

Mount Sinai

MEDICAL CENTER

Braman Cancer Center

4300 Alton Road
Miami Beach, Florida 33140

DRB22-0845
FINAL SUBMISSION
11 July 2022

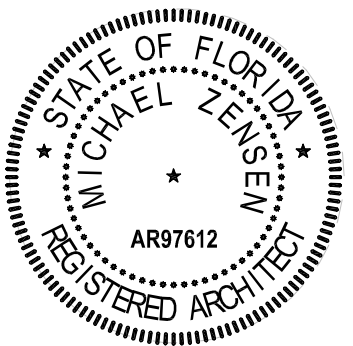
Mount Sinai
MEDICAL CENTER
Braman Cancer Center
CANNONDESIGN
ARCHITECT CORPORATION
CANNON FLORIDA INC.
AAC000314 8874

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Architecture

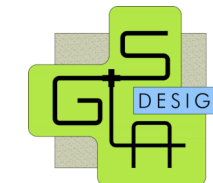
PART 1

DRAWING INDEX

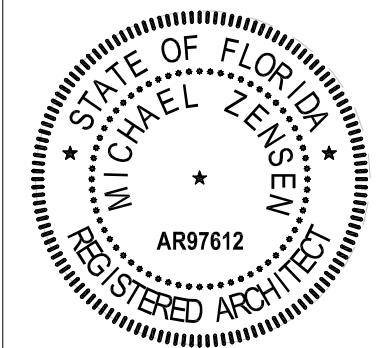
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A032	SURROUNDING CONTEXT
A033	EXTERIOR MATERIALS
A034	EXTERIOR ASSEMBLIES
A035	EXTERIOR ELEVATIONS NORTH & EAST
A036	EXTERIOR ELEVATIONS SOUTH & WEST
A037	BUILDING SECTION SECTIONS
A038	RENDERING LOOKING SOUTH TO DROP-OFF
A039	RENDERING LOOKING NORTHWEST
A040	RENDERING LOOKING SOUTHWEST
A041	RENDERING LOOKING NORTH TO HEALING GARDEN
A042	RENDERING AERIAL LOOKING NORTH-EAST
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Index

A001

USE :

EXISTING USE SURFACE PARKING
 PROPOSED USE BUSINESS/AMBULATORY CARE CANCER CENTER

NEW BUILDING GROSS AREA

LEVEL 1 58,905 S.F.
 LEVEL 2 47,706 S.F.
 LEVEL 3 49,045 S.F.
 LEVEL 4 38,094 S.F.
 LEVEL 5 24,596 S.F.
 217,716 S.F.

ITEM #	Project Information				
1	Address: 4300 Alton Road Miami Beach Florida 33140	Folio number(s):	02-3222-011-0360	Year built:	Multiple Buildings
2	Board file number(s), Determination of Architectural Significance:	DRB 22-0845		Lot Area:	2,315,133 Sq. Ft.
3	Located within a Local Historic District (Yes or No): No	Zoning District:	Hospital District HD	Lot width:	3096 Ft
4	Individual Historic Site (Yes or No):	No		Lot Depth:	1245 Ft
5	Base Flood Elevation:	8.00 Ft. NGVD	Grade value in NGVD:		6.26
6	Adjusted grade (BFE+Grade / 2):	6.275 Ft. NGVD	Free board:		4.55 FT
7	Proposed Use:	Business (Ambulatory Care) Cancer Center			
8	Proposed Accessory Use:	Surface Parking			
9	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan):	Refer to 2022-07-11-DRB22-0845-Part 2 -Landscape			
ZONING INFORMATION / CALCULATION		Required	Existing	Proposed	Deficiencies
13	Floor Area Ratio (FAR)	3	1.13	1.21	NA
14	Building Height	150 Ft. Max.	NA	98 Ft.	NA
15	At grade parking lot on the same lot	NA	754 Spaces	209 Spaces	NA
a	Front setbacks	25 Ft Min.	NA	80 Ft.	NA
b	Side interior setback	15 Ft. Min.	NA	305 Ft.	NA
c	Side facing street setback	15 Ft. Min.	NA	107 Ft.	NA
d	Rear setback	40 Ft. Min.	NA	82 Ft.	NA
16	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks	NA	NA	NA	NA
b	Side interior setback	NA	NA	NA	NA
c	Side facing street setback	NA	NA	NA	NA
d	Rear setback	NA	NA	NA	NA
17	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks	NA	NA	NA	NA
b	Side interior setback	NA	NA	NA	NA
c	Side facing street setback	NA	NA	NA	NA
d	Rear setback	NA	NA	NA	NA
18	Minimum Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction	NA	NA	NA	NA
b	Rehabilitated Buildings	NA	NA	NA	NA
c	Hotel Unit	NA	NA	NA	NA
19	Average Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction	NA	NA	NA	NA
b	Rehabilitated Buildings	NA	NA	NA	NA
c	Hotel Unit	NA	NA	NA	NA
20	Required Open-space ratio (RPS, CPS)	NA	NA	NA	NA
21	Parking	557	362	209	NA
22	Loading	3	NA	3	NA



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Project Zoning
 Summary

A002



OFFICE OF THE PROPERTY APPRAISER

Summary Report

Generated On : 4/13/2022

Property Information	
Folio:	02-3222-011-0360
Property Address:	4300 ALTON RD Miami Beach, FL 33140-2800
Owner	MOUNT SINAI MEDICAL CTR OF FL INC
Mailing Address	4300 ALTON RD 5TH FL MIAMI BEACH, FL 33140-2800
PA Primary Zone	9600 HOSPITALS
Primary Land Use	8543 HOSPITAL - GOVERNMENTAL : HEALTH CARE
Beds / Baths / Half	0 / 0 / 0
Floors	10
Living Units	0
Actual Area	Sq.Ft
Living Area	Sq.Ft
Adjusted Area	1,803,527 Sq.Ft
Lot Size	2,315,133 Sq.Ft
Year Built	Multiple (See Building Info.)



Taxable Value Information				
	2021	2020	2019	
County				
Exemption Value	\$153,864,613	\$153,420,507	\$165,701,982	
Taxable Value	\$17,096,068	\$17,046,723	\$18,411,331	
School Board				
Exemption Value	\$153,864,613	\$153,420,507	\$165,701,982	
Taxable Value	\$17,096,068	\$17,046,723	\$18,411,331	
City				
Exemption Value	\$153,864,613	\$153,420,507	\$165,701,982	
Taxable Value	\$17,096,068	\$17,046,723	\$18,411,331	
Regional				
Exemption Value	\$153,864,613	\$153,420,507	\$165,701,982	
Taxable Value	\$17,096,068	\$17,046,723	\$18,411,331	

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description
03/01/2006	\$0	24351-0386	Sales which are disqualified as a result of examination of the deed

Assessment Information			
Year	2021	2020	2019
Land Value	\$23,151,330	\$23,151,330	\$23,151,330
Building Value	\$143,048,613	\$142,552,936	\$156,210,754
XF Value	\$4,760,738	\$4,762,964	\$4,751,229
Market Value	\$170,960,681	\$170,467,230	\$184,113,313
Assessed Value	\$170,960,681	\$170,467,230	\$184,113,313

Benefits Information				
Benefit	Type	2021	2020	2019
Hosp and Nurs Homes	Exemption	\$153,864,613	\$153,420,507	\$165,701,982

Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).

Short Legal Description
22-27 53 42
NAUTILUS SUB PB 8-95
LOT 41 & JOHNS & COLLINS ISLAND &
SUBMERGED LAND PER OR 1825-497 &
1825-494 ALL LESS 36 ST CAUSEWAY

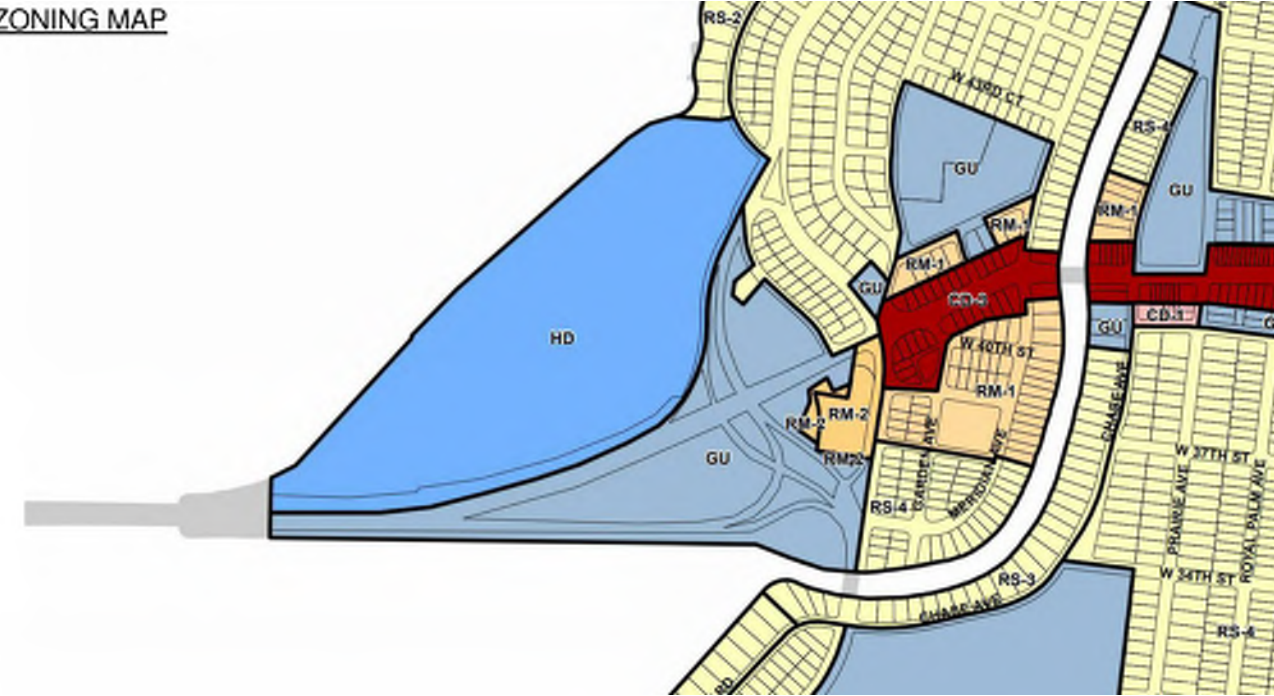
The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>

Version:

ZONING DISTRICTS

- RS-1 Single family residential
- CD-3 Commercial, high intensity
- RS-2 Single family residential
- I-1 Urban light industrial
- RS-3 Single family residential
- MXE Mixed use entertainment
- TH Townhome residential
- HD Hospital district
- RM-1 Residential multifamily, low intensity
- MR Marine recreational
- RM-2 Residential multifamily, medium intensity
- GU Civic and government use
- RM-3 Residential multifamily, high intensity
- CCC Convention center district
- CD-1 Commercial, low intensity
- RM-PRD Multifamily, planned residential development district
- CD-2 Commercial, medium intensity
- RM-PRD-2 Multifamily, planned residential development district
- WD-1 Waterway district

ZONING MAP



Mount Sinai
MEDICAL CENTER

Braman Cancer Center

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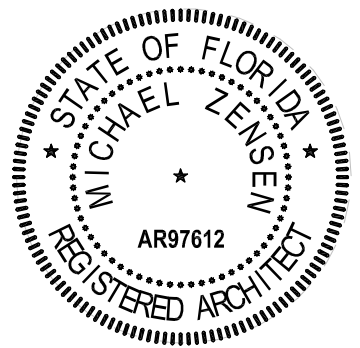
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Property
Summary Report

A002A

Key Tag	Building Name	Building GSF
1	Pearlman Research Institute	33,252
2	Retzky Energy Building	99,678
2A	Energy Center Expansion	2,682
3	Existing Comprehensive Cancer Care	59,500
4	Gumenic Ambulatory Surgical Center	39,000
6	Maribel Blum Pavilion	137,000
7	De Hirsch-Meyer Tower	303,399
8	Greenspan Pavilion	32,000
9	Medical Staff Office Pavilion	182,000
10	Simon M.O.B.	182,000
11	Existing Parking Garage	220,000
12	Ascher Building	38,000
13	Lowenstein Building	61,532
14	Golden MOB	100,000
15	Warner Pavilion	61,000
16 & 17	Orvitz Emergency Center & Radiology	108,000
18 & 19	Skolnick Surgical Tower & ED Expansion	343,713
20	Parking Garage	274,500
21	Proposed Parking Expansion	329,850
22	Day Care	11,092
23	Mater Academy Mobile Buildings	
	Portable Building 1	233
	Portable Building 2	1,050
	Portable Building 3	1,050
	Portable Building 4	1,050
	Portable Building 5	1,688
Total Existing Buildings		2,623,269
Total Campus Area		2,315,133
Floor Area Ratio		1.13
Floor Area Ratio Limit		3.00

2040 MIAMI BEACH COMPREHENSIVE PLAN

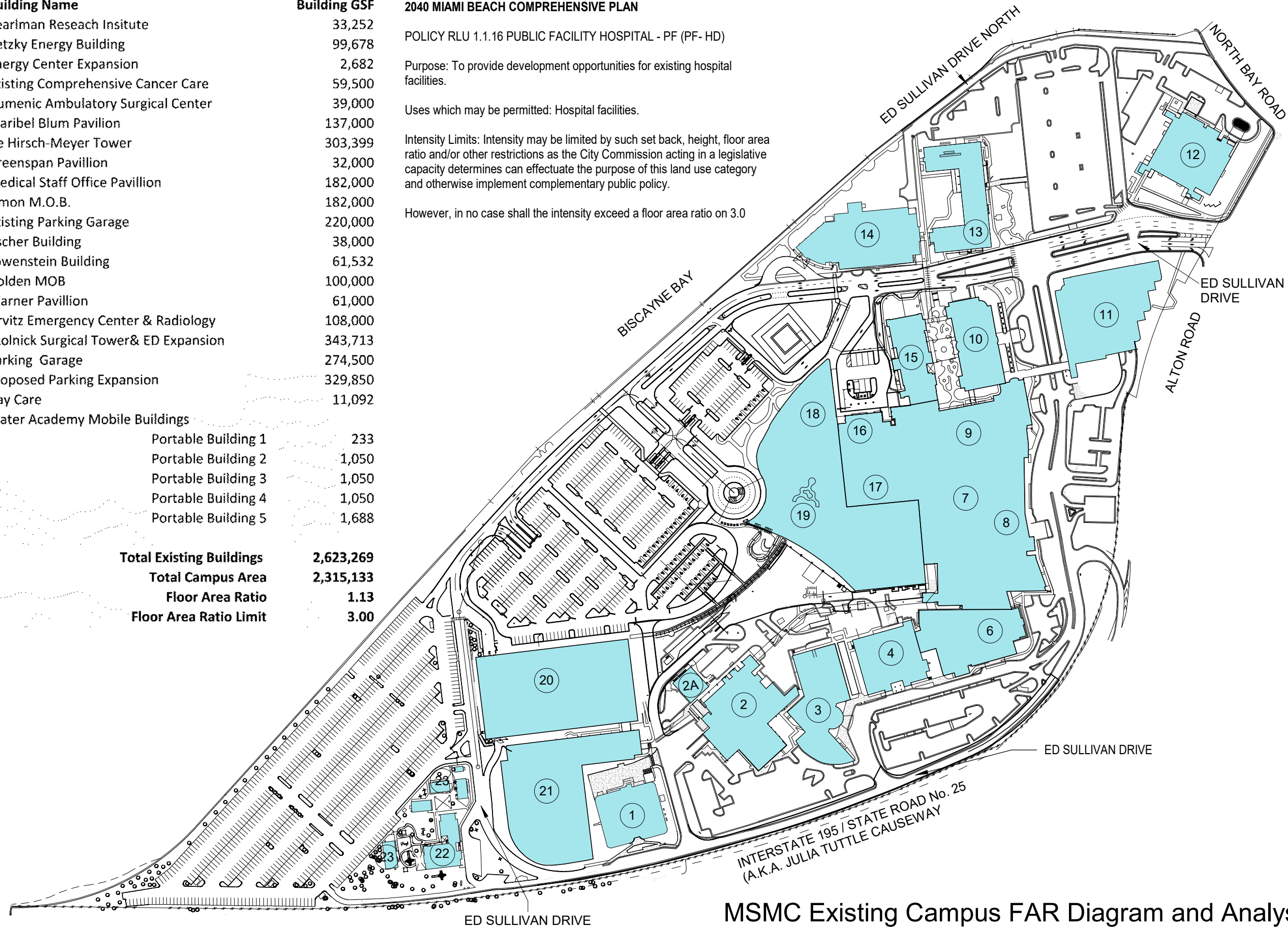
POLICY RLU 1.1.16 PUBLIC FACILITY HOSPITAL - PF (PF- HD)

Purpose: To provide development opportunities for existing hospital facilities.

