

1771 PURDY AVE

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MIAMI BEACH, FL
33139

DESIGN REVIEW BOARD FINAL SUBMITTAL 03-07-2022



ARCHITECT
KOBI KARP ARCHITECTURE
AND INTERIOR DESIGN, INC.

571 NW 28TH STREET
MIAMI, FLORIDA 33127
T: 305.573.1818

Rev.	Date	Rev.	Date

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DRB FINAL SUBMITTAL

DRB21-0773

MULTIFAMILY RESIDENCE

1771 PURDY AVE
MIAMI BEACH, FLORIDA 33139

Owner:

PRIVATE

Landscape Architect:

Name
Address
Tel:
Email

Consultant:

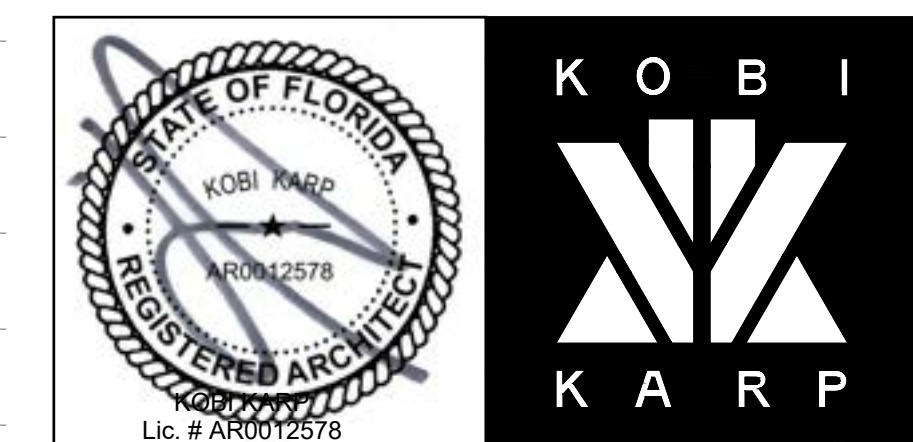
Name
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Consultant:

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Architect:

Kobi Karp Architecture and Interior Design, Inc.
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Fax: +1(305) 573 3766



COVER SHEET

Date: 03-07-2022	Sheet No.
Scale	A0.00
Project: 2192	

CD-2 COMMERCIAL MEDIUM INTENSITY DISTRICT - ZONING DATA SHEET



Planning Department, 1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

MULTIFAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Project Information				
1	Address:	1771 Purdy Avenue Miami Beach Florida 33139			
2	Board and file numbers :				
3	Folio number(s):	02-3233-012-0570			
4	Year constructed:	1940	Zoning District:	CD-2	
5	Based Flood Elevation:	8'-0"	Grade value in NGVD:	4'-8"	
6	Adjusted grade (Flood+Grade/2):	6'-4"	Lot Area:	3,750 SF	
7	Lot width:	50'-0"	Lot Depth:	75'-0"	
8	Minimum Unit Size	1,740 SF	Average Unit Size	2,164 SF	
9	Existing use:	Residential	Proposed use:	Mixed Use	
	Zoning Information / Calculations	Maximum	Existing	Proposed	Deficiencies
10	Height	55'-0"	N/A	55'-0"	
11	Number of Stories	5	1	5	
12	FAR	7,500 SF	N/A	7,498 SF	
13	Gross square footage	N/A	1,431 SF	13,664 SF	
14	Square Footage by use	N/A			
15	Number of units Residential	3			
16	Number of units Hotel	N/A			
17	Number of seats	N/A			
18	Occupancy load	N/A			
19	VARIANCE REQUEST #1				SEC. 142-312(b)(3)(e) Allow a zero foot (0'-0") front setback for the proposed rooftop trellis where 20'-0" min. is required.
20	VARIANCE REQUEST #2				Allow proposed trellis area of 35.37% of enclosed floor below which is 1,272 SF where 20% maximum is required.
	Setbacks	Required	Existing	Proposed	Deficiencies
	Subterranean:				
21	Front Setback:	5'-0"	N/A	N/A	
22	Side Setback:	5'-0"	N/A	N/A	
23	Side Setback:	5'-0"	N/A	N/A	
24	Side Setback facing street:	5'-0"	N/A	N/A	
25	Rear Setback:	5'-0"	N/A	N/A	
	At Grade Parking:				
26	Front Setback:	5'-0"	N/A	44'-6"	
27	Side Setback:	5'-0"	N/A	5'-0"	
28	Side Setback:	5'-0"	N/A	5'-0"	
29	Side Setback facing street:	5'-0"	N/A	N/A	
30	Rear Setback:	5'-0"	N/A	5'-0"	
	Pedestal:				
31	Front Setback:	0'-0"	N/A	0'-0"	
32	Side Setback:	0'-0"	N/A	0'-0"	
33	Side Setback:	0'-0"	N/A	0'-0"	
34	Side Setback facing street:	0'-0"	N/A	0'-0"	
35	Rear Setback:	5'-0"	N/A	5'-0"	
	Tower:				
36	Front Setback:	0'-0"	N/A	0'-0"	
37	Side Setback:	0'-0"	N/A	0'-0"	

NOTES: IF NOT APPLICABLE WRITE N/A

PROJECT WILL NEED CUP APPROVAL FOR INCORPORATION OF MECHANICAL LIFTS.

