

CUMENAL - DIAMOND RESIDENCE

1600 CLEVELAND ROAD, MIAMI BEACH, FL 33141

Folio: 02-3203-001-0940

2nd Floor Addition to Existing Residence

Board of Adjustments

Final Submittal

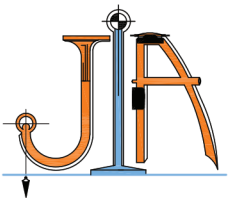
ZBA22-0138

11 JULY / 2022



7300 BISCAYNE BLVD. STE 200
MIAMI, FL 33138
Tel: 786.218.5335
License #AA 26002467

CASTELLANOSDESIGN.COM



JOHN IBARRA & ASSOCIATES, INC.

Professional Land Surveyors & Mappers

WWW.IBARRALANDSURVEYORS.COM

777 N.W. 72ND AVENUE
SUITE 3025
MIAMI, FL 33126
PH: (305) 262-0400
FAX: (305) 262.0401

4040 DEL PRADO BLVD S
SUITE 823
CAPE CORAL, FL 33904
PH: (239) 540-2660
FAX: (239) 540-2644



LOCATION SKETCH

SCALE = N.T.S.

VIEW OF SUBJECT PROPERTY

1600 CLEVELAND ROAD, MIAMI BEACH, FLORIDA 33141

ABBREVIATIONS

A = ARC.
A/C = AIR CONDITIONER PAD
A.E. = ANCHOR EASEMENT
A.R. = ALUMINUM ROOF
A.S. = ALUMINUM SHED
ASPH. = ASPHALT
B.C. = BLOCK CORNER
BLDG. = BUILDING
B.M. = BENCH MARK
B.C.R. = BROWARD COUNTY RECORDS
B.O.B. = BASIS OF BEARING
B.S.L. = BUILDING SETBACK LINE
(C) = CALCULATED
C.B. = CATCH BASIN
C.B.S. = CONCRETE BLOCK STRUCTURE
C.B.W. = CONCRETE BLOCK WALL
CH. = CHORD
CH.B. = CHORD BEARING
CH.L. = CHORD LENGTH
CL. = CLEAR
C.O. = CLEAN OUT
C.L.F. = CHAIN LINK FENCE
C.M.E. = CANAL MAINTENANCE EASEMENT
CONC. = CONCRETE
C.U.P. = CONCRETE UTILITY POLE
C.P. = CONCRETE PORCH
C.S. = CONCRETE SLAB
C.W. = CONCRETE WALK
D.E. = DRAINAGE EASEMENT
D.M.E. = DRAINAGE MAINTENANCE EASEMENT
DRIVE = DRIVEWAY
° = DEGREES
EB = ELECTRIC BOX

E.T.P. = ELECTRIC TRANSFORMER PAD
ELEV. = ELEVATION
ENCR. = ENCROACHMENT
F.H. = FIRE HYDRANT
F.I.P. = FOUND IRON PIPE
F.I.R. = FOUND IRON ROD
F.F.E. = FINISHED FLOOR ELEVATION
F.N.D. = FOUND NAIL & DISK
FT. = FEET
FNIP. = FEDERAL NATIONAL INSURANCE PROGRAM
F.N. = FOUND NAIL
H. = HIGH OR (HEIGHT)
IN & EG. = INGRESS AND EGRESS EASEMENT
I.C.V. = IRRIGATION CONTROL VALVE
I.F. = IRON FENCE
L.B. = LICENSED BUSINESS
L.P. = LIGHT POLE
L.F.E. = LOWEST FLOOR ELEVATION
L.M.E. = LAKE MAINTENANCE EASEMENT
' = MINUTES
(M) = MEASURED DISTANCE
M.B. = MAIL BOX
M.D.C.R. = MIAMI DADE COUNTY RECORDS
M.E. = MAINTENANCE EASEMENT
M.H. = MANHOLE
N.A.P. = NOT A PART OF
NGVD = NATIONAL GEODETIC VERTICAL DATUM
N.T.S. = NOT TO SCALE
OR NO. = NUMBER
O/S = OFFSET
O.H. = OVERHEAD
O.H.L. = OVERHEAD UTILITY LINES

O.R.B. = OFFICIAL RECORDS BOOK
O.V.H. = OVERHANG
P.V.M.T. = PAVEMENT
PL. = PLANTER
P.L. = PROPERTY LINE
P.C.C. = POINT OF COMPOUND CURVATURE
P.C. = POINT OF CURVATURE
P.O.T. = POINT OF TANGENCY
P.O.C. = POINT OF COMMENCEMENT
P.O.B. = POINT OF BEGINNING
P.R.C. = POINT OF REVERSE CURVATURE
P.W.Y. = PARKWAY
P.R.M. = PERMANENT REFERENCE MONUMENT
P.L.S. = PROFESSIONAL LAND SURVEYOR
P.P. = POWER POLE
P.P.S. = POOL PUMP SLAB
P.U.E. = PUBLIC UTILITY EASEMENT
(R) = RECORD DISTANCE
R.R. = RAIL ROAD
RES. = RESIDENCE
R/W = RIGHT-OF-WAY
RAD. = RADIUS OR RADIAL
RGE. = RANGE
R.O.E. = ROOF OVERHANG EASEMENT
SEC. = SECTION
STY. = STORY
SWK. = SIDEWALK
S.I.P. = SET IRON PIPE
S. = SOUTH
S.P. = SCREENED PORCH
S.V. = SEWER VALVE
" = SECONDS

T = TANGENT
TB = TELEPHONE BOOTH
T.B.M. = TEMPORARY BENCHMARK
T.U.E. = TECHNOLOGY UTILITY EASEMENT
TSB = TRAFFIC SIGNAL BOX
T.S.P. = TRAFFIC SIGNAL POLE
TWP. = TOWNSHIP
UTIL. = UTILITY
U.E. = UTILITY EASEMENT
U.P. = UTILITY POLE
W.M. = WATER METER
W.F. = WOOD FENCE
W.P. = WOOD PORCH
W.R. = WOOD ROOF
W.V. = WATER VALVE
M = MONUMENT LINE
C = CENTER LINE
Δ = DELTA

LEGEND

— — — — — = OVERHEAD UTILITY LINES
— — — — — = CONCRETE BLOCK WALL
— x — x — x — = CHAIN LINK FENCE
— o — o — o — = IRON FENCE
— // — // — // — = WOOD FENCE
— — — — — = BUILDING SETBACK LINE
— — — — — = UTILITY EASEMENT
— — — — — = LIMITED ACCESS R/W
— — — — — = NON-VEHICULAR ACCESS R/W
x 0.00 = EXISTING ELEVATIONS

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY :

- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND FINANCING AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.
- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
- LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND/ OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/ OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING PLOT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/ OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

FLOOD ZONE INFORMATION:

BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE AE (WITH A BASE FLOOD ELEVATION OF 8.00 FT). THIS PROPERTY WAS FOUND IN CITY OF MIAMI BEACH, COMMUNITY NUMBER 120651, DATED 09/11/09.

SURVEYOR'S NOTES:

1. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
3. CERTIFICATE OF AUTHORIZATION LB # 7806.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

BY:  11/08/2021
CARLOS IBARRA (DATE OF FIELD WORK)

PROFESSIONAL LAND SURVEYOR NO.: 6770 STATE OF FLORIDA
(NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER).

REVISED ON: _____

REVISED ON: _____

TITLE COMPANY

MITCHELL SETH POLANSKY, P.A.

DRAWN BY:

L.B.

