Jurinea conferta/ Shore Juniper	6" x 12", 18" O.C.	No	High
PM	124	Podocarpus macrophyllus / Podocarpus	24" x 24", 24" O.C.	No	Medium
CA	56	Carlisa macrocarpa 'Emerald Blankaet' / Dwarf Carlisa	24" x 24", 24" O.C.	No	Medium
Sod		St. Augustine			
Mulch		Shredded Melaleuca or Eucalyptus			



PALM PLANTING DETAIL

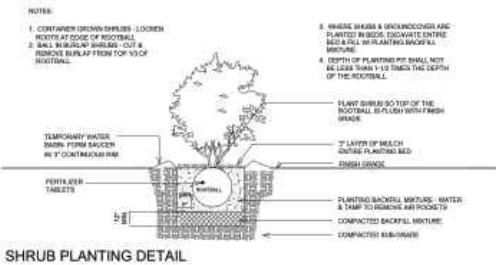
NOTE: NO WELLINGTON TAPE OR OTHER NON-BIOGRADABLE MATERIALS SHALL COME INTO CONTACT WITH THE TREE.



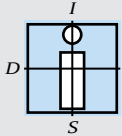
TREE STAKING DETAIL

LANDSCAPE ARCHITECT

KIM MOYER, A.S.L.A. - LA0000952



SHRUB PLANTING DETAIL



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

LANDSCAPE
PLAN

DATE:

05-16-2022

ITEM NUMBER:

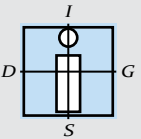
13-C



PREVIOUS FRONT ELEVATION DESIGN - DRB APPROVED - DRB 20-0618



NEW FRONT ELEVATION DESIGN - DRB CURRENT SUBMITTAL



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

**COMPARISON OF
DESIGN**

DATE:

05-16-2022

ITEM NUMBER:

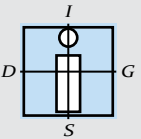
OTHER



PREVIOUS EAST ELEVATION DESIGN - DRB APPROVED - DRB 20-0618



NEW EAST ELEVATION DESIGN - DRB CURRENT SUBMITTAL



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

**COMPARISON OF
DESIGN**

DATE:

05-16-2022

ITEM NUMBER:

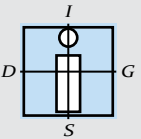
OTHER



PREVIOUS REAR ELEVATION DESIGN - DRB APPROVED - DRB 20-0618



NEW REAR ELEVATION DESIGN - DRB CURRENT SUBMITTAL



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

**COMPARISON OF
DESIGN**

DATE:

05-16-2022

ITEM NUMBER:

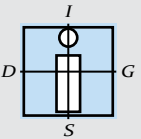
OTHER



PREVIOUS WEST ELEVATION DESIGN - DRB APPROVED - DRB 20-0618



NEW WEST ELEVATION DESIGN - DRB CURRENT SUBMITTAL



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

**COMPARISON OF
DESIGN**

DATE:

05-16-2022

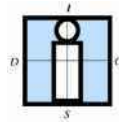
ITEM NUMBER:

OTHER

Annie Carruthers
Principal/Architect
AR-97156

**IN-SITE
DESIGN
GROUP LLC**

ARCHITECTURE
DESIGN + ENGINEERING
AA26001758
1546 Jackson Street
Hollywood, FL 33020
954 921 5333
insitedesigngroup.com



April 12, 2022

City of Miami Beach
Planning Department
1700 Convention Center Drive
Miami Beach, Florida 33139

Re: 205 East San Marino Drive, Miami Beach
DRB number DRB22-0822

LETTER OF INTENT

This firm represents Azenda Properties LLC (the "Applicant"), the owner of the above-reference parcels, with Miami-Dade County Folio No. 02-3232-003-0550 (hereinafter referred to as "Property"). Please consider this letter the Applicant's letter of intent in support of a design review approval from the Design Review Board ("DRB") for a single-family home on the Property.

