

PRIVATE OFFICE BUILDING

1695 ALTON ROAD  
MIAMI BEACH, FL 33139

FINAL DRB SUBMITTAL  
DRB22-0827

SCOPE OF WORK:  
EXISTING ONE STORY SINGLE OFFICE BUILDING  
REMOVAL OF EXTERIOR ELEMENTS, MEP RECONFIGURATION,  
STRUCTURAL SLAB TRENCHING, CORNER TERRACE BUILD OUT  
AND REPLACE WINDOWS.



ARCHITECT

KOBI KARP ARCHITECTURE  
AND INTERIOR DESIGN, INC.

571 NW 28TH ST MIAMI, FL 33127  
T: 305.573.1818

Rev.	Date	Rev.	Date

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ZONING

FINAL SUBMITTAL DRB22-0827

OFFICE BUILDING

1695 ALTON RD  
MIAMI BEACH, FLORIDA 33139

Owner:

PRIVATE OFFICE BUILDING

Consultant:

Name  
Address  
Tel:  
Email

Consultant:

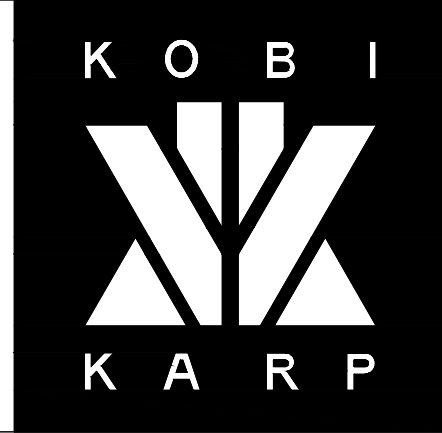
Name  
Address  
Tel:  
Email

Landscape Architect:

Name  
Address  
Tel:  
Email

Architect:

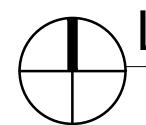
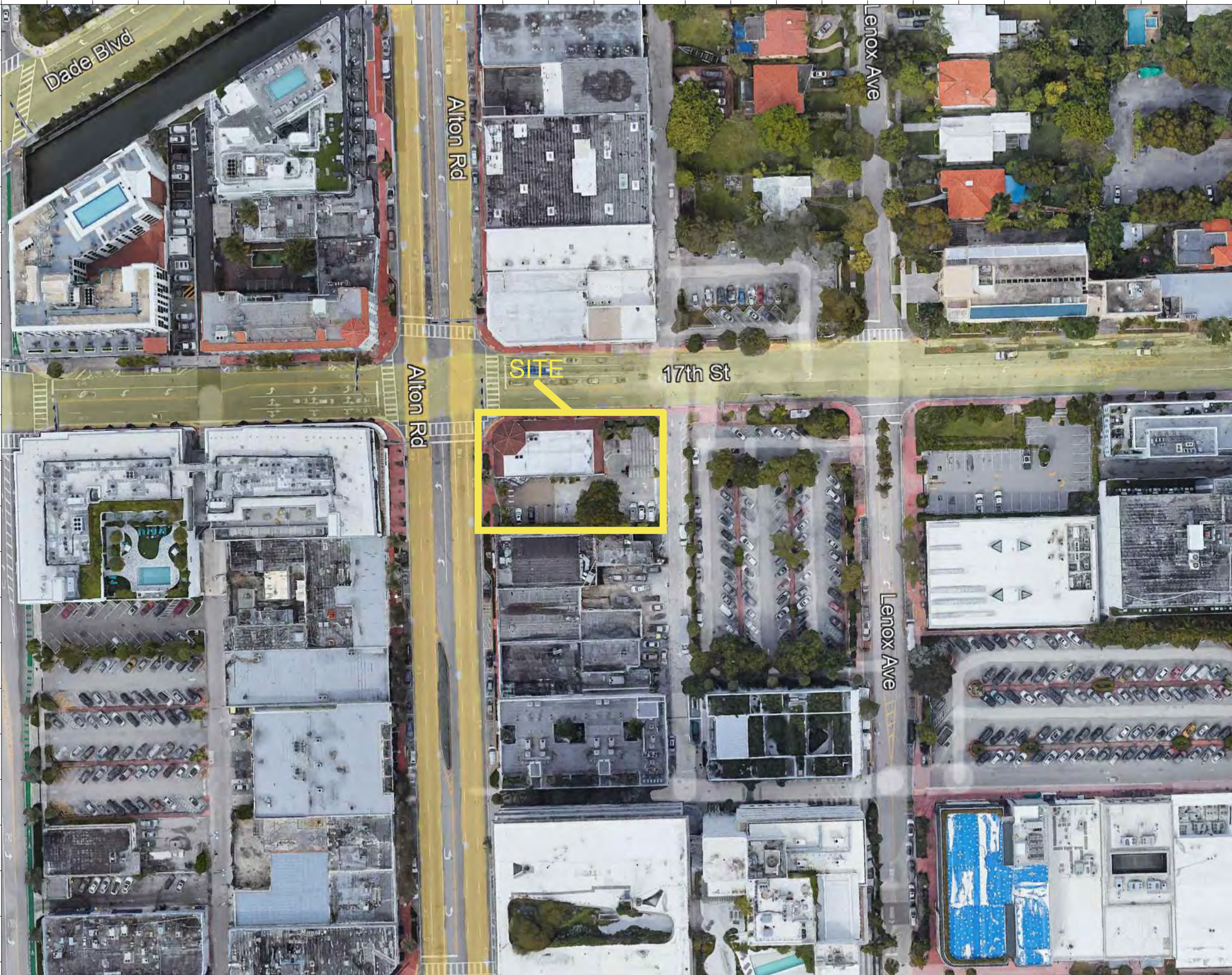
Kobi Karp Architecture and Interior Design, Inc.  
2915 Biscayne Boulevard, Suite #200  
Miami, Florida 33137 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766