FIELD DATE:

11/8/2021

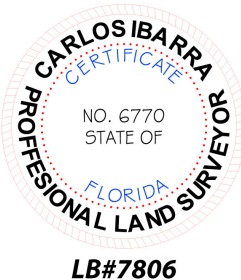
SURVEY NO:

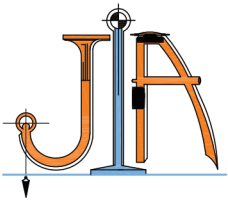
21-003858

SHEET:

1 OF 2

UNDERWRITER





JOHN IBARRA & ASSOCIATES, INC.
Professional Land Surveyors & Mappers

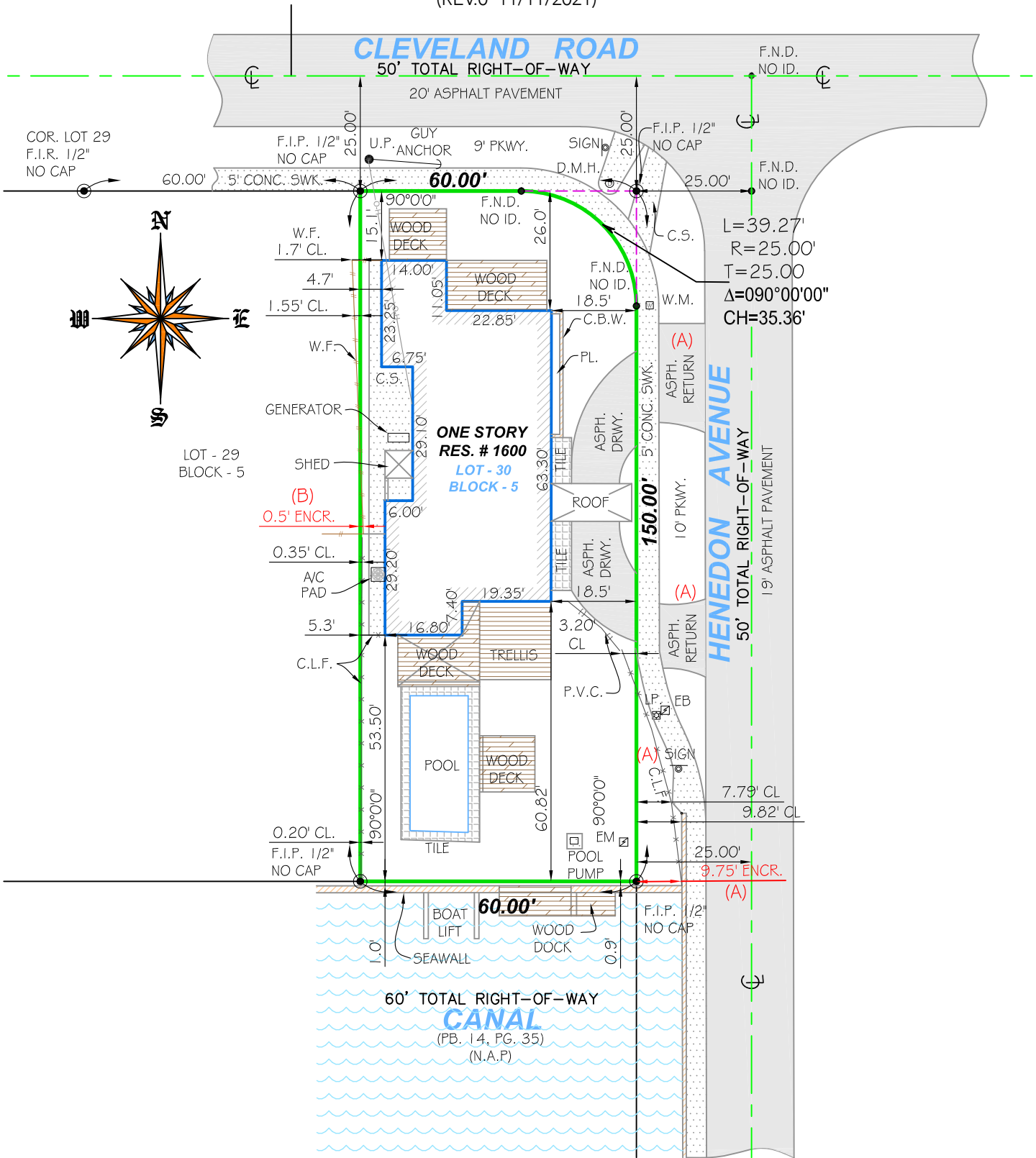
WWW.IBARRALANDSURVEYORS.COM
777 N.W. 72nd AVENUE
SUITE 3025
MIAMI, FL 33126
PH: (305) 262-0400
FAX: (305) 262-0401

3725 DEL PRADO BLVD. S.
SUITE B
CAPE CORAL, FL 33904
PH: (239) 540-2660
FAX: (239) 540-2664



MAP OF BOUNDARY SURVEY

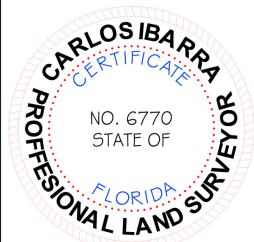
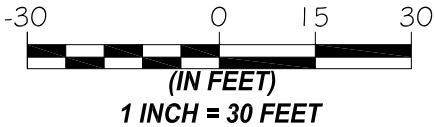
1600 CLEVELAND ROAD, MIAMI BEACH, FLORIDA 33141
(REV.0 11/11/2021)



ENCROACHMENT NOTES:

- A. EAST SIDE OF THE SUBJECT PROPERTY, ASPHALT RETURN AND CHAIN LINK FENCE ARE ENCROACHING INTO THE RIGHT OF WAY OF HENEDON AVENUE.
B. WEST SIDE OF THE SUBJECT PROPERTY, NEIGHBOR'S WOOD FENCE IS ENCROACHING INTO THE SUBJECT PROPERTY.

GRAPHIC SCALE



LB#7806

LEGAL DESCRIPTION:

LOT 30, BLOCK 5, BISCAYNE POINT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 14, PAGE 35 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

CERTIFICATION:

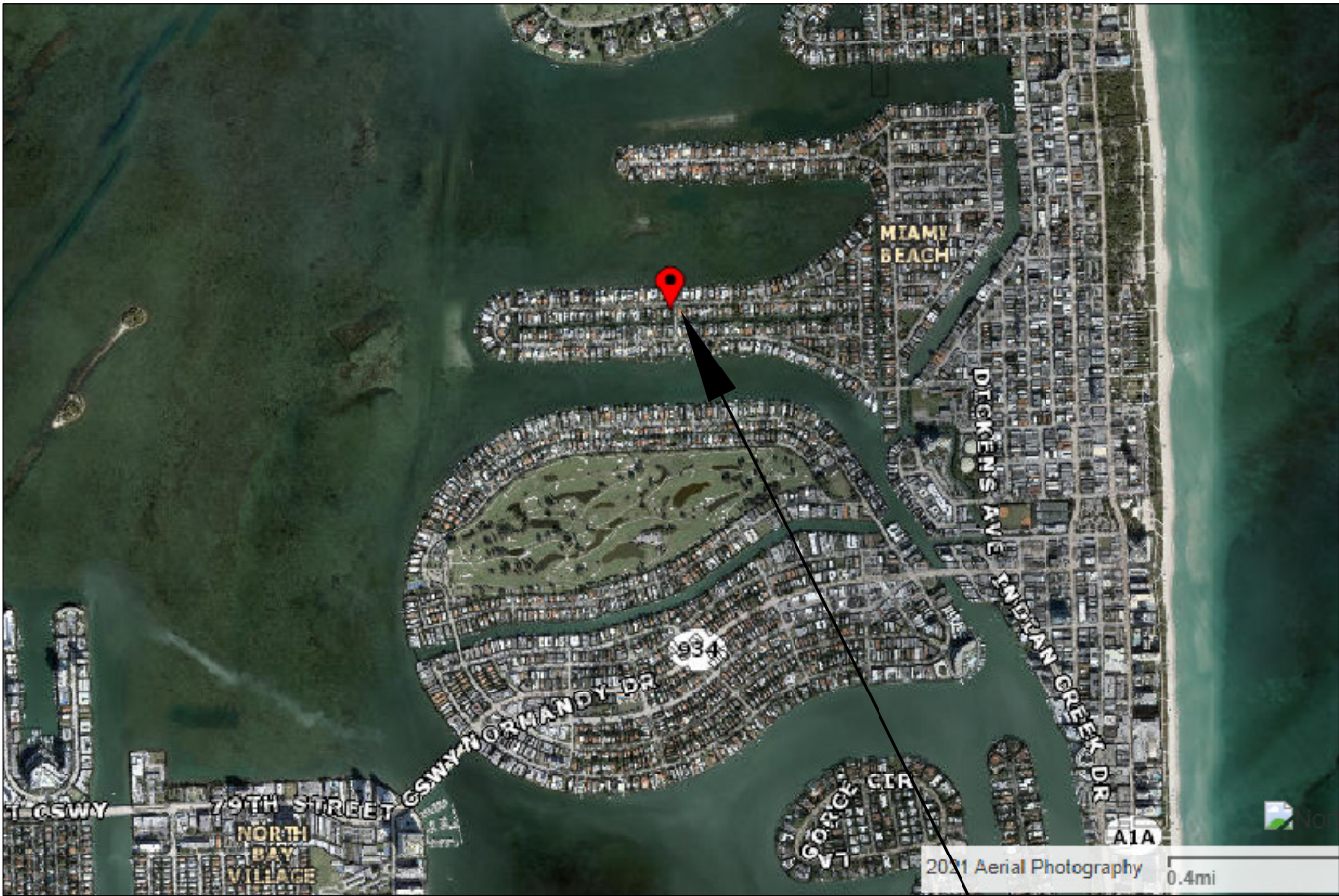
FREDERIC CUMENAL AND LESLIE DIAMOND; MITCHELL SETH POLANSKY, P.A.; OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