The properties:

The Property is located at 205 East San marino Drive in Single Family Residential District 3 (RS-3). Currently, the property consists of one existing lot with one existing single family residence. The lot is 18,375 square feet 105' x 175' in depth. The existing property at 205 E San Marino drive is 6,401 square feet according to the tax roll and was built in 1938. The home does not maintain its original architectural design integrity due to numerous alterations and major additions, as evidenced by the building card, microfilms and existing photos.

Applicant's Proposal:

The Applicant is proposing to demolish the existing structure and the two story accessory structure in the rear and replace it with a new two-story family home. The new residence has been designed in Miami Tropical Modern Style. The façade presents a modern pure box using natural materials and stuccoed walls. In the rear, there are two boxes that are symmetrically positioned and centered on the pool. Each main area has eleven foot 6 inch high glass doors to provide vast openness from the back yard, through the main living area, to the pool deck. The interior and exterior flow seamlessly into one unified space. This project was presented to the DRB in 2021 and was approved (DRB20-0618). The owner is proposing modifications to the approved design that include a height waiver and a roof accessible area.

The proposed new home complies with the Miami Beach Code (the "Code") requirements for unit size, lot coverage and setbacks. The total unit size Proposed is 6,362.77 square feet (34.6%), which is below the allowable 50% unit size limit. The lot coverage proposed is 4,019.44 sf 22.87%, which is significantly below the 30% allowed as of right. In addition, all setbacks comply with and the rear setback exceeds the Code requirements. At this time, however, the Applicant is requesting a DRB approval for increase in height.

Height Increase Request.

The new single family development regulations allow for 24 foot height, for flat roofs, from the required flood elevation, for homes located in the RS-3 zoning district. However, the DRB may grant increases in height of to 28 feet.

The applicant requests a height of 26'-4" feet. The two story mass is located far back on the property 62'-3" from the front property line to the two story enclosed area (80'-2" to the architectural feature). This location of the two story mass to the street edge is 100'-11". Two story depth is only 52'-0" on the north and 32' on the south..

The additional two feet four inches would be useful to the internal systems on the first and second level as well as allow for a greater view to the water. This lot is located on a double lot as is wider than most of the adjacent homes on East San Marino. The additional height is in relation to its width and does not impede on the overall scale.

It is important to note that the proposed residence is considerable smaller that allowed maximum unit size and lot coverage. Therefore the pervious area is estimated at about 48% of the lot overall.

Also, the house has been centered on the lot and the side setbacks are equal. Currently the existing two story house is farther north.

The two story accessory structure in the rear will be demolished and a new shade structure in the rear is not proposed. This will allow the neighbor additional open views.

The proposed rear setback is also much greater than allowed. Currently the required rear setback is 26'-3" the proposed rear setback is 44'-10".

The existing house FAR is estimated at 7,742 SF (42.14%). The proposed residence has a unit size of 6,362.77 SF considerably smaller than the existing residence and footprint.

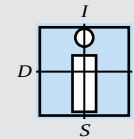
The proposed home has a simple modern design and shall be tastefully landscaped to seamlessly fit within the neighborhood. In addition, it is neither practical nor feasible to retain the existing home, due to its age, structural condition and its positioning below the minimum floor elevation. The new home will meet and exceed all of the sea level rise and FEMA requirements as the finished floor will have two foot of freeboard.

Conclusion. As will be shown further at the hearing on this application, the demolition of Applicant's existing home, which is structurally deficient, is justified and appropriate. The Applicant's proposed new home is consistent with character of the neighborhood, had already been approved by the DRB as well as with all aspects of the Miami Beach building code. The second story height request is substantially setback from the street and from the rear. The mass of the house is smaller than the existing residence and the two story accessory structure will be removed.

We believe that the approval of this new well-designed home will be a great improvement to the area. On behalf of the Applicant, we look forward to your favorable review. If you have any questions or comments with regard to the application, please give me a call at 954-921-5333.