COVER

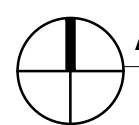
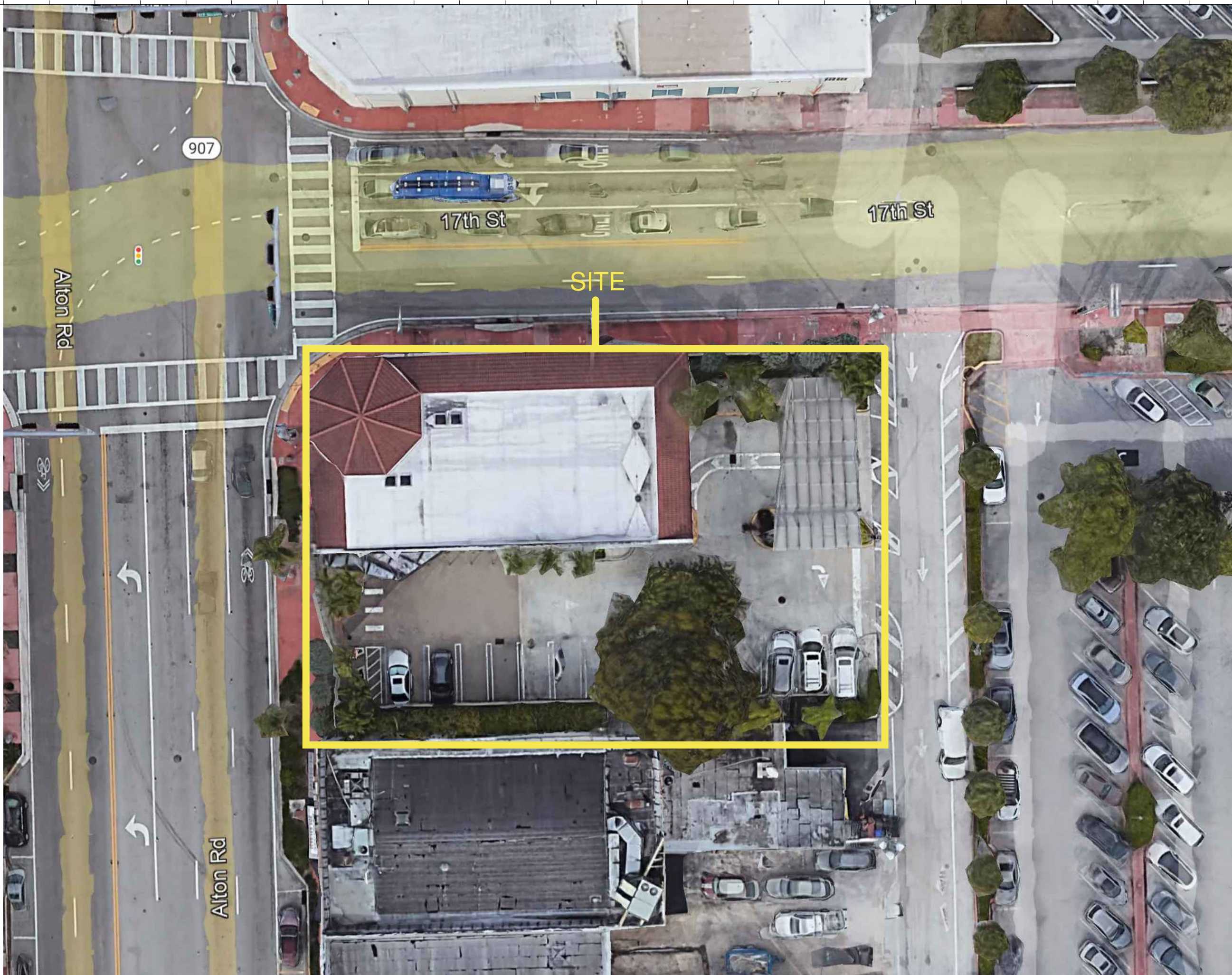
Date	05/16/2022	Sheet No.
Scale	AS MENTIONED	A0.00
Project	21121	





