1771 PURDY AVE

1771 PURDY AVE
MIAMI BEACH, FL
33139

DESIGN REVIEW BOARD FINAL SUBMITTAL

03-07-2022



ARCHITECT KOBI KARP ARCHITECTURE AND INTERIOR DESIGN, INC.

571 NW 28TH STREET MIAMI, FLORIDA 33127 T: 305.573.1818

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KOBI KAPP AICCHITECTINE & INTERIOR DESIGN, INC. 414 (2) 2019

DRB FINAL SUBMITTAL

DRB21-077

MULTIFAMILY RESIDENCE

1771 PURDY AVE MIAMI BEACH, FLORIDA 33139

Owr

PRIVATE

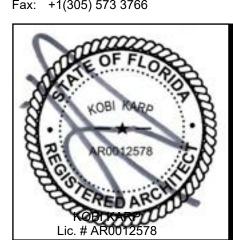
Landscape Architect: Name Address

Address Address Tel: Email

Consultant: Name Address

Consultan Name Address

Architect:
Kobi Karp Architecture and Interior Design, Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766





COVER SHEET

	Date 03-07	7-2022	Sheet No.
	Scale		A0.00
	Project	2192	

CD-2 COMMERCIAL MEDIUM INTENSITY DISTRICT - ZONING DATA SHEET

MIAMIBEACH

Planning Department, 1700 Convention Center Drive, 2nd Floor Miami Beach, Florida 33139, www.miamibeachfl.gov 305.673.7550

