

Owner Mr. & Mrs. Ben Brooks Mailing Address
 Lot 1 Block 41 Subdivision ORCHARD
 General Contractor General Builders (Theo Klein)
 Architect Henry Hohauser

Permit No. 14792 Cost \$ 32,000.
 Address 3100 Pine Tree Drive
 Bond No. 2642
 Engineer 3227-01-031

12030

Zoning Regulations: Use RC Area 13
 Building Size: res-----Front 44'10" Depth 68'6"
 gar-----Front 31' Depth 24'

Lot Size 100 X 200
 Height 27'14" Stories 2

Certificate of Occupancy No. Use Residence- 8 rooms & detached garage
 Type of Construction c-b-s- Foundation Spread footing (2-car garage, maid's room & laundry
 Roof Tile Date Oct. 9-1940

Plumbing Contractor Markowitz & Resnick # 14328 Sewer Connection 1 Date Oct.16-1940

Temporary Closet 1

Plumbing Contractor Laundry tub 1

Date

Water Closets 5 Bath Tubs 3

Floor Drains

Lavatories 5 Showers 1

Grease Traps

Urinals Sinks 2

Drinking Fountains

Gas Stoves 1 Gas Heaters

Rough Approved Bell -- -- -- Date 11-27-40

Gas Radiators 4 Gas Turn On Approved GAS --OK

T. BELL - 10/18/40
 1-29-1941

Septic Tank Contractor

Tank Size

Date

Oil Burner Contractor

Tank Size

Date

Sprinkler System

Electrical Contractor STANDARD # 16320

Address

Date 11-26-40

Switch 26 Range Motors

Fans

Temporary Service

OUTLETS Light 42 HEATERS Water 1

STANDARD ELECT. #16158 - 11-9-40

Receptacles 42 Space 2

Centers of Distribution 2

APPLIANCE 1 Refrigerators 2

BELL TRANSFORMER 1

#16793- Standard - 1 temp service- 1-27-1941

Irons 2

Sign Outlets

No. FIXTURES 42 Electrical Contractor

Date

FINAL APPROVED BY Lincoln Brown, jr. Date of Service February 14-1941

BUILDING PERMIT # 26972 Outside Painting - A. B. Cooper Painting- \$ 500..April 9, 1948
 Alterations or Repairs--Over

ALTERATIONS & ADDITIONS

Building Permits: #45062 L. & N Roofing: Roofing..... \$ 1587.00 June 30, 1954
 49149 R. Johnson: Painting \$ 1 940 November 8, 1955
 49752 by owner: ADDITION OF --approximately 400 feet of 8" block wall, six feet high
 above grade crown of roadway.
 OK, Flaag 7/5/1956--- 49850 Thermo Cool, Inc: Install 1 - 5 ton A. C. Unit \$ 2 000 Feb. 8, 1956
 49870 Beagles Roofing Co: Roofing \$ 1 500 Feb. 27, 1956
 C. O. #3027 6/7/56 49891 ADDITION OF TWO REAR PORCHES ON FRST AND SECOND FLOORS and FRONT DOOR CANOPY
 OK, Cox 6/6/1956 14' x 23' x 10' (first floor) 7' x 23' x 10' (second floor) work done by
 owner(day labor) J. Frank Bradley, architect: \$ 4 500 March 6, 1956
 #55898 A. B. Cooper: Exterior Painting - \$950 - April 16, 1958

Plumbing Permits: #36258 B. K. Gunn & Son: 1 water heater...7/27/54 OK, Rothman 7/28/54

Electrical Permits: # 36987 Claude Southern Corp: 1 center of distribution, 3 motors-July 10, 1952
 # 42556 Foster Electric: 1 water heater...7/26/54 OK, Rosser 7/26/54
 46786 Gulf Electric: 1 switch outlet, 7 receptacles, 3 light outlets, 1 service
 OK, Fidler 2/20/56 5 motors February 14, 1956
 OK, Fidler 5/16/1956 46954 E. & E. Electric: one center of distribution, 2 motors, 0-1hp, 1 motor, 2-5hp
 March 12, 1956

Lot

Block

Subdivision

ALTERATIONS & ADDITIONS

Building Permits: #03844-Fenton and Muskat Realtors-For Sale Sign #559-\$5-8-15-73

#3945-Climatrol- 1 10KW wind a/c 5ton central a/c-5-19-77

#23720 4/18/83 Brady Roofing rear patio deck, 2 other decks 20 sqs \$5,300.

Plumbing Permits:

Electrical Permits:

Lot 1 Block 44 Subdivision Orchard #1 3100 Pinetree Drive

ALTERATIONS & ADDITIONS

Building Permits:

#60941 C. O. Barnard Construction: Addition to existing building, CBS, bedroom, bath, & closet- 30'2" x 25'6", one story, with 1 - 2 ton window air conditioner - Carlos B. Schoeppl, Architect- \$5400 - Jan. 5, 1960 OK 3/1/60 Plaag & OK 3/31/60 Saperstein

#79557 Pablo De La Aguilera: Exterior painting - \$1600 - 1/8/68 OK JD 4/12/68

#20051--Owner--Paint House--\$2,000.00--4/9/81

#42078 M. S. Plumbing Co: 1 water closet, 1 lavatory, 1 bath tub, 1 shower- Jan. 11, 1960 OK 3/31/60 Rothman

Plumbing Permits: #42120 M & S Plbg: 1 Lavatory - Feb. 1, 1960 OK 3/31/60 Rothman

#54661 Wagner Elec: 6 switch outlets, 25 receptacles, 6 light outlets, 1 space heater, 1 water heater outlet, 1 center of distribution, 1 motor (2-5HP)- Jan. 11, 1960 OK 2/16/60 Newbold

Electrical Permits:

PERMIT #
89902596
BMS0002095

ADDRESS
3100 PINETREE DR

89902596

GENERAL NOTES:

1. THE GENERAL NOTES AND CONSTRUCTION DOCUMENTS HEREIN SHALL APPLY TO THE WORK OF THIS PROJECT, AND SHALL BE CAREFULLY REVIEWED BY THE GENERAL CONTRACTOR AND ALL HIS SUBCONTRACTORS. THE GENERAL CONTRACTOR SHALL COORDINATE EACH SUBCONTRACTOR'S WORK WITH OTHER SUBCONTRACTOR'S WORK ASSOCIATED WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL CARRY WORKMAN COMPENSATION INSURANCE IN SUFFICIENT AMOUNTS AS REQUIRED BY LAW TO THE FULLEST EXTENT PERMITTED BY LAW. THE GENERAL CONTRACTOR AND ALL OF HIS SUBCONTRACTORS SHALL INDEMNIFY AND HOLD HARMLESS THE ARCHITECT AND HIS CONSULTING ENGINEERS AND THEIR AGENTS AND EMPLOYEES FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES RESULTING FROM THE PERFORMANCE OF THE WORK ASSOCIATED WITH THIS PROJECT.
3. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS & DIMENSIONS AT THE JOBSITE. THE GENERAL CONTRACTOR SHALL COORDINATE ACTUAL FIELD CONDITIONS WITH THE WORK SPECIFIED IN THE CONSTRUCTION DOCUMENTS PRIOR TO BEGIND ANY CONSTRUCTION. AND NOTIFY THE ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES ARE ENCOUNTERED. BY SUBMISSION OF A BID FOR CONSTRUCTION, THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS ACKNOWLEDGE PERFORMING THE ABOVE INSPECTION, AND INCLUDE IN HIS PROPOSAL ALL COSTS AND/OR FEES PERTAINING TO THE COMPLETION OF THE PROJECT AS INDICATED IN THE BIDDING CONSTRUCTION DOCUMENT SET AND ANY ADDENDA, THESE MIGHT INCLUDE, BUT ARE NOT LIMITED TO, THE REMOVAL, RELOCATION, AND/OR REPAIR OF ANY EXISTING OBJECTS OR OBSTRUCTIONS WHICH MAY BE ENCOUNTERED IN PERFORMING THE WORK.
4. ALL WORK PERFORMED FOR THIS PROJECT SHALL COMPLY WITH ALL NATIONAL, STATE AND LOCAL CODES HAVING JURISDICTION, THE SOUTH FLORIDA BUILDING CODE, AND WITH THE REQUIREMENTS OF THE UTILITY COMPANIES. WAIVE SERVICES SHALL BE UTILIZED. ALL MODIFICATIONS REQUIRED BY THE BUILDING DEPARTMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO, OR AT THE TIME OF PERFORMING, ANY REQUIRED CHANGES SHALL BE SHOWN, AS DETERMINED BY THE ARCHITECT, ON REVISED DRAWINGS ISSUED BY THE GENERAL CONTRACTOR. ANY ADJUSTMENTS TO THE CONSTRUCTION FEES SHALL TAKE PLACE AT THIS TIME, AND BE SUBMITTED FOR APPROVAL OF THE ARCHITECT AND OWNER.
5. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL MAKE ARRANGEMENTS FOR, OBTAIN, AND PAY FOR ALL PERMITS, TESTS, INSPECTIONS, AND APPROVALS REQUIRED OR HIS PORTION OF WORK.
6. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ALL MAJOR BUILDING INSPECTIONS REQUIRED BY THE BUILDING DEPARTMENT TO BE MADE BY THE ARCHITECT OR ANY OF HIS ENGINEERS UPON ISSUANCE OF THE PERMIT. THE CONTRACTOR MUST CONTACT THE ARCHITECT PRIOR TO SCHEDULING THE INSPECTION WITH THE BUILDING OFFICIAL, SO THAT THE ENGINEER CAN CONDUCT THE SAME INSPECTION AND INITIAL THE INSPECTION LOG AS REQUIRED BY SECTION 3072 OF THE SOUTH FLORIDA BUILDING CODE.
7. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS MUST BE AWARE OF ALL COMMENTS AND NOTES MADE BY THE BUILDING OFFICIAL UPON THE FINAL PERMITTED SET OF CONSTRUCTION DOCUMENTS, AND SHALL INCORPORATE ALL INFORMATION WITHIN THE APPLICABLE CONSTRUCTION DOCUMENTS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO KEEP AN AS-BUILT SET OF CONSTRUCTION DOCUMENTS, AND TO NOTIFY THE ARCHITECT OF ANY AND ALL CHANGES MADE DUE TO FIELD DISCREPANCIES BY THE BUILDING INSPECTOR. UPON SUBSTANTIAL COMPLETION OF THE PROJECT, THE GENERAL CONTRACTOR SHALL DELIVER THE AS-BUILT SET OF CONSTRUCTION DOCUMENTS TO THE ARCHITECT, WITH ALL APPROVED FIELD CHANGES CLEARLY INDICATED IN RED INK OR PENCIL.
8. THE GENERAL CONTRACTOR AND THE OWNER SHALL BE SOLELY RESPONSIBLE FOR VERIFYING REFINED GRADE AND FINISHED FLOOR ELEVATIONS WITH RESPECT TO APPLICABLE COUNTY FLOOD CRITERIA, FEDERAL FLOOD CRITERIA, EXISTING CROWN OF ROAD ELEVATIONS, AND APPLICABLE COVERING AGENCY. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY CONFLICTS OR DISCREPANCIES. CONTRACTOR SHALL GRADE LOT SO AS TO PREVENT DIRECT OVERLAND DRAINAGE OF STORMWATER ONTO ADJACENT PROPERTIES.
9. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE INDIVIDUALLY RESPONSIBLE FOR THE PROTECTION OF BUILDING OCCUPANTS FROM HAZARDS ASSOCIATED WITH HIS PARTICULAR WORK. THE CONTRACTOR SHALL PROVIDE, INSTALL, AND MAINTAIN ALL BARRICADES, BARRIERS, AND DUST CONTROL SYSTEMS NECESSARY TO PROTECT THE HEALTH AND SAFETY OF THE BUILDING OCCUPANTS.
10. WHEN DIMENSIONS AND NOTES ARE TYPICAL FOR ALL SIMILAR CONDITIONS, UNLESS OTHERWISE SPECIFIED IN THE CONSTRUCTION DOCUMENTS, DO NOT SCALE DRAWINGS. IF REQUIRED DIMENSIONS OR NOTES ARE NOT INDICATED, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR RESOLUTION.
11. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ANY CUTTING, FITTING, AND PHASING THAT MAY BE REQUIRED TO PROPERLY COMPLETE THE WORK OF HIS CONTRACT. NO CONTRACTOR SHALL ENDORSE THE WORK OF ANY OTHER CONTRACTOR. ANY FEES/COSTS INCURRED TO REPAIR DEFECTIVE OR LIMITED WORK SHALL BE BORNE BY THE SUBCONTRACTOR RESPONSIBLE THEREFOR.

12. THE GENERAL CONTRACTOR SHALL SUBMIT PRODUCT APPROVALS, SHOP DRAWINGS, SAMPLES, AND EQUIPMENT SPECIFICATION SHEETS AS CALLED FOR IN THE CONSTRUCTION DOCUMENTS. MATERIALS SHALL NOT BE USED UNLESS THEY ARE LISTED IN THE FOLLOWING: PREFABRICATED WALLS, WALLS, WINDOWS, DOORS, ELECTRICAL EQUIPMENT AND INTERIOR/EXTERIOR FINISHES. SUBMITTALS SHALL BE DELIVERED TO THE OWNER SUFFICIENTLY IN ADVANCE TO ALLOW FOR REVIEW, PROCUREMENT AND/OR FABRICATION SHALL NOT COMMENCE UNTIL SUBMITTALS ARE REVIEWED AND APPROVED BY THE OWNER, ARCHITECT, AND/OR ENGINEER.
13. ALL REQUIRED LAB TESTS PERTAINING TO THE PROJECT SHALL BE PERFORMED AT THE SOLE EXPENSE OF THE GENERAL CONTRACTOR, AND BY A LICENSED TESTING LABORATORY UNDER THE SUPERVISION OF A FLORIDA REGISTERED ENGINEER. TEST RESULTS SHALL BE SUBMITTED EACH TIME A TEST IS COMPLETED.
14. THE GENERAL CONTRACTOR AND ALL APPLICABLE SUBCONTRACTORS SHALL FURNISH AND BE SOLELY RESPONSIBLE FOR ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN THE PLUMBNESS AND STABILITY OF STRUCTURAL ELEMENTS. THIS SHALL APPLY EVEN TO THOSE STRUCTURAL MEMBERS NOT INDICATED IN THE CONSTRUCTION DOCUMENTS.
15. NO STRUCTURAL MEMBER SHALL BE CUT, REMOVED, AND/OR MODIFIED (UNLESS SPECIFIED IN THE CONSTRUCTION DOCUMENTS) WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT OR HIS ENGINEER.
16. ALL EXISTING DAMAGED AND/OR DAMAGED SURFACES (I.E.: DRYWALL, PLASTER, STUCCO, WOOD, PAINT, ETC.), WITHIN THE AREA OF CONSTRUCTION, SHALL BE REPAIRED, AS NECESSARY, TO MATCH EXISTING FINISHES.
17. AFTER COMPLETION OF CONSTRUCTION, ALL WORK AREAS SHALL BE LEFT CLEAN AND FREE OF ANY JOINT COMPOUND, PLASTER, STUCCO, PAINT SMEARS OR SPLATTERS, AND THE BUILDING IS TO BE BROOM CLEANED.
18. THE GENERAL CONTRACTOR AND ALL APPLICABLE SUBCONTRACTORS SHALL PROVIDE AND INSTALL 2x4 WOOD BRACING BETWEEN STUDS AND/OR FLOORING FOR ANY BARE AND WALL-MOUNTED CABINETS AND SURFACE-MOUNTED ACCESSORIES PRIOR TO INSTALLATION OF ANY WALLBOARD. PROVIDE BRACING EVEN IF CABINETS AND SURFACE-MOUNTED ACCESSORIES PRIOR TO INSTALLATION OF ANY WALLBOARD. PROVIDE BRACING EVEN IF CABINETS AND ACCESSORIES ARE "BY OTHERS" OR "NOT IN CONTRACT (N.I.C.)." CONTRACTOR SHALL MARK LOCATION OF BRACING ON THE FINISHED WALLBOARD.
19. CABINET MANUFACTURER SHALL FIELD MEASURE EXACT LOCATION OF ALL CABINETS AND ELECTRICAL RECEPTACLES AT THE JOBSITE PRIOR TO THE FABRICATION OF ANY CABINETS. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS FOR RESOLUTION.
20. CABINET MANUFACTURER SHALL FIELD MEASURE EXACT LOCATION OF ALL CABINETS AND ELECTRICAL RECEPTACLES AT THE JOBSITE PRIOR TO THE FABRICATION OF ANY CABINETS. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS FOR RESOLUTION.
21. ALL WORK SPECIFIED IN THE CONSTRUCTION DOCUMENTS, AND PERFORMED BY THE GENERAL CONTRACTOR OR HIS SUBCONTRACTORS, SHALL BE GIVEN A (1) YEAR WARRANTY FROM THE DATE OF THE CITY OR COUNTY'S FINAL INSPECTION, AND WITH THE OWNER'S APPROVAL OF SUFFICIENCY. DURING THIS PERIOD, THE CONTRACTOR AGREES TO REPAIR AND/OR REPLACE, AS NECESSARY, ANY WORK PERFORMED UNDER HIS CONTRACT WHICH IS DEFECTIVE OR DAMAGED DUE TO CIRCUMSTANCES ASSOCIATED WITH THE SUBSTANTIAL COMPLETION OF THE GENERAL CONTRACTOR'S WORK. FORCE, OR THAT OF HIS SUBCONTRACTORS.
22. THESE DRAWINGS AND SPECIFICATIONS ARE ESTIMATES OF CONSTRUCTION AND REMAIN THE PROPERTY OF THE ARCHITECT. ANY REPRODUCTION OF SAID DRAWINGS, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT, IS STRICTLY PROHIBITED BY COPYRIGHT PROTECTION LAWS.

SHOP DRAWINGS:

ALL SHOP DRAWINGS SHALL BE THOROUGHLY CHECKED BY THE GENERAL CONTRACTOR AND APPLICABLE SUBCONTRACTOR, AND SHALL BEAR CHECKER'S SIGNATURE BEFORE BEING SUBMITTED TO THE OWNER FOR APPROVAL. WHEN REVIEWED BY THE ARCHITECT OR ENGINEER ON BEHALF OF THE OWNER, SUCH REVIEW SHALL BE FOR THE INFORMATION ONLY AND THE DESIGN CONCEPT EXPRESSED IN THE CONSTRUCTION DOCUMENTS. APPROVAL WILL NOT RELIEVE THE GENERAL CONTRACTOR AND APPLICABLE SUBCONTRACTOR OF THEIR RESPONSIBILITIES FOR QUANTITY, FIT, DIMENSIONS, WEIGHTS, SEQUENCES, METHODS AND PROCEDURES, NOR FOR ANY DEFICIENCY FROM THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS.

THE GENERAL CONTRACTOR SHALL SUBMIT (1) SEVEN REPROducible COPY AND (2) SEVEN ORIGINAL COPIES OF ALL SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO COMMENCING FABRICATION. ALL SHOP DRAWINGS, ONCE REVIEWED BY THE ARCHITECT OR ENGINEER, SHALL BEAR THE SIGNATURE OF THE ARCHITECT OR ENGINEER, AND SHALL INDICATE WHAT ACTION SHOULD BE TAKEN BY THE CONTRACTOR; APPROVED, APPROVED AS NOTED, OR NOT APPROVED AND RE-SUBMIT.