DRAWN BY: L.B.

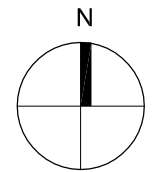
FIELD DATE: 11/8/2021

SURVEY NO: 21-003858

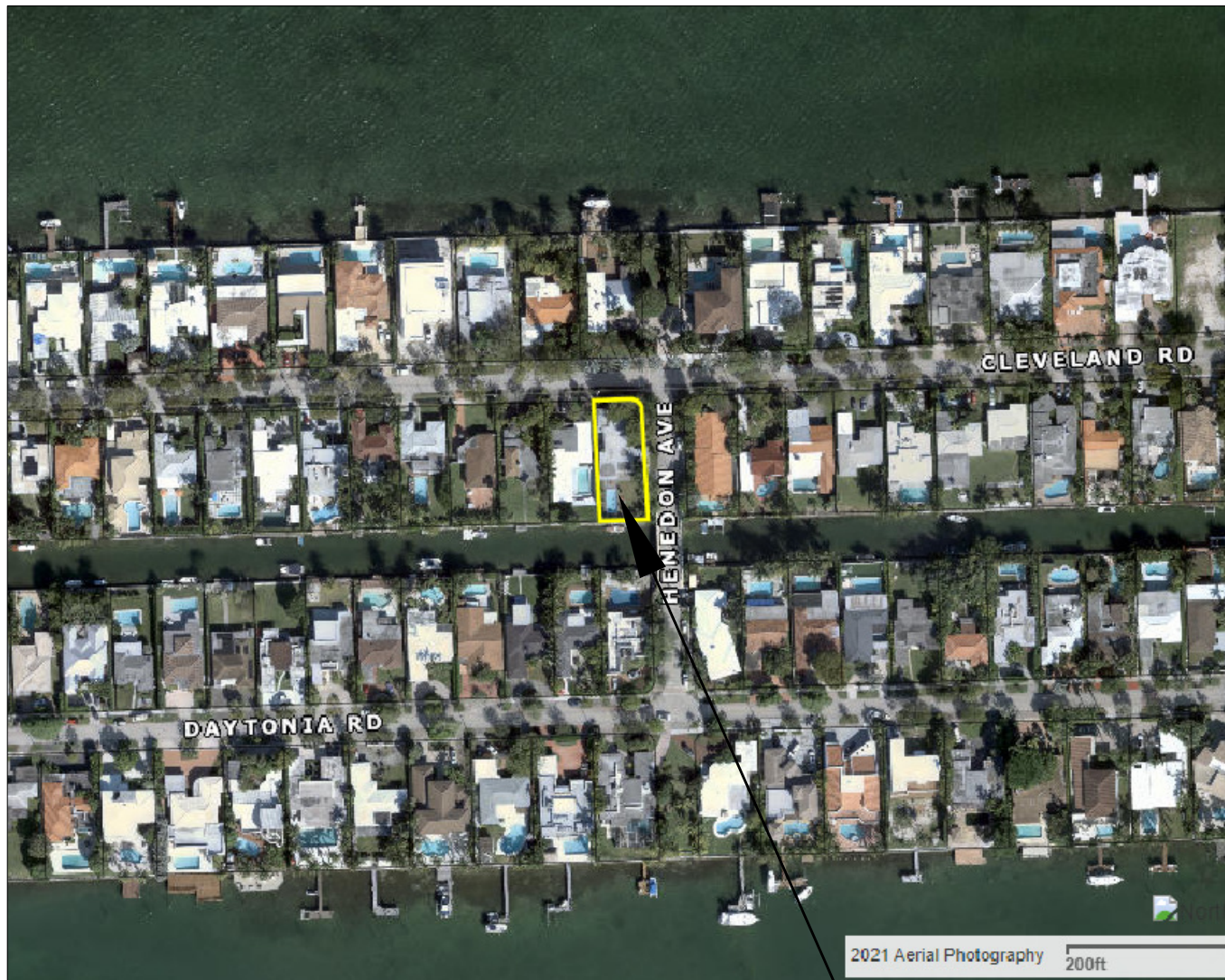
SHEET: 2 OF 2



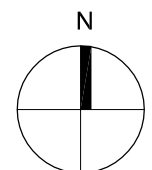
1 LOCATION MAP
SCALE: SCALE: N.T.S.