MIAMIBEACH

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		ITIAL TONING DA	TA 611557		ITEM	Setbacks	Required	Existing	Proposed	Deficiencies
MU	LITFAMILY RESIDEN	ITIAL - ZONING DA	IA SHEET		38	Side Setback:	0'-0"	N/A	0'-0"	
						Side Setback facing street:	0'-0"	N/A	0'-0"	
# Project Information					40	Rear Setback:	5'-0"	N/A	5'-0"	
1 Address	1771 Burdy Avenue N	Aiomi Booch Elorido 22120				Parking	Doguizad	Evicting	Dranged	Deficiencies
1 Address: 2 Board and file numbers:	1771 Purdy Avenue N	Miami Beach Florida 33139			41	Parking district	Required Parking District No. 5	Existing Parking District No. 5	Proposed Parking District No. 5	Deficiencies
	02 2222 012 0570					Total # of parking spaces	6	N/A	Faiking District No. 3	
3 Folio number(s):	02-3233-012-0570	1040 Zamina Bistoist		CD 2	- 42	# of parking spaces per use (Provide a	0	N/A	0	
4 Year constructed: 5 Based Flood Elevation:	8'-0"	1940 Zoning District: Grade value in NGVD		CD-2 4'-8"	43	separate chart for a breakdown				
6 Adjusted grade (Flood+Grade/2):	6'-4"	Lot Area:		3,750 SF		calculation)	6	N/A	6	
7 Lot width:	50'-0"	Lot Depth:		75'-0"		# of parking spaces per level (Provide a				
8 Minimum Unit Size	1,740 SF	Average Unit Size		2,164 SF	44	separate chart for a breakdown				
9 Existing use:	Residential	Proposed use:		ixed Use		calculation)	N/A	N/A	N/A	
					45	Parking Space Dimensions	8'-6" x 18'-0"	N/A	8'-6" x 18'-0"	
Zoning Information / Calculations	Maximum 55'-0"	Existing	Proposed	Deficiencies	46	Parking Space configuration (450, 600, 900, Parallel)			90o	
10 Height	55'-0"	N/A	55'-0"	Г	47	ADA Spaces	0	N/A	0	
11 Number of Stories 12 FAR	7,500 SF	N/A	7,498 SF	3		Tandem Spaces		14/73		
13 Gross square footage	N/A	1,431 SF	13,664 SF			Drive aisle width	22'-0"		22'-0"	
14 Square Footage by use	N/A	±)¬¬→± ∪	10,00-r 01			Valet drop off and pick up	N/A	N/A	N/A	
15 Number of units Residential	3					Loading zones and Trash collection areas	N/A	N/A	N/A	
16 Number of units Hotel	N/A				52	Bicycle parking, location and Number of				
17 Number of seats	N/A					racks	NONE	N/A	20 LONG-TERM	
18 Occupancy load	N/A				5			1		
						Restaurants, Cafes, Bars, Lounges,				
				SEC. 142-312(b)(3)(e) = -	Nightclubs	Required	Existing	Proposed	Deficiencies
				Allow a zero foot (0)		Number of seats located outside on				
19				0") front setback for	54	private property				
				the proposed roofto		Number of seats inside				
				trellis where 20'-0"	· -	Total number of seats				
VARIANCE REQUEST #1				min. is required.		Total number of seats per venue (Provide				
VARIANCE REQUEST #1				•	57	a separate chart for a breakdown				
				Allow proposed		calculation)				
				trellis area of 35.37%	58	Total occupant content				
20				of enclosed floor		Occupant content per venue (Provide a				
20				below which is 1,272	59	separate chart for a breakdown				
				SF where 20%		calculation)				
				maximum is	60	Proposed hours of operation				
VARIANCE REQUEST #2	5			required.		Is this an NIE? (Neighboot Impact				
Setbacks Subterranean:	Required	Existing	Proposed	Deficiencies	61	stablishment, see CMB 141-1361)				
21 Front Setback:	5'-0"	N/A	N/A		62	Is dancing and/or entertainment proposed	1			
22 Side Setback:	5'-0"	N/A	N/A		- 02	? (see CMB 141-1361)				
23 Side Setback:	5'-0"	N/A	N/A		63	Is this a contributing building?		N	0	
24 Side Setback facing street:	5'-0"	N/A	N/A		64	Located within a Local Historic District?		N	0	
25 Rear Setback:	5'-0"	N/A	N/A			Additional data or information must be pr	esented in the format outli	ned in this section		
At Grade Parking:					Notes	s:				
26 Front Setback:	5'-0"	N/A	44'-6"		If no	t applicable write N/A				
27 Side Setback:	5'-0"	N/A	5'-0"			•				
28 Side Setback:	5'-0"	N/A	5'-0"							
29 Side Setback facing street:	5'-0"	N/A	N/A							
30 Rear Setback:	5'-0"	N/A	5'-0"		App/Plar	nRev 1-16 v.1				
Pedestal:	01.0"		01.0"							
31 Front Setback:	0'-0"	N/A	0'-0"							
32 Side Setback:	0'-0"	N/A	0'-0"			ARKING REQUIREMENT:				
33 Side Setback:	0'-0"	N/A	0'-0"			REQUIRED PARKING: 2 SPACES PER RESII	DENTIAL UNIT $x 3 = 6 \text{ SP}$	ACES		
34 Side Setback facing street:	0'-0" 5'-0"	N/A N/A	5'-0"		<u></u> .	5 PARKING SPACES TOTAL REQUIRED				
35 Rear Setback: Tower:	J -U	IN/A	⊃ -∪							
36 Front Setback:	0'-0"	N/A	0'-0"							
37 Side Setback:	0'-0"	N/A	0'-0"							
		.4/.				ARKING PROVIDED:	ENITTAL LINITT			
						PROVIDED PARKING: 1 SPACE PER RESIDI				
	<u> </u>			<u> </u>	<u> </u>	5 PARKING SPACES TOTAL PROVIDED WIT	III LIF13.			

ZONING DIAGRAMS - F.A.R.				
AXONOMETRIC RENDERING				
AXONOMETRIC RENDERING	Rev.	Date	Rev.	Date
AXONOMETRIC RENDERING	_			
AXONOMETRIC RENDERING				
GROSS FLOOR AREA DIAGRAM				
VARIANCE DIAGRAM				
SITE PLAN WITH LIFTS				
ALTERNATE SITE PLAN WITHOUT LIFTS				

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ARCHITECTURAL DRAWINGS

PROJECT DATA / DRAWING INDEX & GENERAL NOTES

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A6.00

COVER

SURVEY

GROUND FLOOR PLAN

SECOND FLOOR PLAN

THIRD FLOOR PLAN

FOURTH FLOOR PLAN

FRONT ELEVATION (WEST)

SIDE ELEVATION (NORTH)

REAR ELEVATION (EAST)

SIDE ELEVATION (SOUTH)

CONTEXTUAL ELEVATIONS

ENLARGED SECTIONS

SECTION

RENDERING

RENDERING

RENDERING

FRONT RENDERED ELEVATION (WEST)

SIDE RENDERED ELEVATION (NORTH)

REAR RENDERED ELEVATION (EAST)

SIDE RENDERED ELEVATION (SOUTH)