SHOP DRAWINGS AND ANY MAKE-UPS AND/OR NOTES MADE BY THE ARCHITECT OR ENGINEER SHALL BE THOROUGHLY REVIEWED BY THE GENERAL CONTRACTOR. IF THE OWNER OR GENERAL CONTRACTOR IS UNSATISFIED WITH ANY OF THE MAKE-UPS OR NOTES, HE SHALL CONTACT THE ARCHITECT OR ENGINEER AT ONCE FOR CLARIFICATION. NO CHANGES OR DEMANDS SHALL BE MADE UNDER ANY CIRCUMSTANCES WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT OR ENGINEER.

SITE / PROJECT DATA

SITE / PROJECT DATA	
ZONING:	A-E
SITE AREA:	20,000 SQ. FT.
SETBACKS:	
FRONT:	20' MIN.
REAR:	20' MIN.
SIDE:	SUM EQUAL TO 25% OF WIDTH OF LOT OR 7'-6" MIN.
BUILDING AREA:	
GROUND LEVEL ADDITION:	620 GROSS SQ. FT.
TOTAL GROUND LEVEL (A/C):	3,725 GROSS SQ. FT.
TOTAL SECOND LEVEL (A/C):	1,299 GROSS SQ. FT.
COMBINED OVERALL BUILDING AREA:	5,024 GROSS SQ. FT.
EXTERIOR TERRACES AND LOGGIA:	475 GROSS SQ. FT.
LEGAL DESCRIPTION	
LOT 1, BLOCK 44 OF ORCHARD SUBDIVISION NO. 1 ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 8 AT PAGE 111 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.	

Carl N. Elliott
ARCHITECT

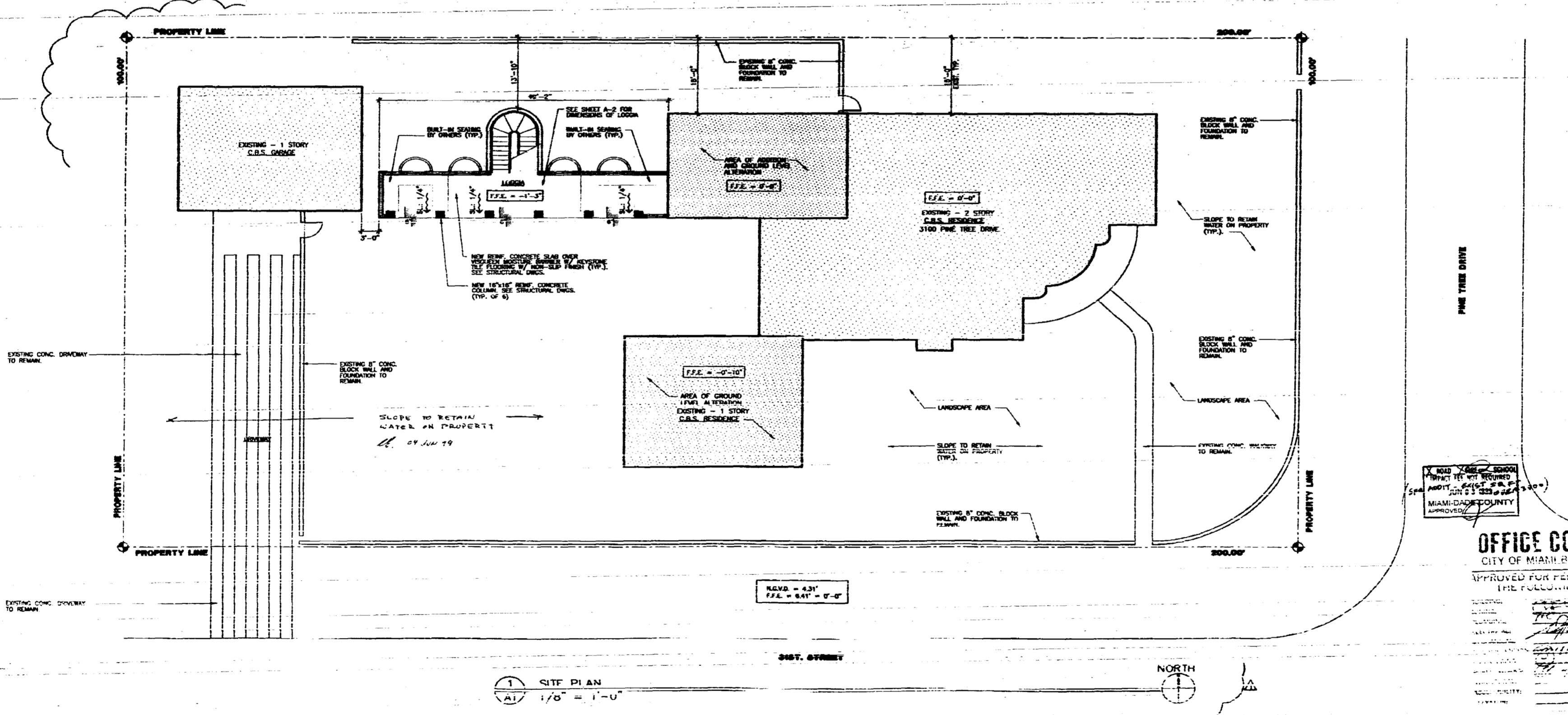
Alterations & Additions for:
Loungwa Development Inc.
3100 Pine Tree Drive
Miami Beach, Florida

REVISIONS:
PLANNING AND ZONING
22 APRIL 99

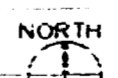
OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:

DATE: 4/22/99
BY: [Signature]
TITLE: [Signature]
DATE: 4/22/99
BY: [Signature]
TITLE: [Signature]

A-1



1 SITE PLAN
1/8" = 1'-0"



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Alterations & Additions for:
Laingwa Development Inc.
 3100 Pine Tree Drive
 Miami Beach, Florida

REVISIONS:

1	PLUMBING AND JOINING	22 APRIL 99
2	BLDG. DEPT. COMM.	22 MAY 99

OFFICE COPY

APPROVED FOR CONSTRUCTION BY

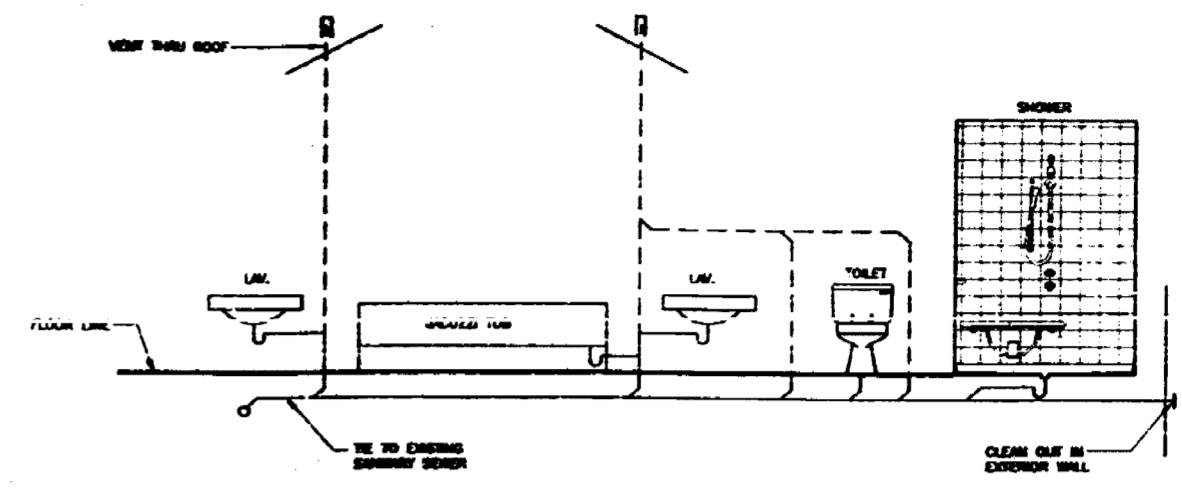
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AS NOTED

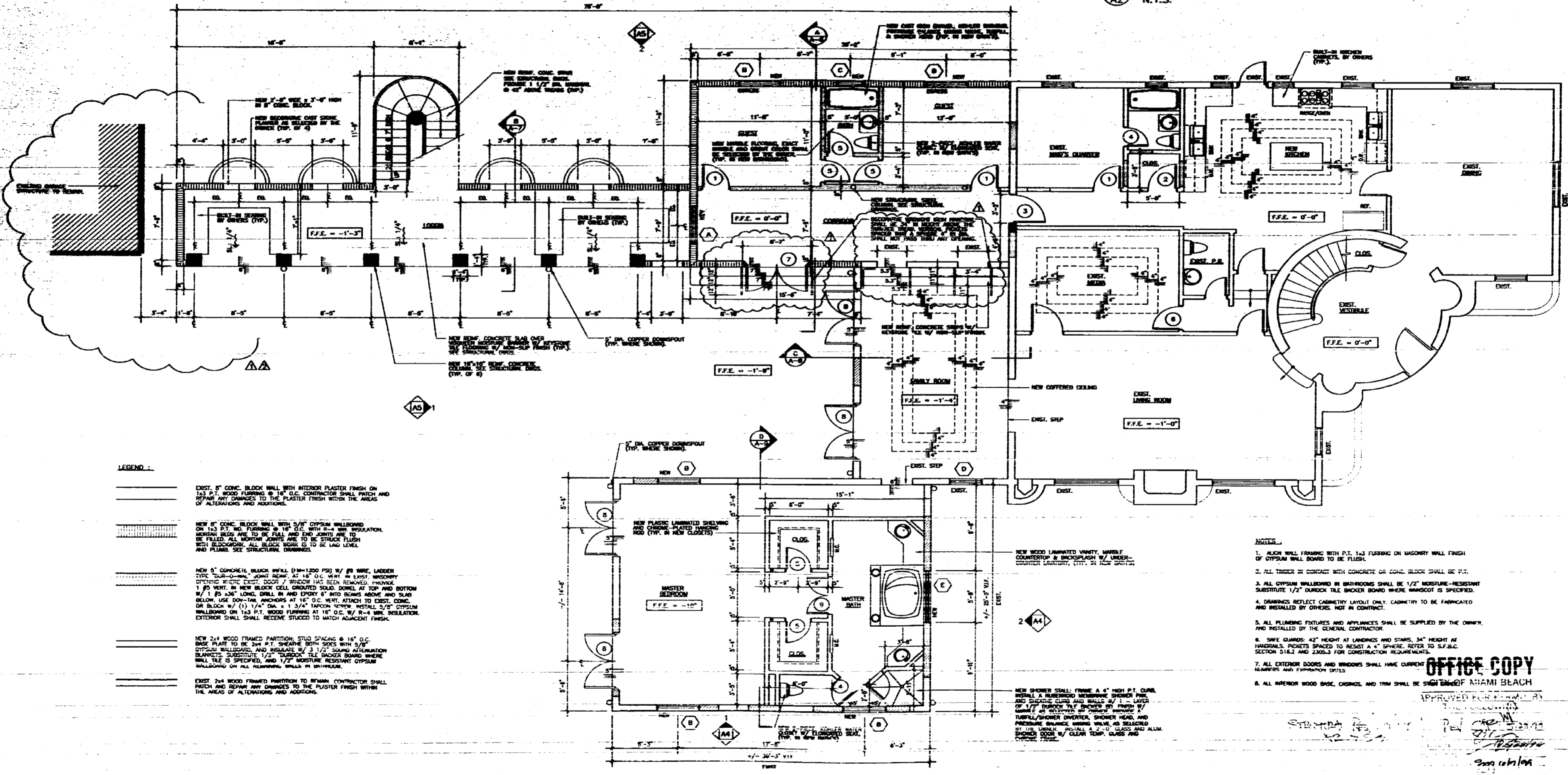
DATE: 4-20-99

BY: [Signature]

A-2



2 MASTER BATH PLUMBING RISER DIAGRAM
 A2 N.T.S.



1 GROUND LEVEL FLOOR PLAN
 A2 1/4" = 1'-0"

- LEGEND:
- EXIST. 8" CONC. BLOCK WALL WITH INTERIOR PLASTER FINISH ON 1 1/2" P.T. WOOD FLOORING @ 16" O.C. CONTRACTOR SHALL PATCH AND REPAIR ANY DAMAGES TO THE PLASTER FINISH WITHIN THE AREAS OF ALTERATIONS AND ADDITIONS.
 - NEW 8" CONC. BLOCK WALL WITH 5/8" CYPRESS MILLBOARD ON 1 1/2" P.T. WOOD FLOORING @ 16" O.C. WITH 1/2" AIR INSULATION. BENTON BULG ARE TO BE FULL AND JOINTS ARE TO BE FILLED. ALL JOINTS ARE TO BE STRUCK FLUSH WITH BLOCKING. ALL BLOCK WORK TO BE IN LVL LEVEL AND PLUMB. SEE STRUCTURE DRAWINGS.
 - NEW 8" CONCRETE BLOCK INFILL (8M-1200 PDS) W/ #3 WIRE LADDER TYPE "DUB-O-WALL" JOINT BEING AT 16" O.C. VERY IN EXIST. MASONRY. EXISTING INTERIOR CORNER 7" BRICKS HAS BEEN REMOVED. PROVIDE 1" PS X 16" LONG, DRILL IN AND EPOXY 6" INTO BEAMS ABOVE AND SLAB BELOW. USE 20#-10A ANCHORS AT 16" O.C. NEW. ATTACH TO EXIST. CONC. OR BLOCK W/ (1) 1/4" DIA. x 1 3/4" TAPCON SCREW. INSTALL 5/8" CYPRESS MILLBOARD ON 1 1/2" P.T. WOOD FLOORING @ 16" O.C. W/ 1/2" AIR INSULATION. EXTERIOR SHALL RECEIVE STUCCO TO MATCH ADJACENT FINISH.
 - NEW 2x4 WOOD FRAMED PARTITION, STUD SPACING @ 16" O.C. SIDE PLATE TO BE 2x4 P.T. SHEATH BOTH SIDES WITH 5/8" CYPRESS MILLBOARD AND INSULATE W/ 3 1/2" SOUND ATTENUATION BLANKETS. SUBSTITUE 1/2" GIBSON TILE UNDER BOARD WHERE WALL TILE IS SPECIFIED, AND 1/2" MOISTURE RESISTANT CYPRESS MILLBOARD ON ALL REMAINING WALLS IN OFFSHOTS.
 - EXIST. 2x4 WOOD FRAMED PARTITION TO REMAIN. CONTRACTOR SHALL PATCH AND REPAIR ANY DAMAGES TO THE PLASTER FINISH WITHIN THE AREAS OF ALTERATIONS AND ADDITIONS.

- NOTES:
1. ALIGH WALL FRAMING WITH P.T. 1 1/2" FLOORING ON MASONRY WALL FINISH OF CYPRESS MILL BOARD TO BE FLUSH.
 2. ALL TRIMMER IN CONTACT WITH CONCRETE OR CONC. BLOCK SHALL BE P.T.
 3. ALL CYPRESS MILLBOARD IN BATHROOMS SHALL BE 1/2" MOISTURE-RESISTANT. SUBSTITUTE 1/2" GIBSON TILE UNDER BOARD WHERE WOODKIT IS SPECIFIED.
 4. DRAWINGS REFLECT CABINETRY LAYOUT ONLY. CABINETRY TO BE FABRICATED AND INSTALLED BY OTHERS, NOT IN CONTRACT.
 5. ALL PLUMBING FIXTURES AND APPLIANCES SHALL BE SUPPLIED BY THE OWNER, AND INSTALLED BY THE GENERAL CONTRACTOR.
 6. SAFE GUARDS: 42" HEIGHT AT LANDINGS AND STAIRS, 36" HEIGHT AT HANDRAILS. PICKETS SPACED TO RESIST A 4" SPHERE. REFER TO S.F.A.C. SECTION 516.2 AND 516.3 FOR CONSTRUCTION REQUIREMENTS.
 7. ALL EXTERIOR DOORS AND WINDOWS SHALL HAVE CURRENT MIAMI BEACH NUMBER AND EXPIRATION DATES.
 8. ALL INTERIOR WOOD BASE, CHAIRS, AND TRIM SHALL BE STAIN GRADE MIAMI BEACH.

APPROVED FOR CONSTRUCTION BY

DATE: 4-20-99

BY: [Signature]

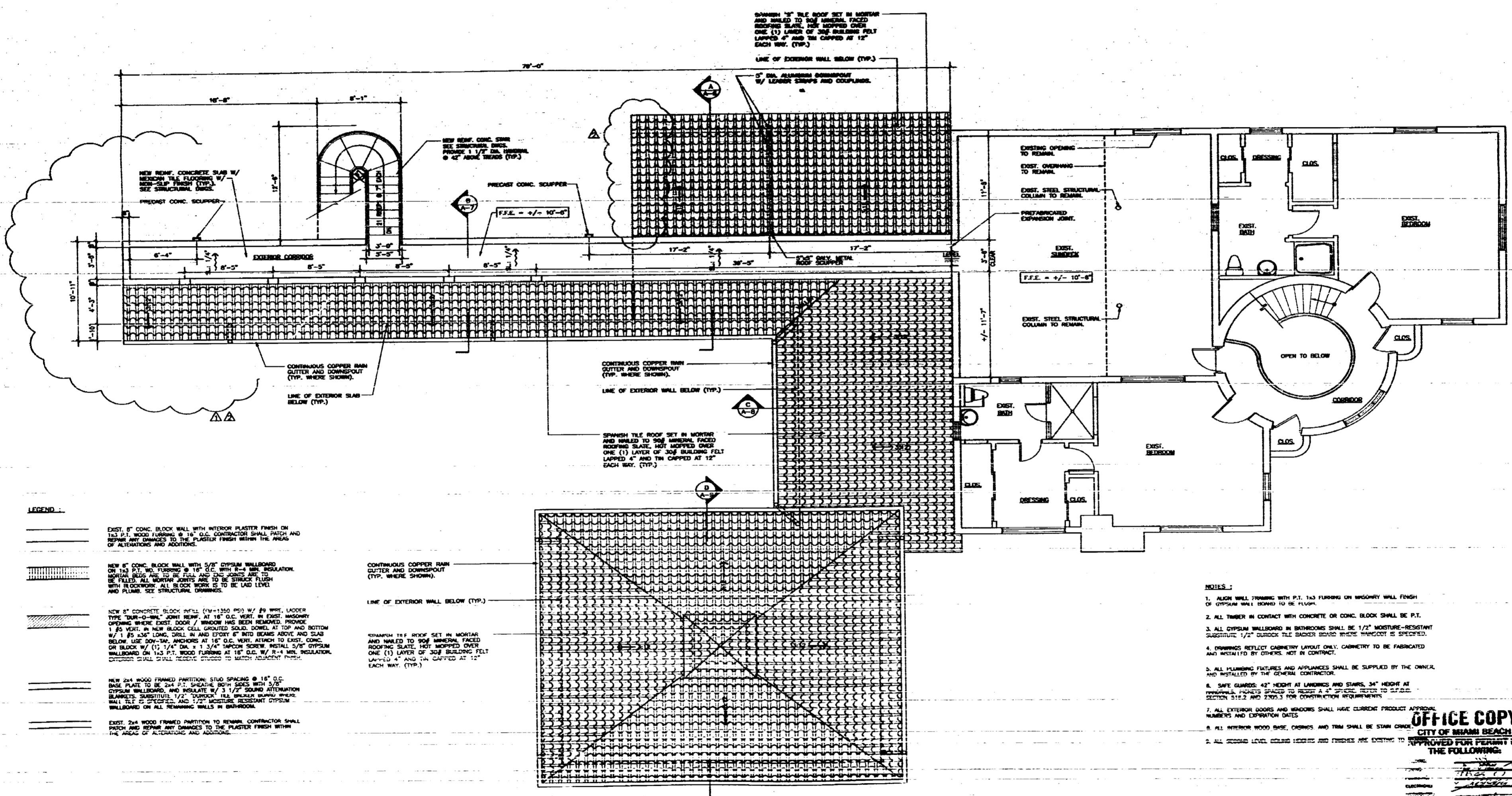
REVISIONS:

PLANNING AND ZONING	27 APR 99
BLDG. DEPT. COMM.	28 MAY 99

OFFICE COPY
 CITY OF MIAMI BEACH
 APPROVED FOR PERMIT BY
 THE FOLLOWING:

DATE	04-20-99
DESIGNER	AS: NCH/11
PROJECT	0505
CLIENT	LAUNGWA

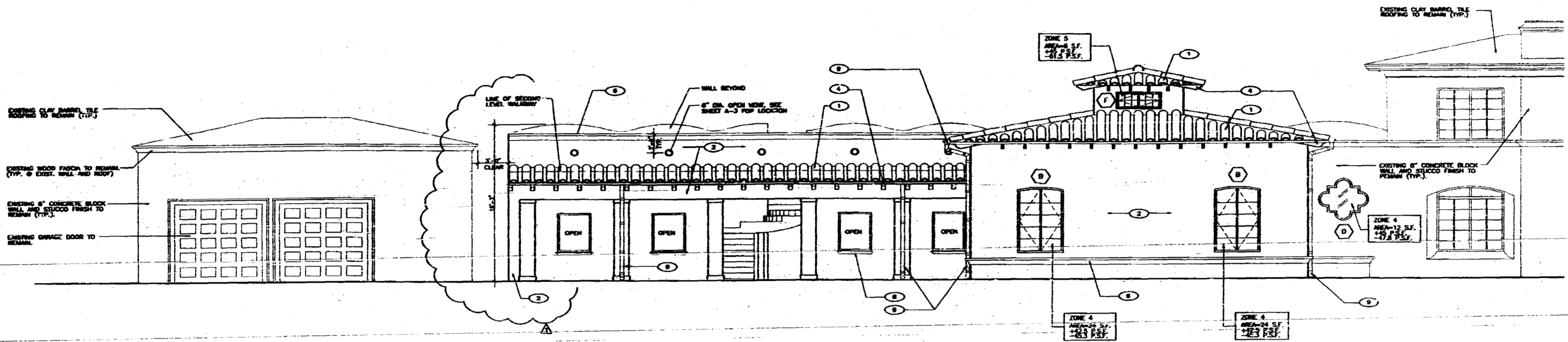
A-3



- LEGEND:
- EXIST. 8" CONC. BLOCK WALL WITH INTERIOR PLASTER FINISH ON 1/2" P.T. WOOD FLOORING @ 16" O.C. CONTRACTOR SHALL PATCH AND REPAIR ANY DAMAGES TO THE PLASTER FINISH WITHIN THE AREAS OF ALTERATIONS AND ADDITIONS.
 - NEW 8" CONC. BLOCK WALL WITH 5/8" GYPSUM WALLBOARD ON 1/2" P.T. WOOD FLOORING @ 16" O.C. WITH R-4 MIN. INSULATION. MORTAR BEDS ARE TO BE FILL AND CONC. JOINTS ARE TO BE FILLED. ALL MORTAR JOINTS ARE TO BE STRUCK FLUSH WITH FLOORING. ALL BLOCK WORK IS TO BE LAD LEVEL AND PLUMB. SEE STRUCTURAL DRAWINGS.
 - NEW 2x4 WOOD FRAMED PARTITION: STUD SPACING @ 16" O.C. BASE PLATE TO BE 2x4 P.T. SHEATHED BOTH SIDES WITH 5/8" GYPSUM WALLBOARD, AND INSULATE W/ 3 1/2" SOUND ATTENUATION BLENKETS. SUBSTITUTE 1/2" DRYWALL FOR USUAL BRUSH WERE WALL IS TO BE OPENED, AND 1/2" MOISTURE RESISTANT GYPSUM WALLBOARD ON ALL REMAINING WALLS IN BATHROOM.
 - EXIST. 2x4 WOOD FRAMED PARTITION TO REMAIN. CONTRACTOR SHALL PATCH AND REPAIR ANY DAMAGES TO THE PLASTER FINISH WITHIN THE AREAS OF ALTERATIONS AND ADDITIONS.
 - SPANISH TILE ROOF SET IN MORTAR AND NIBBLED TO 90% MINIMUM FACED ROOFING SLATE. NOT MORTAR OVER ONE (1) LAYER OF 30# BUILDING FELT LAPPED 4" AND TIN COPPED AT 12" EACH WAY. (TYP.)
 - CONTINUOUS COPPER RAIN GUTTER AND DOWNSPOUT (TYP. WHERE SHOWN).
 - LINE OF EXTERIOR WALL BELOW (TYP.)

SECOND LEVEL FLOOR PLAN - ROOF PLAN
 1/4" = 1'-0"

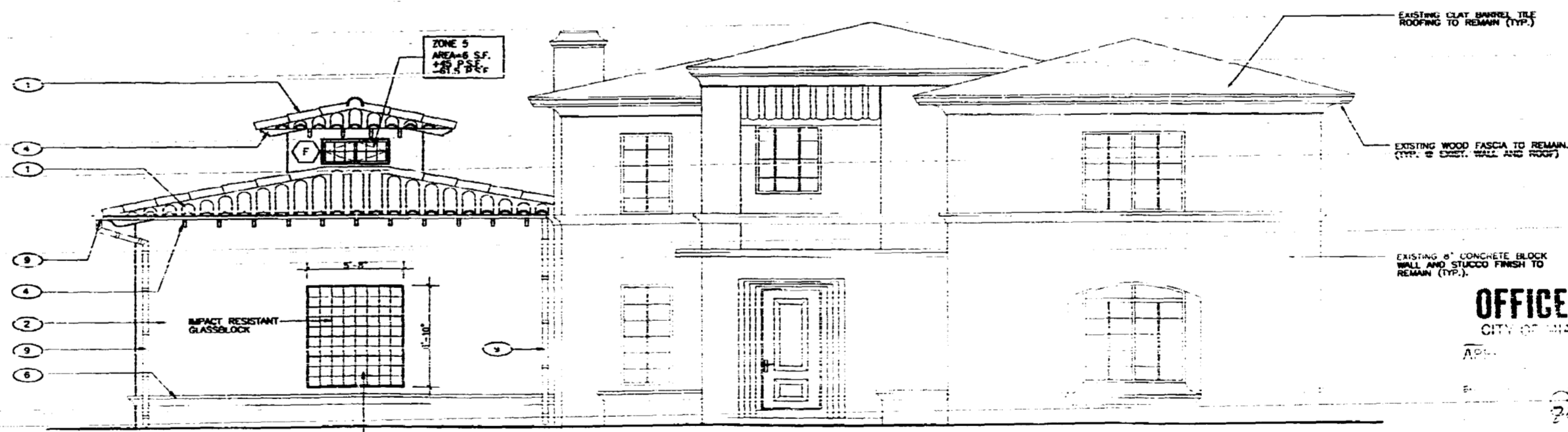
- NOTES:
- ALSO WALL FINISHING WITH P.T. 1/2" FLOORING ON WOODWORK WALL FINISH OF GYPSUM WALL BOARD TO BE FLUSH.
 - ALL TIMBER IN CONTACT WITH CONCRETE OR CONC. BLOCK SHALL BE P.T.
 - ALL GYPSUM WALLBOARD IN BATHROOMS SHALL BE 1/2" MOISTURE-RESISTANT SUBSTITUTE 1/2" DRYWALL TILE BACKER BOARD WHERE WATERPROOF IS SPECIFIED.
 - FINISHES REFLECT CABINERY LAYOUT ONLY. CABINERY TO BE FABRICATED AND INSTALLED BY OTHERS. NOT IN CONTRACT.
 - ALL PLUMBING FIXTURES AND APPLIANCES SHALL BE SUPPLIED BY THE OWNER, AND INSTALLED BY THE GENERAL CONTRACTOR.
 - SAFE GUARDS: 42" HEIGHT AT LAUNDRY AND STAIRS, 34" HEIGHT AT BALCONIES. FURNISH GUARDS TO PROTECT A 4" OPENING FROM TO 24" TO SECTION 512.2 AND 2305.3 FOR CONSTRUCTION REQUIREMENTS.
 - ALL EXTERIOR DOORS AND WINDOWS SHALL HAVE CURRENT PRODUCT APPROVAL NUMBERS AND EXPIRATION DATES.
 - ALL INTERIOR WOOD BASE, CORNICES AND TRIM SHALL BE STAIN GRADE.
 - ALL SECOND LEVEL CEILING LIGHTS AND FIXTURES ARE EXISTING TO REMAIN.



1 ELEVATION
A4 1/4" = 1'-0"

ELEVATION LEGEND:

1. SPANISH "S" TILE ROOF SET IN MORTAR AND NAILED TO ROOF GIRDER, FACED ROOFING SLATE, NOT MOFFED OVER ONE (1) LAYER OF 30# BUILDING FELT LAPPED 4" AND TRIM CAPPED AT 12" EACH WAY. (TYP.)
2. NEW STUCCO FINISH TO MATCH EXIST. BLDG. STANDARD (TYP.)
3. NEW DECORATIVE CAST STONE MOULDING AS SELECTED BY THE OWNER (TYP.)
4. CEDAR WOOD RAFTER, SEE STRUCTURAL DWGS
5. PRECAST CONCL. SCUPPER
6. NEW DECORATIVE CAST STONE TRIM MOULDING AS SELECTED BY THE OWNER (TYP.)
7. NEW DECORATIVE CAST STONE PEDESTALS AND PLANTER AS SELECTED BY THE OWNER (TYP.)
8. NEW SECOND MEANS OF EGRESS WINDOW SHALL COMPLY WITH IBC 101-22-219 AND SHALL HAVE A CLEAR MIN. OPENING OF NOT LESS THAN 2' 0" BY 4' 0" (MIN. 20" x 24"). THE BOTTOM OF THE WINDOW OPENING SHALL NOT EXCEED 44" FROM THE FINISH FLOOR.
9. CONTINUOUS COPPER RAIN GUTTER AND DOWNSPOUT (TYP. UNLESS SHOWN).



2 ELEVATION
A4 1/4" = 1'-0"

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CITY OF MIAMI BEACH

APPROVED: [Signature]
DATE: 5/19/99

Carl N. Elliott
ARCHITECT

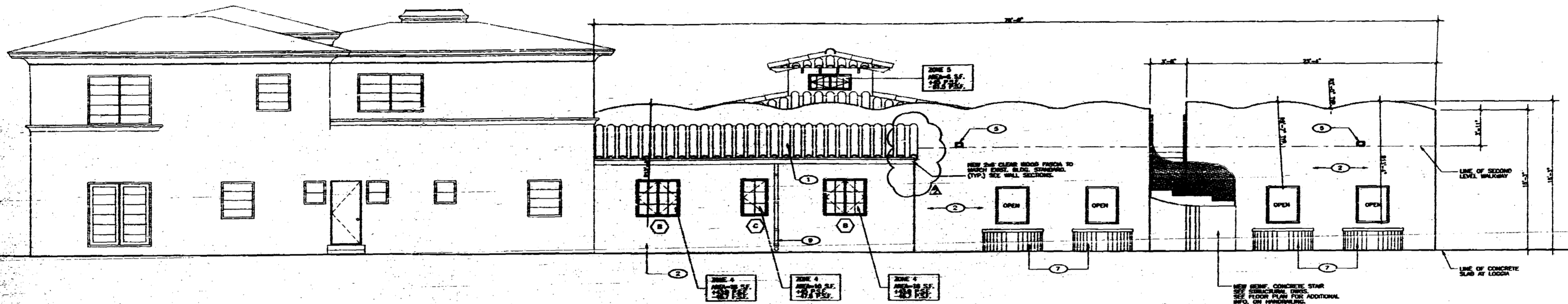
Alterations & Additions for:
Laungwa Development Inc.
3100 Pine Tree Drive
Miami Beach, Florida

REVISIONS:
BLDG. DEPT. COMM.
22 MAY 99

DRAWN: D.N.
CHECKED: A.R.
DATE: 04-20-99
SCALE: AS NOTED
JOB NO.: 9905
SHEET:

A-1

01000000



2 ELEVATION
 A-5 1/4" = 1'-0"

ELEVATION LEGEND:

1. SPANGH 75" TILE ROOF SET IN MORTAR AND NAILED TO 30# MINERAL FIBER ROOFING SLATE, NOT NIPPED OVER ONE (1) LAYER OF 30# BUILDING FELT LAPPED 4" AND TRIM CARPED AT 12" EACH WHT. (TYP.)
2. NEW STUCCO FINISH TO MATCH EXIST. BLDG. STANDARD (TYP.)
3. NEW DECORATIVE CAST STONE MOUNDING AS SELECTED BY THE OWNER (TYP.)
4. CEDAR WOOD RAFTER, SEE STRUCTURAL DWGS.
5. PRECAST CONC. SCUMPER
6. NEW DECORATIVE CAST STONE TRIM MOUNDING AS SELECTED BY THE OWNER (TYP.)
7. NEW DECORATIVE CAST STONE POSTALS AND PLANTER AS SELECTED BY THE OWNER (TYP.)
8. NEW EXTERIOR WOOD FASION TO MATCH EXIST. BLDG. STANDARD (TYP.) SEE WALL SECTIONS. NEW 1/2" CLEAR WOOD FASION TO MATCH EXIST. BLDG. STANDARD (TYP.) SEE WALL SECTIONS.
9. CONTINUOUS COPPER RAIN GUTTER AND DOWNSPOUT (TYP. WHERE SHOWN).



1 ELEVATION
 A-5 1/4" = 1'-0"

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 CITY OF MIAMI BEACH
 APPROVED FOR PERMIT BY
 THE FOLLOWING:

D.N. [Signature]
 A.R. [Signature]
 04-20-99
 AS NOTED
 JOB NO.
 SPEC.
 SHEET

Alterations & Additions for:
Laungva Development Inc.
 3100 Pine Tree Drive
 Miami Beach, Florida

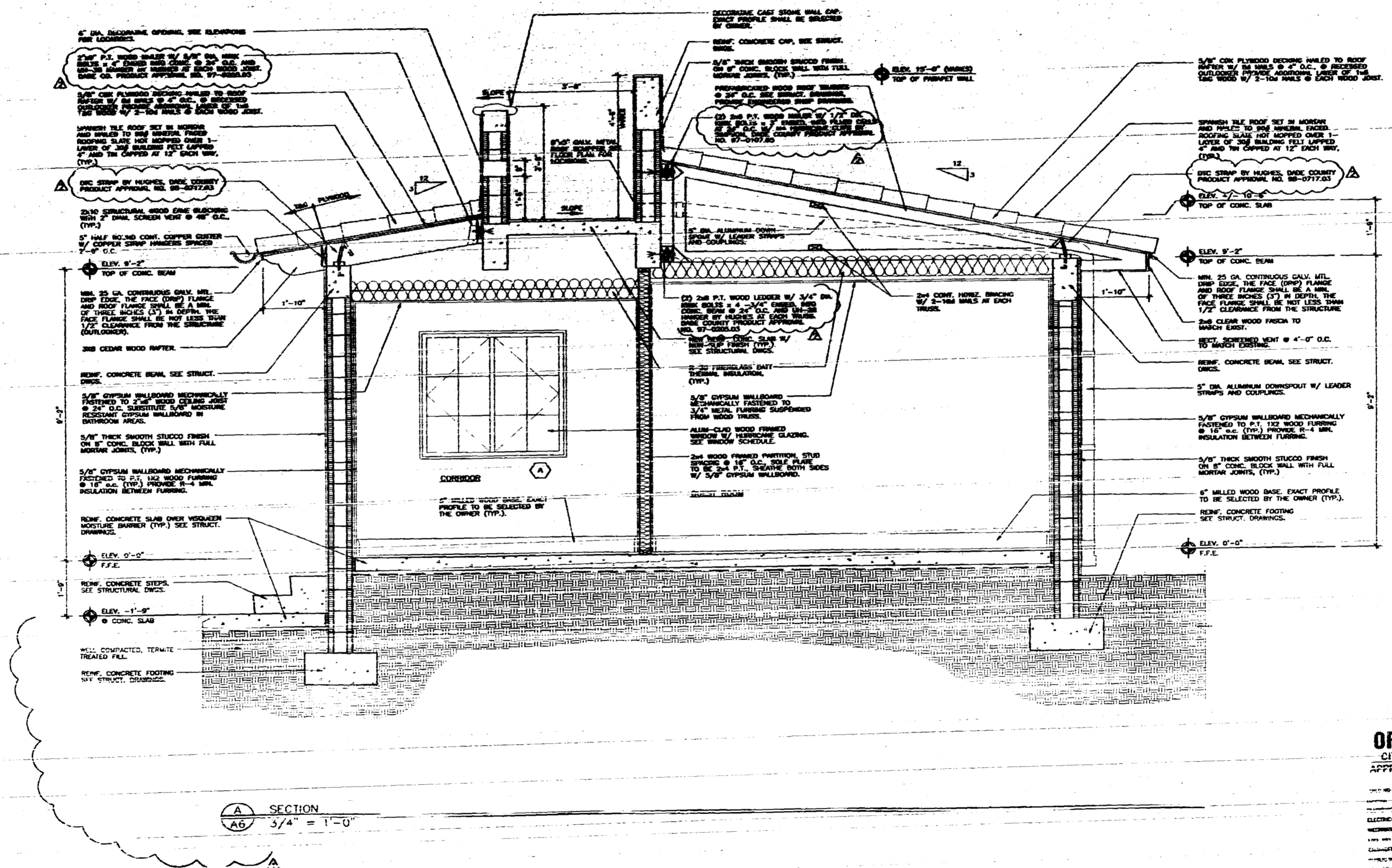
REVISIONS:
 BLDG. DEPT. COMM. 22 MAY 99
 BLDG. DEPT. COMM. 28 MAY 99

[Signature]
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 [Signature]

A-5

JUN 00 09

REVISIONS



A SECTION
3/4" = 1'-0"

Alterations & Additions for:
Laungwa Development Inc.
3100 Pine Tree Drive
Miami Beach, Florida

REVISIONS:

BLDG. DEPT. COMM.	28 MAY 99
BLDG. DEPT. COMM.	28 MAY 99

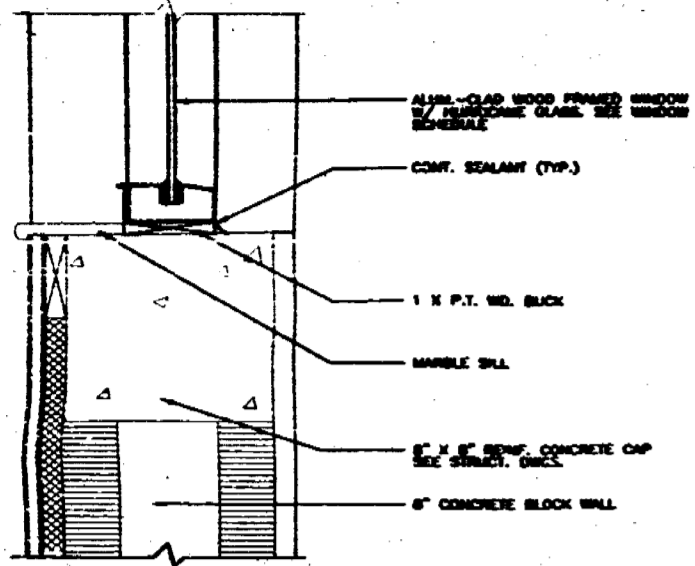
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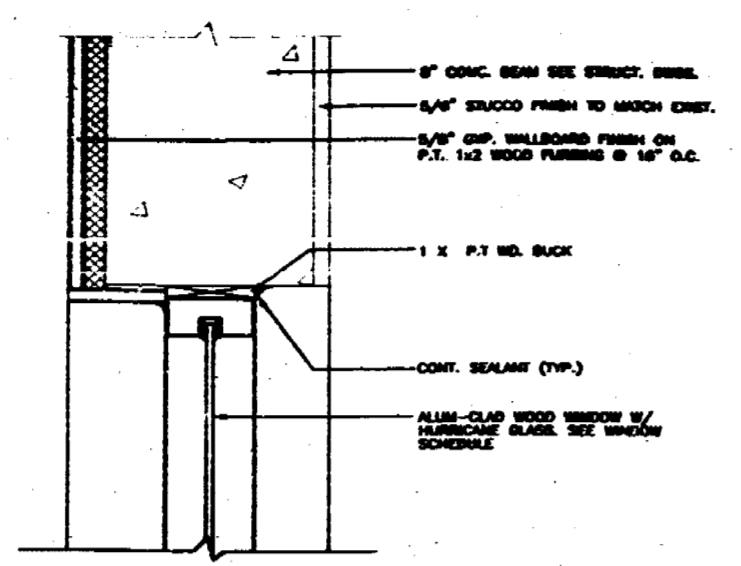
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CHECKED	A.R.
DATE	04-20-99
SCALE	AS NOTED
JOB NO.	9903
PROJECT	SPRINT

A-6

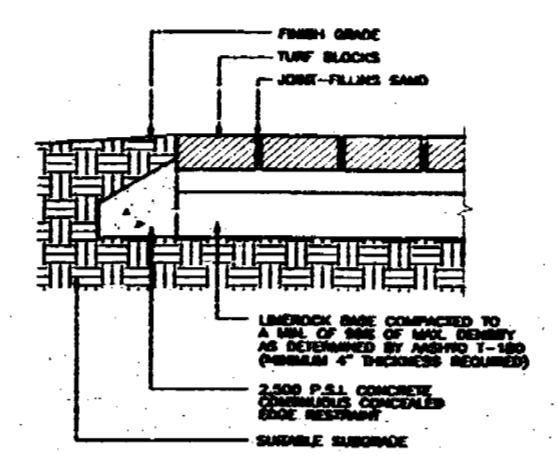
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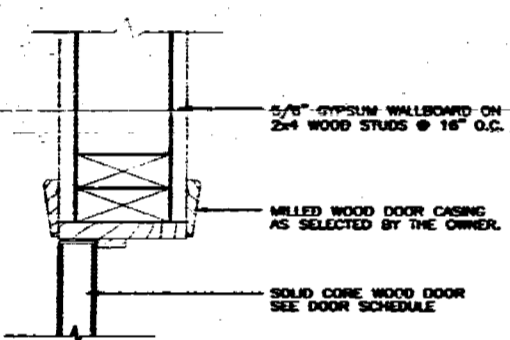
1 WINDOW SILL DETAIL
3\"/>



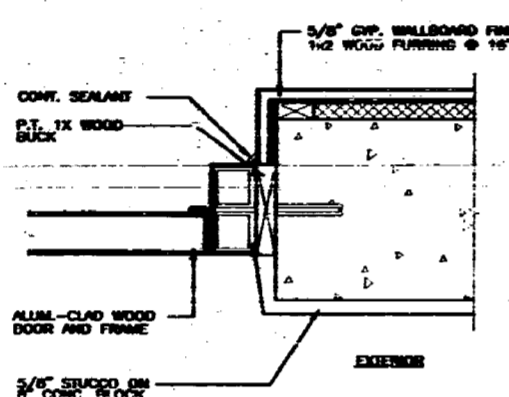
2 WINDOW HEAD/JAMB DETAIL
3\"/>



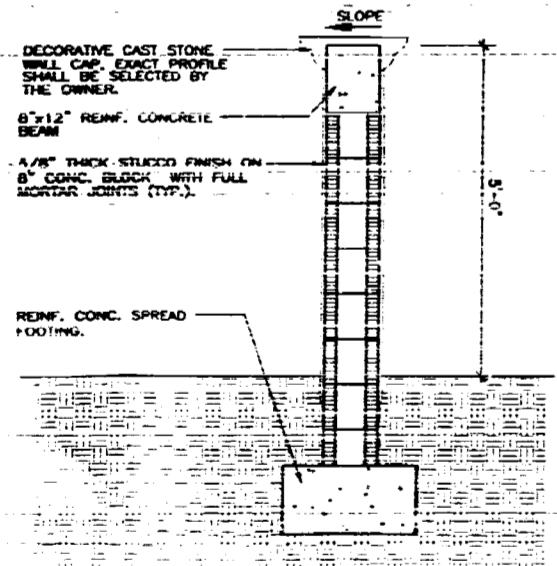
7 DRIVEWAY EDGE DETAIL
1 1/2\"/>



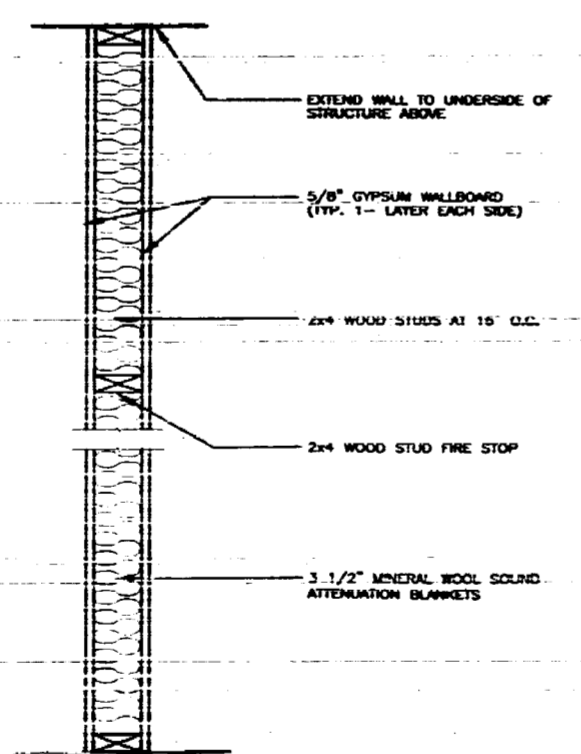
3 INT. DOOR JAMB DETAIL
3\"/>



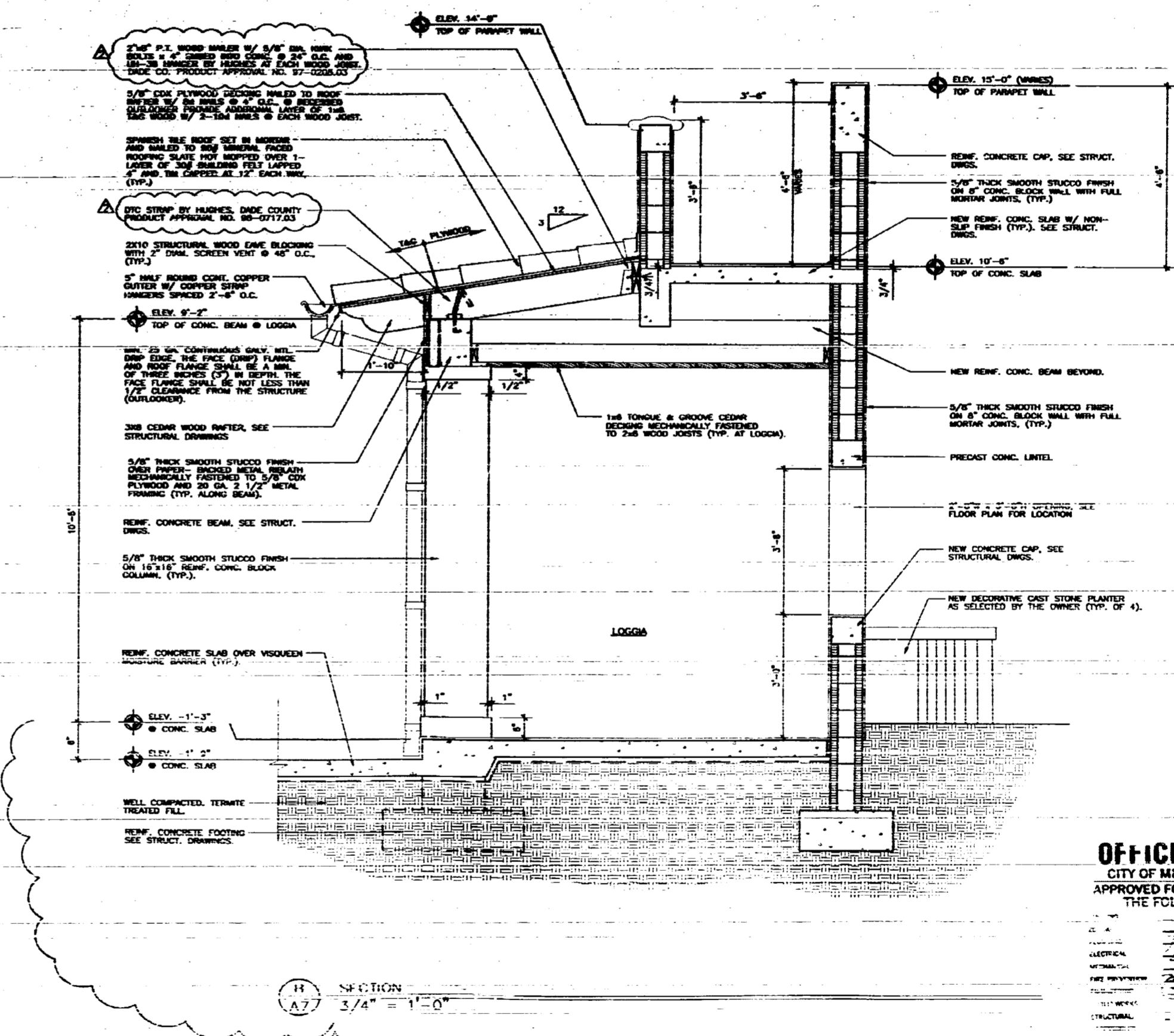
4 EXT. DOOR JAMB DETAIL
3\"/>



5 PRIVACY WALL DETAIL
3/4\"/>



6 TYP. PARTITION DETAIL
1 1/2\"/>



H SECTION
3/4\"/>

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APPROVED FOR PERMIT BY
THE FOLLOWING:

CIVIL ENGINEER: [Signature]
 ARCHITECT: [Signature]
 ELECTRICAL: [Signature]
 MECHANICAL: [Signature]
 PLUMBING: [Signature]
 STRUCTURAL: [Signature]

Carl N. Elliott
ARCHITECT
 REGISTERED ARCHITECT
 STATE OF FLORIDA

Alterations & Additions for:
Laungwa Development Inc.
 3100 Pine Tree Drive
 Miami Beach, Florida

REVISIONS:
 BLDG. DEPT. COMM. 22 MAY 99
 BLDG. DEPT. COMM. 28 MAY 99

990009

WINDOW SCHEDULE

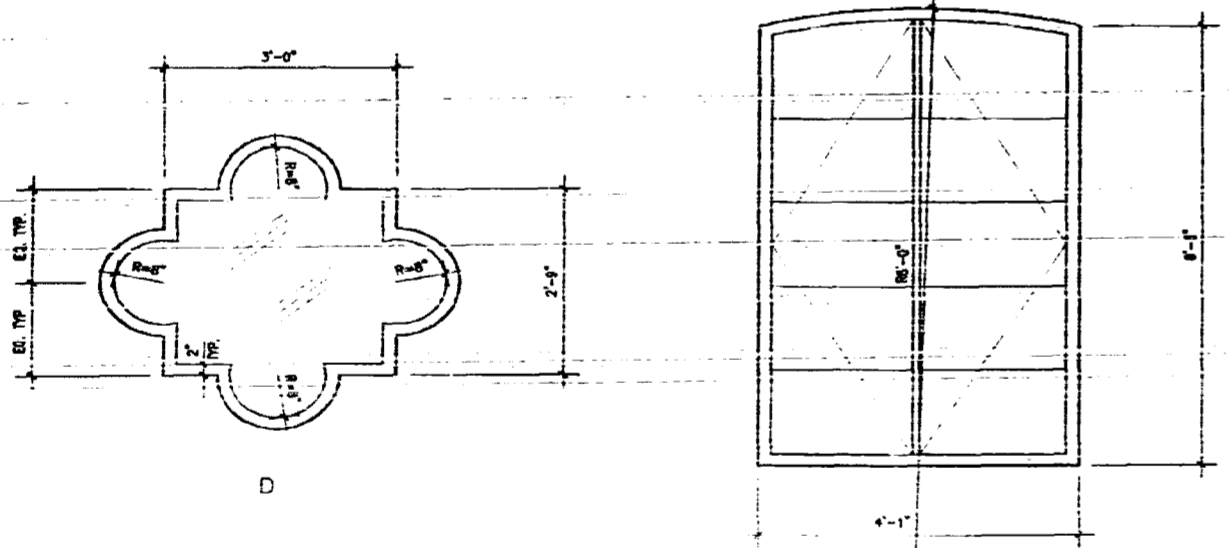
MARK	SIZE (WIDTH x HEIGHT)	NAME	TYPE	FRAME MATERIAL	FRAME FINISH	GLASSING	ILL.	TINT	REMARKS
(A)	4'-0" x 4'-0"	POED	CASSETTE	ALUM-CLAD ID.	EAF.	LAF. IMPACT	HARIABLE	GREY	BRONZE DADE CO. # 10-00000
(B)	4'-0" x 6'-0"	POED	CASSETTE	ALUM-CLAD ID.	EAF.	LAF. IMPACT	HARIABLE	GREY	BRONZE DADE CO. # 10-00000
(C)	7'-0" x 7'-0"	POED	PROJECT-OUT	ALUM-CLAD ID.	EAF.	LAF. IMPACT	HARIABLE	GREY	DADE CO. # 10-00000
(D)	CASSETTE	POED	FINED	ALUM-CLAD ID.	EAF.	LAF. IMPACT	HARIABLE	GREY	SEE WINDOW TYPE MA-6 DADE CO. # 10-00000
(E)	GLASSBLOCK	-	-	-	-	-	-	-	-
(F)	7'-0" x 7'-0"	POED	CASSETTE	ALUM-CLAD ID.	EAF.	LAF. IMPACT	WOOD	GREY	DADE CO. # 10-00000

- NOTES:**
1. ALL FRAMES SHALL BE SEALED WITH CONTINUOUS EXTERIOR CAULKING TO FRAMING BACKS & MASONRY OPENINGS.
 2. PROVIDE DADE COUNTY PRODUCT APPROVALS FOR ALL WINDOWS SCHEDULED.
 3. WINDOW FRAMES OF BRONZE SHALL COMPLY WITH NFPA 99-22-20 AND SHALL HAVE A CLEAR PNL OPENING OF NOT LESS THAN 8-1/2" HD. FT. OVER 24" x 24" AT THE BOTTOM OF THE WINDOW OPENING SHALL NOT BE MORE THAN 24" FROM THE FIN. FLOOR.
 4. ALL WINDOWS SPECIFIED SHALL BE FINISH BY POE FOR APPROVAL EQUALS.
 5. ALL WINDOWS SPECIFIED SHALL BE INSTALLED UNDER SEPARATE PERMIT.

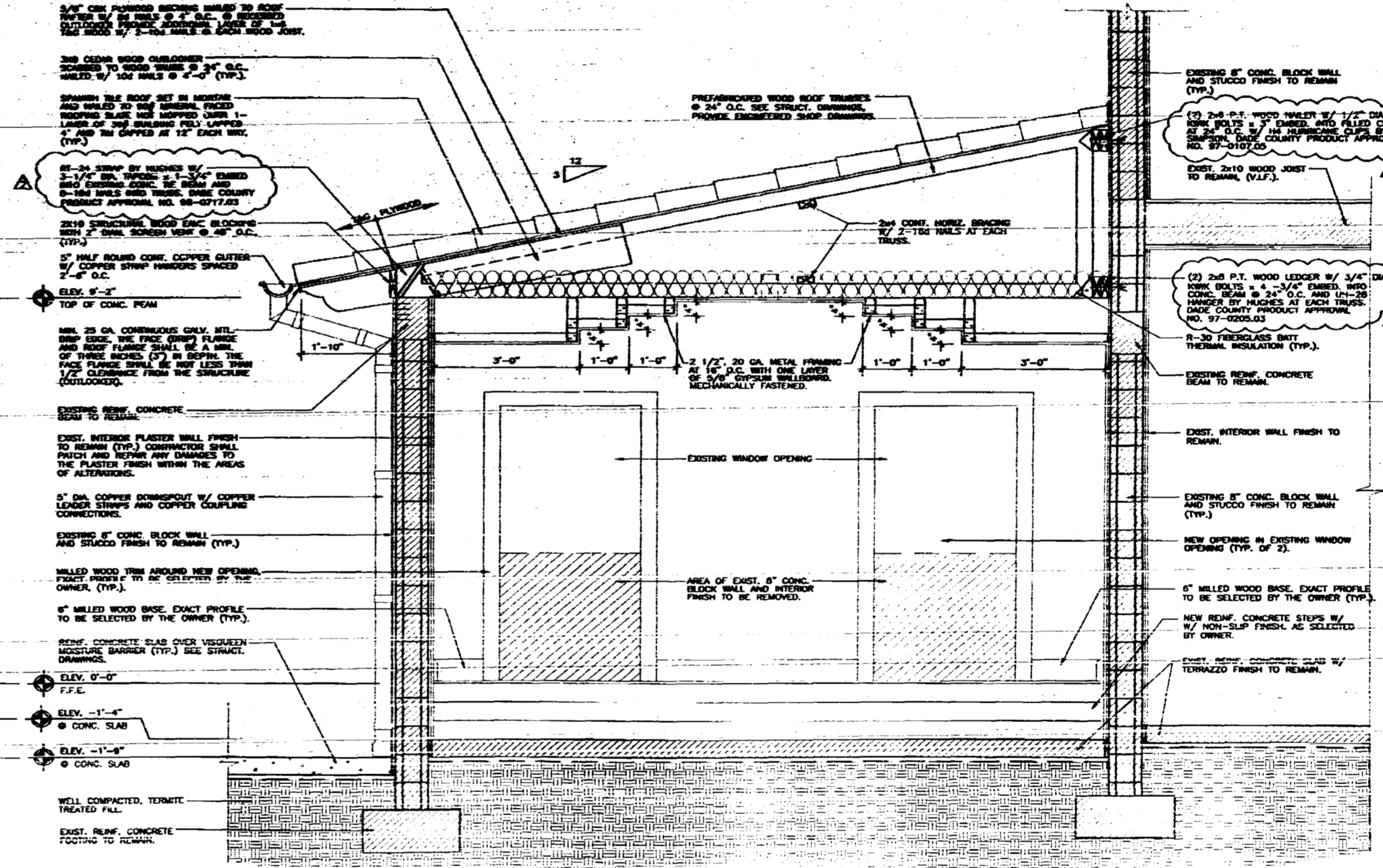
DOOR SCHEDULE

MARK	SIZE (WIDTH x HEIGHT)	TYPE	FRAME	DR. MATERIAL	THRESHOLD	HARDWARE	REMARKS
(1)	7'-0" x 6'-0" x 138"	FLUSH	WOOD	SOLID WOOD	-	PRIVACY	-
(2)	7'-0" x 6'-0" x 138"	FLUSH	WOOD	SOLID WOOD	-	PASSAGE	-
(3)	7'-0" x 6'-0" x 138"	FLUSH	WOOD	SOLID WOOD	-	PASSAGE	-
(4)	7'-0" x 6'-0" x 138"	FLUSH	WOOD	SOLID WOOD	-	PRIVACY	-
(5)	7'-0" x 6'-0" x 138"	FLUSH	WOOD	SOLID WOOD	-	PRIVACY	FRIBBLE THRESHOLD AT BATHROOM C&Y
(6)	7'-0" x 6'-0" x 138"	FLUSH	WOOD	SOLID WOOD	-	PRIVACY	-
(7)	6'-0" x 6'-0" x 138"	FRENCH	ALUM-CLAD ID.	ALUM-CLAD ID.	ALUM.	LOCKSET, DEADBOLT	IF DEPTH SET ON INACTIVE DOOR FINISH DADE CO. # 10-00000
(8)	6'-0" x 6'-0" x 138"	FRENCH	ALUM-CLAD ID.	ALUM-CLAD ID.	ALUM.	LOCKSET, DEADBOLT	IF DEPTH SET ON INACTIVE DOOR FINISH DADE CO. # 10-00000
(9)	6'-0" x 6'-0" x 138"	SHIELD-LITE	WOOD	SOLID WOOD	FRIBBLE	PRIVACY	SEE NOTE 10

- NOTES:**
1. ALL FRAMES SHALL BE SEALED WITH CONTINUOUS EXTERIOR CAULKING TO FRAMING BACKS & MASONRY OPENINGS.
 2. PROVIDE DADE COUNTY PRODUCT APPROVALS FOR ALL EXTERIOR DOORS.
 3. EXTERIOR DOOR COLOR SHALL BE SELECTED BY THE OWNER.
 4. ALL DOOR HARDWARE SHALL BE SELECTED BY THE OWNER (ALLOWANCE: 1000-DOOR).
 5. ALL SINGLE-LITE DOORS SPECIFIED SHALL RECEIVE LAMINATED IMPACT GLASS.
 6. ALL EXTERIOR DOORS SPECIFIED SHALL BE INSTALLED UNDER SEPARATE PERMIT.
1. ALL INTERIOR DOORS, FRAMES, AND CASINGS SHALL BE STAIN GRADE WOOD.