SITE

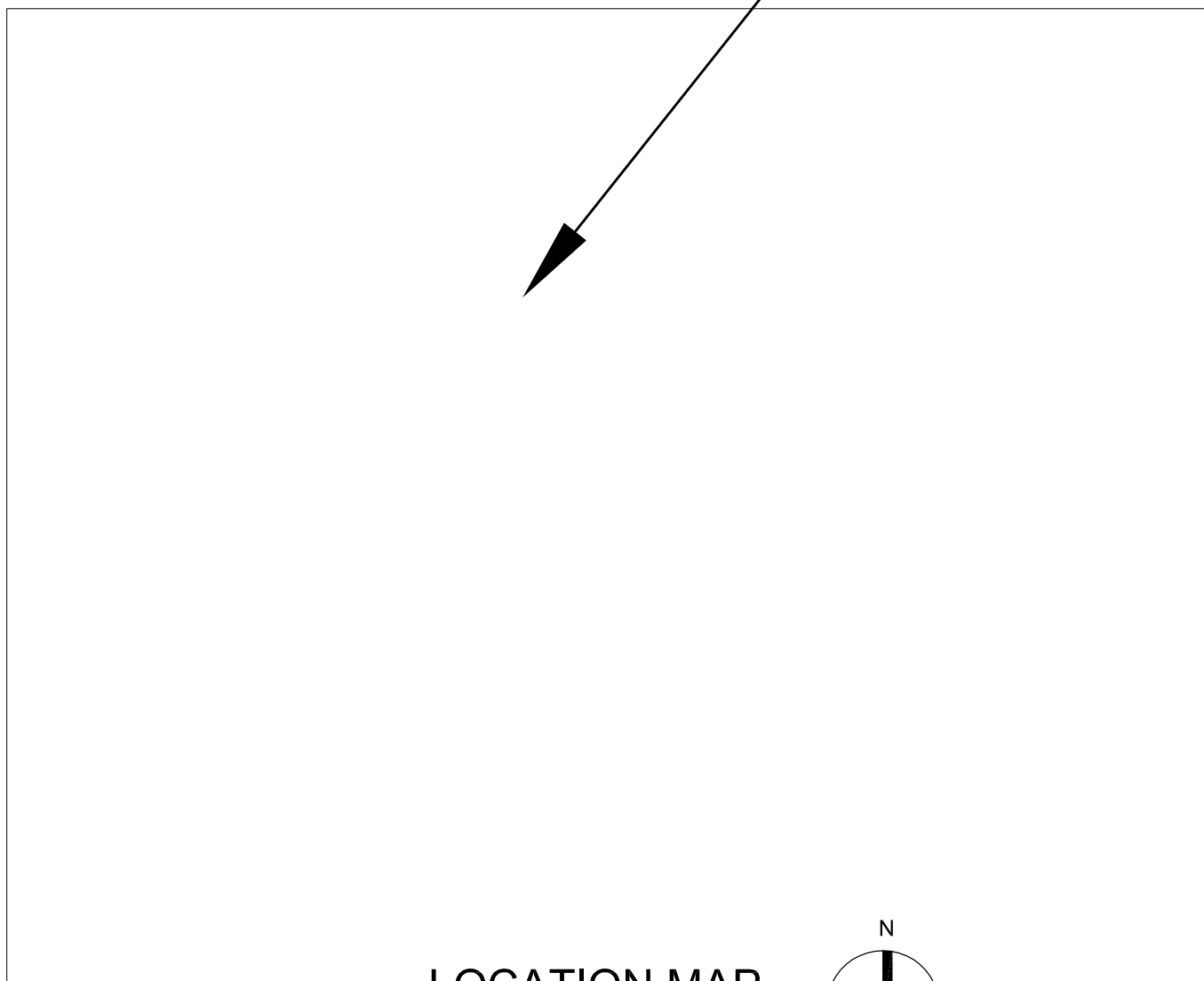


2 LOCATION MAP
SCALE: SCALE: N.T.S.

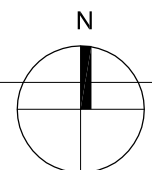


SITE

SITE



3 LOCATION MAP
SCALE: SCALE: N.T.S.



SCOPE OF WORK

1. THE CLIENT HAS REQUESTED 2 STORY ADDITION TO THE EXISTING HOME.
2. WE ARE REQUESTING THE FOLLOWING VARIANCES WITH THE CITY OF MIAMI BEACH
 - 2.1. FRONT SETBACK AT 2ND FLOOR TO 26'-0" IN LIEU OF 40'-0". 14'-0" VARIANCE REQUEST.
 - 2.2. SIDE SETBACK (CORNER LOT) AT 2ND FLOOR TO 5'-0" IN LIEU OF THE 7'-6". 2'-6" VARIANCE REQUEST.

THE SITE WILL RECEIVED SITE IMPROVEMENTS WITH LANDSCAPING.

THE EXISTING HOME IS 2,363 ACTUAL AREA AS PER MDC PROPERTY APPRAISER.

THE PROPOSED SECOND FLOOR ADDITION IS 1,984 S.F.

THE PROPOSED GROUND FLOOR STORAGE ADDITION IS 100 S.F.

THE TOTAL APPROXIMATELY SQUARE FEET OF THE PROPERTY IS 4,447 S.F.

SQUARE FOOTAGES:
EXISTING: 2,363 S.F.
1ST FL ADDITION: 100 S.F.
2ND FL ADDITION: 1,984 S.F.
TOTAL: 4,447 S.F.

INTERIOR GROUND RENOVATION AREAS:
DINING ROOM: 240 S.F.
BATHROOM IN PANTRY: 32 S.F.
TOTAL: 272 S.F.

ALL ALTERATIONS ARE UNDER ALTERATION LEVEL II.

BLDG. & LIFE SAFETY INFO.

OCCUPANCY CLASSIFICATION:	SINGLE FAMILY RES.
CONSTRUCTION TYPE:	III (F.B.C. 2020)
ALLOWABLE AREA:	N/A
DEADEND CORRIDOR:	20'-0" MAXIMUM
MAXIMUM TRAVEL DISTANCE:	150'-0" MAXIMUM
EGRESS WIDTH:	36" MINIMUM
STAIR WIDTH:	44" MINIMUM
HORIZ. FIRE SEPERATION:	1 HOUR
CEILING / ROOF ASSEMBLY:	1 HOUR
VERTICAL FIRE SEPERATION:	NOT APPLICABLE
PARTY WALL SEPERATION:	1 HOUR
MINIMUM DOOR WIDTH:	32" MINMIUM CLEAR
EXIT ACCESS CORRIDOR RATING:	1 HOUR
MECHANICAL RM. SEPERATION:	1 HOUR
MAXIMUM CHANGE IN ELEVATION:	1/2"
MINIMUM NO. OF EXITS:	2

GOVERNING CODES

ALL CONSTRUCTION WORK, ACTIVITIES AND ALTERATIONS SHALL COMPLY WITH THE FLORIDA BUILDING CODE (FBC) 7TH EDITION, (2020).

ALL CONSTRUCTION WORK, ACTIVITIES AND ALTERATIONS SHALL COMPLY WITH THE FLORIDA BUILDING CODE (FBC) 7TH EDITION (2020), EXISTING FLORIDA BUILDING CODE WITH 2020 SUPPLEMENTS..

ALL CONSTRUCTION WORK, ACTIVITIES AND ALTERATIONS SHALL COMPLY WITH THE LATEST EDITION OF O.S.H.A. REQUIREMENTS.

CODE STATEMENT

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND 633 FLORIDA STATUTES.

ARCHITECTURAL STATEMENT:
ALL ARCHITECTURAL WORK SHALL BE UNDER FLORIDA BUILDING CODE, EXISTING 7TH EDITION (2020).

ZONING STATEMENT:
ALL WORK MEETS THE CURRENT CITY OF MIAMI BEACH & MIAMI-DADE COUNTY ZONING DESIGNATION ORDINANCES AND FLORIDA BUILDING CODE 5TH EDITION (2020).

CIVIL ENGINEERING STATEMENT:
NO WORK IS TO BE PERFORMED

LANDSCAPING & IRRIGATION STATEMENT:
ALL LANDSCAPING WORK SHALL MEET CITY OF MIAMI BEACH & MIAMI DADE COUNTY ORDINANCES

STRUCTURAL STATEMENT:
ALL STRUCTURAL WORK SHALL BE UNDER FLORIDA BUILDING CODE, EXISTING 7TH EDITION (2020).

PLUMBING STATEMENT:
NO PLUMBING WORK SHALL BE UNDER FLORIDA BUILDING CODE, EXISTING 7TH EDITION (2020).

MECHANICAL STATEMENT:
ALL MECHANICAL WORK SHALL BE UNDER FLORIDA BUILDING CODE, EXISTING 7TH EDITION (2020).

ELECTRICAL STATEMENT:
ALL ELECTRICAL WORK SHALL BE UNDER FLORIDA BUILDING CODE, EXISTING 7TH EDITION (2020).

DRAWING INDEX

ARCHITECTURAL DRAWING LIST

CVR	COVER SHEET
	BOUNDARY SURVEY
GN-1	PROJECT DATA
GN-2	ZONING INFORMATION & GENERAL NOTES
GN-3.1	ZONING DIAGRAM LOT COVERAGE
GN-3.2	UNIT SIZE DIAGRAM
GN-3.3	FRONT AND REAR LANDSCAPE DIAGRAMS
GN-3.4	VARIANCE DIAGRAM
GN-4.1	CONTEXT PHOTOGRAPHS
GN-4.2	CONTEXT PHOTOGRAPHS
GN-4.3	CONTEXT PHOTOGRAPHS
GN-4.4	CONTEXT PHOTOGRAPHS
GN-4.5	CONTEXT PHOTOGRAPHS
GN-4.6	CONTEXT PHOTOGRAPHS
GN-4.7	SITE PHOTOGRAPHS - EXISTING BUILDINGS
GN-4.8	SITE PHOTOGRAPHS - PROPOSED AREA OF WORK
GN-4.9	SITE PHOTOGRAPHS - PROPOSED AREA OF WORK

AS-1	PROPOSED SITE PLAN & SETBACKS
EX-1	EXISTING FLOOR PLAN
D-1.01	DEMOLITION FLOOR PLAN
A-1.01	PROPOSED GROUND PLAN
A-1.02	PROPOSED SECOND FLOOR PLAN
A-1.03	PROPOSED ROOF PLAN
A-3.1	EXISTING & PROPOSED ELEVATION
A-3.2	EXISTING & PROPOSED ELEVATION
A-3.3	EXISTING & PROPOSED ELEVATION
A-3.4	EXISTING & PROPOSED ELEVATION
A-4.0	SECTIONS
A-5.0	CONCEPTUAL RENDERING
A-5.1	MATERIAL & FINISH SELECTIONS