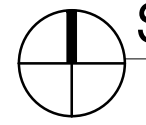
LOCATION MAP

Scale N.T.S



AERIAL VIEW

Scale N.T.S



SITE PHOTO

Scale N.T.S

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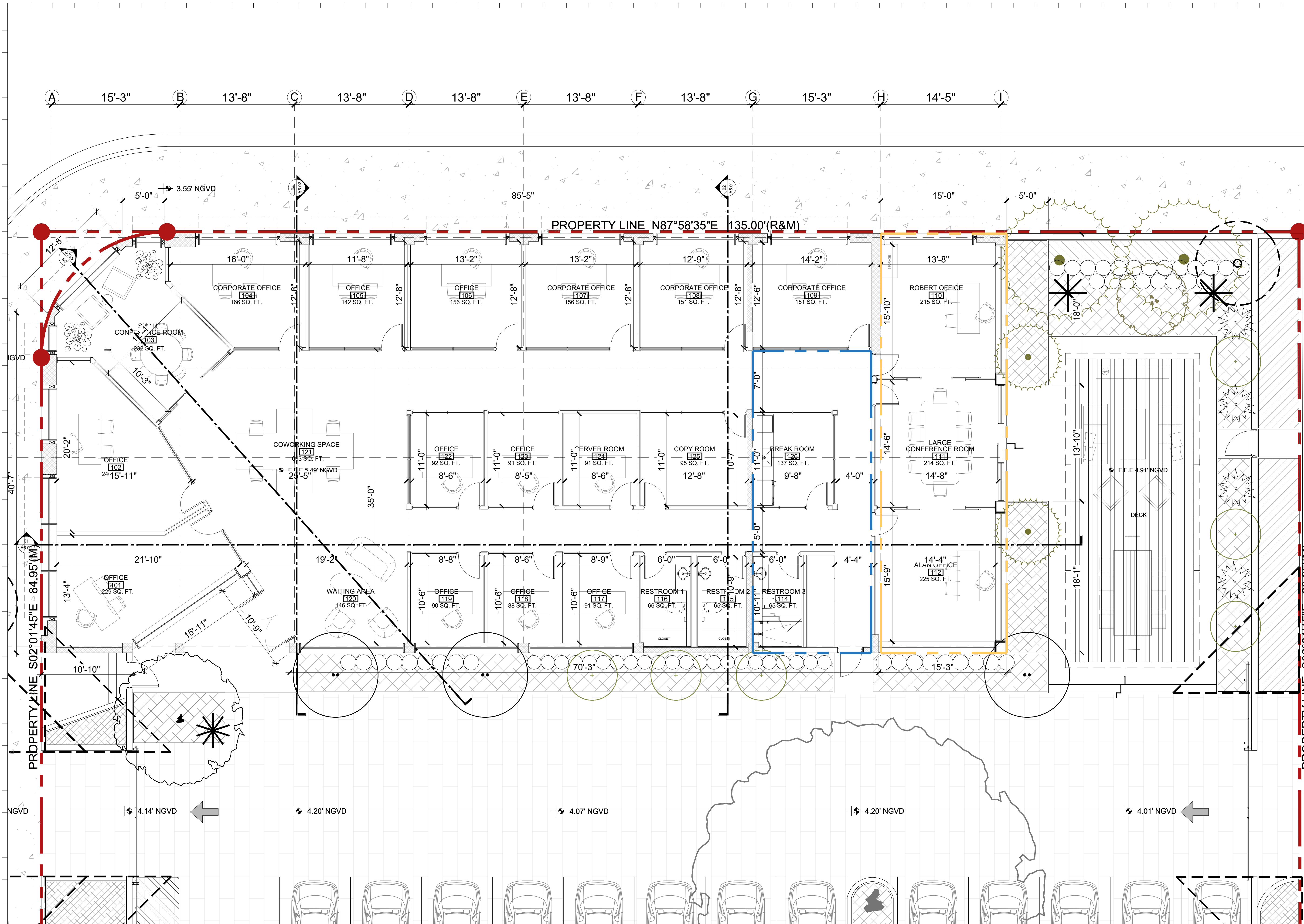
LOCATION

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Date	04/01/2022	Sheet No.  <b>L-2.00</b>
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Project		





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DRB SUBMITTAL

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FIRST FLOOR PLAN

Date	04/01/2022	Sheet No.
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Project		





1695 ALTON ROAD

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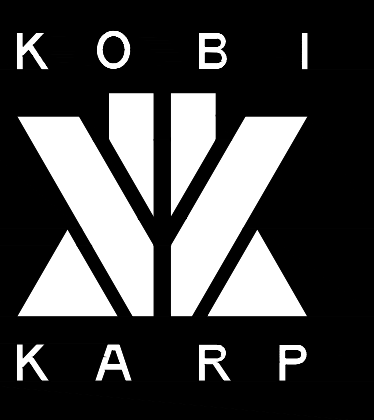
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RENDERING

Date	05/16/2022	Sheet No. <b>A6.04</b>
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Project	21121	





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KOB I  
K A R P

RENDERING

Date	05/16/2022	Sheet No.
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Project	21121	





1 NORTH ELEVATION (17TH STREET)  
3/16" = 1'-0"



2 EAST ELEVATION (ALLEY)  
3/16" = 1'-0"

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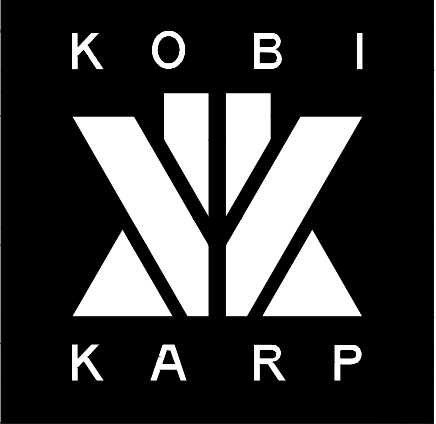
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RENDERED ELEVATIONS