1 WINDOW ELEVATIONS
AS 3/4" = 1'-0"



1 SECTION
AS 3/4" = 1'-0"

Carl N. Elliott
ARCHITECT

Altercations & Additions for:
Laungya Development Inc.
3100 Pile Trae Drive
Miami Beach, Florida

REVISIONS:

BLDG. DEPT. COMM.	22 MAY 99
BLDG. DEPT. COMM.	22 MAY 99

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

DATE: 5/11/99
JOB NO. 99-0001
AS NOTED
2-DWG
BY: [Signature]

DATE: 5/11/99
JOB NO. 99-0001
AS NOTED
2-DWG
BY: [Signature]

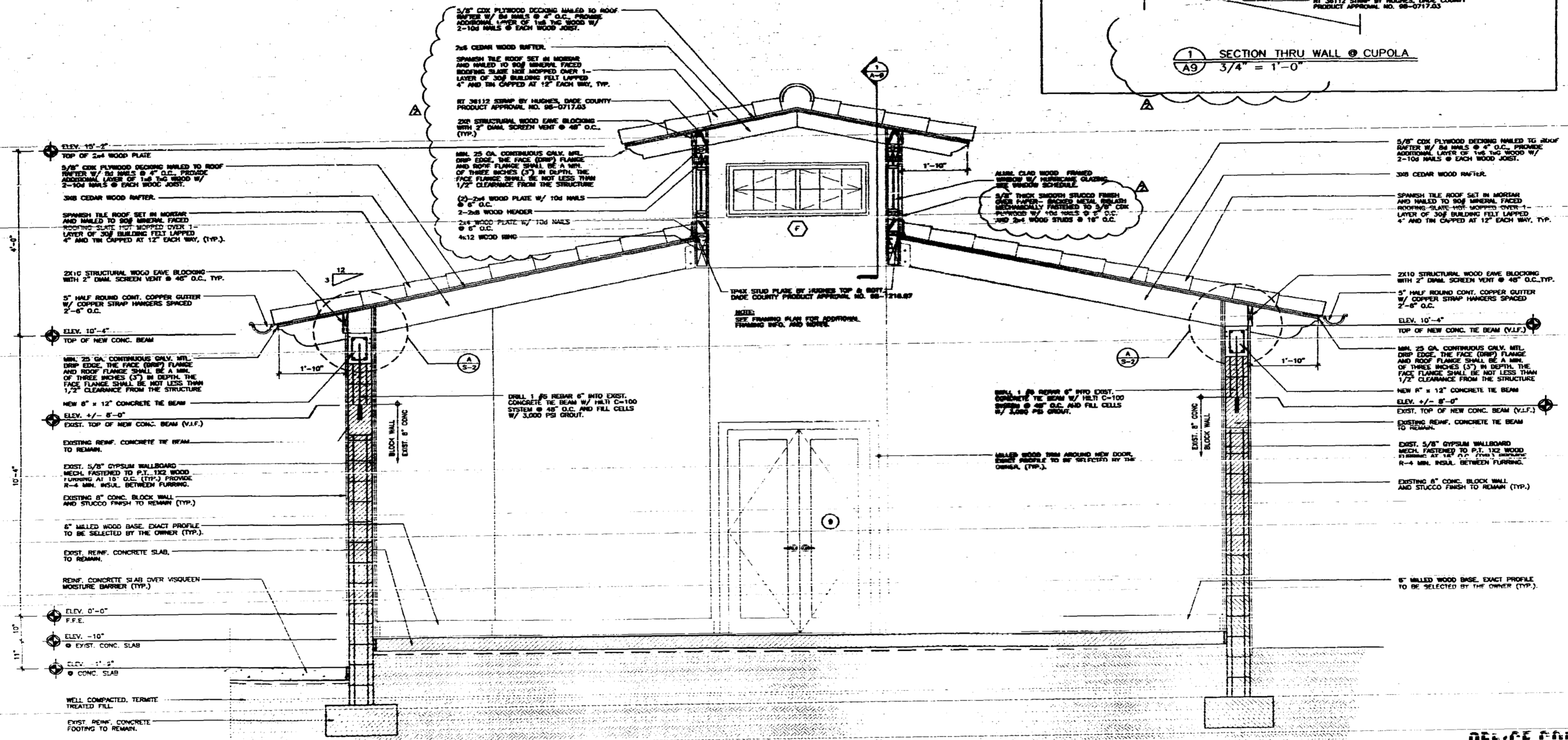
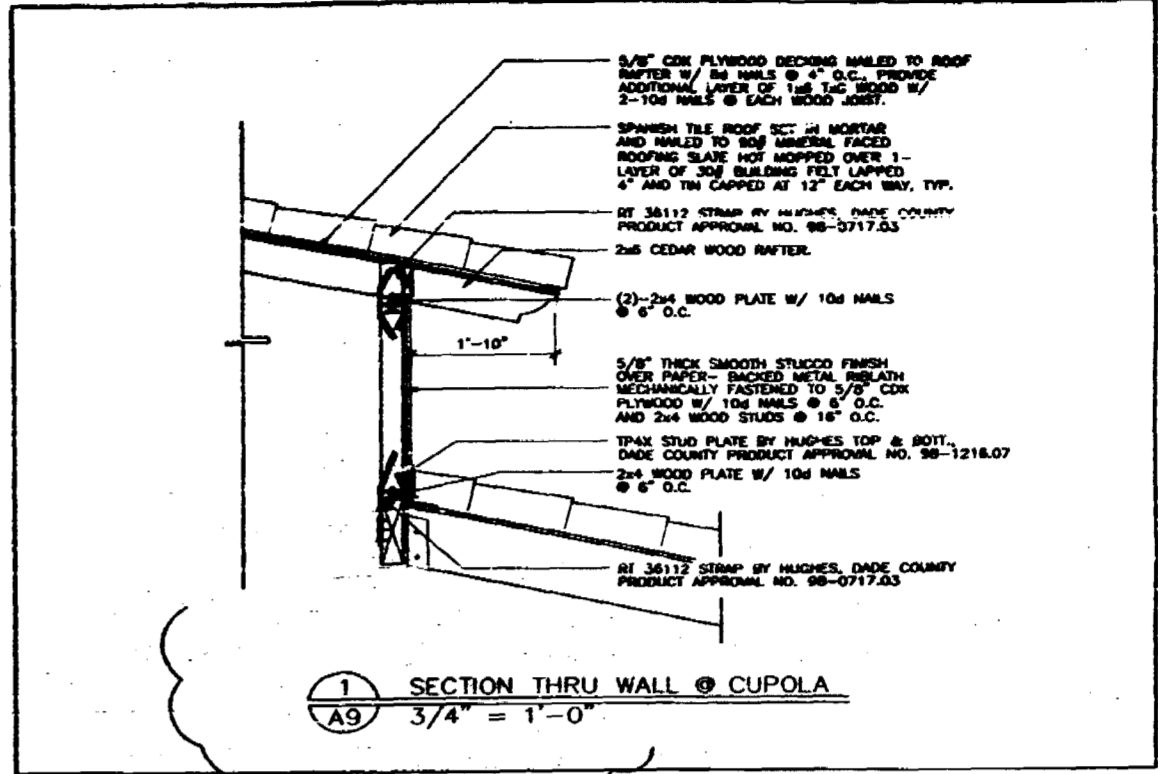
REVISIONS:

▲	BLDG. DEPT. COMM.	7/9 MAY 99
▲	BLDG. DEPT. COMM.	28 MAY 99

Handwritten signature

DATE	7/9 MAY 99
DESIGNED	A.R.
DRAWN	...
CHECKED	...
DATE	04-20-99
SCALE	AS NOTED
JOB NO.	9905
DATE	...

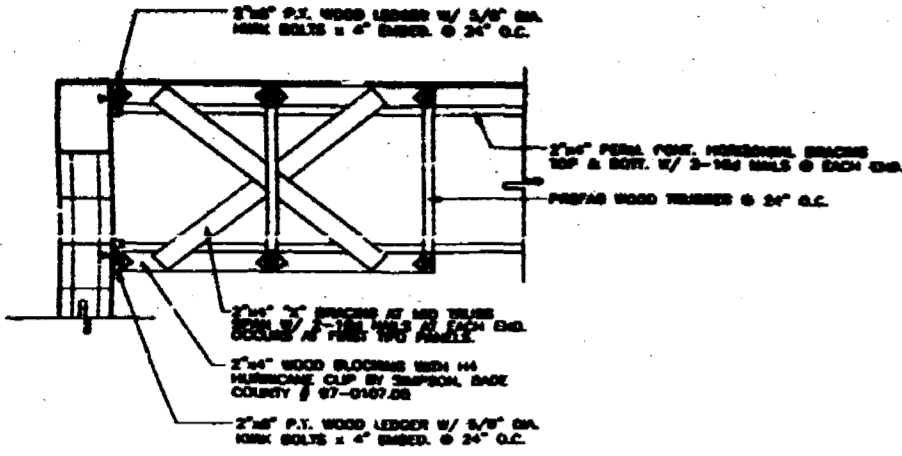
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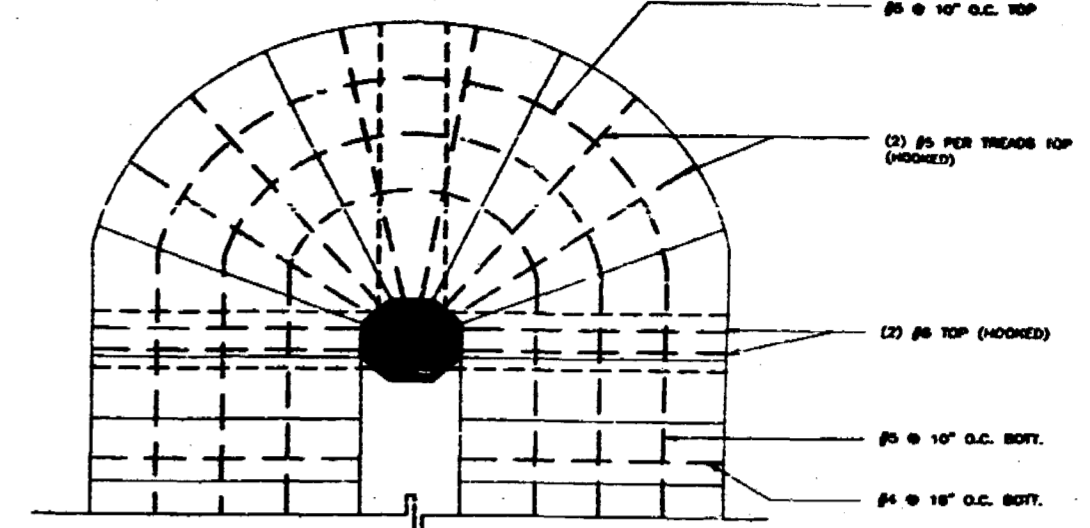
D SECTION
 A-9 3/4" = 1'-0"

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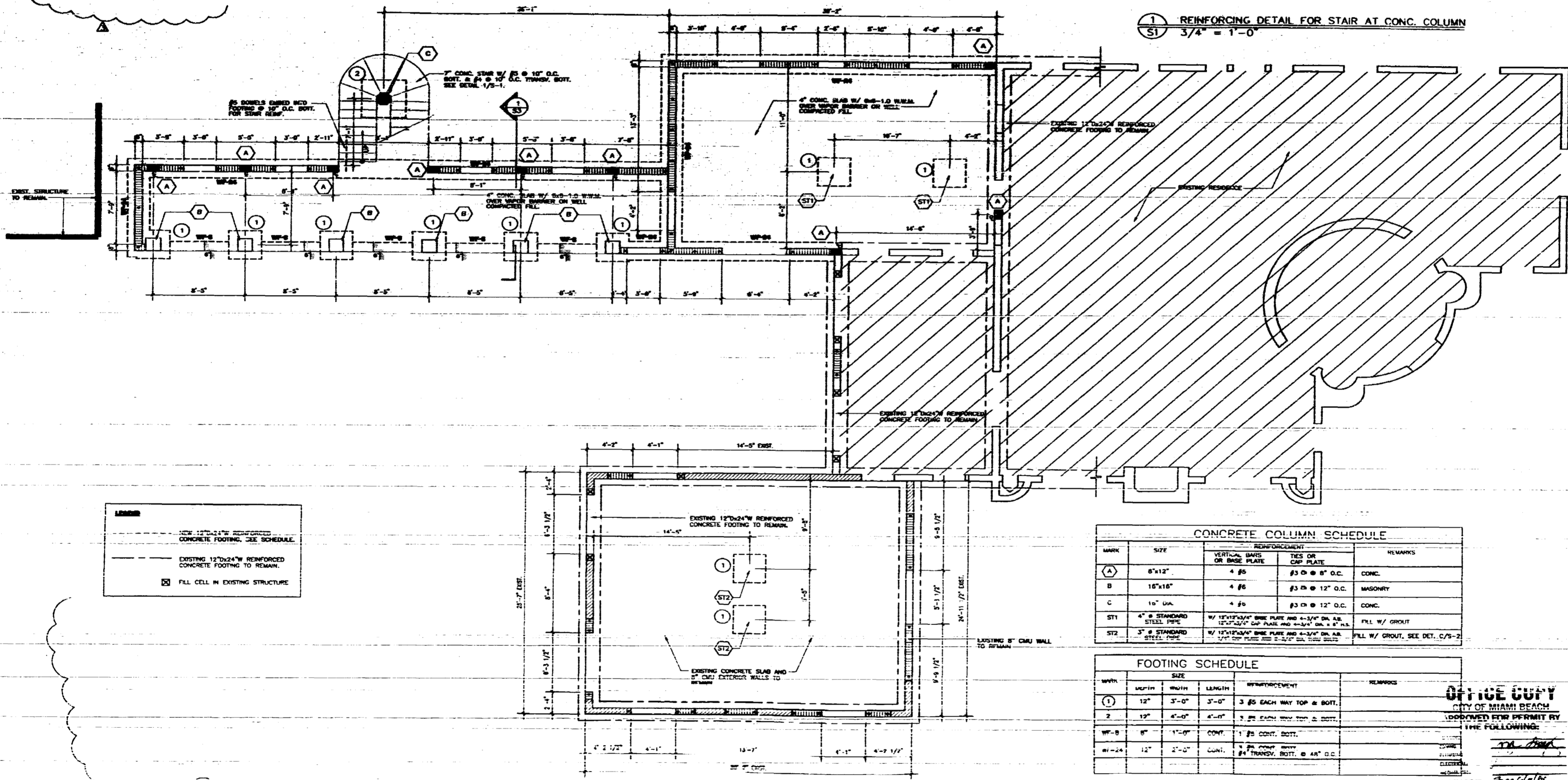
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 DESIGNED: [Signature]
 DRAWN: [Signature]
 CHECKED: [Signature]
 DATE: 5/11/99
 SCALE: AS NOTED
 JOB NO.: 9905
 DATE: [Blank]
 ACCURACY: [Blank]
 FUNCTION: [Blank]



2 "X" BRACING @ GABLE END DETAIL
SI 3/4" = 1'-0"



1 REINFORCING DETAIL FOR STAIR AT CONC. COLUMN
SI 3/4" = 1'-0"



LEGEND
 --- NEW 12\"/>

MARK	SIZE	REINFORCEMENT		REMARKS
		VERTICAL BARS OR BASE PLATE	TIES OR CAP PLATE	
A	6"x12"	4 #5	#3 @ 8" O.C.	CONC.
B	16"x10"	4 #6	#3 @ 12" O.C.	MASONRY
C	16" DIA.	4 #6	#3 @ 12" O.C.	CONC.
ST1	4" STANDARD STEEL PIPE	W/ 12"x12"x1/4" BIRK PLATE AND 4-3/4" DIA. ANCH. BOLTS. SEE DET. 1/5-1.		FILL W/ GROUT
ST2	3" STANDARD STEEL PIPE	W/ 12"x12"x1/4" BIRK PLATE AND 4-3/4" DIA. ANCH. BOLTS. SEE DET. 1/5-1.		FILL W/ GROUT. SEE DET. C/5-2

MARK	SIZE		LENGTH	REINFORCEMENT	REMARKS
	DEPTH	WIDTH			
1	12"	3'-0"	3'-0"	3 #5 EACH WAY TOP & BOT.	
2	12"	4'-0"	4'-0"	3 #5 EACH WAY TOP & BOT.	
WF-B	8"	11'-0"	CONT.	1 #5 CONT. BOT.	
WF-2A	12"	2'-0"	CONT.	1 #5 CONT. BOT.	