Respectfully,

Annie Carruthers
Principal/Architect
AR-97156



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

**LETTER
OF
INTENT**

DATE:

05-16-2022

ITEM NUMBER:

OTHER

Annie Carruthers
Principal/Architect
AR-97156

**IN-SITE
DESIGN
GROUP LLC**

ARCHITECTURE
DESIGN + ENGINEERING
AA26001758
1546 Jackson Street
Hollywood, FL 33020
954 921 5333
insitedesigngroup.com

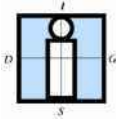
April 12, 2022

City of Miami Beach
Planning Department
1700 Convention Center Drive
Miami Beach, Florida 33139

Re: 205 E. San Marino Drive Miami Beach
DRB number DRB22-0822

COMPLIANCE WITH SEA LEVEL RISE AND RESILIENCY REVIEW CRITERIA

1. Recycling or salvage plan for partial or total demolition shall be provided. Windows that are proposed to be replaced shall be hurricane proof impact windows.
RESPONSE: One existing home is scheduled to be demolished. Existing home was constructed in 1938. The new general contractor shall be required to obtain a salvage company prior to demolition. This requirement shall be a part of the construction documents. Salvage company shall provide proof of salvage and/or reuse of any material existing which can be salvaged. All new windows in the new structure shall be impact rated with no exception.
2. Where feasible and appropriate, passive cooling systems such as operable windows, shall be provided.
RESPONSE: The proposed new design of the residence includes the entire rear and all second floor bedroom rooms facing the rear to be 11'-6" tall sliding glass doors on first level and 10'-6" tall on second level. These will create large openings for ventilation. In addition, there is a four foot architectural feature, and a 16' deep covered area in the rear. The windows will be energy efficient.
3. Weather resilient landscaping (salt tolerant, highly water absorbent, native or Florida friendly plants) will be provided.
RESPONSE: The proposed new landscape plan shall meet or exceed the landscape requirements including native Florida friendly plants. There will be plants, trees and palms that are proposed on the landscape plan that are considered "high" in drought tolerance. There will be many species of native trees, palms and shrubs that are proposed on the landscape plan. Many that make up the total plants that are native. Much consideration has been given to these requirements on the plan proposed. It is important to note that the proposed residence is considerable smaller than allowed maximum unit size and lot coverage. Therefore the pervious area is estimated at about 48% of the lot overall.

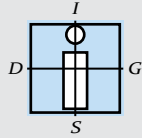


4. Whether adopted sea level rise projections in the southeast Florida regional climate action plan including a study of the land elevation and elevation of the surrounding properties were considered.

RESPONSE: The proposed new single family residence habitable enclosed levels are all proposed with a finished floor plus two foot above FEMA base flood (two foot free board). The finished floor of the house is proposed at +11'-0" NGVD. This meets and exceeds the requirements for sea level rise in this area. In addition, there is a perimeter wall that is existing on the side properties which will serve as any retainage necessary to keep the water on site during any storm. In addition a drainage system of swales and drains shall be addressed and submitted at time of permitting. All equipment including condensers, generators and pool equipment shall be at base flood plus freeboard. The garage level which is at about mid/adjusted grade shall have flood vents to equal one square inch per square foot of garage. All materials below base flood shall be flood resistant materials. It is important to note that the proposed residence is considerable smaller than allowed maximum unit size and lot coverage. Therefore the pervious area is estimated at about 48% of the lot overall.

5. The ground floor driveways and garage ramping for new construction shall be adaptable to the raising of public rights of ways and adjacent land.
RESPONSE: This street East San Marino drive has not undergone repaving and raising of the street level. The street is currently at about +4'.0 NGVD to +4.36 NGVD. The garage is proposed at +7'-7" NGVD well above the street level and possibly future proposed height increases. As this is a new residence to be submitted for permit; therefore, consideration will be given to the proposed future street level with the civil engineering and the site shall be sloped appropriately to contain any water on site per code. A drainage system of swales and drains shall be addressed and submitted at time of permitting. The proposed green space/open space and landscape area exceeds the city requirements for pervious. The garage shall be at mid/adjusted grade approximately therefore the garage driveway shall not require to be sloped considerably.