Date	05/16/2022	Sheet No.
Scale	AS MENTIONED	A4.04
Project	21121	





1 SOUTH ELEVATION  
3/16" = 1'-0"



2 WEST ELEVATION (ALTON RD)  
3/16" = 1'-0"

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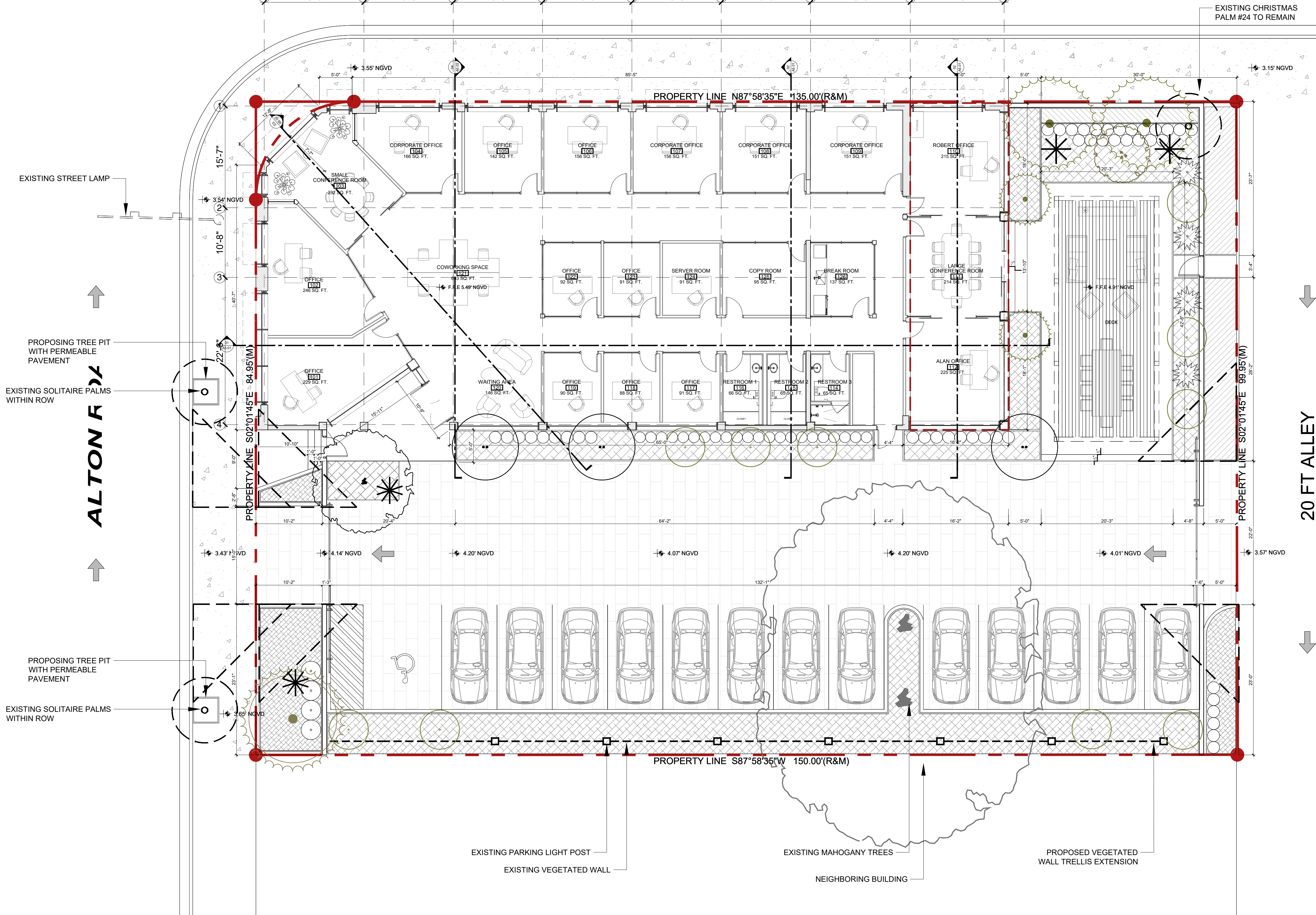


## RENDERED ELEVATIONS

Date	05/16/2022	Sheet No.
Scale	AS MENTIONED	A4.05
Project	21121	



17TH STREET



PUBLIC WORKS:

- A. LANDSCAPING IMPROVEMENTS WITHIN THE RIGHT OF WAY REQUIRE PRELIMINARY APPROVALS FROM CMB PLANNING DEPARTMENT AND PARKS (GREEN MANAGMENT). DEPARTMENT PRIOR TO APPLYING FOR A PUBLIC WORKS DEPARTMENT RIGHT OF WAY CONSTRUCTION PERMIT.
- B. ALL CONSTRUCTION AND / OR USE OF EQUIPMENT IN THE RIGHT OF WAY AND / OR EASEMENTS WILL REQUIRE A SEPARATE PUBLIC WORKS DEPARTMENT PERMIT PRIOR OR COMMENCEMENT OF CONSTRUCTION

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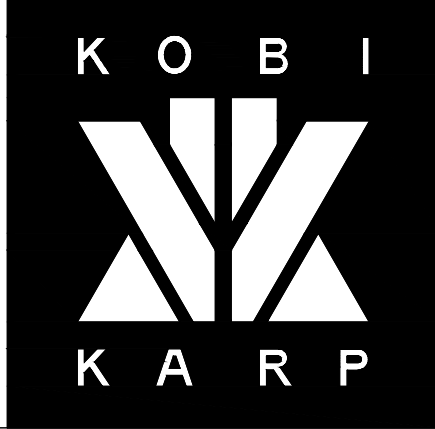
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Architect:

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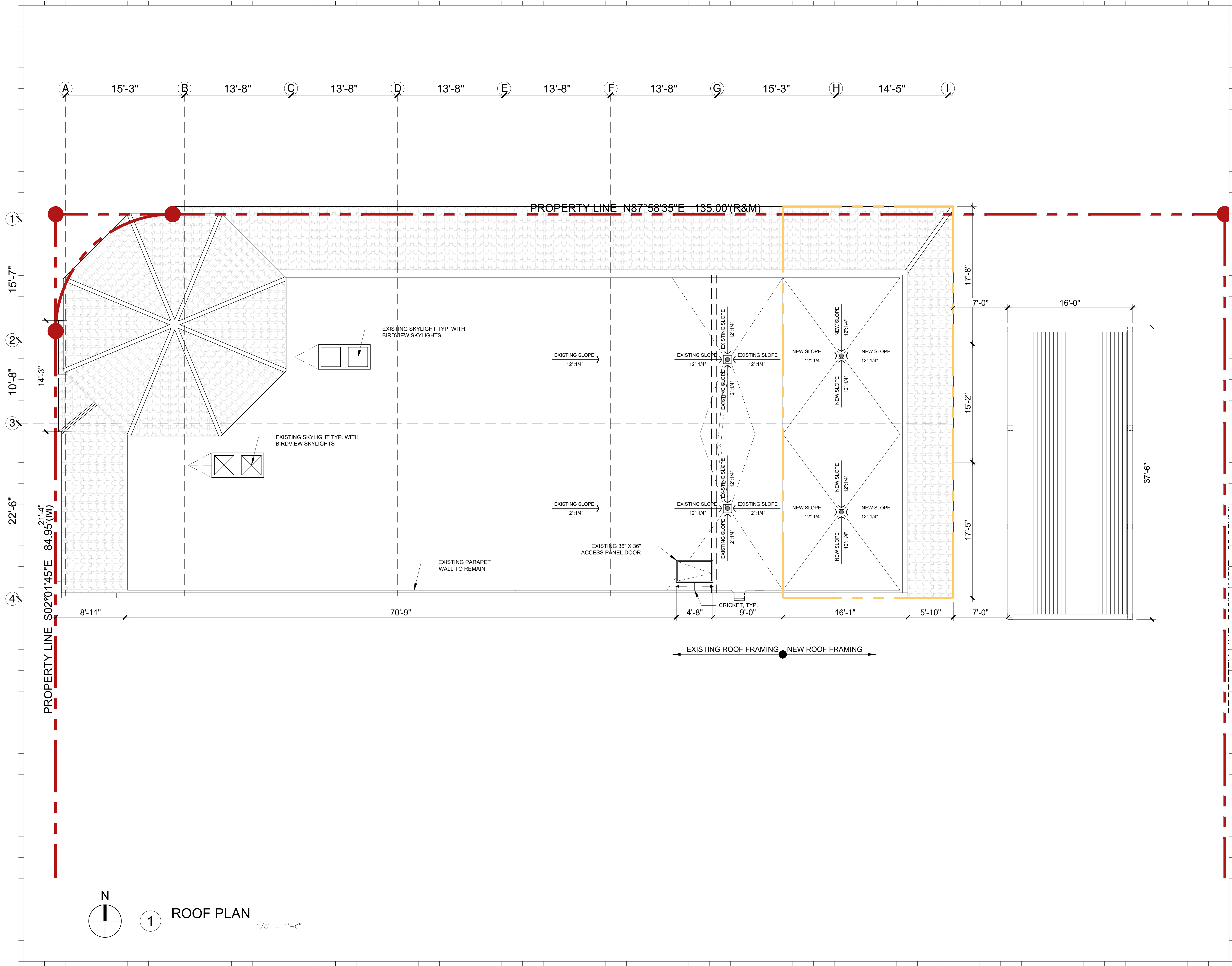
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SITE PLAN

Date	04/01/2022	Sheet No.
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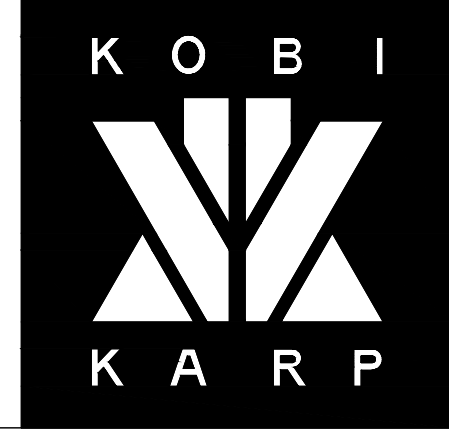
Name  
Address  
Tel:  
Email

### Landscape Architect:

Name  
Address  
Tel:  
Email

### Architect:

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## ROOF PLAN

Date	05/16/2022	Sheet No.
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Project	21121	





1695 ALTON ROAD

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RENDERING

Date	05/16/2022	Sheet No. <b>A6.04</b>
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RENDERING

Date	05/16/2022	Sheet No.
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Project	21121	





WHITE STUCCO TO MATCH EXISTING



TERRACOTTA ROOF TILE TO MATCH EXISTING



BLACK ANODIZED ALUMINIUM FOR WINDOWS AND TRELLIS STRUCTURE



BRIGHT WOOD FOR GATE AND TRELLIS

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MATERIAL DIAGRAM

Date	05/16/2022	Sheet No.
Scale	AS MENTIONED	A8.00
Project	21121	



END



MIAMI BEACH

Planning Department, 1700 Convention Center Drive  
Miami Beach, Florida 33139, www.miamibeachfl.gov  
305.673.7550

