FINAL SUBMITTAL - 05-16-2022 DEADLINE DATE

DRB 22-0822

SCOPE OF WORK:

NEW TWO STORY SINGLE FAMILY RESIDENCE WITH ROOF TOP ACCESSIBLE AREA:

- TWO CAR GARAGE
- 6 BEDROOM PLUS AN OFFICE
  6 BATHROOMS & 2-1/2 BATHS
- 6,296.19 SF UNIT SIZE
- NEW POOL AND SPA
- NEW DRIVEWAY

LEGAL DESCRIPTION:

LOT 12 & 13, BLOCK 4 SAN MARINO ACCORDING TO THE PLAT THEREOF, AS RECOREDED IN PLAT BOOK 9, PAGE 22 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

PREVIOUS DRB APPROVALS:

DRB 17-0189
DRB 20-0618

OWNER:
AZENDA PROPERTIES LLC

ARCHITECT:
ANNIE K. CARRUTHERS -AR-97156

DATE:
05-16-2022

IN-SITE DESIGN GROUP
ARCHITECTURAL SERVICES
1546 Jackson Street
Hollywood, Florida 33020
954-921-5333 www.insitedesigngroup.com

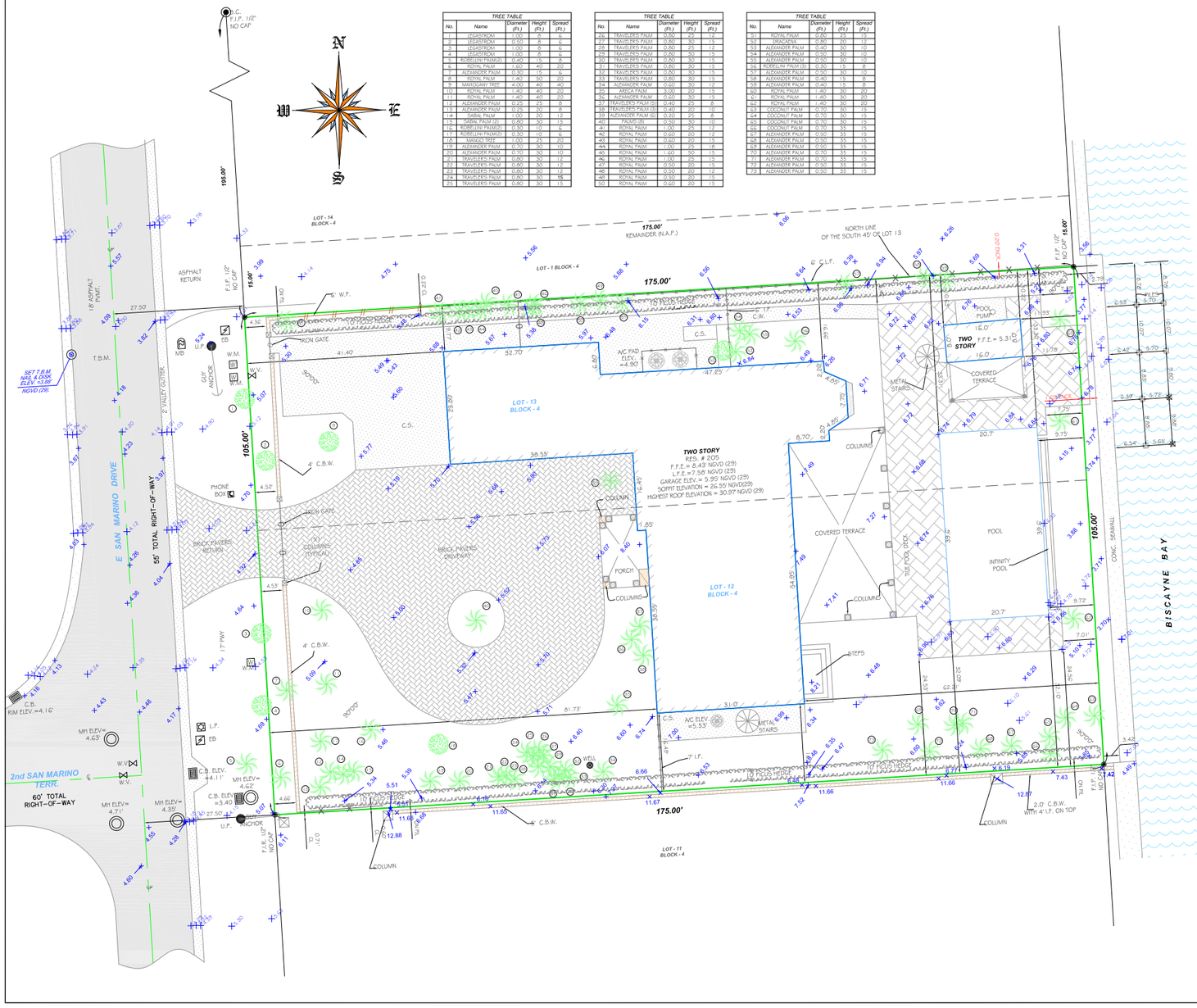
AZENDA RESIDENCE

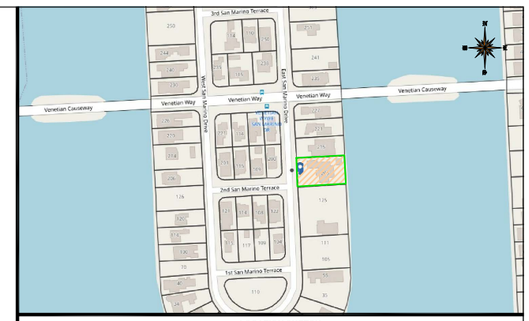
205 E SAN MARINO DRIVE, MIAMI BEACH

JOHN IBARRA & ASSOCIATES, INC.
Professional Land Surveyors & Mappers
WWW.IBARRALANDSURVEYORS.COM
777 N.W. 72nd AVENUE
SUITE 3025
MIAMI, FLORIDA 33126
PH: (305) 262-0400
FAX : (305) 262-0401
3725 DEL PRADO BLVD. S.
SUITE B
CAPE CORAL, FL 33904
PH: (239) 540-2660
FAX: (239) 540-2664

TOPOGRAPHIC SURVEY

GRAPHIC SCALE
-10 0 5 10 20 40
(IN FEET)
1 INCH = 10 FEET





ABBREVIATIONS

A = ARC
AC = AIR CONDITIONER PAD
A.E. = ANCHOR EASEMENT
A.R. = ALUMINUM ROOF
A.S. = ALUMINUM SHED
AVG. = AVERAGE
B.C. = BLOCK CORNER
BLDG. = BUILDING
B.M. = BENCH MARK
B.C.R. = BROWARD COUNTY RECORDS
B.O.B. = BASIS OF BEARING
B.S.L. = BUILDING SETBACK LINE
C = CALCULATED
C.B. = CATCH BASIN
C.B.S. = CONCRETE BLOCK STRUCTURE
C.B.W. = CONCRETE BLOCK WALL
CH. = CHORD
CH.B. = CHORD BEARING
CH.L. = CHORD LENGTH
C.L. = CENTER LINE
C.O. = CLEAN OUT
C.L.F. = CHAIN LINK FENCE
C.M.E. = CANAL MAINTENANCE EASEMENT
CONC. = CONCRETE
C.U.P. = CONCRETE UTILITY POLE
C.P. = CONCRETE PORCH
C.S. = CONCRETE SLAB
C.W. = CONCRETE WALK
D.E. = DRAINAGE EASEMENT
D.M.E. = DRAINAGE MAINTENANCE EASEMENT
DRIVE = DRIVEWAY
D = DEGREES
EB = ELECTRIC BOX
E.T.F. = ELECTRIC TRANSFORMER PAD
ELEV. = ELEVATION
ENCR. = ENCROACHMENT
F.H. = FIRE HYDRANT
F.I.R. = FOUND IRON PIPE
F.I.R. = FOUND IRON ROD
F.F.E. = FINISHED FLOOR ELEVATION
F.N.D. = FOUND NAIL & DISK
FND. = FOUND
FNIP = FOUND NATIONAL INSURANCE PROGRAM
F.N. = FOUND NAIL
H = HIGH OR (HEIGHT)
INGR/EGR = INGRESS AND EGRESS EASEMENT
I.C.V. = IRRIGATION CONTROL VALVE
I.E. = INVERT ELEVATION
L.B. = LICENSED BUSINESS
L.M. = LAKE MAINT.
L.F.E. = LOWEST FLOOR ELEVATION
L.M.E. = LAKE MAINTENANCE EASEMENT
M = MINUTES
(M) = MEASURED DISTANCE
M.B. = MAIL BOX
M.D.C.R. = MIAMI DADE COUNTY RECORDS
M.E. = MAINTENANCE EASEMENT
M.H. = MANHOLE
N.A.P. = NOT A PART OF
NGVD = NATIONAL GEODETIC VERTICAL DATUM
N.T.S. = NOT TO SCALE
O/S = OFFSET
O/E = OFFSET
O.H. = OVERHEAD
O.H.L. = OVERHEAD UTILITY LINES
O.R.B. = OFFICIAL RECORDS BOOK
O.V.H. = OVERHANG
PVMT. = PAVEMENT
(P) = PLAT
P.L. = PROPERTY LINE
P.C.C. = POINT OF COMPOUND CURVATURE
P.C. = POINT OF CURVATURE
P.O.T. = POINT OF TANGENCY
P.O.C. = POINT OF COMMENCEMENT
P.O.B. = POINT OF BEGINNING
P.R.C. = POINT OF REVERSE CURVATURE
PWY = PARKWAY
P.R.M. = PERMANENT REFERENCE MONUMENT
P.L.S. = PROFESSIONAL LAND SURVEYOR
P.P. = POWER POLE
P.U.E. = PUBLIC UTILITY EASEMENT
P.U.E. = PUBLIC UTILITY EASEMENT
(R) = RECORD DISTANCE
R.R. = RAIL ROAD
RES. = RESIDENCE
R/W = RIGHT-OF-WAY
RAD. = RADIUS OR RADIAL
R = RADIUS
R.O.E. = ROOF OVERHANG EASEMENT
SEC. = SECTION
STY. = STORY
SWK. = SIDEWALK
S.P. = SET PK NAIL
S.P. = SET PIPE
S.P. = SCREENED PORCH
S.V. = SEWER VALVE
" = SECONDS
T = TANGENT
TB = TELEPHONE BOOTH
T.B.M. = TEMPORARY BENCH MARK
T.U.E. = TECHNOLOGY UTILITY EASEMENT
TSB = TRAFFIC SIGNAL BOX
T.S.P. = TRAFFIC SIGNAL POLE
TWP = TOWNSHIP
UTIL. = UTILITY
U.E. = UTILITY EASEMENT
V = VALLEY
W.M. = WATER METER
W.F. = WOOD FENCE
W.P. = WOOD PORCH
W.R. = WOOD ROOF
W.V. = WATER VALVE
M = MONUMENT LINE
℄ = CENTER LINE
Δ = DELTA

LEGAL DESCRIPTION:
LOT 12 & 13, BLOCK 4 SAN MARINO ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, PAGE 22 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PROPERTY ADDRESS:
205 E SAN MARINO
MIAMI BEACH, FLORIDA 33139

CERTIFICATION:
AZENDA PROPERTIES, LLC.

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY :
- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
- LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND/ OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING PLOT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- **FENCE OWNERSHIP NOT DETERMINED.**
- THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

FLOOD ZONE INFORMATION:
THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN:
FLOOD ZONE: "AE"
BASE FLOOD ELEVATION: 9 FEET.
COMMUNITY: 120651
PANEL: 0316
SUFFIX: L
DATE OF FIRM: 9/11/09
THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA.

SURVEYOR' S NOTES:
1. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
3. CERTIFICATE OF AUTHORIZATION LB # 7806.
4. ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929. MIAMI-DADE COUNTY BENCH MARK ID: D-172 ;LOCATOR NO.324SSW ; ELEVATION B.7.79 FEET OF N.G.V.D. OF 1929

SURVEYOR'S CERTIFICATION:
I HEREBY CERTIFY: THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

BY: JOHN IBARRA 05/15/2020 (DATE OF FIELD WORK)

PROFESSIONAL LAND SURVEYOR NO.: 5204 STATE OF FLORIDA.
(NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER).

REVISED ON 05/15/2020 TOPOGRAPHIC SURVEY
REVISED ON 03/31/2017 ADDED NEW SEAWALL ELEVATIONS
REVISED ON 12/07/2016 UPDATED SURVEY WITH CONCRETE BLOCK WALL ELEVATIONS
REVISED ON 09/29/2015 UPDATED SURVEY WITH TREES
REVISED ON 07/10/2015 ORIGINAL SURVEY

LEGEND
- OVERHEAD UTILITY LINES
- CONCRETE BLOCK WALL
- CHAIN LINK FENCE
- IRON FENCE
- WOOD FENCE
- BUILDING SETBACK LINE
- UTILITY EASEMENT
- LIMITED ACCESS R/W
- NON-VEHICULAR ACCESS R/W
- EXISTING ELEVATIONS

DRAWN BY:	LK
FIELD DATE:	05/15/2020
SURVEY NO:	15-002750-7
SHEET:	1 OF 1

JOHN IBARRA REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5204 STATE OF FLORIDA
L.B.# 7806 SEAL

IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES
1546 Jackson Street
Hollywood, Florida 33020
AA26001758
WWW.INSITEDESIGNGROUP.COM
ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:
AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

COPY OF ORIGINAL SURVEY

DATE:
05-16-2022

ITEM NUMBER:
12-C

MIAMIBEACH

Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	205 EAST SAN MARINO DR		
2	Folio number(s):	02-3232-003-0550		
3	Board and file numbers :	drb 22-0822 (CURRENT) DRB20- 0618 (PREVIOUS)/ DRB 17-0189 (PREVIOUS)		
4	Year built:	1938	Zoning District:	RESIDENTIAL - RS-3
5	Base Flood Elevation:	(+9'-0" NGVD) AE-9	Grade value in NGVD:	+4.36' NGVD
6	Adjusted grade (Flood+Grade/2):	(+7'-8 1/8"" NGVD)	Free board:	2'-0"
7	Lot Area:	18,375 sf		
8	Lot width:	105'-0"	Lot Depth:	175.00'
9	Max Lot Coverage SF and %:	5,512.50 SF 30%	Proposed Lot Coverage SF and %:	4,019.44 (22.87%)
10	Existing Lot Coverage SF and %:	3,871.36 (21.06%)	Lot coverage deducted (garage-storage) SF:	500 SF
11	Front Yard Open Space SF and %:	2,103 SF 66.7%	Rear Yard Open Space SF and %:	1,931.75 SF = 70%
12	Max Unit Size SF and %:	9,187.50 SF = 50%	Proposed Unit Size SF and %:	6,362.77 SF (34.6%)
13	Existing First Floor Unit Size:	4,300.71 SF	Proposed First Floor Unit Size:	3,424.68 (18.63%)
14	Existing Second Floor Unit Size	6,401SF PER TAX ROLL/ 7,742.72 sf PER SHADED DIAGRAM	Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval)	N/A
15			Proposed Second Floor Unit Size SF and % :	N/A
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	N/A
	Proposed lowest floor elevation	+11'-0" NGVD	Proposed Top of slab next higher floor	+25'-0" NGVD

		Required	Existing	Proposed	Deficiencies
17	**Height:**	**24'**		**26'-4" waiver**	
18	**Setbacks:**				
19	Front First level:	30'-0"		30'-0"	0
20	Front Second level:			62'-3"	0
21	Side 1:	10'-6"		13'-2"	0
22	Side 2 or (facing street):	10'-6"		13'-2"	0
23	Rear:	26'-3"		44'-10"	0
	Accessory Structure Side 1:	7'-6"		N/A	
24	Accessory Structure Side 2 or (facing street) :			N/A	
25	Accessory Structure Rear:	n/a		N/A	
26	Sum of Side yard :	26'-3"		26'-4"	

27	Located within a Local Historic District?	NO
28	Designated as an individual Historic Single Family Residence Site?	NO
29	Determined to be Architecturally Significant?	NO

Notes:

If not applicable write N/A N/A

All other data information should be presented like the above format

IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES
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Hollywood, Florida 33020
AA26001758
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ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

ZONING INFORMATION

DATE:

05-16-2022

ITEM NUMBER:

12-D

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DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

CONTEXT LOCATION PLAN

DATE:

05-16-2022

ITEM NUMBER:

12-E

IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES
1546 Jackson Street
Hollywood, Florida 33020
AA26001758
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DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

CONTEXT LOCATION PLAN

DATE:

05-16-2022

ITEM NUMBER:

12-E

CURRENT CONDITIONS AS OF NOVEMBER 12, 2020

YEAR BUILT:

BUILT IN 1938

ELEVATION HEIGHT:

8.43’ NGVD

205 CURRENT FRONT

205 CURRENT FRONT

205 CURRENT FRONT

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DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

CURRENT PHOTOGRAPHS OF PROJECT SITE

DATE:

05-16-2022

ITEM NUMBER:

12-F

205 CURRENT REAR

205 CURRENT REAR

205 CURRENT REAR

205 CURRENT REAR

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DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

CURRENT PHOTOGRAPHS OF PROJECT SITE

ITEM NUMBER:

12-F

1

2

3

KEY DIRECTIONAL PLAN

IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES
1546 Jackson Street
Hollywood, Florida 33020
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ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

Images Dated 11-12-2020

CURRENT PHOTOGRAPHS SURROUNDING PROPERTIES

DATE:

05-16-2022

ITEM NUMBER:

12-G

A

B

C

D

IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES
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Hollywood, Florida 33020
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DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

Images Dated
11-12-2020

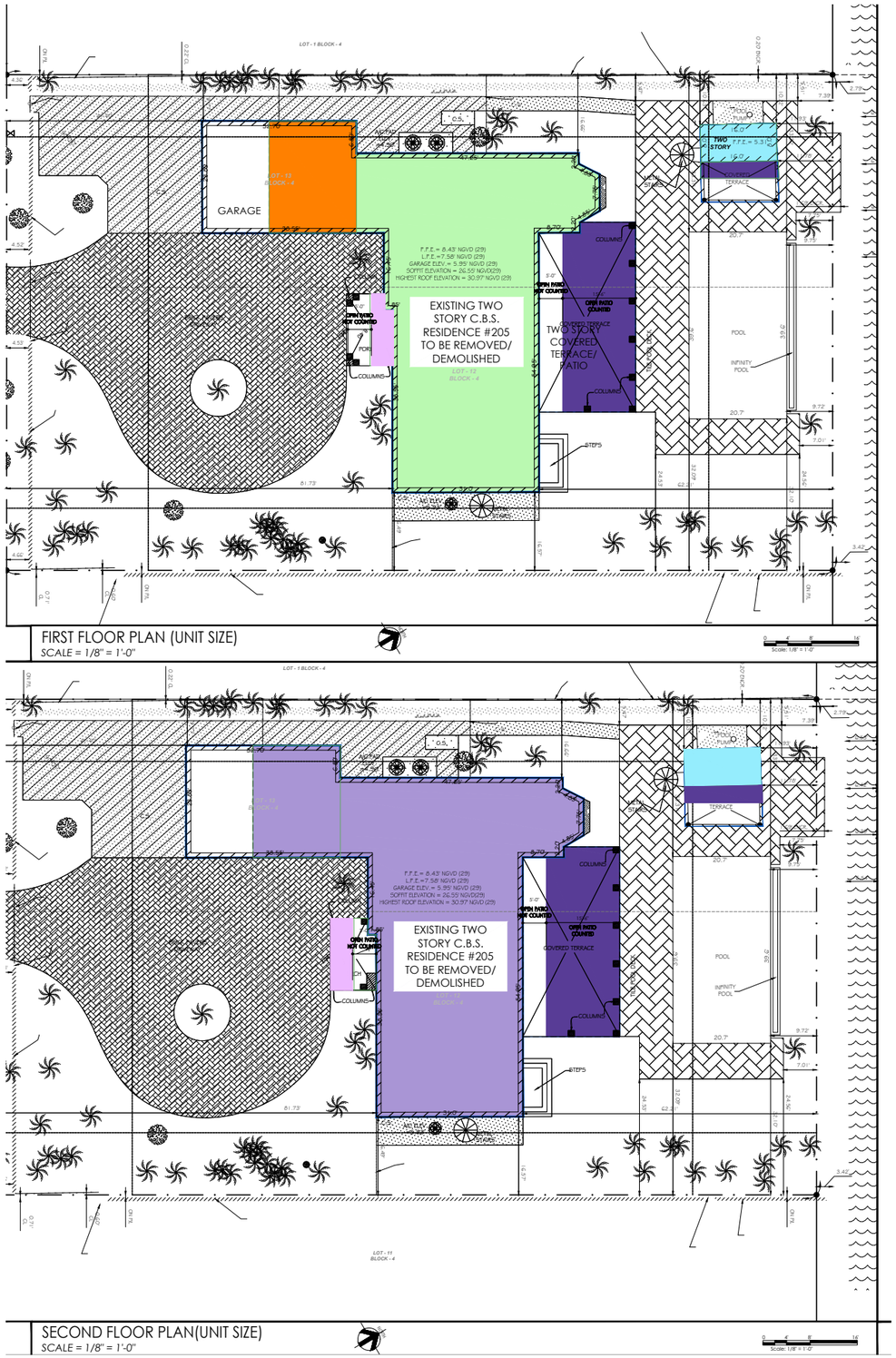
CURRENT PHOTOGRAPHS SURROUNDING PROPERTIES