LEGAL DESCRIPTION:
WEST ONE-HALF (W 1/2) OF LOT 8, BLOCK 16, OF ISLAND VIEW SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 6, AT PAGE 115, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.

NOTHING SHALL BE ERECTED, PLACED, PARKED, PLANTED, OR ALLOWED TO GROW IN SUCH A MANNER WITHIN A 15'-0" TRIANGLE OF VISIBILITY SO AS TO MATERIALLY IMPEDE VISION BETWEEN A HEIGHT OF 2'-0" AND 6'-0" ABOVE GRADE (3.99' N.G.V.D.).

THE SIDE OF THE PROPERTY SHALL BE GRADED IN A MANNER TO RETAIN ALL RAINWATER ON THE PROPERTY WITH THE USE OF INTERCEPTOR SWALES AROUND THE PERIMETER OF THE SITE WITH NO ENCROACHMENT OVER ADJACENT PROPERTIES AND THE AREA ADJACENT TO THE CANAL WILL BE GRADED TO PREVENT DIRECT OVERLAND DISCHARGE OF STORMWATER INTO THE CANAL



Planning Department, 1700 Convention Center Drive, 2nd Floor
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ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
38	Side Setback:	0'-0"	N/A	0'-0"	
39	Side Setback facing street:	0'-0"	N/A	0'-0"	
40	Rear Setback:	5'-0"	N/A	5'-0"	
	Parking	Required	Existing	Proposed	Deficiencies
41	Parking district	Parking District No. 5	Parking District No. 5	Parking District No. 5	
42	Total # of parking spaces	6	N/A	6	
43	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	6	N/A	6	
44	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	
45	Parking Space Dimensions	8'-6" x 18'-0"	N/A	8'-6" x 18'-0"	
46	Parking Space configuration (45o, 60o, 90o, Parallel)			90o	
47	ADA Spaces	0	N/A	0	
48	Tandem Spaces				
49	Drive aisle width	22'-0"		22'-0"	
50	Valet drop off and pick up	N/A	N/A	N/A	
51	Loading zones and Trash collection areas	N/A	N/A	N/A	
52	Bicycle parking, location and Number of racks	NONE	N/A	20 LONG-TERM	
	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
53	Type of use				
54	Number of seats located outside on private property				
55	Number of seats inside				
56	Total number of seats				
57	Total number of seats per venue (Provide a separate chart for a breakdown calculation)				
58	Total occupant content				
59	Occupant content per venue (Provide a separate chart for a breakdown calculation)				
60	Proposed hours of operation				
61	Is this an NIE? (Neighboot Impact stablishment, see CMB 141-1361)				
62	Is dancing and/or entertainment proposed ? (see CMB 141-1361)				
63	Is this a contributing building?			No	
64	Located within a Local Historic District?			No	
Additional data or information must be presented in the format outlined in this section					
Notes:					
If not applicable write N/A					
App/PlanRev 1-16 v.1					
PARKING REQUIREMENT: · REQUIRED PARKING: 2 SPACES PER RESIDENTIAL UNIT x 3 = 6 SPACES · 6 PARKING SPACES TOTAL REQUIRED					
PARKING PROVIDED: · PROVIDED PARKING: 1 SPACE PER RESIDENTIAL UNIT · 6 PARKING SPACES TOTAL PROVIDED WITH LIFTS.					

[illegible][illegible]

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Consultant

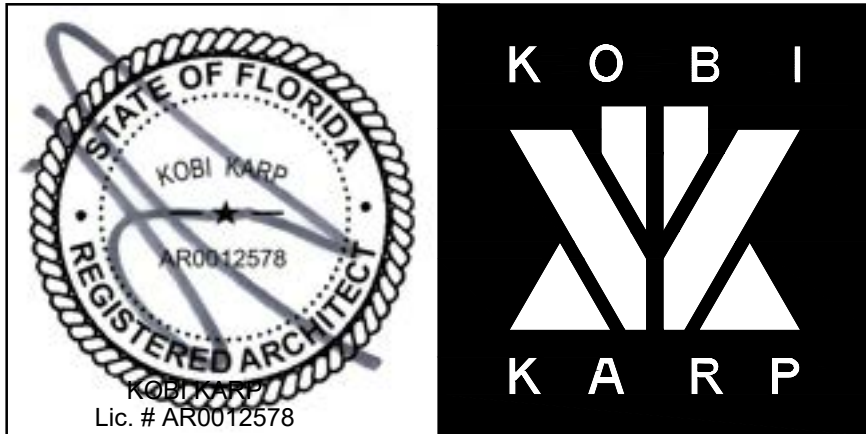
Name
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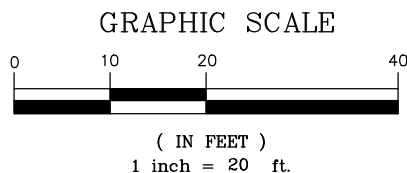
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ZONING DATA