Uses which may be permitted: Hospital facilities.

Intensity Limits: Intensity may be limited by such set back, height, floor area ratio and/or other restrictions as the City Commission acting in a legislative capacity determines can effectuate the purpose of this land use category and otherwise implement complementary public policy.

However, in no case shall the intensity exceed a floor area ratio on 3.0



Mount Sinai

MEDICAL CENTER

Braman Cancer Center

CANNON DESIGN

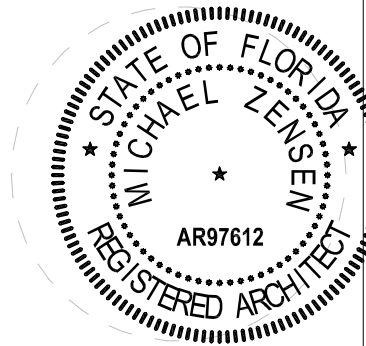
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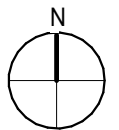
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0' 1320' 2640'

**EXISTING FAR
DIAGRAM**

MSMC Existing Campus FAR Diagram and Analysis

1 : 2640

A002B

Key Tag	Building Name	Building GSF
1	Pearlman Research Insitute	33,252
2	Retzky Energy Building	99,678
2A	Energy Center Expansion	2,682
3	Existing Comprehensive Cancer Care	59,500
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20	Parking Garage	274,500
21	Proposed Parking Expansion	329,850
22	Day Care	(11,092)
23	Mater Academy Mobile Buildings	
	Portable Building 1	(233)
	Portable Building 2	(1,050)
	Portable Building 3	(1,050)
	Portable Building 4	(1,050)
	Portable Building 5	(1,688)
Braman Cancer Center		217,716
Total Existing Buildings		2,808,659
Total Campus Area		2,315,133
Floor Area Ratio		1.21
Floor Area Ratio Limit		3.00

2040 MIAMI BEACH COMPREHENSIVE PLAN

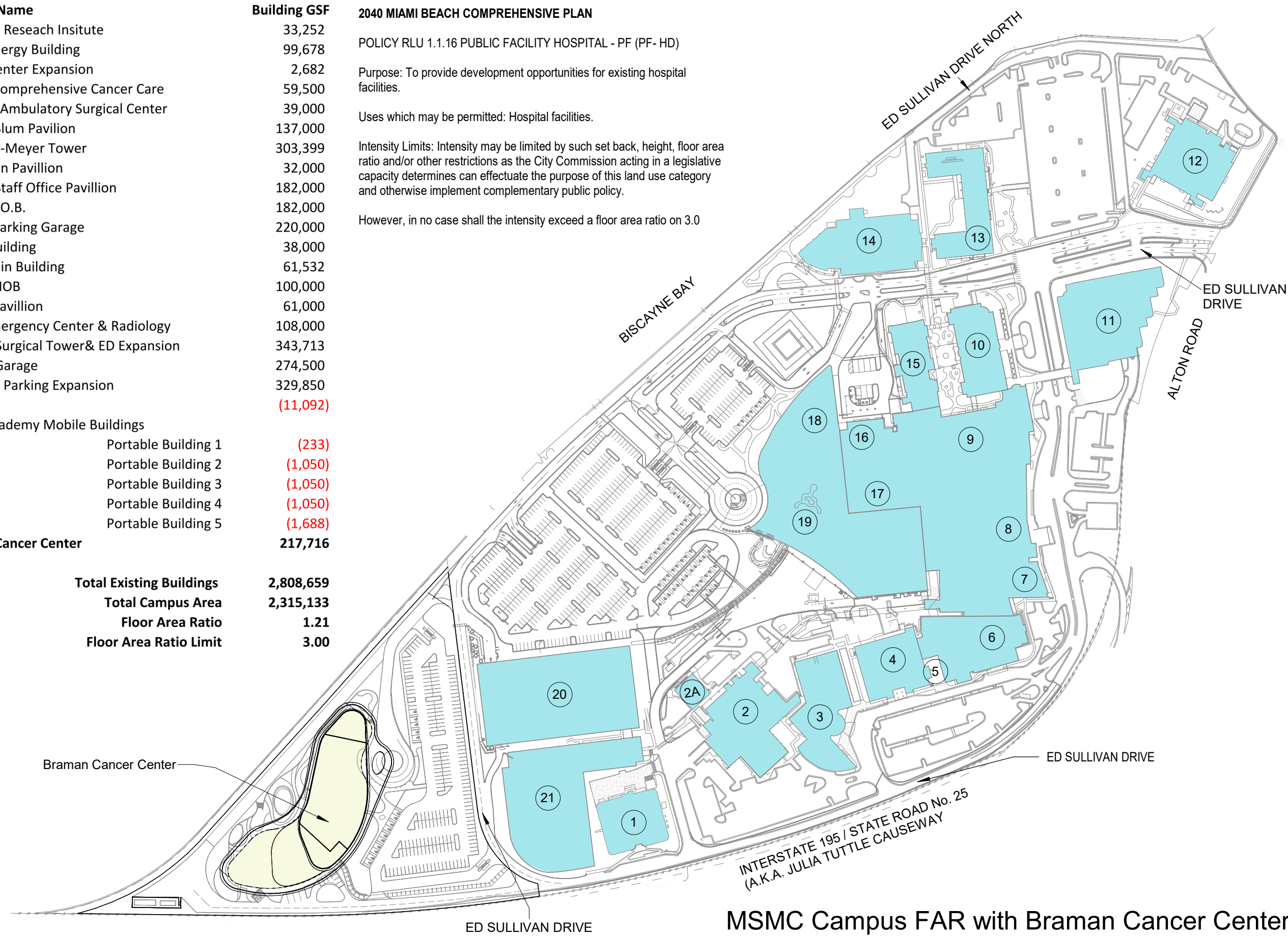
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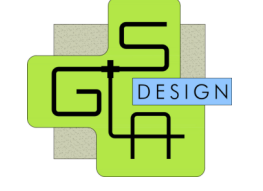
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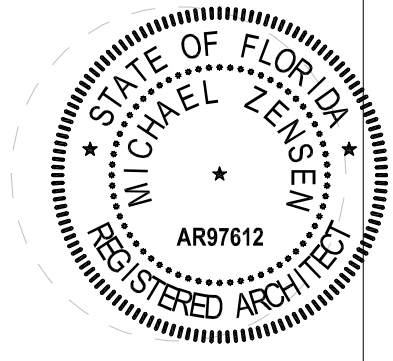


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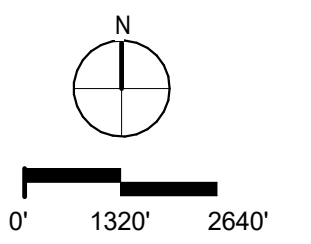
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MSMC Campus FAR with Braman Cancer Center

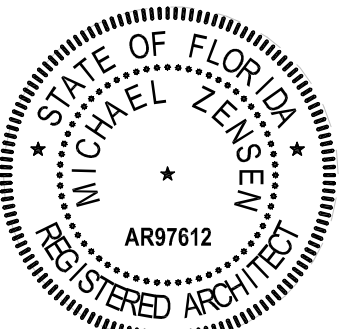
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NEW FAR
DIAGRAM

A002C



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Office Area - 3292 sq.ft.

Sheet A002D diagrams office area in the building as requested by a DRC comment. The parking load required for Office use is the same load required by clinic buildings 1/400 S.F. so there is no impact to parking.

LEVEL 02 - PHYSICIAN OFFICE AREA DIAGRAM

1" = 40'-0"

OFFICE AREA

A002D

CAMPUS PARKING ANALYSIS

Braman Cancer Center
Total Gross Building Area 222,794 Clinic 1/400 sqft = 557

	Walker Parking Study Pre-Skolnick Tower	Post Skolnick & South Garage	Post South Garage Expansion	Post Braman Cancer Center
		Regulatory Load from Walker Parking Study	South Garage # from MSMC Parking Study	
Delta Required/ Provided		370	1,128	14
Total Regulatory Requirement		3,383	3,383	3,940
Total Campus Parking	3,548	3,753	4,511	3,954
Project (s) Net Parking Impact	0	205	758	(557)
Main Garage	518			
Sullivan Drive Roadway	7			
Main Valet Drop-Off	8			
Lowenstein Lot	254			
Valet Lot 3	40			
Ascher Lot	62			
Golden Garage	487			
Golden Building Drive	5			
ED Lot	34	(34)		
MRI Main Lot Paid	52	(52)		
MRI Back Lot Paid	113	(113)		
Main Employee Lot	779	(779)		
Transformed and Segregated to South Parking Garage and Pearlman Research Lot during Skolnick Tower Project				
Annex Lot	668			(754)
School/Child Care Lot	12			(12)
PM Lot	225	(225)		
Vending Loading Dock	30			
Cancer Center Lot	98			
Cancer Center Valet Drive	7			
BAG Lot	83			
Valet Lot 1	15			
Valet Lot 2	18			
Physician Lot	33			
Skolnick Patient		411		
Research Lot		143	(143)	
ER Skolnick		89		
South Parking Garage		765	(28)	
South Parking Garage Expansion			929	
Cancer Center Surface Parking				209

The parking analysis above tracks changes in parking from a parking study commissioned in 2014 prior to the Skolnick Surgical Tower project. This study has been submitted as a supporting document along with documents from the projects that modified the parking as indicated above.

Parking Summary

Mount Sinai Medical Center is a Medical Campus. The regulatory parking load is fulfilled through distributed and shared parking campus wide. The increased regulatory load created by adding the Braman Cancer Center is addressed by expanding the existing South Garage and providing additional surface parking at the Braman Cancer Center.

The South Parking Garage Expansion will be completed prior to the construction of the Braman Cancer Center.

The South Garage expansion will provide 758 Net Additional Spaces to the Mount Sinai medical Center Campus. The Braman Cancer Center Surface Lot will provide 209 Spaces.

Sheet A002D diagrams office area in the building as requested by a DRC comment. The parking load required for Office use is the same as the general requirement for clinic buildings so there is no impact to regulatory parking load by having Physician Office in the cancer center.

Parking Requirements

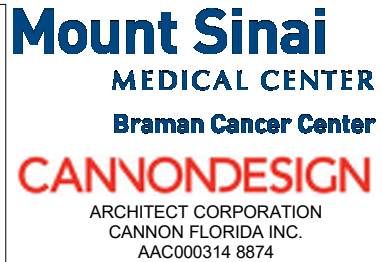
- A. Miami Beach Code of Ordinance Chapter 130 Off Street Parking
 - 1. For the purposes of establishing off-street parking requirements, the city shall be divided into the following parking districts:
 - a. Parking district no. 1. Parking district no. 1 is that area not included in parking districts nos. 2, 3, 4, 5, 6, and 7.
 - 2. Section 130-32 Off Street Parking Requirements for parking district no. 1
 - a. HD hospital districts: The following parking regulations shall apply to structures situated in the HD hospital district. The number of off-street parking spaces required for any structure shall be determined by the primary use of the structure in accordance with the requirements as follows:
 - 1) Offices and clinics as identified in subsections 142-452(2)g and h: One space per 400 square feet of floor area.
 - 3. 222,794 S.F. /400 S.F. = 557 required parking spaces
 - 4. 362 of the 557 required parking spaces are provided in the South Garage Expansion DRB-22-0793
- B. Required Accessible Spaces
 - 1. 210-300 total spaces requires 7 accessible spaces
- C. Section 33-122.5 Required Electric Vehicle Supply Equipment Spaces 2 % of the total number of spaces
 - 1. 209 x .02= 5 spaces
- D. Sec. 130-101. - Space requirements and location. Loading Spaces
 - For each office building, hospital or similar institutions, places of public assembly, or similar use, which has an aggregate floor area in square feet of:
 - c. Over 100,000 but not over 200,000: Three spaces.
 - d. For each additional 100,000 over 200,000: One space.

Campus Parking Summary

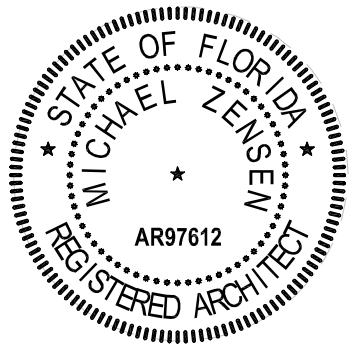
Parking Phasing	Required	Provided	Delta (Required-Provided)
Before South Parking Expansion	3,383	3,753	370
After South Parking Expansion	3,383	4,511	1,128
After Braman Cancer Center	3,940	3,954	14

Braman Cancer Center Surface Lot Summary

Spaces Type	Required	Provided	Delta (Required-Provided)
Typical Parking Space	195	209	14
Accessible Parking Spaces	7	15	0
Electric Vehicle Parking Spaces	5	5	0
Loading Spaces	3	3	0



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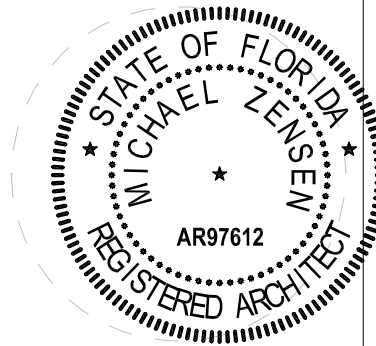
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PARKING SUMMARY