FIFTH FLOOR PLAN

ROOF PLAN

LOCATION MAP

SITE CONTEXT IMAGES

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DRB FINAL SUBMITTAL

DRB21-0773

MULTIFAMILY RESIDENCE

1771 PURDY AVE MIAMI BEACH, FLORIDA 33139

PRIVATE

Landscape Architect: Address Tel:

Consultant: Address

Consultant

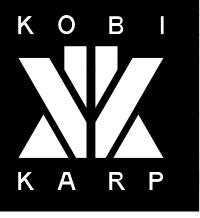
Address

Address Tel:

Kobi Karp Architecture and Interior Design, Inc. Miami, Florida 33127 USA Tel: +1(305) 573 1818







ZONING DATA

_	Date 03-07-2022	Sheet No.
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NOTES: IF NOT APPLICABLE WRITE N/A

PROJECT WILL NEED CUP APPROVAL FOR INCORPORATION OF MECHANICAL LIFTS.

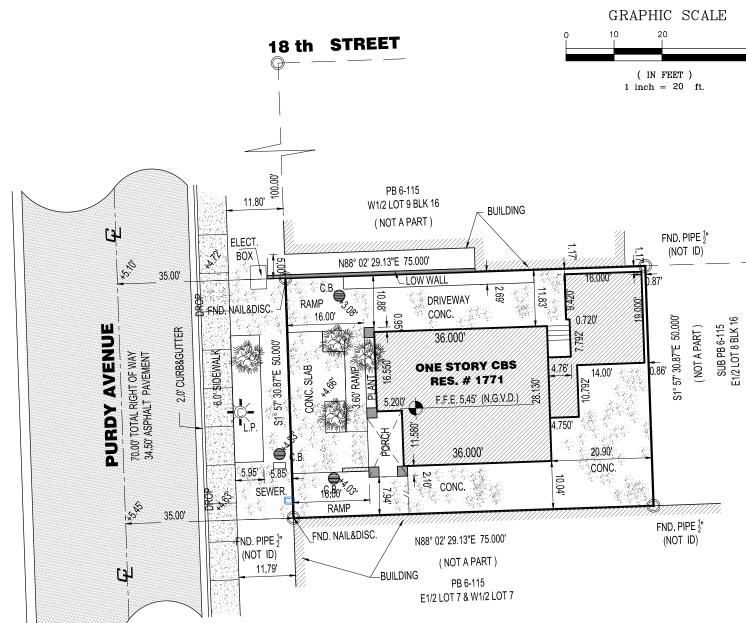
LEGAL DESCRIPTION:

WEST ONE-HALF (W 1/2) OF LOT 8, BLOCK 16, OF ISLAND VIEW SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 6, AT PAGE 115, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORI

NOTHING SHALL BE ERECTED, PLACED, PARKED, PLANTED, OR ALLOWED TO GROW IN SUCH A MANNER WITHIN A 15'-0" TRIANGLE OF VISIBILITY SO AS TO MATERIALLY IMPEDE VISION BETWEEN A HEIGHT OF 2'-0" AND 6'-0" ABOVE GRADE (3.99' N.G.V.D.)

THE SIDE OF THE PROPERTY SHALL BE GRADED IN A MANNER TO RETAIN ALL

RAINWATER ON THE PROPERTY WITH THE USE OF INTERCEPTOR SWALES AROUND THE PERIMETER OF THE SITE WITH NO ENCROACHMENT OVER ADJACENT PROPERTIES AND THE AREA ADJACENT TO THE CANAL WILL BE GRADED TO PREVENT DIRECT







CERTIFY TO: MARTIN R SHERMAN

LOCATION MAP SCALE: N.T.S.

SURVEYOR' NOTES:

1)EXAMINATION OF ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, **AFFECTING**

THIS PROPERTY.

2)LOCATION AND IDENTIFICATION OF UTILITIES IF ANY ARE SHOWN IN ACCORDANCE WITH RECORDED PLAT.

3)OWNERSHIP IS SUJECT TO OPINION OF TITLE.

4)TYPE OF SURVEY. "BOUNDARY SURVEY"

5)THIS SURVEY IS NOT VALID UNLESS SIGNED AND SEALED BY THE SURVEYOR OF RECORD.

6)ALL RIGHT OF WAYS SHOWN ARE PUBLIC UNLESS OTHERWAISE NOTED.

8)NO UNDERGROUND INSTALLATIONS ON IMPROVEMENTS HAVE BEEN LOCATED, EXCEPT AS NOTED.