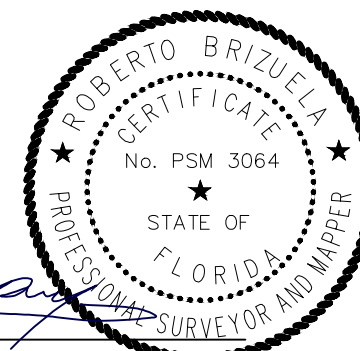
Date 03-07-2022	Sheet No. A0.01
Scale	
Project 2192	



LOCATION MAP

SCALE: N.T.S.

COMMUNITY NUMBER	120651
PANEL NUMBER	0317
SUFFIX	L
DATE OF FIRM INDEX	09-11-2009
FIRM ZONE	AE
BASE FLOOD ELEV.	8.0'



- | | |
|---------------------------------------|--|
| P.R.M. - PERMANENT REFERENCE MONUMENT | U.E. - UTILITY EASEMENT |
| P.C.P. - PERMANENT CONTROL POINT | W.F. - WOOD FENCE |
| F.I.P. - FOUND IRON PIPE | M. - MEASURE |
| S.I.P. - SET IRON PIPE 1/2" STAMPED | R. - RECORD |
| F.D.H. - FOUND DRILL HOLE | S.N.D. - SET NAIL & DISC STAMPED P.L.S |
| S.D.H. - SET DRILL HOLE | F.N.D. - FOUND NAIL & DISC |
| C.L. - CENTER LINE | C.B.S. - CONCRETE BLOCK STRUCTURE |
| RES. - RESIDENCE | ENC. - ENCROACHMENT |
| L.F.E. - LOWEST FLOOR ELEVATION | R/W. - RIGHT OF WAY |
| F.F.E. - FINISH FLOOR ELEVATION | CL. - CLEAR |

BOUNDARY SURVEY

REVISIONS:		
No.	DATE	DESCRIPTION
1		
2		
3		
4		
DATE: 08-16-2021		DRAWN BY: TOM
CHECK BY R.B.		SCALE: INDICATE

JOB No. _____

No. 2108-1129



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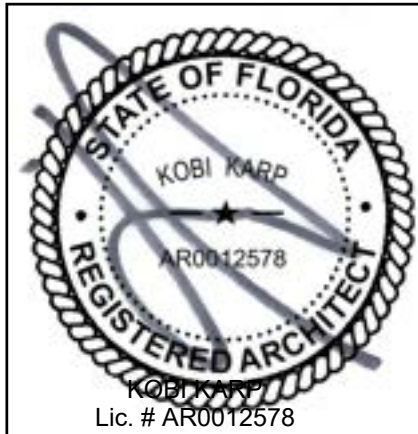
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LOCATION MAP