X-X	BACK COVER SHEET
-----	------------------

ABBREVIATIONS

A.B.	ANCHOR BOLT	HB.	HOSE BIBB
A/C	AIR CONDITIONER	HC.	HANDICAP / HOLLOW CORE
ACCOM.	ACCOMMODATE	HDWR.	HARDWARE
A.F.F.	ABOVE FINISH FLOOR	H.M.	HOLLOW METAL
A.H.U.	AIR HANDLING UNIT	HORIZ.	HORIZONTAL
ALUM.	ALUMINUM	HT.	HEIGHT
AUX.	AUXILIARY	H.V.A.C.	HEATING VENTILATING & AIR CONDITIONING
BLDG.	BUILDING	I.D.	INSIDE DIAMETER
BLK.	BLOCK	INFO.	INFORMATION
BM.	BEAM	INSUL.	INSULATION
B.M.	BENCH MARK	INT.	INTERIOR
BOTT.	BOTTOM	INTERM.	INTERMEDIATE
BRD.	BOARD	JAN.	JANITOR
BTWN.	BETWEEN	JT.	JOINT
C.B.	CATCH BASIN	JST.	JOIST
C.I.P.	CAST-IN-PLACE	LAM.	LAMINENT
C.J.	CONTROL JOINT	LAV.	LAVATORY
C.L.	CHAIN LINK	L.P.	LIGHT POLE
CLG.	CEILING	MAT.	MATERIAL
C.	CENTER LINE	MAX.	MAXIMUM
CL.O.	CLOSET	MECH.	MECHANICAL
CMU	CONCRETE MASONRY UNIT	MFR.	MANUFACTURER
CNTR.	COUNTER	M.H.	MAN HOLE
CO	CLEANOUT	MIN.	MINIMUM
COL.	COLUMN	MISC.	MISCELLANEOUS
CONC.	CONCRETE	MTL.	METAL
CONN.	CONNECTION	N.	NORTH
CONSTR.	CONSTRUCTION	N.G.V.D.	NATIONAL GEODESIC
CONT.	CONTINUOUS		VERTICAL DATUM
CONTR.	CONTRACTOR		NOT IN CONTRACT
CPT	CARPET	N.I.C.	NUMBER
C.T.	CERAMIC TILE	N.O.	NOT TO SCALE
DBL.	DOUBLE	O.C.	ON CENTER
DEMO.	DEMOLITION	O.D.	OUTSIDE DIAMETER
DET.	DETAIL	PART.	PARTITION
DIA.	DIAMETER	PLYWD.	PLYWOOD
DIM.	DIMENSION	PNT.	PAINT
D.F.	DRINKING FOUNTAIN	P.T.	PRESSURE TREATED
DOC.S.	DOCUMENTS	REIN.	REINFORCING
DWG.	DRAWINGS	REQ.	REQUIRED
DWN.	DOWN	RM.	ROOM
EA.	EACH	R.D.	ROOF DRAIN
EL.	ELEVATION	SC.	SOLID CORE
ELEC.	ELECTRICAL	SCHED.	SCHEDULE
ELEV.	ELEVATION / ELEVATOR	SECT.	SECTION
EQ.	EQUAL	SF.	SQUARE FOOTAGE
EQUIP.	EQUIPMENT	SHT.	SHEET
ESC	ESCALATOR	SIM.	SIMILAR
E.W.	EACH WAY	SPECS.	SPECIFICATIONS
EXH.	EXHAUST	S.S.	STAINLESS STEEL
EXIST.	EXISTING	STD.	STANDARD
EXP	EXPOSED / EXPANSION	STL.	STEEL
EXT	EXTERIOR	STRUCT.	STRUCTURE
EXTING.	EXTINGUISHER (FIRE)	SQ. FT.	SQUARE FOOTAGE
FAB.	FABRICATE	TEL.	TELEPHONE
F.D.	FLOOR DRAIN	TEMP.	TEMPERED / TEMPORARY
FE	FIRE EXTINGUISHER	THK.	THICK
FIN.	FINISH	TYP.	TYPICAL
FIXT.	FIXTURE	U.C.	UNDERCUT
F.F.	FINISH FLOOR	U.N.O.	UNLESS NOTED OTHERWISE
FLR.	FLOOR	V.B.	VINYL BASE
FTG.	FOOTING	V.C.T.	VINYL COMPOSITE TILE
F.V.	FIELD VERIFY	VERT.	VERTICLE
GA.	GAUGE	VESTIB.	VESTIBULE
GALV.	GALVANIZED	V.T.R.	VENT THRU ROOF
G.B.	GRAB BAR	W/	WITH
G.C.	GENERAL CONTRACTOR	WD.	WOOD
GL.	GLASS	WC	WATER CLOSET
GYP.	BD. GYPSUM WALL BOARD		

MIAMI BEACH WATERMARK

CLIENT :

2nd Floor Addition
to Existing Home

1600 Cleveland Road
Miami Beach, FL 33141
Folio: 02-3203-001-0940

CDS
CASTELLANOS DESIGN STUDIO

7300 BISCAYNE BLVD., SUITE 200
MIAMI, FL 33138
Tel: 786.218.5335
License #AA 26002467

CASTELLANOSDESIGN.COM

No.	DATE	ISSUED / REVISED
1	21JUN/22	BOA APPLICATION
2	01JUL/22	P&Z COMMENTS
3	11JUL/22	FINAL SUBMITTAL

ALL DRAWN AND WRITTEN MATERIAL CONTAINED HEREIN IS THE SOLE PROPERTY OF CASTELLANOS DESIGN STUDIO, LLC. AND MAY NOT BE DUPLICATED, PUBLISHED, DISCLOSED OR USED WITHOUT EXPRESS WRITTEN CONSENT OF CASTELLANOS DESIGN STUDIO, LLC. THE DRAWINGS ARE SCOPE DOCUMENTS WHICH INDICATE THE GENERAL SCOPE OF WORK, AND SUCH DO NOT NECESSARILY DESCRIBE ALL WORK REQUIRED FOR THE FULL PERFORMANCE AND COMPLETION OF THE WORK. GENERAL CONTRACTOR IS TO FURNISH AND INSTALL ALL ITEMS REQUIRED FOR THE PROPER COMPLETION OF ITS WORK WITHOUT ADJUSTMENT TO THE CONTRACT AMOUNT. UNLESS SCOPE OF WORK CHANGES FROM THAT INDICATED ON THE DRAWINGS IN THE EVENT OF A CONFLICT WITHIN OR AMONG THE CONTRACT DOCUMENTS, THAT DOCUMENT PLACING THE GREATEST BURDEN UPON GENERAL CONTRACTOR SHALL GOVERN THE GENERAL CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE ALL DRAWINGS, REPORTING ANY ERROR, INCONSISTENCY OR OMISSION HE MAY DISCOVER, AND REPORT TO CDS AND, IN NO CASE SHALL PROCEED IN UNCERTAINTY.

SEAL :



WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2022-02

PROJECT
DATA &
INFORMATION

CHECKED BY : WC SHEET NO :

DRAWN BY : WC

SCALE:

© 2022 BY CDS

GN-1

50' Total Right-of-Way
19' PAVEMENT



CLIENT:

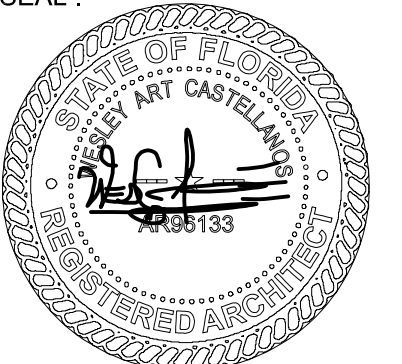
2nd Floor Addition to Existing Home

1600 Cleveland Road
Miami Beach, FL 33141
Folio: 02-3203-001-0940

CDS
CASTELLANOS DESIGN STUDIO
7300 BISCAYNE BLVD., SUITE 200
MIAMI, FL 33138
Tel: 786.218.5335
License #AA 26002467
CASTELLANOSDESIGN.COM