DATE:

05-16-2022

ITEM NUMBER:

12-G



FIRST FLOOR PLAN (UNIT SIZE)
SCALE = 1/8" = 1'-0"

SECOND FLOOR PLAN(UNIT SIZE)
SCALE = 1/8" = 1'-0"

EXISTING FAR CALCULATIONS BASED ON AVAILABLE INFORMATION

FIRST FLOOR CALCULATIONS

- PHYSICAL VOLUME OF THE FIRST FLOOR = 2,576 SF
- PHYSICAL VOLUME OF GARAGE IN EXCESS OF 500SF OR A SECOND FLOOR ABOVE = 440 SF
- OPEN EXTERIOR AREA COUNTED AS ENTRY FEATURE = 64.36 SF
- OPEN PATIO IN EXCESS OF FIVE FOOT IN DEPTH = 663 SF
- SHADE ACCESSORY STRUCTURE /NOT OPEN ON THREE SIDES,TWO STORY- INCLUDED IN CALCULATION 128 SF

SUBTOTAL 3,871.36 SF

SECOND FLOOR CALCULATIONS

- PHYSICAL VOLUME OF THE SECOND FLOOR = 3,016 SF
- OPEN EXTERIOR AREA COUNTED AS ENTRY FEATURE (TWO STORY) = 64.36 SF
- OPEN PATIO IN EXCESS OF FIVE FOOT IN DEPTH = 663 SF
- SHADE ACCESSORY STRUCTURE /NOT OPEN ON THREE SIDES, TWO STORY - INCLUDED IN CALCULATION 128 SF

SUBTOTAL 3,871.36 SF

AREAS NOT INCLUDED

- PHYSICAL VOLUME OF THE ENCLOSED GARAGE NOT INCLUDED IN CALCULATION — 500 SF OF GARAGE AREA (NOT INCLUDED IN CALCULATION

EXISTING FAR

3,871.36 SF FIRST FLOOR
3,871.36 SF SECOND FLOOR
7,742.72 SF /18,375 SF =
(42.14%)

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DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

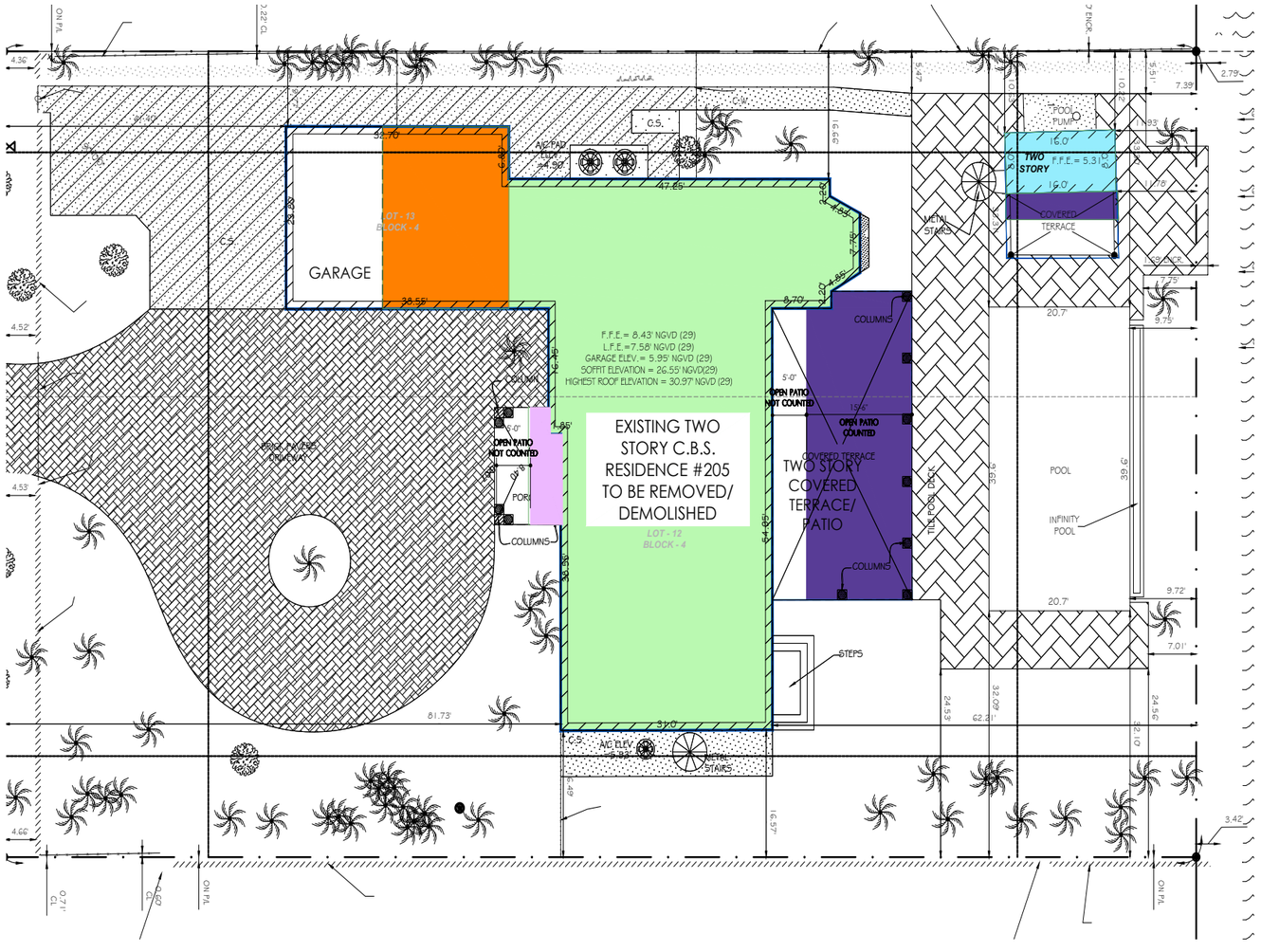
EXISTING UNIT SIZE DIAGRAMS 1ST & 2ND FLOOR

DATE:

05-16-2022

ITEM NUMBER:

12-H



EXISTING FAR CALCULATIONS BASED ON AVAILABLE INFORMATION

FIRST FLOOR CALCULATIONS

PHYSICAL VOLUME OF THE FIRST FLOOR = 2,576 SF

PHYSICAL VOLUME OF GARAGE IN EXCESS OF 500SF OR A SECOND FLOOR ABOVE = 440 SF

OPEN EXTERIOR AREA COUNTED AS ENTRY FEATURE = 64.36 SF

OPEN PATIO IN EXCESS OF FIVE FOOT IN DEPTH = 663 SF

SHADE ACCESSORY STRUCTURE /NOT OPEN ON THREE SIDES,TWO STORY- INCLUDED IN CALCULATION 128 SF

SUBTOTAL 3,871.36 SF

EXISTING FAR

3,871.36 SF FIRST FLOOR
3,871.36 SF SECOND FLOOR
7,742.72 SF /18,375 SF = (42.14%)

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DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

EXISTING LOT COVERAGE SHADED DIAGRAMS

DATE:

05-16-2022

ITEM NUMBER:

12-H

FIRST FLOOR LOT COVERAGE CALCULATIONS

	PHYSICAL VOLUME OF THE FIRST FLOOR = 3,185.28 SF	LOT COVERAGE
	PHYSICAL VOLUME OF GARAGE IN EXCESS OF 500SF = 239.4 SF	4,019.44 SF /18,375 SF LOT = 22.87%
	OPEN EXTERIOR AREA COUNTED AS ENTRY FEATURE = 88.01 SF	
	OPEN PATIO IN EXCESS OF FIVE FOOT IN DEPTH = 506.75 SF	
	SUBTOTAL 4,019.44 SF	
	ARCH FEATURE OPEN ON ONE SIDE/ NOT COUNTED = 503.09 SF	
	PHYSICAL VOLUME OF THE ENCLOSED GARAGE NOT INCLUDED IN LOT COVERAGE	500 SF OF GARAGE AREA
	AREAS NOT COUNTED	

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DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

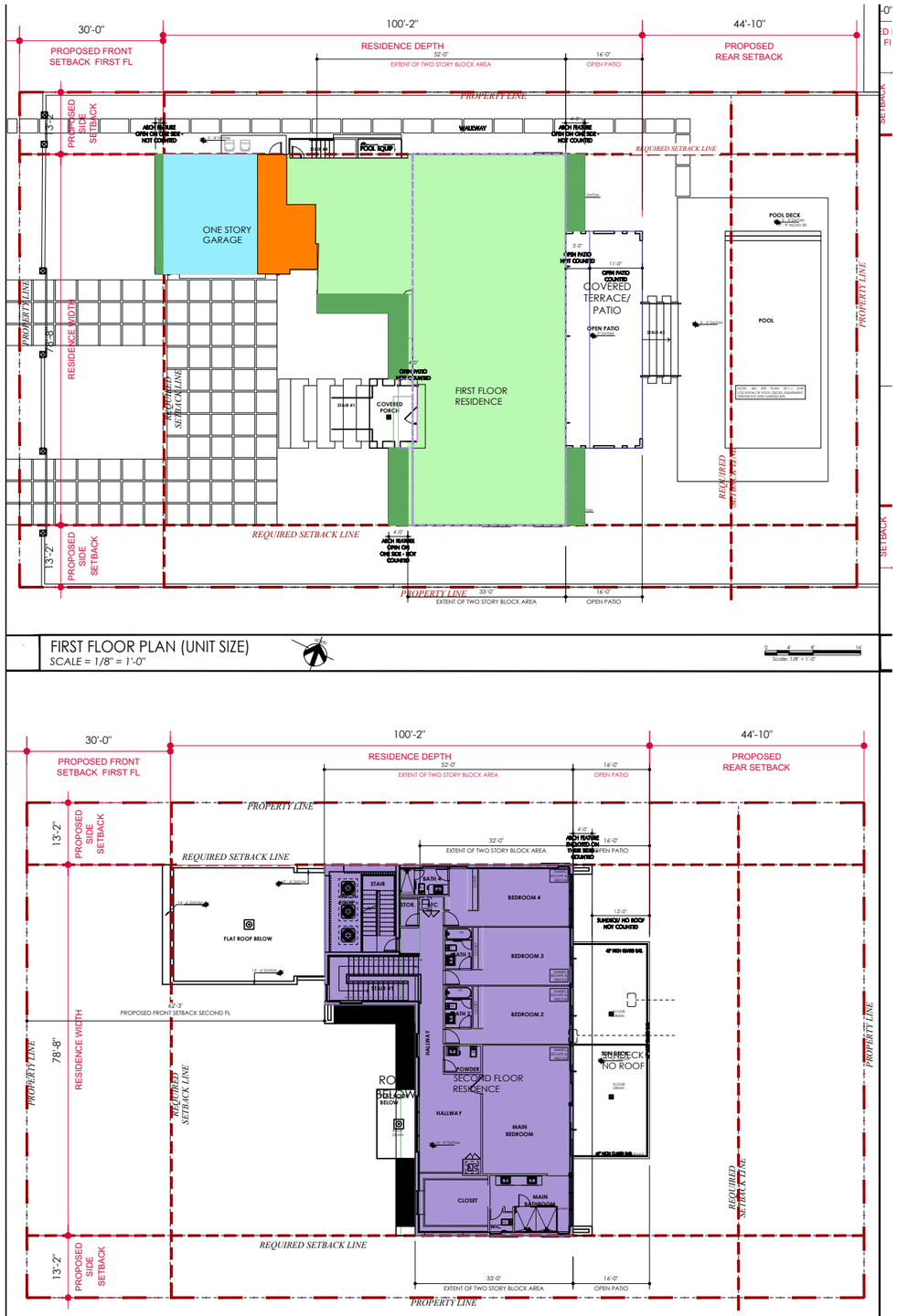
PROPOSED LOT COVERAGE SHADED DIAGRAMS

DATE:

05-16-2022

ITEM NUMBER:

12-I



FIRST FLOOR PLAN (UNIT SIZE)
SCALE = 1/8" = 1'-0"

SECOND FLOOR PLAN(UNIT SIZE)
SCALE = 1/8" = 1'-0"

UNIT SIZE CALCULATIONS

PHYSICAL VOLUME OF THE FIRST FLOOR = 3,185.28 SF

PHYSICAL VOLUME OF GARAGE IN EXCESS OF 500SF = 239.4 SF

FIRST FLOOR CALCULATIONS

SUBTOTAL 3,424.68 SF

OPEN EXTERIOR AREA COUNTED AS ENTRY FEATURE = 55.12 SF

OPEN PATIO IN EXCESS OF FIVE FOOT IN DEPTH = 230 SF

FIRST FL ARCH FEATURE OPEN ON ONE SIDE/ NOT COUNTED = 503.09 SF

AREAS NOT INCLUDED

PHYSICAL VOLUME OF THE SECOND FLOOR = 3,158 SF

SECOND FLOOR CALCULATIONS

SUBTOTAL 3,158 SF

SECOND FL ARCH FEATURE OPEN ON ONE SIDE/ NOT COUNTED = 552.51 SF

PHYSICAL VOLUME OF THE ENCLOSED GARAGE NOT INCLUDED IN CALCULATION

500 SF OF GARAGE AREA (NOT INCLUDED IN CALCULATION

ROOF SHADE ACCESSORY STRUCTURE /OPEN ON THREE SIDES, LESS THAN 2% OF LOT- NOT INCLUDED IN CALCULATION

AREAS NOT INCLUDED

UNIT SIZE
3,204.77 SF FIRST FLOOR
3,158 SF SECOND FLOOR
6,362.77 SF /18,375 SF = (34.6%)

ROOF ACCESSIBLE AREA CALCULATION
SCALE = 1/8" = 1'-0"

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DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

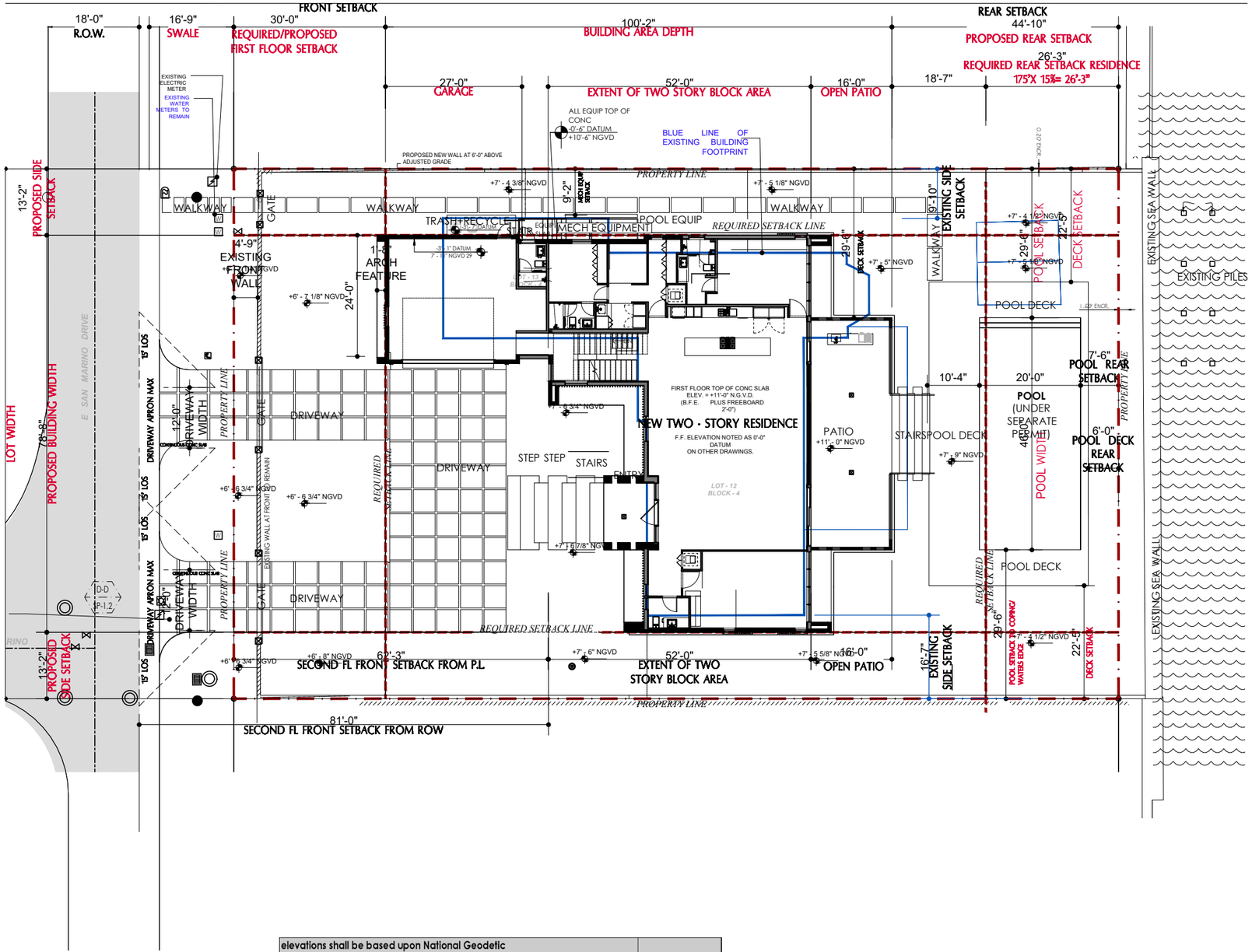
PROPOSED UNIT SIZE DIAGRAMS 1ST & 2ND FLOOR

DATE:

05-16-2022

ITEM NUMBER:

12-J



PROJECT SHALL COMPLY WITH URBAN HEAT ISLAND ORDINANCE
Sec. 142- 1132. g) Driveways. (4) Driveways and parking areas that are open to the sky within any required yard shall be composed of porous pavement or shall have a high albedo surface consisting of a durable material or sealant, as defined in section 114- 1 of this Code. (5) Driveways and parking areas composed of asphalt that does not have a high albedo surface, as defined in section 114- 1 of this Code, shall be prohibited.

elevations shall be based upon National Geodetic Vertical Datum of 1929 (NGVD 1929):	NGVD
Garage top of slab elevation (LP)	+7'-9"
Proposed Top of Slab Elevation (HP):	+7'-11"
Lowest Top of Slab Elevation of habitable space/ Design flood elevation (DFE):	+11'-0"
Next Higher floor elevation:	+25'-0"
Lowest Grade elevation adjacent to building:	+5.38'
Proposed Highest adjacent grade next to building:	+7'-6"
Crown of the Road Elevation	+4.36'
Adjusted Grade Elevation:	+7.68'
Lowest elevation of machinery or equipment servicing the building:	+10'-6"

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1546 Jackson Street
Hollywood, Florida 33020
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ANNIE K. CARRUTHERS
ARCHITECT AR-97156