Date: 03-07-2022	Sheet No.
Scale	A0.02
Project: 2192	





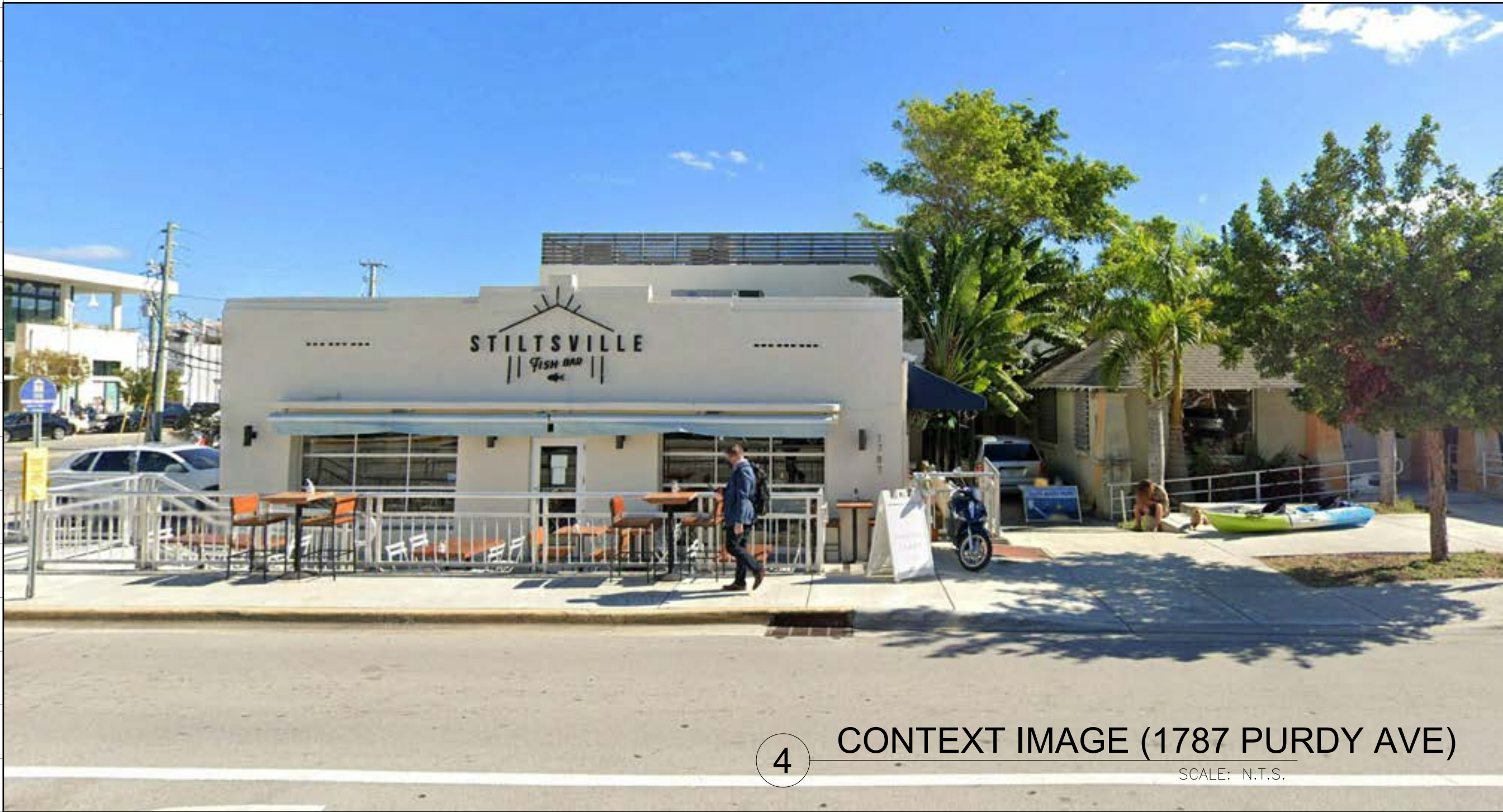
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SCALE: N.T.S.



5 CONTEXT IMAGE (1752 BAY RD)
SCALE: N.T.S.



2 SITE IMAGE (1771 PURDY AVE)
SCALE: N.T.S.



4 CONTEXT IMAGE (1787 PURDY AVE)
SCALE: N.T.S.



3 SITE IMAGE (1771 PURDY AVE)
SCALE: N.T.S.

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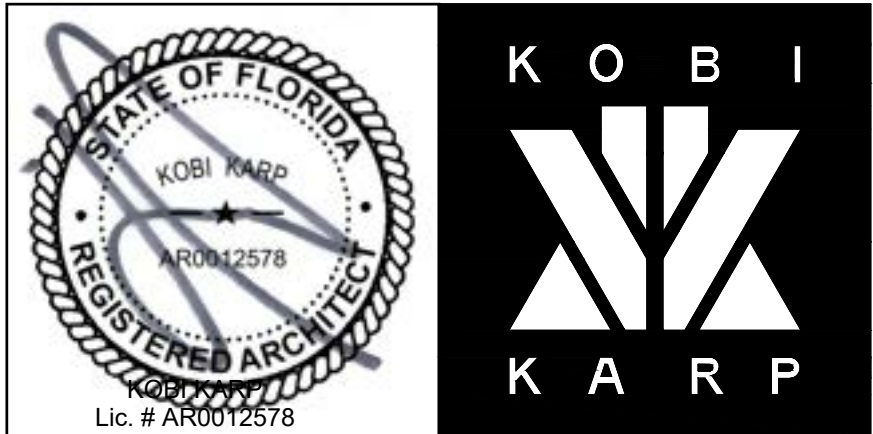
PRIVATE