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	ZONING INFORMATION				
1	Address:	1695 Alton Rd, Miami Beach, Florida 33139 1683 Alton Rd, Miami Beach, Florida 33139			
2	Board and File numbers:				
3	Folio number(s):	02-3234-017-0090 / 02-3234-017-0100			
4	Year constructed:		Zoning District:	CD-2 COMMERCIAL, MEDIUM INTENSITY	
			National Historic District:		
			Local Historic District:		
5	Based Flood Elevation:	8'-0" NGVD	Grade Value in NGVD:	Existing to remaln: 6.22' NGVD	
6	Design Flood Elevation	New Addition : 9.00 NGVD	Lot Area:	14,945 SF	
7	Lot Width	99.95'	Lot Depth:	150.00'	
8	Minimum Unit Size	N/A	Average Unit Size:	N/A	
9	Existing Use	COMMERCIAL	Proposed Use:	COMMERCIAL (EXISTING)	
		Maximum / Required	Existing	Proposed	Deficiencies
10	Percent of required Open Space	1842 SF (20%)	2079 SF (23%)	2539 SF (28%)	N/A
11	Height	50'-0"	26'-1"	26'-1" (EXISTING)	N/A
12	Number of Stories	5	1	1 (EXISTING)	N/A
13	FAR	1.50/ 22,417 SF	3,978 SF (0.27%)	5491 SF (0.37%)	N/A
14	Gross Square Footage (Floor Area)				N/A
15	Square Footage by use	N/A	N/A	N/A	N/A
16	Number of Units Residential	N/A	N/A	N/A	N/A
17	Number of Units Hotel	N/A	N/A	N/A	N/A
18	Number of Seats	N/A	N/A	N/A	N/A
19	Occupancy Load	N/A	N/A	N/A	N/A
	Setbacks	Required	Existing	Proposed	Deficiencies
	Pedestal				
20	Front Setback/ WEST:	0' MIN	0'-0"	0'-0"	-
21	Side Facing Street Setback/ NORTH:	0' MIN	0'-0"	0'-0"	-
22	Side Facing Abbuding Setback / EAST:	0' MIN	11'-8"	11'-8"	-
23	Side Interior Setback/ NORTH:	0' MIN	49.8'	49.8'	-
	Parking	Required	Existing	Proposed	Deficiencies
	Setbacks				
24	Total # of parking spaces	18 PS	15 PS	15 PS (EXISTING)	3 parking spaces to be paid down for
25	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	-	-	-	-
26	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	-	-	-	-
27	Valet Drop off and pick up	-	-	-	-
28	Loading zones and Trash collection areas				
29	Bike Racks				
	Setbacks				
30	Front Setback/ WEST:	5' MIN	10'-0"	10'-0" (EXISTING)	-
31	Side Facing Street Setback/ NORTH:	5' MIN	16'-7"	16'-7" (EXISTING)	-
32	Side Facing Abbuding Setback / EAST:	5' MIN	5'-0"	5'-0" (EXISTING)	-
33	Side Interior Setback/ NORTH:	5' MIN	5'-0"	5'-0" (EXISTING)	-

LEGAL DESCRIPTION:  
FOLIO: 02-3234-017-0090  
COMM SUB 1 ADD PB 6-30 / LOT 14 BLK 39 / LOT SIZE 50.000 X 150 / OR 13995-1351 0289 5  
FOLIO: 02-3234-017-0100  
COMM SUB 1 ADD PB 6-30 / LOT 15 BLK 39 / LOT SIZE 50.000 X 150 / OR 15116-2279 0791 5

NOTHING SHALL BE ERECTED, PLACED, PARKED, PLANTED, OR ALLOWED TO GROW IN SUCH A MANNER WITHIN A 15'-0" TRIANGLE OF VISIBILITY SO AS TO MATERIALLY IMPEDE VISION BETWEEN A HEIGHT OF 2'-0" AND 6'-0" ABOVE GRADE (3.99' N.G.V.D.)

THE SIDE OF THE PROPERTY SHALL BE GRADED IN A MANNER TO RETAIN ALL RAINWATER ON THE PROPERTY WITH THE USE OF INTERCEPTOR SWALES AROUND THE PERIMETER OF THE SITE WITH NO ENCROACHMENT OVER ADJACENT PROPERTIES AND THE AREA ADJACENT TO THE CANAL WILL BE GRADED TO PREVENT DIRECT OVERLAND DISCHARGE OF STORMWATER INTO THE CANAL

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A0.04	EXISTING STRUCTURES
A0.05	EXISTING STRUCTURES
A0.06	PROJECT SITE
A0.07	PROJECT SITE
A1.01	PERVIOUS DIAGRAM
A1.02	F.A.R.DIAGRAM
A2.00	EXISTING SITE PLAN
A2.01	SITE PLAN
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A3.01	FIRST FLOOR PLAN
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A4.01	EXISTING ELEVATIONS
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A6.01	AXONOMETRIC RENDERING
A6.02	AXONOMETRIC RENDERING
A6.03	AXONOMETRIC RENDERING
A6.04	RENDERING
A6.05	RENDERING

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Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

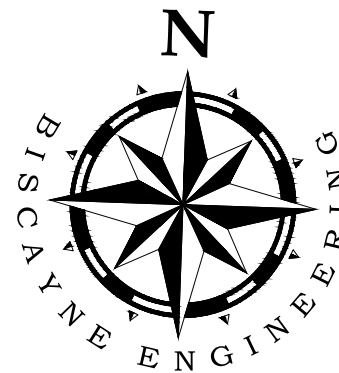
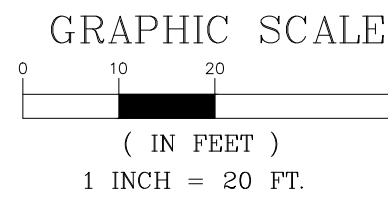