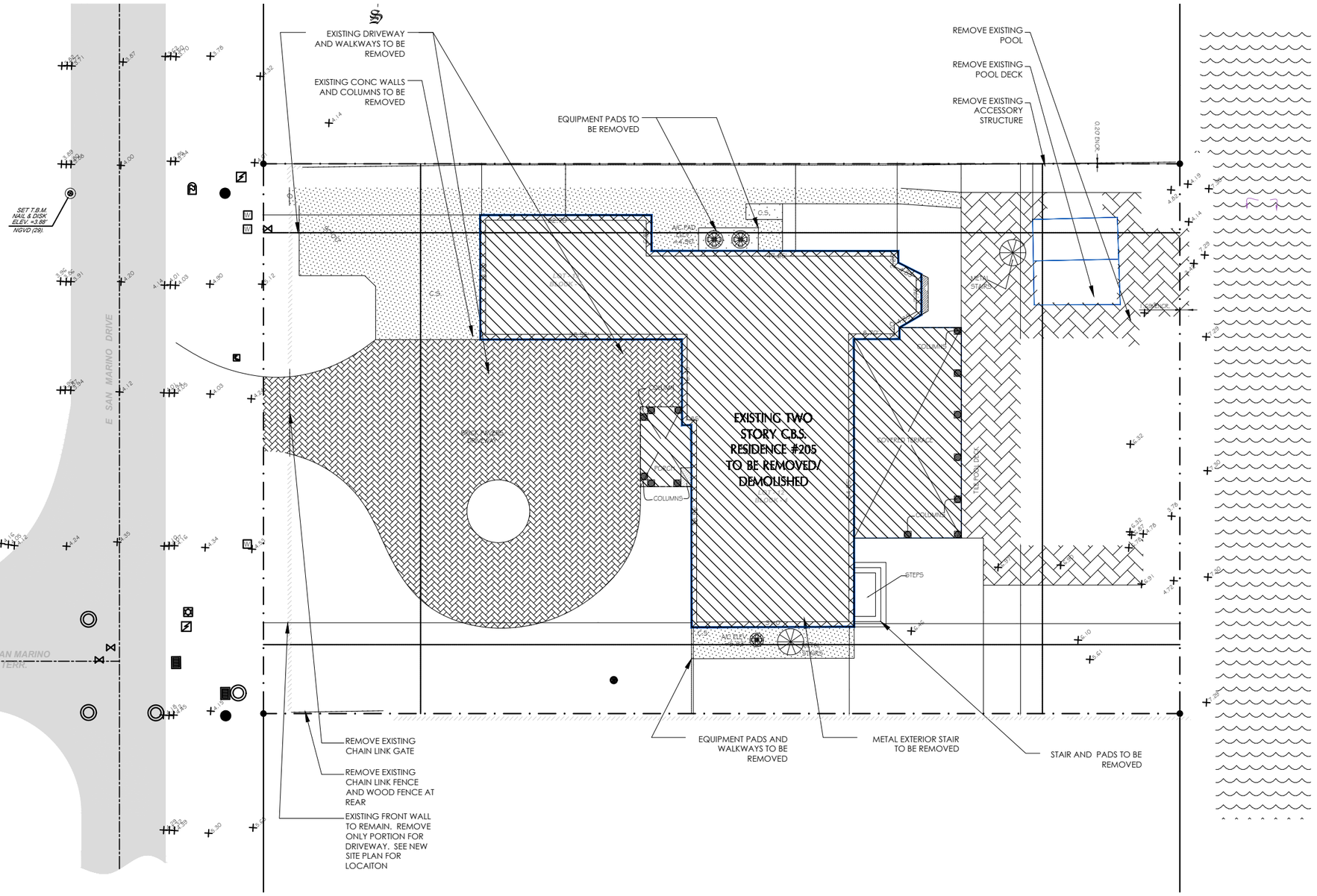
DRB 22-0822

PROJECT:
AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

SITE PLAN

DATE:
05-16-2022

ITEM NUMBER:
12-K



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DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

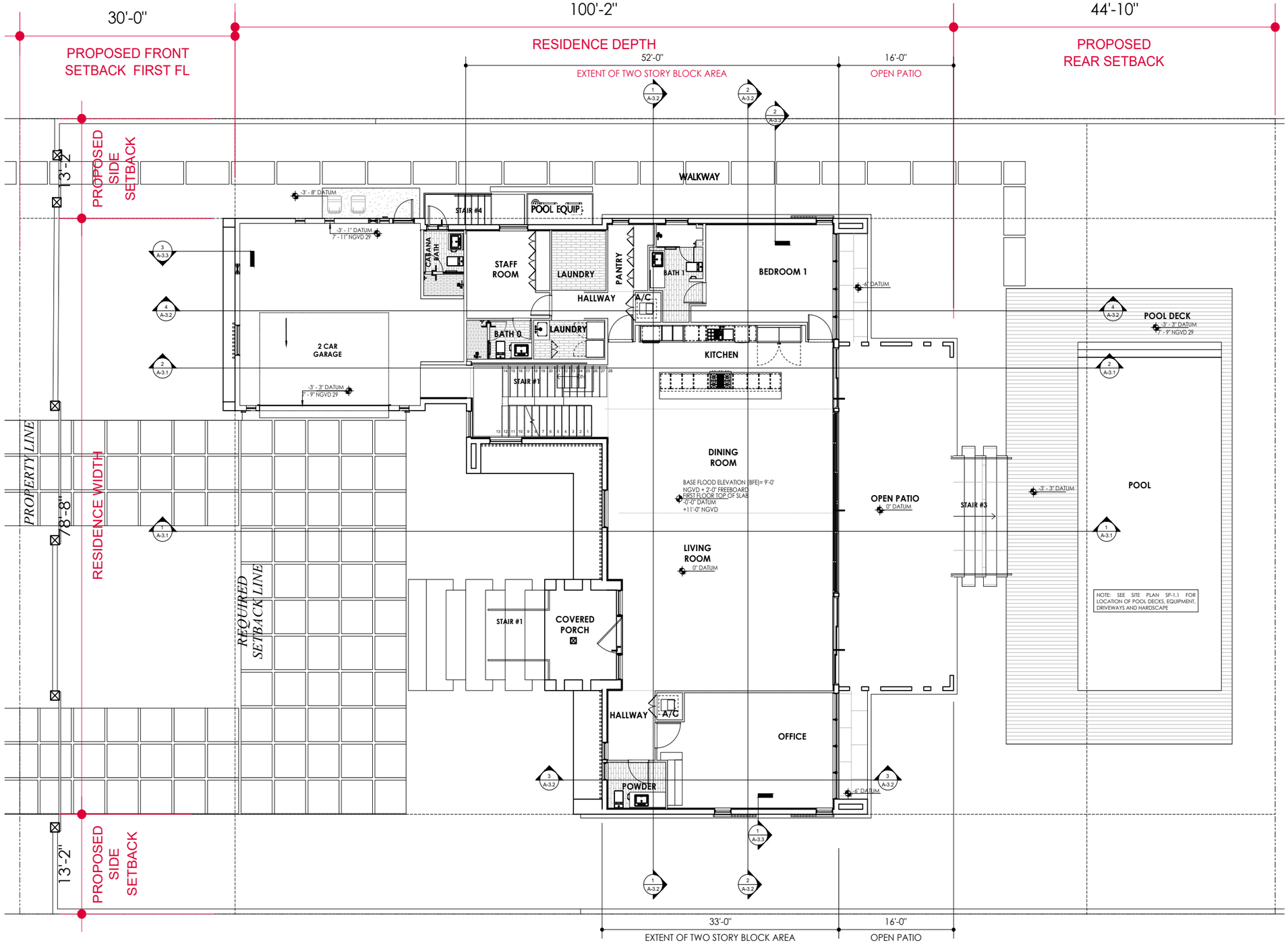
DEMO PLANS

DATE:

05-16-2022

ITEM NUMBER:

12-L



1 | FIRST FLOOR PLAN
SCALE = 3/16" = 1'-0"

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PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

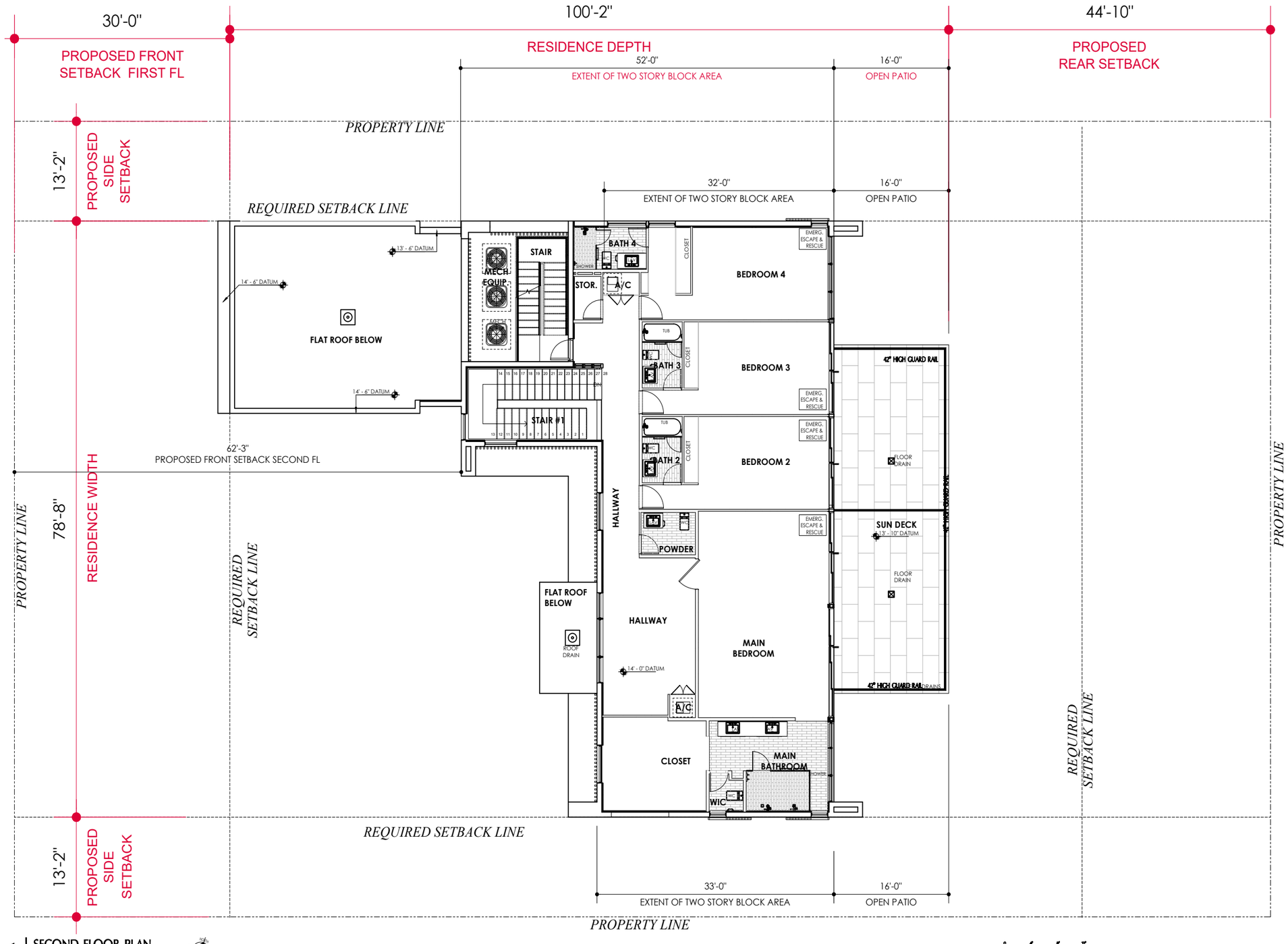
PROPOSED 1ST FLOOR PLAN

DATE:

05-16-2022

ITEM NUMBER:

12-M



1 | SECOND FLOOR PLAN
SCALE = 3/16" = 1'-0"

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PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

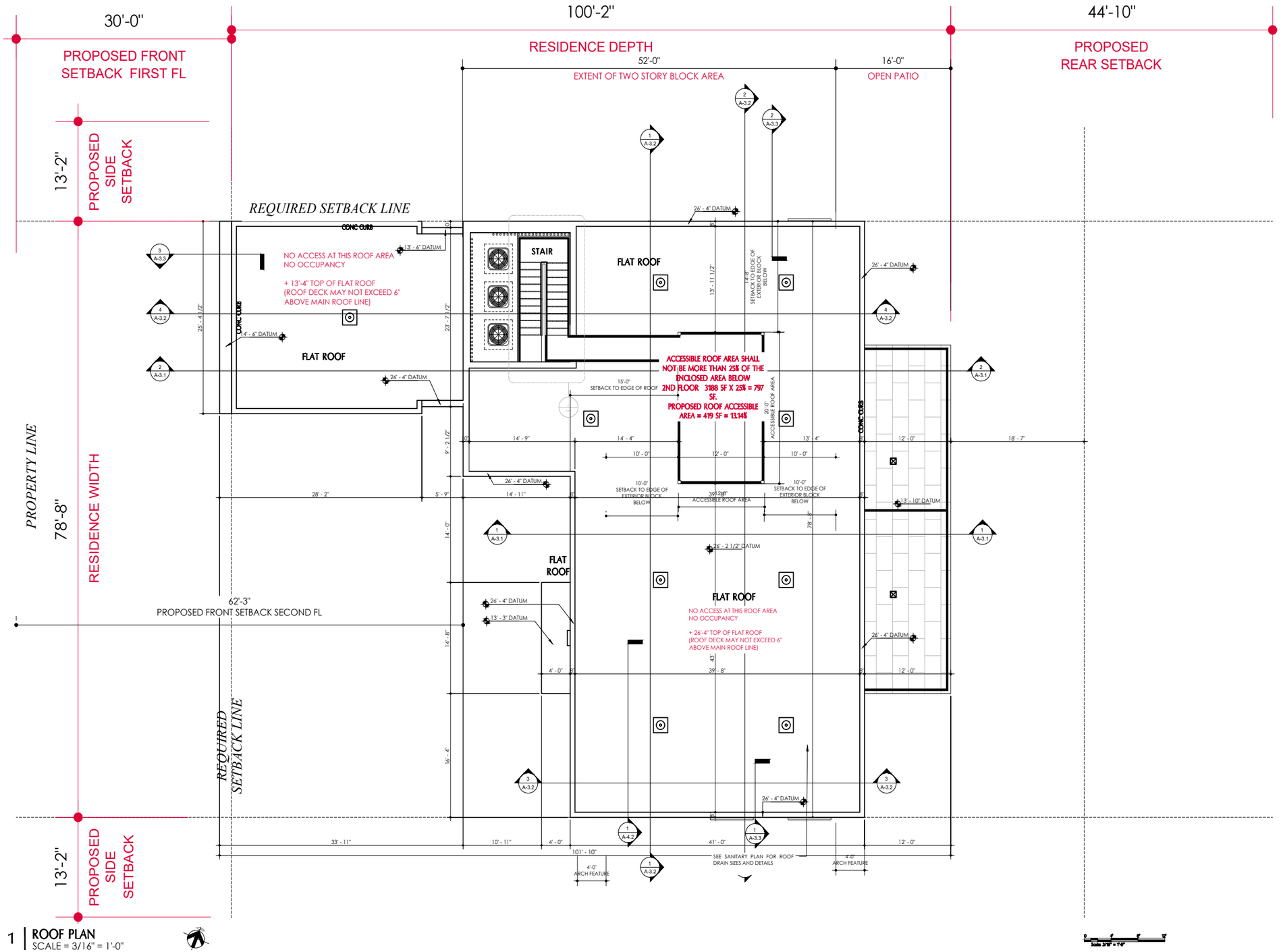
PROPOSED 2ND FLOOR PLAN

DATE:

05-16-2022

ITEM NUMBER:

12-M



1 | **ROOF PLAN**
SCALE = 3/16" = 1'-0"

IN-SITE DESIGN GROUP LLC
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1546 Jackson Street
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DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

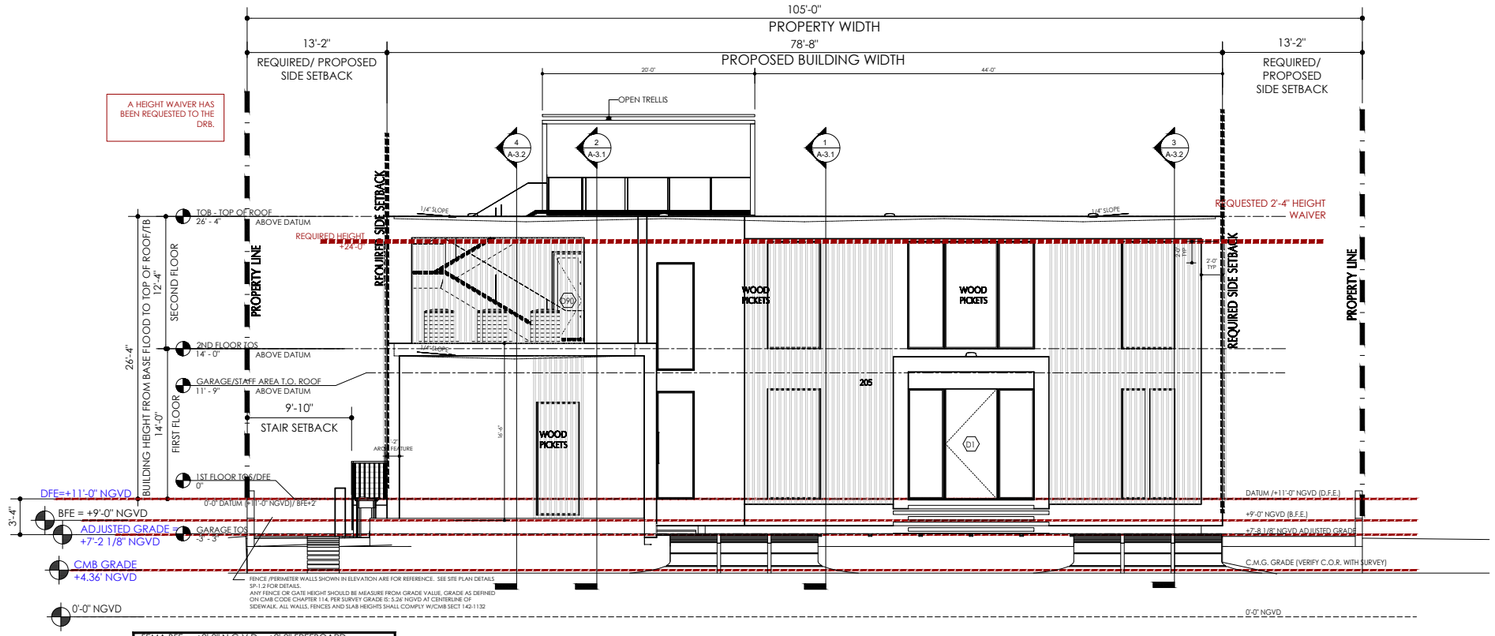
PROPOSED ROOF PLAN

DATE:

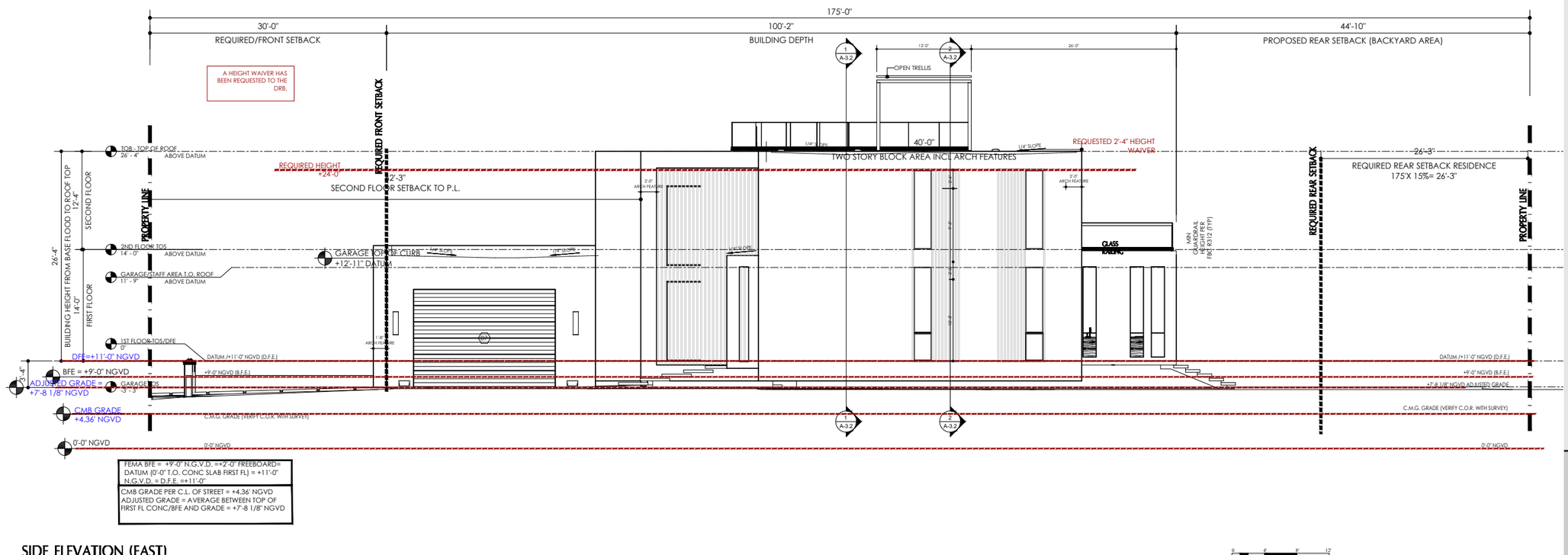
05-16-2022

ITEM NUMBER:

12-M



FRONT ELEVATION
SCALE = 3/16" = 1'-0"



SIDE ELEVATION (EAST)
SCALE = 3/16" = 1'-0"

