

JOHN IBARRA & ASSOCIATES, INC.

Professional Land Surveyors & Mappers

WWW.IBARRALANDSURVEYORS.COM

777 N.W. 72nd AVENUE
SUITE 3025
MIAMI, FLORIDA 33126
PH: (305) 262-0400
FAX: (305) 262-0401

4040 DEL PRADO BLVD. S.
SUITE 823
CAPE CORAL, FL 33904
PH: (239) 540-2660
FAX: (239) 540-2664



ABBREVIATIONS AND MEANINGS

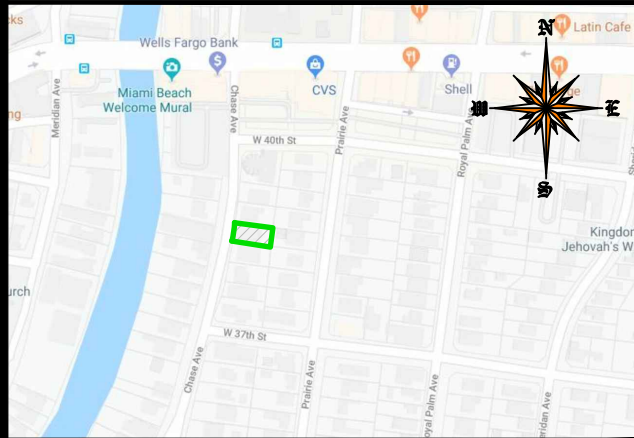
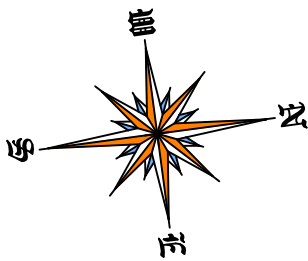
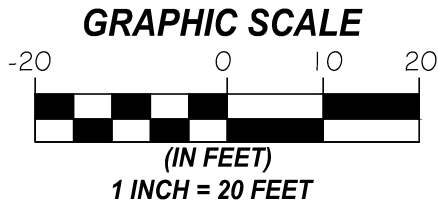
A = ARC
A/C = AIR CONDITIONER PAD
A.E. = ANCHOR EASEMENT
AR = ALUMINUM ROOF
AS = ALUMINUM SHED
ASPH. = ASPHALT
B.C. = BLOCK CORNER
B.C.R. = BROWARD COUNTY RECORDS
BLDG. = BUILDING
B.M. = BENCH MARK
B.O.B. = BASIS OF BEARINGS
B.S.L. = BUILDING SETBACK LINE
C = CALCULATED
C.B. = CATCH BASIN
C.B.S. = CONCRETE BLOCK STRUCTURE
CBW = CONCRETE BLOCK WALL
CH = CHORD
CH.B. = CHORD BEARING
CL = CLEAR
C.L.F. = CHAIN LINK FENCE
C.M.E. = CANAL MAINTENANCE EASEMENTS
CONC. = CONCRETE
C.P. = CONC. PORCH
C.S. = CONCRETE SLAB
C.U.P. = CONC. UTILITY POLE
C.W. = CONCRETE WALK
D.E. = DRAINAGE EASEMENT
D.M.E. = DRAINAGE MAINTENANCE EASEMENTS
DRIVE = DRIVEWAY
° = DEGREES
E = EAST
EB = ELECTRIC BOX
E.T.P. = ELECTRIC TRANSFORMER PAD
ELEV. = ELEVATION
ENCR. = ENCROACHMENT
F.H. = FIRE HYDRANT
F.I.P. = FOUND IRON PIPE
F.I.R. = FOUND IRON ROD
F.F.E. = FINISHED FLOOR ELEVATION
F.N.D. = FOUND NAIL & DISK
FR = FRAME
FT = FEET
F.NIP. = FEDERAL NATIONAL INSURANCE
F.N. = FOUND NAIL
H. = HIGH (HEIGHT)
I.C.V. = IRRIGATION CONTROL VALVE
I.F. = IRON FENCE
IN. & EG. = INGRESS AND EGRESS EASEMENT
L.B. = Certificate of Authorization L.B.#7806
L.P. = LIGHT POLE
L.F.E. = LOWEST FLOOR ELEVATION
L.M.E. = LAKE MAINTENANCE EASEMENT
' = MINUTES
M. = MEASURED DISTANCE
MB = MAIL BOX
M.D.C.R. = MIAMI DADE COUNTY RECORDS
M.E. = MAINTENANCE EASEMENTS
MON. = MONUMENT LINE
MH = MANHOLE
ML = MONUMENT LINE
N.A.P. = NOT A PART OF
NGVD = NATIONAL GEODETIC VERTICAL DATUM
N. = NORTH
N.T.S. = NOT TO SCALE
#NO. = NUMBER
O/S = OFFSET
O.H. = OVERHEAD
O.H.L. = OVERHEAD UTILITY LINES
O.R.B. = OFFICIAL RECORDS BOOK
OVH = OVERHANG
P.V.M.T. = PAVEMENT
PL = PLASTER
PL = PROPERTY LINE
P.C.C. = POINT OF COMPOUND CURVE
P.C. = POINT OF CURVE
PT = POINT OF TANGENCY
POC = POINT OF COMMENCEMENT
POB = POINT OF BEGINNING
P.R.C. = POINT OF REVERSE CURVE
P.B. = PLAT BOOK
PS = PAGE
PWY. = PARKWAY
PRM. = PERMANENT REFERENCE MONUMENT
P.L.S. = PROFESSIONAL LAND SURVEYOR
R. = RECORDED DISTANCE
RR = RAIL ROAD
RES. = RESIDENCE
PROP. COR. = PROPERTY CORNER
R/W = RIGHT-OF-WAY
R.P. = RADIUS POINT
RGE. = RANGE
SEC. = SECTION
STY. = STORY
SWK. = SIDEWALK
S.U.P. = SET IRON PIPE L.B. #7806
S.P. = SCREENED PORCH
S. = SOUTH
" = SECONDS
T = TANGENT
TB = TELEPHONE BOOTH
T.U.E. = TECHNOLOGY UTILITY EASEMENT
TSB = TRAFFIC SIGNAL BOX
T.S.P. = TRAFFIC SIGNAL POLE
TWP. = TOWNSHIP
UTIL. = UTILITY
U.P. = UTILITY POLE
W.M. = WATER METER
W.F. = WOOD FENCE
W.R. = WOOD ROOF
W.M. = WATER METER
W.F. = WOOD FENCE
W.R. = WOOD ROOF
W.S. = WOOD SHED
W = WEST
Δ = CENTER LINE
Δ = CENTRAL ANGLE
* = ANGLE