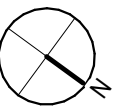
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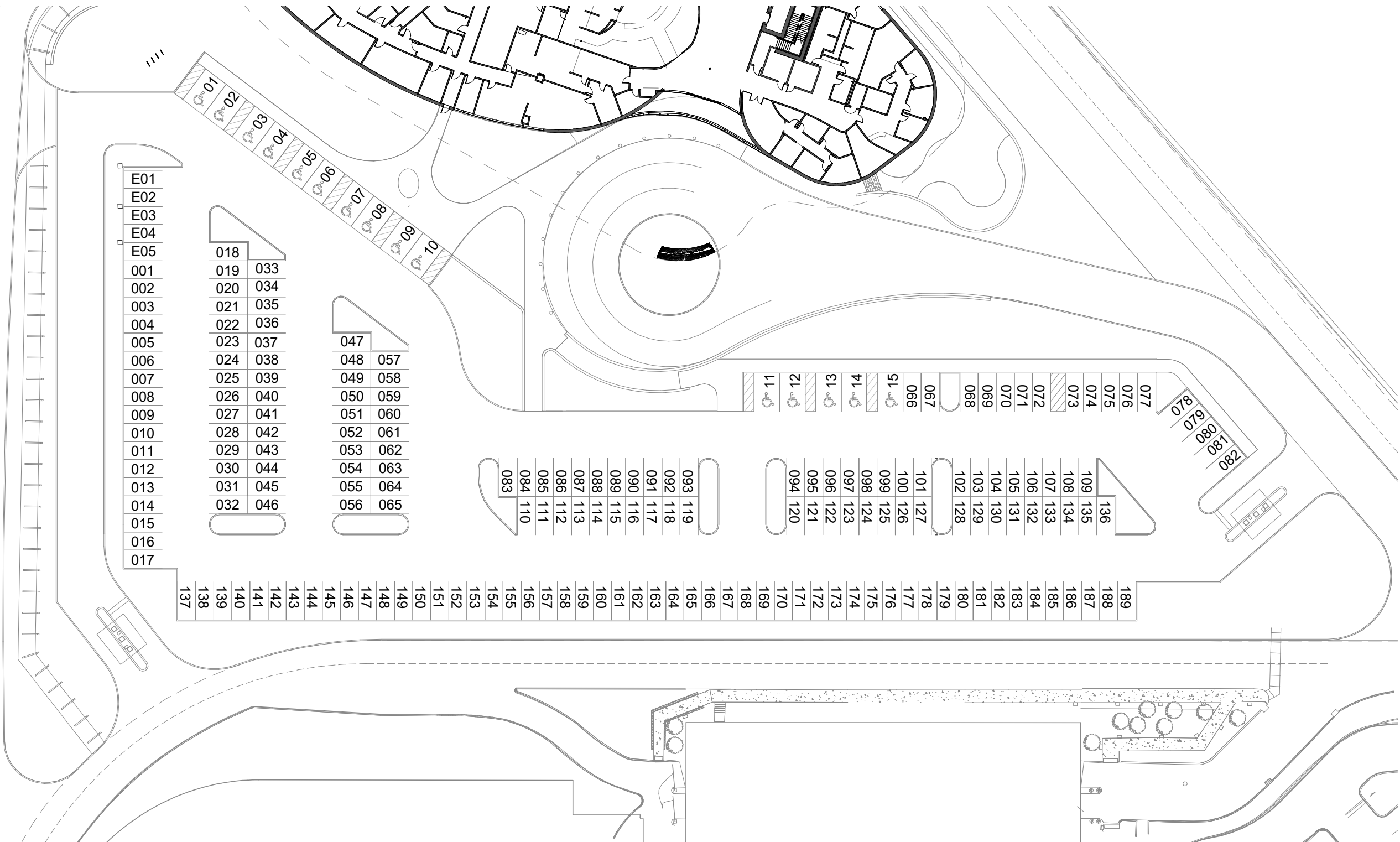
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0' 25' 50'

PARKING DISTRIBUTION

A002F



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1 **PARKING DISTRIBUTION**
 1" = 50'-0"

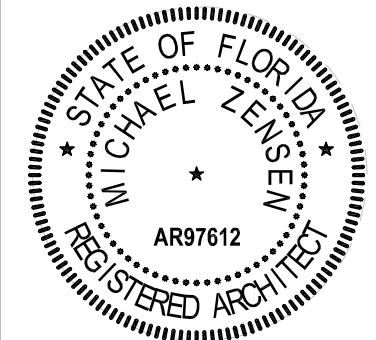


BRAMAN CANCER CENTER
SITE LOCATION
MOUNT SINAI MEDICAL
CENTER CAMPUS

Mount Sinai
MEDICAL CENTER
Braman Cancer Center
CANNON DESIGN
ARCHITECT CORPORATION
CANNON FLORIDA INC.
AAC000314 8874

TLC ENGINEERING SOLUTIONS
LANGAN
GSA DESIGN

DRB22-0845
Final Submission
11 July 2022



MICHAEL ZENSEN
ARCHITECT OF RECORD
AR97612

Location Plan

A003

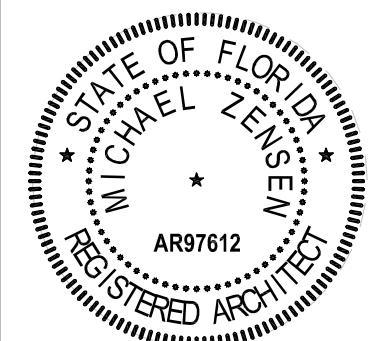


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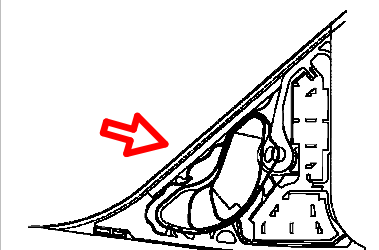
TLC ENGINEERING SOLUTIONS
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11 July 2022



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AR97612



VIEW KEY

Existing Site
Aerial View
Looking East

A004

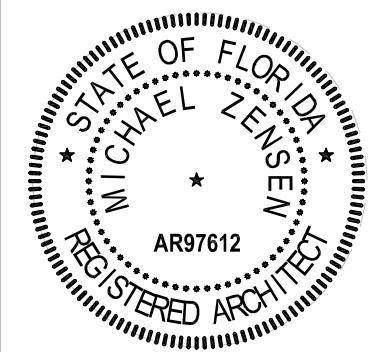


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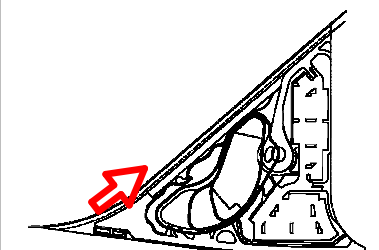
TLC ENGINEERING SOLUTIONS
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AR97612



VIEW KEY
Existing Site
Aerial View
Looking North

A005



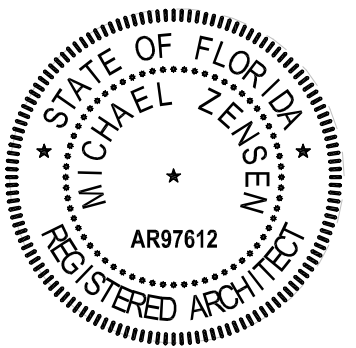
Mount Sinai
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Braman Cancer Center
CANNONDESIGN
ARCHITECT CORPORATION
CANNON FLORIDA INC.
AAC000314 8874

TLC ENGINEERING SOLUTIONS

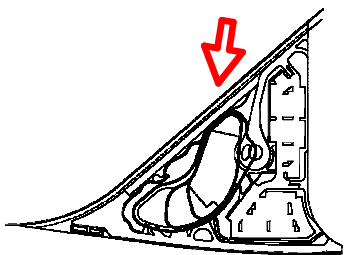
LANGAN



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Final Submission
11 July 2022



MICHAEL ZENSEN
ARCHITECT OF RECORD
AR97612



VIEW KEY

Existing Site
Aerial View
Looking South

A006

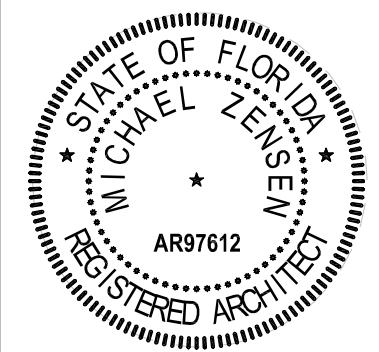


Mount Sinai
MEDICAL CENTER
Braman Cancer Center
CANNONDESIGN
ARCHITECT CORPORATION
CANNON FLORIDA INC.
AAC000314 8874

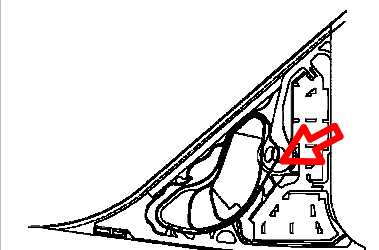
TLC ENGINEERING SOLUTIONS
LANGAN



DRB22-0845
Final Submission
11 July 2022



MICHAEL ZENSEN
ARCHITECT OF RECORD
AR97612



VIEW KEY

Existing Site
Aerial View
Looking
Southwest
A007

BOUNDARY AND TOPOGRAPHIC SURVEY

MOUNT SINAI MEDICAL CENTER, 4300 ALTON ROAD, MIAMI BEACH, FLORIDA.

SURVEYOR'S NOTES:

- THIS SITE IS A COMBINATION OF ISLANDS (COLLINS ISLAND, JOHN ISLAND), SUBDIVIDED LANDS (PORTIONS OF PLAT BOOK 8, PAGE 98 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, AND SOVEREIGNTY SUBMERGED LANDS.
- THE PURPOSE OF THIS SURVEY IS TO DETERMINE TOPOGRAPHIC INFORMATION OF A PORTION OF MOUNT SINAI MEDICAL CENTER- PARKING AREA, MIAMI BEACH, FL.
- BEARINGS AND COORDINATES SHOWN HEREON ARE RELATIVE TO THE STATE PLANE COORDINATES, FLORIDA EAST ZONE, NORTH AMERICAN DATUM (NAD) 1983 OF 2011 ADJUSTMENT.
- DIMENSIONS, ELEVATIONS, AND DIRECTIONS INDICATED HEREON ARE CALCULATED FROM FIELD MEASUREMENTS USING A TOTAL STATION ELECTRONIC DISTANCE MEASUREMENT (TSDM) LEVELING INSTRUMENT, AND MEASURING TAPE, UNLESS OTHERWISE NOTED.
- THE ACCURACY OF SURVEY MEASUREMENTS SHOWN HEREON IS BASED ON THE TYPE OF SURVEY AND EXPECTED USE OF THE SURVEY. REDUNDANT MEASUREMENTS AND COMPUTATION RECORDS SUBSTANTIATE THE SURVEY MAP. ACCURACY OF MEASUREMENTS WAS OBTAINED BY MULTIPLE OCCUPATIONS OF FOUND AND SET CONTROL POINTS. THESE METHODS HAVE BEEN TESTED BY REE AND FOUND TO HAVE AN EXPECTED ACCURACY OF ± 0.1 FEET HORIZONTALLY, ± 0.05 FEET VERTICALLY ON HORIZONTAL SURFACES AND ± 0.2 FEET ON VERTICAL SURFACES.
- ELEVATIONS SHOWN HEREON ARE BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAD 83), AND ARE REFERENCED TO THE FOLLOWING MIAMI-DADE COUNTY BENCHMARKS:
 - BM NAME: "MC 2104", ELEVATION=+1.61' (NAD83). FOUND PK NAIL & WASHER AT NE CORNER OF STORM DRAIN ON ALTON RD AT # 43 21.
 - BM NAME: "MC 2131", ELEVATION=+1.18' (NAD83). FOUND PK NAIL & WASHER IN CATCH BASIN AT SW CORNER OF BRIDGE ON ALTON RD AND CHASE AVE.
- UNDERGROUND UTILITIES SHOWN HEREON WERE MARKED BY INFRAMAP CORPORATION ON 07/21/2020 (INFRAMAP PROJECT NUMBER FF 2103) AND LOCATED BY BOSCAINE ENGINEERING.
- REFERENCE DOCUMENTS:
 - F.D.S.T. RIGHT-OF-WAY CONTROL SURVEY, STATE ROAD NO. 902, F.P. NO. 430444-1.
 - F.D.S.T. FIELD BOOK 61802 SR 112
 - F.D.S.T. FIELD BOOK 64308 PL 49 SR 112
 - F.D.S.T. PROJECT CONTROL, SR. 112 FPA20444-3-52-01
- FEMA FLOOD ZONE INFORMATION: COMMUNITY NUMBER: 120655, COMMUNITY NAME: CITY OF MIAMI, FLOOD ZONE: "A1", BASE FLOOD ELEVATION = 7 FEET, MAP NUMBER: 1206550006, AND 1206550113, MAP REVISED: SEPTEMBER 11, 2009.
- THIS IS NOT A MEAN HIGH WATER LINE SURVEY.
- ZONING INFORMATION: PER CITY OF MIAMI BEACH CODE OR ORDINANCES SECTION 142-452 THE MOUNT SINAI PROPERTY IS ZONED HO HOSPITAL DISTRICT.
- VISIBLE STRIPPED PARKING SPACES AND DESIGNATED HANDICAP SPACES WERE OBSERVED WITHIN THE SUBJECT PROPERTY AND ARE SHOWN HEREON. 754 PARKING SPACES.

LEGAL DESCRIPTION:

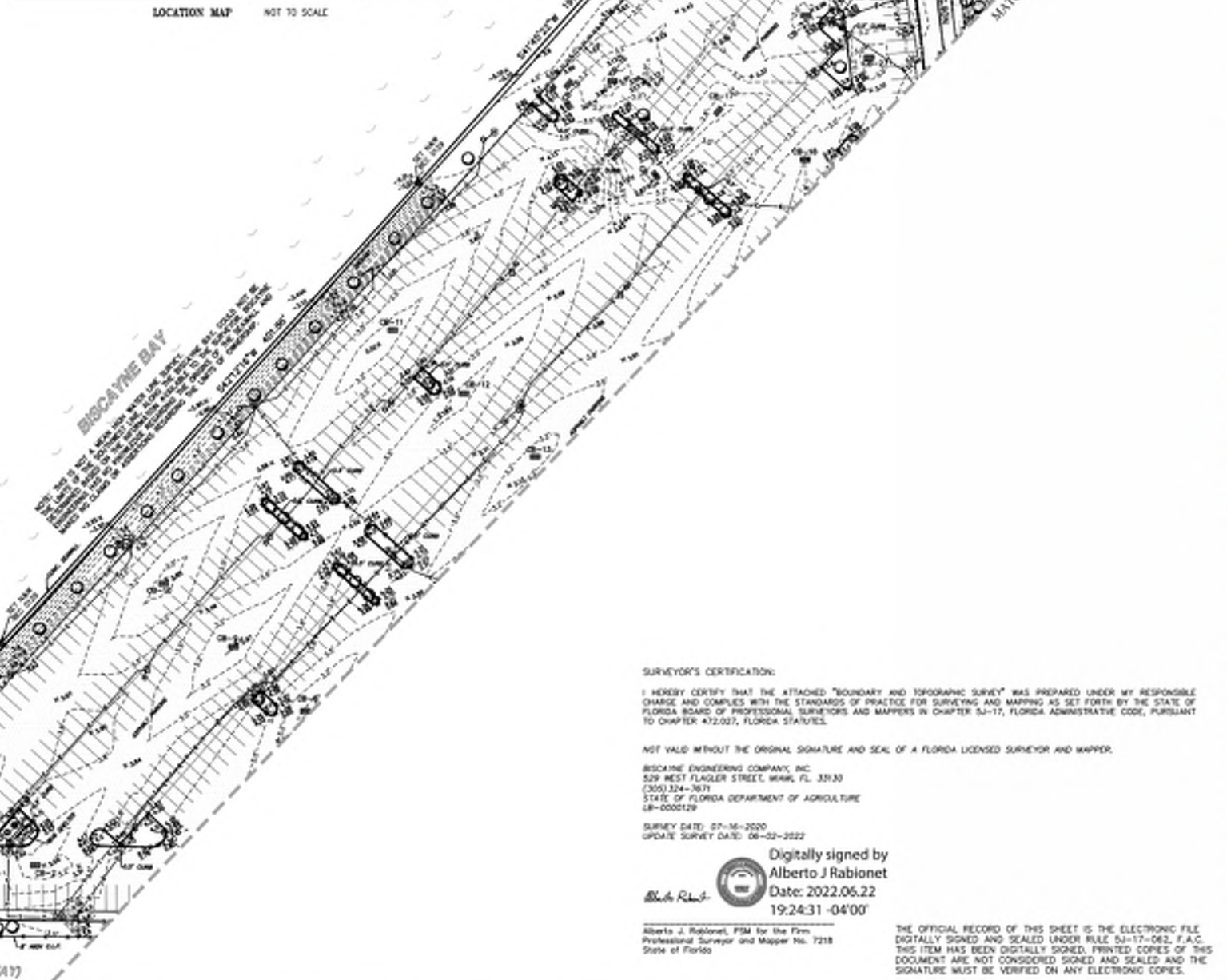
COMMENCE AT A POINT ON THE BASELINE OF SURVEY FOR STATE ROAD 112 (S-198) /JULIA TUTTLE CAUSEWAY AT BASELINE STATION 162+81.25 AS SHOWN ON SHEET 3 OF 7 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY CONTROL SURVEY FOR STATE ROAD 902 / ALTON ROAD, REFERENCE FINANCIAL PROJECT NO. 430444-1, SECTION NO. 87327-001, COMPLETED ON 06-16-2020, THENCE S86°27'04" E, ALONG SAID BASELINE, A DISTANCE OF 786.33 FEET TO BASELINE STATION 171+17.58; THENCE N07°22'34" E, DEPARTING SAID BASELINE, AT RIGHT ANGLES TO SAID BASELINE, A DISTANCE OF 262.49 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED PARCEL OF LAND; THENCE S01°22'36" W A DISTANCE OF 18.79 FEET; THENCE S80°22'37" W A DISTANCE OF 81.05 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHEAST, SAID CURVE HAVING FOR ITS ELEMENTS A RADIUS OF 187.00 FEET AND A CENTRAL ANGLE OF 80°29'21"; THENCE WESTERLY, NORTHWESTERLY AND NORTHERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 309.84 FEET TO THE POINT OF TANGENCY; THENCE N05°04'04" W A DISTANCE OF 80.70 FEET; THENCE N07°13'51" E A DISTANCE OF 2.48 FEET; THENCE NORTH 06°56'30" WEST FOR A DISTANCE OF 391.42 FEET; THENCE NORTH 17°19'39" EAST FOR A DISTANCE OF 164.52 FEET; THENCE NORTH 52°22'16" WEST FOR A DISTANCE OF 42.84 FEET TO THE WESTERLY FACE OF A CONCRETE SEAWALL; THE NEXT TWO COURSES ARE APPROXIMATELY ON THE EASTERLY FACE OF SAID CONCRETE SEAWALL: (1) THENCE SOUTH 42°32'46" WEST FOR A DISTANCE OF 246.26 FEET; (2) THENCE SOUTH 42°02'51" WEST FOR A DISTANCE OF 98.79 FEET; (3) THENCE SOUTH 46°45'22" WEST FOR A DISTANCE OF 181.58 FEET; (4) THENCE SOUTH 42°12'16" WEST FOR A DISTANCE OF 401.86 FEET TO A POINT OF CURVATURE FOR A NON-TANGENT CIRCULAR CURVE CONCAVE TO THE NORTHWEST AND HAVING FOR ITS ELEMENTS A RADIUS OF 553.88 FEET AND A CENTRAL ANGLE OF 42°32'46"; THENCE SOUTH 47°27'37" WEST FROM SAID POINT; (5) THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 404.80 FEET TO A POINT OF NON-TANGENCY WITH SAID LIMITED ACCESS RIGHT OF WAY LINE FOR THE JULIA TUTTLE CAUSEWAY AS SHOWN ON SAID FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY CONTROL SURVEY, FOR STATE ROAD NO. 902, SECTION 87327-001, FINANCIAL PROJECT (F.P.) NO. 430444-1, THE NEXT TWO COURSES ARE ALONG SAID LIMITED ACCESS RIGHT OF WAY LINE FOR THE JULIA TUTTLE CAUSEWAY: (1) THENCE SOUTH 89°19'17" EAST, FOR A DISTANCE OF 520.16 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTH AND HAVING FOR ITS ELEMENTS A RADIUS OF 3103.72 AND A CENTRAL ANGLE OF 12°29'11"; (2) THENCE NORTHEASTERLY THROUGH AN ARC DISTANCE OF 786.03 FEET TO THE POINT OF BEGINNING.

LEGEND:

LEGEND	ABBREVIATIONS:
POST	B.E.C. = BOSCAINE ENGINEERING COMPANY
STAY PIPE	CONC. = CONCRETE
BRUSH CAN	C&G = G.I.T. CURB AND GUTTER
WATER MOUNTAIN	(C) = CALCULATED FROM FIELD MEASUREMENTS
COMMUNICATION BOX	(M) = MEASURED
ELECTRIC BOX	ED = EDGE OF DRIVEWAY
ELECTRIC OUTLET	PC = POINT OF CURVATURE
BOX	P.O.B. = POINT OF BEGINNING
TRANSFORMER	P.O.C. = POINT OF COMMENCEMENT
CABLE TV SERVICES BOX	PT = POINT OF TANGENCY
MET PULL BOX	PL = PROPERTY LINE
WATER VALVE	R/W = RIGHT-OF-WAY
WATER METER	SR = SIDEWALK
LIGHT POLE	C = CENTER LINE
FIRE HYDRANT	E = BASE LINE
TELEPHONE MANHOLE	T.B.M. = TEMPORARY BENCHMARK
FLAG	F.F. = FINISH FLOOR
NET	N&W = NAIL AND WASHER
BENCH	NODS = NATIONAL GEODETIC HERALD DATUM OF 1929
HO PARKING	CB = CATCH BASINS
TEMPORARY BENCHMARK	C.B.S. = CONCRETE BLOCK AND STUCCO
WEL	ELEV. = ELEVATION
MANHOLE BRANCH	M&D = MARBLE DRAINAGE
CATCH BASIN	T.B.M. = TEMPORARY BENCHMARK
PUMP STATION	C.L.F. = CHAIN LINK FENCE
TELEPHONE	CHM = CHAIN MARK
	NAVD83 = NORTH AMERICAN VERTICAL DATUM OF 1988
	STA. = STATION
	PVC = POLYVINYL CHLORIDE
	R = RADIO
	Δ = DELTA

LINE AND HATCH TYPES:

2" O.M.	CONCRETE
CHALKING	CHALKING
WATER UNDERGROUND LINE	CHAIN LINK FENCE
ELECTRIC UNDERGROUND LINE	LIMITED ACCESS
TELEPHONE UNDERGROUND LINE	CONTOUR LINE
ADPHALT	ADPHALT
CONCRETE SURFACE	CONCRETE SURFACE
TYPICAL PAINT STRIPING	TYPICAL PAINT STRIPING



BISCAYNE ENGINEERING SURVEYORS - ENGINEERS PLANNERS
 SINCE 1958
 529 WEST FLAGLER STREET, MIAMI, FL 33138
 TEL: (305) 324-7671 FAX: (305) 324-8890
 480 NW 25TH ST., BOCA RATON, FL 33431
 TEL: (561) 999-2339
 E-MAIL: INFO@BISCAYNEENGINEERING.COM
 WEB: WWW.BISCAYNEENGINEERING.COM

SURVEYOR'S CERTIFICATION:
 I HEREBY CERTIFY THAT THE ATTACHED "BOUNDARY AND TOPOGRAPHIC SURVEY" WAS PREPARED UNDER MY RESPONSIBLE CHARGE AND COMPLIES WITH THE STANDARDS OF PRACTICE FOR SURVEYING AND MAPPING AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5A-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO CHAPTER 472.007, FLORIDA STATUTES.
 NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 BISCAYNE ENGINEERING COMPANY, INC.
 529 WEST FLAGLER STREET, MIAMI, FL 33138
 (305) 324-7671
 STATE OF FLORIDA DEPARTMENT OF AGRICULTURE
 48-0000129
 SURVEY DATE: 07-16-2020
 UPDATE SURVEY DATE: 06-22-2022
 Digitally signed by Alberto J Rablonet
 Date: 2022.06.22 19:24:31 -04'00'
 Alberto J. Rablonet, PSM for the Firm
 Professional Surveyor and Mapper No. 7218
 State of Florida
 THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 5A-17-062, F.A.C. THIS ITEM HAS BEEN DIGITALLY SIGNED, PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Mount Sinai
 MEDICAL CENTER
 Braman Cancer Center
CANNONDESIGN
 ARCHITECT CORPORATION
 CANNON FLORIDA INC.
 AAC000314 8874

TLC ENGINEERING SOLUTIONS
LANGAN
GS&A DESIGN

DRB22-0845
 Final Submission
 11 July 2022

 MICHAEL ZENSEN
 ARCHITECT OF RECORD
 AR97612

Boundary Survey
 A008A

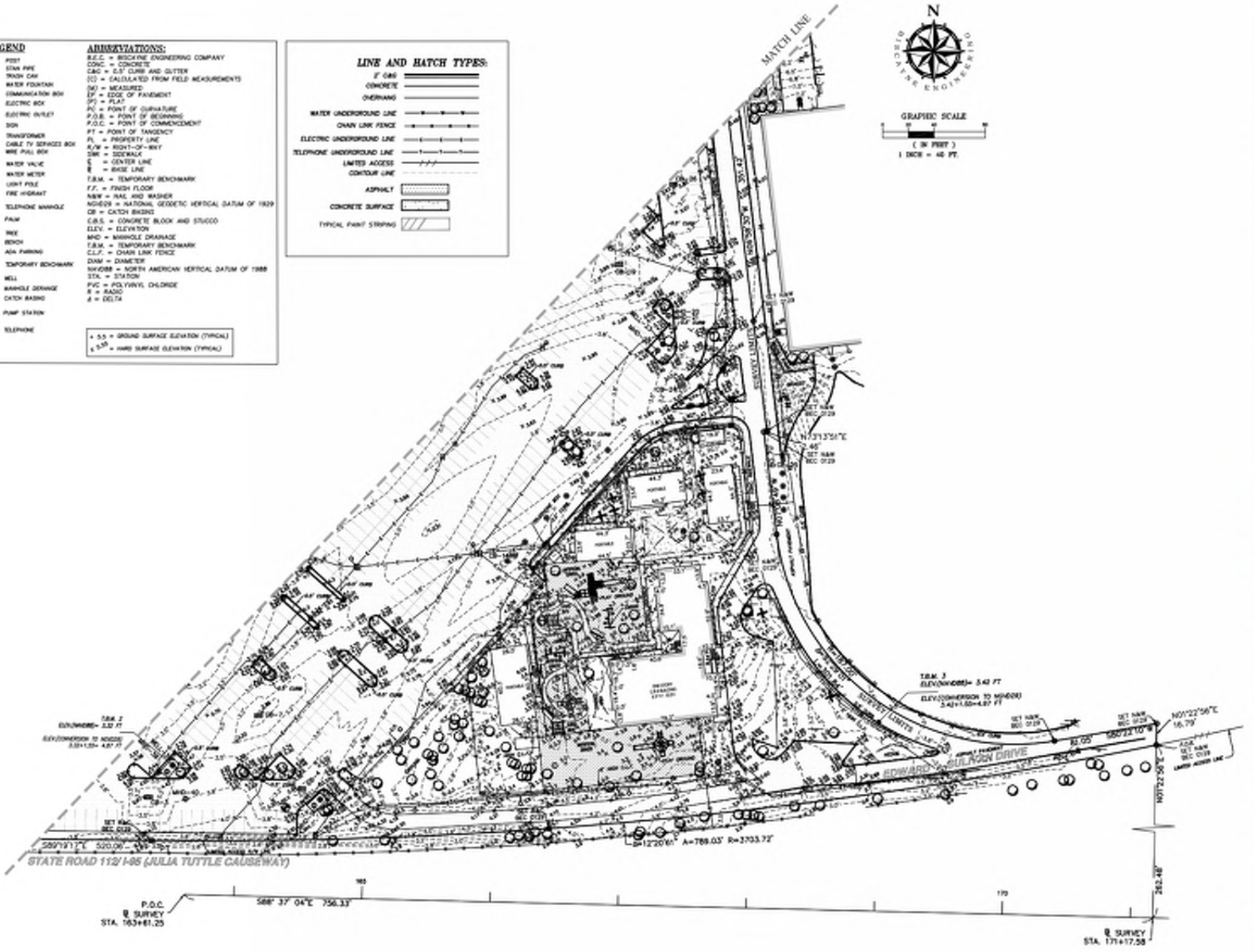
BOUNDARY AND TOPOGRAPHIC SURVEY

MOUNT SINAI MEDICAL CENTER, 4300 ALTON ROAD, MIAMI BEACH, FLORIDA.