DRAWN AND WRITTEN MATERIAL CONTAINED HEREIN IS THE SOLE PROPERTY OF CASTLELANDS DESIGN STUDIO, LLC, AND MAY NOT BE REPRODUCED, PUBLISHED, DISCLOSED OR USED WITHOUT EXPRESS WRITTEN CONSENT OF CASTLELANDS DESIGN STUDIO, LLC. THE DRAWINGS ARE SCOPE DOCUMENTS WHICH INDICATE THE GENERAL SCOPE OF WORK, AND SUCH DO NOT NECESSARILY DESCRIBE ALL ITEMS REQUIRED FOR PROPER COMPLETION OF THE WORK. THE GENERAL CONTRACTOR IS TO FURNISH AND INSTALL ALL ITEMS REQUIRED FOR PROPER COMPLETION OF ITS WORK WITHOUT ADJUSTMENT TO THE CONTRACT PRICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INFORMATION ON THE DRAWINGS. IN THE EVENT OF A CONFLICT WITHIN OR AMONG THE CONTRACT DOCUMENTS, THAT DOCUMENT PLACING THE GREATEST BURDEN ON THE GENERAL CONTRACTOR SHALL PREVAIL. THE GENERAL CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE ALL DRAWINGS, REPORTING ANY ERROR, INCONSISTENCY OR OMISSION HE MAY OBSERVE TO THE ARCHITECT. THE GENERAL CONTRACTOR SHALL NOT PROCEED IN CERTAINTY.

SEAL :



WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2022-02

LOT COVERAGE DIAGRAM

CHECKED BY : WC	SHEET NO :
-----------------	------------

DRAWN BY : WC

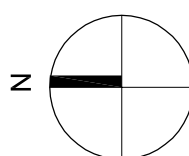
SCALE:

© 2022 BY CDS

GN-3.1

Lot 29
Block - 5

1 PROPOSED LOT COVERAGE
SCALE : 3/16" = 1'-0"



EXISTING LOT COVERAGE



PROPOSED LOT COVERAGE

CLEVELAND STREET

50' Total Right-of-Way	
19' PAVEMENT	

5' SIDEWALK

PROPERTY LINE

CANAL

60' Total Right-of-Way

MIAMI BEACH WATERMARK

CLIENT :

2nd Floor Addition to Existing Home

1600 Cleveland Road
Miami Beach, FL 33141
Folio: 02-3203-001-0940

CDS

CASTELLANOS DESIGN STUDIO

7300 BISCAYNE BLVD., SUITE 200
MIAMI, FL 33133

MIAMI, FL 33138
TEL: 785 248 5335

Tel: 786.218.5335

License #AA 26002467

CASTELLANOSDESIGN.COM

[illegible]

SEAL :



PROJECT NO : 2022-02

UNIT SIZE DIAGRAM

CHECKED BY : WC	SHEET NO :
-----------------	------------

DRAWN BY : WC

DRAWN BY

SCALE

SCALE:

GN-3.2

SCALE : 1/8" = 1'-0"

EL SIDEWALK

5' SIDEWALK

SCALE : 1/8" = 1'-0"

HENEDON AVENUE

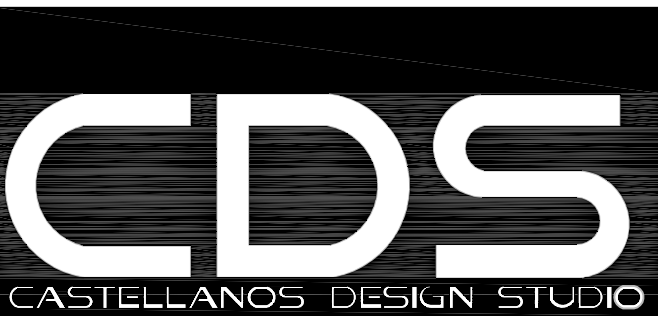
50' Total Right-of-Way
19' PAVEMENT

MIAMI BEACH WATERMARK

CLIENT:

2nd Floor Addition
to Existing Home

1600 Cleveland Road
Miami Beach, FL 33141
Folio: 02-3203-001-0940



7300 BISCAYNE BLVD., SUITE 200
MIAMI, FL 33138
Tel: 786.218.5335
License #AA 26002467

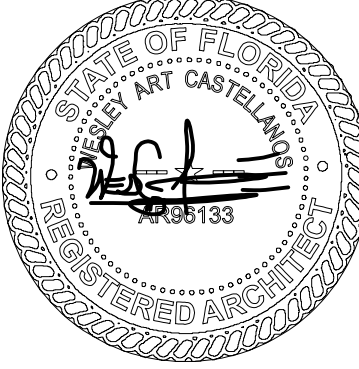
CASTELLANOSDESIGN.COM

No. DATE ISSUED / REVISED

1	21JUN/22	BOA APPLICATION
2	01JUL/22	P&Z COMMENTS
3	11JUL/22	FINAL SUBMITTAL

ALL DRAWN AND WRITTEN MATERIAL CONTAINED HEREIN IS THE SOLE PROPERTY OF CASTELLANOS DESIGN STUDIO, LLC. AND MAY NOT BE DUPLICATED, PUBLISHED, DISCLOSED OR USED WITHOUT EXPRESS WRITTEN CONSENT OF CASTELLANOS DESIGN STUDIO, LLC. THE DRAWINGS ARE SCOPE DOCUMENTS WHICH INDICATE THE GENERAL SCOPE OF WORK, AND SUCH DO NOT NECESSARILY DESCRIBE ALL WORK REQUIRED FOR THE FULL PERFORMANCE AND COMPLETION OF THE WORK. GENERAL CONTRACTOR IS TO FURNISH AND INSTALL ALL ITEMS REQUIRED FOR THE PROPER COMPLETION OF ITS WORK WITHOUT ADJUSTMENT TO THE CONTRACT AMOUNT UNLESS SCOPE OF WORK CHANGES FROM THAT INDICATED ON THE DRAWINGS. IN THE EVENT OF A CONFLICT WITHIN OR AMONG THE CONTRACT DOCUMENTS, THAT DOCUMENT PLACING THE GREATEST BURDEN UPON GENERAL CONTRACTOR SHALL GOVERN. THE GENERAL CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE ALL DRAWINGS, REPORTING ANY ERROR, INCONSISTENCY OR OMISSION HE MAY DISCOVER, AND REPORT TO CDS AND, IN NO CASE SHALL PROCEED IN UNCERTAINTY.

SEAL:



WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO: 2022-02

UNIT SIZE
DIAGRAM
GROUND
FLOOR

CHECKED BY: WC

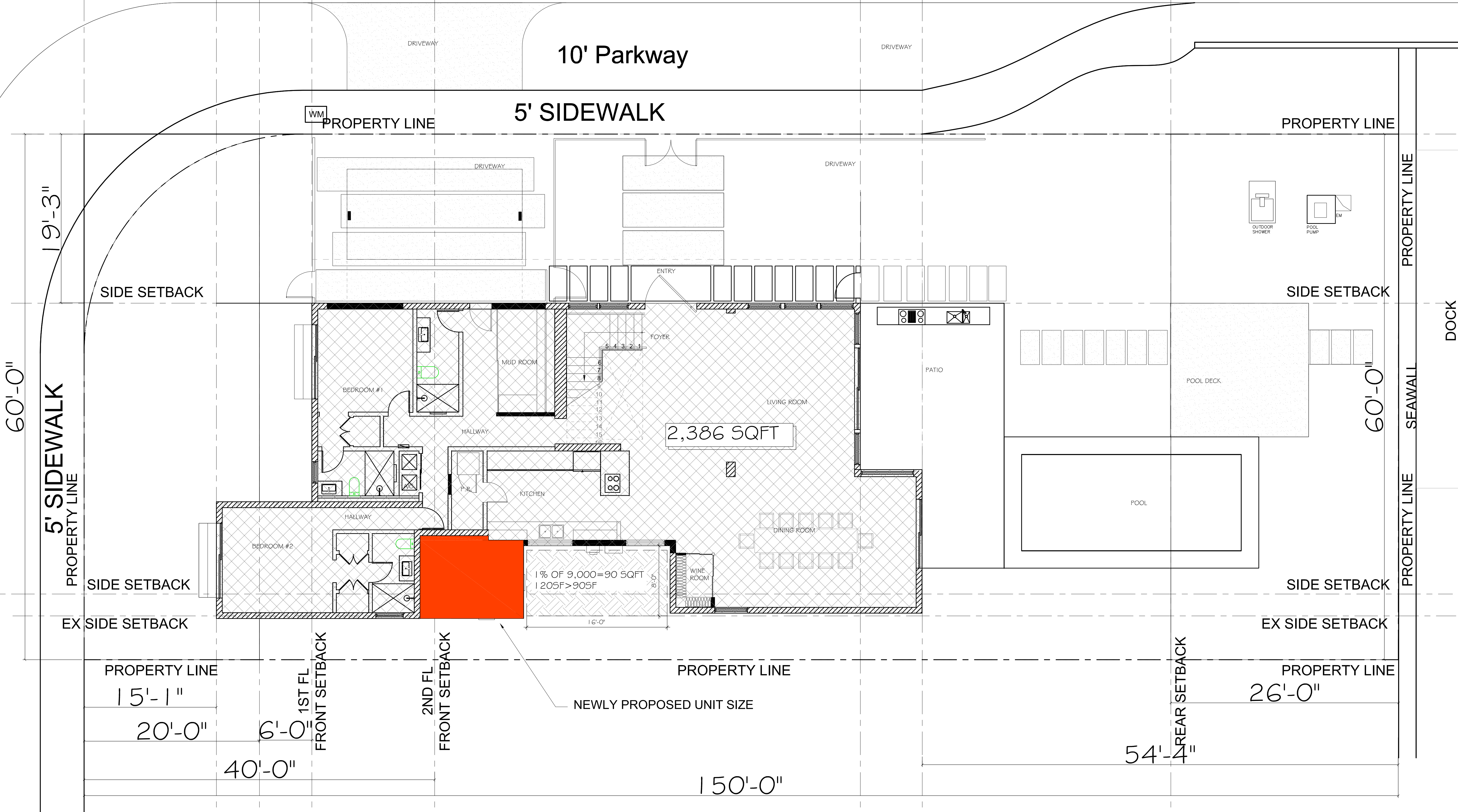
SHEET NO:

DRAWN BY: WC

SCALE:

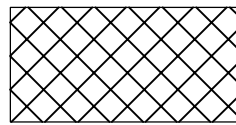
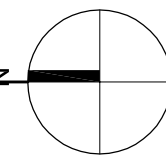
© 2022 BY CDS

GN-3.2A



1 PROPOSED GROUND FLOOR UNIT SIZE

SCALE: 3/16" = 1'-0"



EXISTING UNIT SIZE



NEWLY PROPOSED UNIT SIZE

50' Total Right-of-Way
19' PAVEMENT

MIAMI BEACH WATERMARK

CLIENT:

2nd Floor Addition to Existing Home

1600 Cleveland Road
Miami Beach, FL 33141
Folio: 02-3203-001-0940

CDS
CASTELLANO'S DESIGN STUDIO
7300 BISCAYNE BLVD., SUITE 200
MIAMI, FL 33138
Tel: 786.218.5335
License #AA 26002467
CASTELLANOSDESIGN.COM

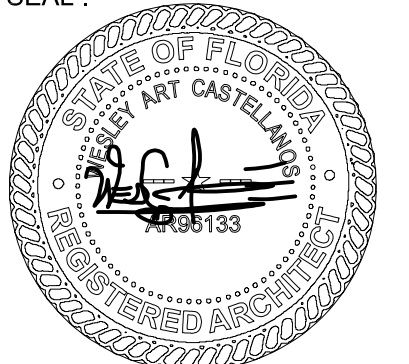
[illegible]

ALL DRAWN AND WRITTEN MATERIAL CONTAINED HEREIN IS THE SOLE PROPERTY OF CASTELLANOS DESIGN STUDIO, LLC, AND MAY NOT BE DUPLICATED, PUBLISHED, DISCLOSED OR USED WITHOUT EXPRESS WRITTEN CONSENT OF CASTELLANOS DESIGN STUDIO, LLC.

THE DRAWINGS ARE SCOPE DOCUMENTS WHICH INDICATE THE GENERAL SCOPE OF WORK, AND SUCH DO NOT NECESSARILY DESCRIBE ALL WORK TO BE PERFORMED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE GENERAL CONTRACTOR IS TO FURNISH AND INSTALL ALL ITEMS REQUIRED FOR THE PROPER COMPLETION OF ITS WORK WITHOUT ADJUSTMENT TO THE CONTRACT PRICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. IN THE EVENT OF A CONFLICT WITHIN OR AMONG THE CONTRACT DOCUMENTS, THAT DOCUMENT PLACING THE GREATEST DEMAND ON THE CONTRACTOR SHALL PREVAIL. THE GENERAL CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE ALL DRAWINGS, REPORTING ANY ERROR, INCONSISTENCY OR OMISSION HE MAY DISCOVER TO THE REPORT TO CDS AND, IN NO CASE, SHALL PROCEED IN UNCERTAINTY.

SEAL :



WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2022-02

UNIT SIZE
DIAGRAM
SECOND
FLOOR

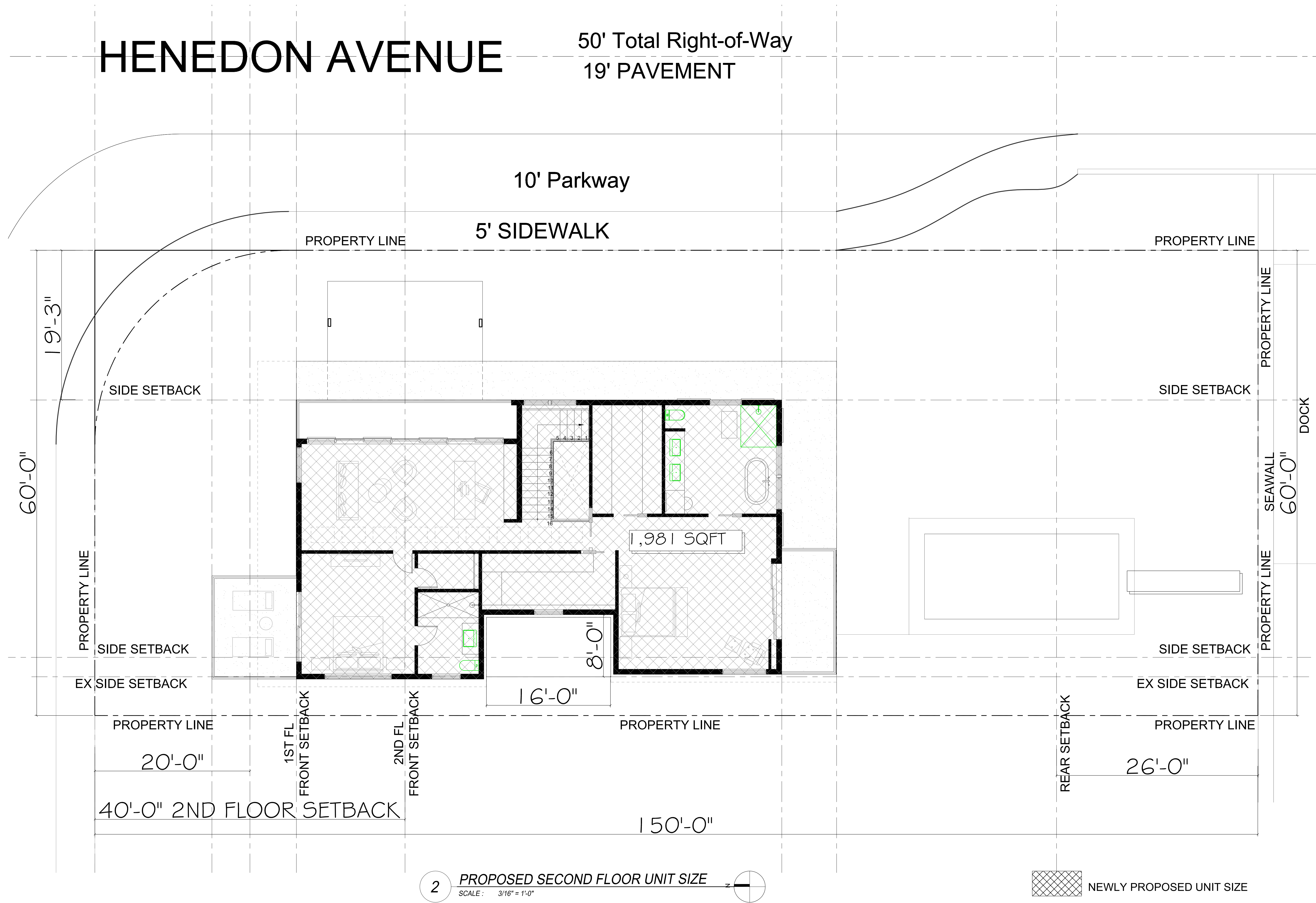
CHECKED BY : WC	SHEET NO :
-----------------	------------