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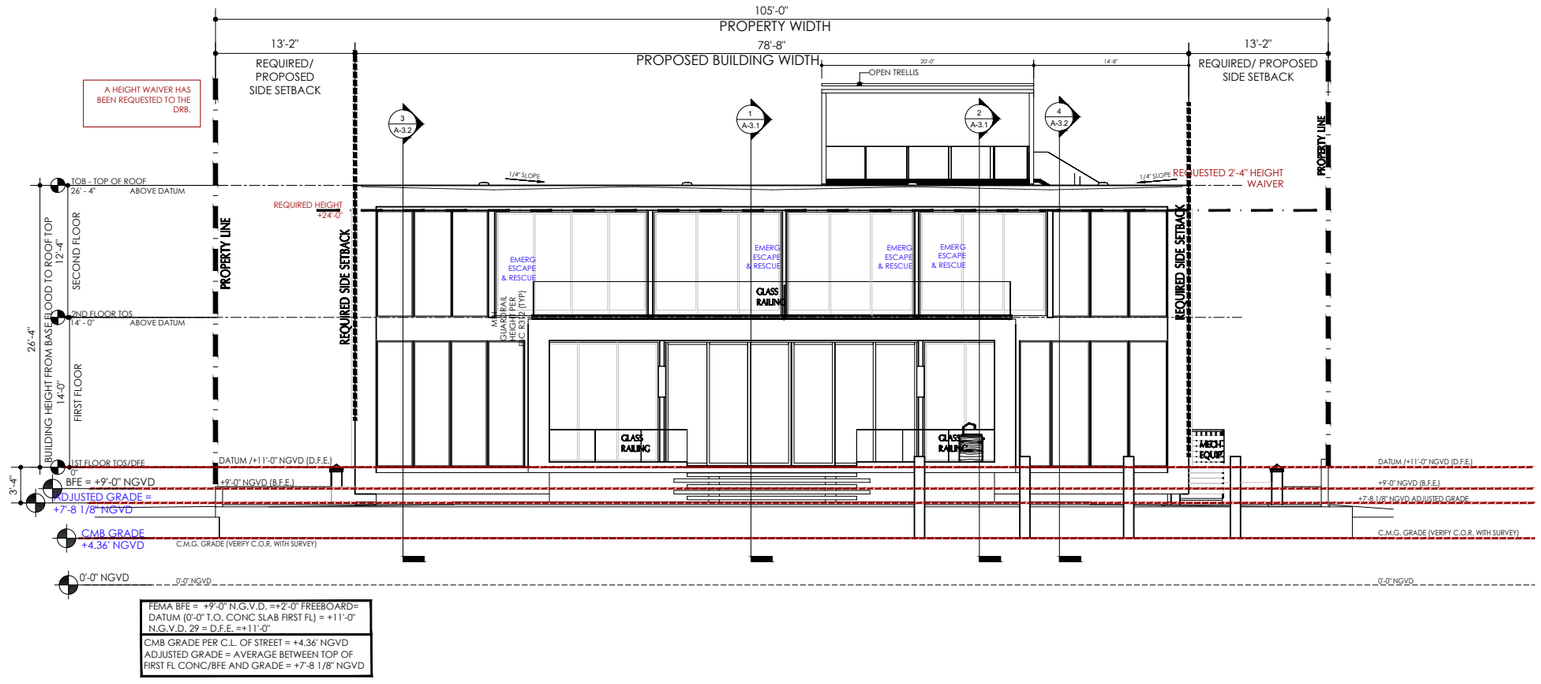
PROJECT:
AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

PROPOSED ELEVATIONS

DATE:
05-16-2022

ITEM NUMBER:
12-N



REAR ELEVATIONS
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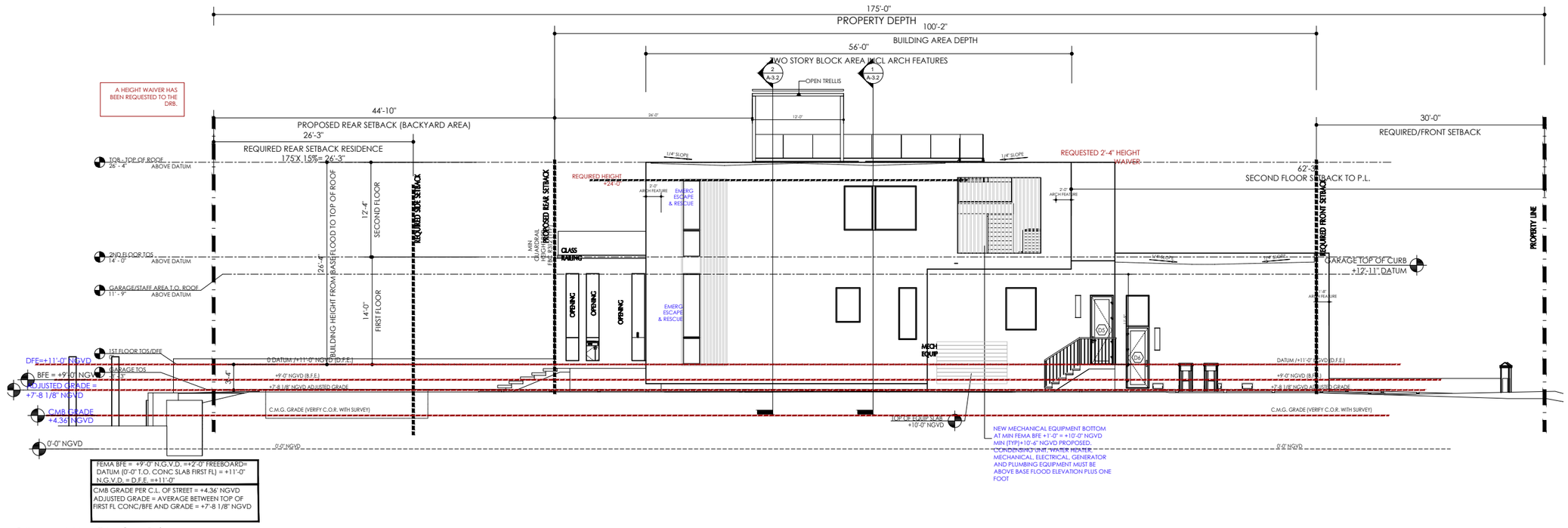

SIDE ELEVATION (WEST)
SCALE = 3/16" = 1'-0"

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PROJECT:
AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

PROPOSED ELEVATIONS

DATE:
05-16-2022

ITEM NUMBER:
12-N

STUCCO

STUCCO: SW 7570 EGRET WHITE

EXT. WINDOWS & DOORS

ES WINDOWS ALUMN IN BRONZE COLOR

STUCCO

STUCCO: SW 7047 PORPOISE

EXT. VENEER

RESYSTA TRUGRAIN POLYMER COMPOSIT - STAINED C-29

DRIVEWAY

CONCRETE DRIVEWAY TO COMPLY WITH URBAN HEAT ISLAND ORDINANCE

IN-SITE DESIGN GROUP LLC
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DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

PROPOSED MATERIALS & FINISHES

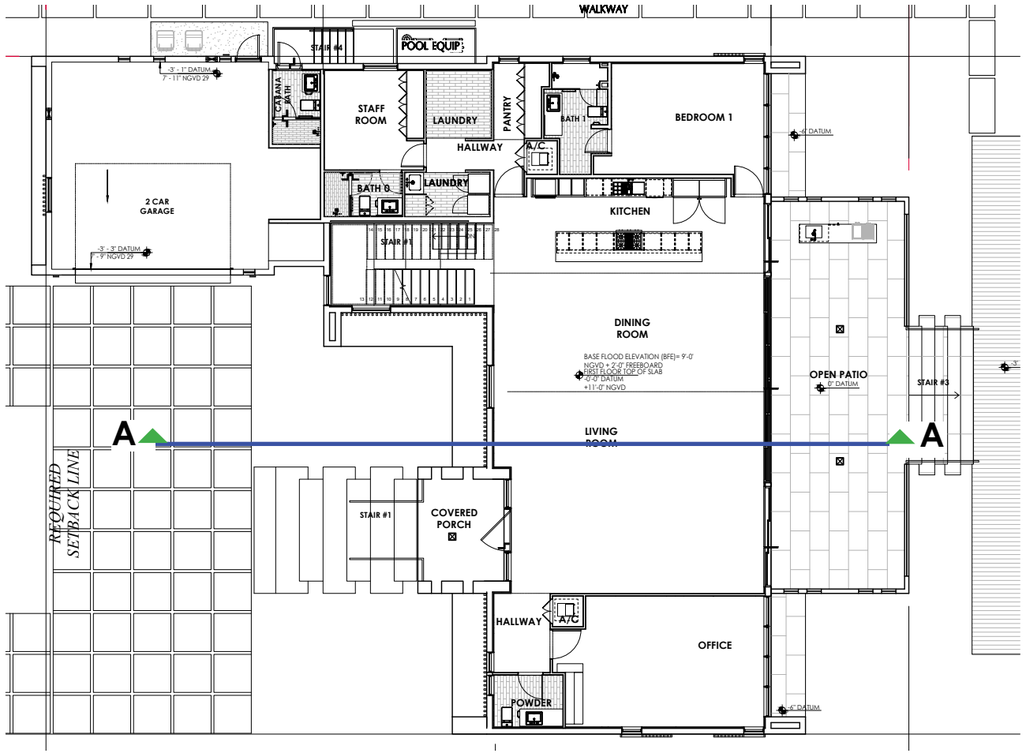
DATE:

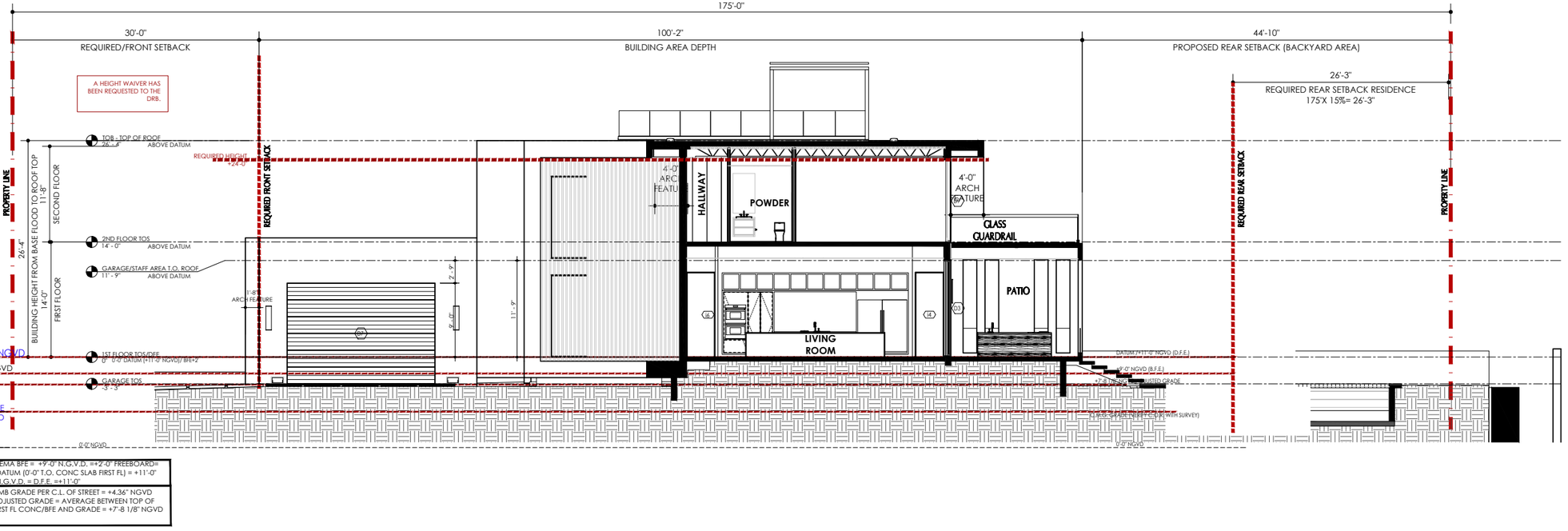
05-16-2022

ITEM NUMBER:

12-N

SECTION LOCATION PLAN





A | BUILDING SECTION
SCALE - 3/16" - 1'-0"

Scale: 3/16" = 1'-0"

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DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

PROPOSED BUILDING SECTION

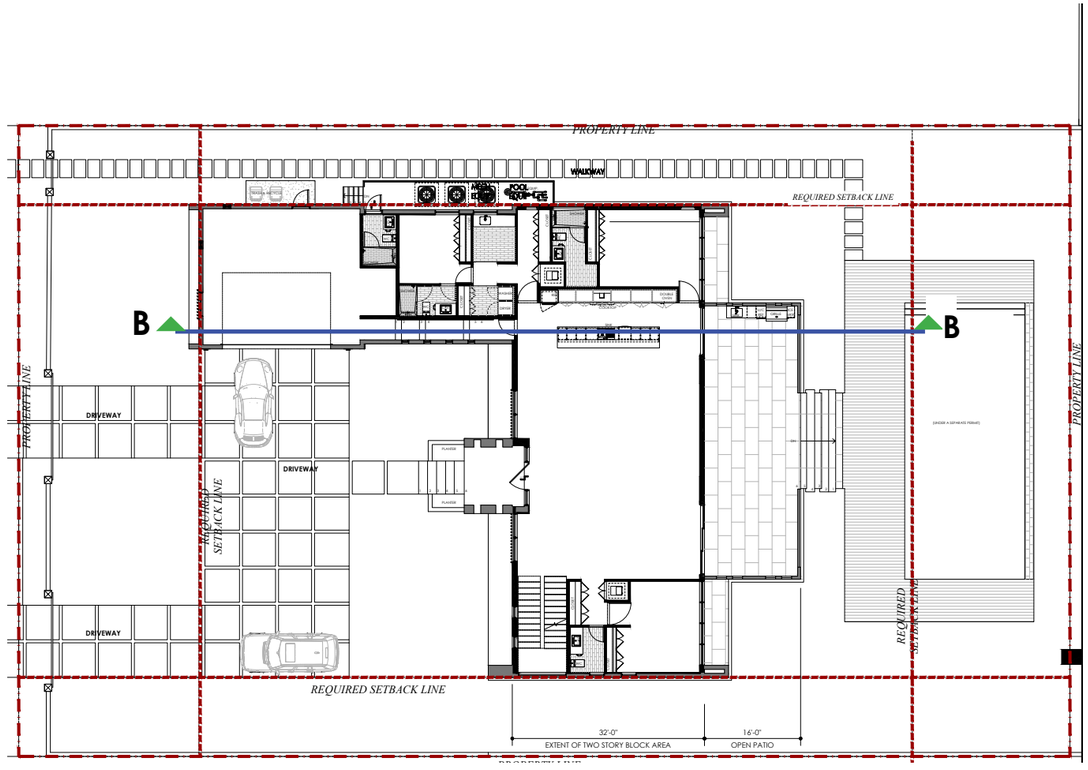
DATE:

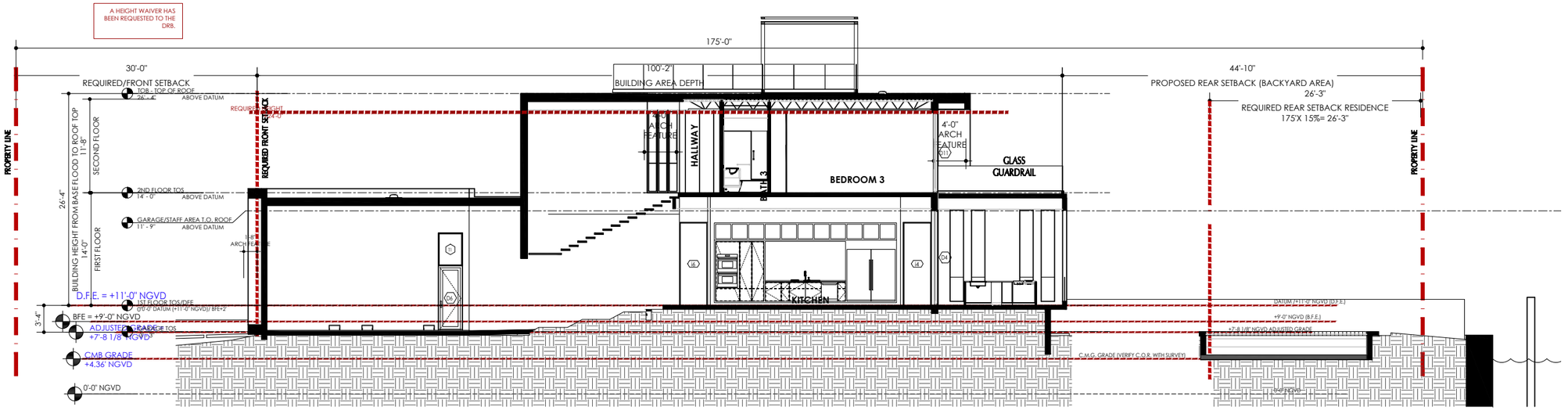
05-16-2022

ITEM NUMBER:

12-O

SECTION LOCATION PLAN





B | BUILDING SECTION
SCALE = 3/16" = 1'-0"

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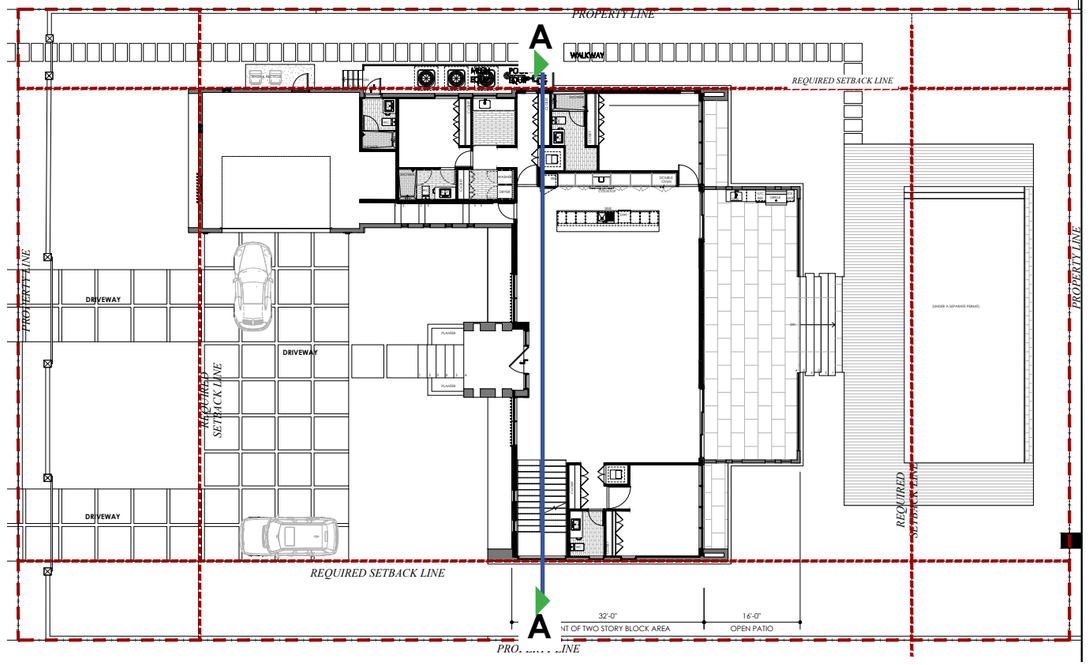
PROJECT:
AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

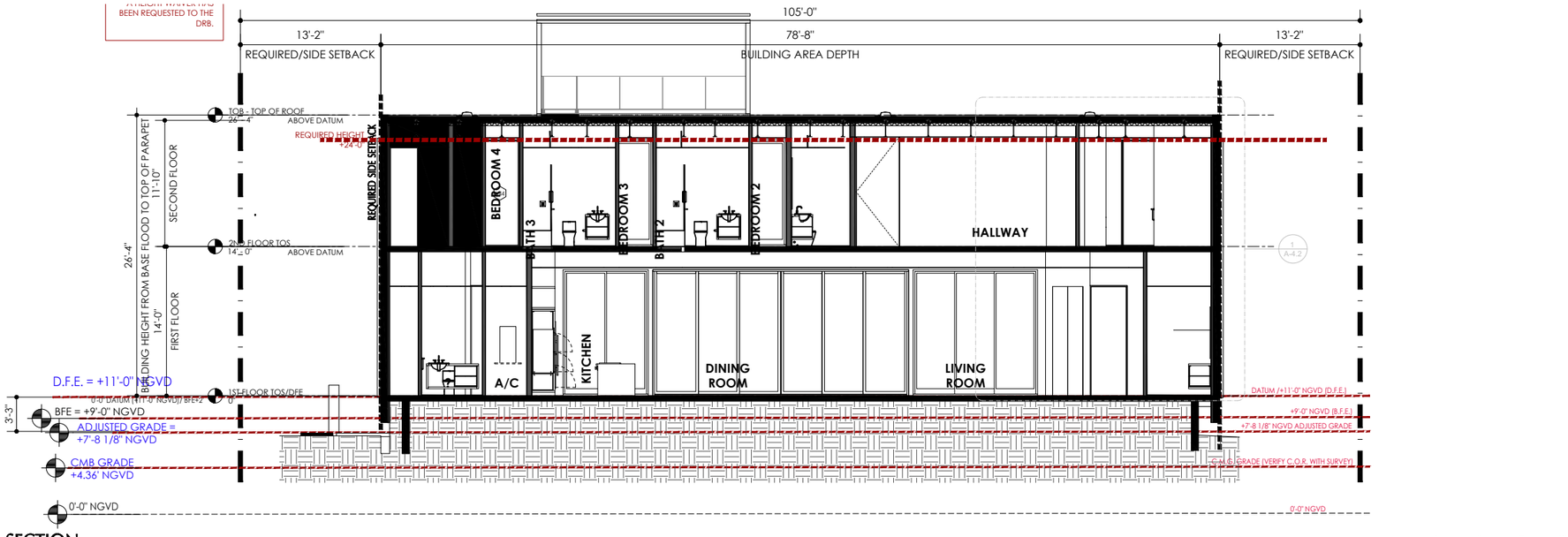
PROPOSED BUILDING SECTION

DATE:
05-16-2022

ITEM NUMBER:
12-O

SECTION LOCATION PLAN





A | BUILDING SECTION
SCALE = 3/16" = 1'-0"

