

BOUNDARY SURVEY

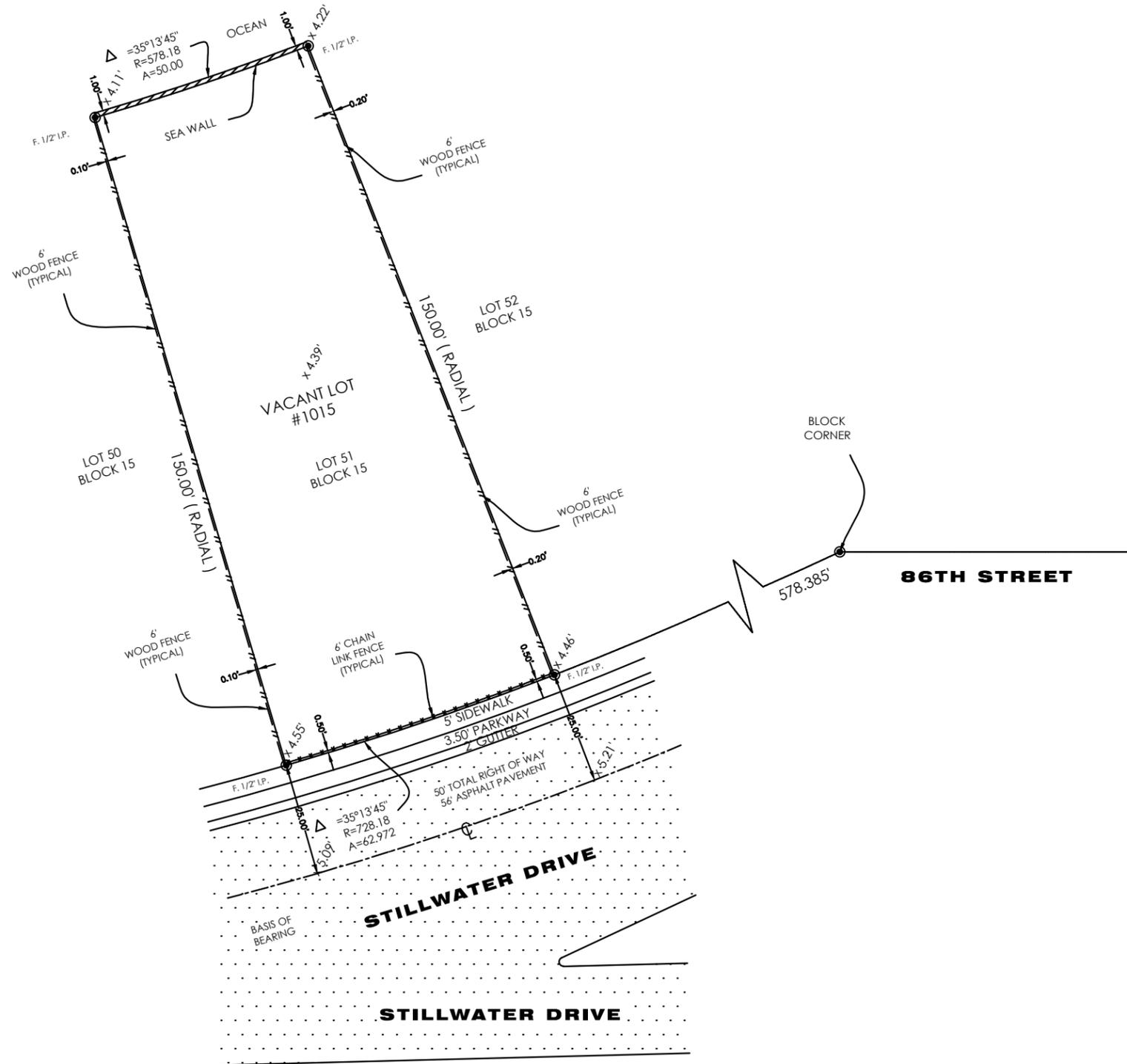
SCALE: 1" = 30'

VIZCAYA SURVEYING AND MAPPING Inc.