FOUNDATION / GROUND FLOOR FRAMING PLAN
1/4" = 1'-0"

Carl N. Elliott
ARCHITECT
 1215 S.W. 15th Ave.
 Miami, Florida 33135

Alterations & Additions for:
 Laungva Development Inc.
 3100 Pile Tree Drive
 Miami Beach, Florida

REVISIONS:
 1. BLDG. DEPT. COMM. 22 MAY 99
 2. BLDG. DEPT. COMM. 28 MAY 99
 3. BLDG. DEPT. COMM. 4 JUNE 99

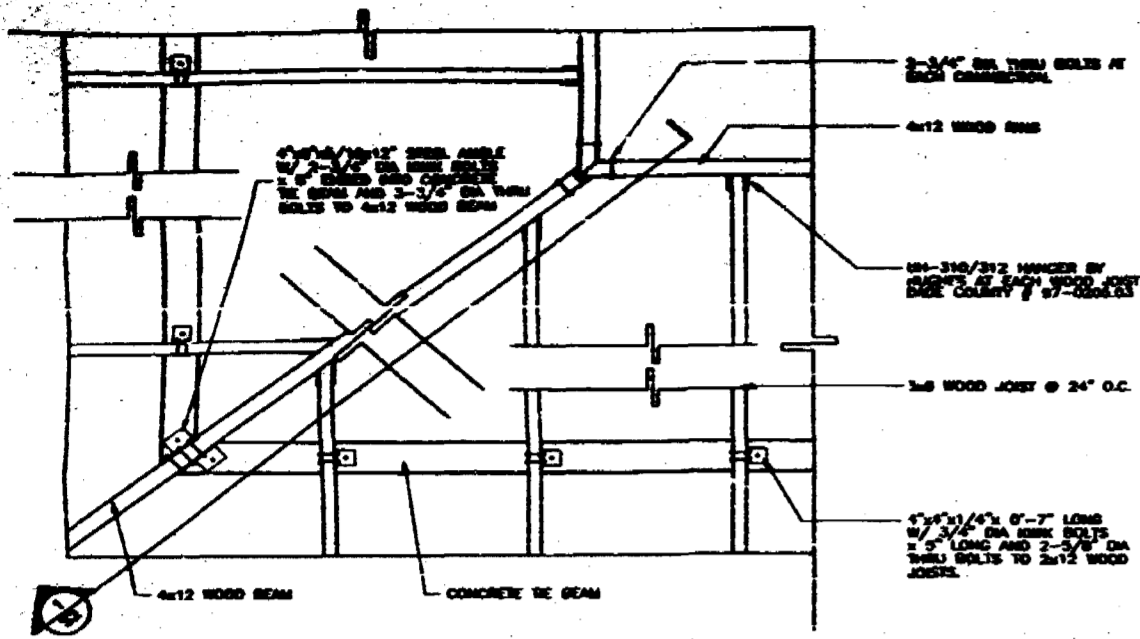
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DATE: 5-21-99
 AS NOTED
 9905
 PLOT

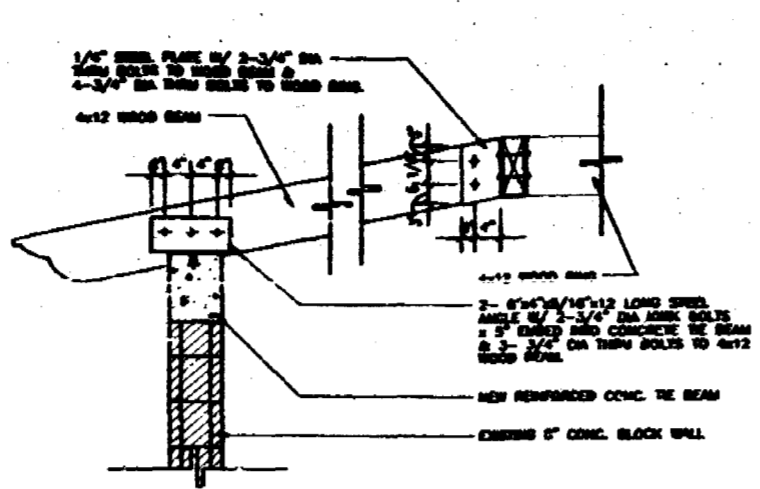
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3 SHEETS

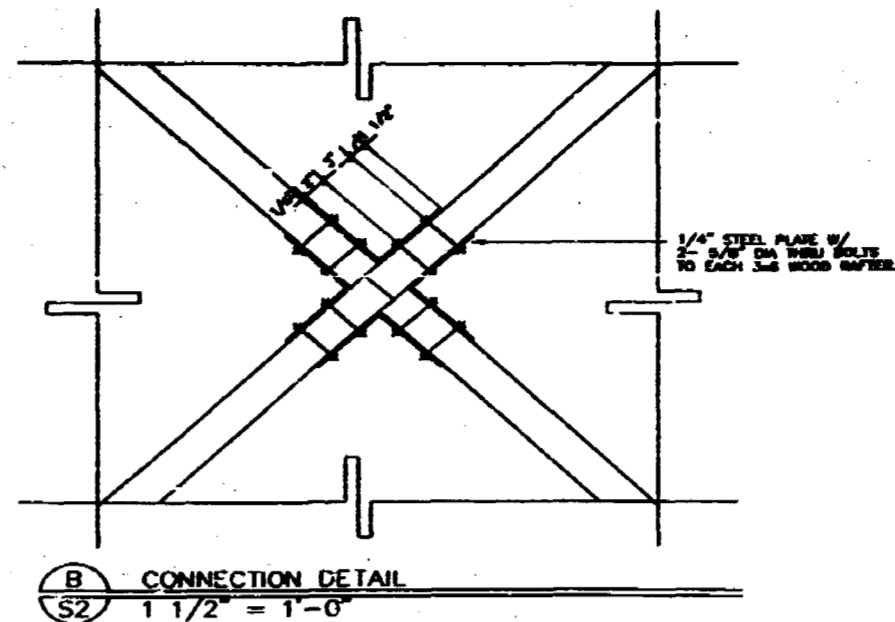
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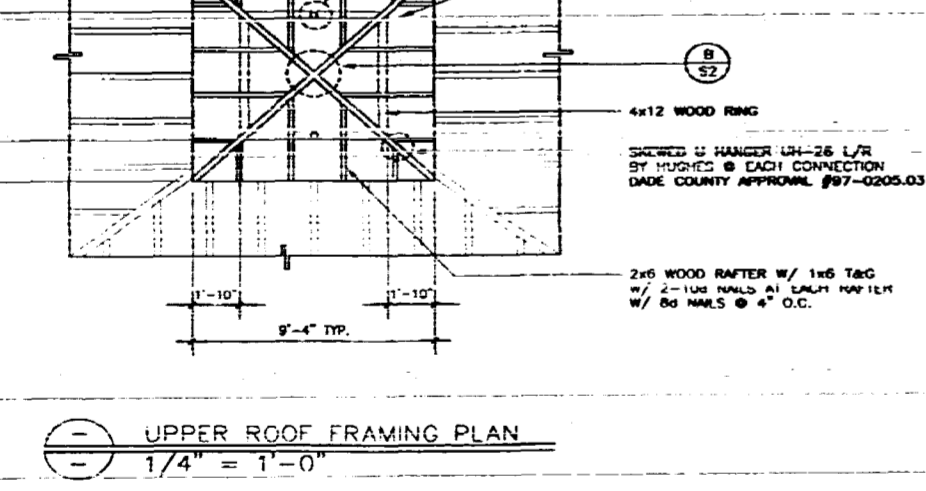
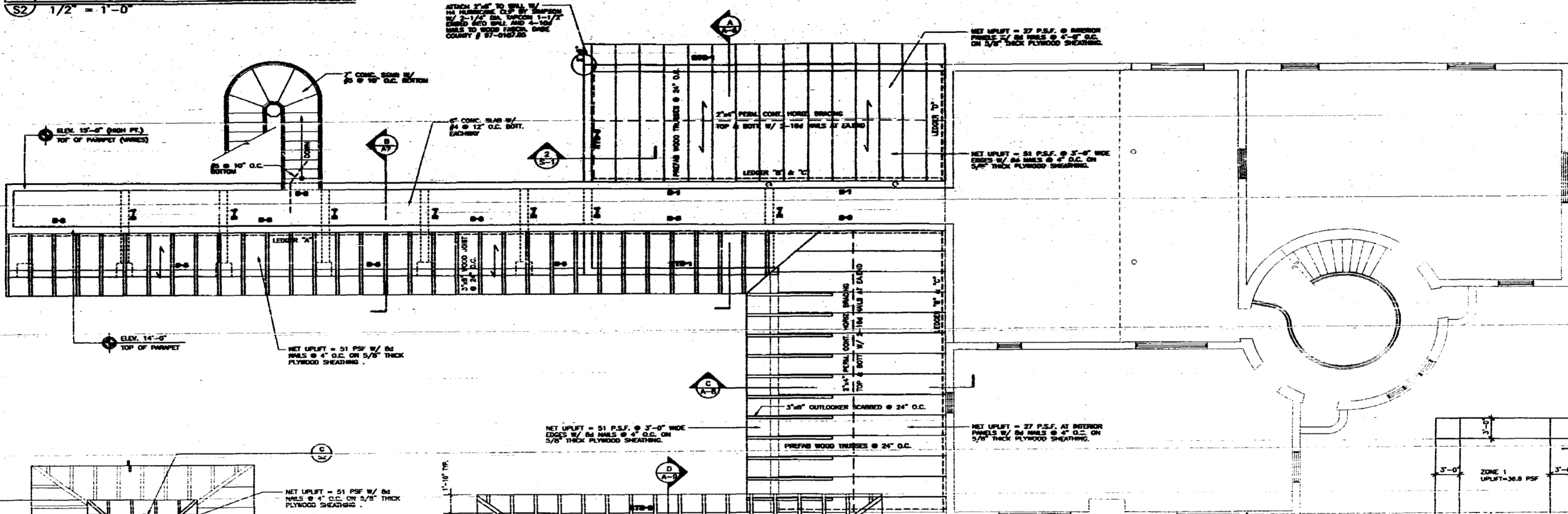
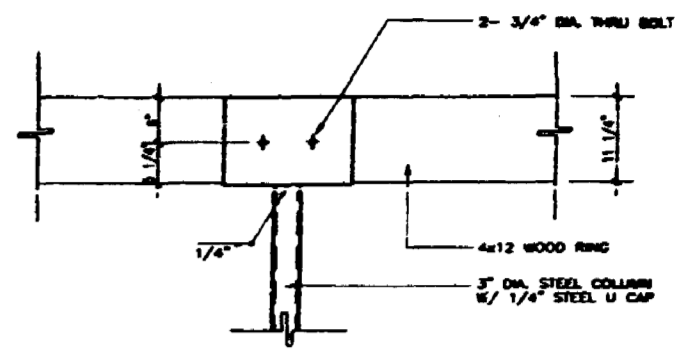
A FRAMING DETAIL
1/2" = 1'-0"



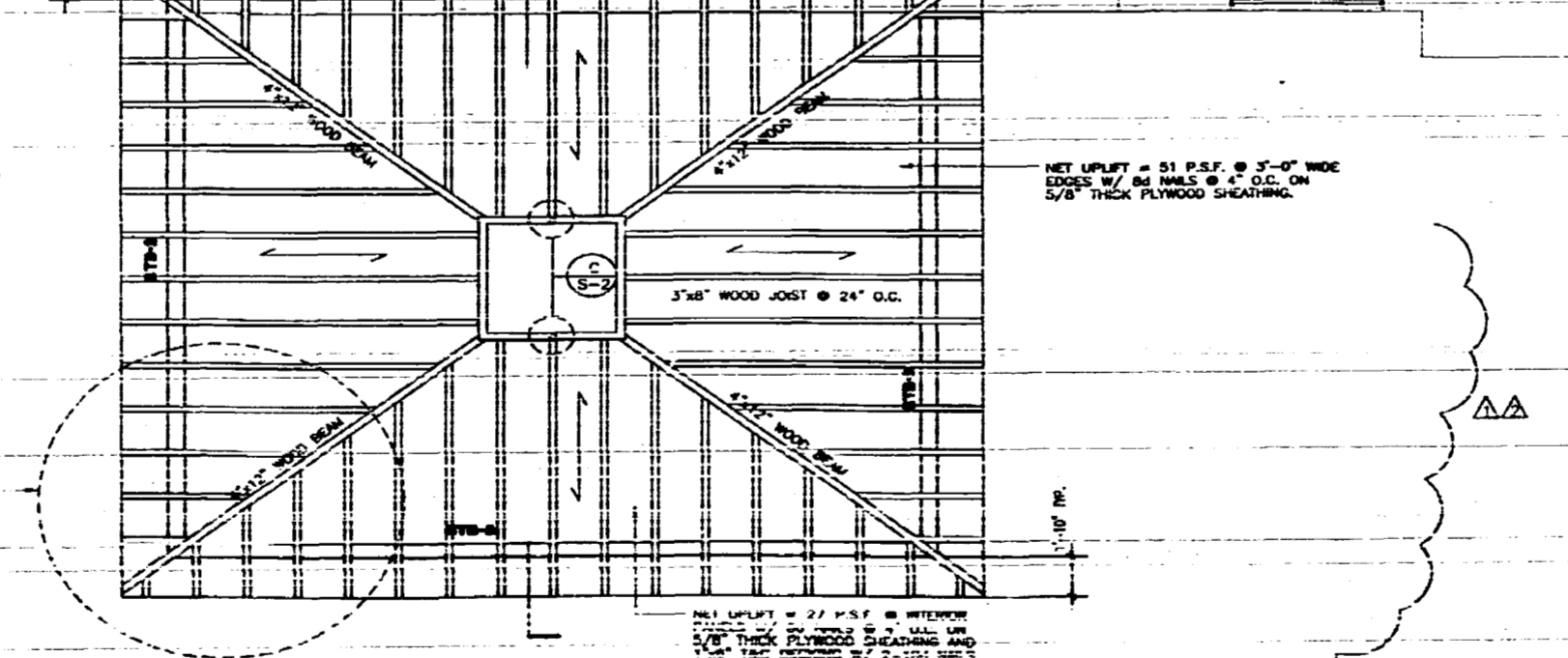
B 4x12 WOOD BEAM CONNECTION
3/4" = 1'-0"



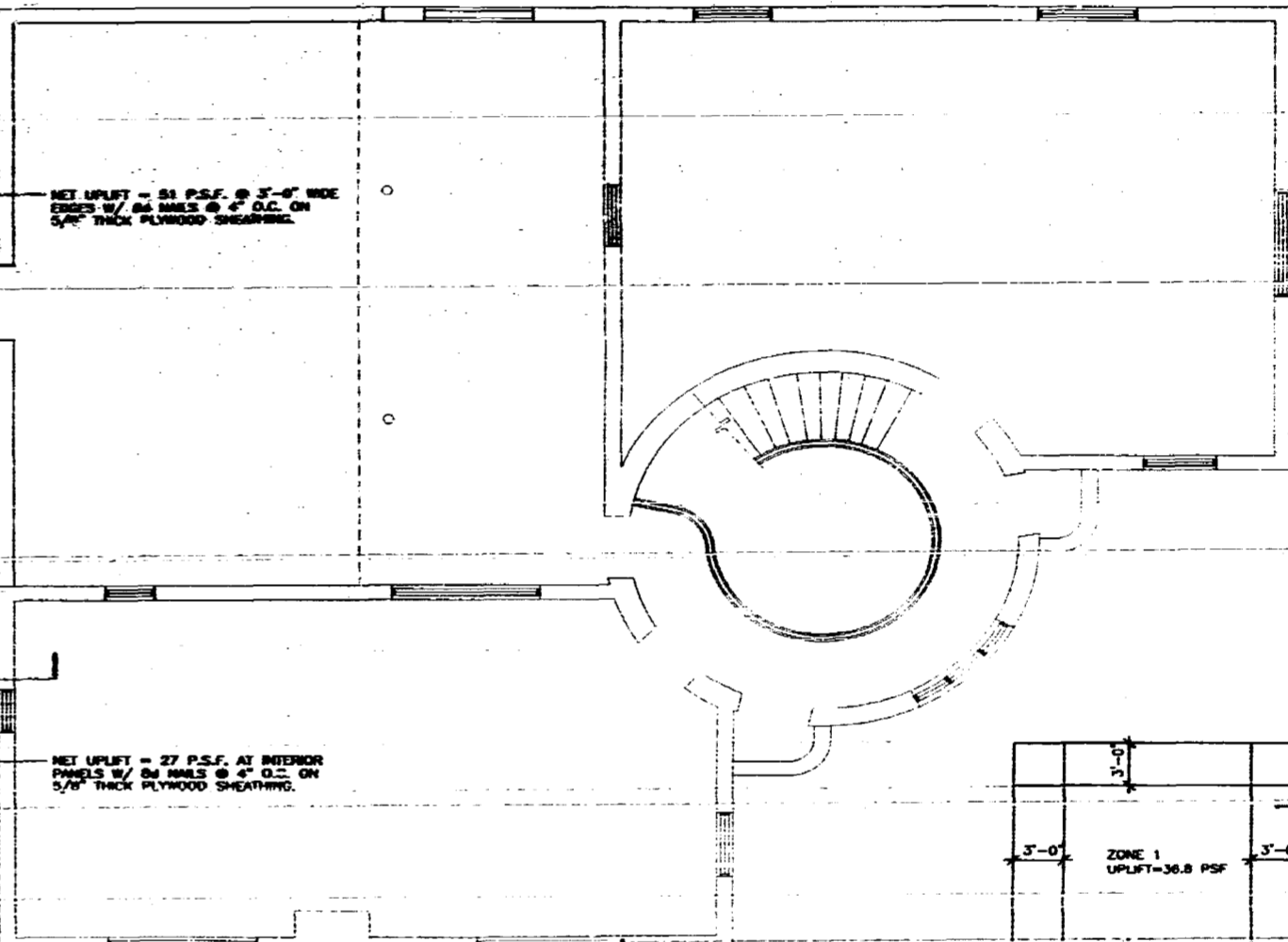
C STEEL COLUMN TO 4x12 WOOD RING CONNECTION
1" = 1'-0"



UPPER ROOF FRAMING PLAN
1/4" = 1'-0"



FRAMING PLAN
1/4" = 1'-0"



ROOF UPLIFT DIAGRAM
N.T.S.