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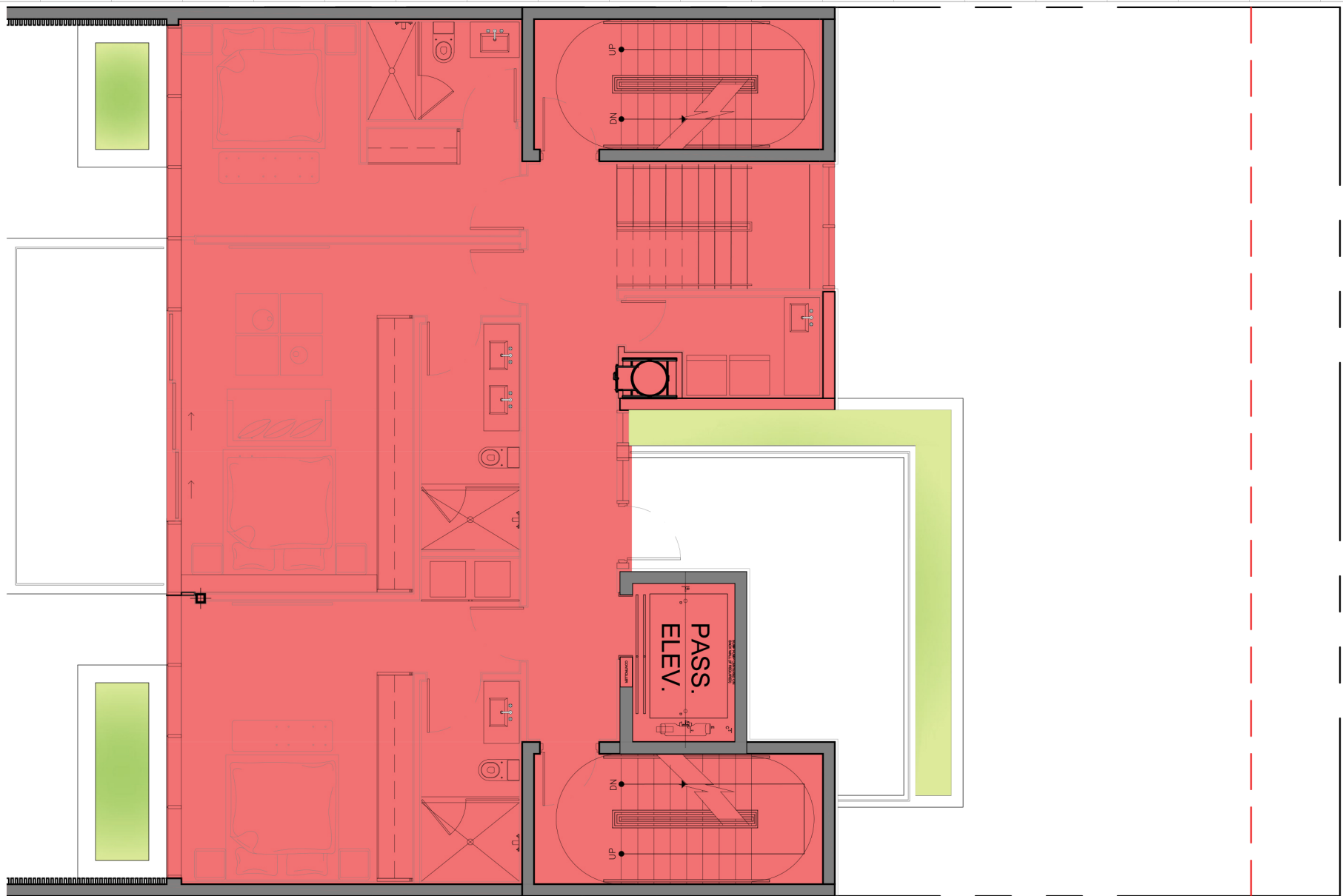
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CONTEXT IMAGES

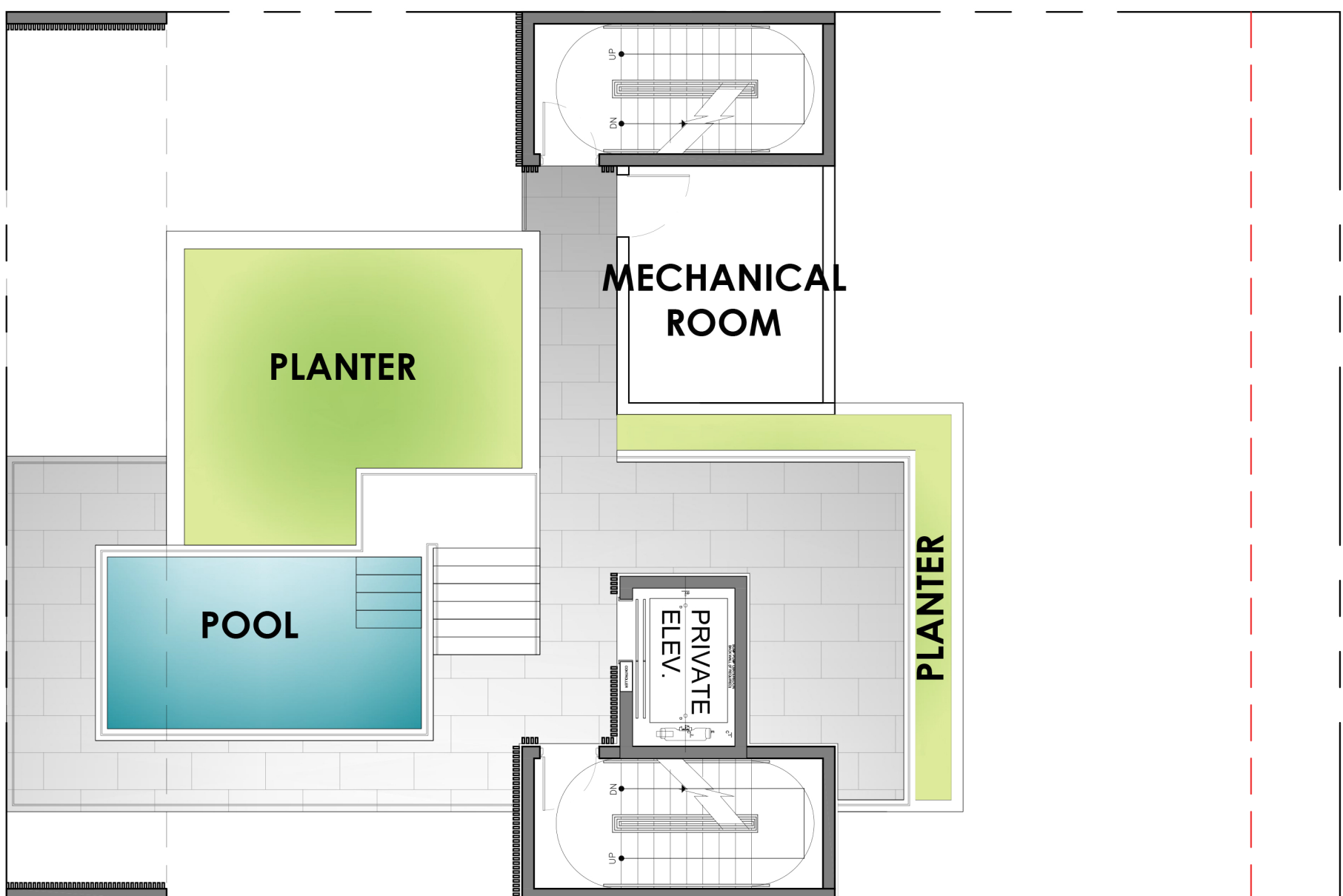
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Project 2192	