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L.B. 8000

13217 S.W. 46th Ln.
Miami, Florida 33175



LOCATION MAP
NOT TO SCALE

PROPERTY ADDRESS: 1015 STILLWATER DRIVE,
MIAMI BEACH, FLORIDA, 33141

LEGAL DESCRIPTION: LOT 51, BLOCK 15,
"BISCAYNE BEACH SECOND ADDITION",
ACCORDING TO THE PLAT THEREOF,
RECORDED IN PLAT BOOK 46, AT PAGE 39,
OF THE PUBLIC RECORDS OF
MIAMI DADE COUNTY, FLORIDA.

LEGEND AND ABBREVIATIONS

- | | | | |
|-------------------------------------|---------------------------------|------------------|----------------------|
| A= ARC DISTANCE | M/L= MONUMENT LINE | ∅ = ELEVATION | ☐ = CATCH BASIN |
| AC= AIR CONDITIONED UNIT | O.H.= OVERHEAD UTILITIES | ⊙ = WATER METER | ⊙ = SANITARY SEWER |
| B.C.= BLOCK CORNER | P.C.P.= PERMANENT CONTROL POINT | ⊙ = POWER POLE | ⊙ = WATER VALVE |
| C.B.= CATCH BASIN | P.O.B.= POINT OF BEGINNING | ⊙ = LIGHT POLE | ⊙ = TV BOX |
| (C)= CALCULATED | P.O.C.= POINT OF COMMENCE | ⊙ = FIRE HYDRANT | ⊙ = FPL TRANS. |
| CL.= CLEAR | R= RADIUS | ⊙ = MANHOLE | ⊙ = CONC. POWER POLE |
| C.L.F.= CHAIN LINK FENCE | (R)= RECORD | | |
| CONC.= CONCRETE | RES.= RESIDENCE | | |
| D.M.E.= DRAINAGE MAINT. EASEMENT | R/W= RIGHT-OF-WAY | | |
| ENC.= ENCROACHMENT | U.E.= UTILITY EASEMENT | | |
| FD.= FOUND | W.F.= WOOD FENCE | | |
| F.F.ELEV.: FINISHED FLOOR ELEVATION | W.M.= WATER METER | | |
| I.F.= IRON FENCE | ∅= DIAMETER | | |
| L.F.ELEV.: LOWEST FLOOR ELEVATION | ⊙= CENTER LINE | | |
| (M)= MEASURED | | | |

JOB NUMBER: 211770

LEGAL NOTES

THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP. EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY. THIS SURVEY IS SUBJECT TO DEDICATION, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORDS. LEGAL DESCRIPTION PROVIDED BY CLIENT. THE LIABILITY OF THIS SURVEY IS LIMITED TO THE COST OF THE SURVEY. UNDERGROUND ENCROACHMENTS, IF ANY, ARE NOT SHOWN. THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS AND/OR UNDERGROUND IMPROVEMENTS OF ANY NATURE. IF SHOWN BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN. IF SHOWN ELEVATIONS ARE REFERRED TO N.G.V.D. OF 1929. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1: 7,500. THIS SURVEY IS NOT INTENDED FOR NEITHER DESIGN NOR CONSTRUCTION PURPOSES. FOR THOSE PURPOSES A TOPOGRAPHIC SURVEY IS REQUIRED.

FOR:
Official Investments LLC
Commonwealth Land Title Insurance Company
Official Investments LLC
Bennett G. Feldman, attorney at law

DATE OF FIELD WORK: DECEMBER, 14, 2021
REVISED ON: FEB, 25, 2022

NOTES:
NO VISIBLE ENCROACHMENT IN THIS LOT.

I hereby certify that the attached Sketch of Survey of the herein described property is to the best of my knowledge and belief, a true and correct representation, of a field survey performed under my direction. And also meets the Minimum Technical Standards as set forth by the Florida Board of Professional Surveyors and Mappers in chapter 5J-17.050 thru 5J-17.052 F.A.C. pursuant to Section 472.027 F. S.

ARTURO R. TOIRAC P.S.M. 3102

Not valid without the signature and the original embossed seal of a Florida Licensed Surveyor and Mapper.

COMMUNITY NAME AND NUMBER: CITY OF MIAMI BEACH : 120651	PANEL NUMBER AND SUFFIX: 12086 C 0307 - L	FIRM PANEL EFFECTIVE DATE: 09 / 11 / 2009
COUNTY NAME: MIAMI DADE	FLOOD ZONE: AE	BASE FLOOD ELEVATION : 8'
STATE: FLORIDA		