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PROJECT:
AZENDA RESIDENCE
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PROPOSED BUILDING SECTION

DATE:
05-16-2022

ITEM NUMBER:
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PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

PROPOSED FRONT ELEVATION RENDERING

DATE:

05-16-2022

ITEM NUMBER:

12-P

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PROJECT:

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PROPOSED FRONT ELEVATION RENDERING

DATE:

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ITEM NUMBER:

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PROJECT:

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PROPOSED FRONT ELEVATION RENDERING

DATE:

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ITEM NUMBER:

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PROJECT:

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PROPOSED FRONT ELEVATION RENDERING

DATE:

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PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

PROPOSED SOUTH SIDE ELEVATION RENDERING

DATE:

05-16-2022

ITEM NUMBER:

12-P

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ARCHITECTURAL SERVICES

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PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

PROPOSED NORTH SIDE ELEVATION RENDERING

DATE:

05-16-2022

ITEM NUMBER:

12-P

IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES

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ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

PROPOSED REAR ELEVATION RENDERING

DATE:

05-16-2022

ITEM NUMBER:

12-P

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PROJECT:

AZENDA RESIDENCE
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PROPOSED REAR ELEVATION RENDERING

DATE:

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ITEM NUMBER:

12-P

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PROJECT:

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PROPOSED REAR ELEVATION RENDERING

DATE:

ITEM NUMBER:

12-P

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PROPOSED REAR ELEVATION RENDERING

DATE:

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ITEM NUMBER:

12-P

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PROJECT:

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PROPOSED REAR ELEVATION RENDERING

DATE:

05-16-2022

ITEM NUMBER:

12-P

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PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

CONTEXTUAL ELEVATION

DATE:

05-16-2022

ITEM NUMBER:

12-Q

UNIT SIZE CALCULATIONS

FIRST FLOOR CALCULATIONS

PHYSICAL VOLUME OF THE FIRST FLOOR = 3,185.28 SF

PHYSICAL VOLUME OF GARAGE IN EXCESS OF 500SF = 239.4 SF

SUBTOTAL 3,424.68 SF

AREAS NOT INCLUDED

OPEN EXTERIOR AREA COUNTED AS ENTRY FEATURE = 55.12 SF

OPEN PATIO IN EXCESS OF FIVE FOOT IN DEPTH = 230 SF

FIRST FL ARCH FEATURE OPEN ON ONE SIDE/ NOT COUNTED = 503.09 SF

SECOND FLOOR CALCULATIONS

PHYSICAL VOLUME OF THE SECOND FLOOR = 3,158 SF

SUBTOTAL 3,158 SF

AREAS NOT INCLUDED

SECOND FL ARCH FEATURE OPEN ON ONE SIDE/ NOT COUNTED = 552.51 SF

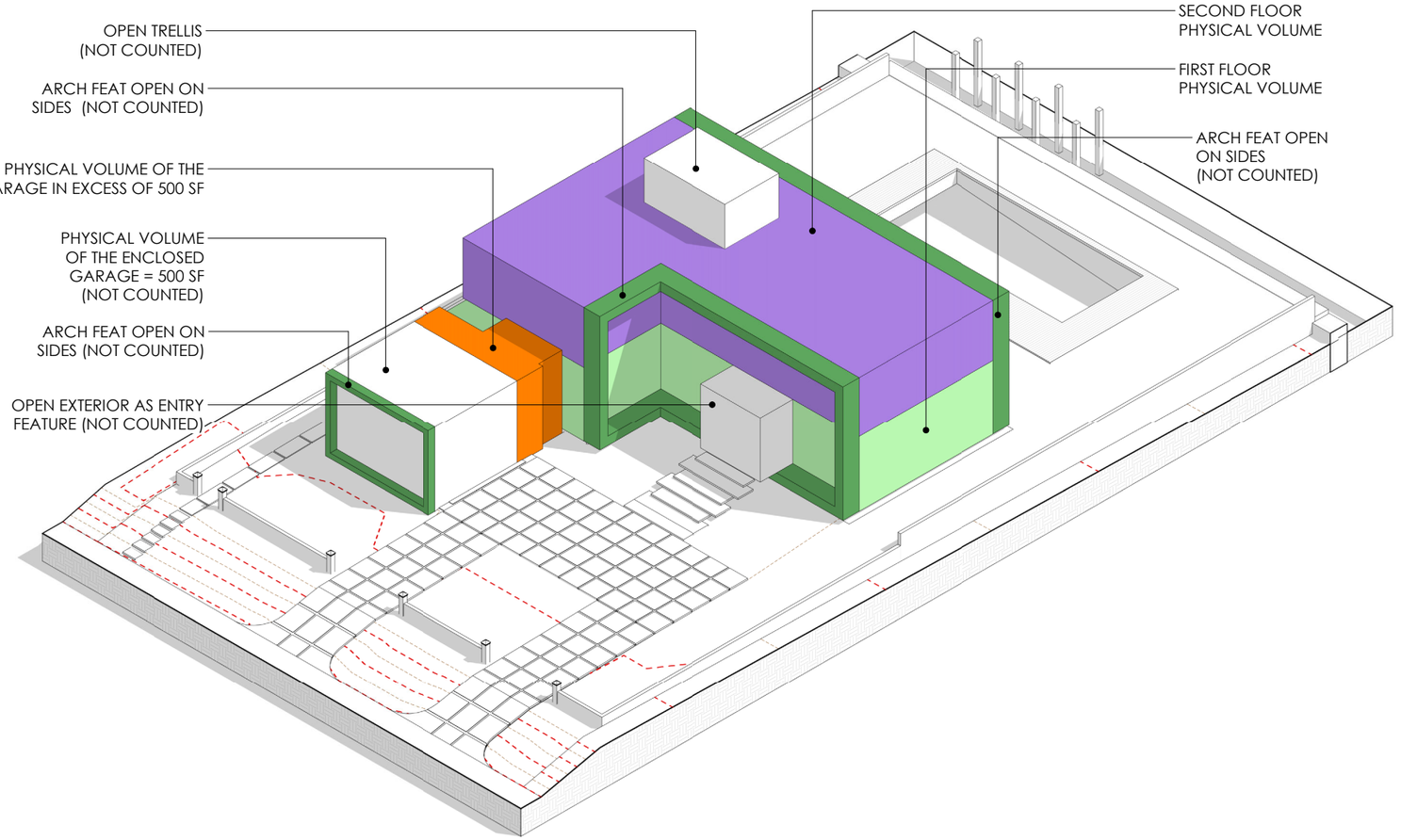
PHYSICAL VOLUME OF THE ENCLOSED GARAGE NOT INCLUDED IN CALCULATION

500 SF OF GARAGE AREA (NOT INCLUDED IN CALCULATION

ROOF SHADE ACCESSORY STRUCTURE /OPEN ON THREE SIDES, LESS THAN 2% OF LOT- NOT INCLUDED IN CALCULATION

UNIT SIZE

3,204.77 SF FIRST FLOOR
3,158 SF SECOND FLOOR
6,362.77 SF /18,375 SF = (34.6%)



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PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

EXPLODED AXONOMETRIC DIAGRAM UNIT SIZE

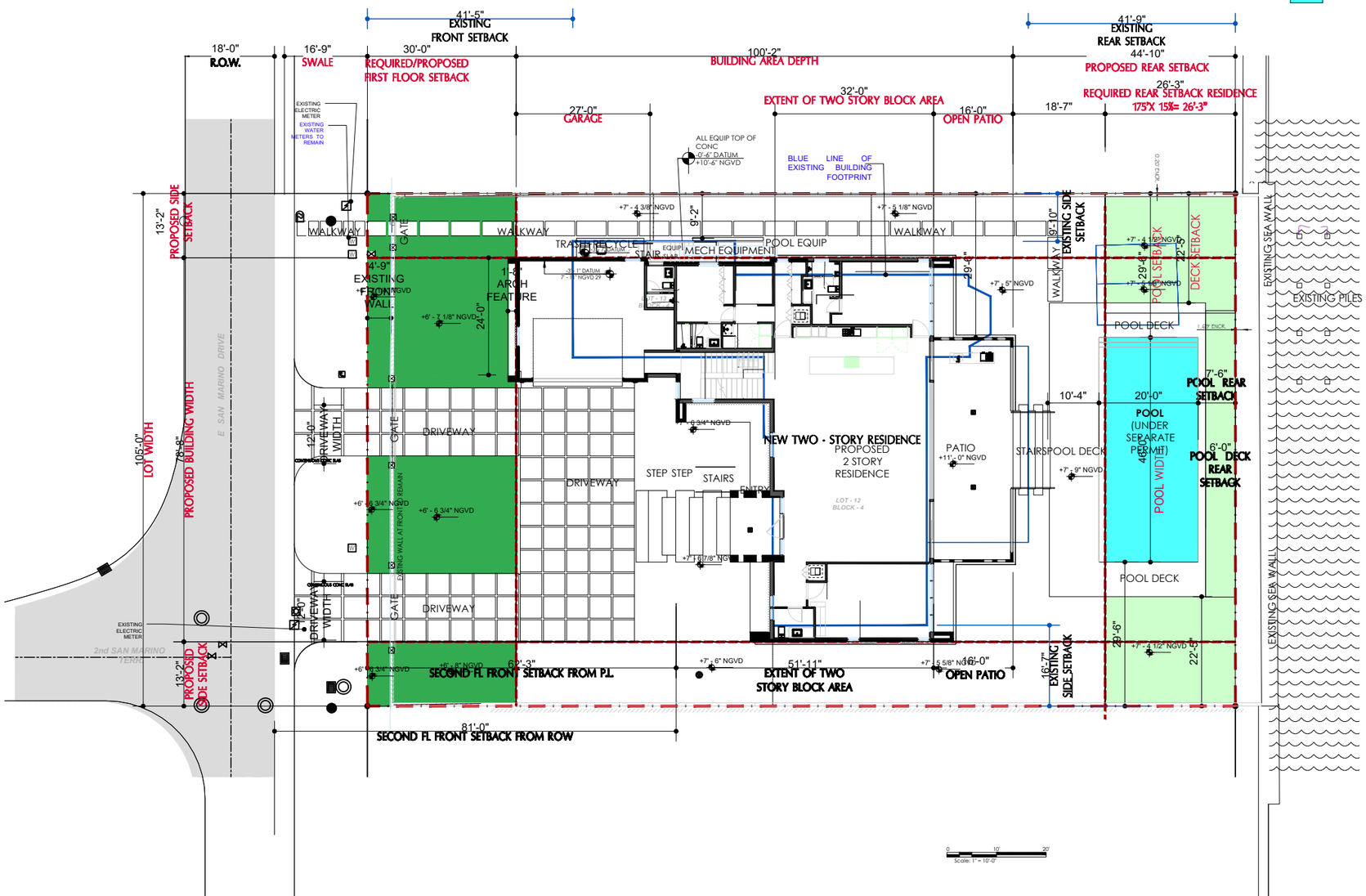
DATE:

05-16-2022

ITEM NUMBER:

12-R

OPEN SPACE LEGEND	CALCULATION	
	REQUIRED	PROVIDED
FRONT SETBACK MIN PERVIOUS	50% MIN	2,103 SF/3150 = 66.7%
	30' X 105' = 3150 TOTAL SPACE FRONT YARD X 50% = 1,575 SF MIN REQ	2,103 SF OPEN
	FRONT YARD PERVIOUS 2,103 SF (66.7%)	
	FRONT YARD IMPERVIOUS 1,047 SF 33.3%)	
REAR SETBACK MIN PERVIOUS	70% MIN	1,500.5 SF+ (862.5/2)431.25= 1,931.75SF/2,756.25 SF (70%)
POOL WATER COUNTED 50%	2,756.25 SF TOTAL SPACE REAR YARD X 70% = 1,929.3 SF MIN REQ	1,931.75 SF OPEN AT REAR (70%)



OPEN SPACE SHADED PLAN

IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES
1546 Jackson Street
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DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

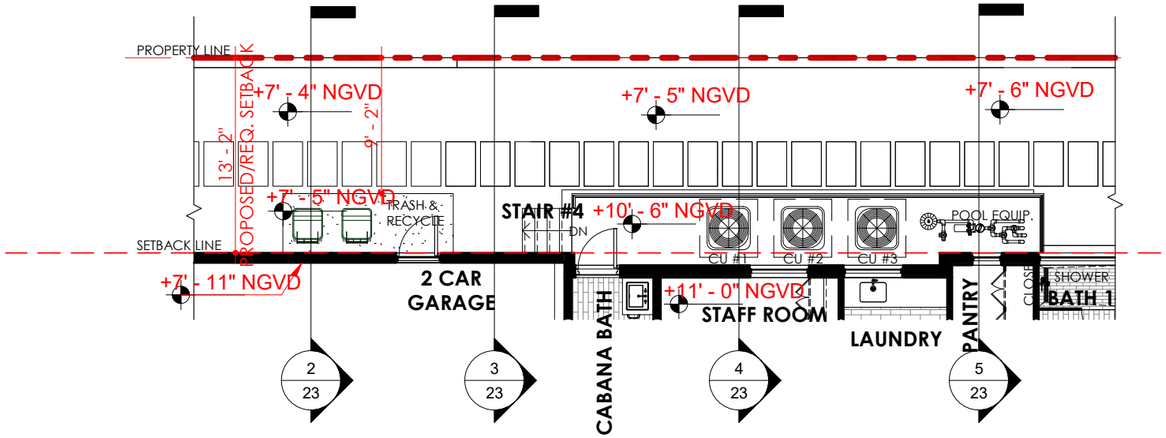
REQUIRED YARDS OPEN SPACE CALCULATIONS AND SHADED DIAGRAMS

DATE:

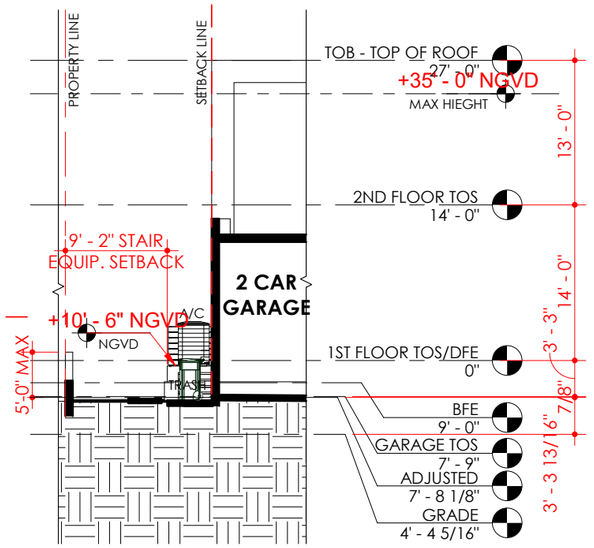
05-16-2022

ITEM NUMBER:

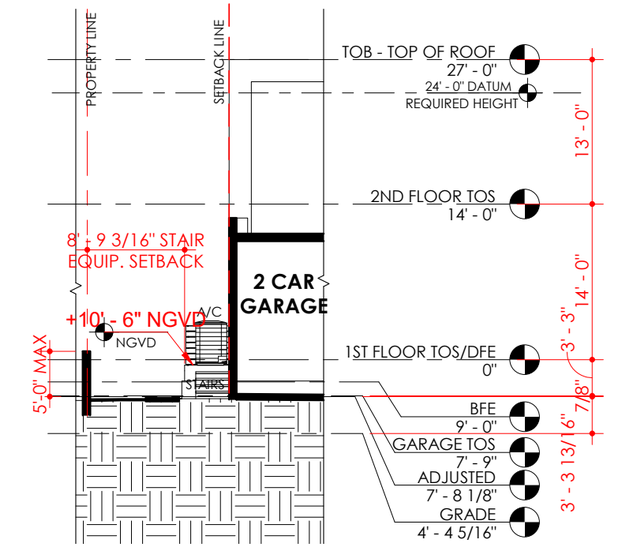
12-S



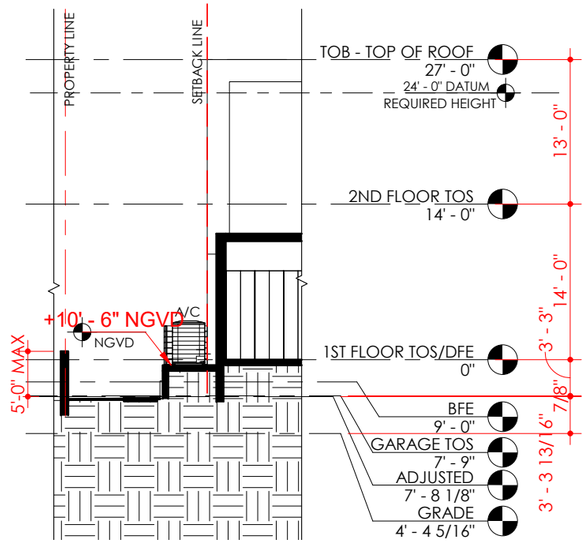
1 YARD SECTION-FLOOR PLAN



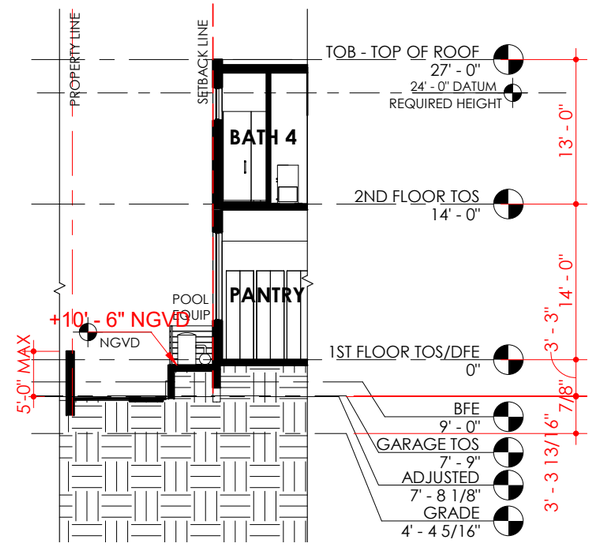
2 YARD SECTION 2



3 YARD SECTION 3



4 YARD SECTION 4



5 YARD SECTION 5

IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES
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PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

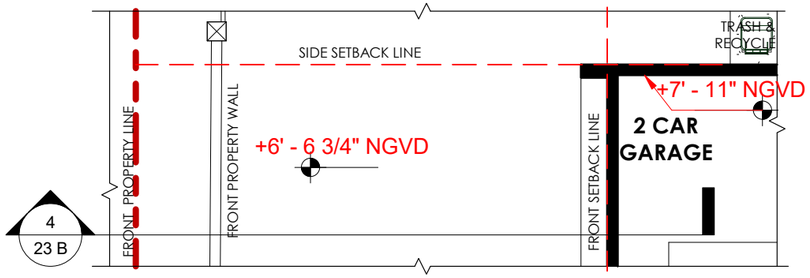
REQUIRED YARDS SECTION DRAWINGS

DATE:

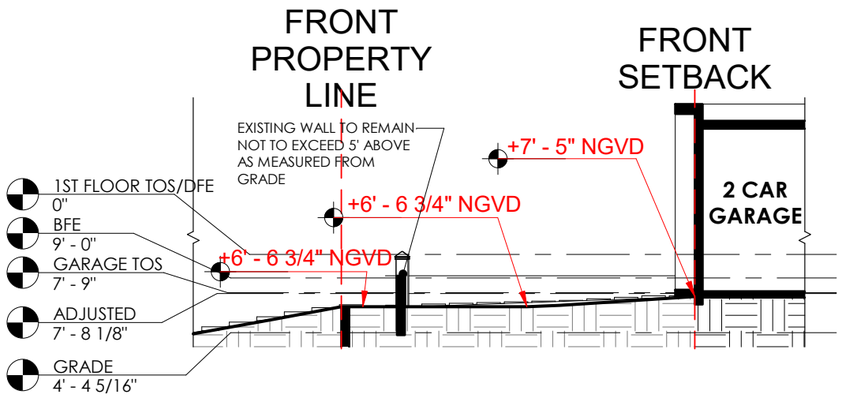
05-16-2022

ITEM NUMBER:

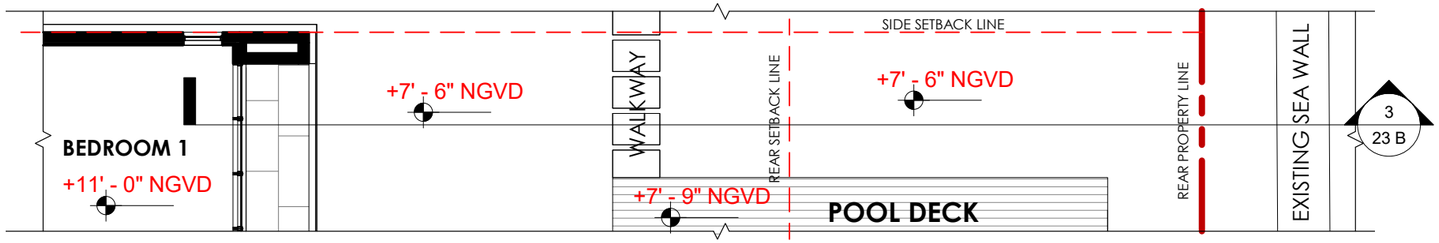
12-T



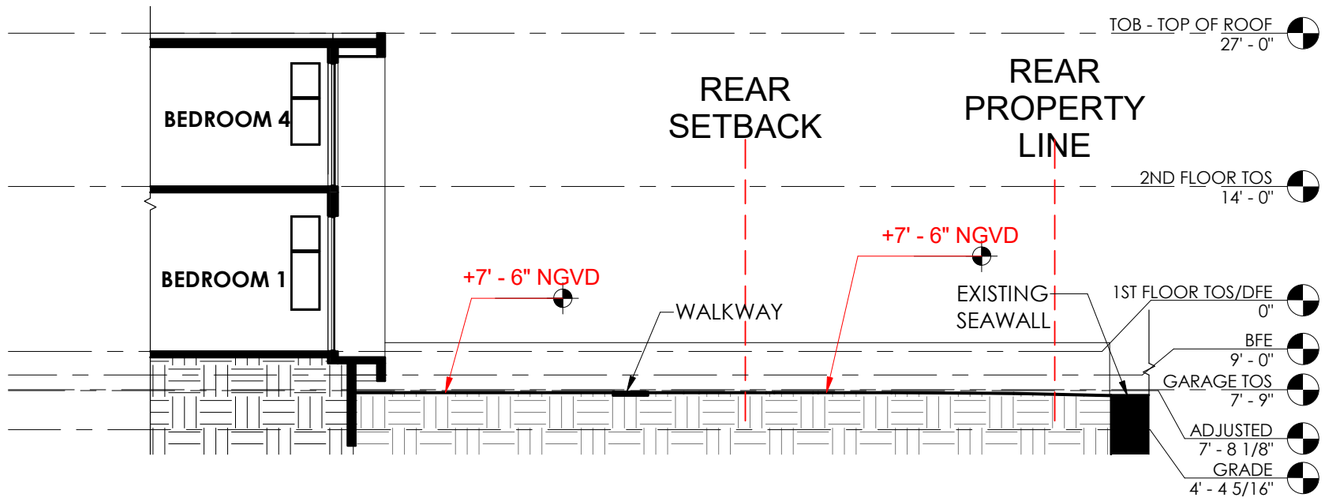
1 FRONT YARD SECTION-FLOOR PLAN



4 YARD SECTION-FRONT



2 REAR YARD SECTION-FLOOR PLAN



3 YARD SECTION-REAR

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ARCHITECTURAL SERVICES
1546 Jackson Street
Hollywood, Florida 33020
AA26001758
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ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

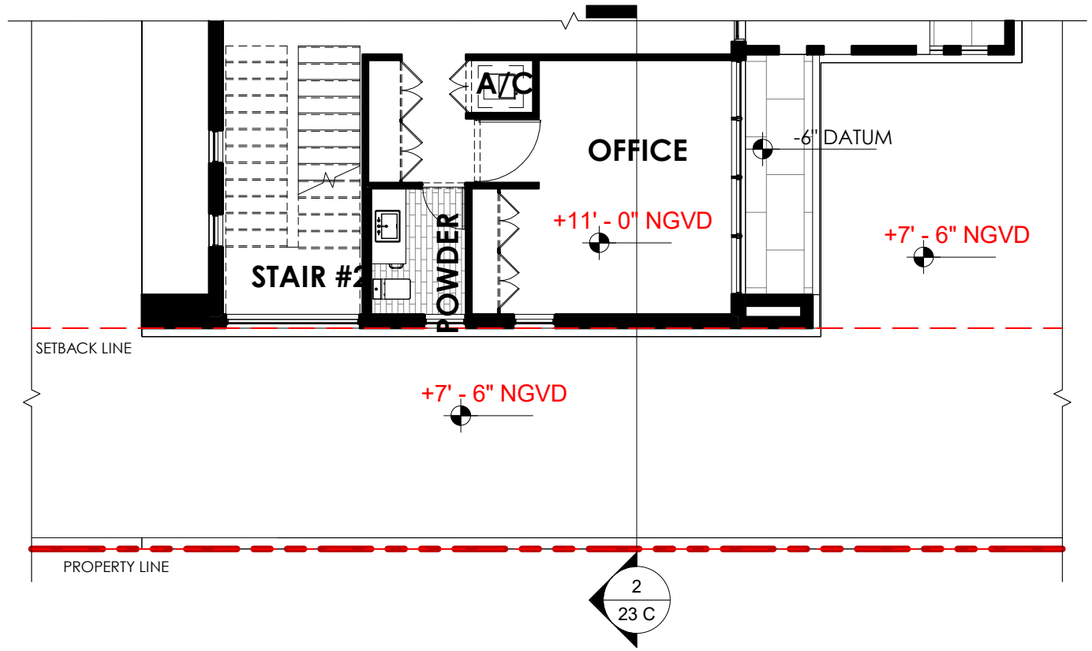
REQUIRED YARDS SECTION DRAWINGS

DATE:

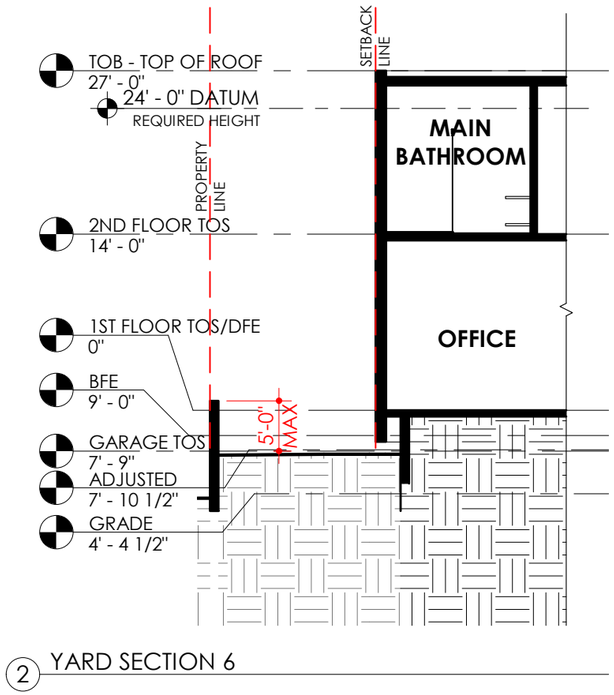
05-16-2022

ITEM NUMBER:

12-T



1 YARD SECTION-FLOOR PLAN-2



2 YARD SECTION 6

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PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

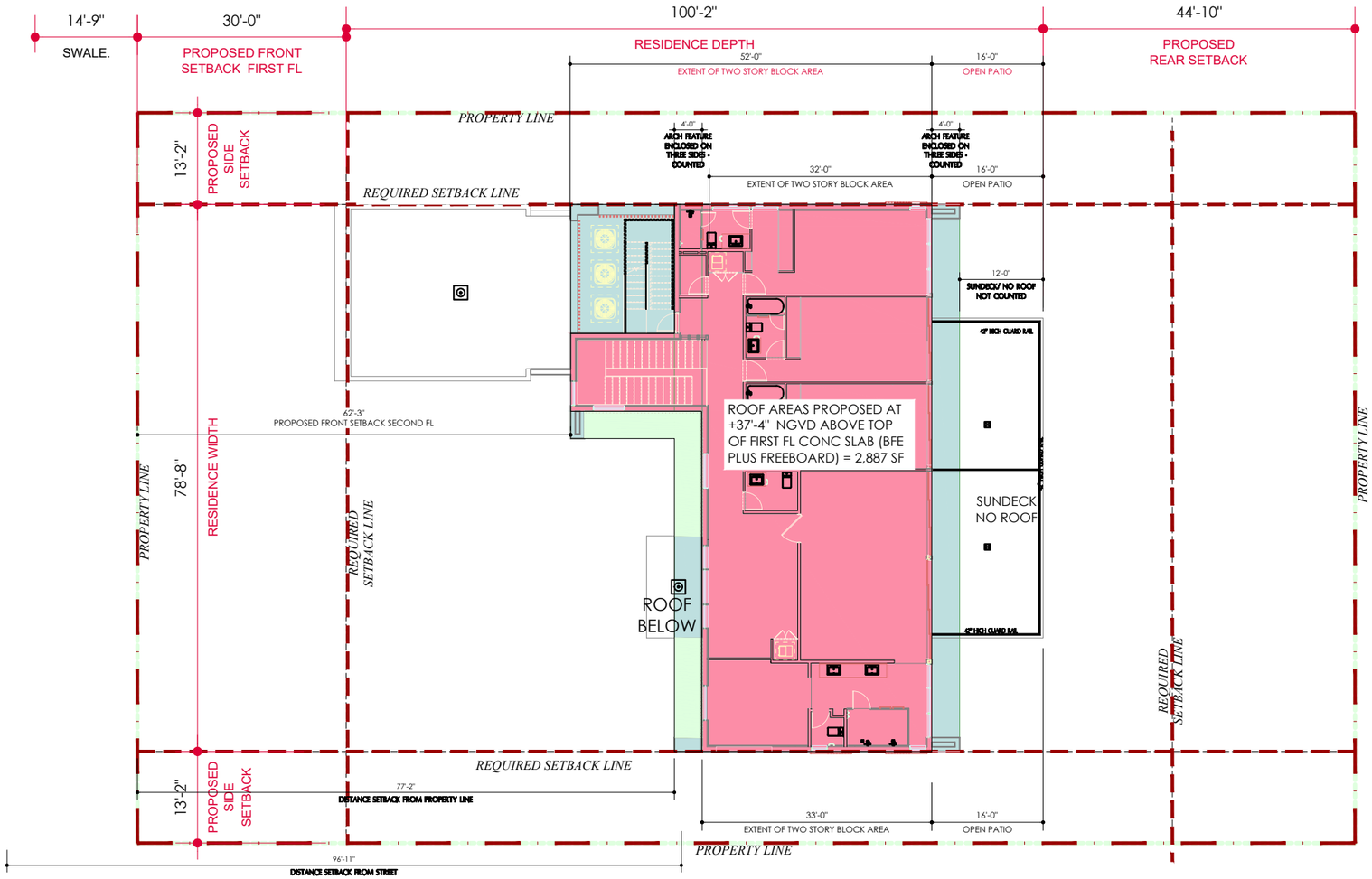
REQUIRED YARDS SECTION DRAWINGS

DATE:

05-16-2022

ITEM NUMBER:

12-T



HEIGHT WAIVER DIAGRAM
SCALE = 1/8" = 1'-0"

0 4' 8' 16'
Scale: 1/8" = 1'-0"

HEIGHT WAIVER CALCULATIONS

ARCH FEATURE PROPOSED AT +26'-4" = 841.42 SF

ROOF AREAS PROPOSED AT 26'-4" ABOVE F.F. = +37'-4" NGVD ABOVE TOP OF FIRST FL CONC SLAB (BFE PLUS FREEBOARD) = 2886.91 SF

TOTAL AREA AT +26'-4" = 3,728.33 SF

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PROJECT:

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205 East San Marino Drive, Miami Beach, FL 33139-1105

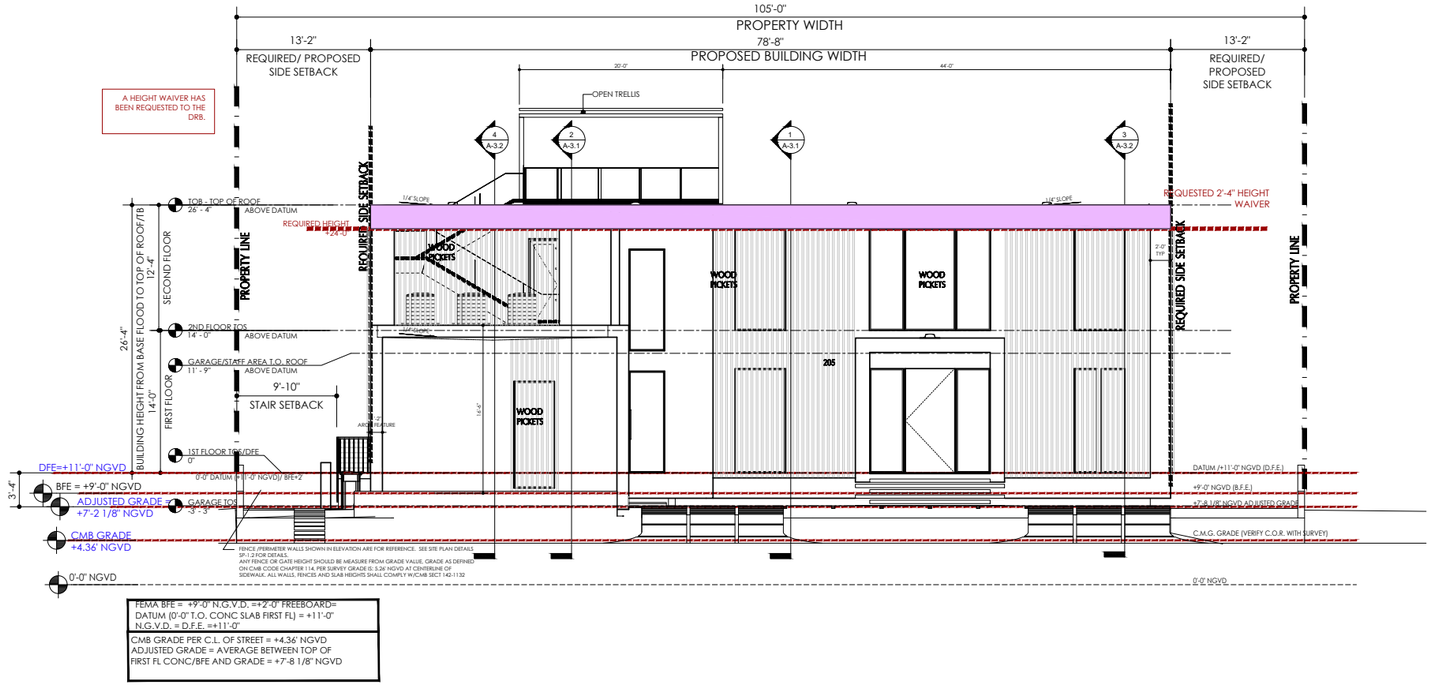
HEIGHT WAIVER DIAGRAM

DATE:

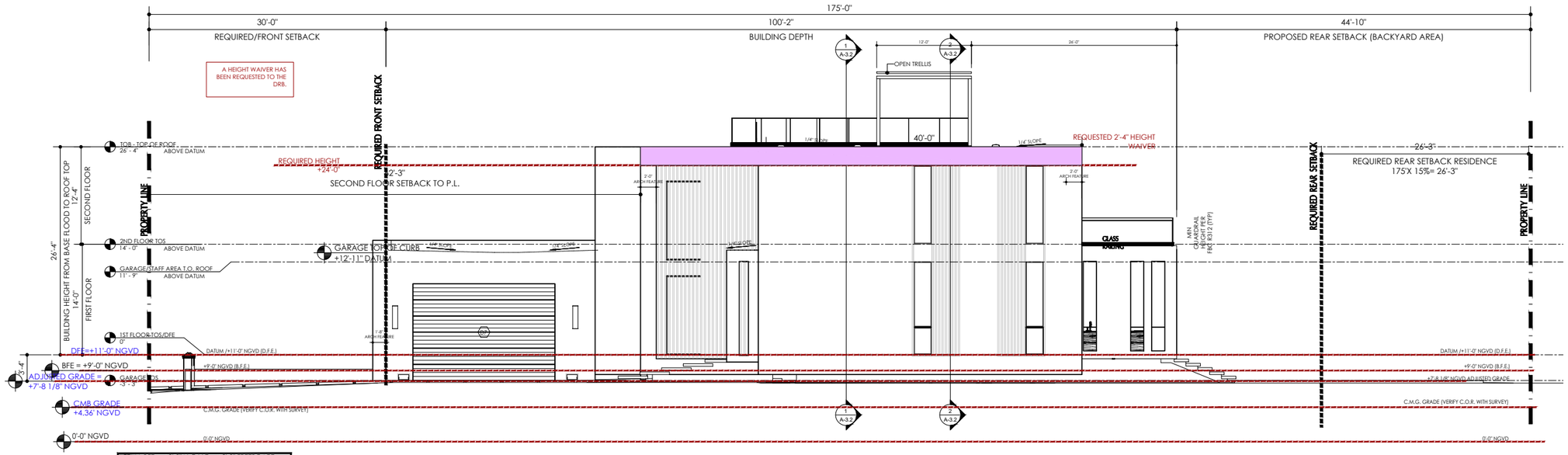
05-16-2022

ITEM NUMBER:

12-U



FRONT ELEVATION
SCALE = 3/16" = 1'-0"



SIDE ELEVATION (EAST)
SCALE = 3/16" = 1'-0"

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PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

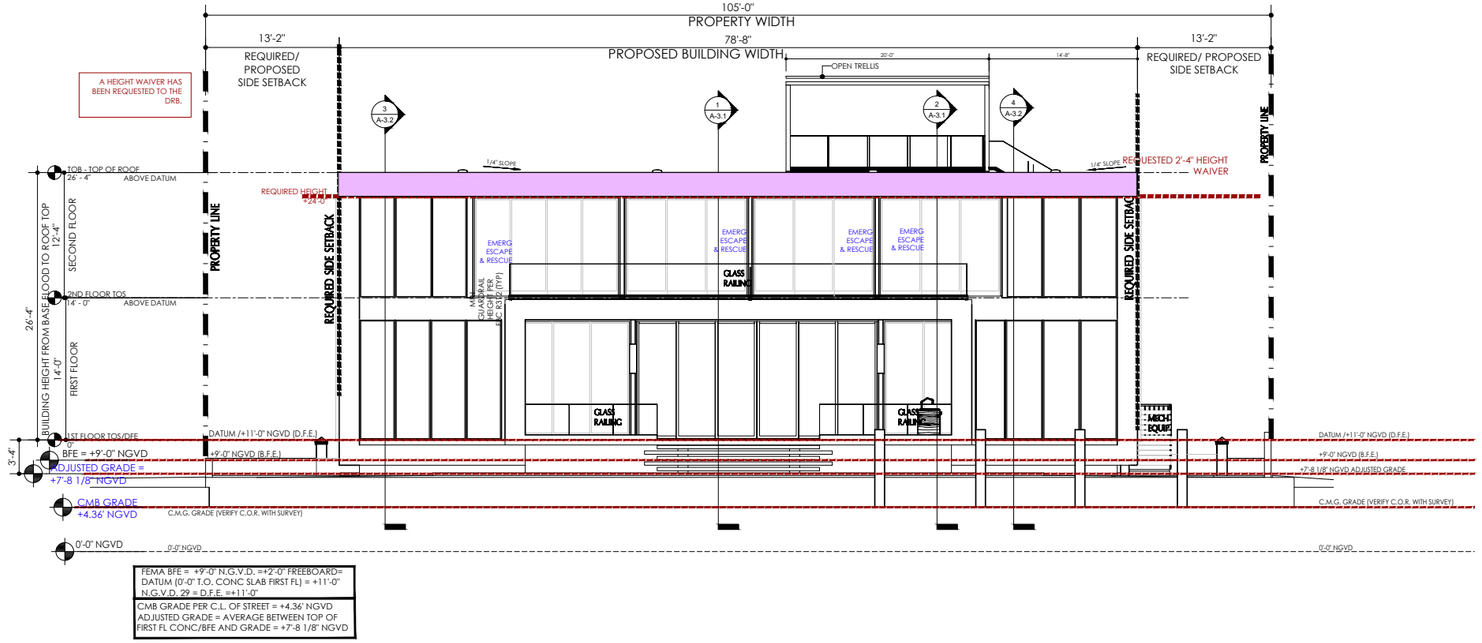
HEIGHT WAIVER ELEVATIONS

DATE:

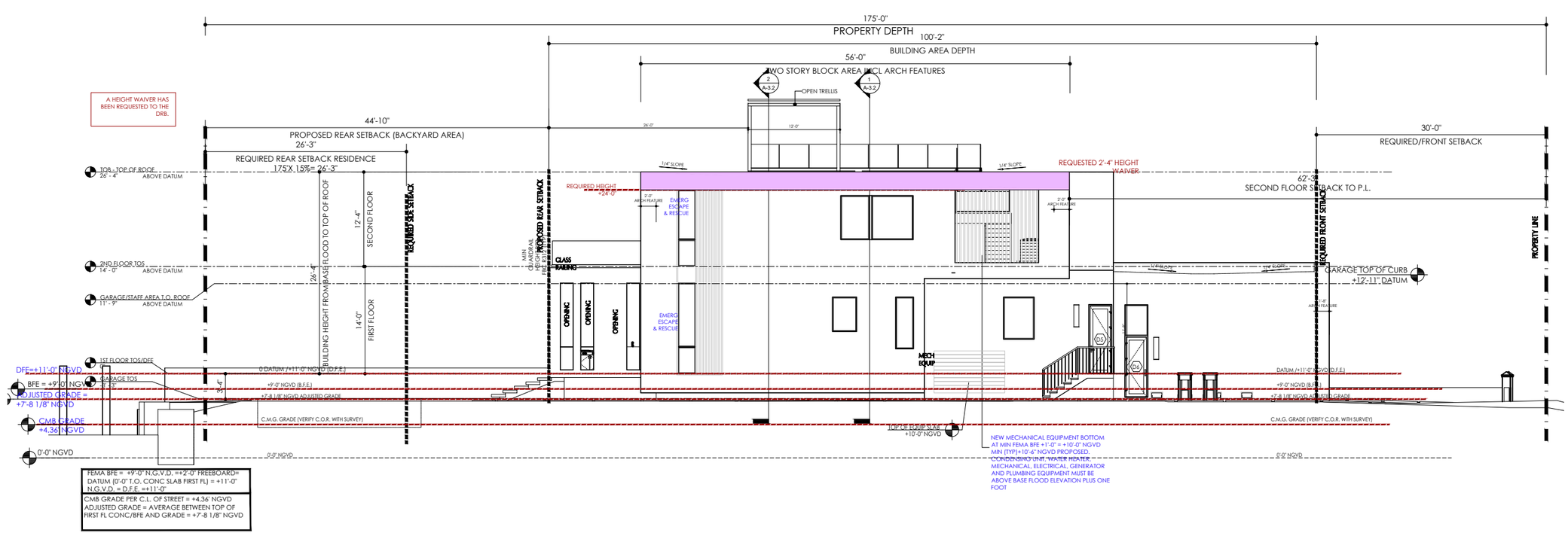
05-16-2022

ITEM NUMBER:

12-U



REAR ELEVATIONS
SCALE = 3/16" = 1'-0"



SIDE ELEVATION (WEST)
SCALE = 3/16" = 1'-0"

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PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL
33139-1105

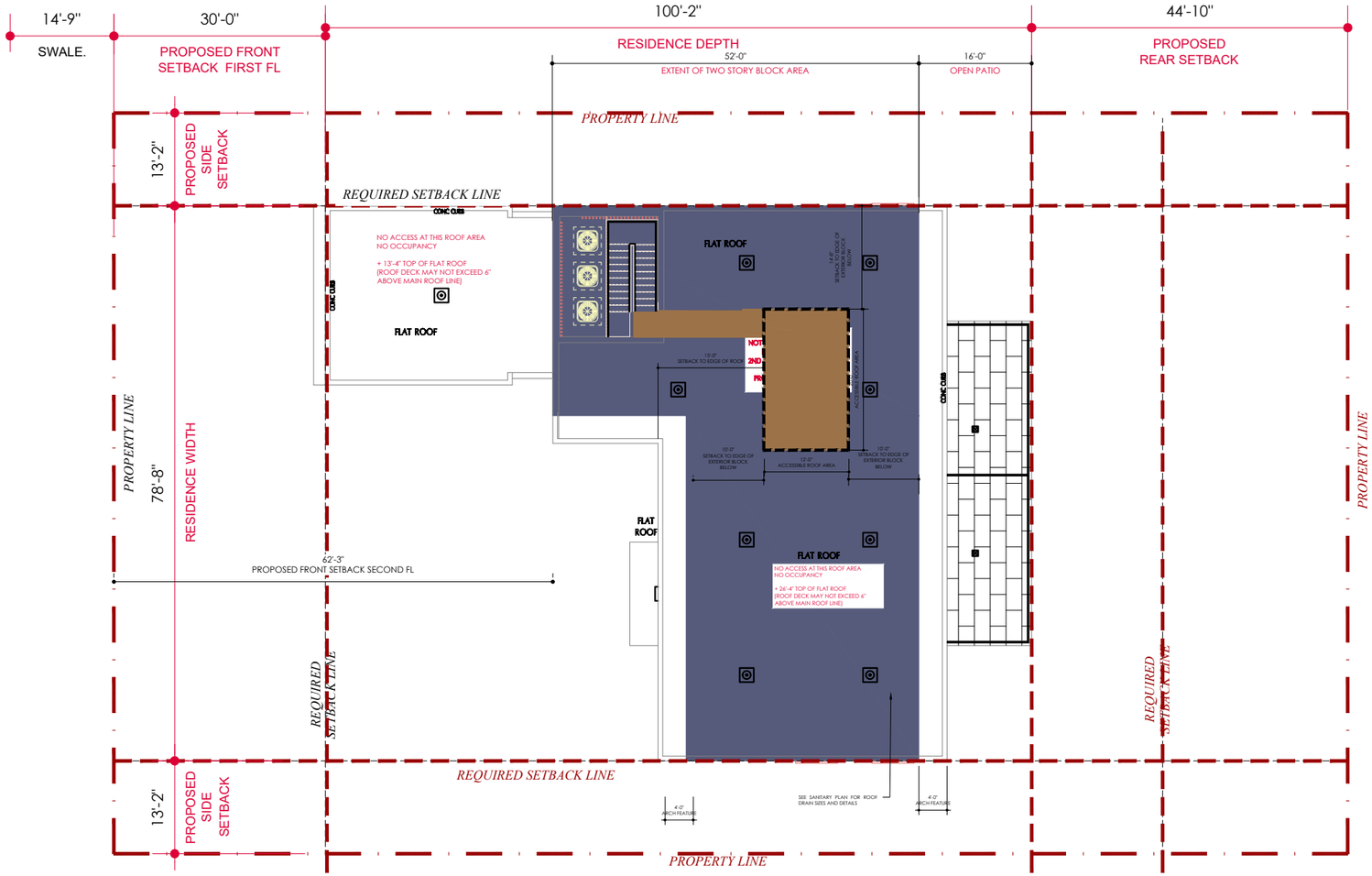
HEIGHT WAIVER ELEVATIONS

DATE:

05-16-2022

ITEM NUMBER:

12-U



ROOF ACCESSIBLE AREA =419 SF

PHYSICAL VOLUME OF THE SECOND FLOOR = 3,188 SF

OPEN TRELLIS AREA ON THE ROOF 240SSF

ROOF TO SECOND FL CALCULATION

419 SF /3,188 = 13%

ROOF ACCESSIBLE AREA CALCULATION

SCALE = 1/8" = 1'-0"

0 4' 8' 16'
Scale: 1/8" = 1'-0"

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PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

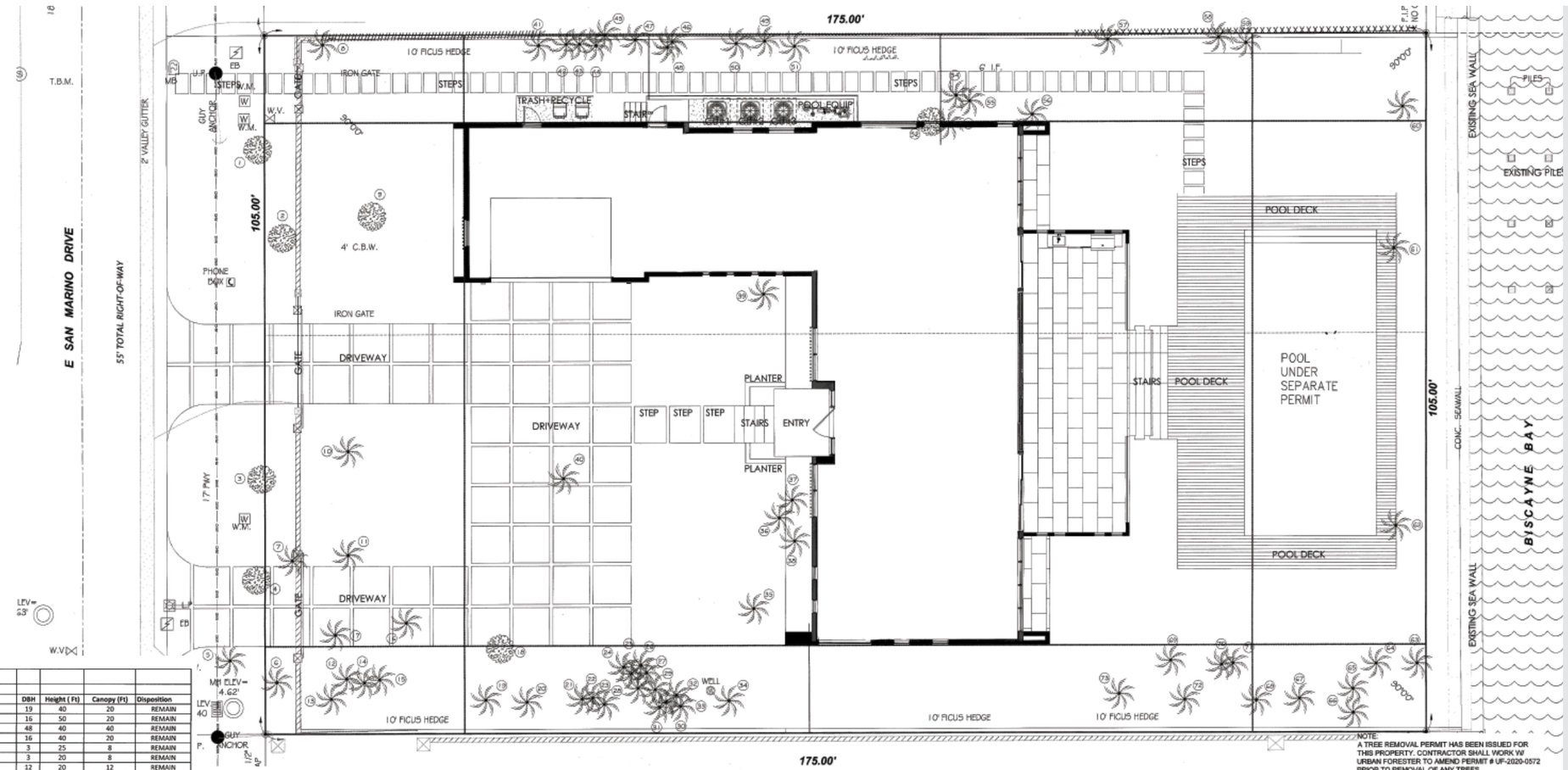
ROOF ACCESSIBLE AREA & ROOF TRELLIS DIAGRAM

DATE:

05-16-2022

ITEM NUMBER:

12-U



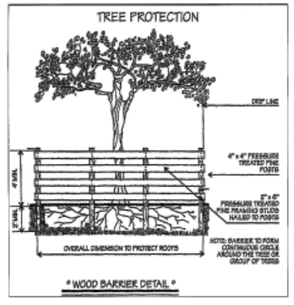
	EXISTING TREES					
	Trees to Remain					
Tree No.	Scientific name	Common name	DBH	Height (Ft)	Canopy (Ft)	Disposition
6	Roystonea regia	Royal Palm	19	40	20	REMAIN
8	Roystonea regia	Royal Palm	16	50	20	REMAIN
9	Swietenia mahagoni	Mahogany	48	40	40	REMAIN
10	Roystonea regia	Royal Palm	16	40	20	REMAIN
12	Ptychosperma elegans	Alexander Palm	3	25	8	REMAIN
13	Ptychosperma elegans	Alexander Palm	3	20	8	REMAIN
14	Sabal palmetto	Sabal Palm	12	20	12	REMAIN
15	Sabal palmetto	Sabal Palm	9	30	15	REMAIN
18	Mangifera indica	Mango	12	25	20	REMAIN
19	Ptychosperma elegans	Alexander Palm	8	30	10	REMAIN
20	Ptychosperma elegans	Alexander Palm	8	30	10	REMAIN
21	Ravenala madagascariensis	Travelers Tree	9	30	12	REMAIN
22	Ravenala madagascariensis	Travelers Tree	9	30	12	REMAIN
23	Ravenala madagascariensis	Travelers Tree	9	30	12	REMAIN
24	Ravenala madagascariensis	Travelers Tree	9	30	15	REMAIN
25	Ravenala madagascariensis	Travelers Tree	9	30	15	REMAIN
26	Ravenala madagascariensis	Travelers Tree	9	25	12	REMAIN
27	Ravenala madagascariensis	Travelers Tree	9	30	15	REMAIN
28	Ravenala madagascariensis	Travelers Tree	9	25	12	REMAIN
29	Ravenala madagascariensis	Travelers Tree	9	30	15	REMAIN
30	Ravenala madagascariensis	Travelers Tree	9	30	15	REMAIN
31	Ravenala madagascariensis	Travelers Tree	9	30	15	REMAIN
32	Ravenala madagascariensis	Travelers Tree	9	30	15	REMAIN
33	Ravenala madagascariensis	Travelers Tree	9	30	15	REMAIN
34	Ptychosperma elegans	Alexander Palm	7	30	12	REMAIN
36	Ptychosperma elegans	Alexander Palm	7	30	15	REMAIN
41	Roystonea regia	Royal Palm	12	25	12	REMAIN
42	Roystonea regia	Royal Palm	7	20	12	REMAIN
44	Roystonea regia	Royal Palm	7	25	15	REMAIN
45	Roystonea regia	Royal Palm	19	50	15	REMAIN
46	Roystonea regia	Royal Palm	12	25	15	REMAIN
47	Roystonea regia	Royal Palm	6	20	15	REMAIN
48	Roystonea regia	Royal Palm	6	20	12	REMAIN
49	Roystonea regia	Royal Palm	6	20	15	REMAIN
50	Roystonea regia	Royal Palm	7	20	15	REMAIN
51	Roystonea regia	Royal Palm	9	25	15	REMAIN
57	Ptychosperma elegans	Alexander Palm	6	30	10	REMAIN
58	Ptychosperma elegans	Alexander Palm	4	15	8	REMAIN
59	Ptychosperma elegans	Alexander Palm	4	15	8	REMAIN
60	Roystonea regia	Royal Palm	16	30	20	REMAIN
61	Roystonea regia	Royal Palm	16	30	20	REMAIN
62	Roystonea regia	Royal Palm	16	30	20	REMAIN
63	Cocos nucifera	Coconut palm	8	30	15	REMAIN
64	Cocos nucifera	Coconut palm	8	30	15	REMAIN
65	Cocos nucifera	Coconut palm	8	30	15	REMAIN
66	Cocos nucifera	Coconut palm	8	35	15	REMAIN
67	Ptychosperma elegans	Alexander Palm	6	35	15	REMAIN
68	Ptychosperma elegans	Alexander Palm	6	35	15	REMAIN
69	Ptychosperma elegans	Alexander Palm	6	35	15	REMAIN
70	Ptychosperma elegans	Alexander Palm	7	35	15	REMAIN
71	Ptychosperma elegans	Alexander Palm	7	35	15	REMAIN
72	Ptychosperma elegans	Alexander Palm	6	35	15	REMAIN
73	Ptychosperma elegans	Alexander Palm	6	35	15	REMAIN
	Total trees to remain =	1 mahogany				
		1 mango				
		13 travelers trees				
		38 palms				

	Trees to be Removed					
1	Ligustrum sp	Ligustrum	12	8	6	REMOVE
2	Ligustrum sp	Ligustrum	6	8	6	REMOVE
3	Ligustrum sp	Ligustrum	12	8	6	REMOVE
4	Ligustrum sp	Ligustrum	12	6	6	REMOVE
5	Phoenix roebelenii	Pygmy Date Palm	4	15	8	REMOVE
7	Ptychosperma elegans	Alexander Palm	3	15	6	REMOVE
11	Roystonea regia	Royal Palm	16	40	20	REMOVE
16	Phoenix roebelenii	Pygmy Date Palm	4	10	6	REMOVE
17	Phoenix roebelenii	Pygmy Date Palm	4	10	6	REMOVE
35	Dypsis lutescens	Areca Palm	36	20	15	REMOVE
36	Ptychosperma elegans	Alexander Palm	7	30	15	REMOVE
37	Ravenala madagascariensis	Travelers Tree	5	25	8	REMOVE
38	Ravenala madagascariensis	Travelers Tree	5	20	10	REMOVE
39	Ptychosperma elegans	Alexander Palm	2	25	8	REMOVE
40	Ptychosperma sp	McArthur Palm	cluster	30	10	REMOVE
52	Dracaena	Dracaena				REMOVE
53	Ptychosperma elegans	Alexander Palm	5	30	10	REMOVE
54	Ptychosperma elegans	Alexander Palm	6	30	10	REMOVE
55	Ptychosperma elegans	Alexander Palm	6	30	8	REMOVE
56	Phoenix roebelenii	Pygmy Date Palm	4	15	8	REMOVE

Inches to be removed = 111"

Note: A tree removal permit is required by City prior to removal of any trees on site.

NOTE:
A TREE REMOVAL PERMIT HAS BEEN ISSUED FOR THIS PROPERTY. CONTRACTOR SHALL WORK W/ URBAN FORESTER TO AMEND PERMIT # UF-2020-0572 PRIOR TO REMOVAL OF ANY TREES.



* WOOD BARRIER DETAIL *

IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES
1546 Jackson Street
Hollywood, Florida 33020
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WWW.INSITEDESIGNGROUP.COM
ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

EXISTING LANDSCAPE PLAN

DATE:

05-16-2022

ITEM NUMBER:

13-A

LANDSCAPE ARCHITECT
KIM MOYER, A.S.L.A. - LA0000952

General Notes:

1. All plant material shall be Florida No. 1 or better as given in the current Florida Grades and Standards for Nursery Plants, 2015, Florida Department of Agriculture and Consumer Services.
2. All plant materials shall be subject to inspection and approval by the Landscape Architect at place of growth and upon delivery for conformity to specification.
3. All plants shall be true to species and variety and shall conform to measurements specified. All substitutions shall be submitted to the City and Landscape Architect for final approval.
4. All plants shall be exceptionally heavy, symmetrical, tight knit and so trained in appearance as to be superior to form, branching and symmetry.
5. Contractor shall notify Sunshine 811 (call 811) for locations of existing utility lines 48 hours prior to beginning work. Contractor shall verify location of all utility lines and easements prior to commencement any work. Excavation in the vicinity of underground utilities shall be undertaken with care and by hand, if necessary. The Contractor bears full responsibility for this work and disruption or damage to utilities shall be repaired immediately at no expense to Owner.
6. Grade B+, shredded sterilized Melaleuca or Eucalyptus mulch shall be used in all mass planting beds and for individual tree pits. All trees shall have a mulch ring with a depth of 3" and a diameter of 3'- 4' around their base. All mulch shall be kept 4" from base of all plant material. Mulch beds shall be a minimum of 12" wider than plants measured from outside edge of foliage.
7. Sod shall be St Augustine and free of weeds, insects, fungus and disease, laid with alternating and abutting joints.
8. All trees and shrubs shall be backfilled with a suitable planting soil consisting of 50 percent sand and 50 percent approved compost. All plant materials shall be planted with a minimum of 6 to 18 inches of planting soil around the root ball. Refer to planting details. Planting soil to be backfilled into plant pits by washing in. Planting beds shall be free from road, pea, egg or colored rock, building materials, debris, weeds, noxious pests and disease.
9. All sodded areas to have a minimum of 2" of planting soil as described in note #8.
10. All trees shall be warranted by the Contractor and will be healthy and in flourishing condition of active growth one year from date of final acceptance.
11. All shrubs, groundcovers, vines and sod shall be fully warranted for 90 days under same condition as above.
12. All synthetic burlap, synthetic string or cords or wire baskets shall be removed before any trees are planted. All synthetic tape shall be removed from trunks, branches, etc before inspection. The top 1/3 of any natural burlap shall be removed or tucked into the planting hole before trees are backfilled. Planting soil to be backfilled into pits by washing in.
13. All trees and palms shall be planted with the top of their rootballs 1"-2" above finished grade. All other plants shall be planted with top of their rootballs no deeper than the final grade surrounding the planting area.
14. In areas where paved surfaces abut sod or mulch, the final level of both surfaces should be even.
15. All planting shall be installed with fertilizer at time of planting.
16. All planting shall be installed in a sound, workmanlike manner and according to good planting procedures. Installation shall include watering, weeding, fertilizing, mulching, selective pruning and removal of refuse and debris on a regular basis so as to present a neat and well kept appearance at all times.
17. All landscape and sod areas shall have an automatic irrigation system installed. Coverage should be 100% with 50% minimum overlap using rust free water to all landscape and sod areas. Spray upon public sidewalks, streets and adjacent properties should be minimized. Sodded areas and shrub/ groundcover beds should be on separate irrigation zones for a more efficient system. Irrigation system shall be installed with a rainswitch device.
18. All landscape and irrigation shall be installed in compliance with all local codes.
19. The plan shall take precedence over the plant list, should there be any discrepancy between the two.