STRUCTURE NUMBER	MM ELEV (FEET)	INVERT ELEV (FEET)	TYPE (DMS)	MATERIAL	DIRECTION
CB-1	2.98	-2.08	15	PVC	EAST
CB-2	3.04	-2.04	15	PVC	NORTHWEST
CB-3	2.94	-2.11	15	PVC	EAST
CB-4	2.90	-2.26	15	PVC	NORTH
WH-1	4.36	-4.36	15	PVC	NORTH
WELL-4	4.90	-4.71	15	PVC	BOTTOM
CB-5	2.90	-2.24	15	PVC	NORTHWEST
CB-6	2.88	-2.24	15	PVC	EAST
CB-7	2.90	-2.24	15	PVC	NORTHWEST
CB-8	2.90	-2.24	15	PVC	NORTH
CB-9	2.96	-2.24	15	PVC	SOUTH
CB-10	2.88	-2.24	15	PVC	SOUTHWEST
CB-11	3.04	-2.24	15	PVC	BOTTOM
CB-12	3.08	-2.24	15	PVC	EAST
CB-13	3.00	-2.24	15	PVC	NORTH
CB-14	3.18	-2.24	15	PVC	NORTH
CB-15	3.34	-2.24	15	PVC	SOUTH
CB-16	2.90	-2.24	15	PVC	NORTHWEST
CB-17	2.80	-2.24	15	PVC	SOUTHWEST
CB-18	2.72	-2.24	15	PVC	BOTTOM
CB-19					NOT ACCESSIBLE
WH-20	4.90	-4.71	15	PVC	NORTH
WH-21	5.00	-4.71	15	PVC	SOUTH
WH-22	4.80	-4.71	15	PVC	SOUTH
WELL-23	5.54	-4.71	15	PVC	BOTTOM
CB-24	2.87	-2.24	15	PVC	NORTH
CB-25	3.77	-2.24	15	PVC	BOTTOM
CB-26	2.80	-2.24	15	PVC	EAST
CB-27	2.77	-2.24	15	PVC	BOTTOM
CB-28	2.70	-2.24	15	PVC	NORTHWEST
CB-29	2.72	-2.24	15	PVC	EAST
CB-30	3.36	-2.24	15	PVC	BOTTOM
CB-31	3.08	-2.24	15	PVC	NORTH
CB-32	3.78	-2.24	15	PVC	NORTHWEST
CB-33	2.80	-2.24	15	PVC	SOUTH
WH-34	5.30	-4.71	15	PVC	NORTH
WH-35	5.29	-4.71	15	PVC	BOTTOM
WH-36	4.90	-4.71	15	PVC	NORTH
WELL-37	4.91	-4.71	15	PVC	BOTTOM
WH-38	4.99	-4.71	15	PVC	NORTH
WELL-39	5.90	-4.71	15	PVC	BOTTOM
WH-40	5.80	-4.71	15	PVC	WEST
WH-41	5.80	-4.71	15	PVC	BOTTOM
WH-42	5.80	-4.71	15	PVC	EAST
WH-43	5.80	-4.71	15	PVC	SOUTH
WH-44	5.80	-4.71	15	PVC	BOTTOM
WH-45	5.80	-4.71	15	PVC	EAST
WH-46	5.80	-4.71	15	PVC	SOUTH
WH-47	5.80	-4.71	15	PVC	BOTTOM
WH-48	5.80	-4.71	15	PVC	EAST
WH-49	5.80	-4.71	15	PVC	SOUTH
WH-50	5.80	-4.71	15	PVC	BOTTOM
WH-51	5.80	-4.71	15	PVC	EAST
WH-52	5.80	-4.71	15	PVC	SOUTH
WH-53	5.80	-4.71	15	PVC	BOTTOM
WH-54	5.80	-4.71	15	PVC	EAST
WH-55	5.80	-4.71	15	PVC	SOUTH
WH-56	5.80	-4.71	15	PVC	BOTTOM
WH-57	5.80	-4.71	15	PVC	EAST
WH-58	5.80	-4.71	15	PVC	SOUTH
WH-59	5.80	-4.71	15	PVC	BOTTOM
WH-60	5.80	-4.71	15	PVC	EAST
WH-61	5.80	-4.71	15	PVC	SOUTH
WH-62	5.80	-4.71	15	PVC	BOTTOM
WH-63	5.80	-4.71	15	PVC	EAST
WH-64	5.80	-4.71	15	PVC	SOUTH
WH-65	5.80	-4.71	15	PVC	BOTTOM
WH-66	5.80	-4.71	15	PVC	EAST
WH-67	5.80	-4.71	15	PVC	SOUTH
WH-68	5.80	-4.71	15	PVC	BOTTOM
WH-69	5.80	-4.71	15	PVC	EAST
WH-70	5.80	-4.71	15	PVC	SOUTH
WH-71	5.80	-4.71	15	PVC	BOTTOM
WH-72	5.80	-4.71	15	PVC	EAST
WH-73	5.80	-4.71	15	PVC	SOUTH
WH-74	5.80	-4.71	15	PVC	BOTTOM
WH-75	5.80	-4.71	15	PVC	EAST
WH-76	5.80	-4.71	15	PVC	SOUTH
WH-77	5.80	-4.71	15	PVC	BOTTOM
WH-78	5.80	-4.71	15	PVC	EAST
WH-79	5.80	-4.71	15	PVC	SOUTH
WH-80	5.80	-4.71	15	PVC	BOTTOM
WH-81	5.80	-4.71	15	PVC	EAST
WH-82	5.80	-4.71	15	PVC	SOUTH
WH-83	5.80	-4.71	15	PVC	BOTTOM
WH-84	5.80	-4.71	15	PVC	EAST
WH-85	5.80	-4.71	15	PVC	SOUTH
WH-86	5.80	-4.71	15	PVC	BOTTOM
WH-87	5.80	-4.71	15	PVC	EAST
WH-88	5.80	-4.71	15	PVC	SOUTH
WH-89	5.80	-4.71	15	PVC	BOTTOM
WH-90	5.80	-4.71	15	PVC	EAST
WH-91	5.80	-4.71	15	PVC	SOUTH
WH-92	5.80	-4.71	15	PVC	BOTTOM
WH-93	5.80	-4.71	15	PVC	EAST
WH-94	5.80	-4.71	15	PVC	SOUTH
WH-95	5.80	-4.71	15	PVC	BOTTOM
WH-96	5.80	-4.71	15	PVC	EAST
WH-97	5.80	-4.71	15	PVC	SOUTH
WH-98	5.80	-4.71	15	PVC	BOTTOM
WH-99	5.80	-4.71	15	PVC	EAST
WH-100	5.80	-4.71	15	PVC	SOUTH

- LEGEND**
- POST
 - IRON PIPE
 - WASH CAP
 - WATER FOUNTAIN
 - IRRIGATION BOX
 - ELECTRIC BOX
 - ELECTRIC INLET
 - BOX
 - TRANSFORMER
 - CABLE TV SERVICE BOX
 - WIRE PULL BOX
 - WATER VALVE
 - WATER METER
 - LIGHT POLE
 - FIRE HYDRANT
 - TELEPHONE MANHOLE
 - PAVING
 - NEW
 - BENCH
 - ADA PARKING
 - TEMPORARY BENCHMARK
 - WELL
 - MANHOLE DRAINAGE
 - CATCH BASIN
 - PUMP STATION
 - TELEPHONE
- ABBREVIATIONS:**
- B.E.C. = BICKNE ENGINEERING COMPANY
 - CONC. = CONCRETE
 - CAC = C&S CURB AND GUTTER
 - CG = CALCULATED FROM FIELD MEASUREMENTS
 - ME = MEASURED
 - EF = EDGE OF PAVEMENT
 - PL = POINT
 - P.O. = POINT OF CURVATURE
 - P.O.B. = POINT OF BEGINNING
 - P.O.C. = POINT OF COMMENCEMENT
 - P.T. = POINT OF TANGENCY
 - PL = PROPERTY LINE
 - S.M. = SIDEWALK
 - E = CENTER LINE
 - R = RADIUS LINE
 - T.B.M. = TEMPORARY BENCHMARK
 - F.F. = FINISH FLOOR
 - NAD83 = NATIONAL GEODETIC DATUM OF 1983
 - CG = CATCH BASIN
 - C.B.S. = CONCRETE BLOCK AND STUCCO
 - ELEV. = ELEVATION
 - M.D. = MANHOLE DRAINAGE
 - T.B.M. = TEMPORARY BENCHMARK
 - C.L.F. = CHAIN LINK FENCE
 - DAM = DIAMETER
 - NAD83 = NORTH AMERICAN DATUM OF 1983
 - STA. = STATION
 - PVC = POLYVINYL CHLORIDE
 - R = RADIUS
 - Δ = DELTA
- ± 5.5' = GROUND SURFACE ELEVATION (TYPICAL)
± 5.5' = HARD SURFACE ELEVATION (TYPICAL)

- LINE AND HATCH TYPES:**
- IF GAS
 - CONCRETE
 - OVERHANG
 - WATER UNDERGROUND LINE
 - CHAIN LINK FENCE
 - ELECTRIC UNDERGROUND LINE
 - TELEPHONE UNDERGROUND LINE
 - LIMITED ACCESS
 - CONTOUR LINE
 - ASPHALT
 - CONCRETE SURFACE
 - TYPICAL PAINT STRIPING



BISCAYNE ENGINEERING PLANNERS
 SURVEYORS - ENGINEERS
 SINCE 1888

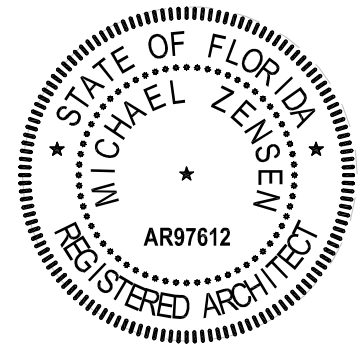
BOUNDARY TOPOGRAPHIC SURVEY
 FOR: Mount Sinai Medical Center
 SCALE: 1" = 40'-0" DRAWN BY: R.C./D.B. CHECKED BY: S.B./A.L.
 DATE: 08-23-22 APPROVED BY: S.B./A.L. P.E. (FL) F.B./P.O.

ORDER NO. 03-87140
 SHEET NO. 2 OF 2

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 Braman Cancer Center
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 ARCHITECT CORPORATION
 CANNON FLORIDA INC.
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LANGAN
 GS DESIGN

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 AR97612

Boundary Survey

A008B

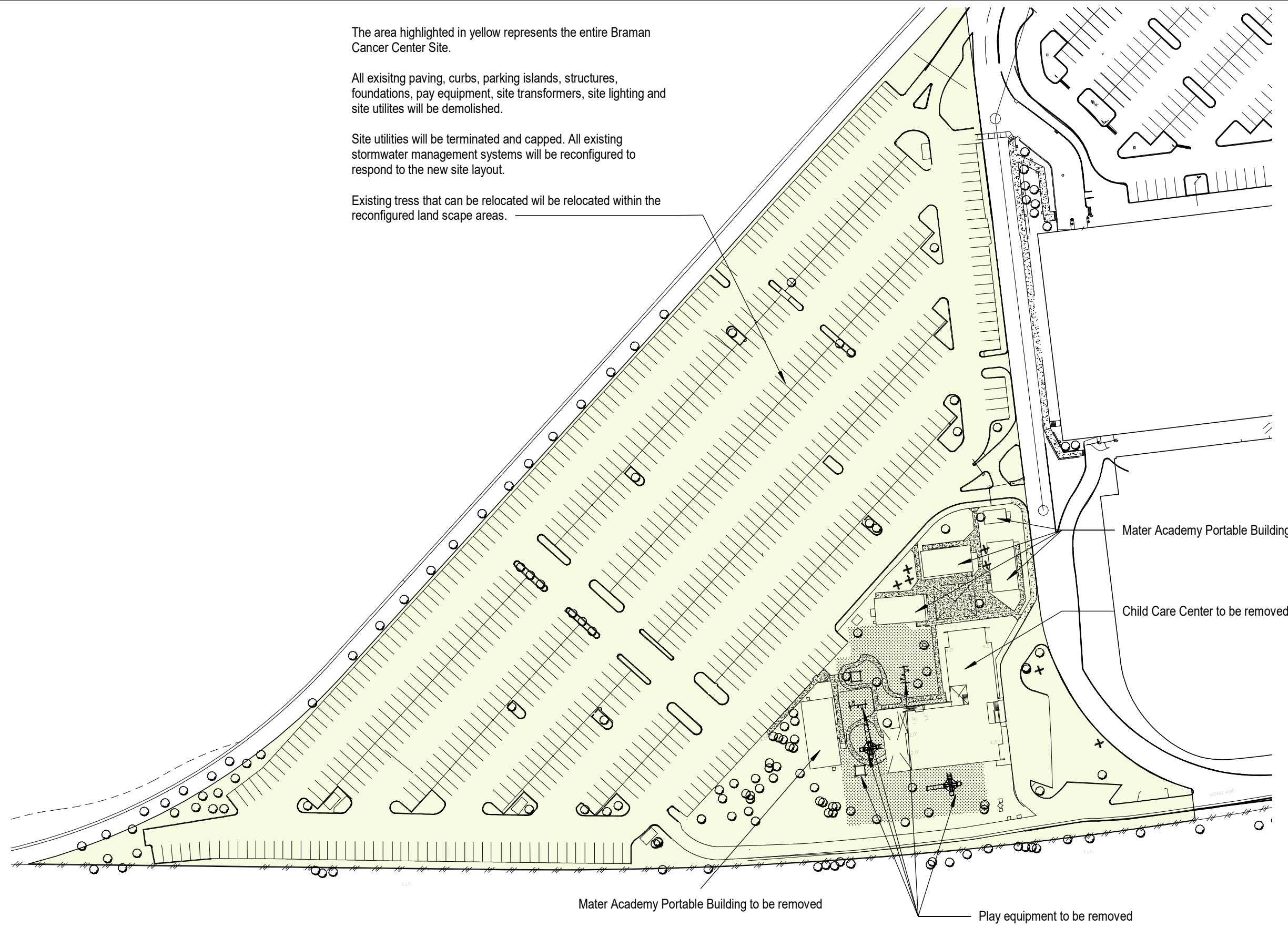
DC-6251

The area highlighted in yellow represents the entire Braman Cancer Center Site.

All existing paving, curbs, parking islands, structures, foundations, pay equipment, site transformers, site lighting and site utilities will be demolished.

Site utilities will be terminated and capped. All existing stormwater management systems will be reconfigured to respond to the new site layout.

Existing trees that can be relocated will be relocated within the reconfigured landscape areas.



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Braman Cancer Center

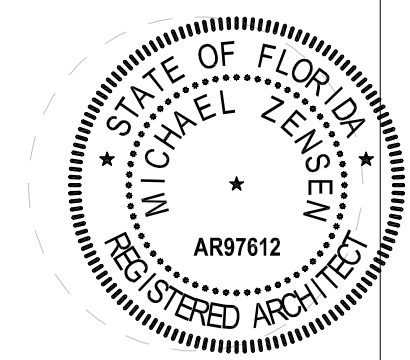
CANNONDESIGN
 ARCHITECT CORPORATION
 CANNON FLORIDA INC.
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TLC ENGINEERING SOLUTIONS

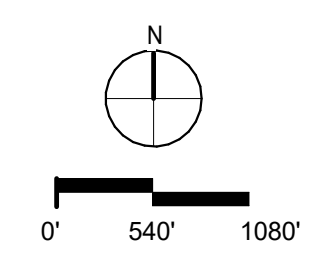
LANGAN

GS DESIGN

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 NU AR97612



SITE DEMOLITION

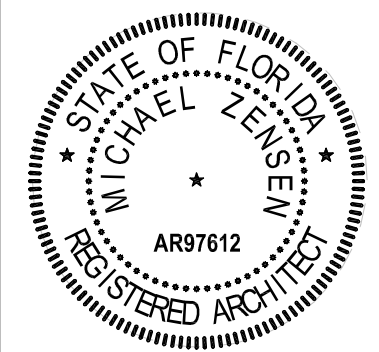
A009

Existing Site Demolition

1 : 1080



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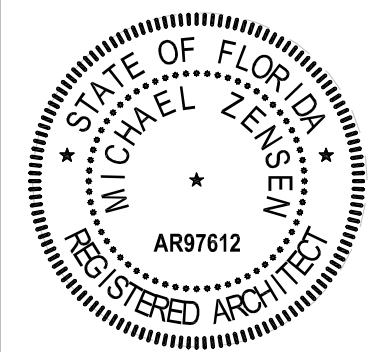