LEGEND

— O—H — = OVERHEAD UTILITY LINES
— X—X—X — = CONCRETE BLOCK WALL
— X—X—X — = CHAIN LINK FENCE
— 0—0—0 — = IRON FENCE
— // — // — = WOOD FENCE
— — — — = BUILDING SETBACK LINE
— — — — = UTILITY EASEMENT
— // — // — = LIMITED ACCESS R/W
— / — / — = NON-VEHICULAR ACCESS R/W
— — — — = EXISTING ELEVATIONS

MAP OF BOUNDARY SURVEY

3747 CHASE AVENUE, MIAMI BEACH, FL 33140



LOCATION SKETCH

SCALE = N.T.S.

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:

- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
- LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING.
- PLOT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE
- DOES NOT EXTEND TO ANY UNNAMED PARTY.

FLOOD ZONE INFORMATION:

THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN:
FLOOD ZONE: 1A
BASE FLOOD ELEVATION: 7 FT.
COMMUNITY: 120651
PANEL: 0317
SUFFIX: L
DATE OF FIRM: 09/11/2009
THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA.

SURVEYOR'S NOTES:

- IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
- THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
- CERTIFICATE OF AUTHORIZATION LB # 7806.
- ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929, MIAMI-DADE COUNTY BENCHMARK # D-184. LOCATOR NO. 4324 W; ELEVATION IS 4.91 FEET OF N.G.V.D. OF 1929.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

BY: **JOHN IBARRA** 10/28/2021
(DATE OF FIELD WORK)

PROFESSIONAL LAND SURVEYOR NO.: 5204 STATE OF FLORIDA

REVISED ON: 10/28/2021 UPDATE SURVEY
REVISED ON: 06/19/2019 ORIGINAL SURVEY

DRAWN BY: CCA

FIELD DATE: 10/28/2021

SURVEY NO: 19-002706-3

SHEET: 1 OF 1

LEGAL DESCRIPTION:

LOT 12, BLOCK 7, FIRST ADDITION TO MID-GOLF SUBDIVISION OF THE MIAMI BEACH BAY SHORE COMPANY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, PAGE 161, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

CERTIFICATION:

IGAL HAIMOV AND JANET HAIMOV