6. Where feasible and appropriate, all critical mechanical and electrical systems shall be located above base flood elevation.
RESPONSE: All equipment including condensers, generators and pool equipment shall be at base flood plus freeboard. The garage level which is at about mid/adjusted grade shall have flood vents to equal one square inch per square foot of garage. All materials below base flood shall be flood resistant materials.



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020
AA26001758
WWW.INSITEDESIGNGROUP.COM
ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

**COMPLIANCE
WITH SEA LEVEL**

DATE:

05-16-2022

ITEM NUMBER:

OTHER

7. Existing buildings shall be where reasonably feasible and appropriate, elevated to the base flood elevation
RESPONSE: The proposed new single family residence habitable enclosed levels are all proposed with a finished floor plus two feet above FEMA base flood (two foot free board). The finished floor of the house is proposed at +11'-0" NGVD. This exceeds the requirements for sea level rise in this area as it is one foot above the required freeboard. In addition there is a perimeter wall that is existing on the side properties which will serve as any retainage necessary to keep the water on site during any storm. The lot coverage is considerably reduced from the max allowed. In addition a drainage system of swales and drains shall be addressed and submitted at time of permitting.

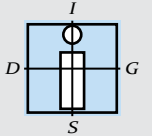
8. When habitable space is located below the base flood elevation plus city of Miami beach freeboard, wet or dry flood proofing systems will be provided in accordance with chapter of 54 of the city code.
RESPONSE: . The garage level which is at about mid/adjusted grade shall have flood vents to equal one square inch per square foot of garage. All materials below base flood shall be flood resistant materials. The street is currently at about +4'.0 NGVD to +4.36 NGVD. The garage is proposed at +7'-7" NGVD well above the street level and possibly future proposed height increases.

9. Where feasible and appropriate, water retention system shall be provided.
RESPONSE: As this is a new residence to be submitted for permit; therefore, consideration will be given to the new street level with the civil engineering and the site shall be sloped appropriately to contain any water on site per code. A drainage system of swales and drains shall be addressed and submitted at time of permitting. The proposed green space/open space and landscape area exceeds the city requirements for pervious. It is important to note that the proposed residence is considerable smaller that allowed maximum unit size and lot coverage. Therefore the pervious area is estimated at about 48% of the lot overall.

Please contact me at your convenience at 954-921-5333.

Respectfully,


Annie Carruthers
Principal/Architect
AR-97156



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

**COMPLIANCE
WITH SEA LEVEL**

DATE:

05-16-2022

ITEM NUMBER:

OTHER

**IN-SITE
DESIGN
GROUP LLC**

ARCHITECTURE
DESIGN + ENGINEERING
AA26001758
1546 Jackson Street
Hollywood, FL 33020
954 921 5333
insitedesigngroup.com

April 12, 2022

City of Miami Beach
Planning Department
1700 Convention Center Drive
Miami Beach, Florida 33139

Re: 205 East San Marino Drive, Miami Beach
DRB number DRB22-0822

REQUEST FOR WAIVERS

This firm represents Azenda Properties LLC (the "Applicant"), the owner of the above-reference parcels, with Miami-Dade County Folio No. 02-3232-003-0550 (hereinafter referred to as "Property"). Please consider this letter the Applicant's letter of intent in support of a design review approval from the Design Review Board ("DRB") for a single-family home on the Property.

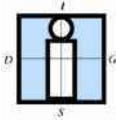
The properties:

The Property is located at 205 East San marino Drive in Single Family Residential District 3 (RS-3). Currently, the property consists of one existing lot with one existing single family residence. The lot is 18,375 square feet 105' x 175' in depth. The existing property at 205 E San Marino drive is 6,401 square feet according to the tax roll and was built in 1938. The home does not maintain its original architectural design integrity due to numerous alterations and major additions, as evidenced by the building card, microfilms and existing photos.