Views from I-95
Heading West

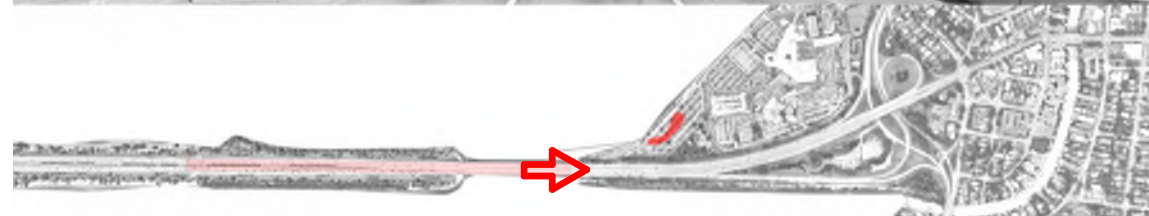
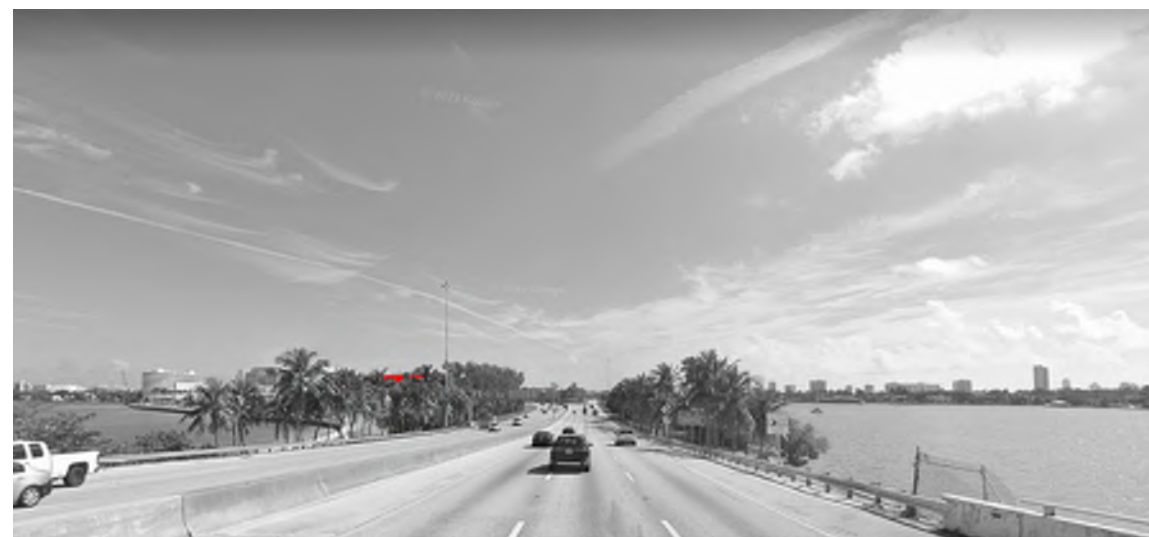
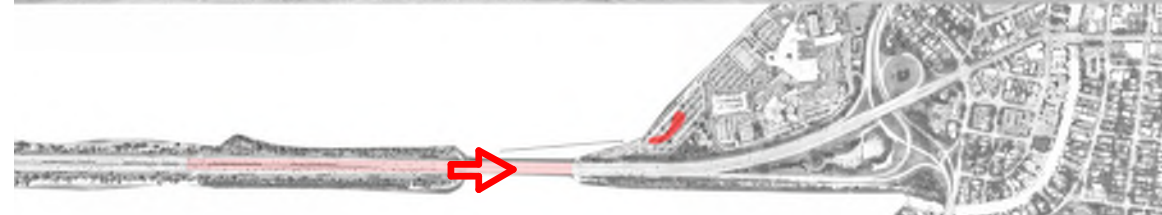
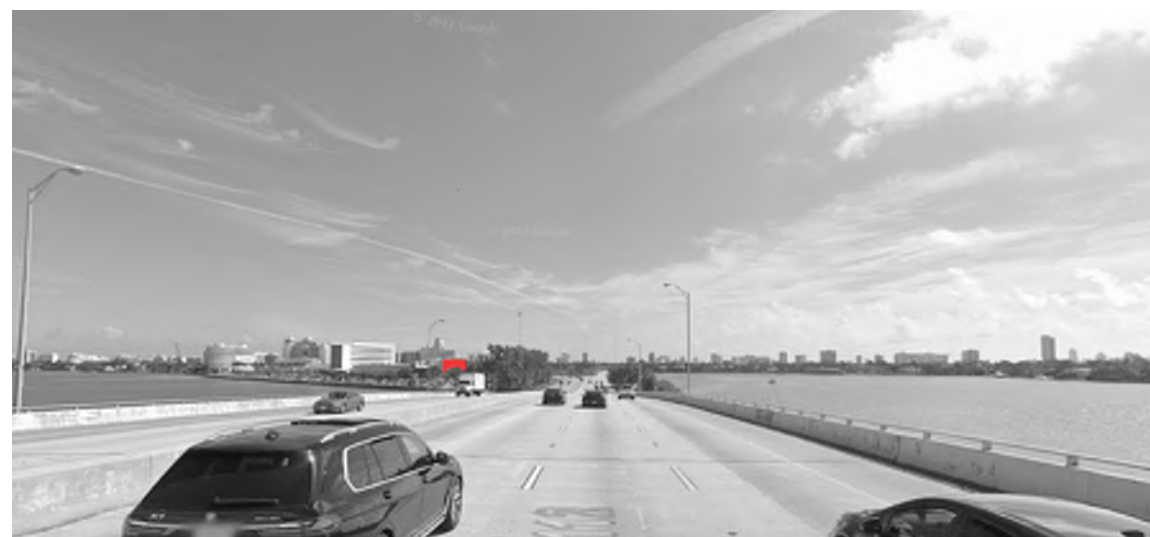
A010



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Views from I-95
 Heading East

A010A

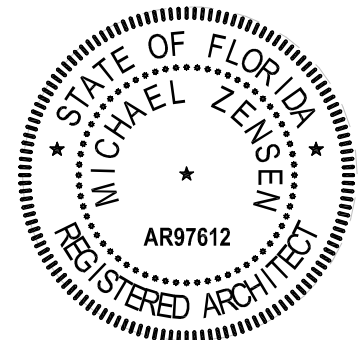


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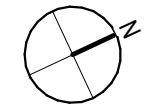
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SITE
LANDSCAPE
DIAGRAM

A012

BUILDING LEGEND

Circle Keynote	Description	Total S.F.
1	PEARLMAN RESEARCH INSTITUTE	33,252
2	RETZSKY ENERGY BUILDING	99,678
2A	ENERGY CENTER EXPANSION	2,682
3	COMPREHENSIVE CANCER CARE CENTER	59,500
4	GUMENIC AMBULATORY SURGICAL CENTER	39,000
5	GREENE PAVILION	50,000
6	MARIBEL BLUM PAVILION	142,092
7	BLOOD BANK	
8	DE HIRSCH MEYER	303,399
9	GREENSPAN PAVILION	32,000
10	MEDICAL STAFF OFFICE PAVILION	182,000
11	EXISTING PARKING GARAGE	220,000
12	ASCHER BUILDING	38,000
13	LOWENSTEIN BUILDING	61532
14	M.O.B	100,000
15	WARNER PAVILION	61,000
16	OROVITZ EMERGENCY	108,000
17	RADIOLOGY BUILDING	
18	ED EXPANSION	40,900
19	SKOLNICK SURGICAL TOWER	263,000
20	PARKING GARAGE	274,500
21	PROPOSED PARKING EXPANSION	329,850
22	SEAWALL	
23	FRONT ENTRANCE VESTIBULE	

- AMBULANCE ENTRY AND EXIT ROUTE
- CANCER CENTER PATIENT / VISITOR ENTRY AND EXIT ROUTE
- STAFF / EMPLOYEE ENTRY AND EXIT ROUTE
- TRUCK DELIVERY ENTRY AND EXIT ROUTE



Braman Cancer Center Site

1 : 2640

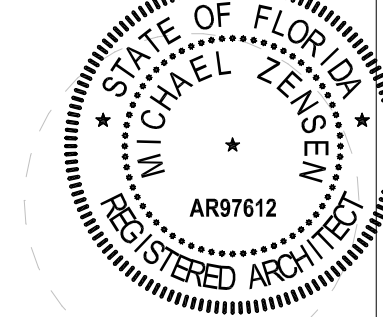
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Braman Cancer Center

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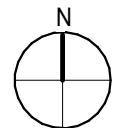
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MICHAEL AR97612
ARCHITECT
NUMBER



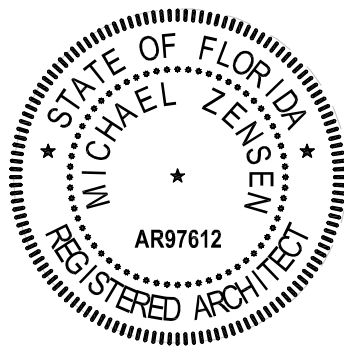
0' 1320' 2640'

**VEHICULAR
MOVEMENT
DIAGRAM**

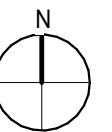
A013



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**ENLARGED
 VEHICULAR
 MOVEMENT
 DIAGRAM
 A013A**

- AMBULANCE ENTRY AND EXIT ROUTE
- CANCER CENTER PATIENT / VISITOR ENTRY AND EXIT ROUTE
- STAFF / EMPLOYEE ENTRY AND EXIT ROUTE
- TRUCK DELIVERY ENTRY AND EXIT ROUTE

FIRE DEPARTMENT DRIVE(GRASS)

INTERSTATE 195 / STATE ROAD No. 25
 (A.K.A. JULIA TUTTLE CAUSEWAY)



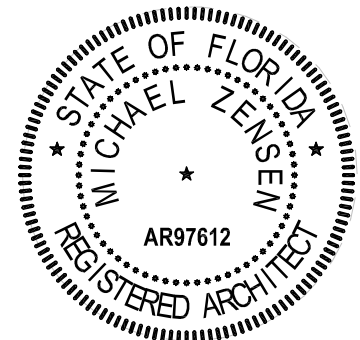
Circle Keynote	Description
1	PEARLMAN RESEARCH INSTITUTE
2	RETZSKY ENERGY BUILDING
2A	ENERGY CENTER EXPANSION
3	COMPREHENSIVE CANCER CARE CENTER
4	GUMENIC AMBULATORY SURGICAL CENTER
5	GREENE PAVILION
6	MARIBEL BLUM PAVILION
7	BLOOD BANK
8	DE HIRSCH MEYER
9	GREENSPAN PAVILION
10	MEDICAL STAFF OFFICE PAVILION
11	EXISTING PARKING GARAGE
12	ASCHER BUILDING
13	LOWENSTEIN BUILDING
14	M.O.B
15	WARNER PAVILION
16	OROVITZ EMERGENCY
17	RADIOLOGY BUILDING
18	ED EXPANSION
19	SKOLNICK SURGICAL TOWER
20	PARKING GARAGE
21	PROPOSED PARKING EXPANSION
22	SEAWALL
23	FRONT ENTRANCE VESTIBULE



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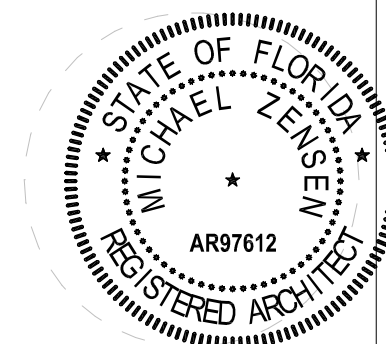
MICHAEL ZENSEN
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 AR97612

**Contextual
 Axonometric**

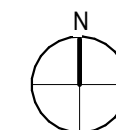
A014



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 NU AR97612



0' 540' 1080'

SITE ZONING CONFORMANCE

A015

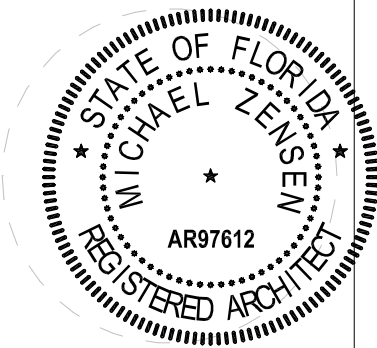


Braman Cancer Center Site

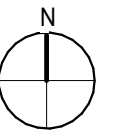
1 : 1080



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0' 40' 80'

SITE MATERIALS & AREAS

A015A

Landscaped Area =	101,626 Sq.Ft.
LA1	34,015
LA2	5,045
LA3	771
LA4	2,692
LA5	562
LA6	2,033
LA7	416
LA8	1,682
LA9	901
LA10	4,041
LA11	2,947
LA12	688
LA13	364
LA14	1,986
LA15	756
LA16	7,520
LA17	2,978
LA18	2,870
LA19	12,024
LA20	837
LA21	5,868
LA22	170
LA23	437
LA24	147
LA25	333
LA26	333
LA27	333
LA28	1,735
LA29	1,110
LA30	290
LA31	1,780
LA32	983
LA33	1,767
LA34	423
LA35	423
LA36	333
LA37	333

Concrete Walk Area Total =	13,418 Sq.Ft.
CA1	6,267
CA2	4,655
CA3	482
CA4	2,014

Pavement Area Total =	130,785 Sq.Ft.
PA1	77,496
PA2	19,471
PA3	33,818

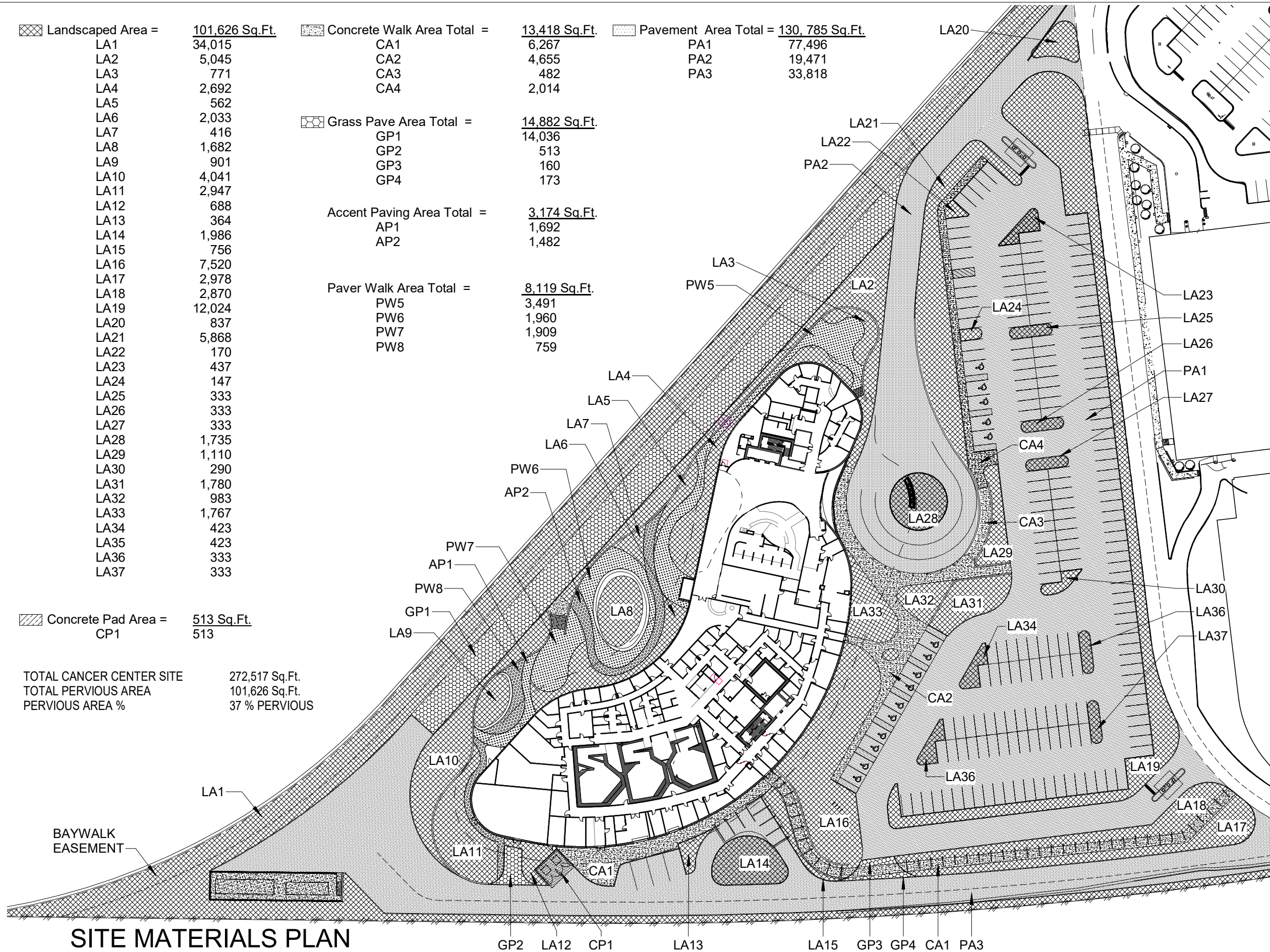
Grass Pave Area Total =	14,882 Sq.Ft.
GP1	14,036
GP2	513
GP3	160
GP4	173

Accent Paving Area Total =	3,174 Sq.Ft.
AP1	1,692
AP2	1,482

Paver Walk Area Total =	8,119 Sq.Ft.
PW5	3,491
PW6	1,960
PW7	1,909
PW8	759

Concrete Pad Area =	513 Sq.Ft.
CP1	513

TOTAL CANCER CENTER SITE 272,517 Sq.Ft.
 TOTAL PERVIOUS AREA 101,626 Sq.Ft.
 PERVIOUS AREA % 37 % PERVIOUS



SITE MATERIALS PLAN

1" = 80'-0"