DATA SHEET

Date	05/16/2022	Sheet No.  <b>A0.01</b>
Scale	AS MENTIONED	
Project	21121	



# ALTA/NSPS LAND TITLE SURVEY



## ABBREVIATIONS:

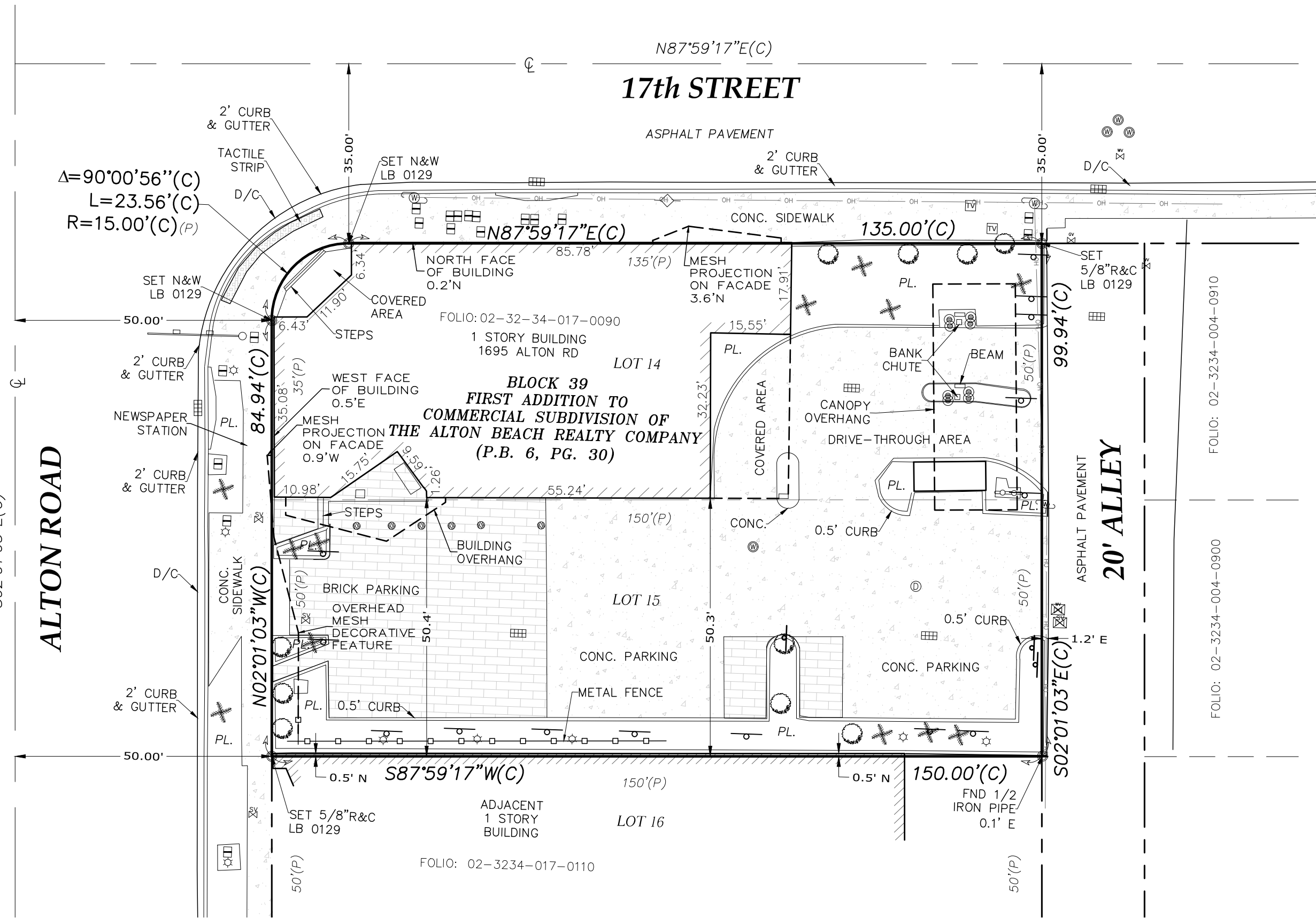
B.E.C.	=	BISCAYNE ENGINEERING COMPANY
BBL	=	BASE BUILDING LINE
BFP	=	BACKFLOW PREVENTER
CONC.	=	CONCRETE
CMB	=	CITY OF MIAMI BENCHMARK
C&G	=	CURB AND GUTTER
D/C	=	DEPRESSED CURB
DIAM	=	DIAMETER
ELEV	=	ELEVATION
EP	=	EDGE OF PAVEMENT
FDC	=	FIRE DEPARTMENT CONNECTION
LB	=	LICENSED BUSINESS
MD-WASD	=	MIAMI DADE WATER AND SEWER DEPARTMENT
MHD	=	MANHOLE DRAINAGE (STORM) SEWER
MHS	=	MANHOLE SANITARY SEWER
N&W	=	NAIL AND WASHER
(C)	=	CALCULATED FROM FIELD MEASUREMENTS
(P)	=	PLAT
(M)	=	MEASURED
R&C	=	REBAR AND CAP
N&W	=	NAIL AND WASHER
MAG N&W	=	MAG NAIL AND WASHER
PB	=	PLAT BOOK
PL	=	PLANTER
R/W	=	RIGHT-OF-WAY
SWK	=	SIDEWALK
C	=	CENTER LINE
M	=	MONUMENT LINE
F.F.E.	=	FINISH FLOOR ELEVATION
S	=	DIAMETER
L	=	ARC LENGTH
R	=	RADIUS
Δ	=	CENTRAL ANGLE