CONCRETE BEAM SCHEDULE											
MARK	TOP ELEV.	SIZE	REINFORCING			TIES OR STRIPPUS			REMARKS		
			BOTT.	CONT.	TOP	C	E	I		NO.	TYP.
B-1	10'-0"	8"x16"	2 #7	2 #7					3	2x	@ 6-1/2"
B-2	10'-0"	8"x16"	2 #7	2 #7					3	2x	@ 6-1/2"
B-3	10'-0"	8"x16"	2 #7	2 #7					3	2x	@ 6-1/2"
B-4	9'-2"	8"x16"	2 #5	2 #5					3	2x	@ 6-1/2"
B-5	9'-2"	8"x16"	2 #5	2 #5					3	2x	@ 6-1/2"
RTB-1	9'-2"	8"x16"	2 #5	2 #5					3	2x	@ 6-1/2"
RTB-2	10'-2"	8"x16"	2 #5	2 #5					3	2x	@ 6-1/2"
RTB-3	9'-2"	8"x16"	2 #5	2 #5					3	2x	@ 6-1/2"

LEDGER TYPES

LEDGER "A": 2"x4" P.L. WOOD NAILER W/ 5/8" DIA. WOOD BOLTS
2"x4" ENDED INTO CONC. @ 24" O.C. AND 1/2" HANGER
BY HOOKS AT EACH WOOD TRUSS. DICK CO. # 97-0205.03

LEDGER "B": 2"x4" P.L. WOOD NAILER W/ 5/8" DIA. WOOD BOLTS
2"x4" ENDED INTO CONC. @ 24" O.C. AND 1/2" HANGER
BY HOOKS AT EACH WOOD TRUSS. DICK CO. # 97-0205.03

LEDGER "C": 2"x4" P.L. WOOD NAILER W/ 5/8" DIA. WOOD BOLTS
2"x4" ENDED INTO CONC. @ 24" O.C. AND 1/2" HANGER
BY HOOKS AT EACH WOOD TRUSS. DICK CO. # 97-0205.03

LEDGER "D": 2"x4" P.L. WOOD NAILER W/ 5/8" DIA. WOOD BOLTS
2"x4" ENDED INTO CONC. @ 24" O.C. AND 1/2" HANGER
BY HOOKS AT EACH WOOD TRUSS. DICK CO. # 97-0205.03

LEDGER "E": 2"x4" P.L. WOOD NAILER W/ 5/8" DIA. WOOD BOLTS
2"x4" ENDED INTO CONC. @ 24" O.C. AND 1/2" HANGER
BY HOOKS AT EACH WOOD TRUSS. DICK CO. # 97-0205.03

Cori N. Elliott
ARCHITECT
ELECT

Alterations & Additions for:
Lauingwa Development Inc.
3100 Pine Tree Drive
Miami Beach, Florida

REVISIONS:

BLDG. DEPT. COMM. 22 MAY 99

BLDG. DEPT. COMM. 28 MAY 99

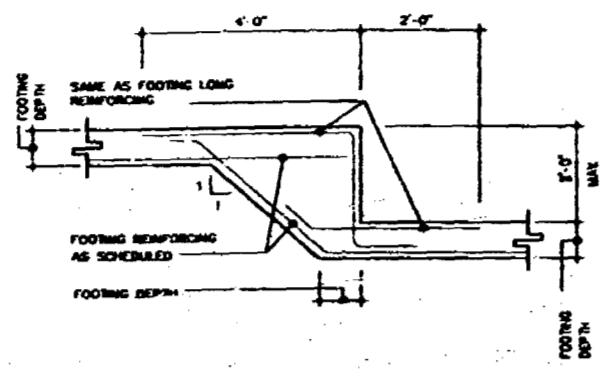
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APPROVED FOR PERMIT BY
THE FOLLOWING:

DATE: 5-21-99

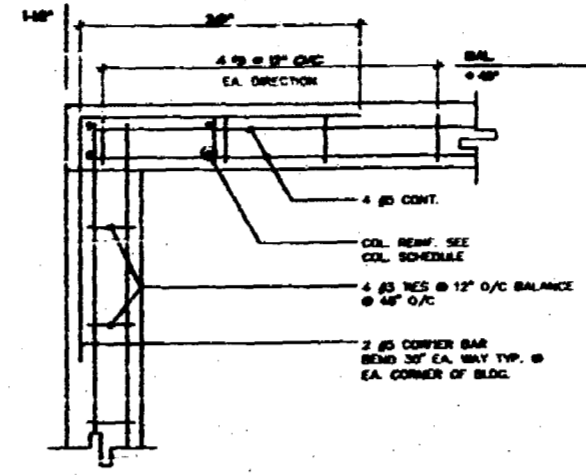
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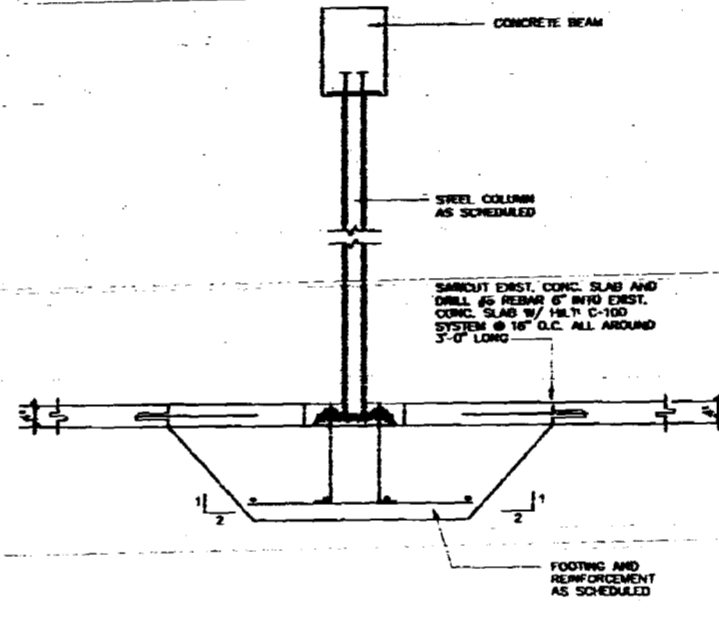
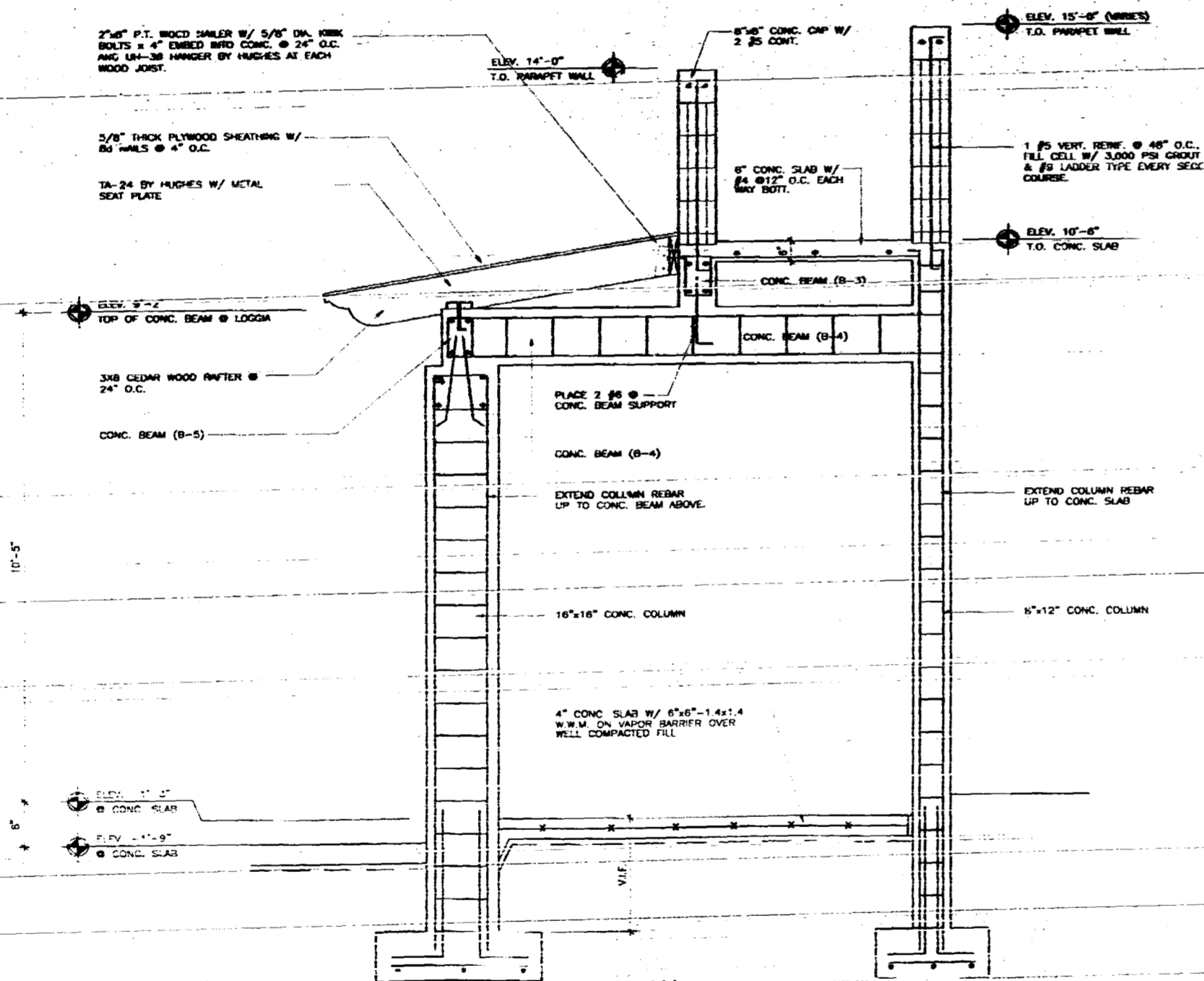
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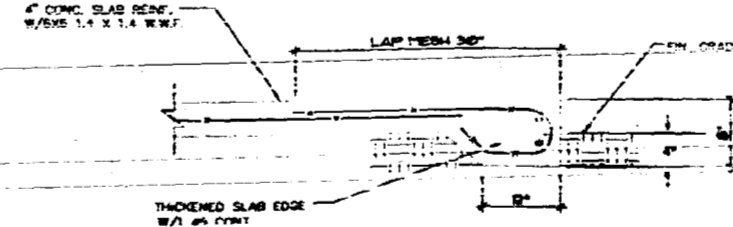
A STEPPED FOOTING DETAIL
N.T.S.



2 TYP. TIE BEAM CORNER DETAIL
N.T.S.



3 TYP. STEEL COL. TO CONC. BEAM CONN. D.L.L.
N.T.S.



4 TYP. SLAB EDGE
N.T.S.

GENERAL STRUCTURAL NOTES:

1. ALL CHAIRS & BEARING SURFACES TO BE CLEAR AND UNGRADED. ALL BARS TO BE IN PLACE BEFORE POURING CONCRETE.
2. CONCRETE: ALL CONCRETE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ACI CODE AND THE FLORIDA BUILDING CODE. ALL CONCRETE SHALL BE SUPPLIED BY A QUALIFIED CONCRETE SUPPLIER AND SHALL BE DELIVERED TO THE JOB SITE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE. ALL CONCRETE SHALL BE CURVED AND PROTECTED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE.
3. CONCRETE COVER: TO BE AS FOLLOWS:
FOOTING: 4" (TOP), 2" (BOTTOM)
COLLUMS: 2" (ALL SIDES)
SLABS: 1 1/2" (ALL SIDES)
REINFORCING STEEL: 2" (TOP), 1 1/2" (BOTTOM)
4. REINFORCING STEEL: TO BE HIGH STRENGTH BILLET STEEL UNLESS OTHERWISE SPECIFIED. ALL STEEL SHALL BE SUPPLIED BY A QUALIFIED STEEL SUPPLIER AND SHALL BE DELIVERED TO THE JOB SITE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE. ALL STEEL SHALL BE CURVED AND PROTECTED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE.
5. MASONRY WALLS: TO BE REINFORCED WITH 1/4" BARS VERTICAL IN GROUDED CELLS SPACED @ 48" O.C. LAP @ BARS @ 48". ALL MASONRY SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ACI CODE AND THE FLORIDA BUILDING CODE.
6. STRUCTURAL STEEL: TO BE SUPPLIED BY A QUALIFIED STEEL SUPPLIER AND SHALL BE DELIVERED TO THE JOB SITE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE. ALL STEEL SHALL BE CURVED AND PROTECTED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE.
7. DESIGN LOADS: TO BE AS FOLLOWS:
TOP FLOOR: 1.48 PSF
BOTTOM FLOOR: 1.02 PSF
ROOF: 20 PSF
WIND: AS PER FLORIDA BUILDING CODE
SEISMIC: AS PER FLORIDA BUILDING CODE
8. TOLERANCES: TO BE AS FOLLOWS:
ELEVATION: ±1/8"
DIMENSION: ±1/8"
9. NOTES: ALL WORK SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE AND THE ACI CODE. ALL WORK SHALL BE CURVED AND PROTECTED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE.

Carl N. Elliott
ARCHITECT
201 N.W. 4th St., Suite 1100
Miami, Florida 33136
Tel: (305) 375-1100

Alterations & Additions for:
Laungwa Development Inc.
3100 Pine Tree Drive
Miami Beach, Florida

REVISIONS:

1	BLDG. DEPT. COMM.	23 MAY 98
2	BLDG. DEPT. COMM.	28 MAY 98

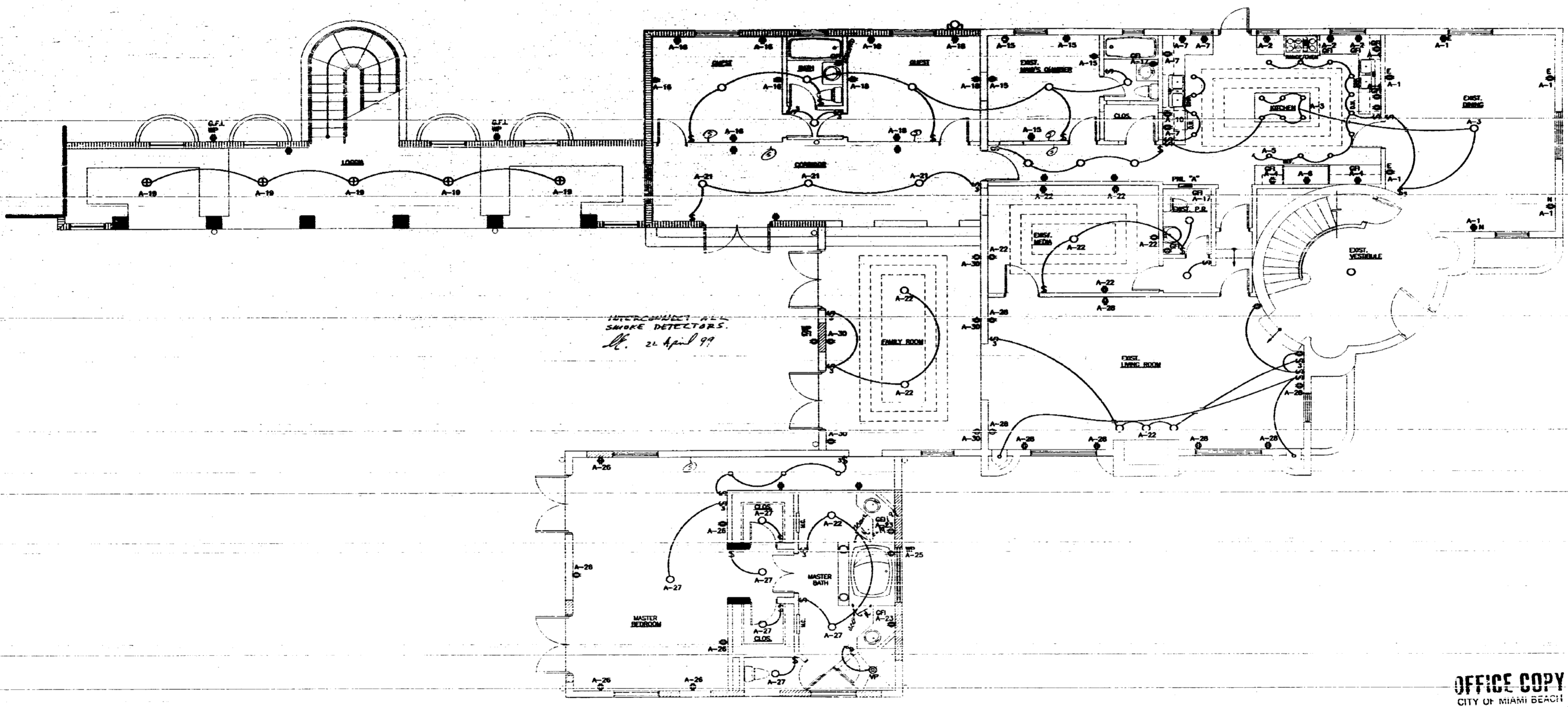
OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

ENGINEER	<i>[Signature]</i>	DATE	12/1/97
ARCHITECT	<i>[Signature]</i>	DATE	12/1/97
PLUMBING		DATE	
ELECTRICAL		DATE	
MECHANICAL		DATE	
OTHER		DATE	

09/11/97
S-3

REVISED

Carl N. Elliott
ARCHITECT
ELECTRICAL



INTERCONNECT ALL
SMOKE DETECTORS.
M. 22 April 99

1 GROUND LEVEL ELECTRICAL FLOOR PLAN
1/4" = 1'-0"

Alterations & Additions for:
Laungwa Development Inc.
3100 Pine Tree Drive
Miami Beach, Florida

REVISIONS:

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

DATE	
REVISION	
BY	
CHECKED	
APPROVED	
DATE	
BY	
DATE	
BY	

Carl N. Elliott

DRAWN	D.N.
CHECKED	A.R.
DATE	04-20-99
SCALE	AS NOTED
PROJECT	3100 PINE TREE DR.
DATE	04-20-99
BY	D.N.

E-1

500000

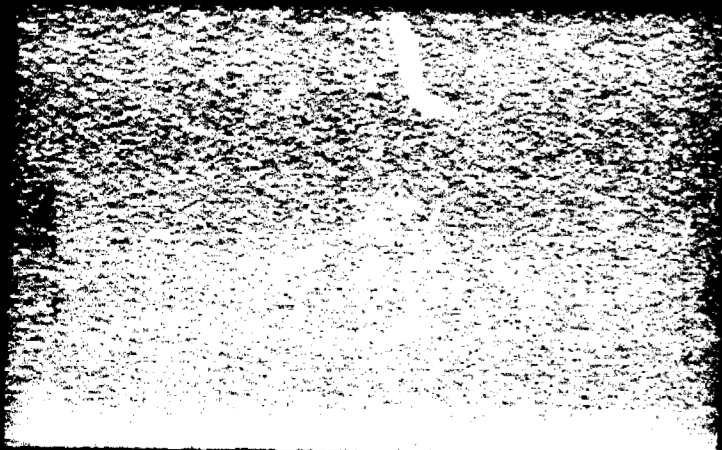
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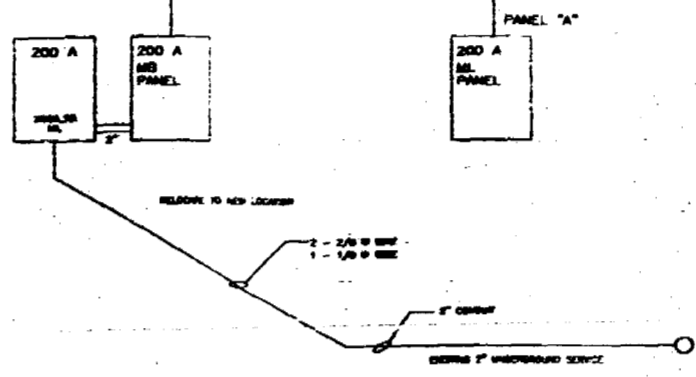
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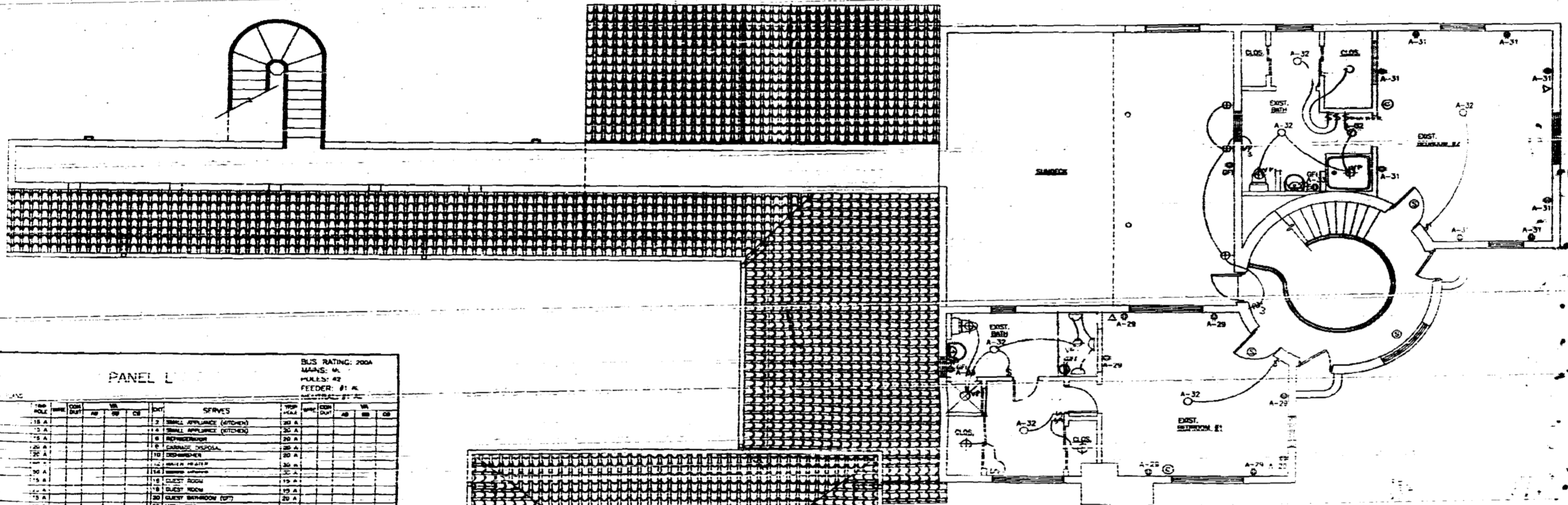
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Notes:

1. CONTRACTOR SHALL REMOVE ALL EXISTING PANELS TO BE REPLACED BY NEW PANELS AND SHALL BE THE EXISTING ELECTRICAL PANEL.
2. CONTRACTOR TO REMOVE ALL EXISTING LIGHTS, SWITCHES, APPROVED SWITCHES, CONDUITS AND WIRING. INSTALL NEW LIGHTING FIXTURES.
3. CONTRACTOR TO REMOVE ALL EXISTING 100 AMPERED A/C SERVICE AND EXISTING PANEL. INSTALL NEW PANEL. CONSULT WITH ENGINEER.