GP2 LA12 CP1 LA13 LA15 GP3 GP4 CA1 PA3

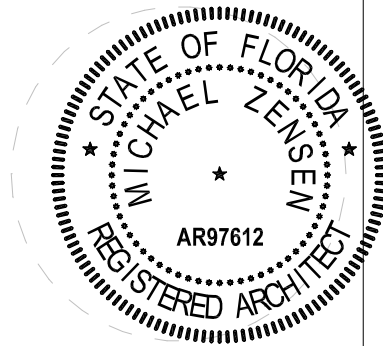


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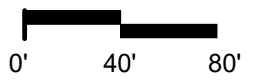
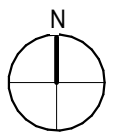
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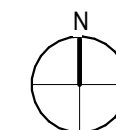
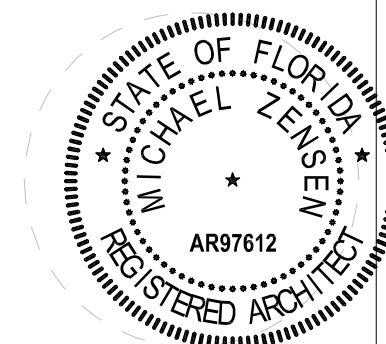


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 NU AR97612



**ENLARGED SITE
 PLAN KEY**

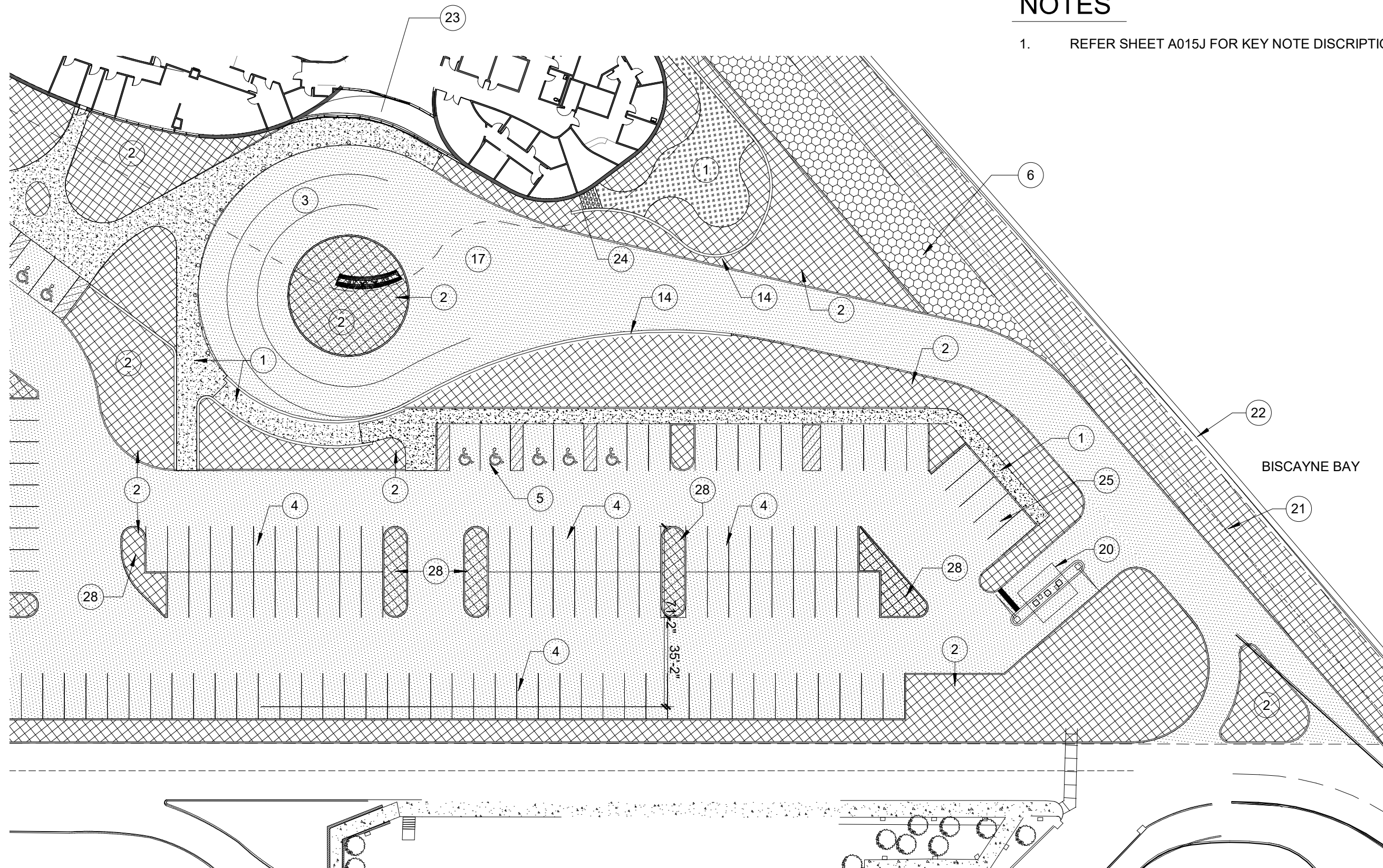
A015B



**ENTRANCE
 DROP-OFF &
 SURFACE
 PARKING
 A015C**

NOTES

1. REFER SHEET A015J FOR KEY NOTE DISCRPTION

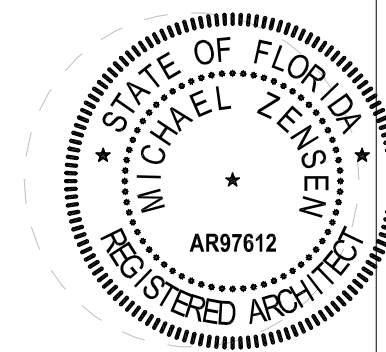


**ENLARGED SITE PLAN- ENTRANCE DROP-OFF AND NORTHEAST
 PARKING**

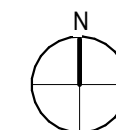
1" = 40'-0"



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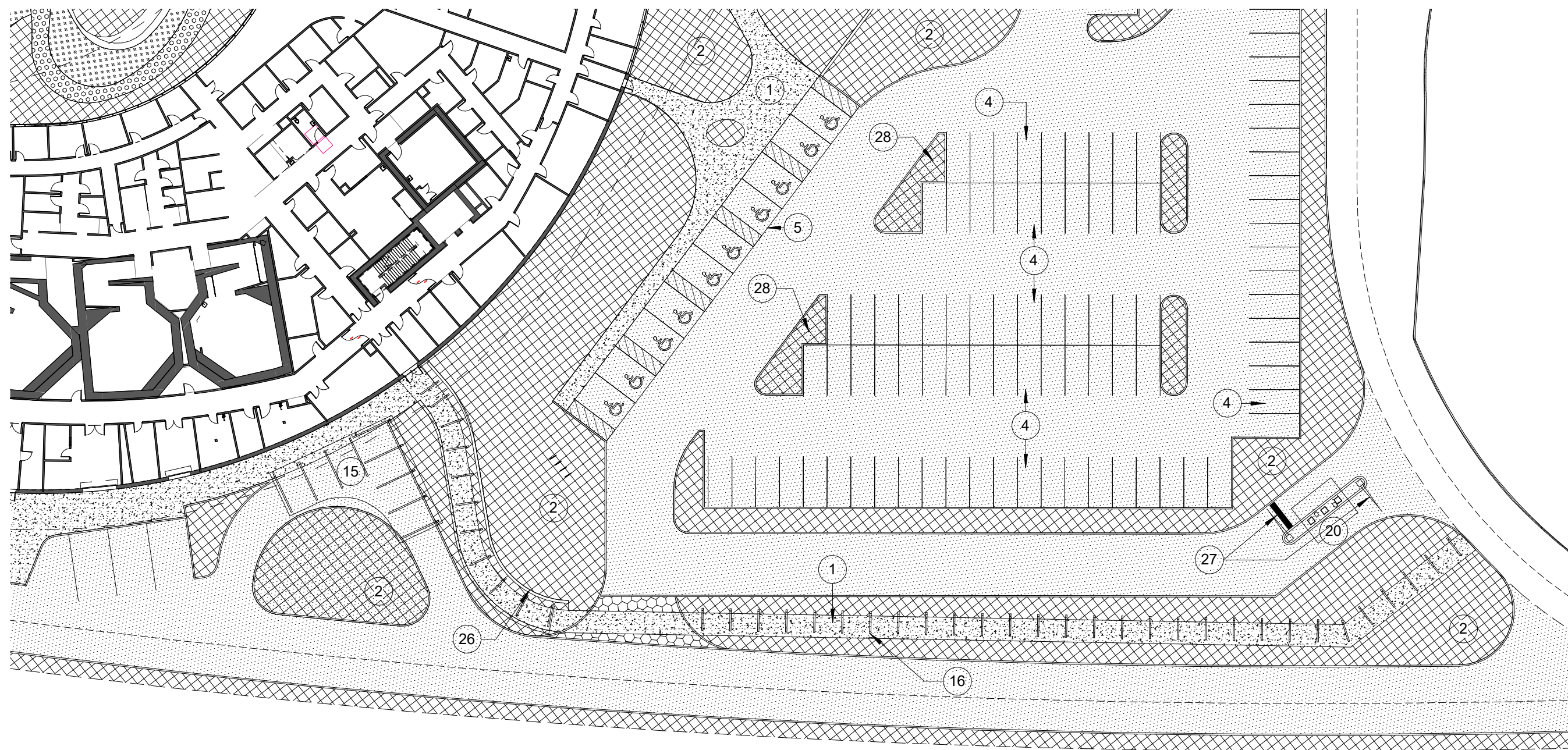
MICHAEL ZENSEN
 ARCHITECT OF RECORD
 NU AR97612



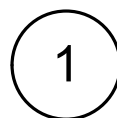
ENLARGED SITE PLAN
SOUTHEAST PARKING
A015D

NOTES

1. REFER SHEET A015J FOR KEY NOTE DISCRPTION



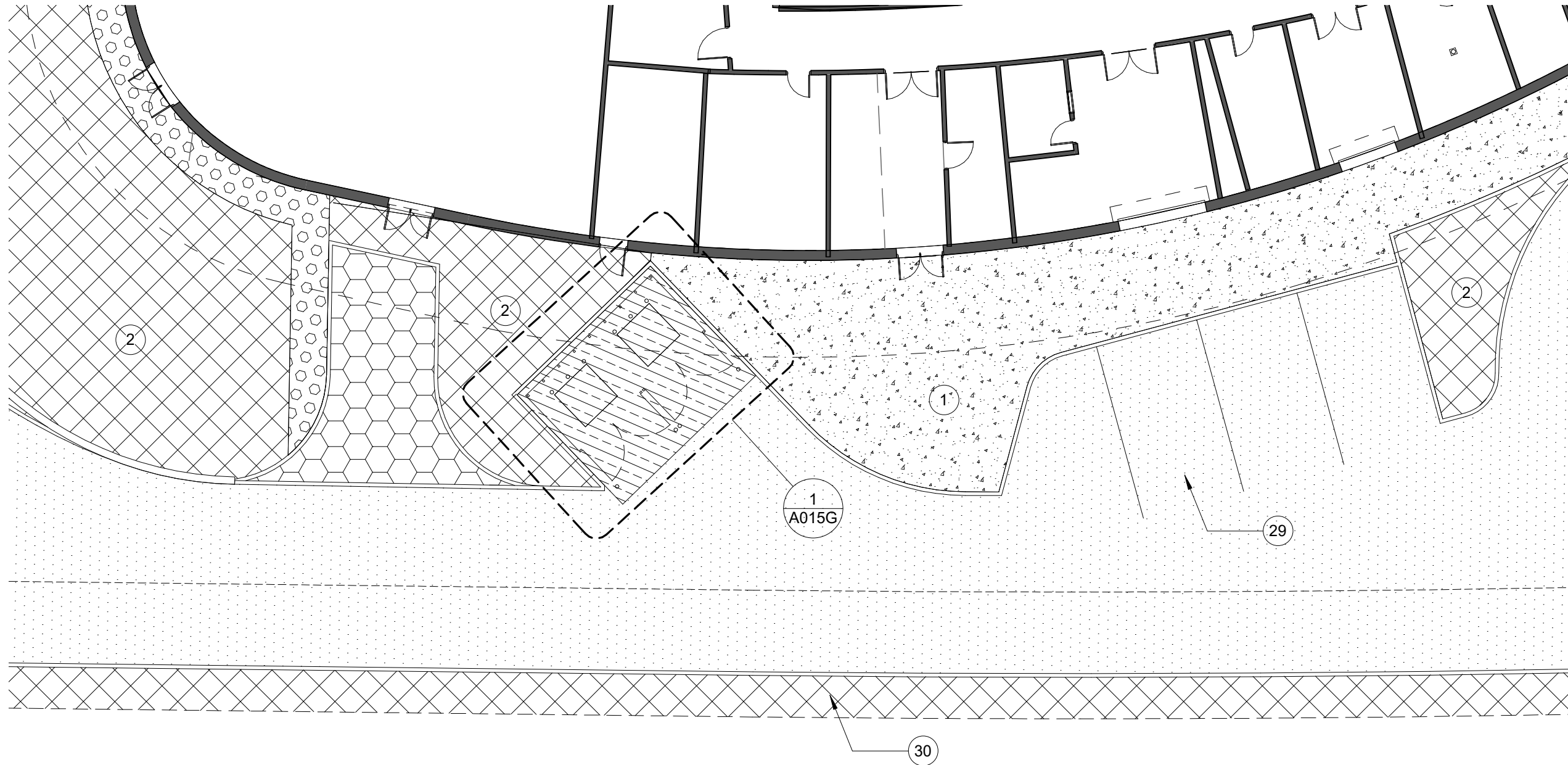
SOUTH EAST PARKING LOT AND EMPLOYEE PEDESTRAIN CANOPY



1" = 40'-0"

NOTES

- 1. REFER SHEET A015J FOR KEY NOTE DISCRPTION

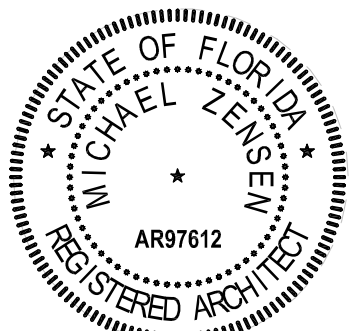


ENLARGED SITE PLAN

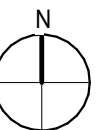
1/16" = 1'-0"