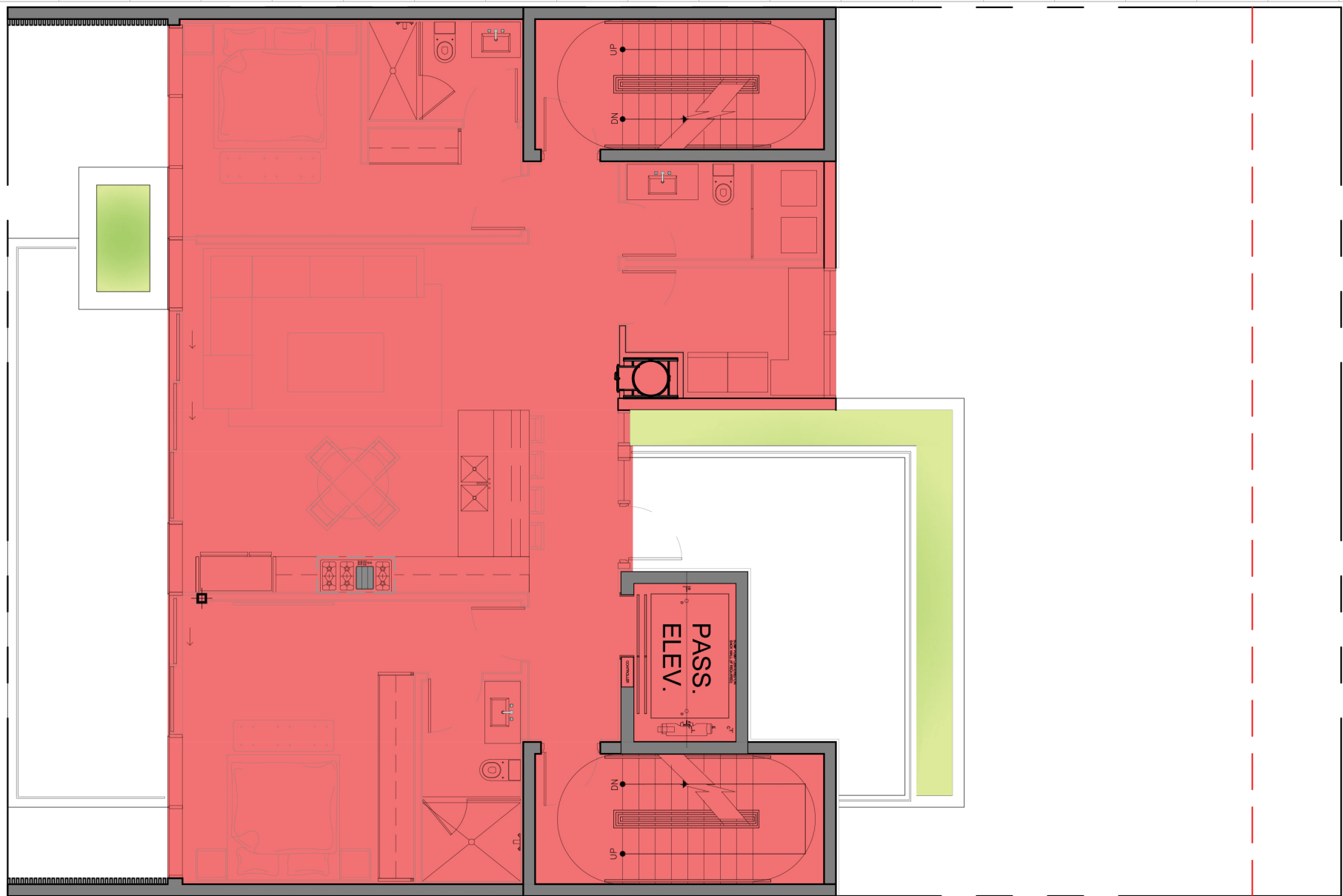
4 LEVEL 4 FAR 1,740 SF



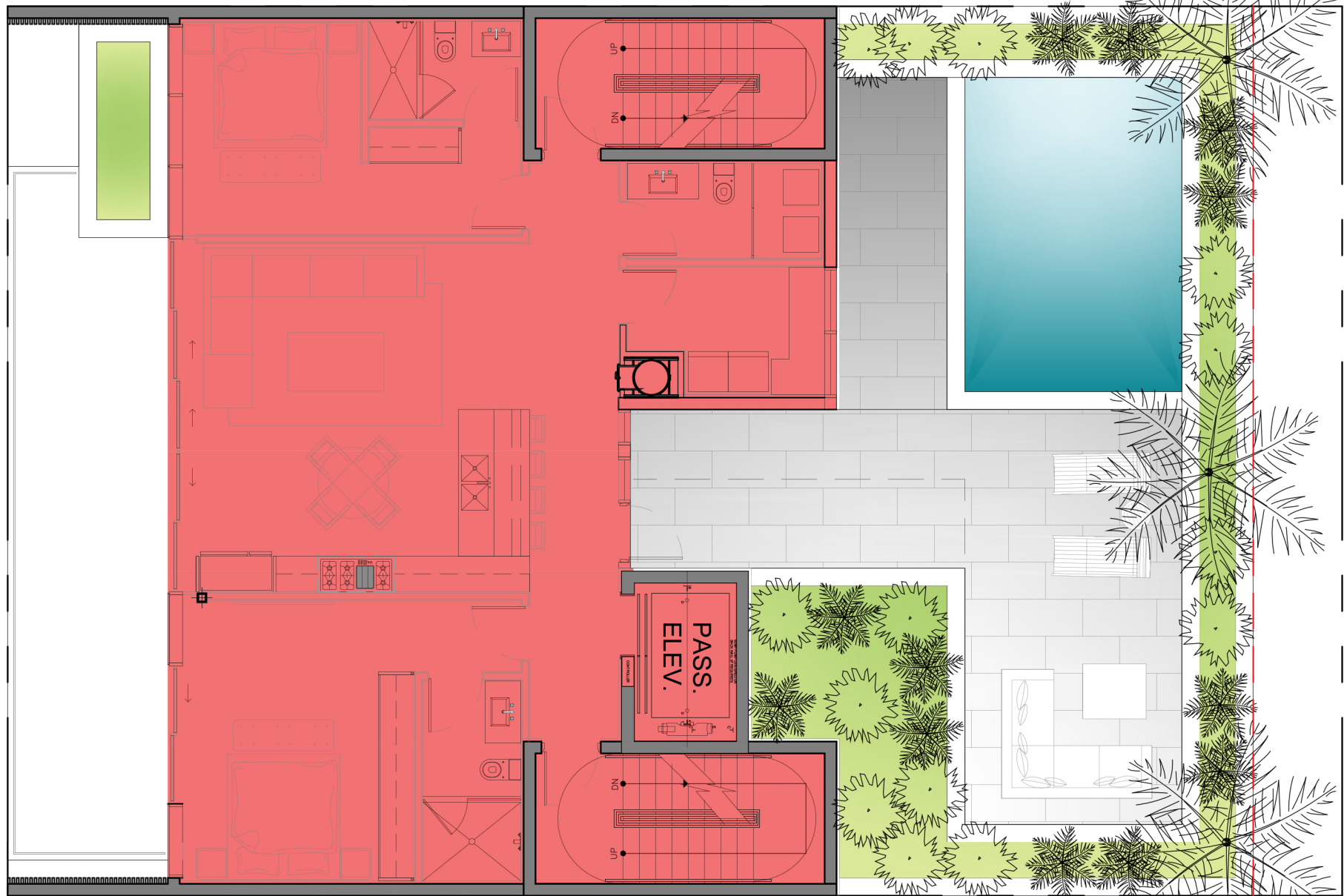
5 LEVEL 5 FAR 1,272 SF



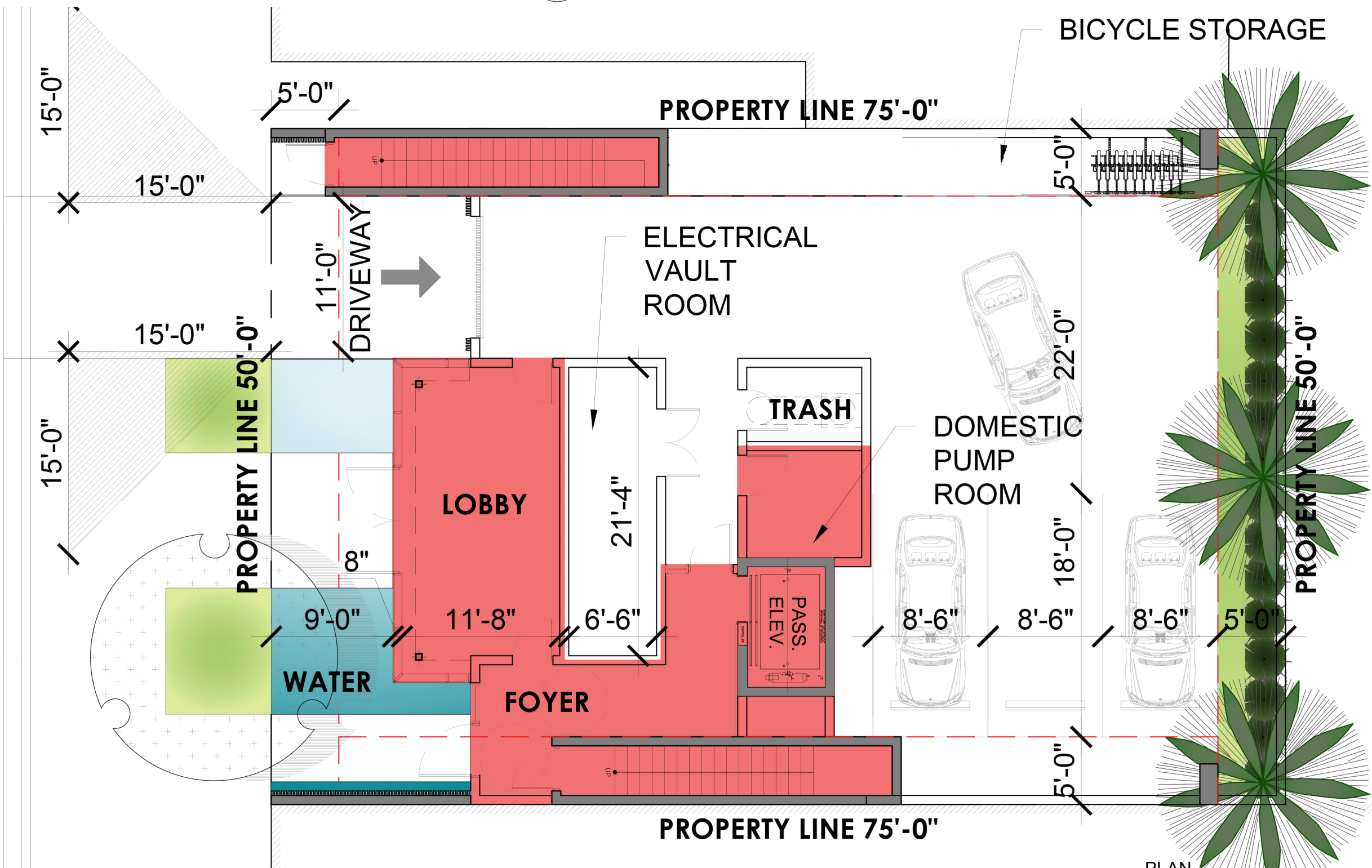
6 ROOFTOP FAR 0 SF



3 LEVEL 3 FAR 1,740 SF