ELECTRICAL SYMBOLS
S.Y.S.



TYPICAL STANDS OVER		BUS RATING: 200A	
SERVICES		MANSION, FL.	
LOCATION: 3000 W. 15th St.		FEDERAL ST. A.	
1. LIVING ROOM LIGHTS	15 A	1. HALL LIGHTS (EXISTING)	15 A
2. KITCHEN LIGHTS (EXISTING)	15 A	2. HALL LIGHTS (EXISTING)	15 A
3. KITCHEN LIGHTS (NEW)	15 A	3. HALL LIGHTS (EXISTING)	15 A
4. HALL LIGHTS (NEW)	15 A	4. HALL LIGHTS (EXISTING)	15 A
5. HALL LIGHTS (NEW)	15 A	5. HALL LIGHTS (EXISTING)	15 A
6. HALL LIGHTS (NEW)	15 A	6. HALL LIGHTS (EXISTING)	15 A
7. HALL LIGHTS (NEW)	15 A	7. HALL LIGHTS (EXISTING)	15 A
8. HALL LIGHTS (NEW)	15 A	8. HALL LIGHTS (EXISTING)	15 A
9. HALL LIGHTS (NEW)	15 A	9. HALL LIGHTS (EXISTING)	15 A
10. HALL LIGHTS (NEW)	15 A	10. HALL LIGHTS (EXISTING)	15 A
11. HALL LIGHTS (NEW)	15 A	11. HALL LIGHTS (EXISTING)	15 A
12. HALL LIGHTS (NEW)	15 A	12. HALL LIGHTS (EXISTING)	15 A
13. HALL LIGHTS (NEW)	15 A	13. HALL LIGHTS (EXISTING)	15 A
14. HALL LIGHTS (NEW)	15 A	14. HALL LIGHTS (EXISTING)	15 A
15. HALL LIGHTS (NEW)	15 A	15. HALL LIGHTS (EXISTING)	15 A
16. HALL LIGHTS (NEW)	15 A	16. HALL LIGHTS (EXISTING)	15 A
17. HALL LIGHTS (NEW)	15 A	17. HALL LIGHTS (EXISTING)	15 A
18. HALL LIGHTS (NEW)	15 A	18. HALL LIGHTS (EXISTING)	15 A
19. HALL LIGHTS (NEW)	15 A	19. HALL LIGHTS (EXISTING)	15 A
20. HALL LIGHTS (NEW)	15 A	20. HALL LIGHTS (EXISTING)	15 A
21. HALL LIGHTS (NEW)	15 A	21. HALL LIGHTS (EXISTING)	15 A
22. HALL LIGHTS (NEW)	15 A	22. HALL LIGHTS (EXISTING)	15 A
23. HALL LIGHTS (NEW)	15 A	23. HALL LIGHTS (EXISTING)	15 A
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25. HALL LIGHTS (NEW)	15 A	25. HALL LIGHTS (EXISTING)	15 A
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27. HALL LIGHTS (NEW)	15 A	27. HALL LIGHTS (EXISTING)	15 A
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40. HALL LIGHTS (NEW)	15 A	40. HALL LIGHTS (EXISTING)	15 A
41. HALL LIGHTS (NEW)	15 A	41. HALL LIGHTS (EXISTING)	15 A
42. HALL LIGHTS (NEW)	15 A	42. HALL LIGHTS (EXISTING)	15 A
43. HALL LIGHTS (NEW)	15 A	43. HALL LIGHTS (EXISTING)	15 A
44. HALL LIGHTS (NEW)	15 A	44. HALL LIGHTS (EXISTING)	15 A
45. HALL LIGHTS (NEW)	15 A	45. HALL LIGHTS (EXISTING)	15 A
46. HALL LIGHTS (NEW)	15 A	46. HALL LIGHTS (EXISTING)	15 A
47. HALL LIGHTS (NEW)	15 A	47. HALL LIGHTS (EXISTING)	15 A
48. HALL LIGHTS (NEW)	15 A	48. HALL LIGHTS (EXISTING)	15 A
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53. HALL LIGHTS (NEW)	15 A	53. HALL LIGHTS (EXISTING)	15 A
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63. HALL LIGHTS (NEW)	15 A	63. HALL LIGHTS (EXISTING)	15 A
64. HALL LIGHTS (NEW)	15 A	64. HALL LIGHTS (EXISTING)	15 A
65. HALL LIGHTS (NEW)	15 A	65. HALL LIGHTS (EXISTING)	15 A
66. HALL LIGHTS (NEW)	15 A	66. HALL LIGHTS (EXISTING)	15 A
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69. HALL LIGHTS (NEW)	15 A	69. HALL LIGHTS (EXISTING)	15 A
70. HALL LIGHTS (NEW)	15 A	70. HALL LIGHTS (EXISTING)	15 A
71. HALL LIGHTS (NEW)	15 A	71. HALL LIGHTS (EXISTING)	15 A
72. HALL LIGHTS (NEW)	15 A	72. HALL LIGHTS (EXISTING)	15 A
73. HALL LIGHTS (NEW)	15 A	73. HALL LIGHTS (EXISTING)	15 A
74. HALL LIGHTS (NEW)	15 A	74. HALL LIGHTS (EXISTING)	15 A
75. HALL LIGHTS (NEW)	15 A	75. HALL LIGHTS (EXISTING)	15 A
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77. HALL LIGHTS (NEW)	15 A	77. HALL LIGHTS (EXISTING)	15 A
78. HALL LIGHTS (NEW)	15 A	78. HALL LIGHTS (EXISTING)	15 A
79. HALL LIGHTS (NEW)	15 A	79. HALL LIGHTS (EXISTING)	15 A
80. HALL LIGHTS (NEW)	15 A	80. HALL LIGHTS (EXISTING)	15 A
81. HALL LIGHTS (NEW)	15 A	81. HALL LIGHTS (EXISTING)	15 A
82. HALL LIGHTS (NEW)	15 A	82. HALL LIGHTS (EXISTING)	15 A
83. HALL LIGHTS (NEW)	15 A	83. HALL LIGHTS (EXISTING)	15 A
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88. HALL LIGHTS (NEW)	15 A	88. HALL LIGHTS (EXISTING)	15 A
89. HALL LIGHTS (NEW)	15 A	89. HALL LIGHTS (EXISTING)	15 A
90. HALL LIGHTS (NEW)	15 A	90. HALL LIGHTS (EXISTING)	15 A
91. HALL LIGHTS (NEW)	15 A	91. HALL LIGHTS (EXISTING)	15 A
92. HALL LIGHTS (NEW)	15 A	92. HALL LIGHTS (EXISTING)	15 A
93. HALL LIGHTS (NEW)	15 A	93. HALL LIGHTS (EXISTING)	15 A
94. HALL LIGHTS (NEW)	15 A	94. HALL LIGHTS (EXISTING)	15 A
95. HALL LIGHTS (NEW)	15 A	95. HALL LIGHTS (EXISTING)	15 A
96. HALL LIGHTS (NEW)	15 A	96. HALL LIGHTS (EXISTING)	15 A
97. HALL LIGHTS (NEW)	15 A	97. HALL LIGHTS (EXISTING)	15 A
98. HALL LIGHTS (NEW)	15 A	98. HALL LIGHTS (EXISTING)	15 A
99. HALL LIGHTS (NEW)	15 A	99. HALL LIGHTS (EXISTING)	15 A
100. HALL LIGHTS (NEW)	15 A	100. HALL LIGHTS (EXISTING)	15 A

GROUND LEVEL ELECTRICAL FLOOR PLAN
1/4" = 1'-0"

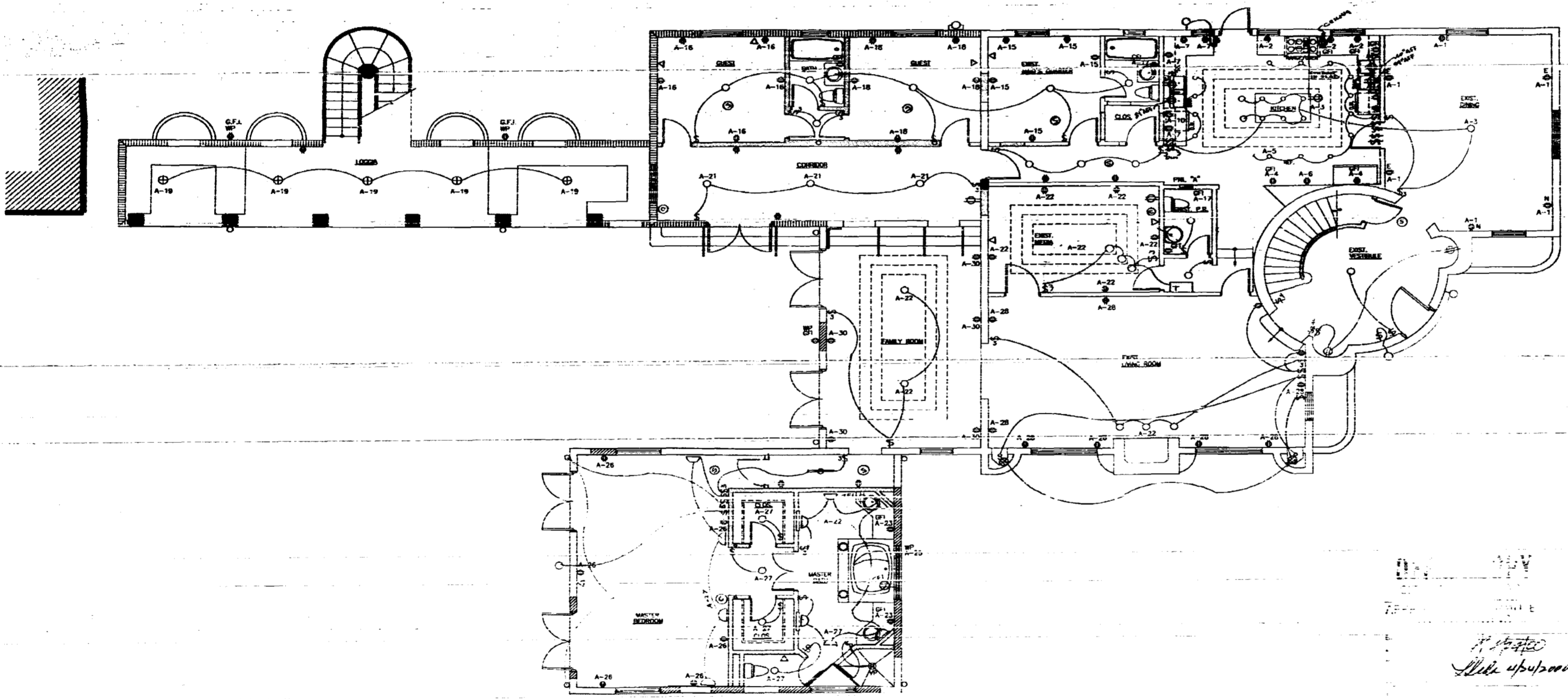
Carl N. Elliott
ARCHITECT
ELECTRICAL

Alterations & Additions for:
Raungwa Development Inc.
3150 Pine Lake Drive
Miami Beach, Florida

REVISIONS:

E-2

00-0000



GROUND LEVEL ELECTRICAL FLOOR PLAN
 1/4" = 1' = 0"

DATE: 11/15/00
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 ELEVATOR: [Symbol]

Carl A. Erickson
ARCHITECT
 REGISTERED

Alterations & Additions for:
 Langwa Development Inc.
 3100 Pine Tree Drive
 Miami Beach, Florida

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	11/15/00
2	ISSUED FOR CONSTRUCTION	11/15/00

90-0000



HALLANDALE (954) 454-4114
 Dade (305) 757-8591
 Broward (954) 425-3466
 Palm Beach (561) 258-5277
 Fax: (954) 454-1577

550 AVONH BOULEVARD • HALLANDALE, FLORIDA 33009
 Shutter Product Approval Authorization Form

MIAMI BEACH
 BUILDING OFFICE
 1000 NORTHGATE AVE #201
 MIAMI BEACH, FL 33140

Dear City Official,

- We are the Dade County Notice of Acceptance Provider for the following products:
- Aluminum Accordion Type Shutters under # 97-0221 03 and 96-0421 01
 - Extruded Aluminum Roll Shutters under # 95-0223 01, 95-0223 1, 97-0826 05 and 99-0208 05
 - Extruded Aluminum Storm Panels under # 97-0221 02
 - 0.050" Aluminum Storm Panels under # 95-0110 02, 97-0219 11 and 98-0402 10
 - 18 ga. Galvanized Steel Storm Panels under # 95-0208 06
 - Aluminum Hinged Colonial Shutters under # 96-0916 03
 - Polycarbonate Window Glazing under # 96-0916 03
- This letter authorizes Entero Custom to use any of the following:
- Aluminum Accordion Type Shutters under # 97-0221 03 and 96-0421 01
 - Extruded Aluminum Roll Shutters under # 95-0223 01, 95-0223 1, 97-0826 05 and 99-0208 05
 - Extruded Aluminum Storm Panels under # 97-0221 02
 - 0.050" Aluminum Storm Panels under # 95-0110 02
 - 18 ga. Galvanized Steel Storm Panels under # 95-0208 06
 - Aluminum Hinged Colonial Shutters under # 96-0916 03
 - Polycarbonate Window Glazing under # 96-0916 03

on the following job:

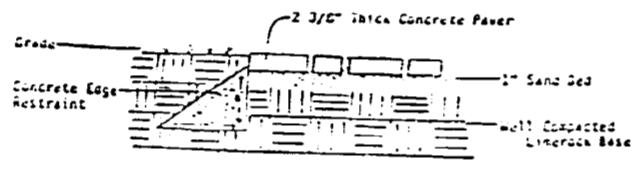
Job Owner's Name: Kennedy Dickson
 Job Address: 11 Island Ave #1104
MIAMI BEACH, FL 33139

Signature:

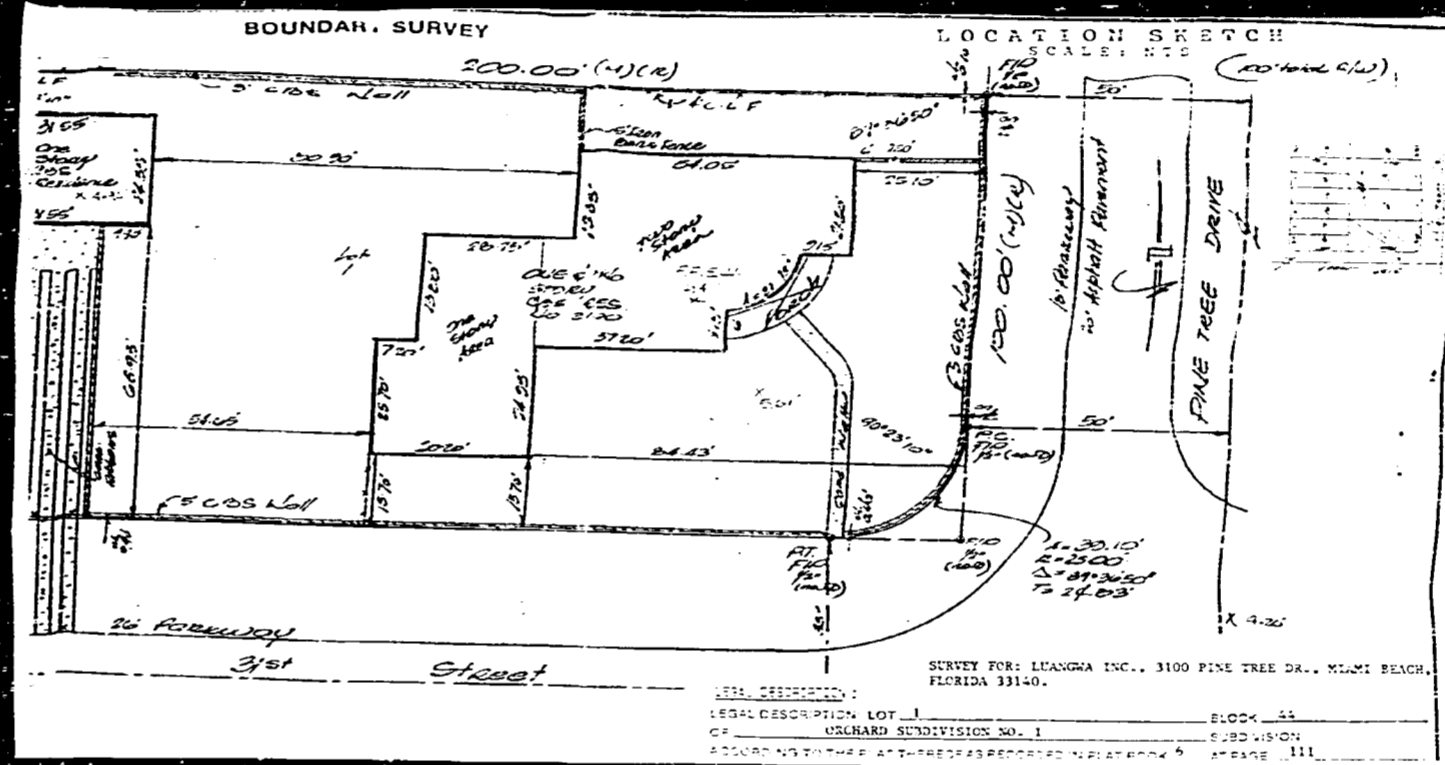
Jerry D. Lee, V.P.
 Jerry D. Lee
 Vice President



MIAMI BRICK CONTRACTORS, INC.
 LICENSED & INSURED
 #CG635871



SECTION A: Concealed Edge Restraint



42227500