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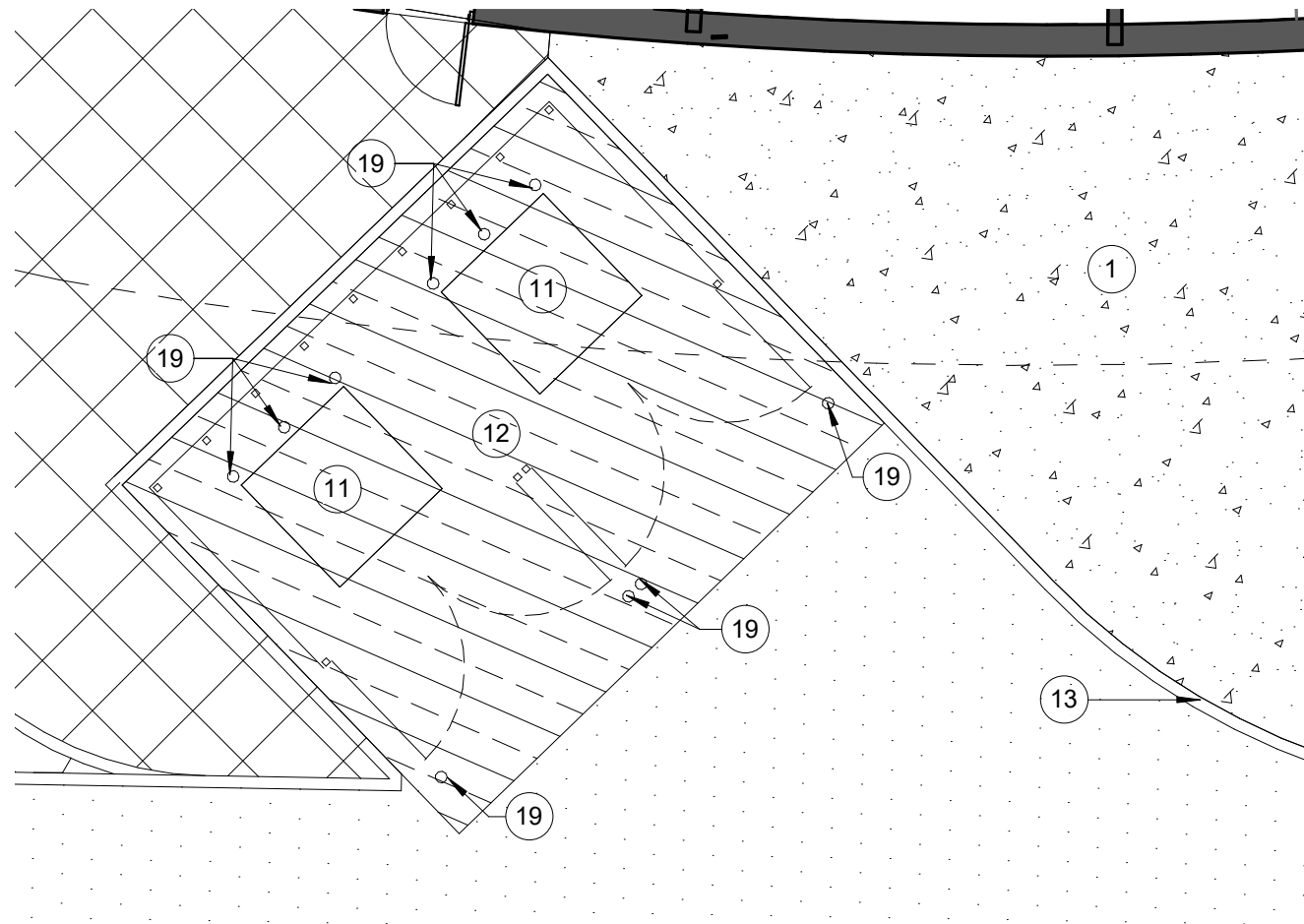


ENLARGED SITE
PLAN AREAS
SERVICE AREA

A015E

NOTES

- 1. REFER SHEET A015J FOR KEY NOTE DISCRPTION

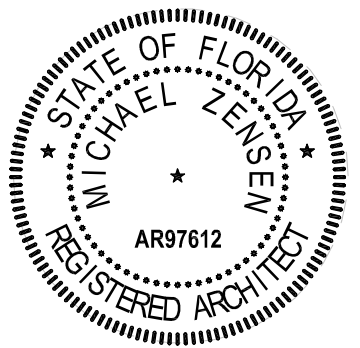


VERTICAL COMPACTOR ENCLOSURE PLAN

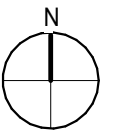
1/8" = 1'-0"



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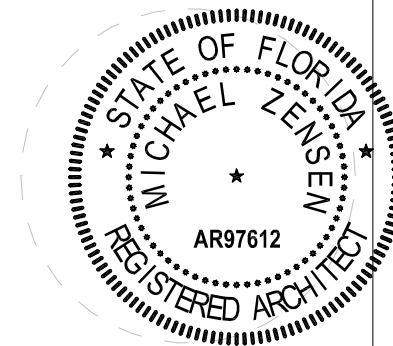


ENLARGED SITE
PLAN

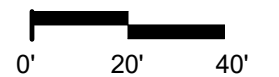
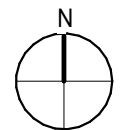
A015F



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 NUM AR97612

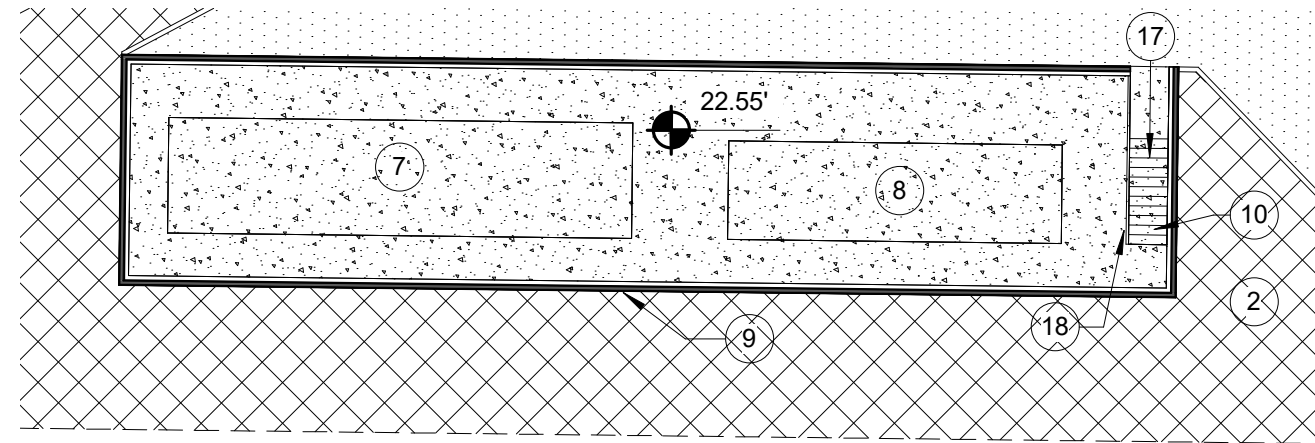


GENERATOR AREA

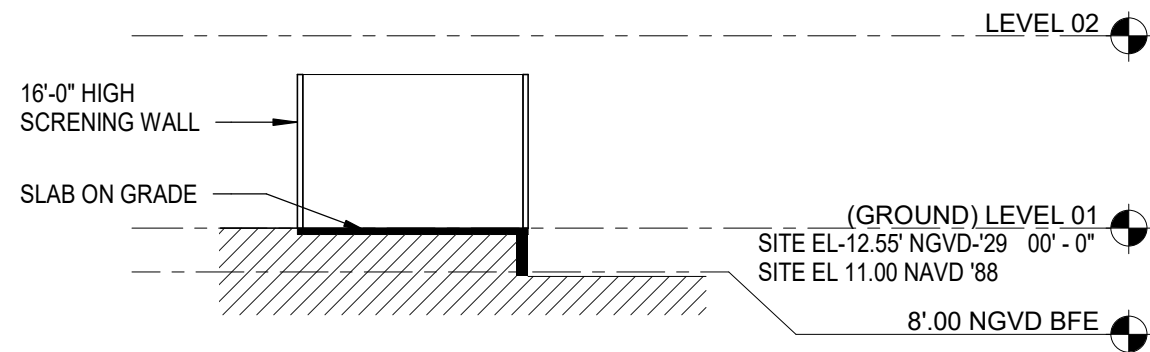
A015G

NOTES

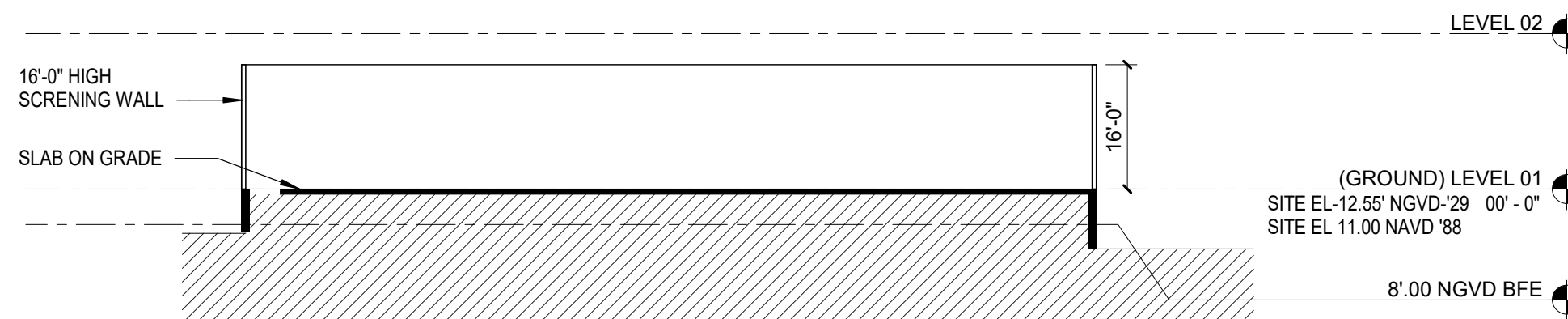
1. REFER SHEET A015J FOR KEY NOTE DISCRIPTION



1 GENERATOR PLATFORM AND ENCLOSURE
 1" = 20'-0"



3 GENERATOR AREA - AA
 1" = 20'-0"



2 GENERATOR AREA - BB
 1" = 20'-0"

NOTES

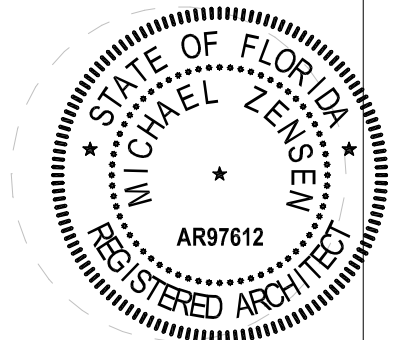
- 1. REFER SHEET A015J FOR KEY NOTE DISCRPTION

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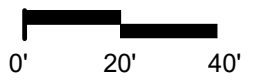
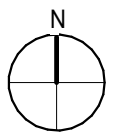
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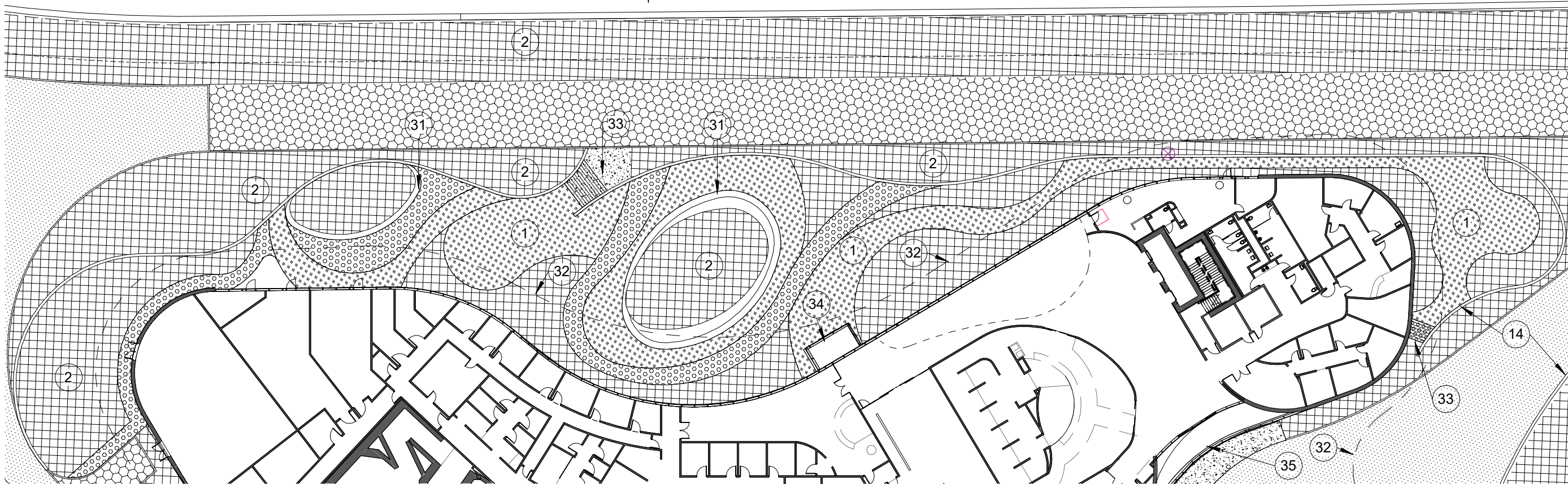


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ARCHITECT OF RECORD
NU AR97612



HEALING GARDEN

A015H

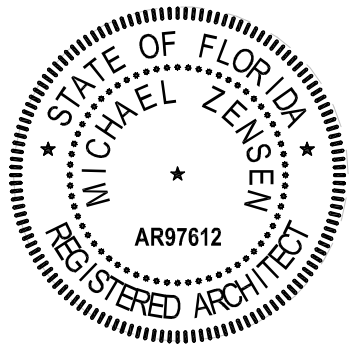


ENLARGED SITE PLAN- ENTRANCE DROP-OFF AND NORTHEAST PARKING

1" = 40'-0"



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SITE PLAN - KEY NOTES	
Circle Keynote	Description
1	PAVED SIDEWALK
2	PLANTED AREA REFER TO LANDSCAPE DRAWING FOR DETAIL
3	DROPOFF
4	STANDARD PARKING STALL 8'-6" WIDE X 18'-0" DEEP
5	ACCESSIBLE PARKING STALL 12'-0" WIDE X 18'-0" DEEP
6	GRASS PAVE FOR FIRE TRUCK OR UTILITY TRUCK ACCESS
7	GENERATOR
8	FUEL TANK
9	SCREEN WALL
10	CONCRETE STAIRS
11	VERTICAL TRASH COMPACTOR (POWER CONNECTOR TO BE PROVIDED FOR EACH)
12	CONCRETE PAD DESIGNED TO SUPPORT 10,000LBS SINGLE WHEEL LOAD
13	CONCRETE CURB
14	SITE GARDEN AND RETAINING WALL-EXTERIOR WALL ASSEMBLY EWA-3 REFER TO A015J
15	107326 AMBULANCE CANOPY
16	107326 PEDISTRIAN CANOPY
17	HIGH ALBEDO PAVING SURFACE THAT HAS A SOLAR REFLECTANCE VALUE OF 0. 65 OR GREATER ON THE SOLAR REFLECTANCE INDEX ("SRI"), CONSISTENT WITH THE COOL ROOF RATING COUNCIL STANDARD PRODUCT RATING PROGRAM MANUAL ("CRRC- 1").
18	GUARDRAIL AND HAND RAIL
19	6" DIA GALVANIZED STEEL PIPE BOLLARD FILLED WITH CONCRETE. EXTEND BOLLARD 3'-0" BELOW GRADE AND 4'-0" ABOVE GRADE. PAINT OSHA YELLOW.
20	107326 PARKING ACCESS CONTROL CANOPY
21	BAYWALK EASEMENT
22	CONCRETE SEA WALL
23	FRONT ENTRANCE VESTIBULE
24	CONCRETE STAIRS
25	ELECTRIC CHARGING STATION
26	CONCRETE SCREEN WALL
27	PARKING ACCESS CONTROL EQUIPMENT
28	PLANT ISLAND REFER TO LANDSCAPE DRAWINGS FOR MORE DETAIL
29	SERVICE DELIVERY PARKING
30	PROPERTY LINE/FDOT RIGHT OF WAY
31	SCULPTURE PLANTER/ BENCH
32	BUILDING CANOPY ABOVE
33	<varies>
34	BUILDING VESTIBULE
35	ENTRANCE VESTIBULE

SCHEDULES AND KEY NOTES

A015I