Applicant's Proposal:

The Applicant is proposing to demolish the existing structure and the two story accessory structure in the rear and replace it with a new two-story family home. The new residence has been designed in Miami Tropical Modern Style. The façade presents a modern pure box using natural materials and stuccoed walls. In the rear, there are two boxes that are symmetrically positioned and centered on the pool. Each main area has eleven foot 6 inch high glass doors to provide vast openness from the back yard, through the main living area, to the pool deck. The interior and exterior flow seamlessly into one unified space. This project was presented to the DRB in 2021 and was approved (DRB20-0618). The owner is proposing modifications to the approved design that include a height waiver and a roof accessible area.

The proposed new home complies with the Miami Beach Code (the "Code") requirements for unit size, lot coverage and setbacks. The total unit size Proposed is 6,362.77 square feet (34.6%), which is below the allowable 50% unit size limit. The lot coverage proposed is 4,019.44 sf 22.87%, which is significantly below the 30% allowed as of right. In addition, all setbacks comply with and the rear setback exceeds the Code requirements. At this time, however, the Applicant is requesting a DRB approval for increase in height.



Height Increase Request.

The new single family development regulations allow for 24 foot height, for flat roofs, from the required flood elevation, for homes located in the RS-3 zoning district. However, the DRB may grant increases in height of to 28 feet.

The applicant requests a height of 26'-4" feet. The two story mass is located far back on the property 62'-3" from the front property line to the two story enclosed area (80'-2" to the architectural feature). This location of the two story mass to the street edge is 100'-11". Two story depth is only 52'-0" on the north and 32' on the south..

The additional two feet four inches would be useful to the internal systems on the first and second level as well as allow for a greater view to the water. This lot is located on a double lot as is wider than most of the adjacent homes on East San Marino. The additional height is in relation to its width and does not impede on the overall scale.

It is important to note that the proposed residence is considerable smaller that allowed maximum unit size and lot coverage. Therefore the pervious area is estimated at about 48% of the lot overall.

Also, the house has been centered on the lot and the side setbacks are equal. Currently the existing two story house is farther north.

The two story accessory structure in the rear will be demolished and a new shade structure in the rear is not proposed. This will allow the neighbor additional open views.

The proposed rear setback is also much greater than allowed. Currently the required rear setback is 26'-3" the proposed rear setback is 44'-10".

The existing house FAR is estimated at 7,742 SF (42.14%). The proposed residence has a unit size of 6,362.77 SF considerably smaller than the existing residence and footprint.

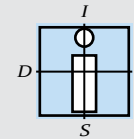
The proposed home has a simple modern design and shall be tastefully landscaped to seamlessly fit within the neighborhood. In addition, it is neither practical nor feasible to retain the existing home, due to its age, structural condition and its positioning below the minimum floor elevation. The new home will meet and exceed all of the sea level rise and FEMA requirements as the finished floor will have two foot of freeboard.

Conclusion. As will be shown further at the hearing on this application, the demolition of Applicant's existing home, which is structurally deficient, is justified and appropriate. The Applicant's proposed new home is consistent with character of the neighborhood, had already been approved by the DRB as well as with all aspects of the Miami Beach building code. The second story height request is substantially setback from the street and from the rear. The mass of the house is smaller than the existing residence and the two story accessory structure will be removed.

We believe that the approval of this new well-designed home will be a great improvement to the area. On behalf of the Applicant, we look forward to your favorable review. If you have any questions or comments with regard to the application, please give me a call at 954-921-5333.

Respectfully,

Annie Carruthers
Principal/Architect
AR-97156



IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

1546 Jackson Street
Hollywood, Florida 33020

AA26001758

WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino
Drive, Miami Beach, FL
33139-1105

**REQUEST FOR
HEIGHT WAIVER**

DATE:

05-16-2022

ITEM NUMBER:

OTHER