SURVEYOR' CERTIFICATE:

I HEREBY CERTIFY: THAT THE ATTACHED "SKETCH OF SURVEY" OF THE ABOVE DESCRIBED PROPERTY IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED UNDER MY DIRECTION, AND THAT THERE ARE NO ENCROACHMENTS OTHER THAN THOSE SHOWN, AND MEETS THE INTENT OF THE APPLICABLE PROVISIONS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS IN CHAPTER 5J- 17, OF FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 FLORIDA STATUTES.

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Folio: 02-3233-012-0570

BASE FLOOD ELEVATION

COMMUNITY NUMBER	120651
PANEL NUMBER	0317
SUFFIX	L
DATE OF FIRM INDEX	09-11-2009
FIRM ZONE	AE
BASE FLOOD ELEV.	8.0'



ROBERTO R. BRIZUELA & ASSOCIATES OFFICE: Land Surveyors

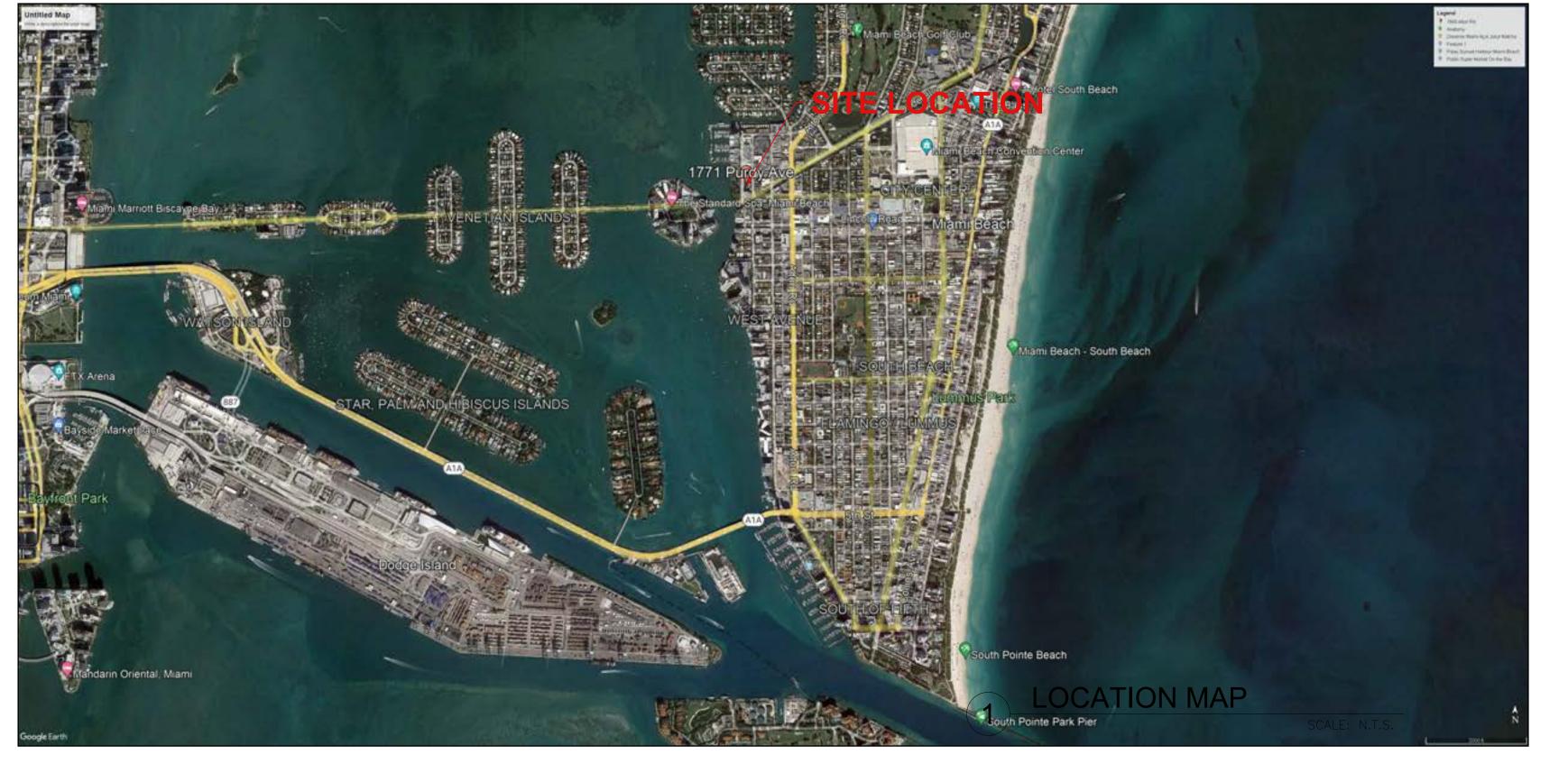
1771 PURDY AVENUE, MIAMI BEACH, FLORIDA. 33139 SHEET TITLE:

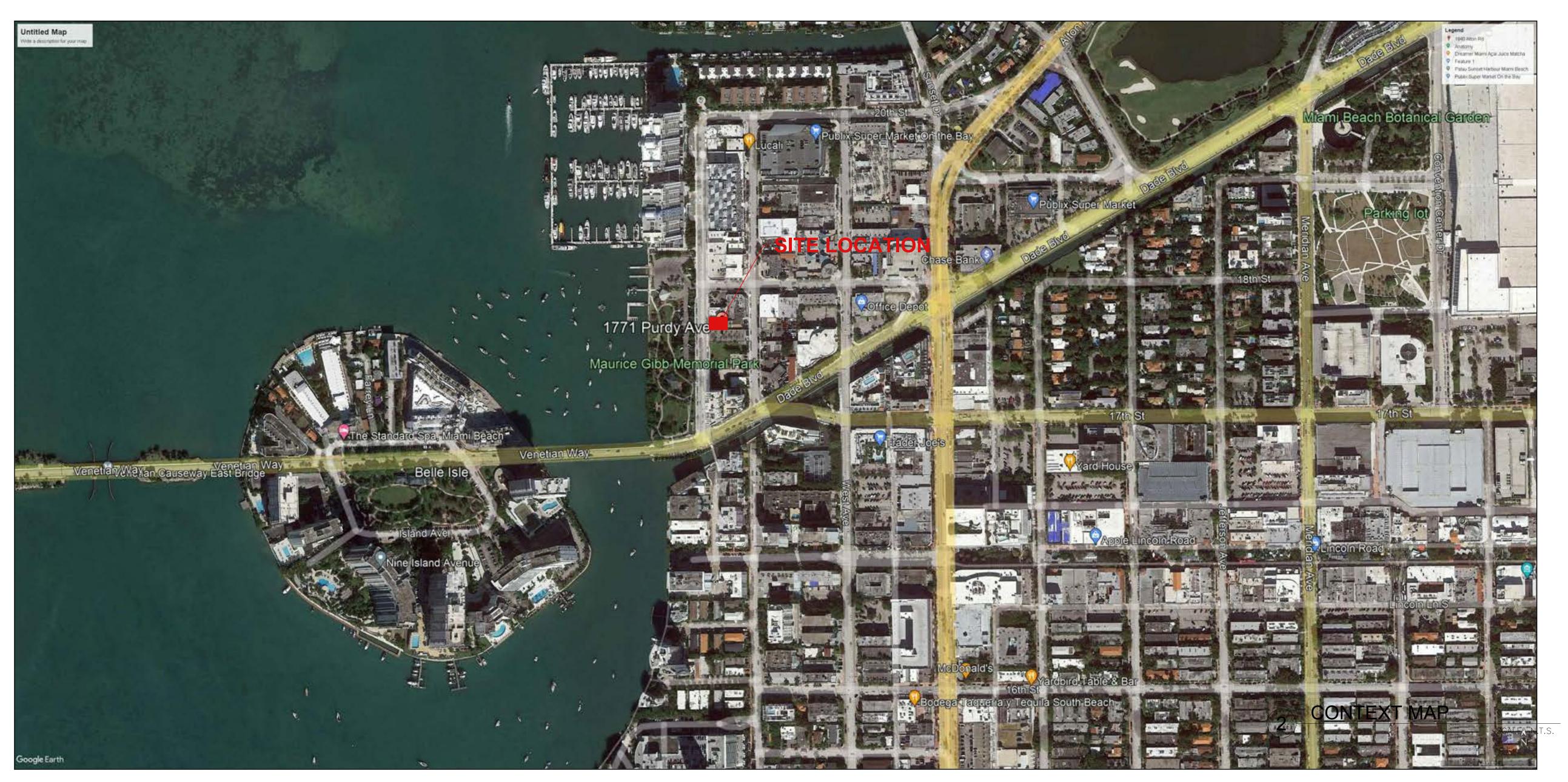
BOUNDARY SURVEY

RE	VISIONS:	
No.	DATE	DESCRIPTION
1		
2		
3		
4		
DAT	E:	DRAWN BY:
0	8-16-2021	TOM
CHEC	K BY	SCALE:
ı	R.B.	INDICATE

JOB No. 2108-1129

NOTE: THIS SURVEY HAS BEEN PREPARED FOR EXCLUSIVE USE OF THE ENTITIES NAMED HEREON. THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.