2 LEVEL 2 FAR 1,740 SF



1 GROUND FLOOR FAR 1,006 SF

FAR CALCULATION

	GROUND FLOOR = 1,006 SF
	SECOND FLOOR = 1,740 SF
	THIRD FLOOR = 1,740 SF
	FOURTH FLOOR = 1,740 SF
	FIFTH FLOOR PENTHOUSE = 1,272 SF
TOTAL FAR PROVIDED = 7,498 SF	
TOTAL FAR ALLOWED = 7,500 SF	

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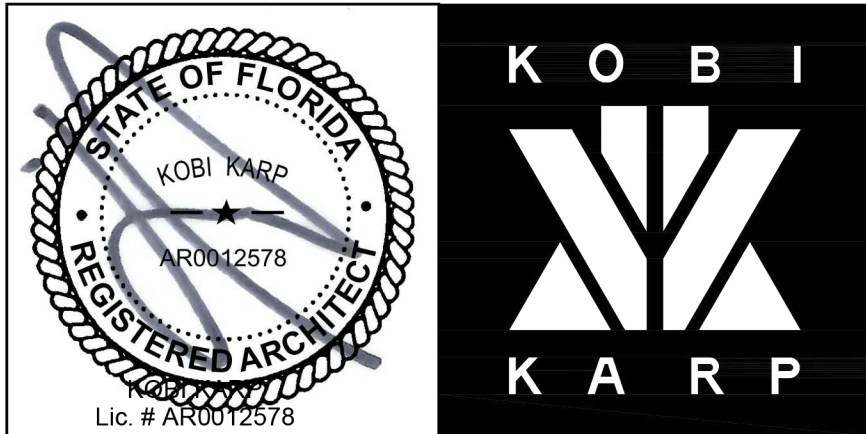
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FAR DIAGRAMS

Date: 03-07-2022	Sheet No.
Scale	A0.04
Project: 2192	