DRAWN BY : WC

SCALE:

© 2022 BY CDS

GN-3.2B



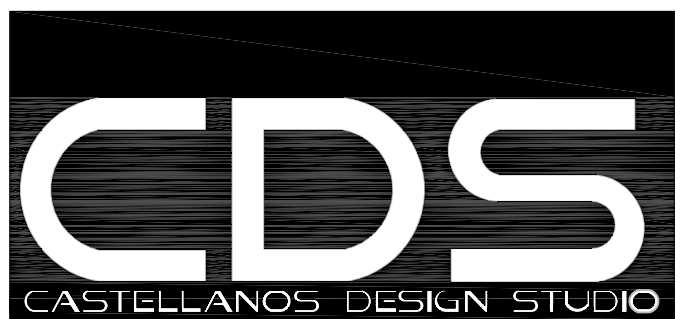
REAR SETBACK
LANDSCAPE AREA (70%)

MIAMI BEACH WATERMARK

CLIENT:

2nd Floor Addition to Existing Home

1600 Cleveland Road
Miami Beach, FL 33141
Folio: 02-3203-001-0940



7300 BISCAYNE BLVD., SUITE 200
MIAMI, FL 33138
Tel: 786.218.5335
License #AA 26002467

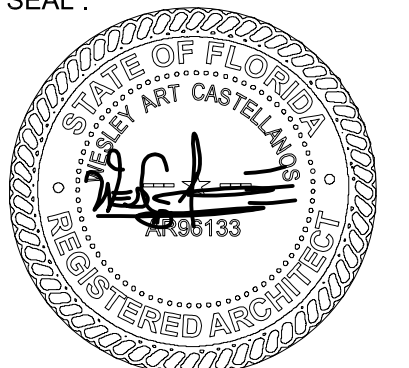
CASTELLANOSDESIGN.COM

No.	DATE	ISSUED / REVISED
1	21JUN/22	BOA APPLICATION
2	01JUL/22	P&Z COMMENTS
3	11JUL/22	FINAL SUBMITTAL

ALL DRAWN AND WRITTEN MATERIAL CONTAINED HEREIN IS THE SOLE PROPERTY OF CASTELLANOS DESIGN STUDIO, LLC, AND MAY NOT BE DUPLICATED, PUBLISHED, DISCLOSED OR USED WITHOUT EXPRESS WRITTEN CONSENT OF CASTELLANOS DESIGN STUDIO, LLC.

THE DRAWINGS ARE SCOPE DOCUMENTS WHICH INDICATE THE GENERAL SCOPE OF WORK, AND SUCH DO NOT NECESSARILY DESCRIBE ALL WORK TO BE ACCOMPLISHED. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE GENERAL CONTRACTOR IS TO FURNISH AND INSTALL ALL ITEMS REQUIRED FOR THE PROPER COMPLETION OF ITS WORK WITHOUT ADJUSTMENT TO THE PRICE OF THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INDICATED ON THE DRAWINGS. IN THE EVENT OF A CONFLICT WITHIN OR AMONG THE CONTRACT DOCUMENTS, THAT DOCUMENT PLACING THE GREATEST DEMAND ON THE CONTRACTOR SHALL PREVAIL. IT IS THE GENERAL CONTRACTOR'S DUTY TO CAREFULLY STUDY AND COMPARE ALL DRAWINGS, REPORTING ANY ERROR, INCONSISTENCY OR OMISSION IN THE DRAWINGS TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY. IT IS THE GENERAL CONTRACTOR'S DUTY TO CORRECT AND, IN NO CASE, SHALL PROCEED IN UNCERTAINTY.

SEAL :



WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2022-02

FRONT AND REAR LANDSCAPE DIAGRAMS

CHECKED BY : WC	SHEET NO :
-----------------	------------

DRAWN BY : WC

SCALE:

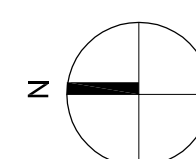
© 2022 BY CDS

GN-3.3

1

PROPOSED LANDSCAPE AREAS

SCALE: $3/16" = 1'-0"$



VARIANCE #2
SIDEYARD SETBACK
7'-6" REQ.
2'-6" REQUEST FOR
STRUCTURAL

CLÉ

50' Total Right-of-Way
20' PAVEMENT

50' Total Right-of-Way
20' PAVEMENT

VARIANCE #1
FRONT YARD SETBACK
2 STORY 40'0" REQ.
14'-0" REQUEST FOR
STRUCTURAL ELEMENTS

10' Parkway

5' SIDEWALK

MIAMI BEACH WATERMARK

CLIENT:

2nd Floor Addition to Existing Home

1600 Cleveland Road
Miami Beach, FL 33141
Folio: 02-3203-001-0940

CDS

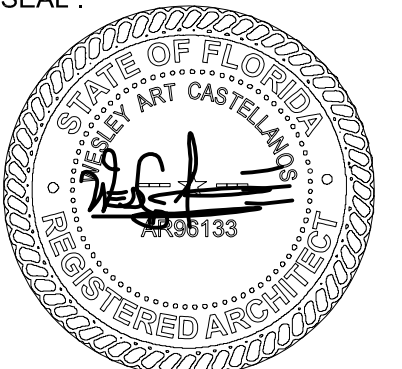
CASTELLANOS DESIGN STUDIO
7300 BISCAYNE BLVD., SUITE 200
MIAMI, FL 33138
Tel: 786.218.5335
License #AA 26002467

CASTELLANOSDESIGN.COM

No.	DATE	ISSUED / REVISED
1	21JUN/22	BOA APPLICATION
2	01JUL/22	P&Z COMMENTS
3	11JUL/22	FINAL SUBMITTAL

ALL DRAWN AND WRITTEN MATERIAL CONTAINED HEREIN IS THE SOLE PROPERTY OF CASTELLANOS DESIGN STUDIO, LLC, AND MAY NOT BE REPRODUCED, PUBLISHED, DISCLOSED OR USED WITHOUT EXPRESS WRITTEN CONSENT OF CASTELLANOS DESIGN STUDIO, LLC. THE DRAWINGS ARE SCOPE DOCUMENTS WHICH INDICATE THE GENERAL SCOPE OF WORK, AND SUCH DO NOT NECESSARILY DESCRIBE ALL WORK TO BE REQUIRED. THE FULL PERFORMANCE AND COMPLETION OF THE WORK CONTRACTOR IS TO FURNISH AND INSTALL ALL ITEMS REQUIRED FOR THE PROPER COMPLETION OF ITS WORK WITHOUT ADDITION TO THE CONTRACT PRICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES INDICATED ON THE DRAWINGS. IN THE EVENT OF A CONFLICT WITHIN OR AMONGST THE SCOPE DOCUMENTS, THE DOCUMENT PLACING THE CONTRACTOR UNDER OBLIGATION SHALL PREVAIL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE ALL THE DRAWINGS, SPECIFICATIONS, AND EXISTING CONDITIONS OF THE WORK TO BE DISCOVERED AND REPORT TO CDS AND, IN NO CASE, SHALL PROCEED IN UNCERTAINTY.

SEAL :



WESLEY ART CASTELLANOS
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO : 2022-02

VARIANCE DIAGRAM

CHECKED BY : WC	SHEET NO :
-----------------	------------

DRAWN BY : WC

SCALE:

© 2022 BY CDS

GN-3.4