Landscape Legend

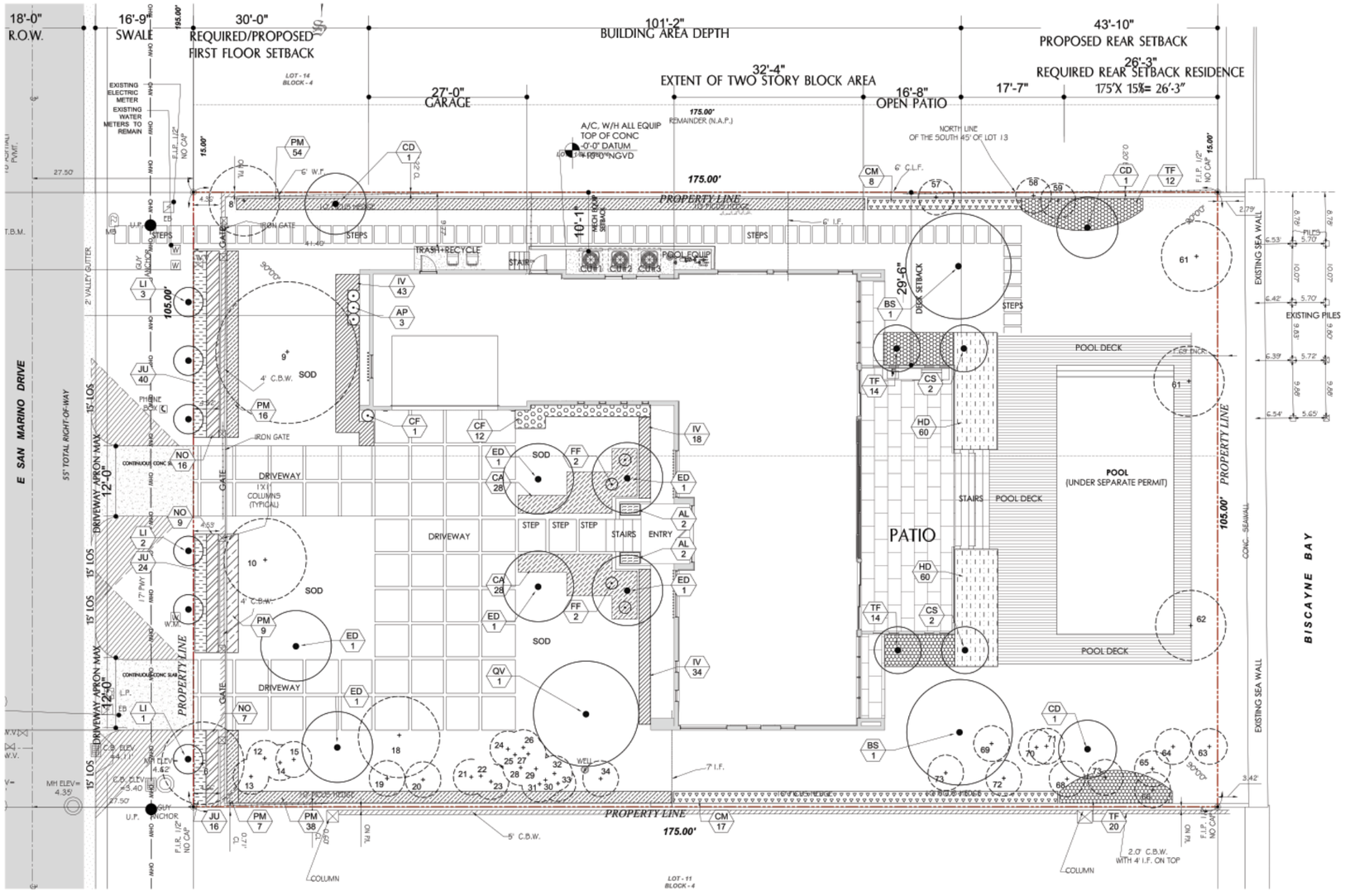
ZONING DISTRICT: RS-3
NET LOT AREA: 18,375 sf (.42 AC)

	Required	Provided
OPEN SPACE		
A. Square feet of open space required, as indicated on site plan: Net lot area = 18,375sf x .25%=	4594 sf	8854.74 sf
B. Square feet of parking lot open space required as indicated on site plan: Number of parking spaces 0 x 10 sf per parking space =	0	0
C. Total square feet of landscaped open space required : A+B=	4594 sf	8854.74 sf
TREES		
A. Number of trees required per net lot acre less existing number of trees meeting minimum requirements = 5 + 1 tree/ 1000 sf =	18	18
B. Percentage of native trees required 18 x .30 =	6	10
C. Percentage drought tolerant and low maintenance: 18 x .50	9	10
STREET TREES		
D. Street trees (maximum average spacing of 20' OC.) 105'/ 20	6	6
Street trees located directly beneath power lines (maximum average spacing of 20' O.C)	6	6
SHRUBS		
A. Number of shrubs required: Number of trees required 24 x 12 =	288	587
B. Percentage of native shrubs required: 288 x .50	144	275
C. Percentage of large shrubs or small trees required: 288 x .10 =	29	29

IRRIGATION: Automatic

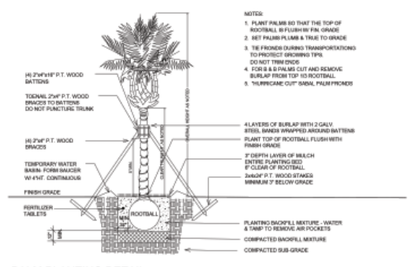
Tree mitigation shall be proposed based on tree removal as per CMB Chapter 46.

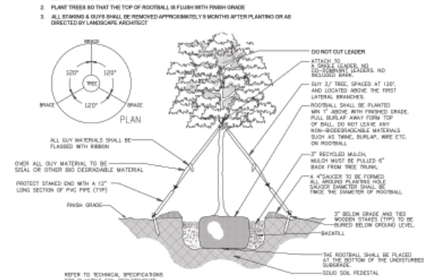
The proposed landscape plan shall satisfy or exceed minimum landscape code requirements as prescribed by CMB Code Chapter 126.

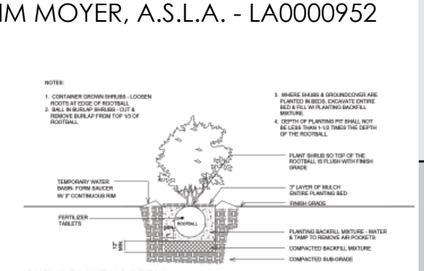


Plant List

Sym	Qty	Botanical / Common Name	Size	Native	Drought Tolerance
Trees/ Palms					
CD	3	Cocciloba diversifolia / Pigeon Plum	12' Ht. x 4' Spr., 2" cal.	Yes	High
ED	6	Elaeocarpus decipiens/ Japanese Bluberry	12' Ht x 4' Spr, 2" cal	No	Medium
QV	1	Quercus virginiana/ Live Oak	12' Ht. x 6' Spr., 2" cal.	Yes	High
BS	2	Bursera simaruba/ Gumbo Limbo	12' Ht x 6' Spr, 2" cal	Yes	High
CS	4	Cordia sebestena/ Orange Geiger Tree	10' Ht x 4' Spr, 3.5" cal	Yes	High
LI	6	Lagerstroemia indica ' Muskogee'/ Crape Myrtle	12'-14' Ht x 4' Spr, 2" cal single trunk	No	High
Shrubs/Groundcovers					
CM	25	Caryota mitis/ Fishtail Palm	6' x 4'	No	High
AP	3	Alocasia 'Portora'/ Giant Elephant Ear	36" Ht	No	Low
AL	4	Alocasia 'California'/ California Alocasia	24" x 24", 24" O.C.	No	Low
CF	13	Clusia flava/ Small Leaf Clusia	24" x 24", 24" O.C.	No	High
HD	120	Helianthus debilis/ Beach Sunflower	5" x 10", 18" O.C.	Yes	High
IV	95	Ilex vomitoria 'Stokes Dwarf'/ Dwarf Ilex	10" x 10", 18" O.C.	Yes	High
TF	60	Tripsacum floridana/ Florida Gamma Grass	16" x 16", 24" O.C.	Yes	High
NO	32	Nerium oleander 'Petite Pink'/ Dwarf Pink Oleander	20" x 20", 24" O.C.	No	High
FF	4	Furcraea foetida/ Giant False Agave	24" x 24"	No	High
JU	80	Juniperus conferta/ Shore Juniper	6" x 12", 18" O.C.	No	High
PM	124	Podocarpus macrophyllus / Podocarpus	24" x 24", 24" O.C.	No	Medium
CA	56	Carissa macrocarpa 'Emerald Blanket'/ Dwarf Carissa	24" x 24", 24" O.C.	No	Medium
Sod		St. Augustine			
Mulch		Shredded Melaleuca or Eucalyptus			







LANDSCAPE ARCHITECT
KIM MOYER, A.S.L.A. - LA0000952

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DRB 22-0822

PROJECT:
AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

LANDSCAPE PLAN

DATE:
05-16-2022

ITEM NUMBER:
13-C

PREVIOUS FRONT ELEVATION DESIGN - DRB APPROVED - DRB 20-0618

NEW FRONT ELEVATION DESIGN - DRB CURRENT SUBMITTAL

IN-SITE DESIGN GROUP LLC
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DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

COMPARISON OF DESIGN

DATE:

05-16-2022

ITEM NUMBER:

OTHER

PREVIOUS EAST ELEVATION DESIGN - DRB APPROVED - DRB 20-0618

NEW EAST ELEVATION DESIGN - DRB CURRENT SUBMITTAL

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PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

COMPARISON OF DESIGN

DATE:

05-16-2022

ITEM NUMBER:

OTHER

PREVIOUS REAR ELEVATION DESIGN - DRB APPROVED - DRB 20-0618

NEW REAR ELEVATION DESIGN - DRB CURRENT SUBMITTAL

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PROJECT:

AZENDA RESIDENCE
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COMPARISON OF DESIGN

DATE:

05-16-2022

ITEM NUMBER:

OTHER

PREVIOUS WEST ELEVATION DESIGN - DRB APPROVED - DRB 20-0618

NEW WEST ELEVATION DESIGN - DRB CURRENT SUBMITTAL

IN-SITE DESIGN GROUP LLC
ARCHITECTURAL SERVICES
1546 Jackson Street
Hollywood, Florida 33020
AA26001758
WWW.INSITEDESIGNGROUP.COM
ANNIE K. CARRUTHERS
ARCHITECT AR-97156

DRB 22-0822

PROJECT:

AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

COMPARISON OF DESIGN

DATE:

05-16-2022

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Annie Carruthers
Principal/Architect
AR-97156

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April 12, 2022

City of Miami Beach
Planning Department
1700 Convention Center Drive
Miami Beach, Florida 33139

Re: 205 East San Marino Drive, Miami Beach
DRB number DRB22-0822

LETTER OF INTENT

This firm represents Azenda Properties LLC (the "Applicant"), the owner of the above-reference parcels, with Miami-Dade County Folio No. 02-3232-003-0550 (hereinafter referred to as "Property"). Please consider this letter the Applicant's letter of intent in support of a design review approval from the Design Review Board ("DRB") for a single-family home on the Property.

The properties:
The Property is located at 205 East San marino Drive in Single Family Residential District 3 (RS-3). Currently, the property consists of one existing lot with one existing single family residence. The lot is 18,375 square feet 105' x 175' in depth. The existing property at 205 E San Marino drive is 6,401 square feet according to the tax roll and was built in 1938. The home does not maintain its original architectural design integrity due to numerous alterations and major additions, as evidenced by the building card, microfilms and existing photos.

Applicant's Proposal:
The Applicant is proposing to demolish the existing structure and the two story accessory structure in the rear and replace it with a new two-story family home. The new residence has been designed in Miami Tropical Modern Style. The façade presents a modern pure box using natural materials and stuccoed walls. In the rear, there are two boxes that are symmetrically positioned and centered on the pool . Each main area has eleven foot 6 inch high glass doors to provide vast openness from the back yard, through the main living area, to the pool deck. The interior and exterior flow seamlessly into one unified space.
This project was presented to the DRB in 2021 and was approved (DRB20-0618). The owner is proposing modifications to the approved design that include a height waiver and a roof accessible area.

The proposed new home complies with the Miami Beach Code (the "Code") requirements for unit size, lot coverage and setbacks. The total unit size Proposed is 6,362.77 square feet (34.6%), which is below the allowable 50% unit size limit. The lot coverage proposed is 4,019.44 sf 22.87%, which is significantly below the 30% allowed as of right. In addition, all setbacks comply with and the rear setback exceeds the Code requirements. At this time, however, the Applicant is requesting a DRB approval for increase in height.

Height Increase Request.
The new single family development regulations allow for 24 foot height, for flat roofs, from the required flood elevation, for homes located in the RS-3 zoning district. However, the DRB may grant increases in height of to 28 feet.

The applicant requests a height of 26'-4" feet. The two story mass is located far back on the property 62'-3" from the front property line to the two story enclosed area (80'-2" to the architectural feature). This location of the two story mass to the street edge is 100'-11". Two story depth is only 52'-0" on the north and 32' on the south..

The additional two feet four inches would be useful to the internal systems on the first and second level as well as allow for a greater view to the water. This lot is located on a double lot as is wider than most of the adjacent homes on East San Marino. The additional height is in relation to its width and does not impede on the overall scale.

It is important to note that the proposed residence is considerable smaller that allowed maximum unit size and lot coverage. Therefore the pervious area is estimated at about 48% of the lot overall.
Also, the house has been centered on the lot and the side setbacks are equal. Currently the existing two story house is farther north.
The two story accessory structure in the rear will be demolished and a new shade structure in the rear is not proposed. This will allow the neighbor additional open views.

The proposed rear setback is also much greater than allowed. Currently the required rear setback is 26'-3" the proposed rear setback is 44'-10".

The existing house FAR is estimated at 7,742 SF (42.14%). The proposed residence has a unit size of 6,362.77 SF considerably smaller than the existing residence and footprint.

The proposed home has a simple modern design and shall be tastefully landscaped to seamlessly fit within the neighborhood. In addition, it is neither practical nor feasible to retain the existing home, due to its age, structural condition and its positioning below the minimum floor elevation. The new home will meet and exceed all of the sea level rise and FEMA requirements as the finished floor will have two foot of freeboard.

Conclusion. As will be shown further at the hearing on this application, the demolition of Applicant's existing home, which is structurally deficient, is justified and appropriate. The Applicant's proposed new home is consistent with character of the neighborhood, had already been approved by the DRB as well as with all aspects of the Miami Beach building code. The second story height request is substantially setback from the street and from the rear. The mass of the house is smaller than the existing residence and the two story accessory structure will be removed.
We believe that the approval of this new well-designed home will be a great improvement to the area. On behalf of the Applicant, we look forward to your favorable review. If you have any questions or comments with regard to the application, please give me a call at 954-921-5333.

Respectfully,

Annie Carruthers
Principal/Architect
AR-97156

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DRB 22-0822

PROJECT:
AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

LETTER OF INTENT

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City of Miami Beach
Planning Department
1700 Convention Center Drive
Miami Beach, Florida 33139

Re: 205 E. San Marino Drive Miami Beach
DRB number DRB22-0822

COMPLIANCE WITH SEA LEVEL RISE AND RESILIENCY REVIEW CRITERIA

1. Recycling or salvage plan for partial or total demolition shall be provided. Windows that are proposed to be replaced shall be hurricane proof impact windows.
   RESPONSE: One existing home is scheduled to be demolished. Existing home was constructed in 1938. The new general contractor shall be required to obtain a salvage company prior to demolition. This requirement shall be a part of the construction documents. Salvage company shall provide proof of salvage and/or reuse of any material existing which can be salvaged. All new windows in the new structure shall be impact rated with no exception.

2. Where feasible and appropriate, passive cooling systems such as operable windows, shall be provided.
   RESPONSE: The proposed new design of the residence includes the entire rear and all second floor bedroom rooms facing the rear to be 11'-6" tall sliding glass doors on first level and 10-6" tall on second level. These will create large openings for ventilation. In addition, there is a four foot architectural feature, and a 16' deep covered area in the rear. The windows will be energy efficient.
3. Weather resilient landscaping(salt tolerant, highly water absorbent, native or Florida friendly plants will be provided.
   RESPONSE: The proposed new landscape plan shall meet or exceed the landscape requirements including native Florida friendly plants. There will be plants, trees and palms that are proposed on the landscape plan that are considered "high" in drought tolerance. There will be many species of native trees, palms and shrubs that are proposed on the landscape plan. Many that make up the total plants that are native. Much consideration has been given to these requirements on the plan proposed. It is important to note that the proposed residence is considerable smaller that allowed maximum unit size and lot coverage. Therefore the pervious area is estimated at about 48% of the lot overall.

4. Whether adopted sea level rise projections in the southeast Florida regional climate action plan including a study of the land elevation and elevation of the surrounding properties were considered.

   RESPONSE: The proposed new single family residence habitable enclosed levels are all proposed with a finished floor plus two foot above FEMA base flood (two foot free board). The finished floor of the house is proposed at +11'-0" NGVD. This meets and exceeds the requirements for sea level rise in this area. In addition, there is a perimeter wall that is existing on the side properties which will serve as any retainage necessary to keep the water on site during any storm. In addition a drainage system of swales and drains shall be addressed and submitted at time of permitting. All equipment including condensers, generators and pool equipment shall be at base flood plus freeboard. The garage level which is at about mid/adjusted grade shall have flood vents to equal one square inch per square foot of garage. All materials below base flood shall be flood resistant materials. It is important to note that the proposed residence is considerable smaller that allowed maximum unit size and lot coverage. Therefore the pervious area is estimated at about 48% of the lot overall.

5. The ground floor driveways and garage ramping for new construction shall be adaptable to the raising of public rights of ways and adjacent land.
   RESPONSE: This street East San Marino drive has not undergone repaving and raising of the street level. The street is currently at about +4'.0 NGVD to +4.36 NGVD. The garage is proposed at +7'-7" NGVD well above the street level and possibly future proposed height increases. As this is a new residence to be submitted for permit; therefore, consideration will be given to the proposed future street level with the civil engineering and the site shall be sloped appropriately to contain any water on site per code. A drainage system of swales and drains shall be addressed and submitted at time of permitting. The proposed green space/open space and landscape area exceeds the city requirements for pervious. The garage shall be at mid/adjusted grade approximately therefore the garage driveway shall not require to be sloped considerably.

6. Where feasible and appropriate, all critical mechanical and electrical systems shall be located above base flood elevation.
   RESPONSE: All equipment including condensers, generators and pool equipment shall be at base flood plus freeboard. The garage level which is at about mid/adjusted grade shall have flood vents to equal one square inch per square foot of garage. All materials below base flood shall be flood resistant materials.

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DRB 22-0822

PROJECT:
AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

COMPLIANCE WITH SEA LEVEL

DATE:
05-16-2022

ITEM NUMBER:
OTHER

7. Existing buildings shall be where reasonably feasible and appropriate, elevated to the base flood elevation
   RESPONSE: The proposed new single family residence habitable enclosed levels are all proposed with a finished floor plus two feet above FEMA base flood (two foot free board). The finished floor of the house is proposed at +11'-0" NGVD. This exceeds the requirements for sea level rise in this area as it is one foot above the required freeboard. In addition there is a perimeter wall that is existing on the side properties which will serve as any retainage necessary to keep the water on site during any storm. The lot coverage is considerably reduced from the max allowed. In addition a drainage system of swales and drains shall be addressed and submitted at time of permitting.

8. When habitable space is located below the base flood elevation plus city of Miami beach freeboard, wet or dry flood proofing systems will be provided in accordance with chapter of 54 of the city code.
   RESPONSE: . The garage level which is at about mid/adjusted grade shall have flood vents to equal one square inch per square foot of garage. All materials below base flood shall be flood resistant materials. The street is currently at about +4'.0 NGVD to +4.36 NGVD. The garage is proposed at +7'-7" NGVD well above the street level and possibly future proposed height increases.

9. Where feasible and appropriate, water retention system shall be provided.
   RESPONSE: As this is a new residence to be submitted for permit; therefore, consideration will be given to the new street level with the civil engineering and the site shall be sloped appropriately to contain any water on site per code. A drainage system of swales and drains shall be addressed and submitted at time of permitting. The proposed green space/open space and landscape area exceeds the city requirements for pervious. It is important to note that the proposed residence is considerable smaller that allowed maximum unit size and lot coverage. Therefore the pervious area is estimated at about 48% of the lot overall.

Please contact me at your convenience at 954-921-5333.

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DRB 22-0822

PROJECT:
AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

COMPLIANCE WITH SEA LEVEL

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April 12, 2022

City of Miami Beach
Planning Department
1700 Convention Center Drive
Miami Beach, Florida 33139

Re: 205 East San Marino Drive, Miami Beach
DRB number DRB22-0822

REQUEST FOR WAIVERS

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DRB 22-0822

PROJECT:
AZENDA RESIDENCE
205 East San Marino Drive, Miami Beach, FL 33139-1105

REQUEST FOR HEIGHT WAIVER

DATE:
05-16-2022

ITEM NUMBER:
OTHER