Rev.	Date	rev.	Date

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Consultant: Name Address

Address Tel: Consultant:

Name Address Address Tel:

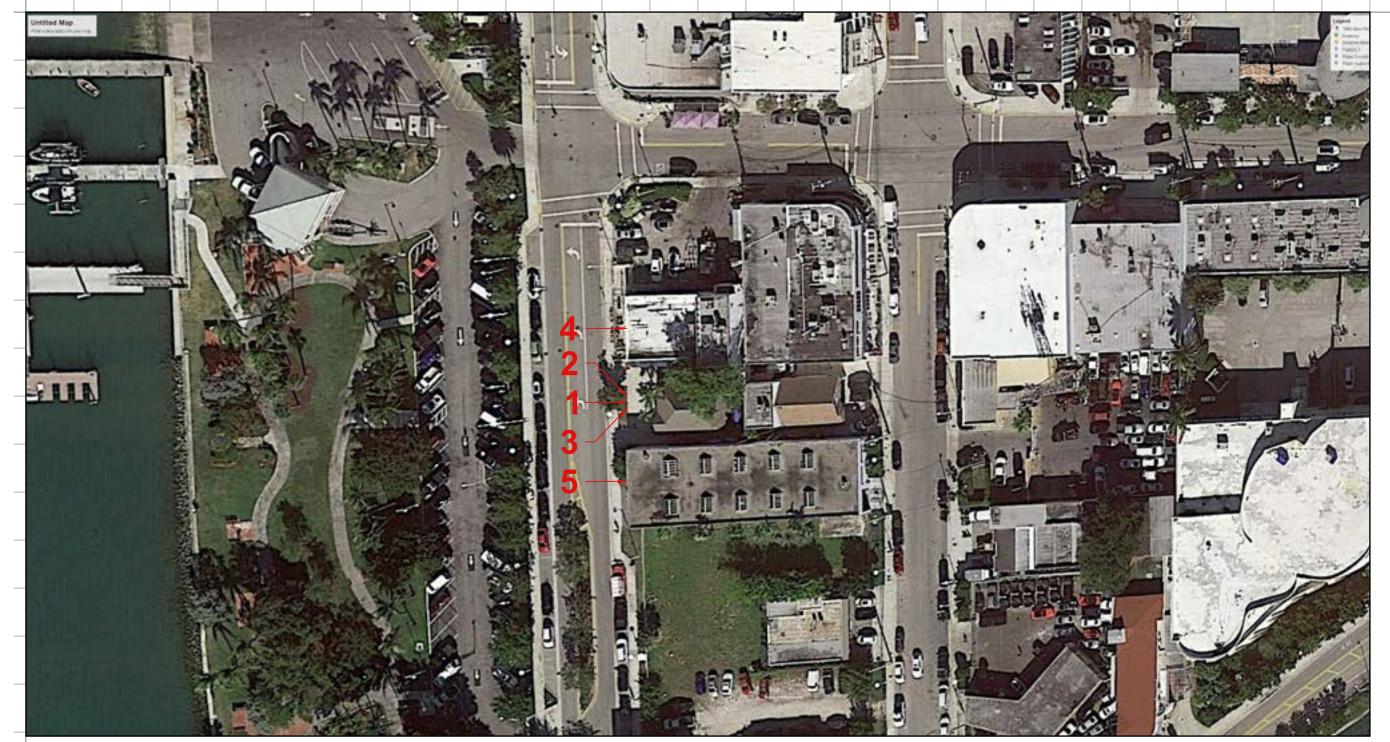
Kobi Karp Architecture and Interior Design, Inc. 571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766





LOCATION MAP

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Rev.	Date	Rev.	Date

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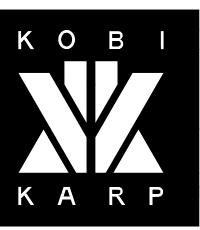
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PRIVATE

Landscape Architect:

Architect:
Kobi Karp Architecture and Interior Design, Inc. 571 NW 28th Street
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CONTEXT IMAGES

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