## LEGEND:

	CATCH BASIN
	CLEAN OUT
	CONCRETE POWER POLE
	CABLE BOX
	ELECTRIC BOX
	FIRE HYDRANT
	GAS VALVE
	LIGHT POST
	MANHOLE - SANITARY SEWER
	MANHOLE - STORM SEWER
	MANHOLE - TELEPHONE
	MANHOLE - ELECTRIC
	BACKFLOW PREVENTER
	STAND PIPE
	MAST ARM
	MONUMENT
	POST
	SIGN
	SEWER VALVE
	WATER METER
	WATER VALVE
	WIRE PULL BOX
	TRANSFORMER
	MANHOLE
	WELL

## TYPES OF LINES:

BOUNDARY	—————
CENTER LINE	—————
MONUMENT LINE	—————
EASEMENT	—————
OVERHEAD WIRE	—○—○—○—
METAL FENCE	—□—□—□—



SUBJECT TO THE FOLLOWING MATTERS OF RECORD AS DESIGNATED IN SCHEDULE B, SECTION II, EXCEPTIONS OF FIDELITY NATIONAL TITLE INSURANCE COMPANY, AMERICAN LAND TITLE ASSOCIATION COMMITMENT, COMMITMENT NUMBER: 10092881, ISSUING OFFICE: TBD/SANEL, INC., COMMITMENT DATE: 11/24/2021 AT 8:00 AM.

1. DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE COMMITMENT DATE HEREOF BUT PRIOR TO THE DATE THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT.  
NOT A SURVEY MATTER. NOT REVIEWED OR CONSIDERED.

2. TAXES AND ASSESSMENTS FOR THE YEAR 2022 AND SUBSEQUENT YEARS, WHICH ARE NOT YET DUE AND PAYABLE.  
NOT A SURVEY MATTER. NOT REVIEWED OR CONSIDERED.

3. STANDARD EXCEPTIONS:

A. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND.  
SURVEY MAP IS SHOWN HEREON.

B. RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORDS.  
NOT A SURVEY MATTER. NOT REVIEWED OR CONSIDERED.

C. ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR, OR MATERIALS HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RECORDS.  
NOT A SURVEY MATTER. NOT REVIEWED OR CONSIDERED.

D. TAXES OR ASSESSMENTS WHICH ARE NOT SHOWN AS EXISTING LIENS IN THE PUBLIC RECORDS.  
NOT A SURVEY MATTER. NOT REVIEWED OR CONSIDERED.

4. ANY CLAIM THAT ANY PORTION OF THE INSURED LAND IS SOVEREIGN LANDS OF THE STATE OF FLORIDA, INCLUDING SUBMERGED, FILLED OR ARTIFICIALLY EXPOSED LANDS ACCRETED TO SUCH LAND.  
NO WATER BOUNDARIES OR SUBMERGED LANDS WERE OBSERVED.

5. ANY LIEN PROVIDED BY COUNTY ORDINANCE OR BY CHAPTER 159, FLORIDA STATUTES, IN FAVOR OF ANY CITY, TOWN, VILLAGE OR PORT AUTHORITY FOR UNPAID SERVICE CHARGES FOR SERVICE BY ANY WATER, SEWER OR GAS SYSTEM SUPPLYING THE INSURED LAND.  
NOT A SURVEY MATTER. NOT REVIEWED OR CONSIDERED.

6. EASEMENT RIGHTS, IF ANY, OF OWNER OF LOT 16, BLOCK 39, FIRST ADDITION TO COMMERCIAL SUBDIVISION OF THE ALTON BEACH REALTY COMPANY, PLAT BOOK 6, PAGE 30, MIAMI-DADE COUNTY, ON ACCOUNT OF ANY ENCROACHMENT ONTO SUBJECT PROPERTY OF THE EXISTING BUILDING, AS SET FORTH IN DEED RECORDED MAY 22, 1989 IN OFFICIAL RECORDS BOOK 14116, PAGE 913.  
APPEARS TO AFFECT THE SUBJECT PROPERTY. DEED IS SUBJECT TO THE EASEMENT RIGHTS OF THE OWNER OF LOT 16 AT THE LOCATION WHERE THE BUILDING CROSSES 0.5 FEET OVER THE SOUTHERLY BOUNDARY OF LOT 15 OF THE SUBJECT PROPERTY, AS SHOWN HEREON.

7. DECLARATION OF UNITY OF TITLE BY AND BETWEEN ALEXANDER L. WINKLER AND ALBEN TWO CORPORATION, A FLORIDA CORPORATION, RECORDED JUNE 8, 1989 IN OFFICIAL RECORDS BOOK 14138, PAGE 44, AND DECLARATION OF UNITY OF TITLE BY AND BETWEEN ALEXANDER L. WINKLER AND GALBEN GROUP, INC., A FLORIDA CORPORATION, RECORDED AUGUST 23, 1991 IN OFFICIAL RECORDS BOOK 15164, PAGE 81, AS AFFECTED BY AFFIDAVIT RECORDED APRIL 3, 2009 IN OFFICIAL RECORDS BOOK 26816, PAGE 635.  
APPEARS TO AFFECT THE SUBJECT PROPERTY AND IS A BLANKET TYPE INSTRUMENT.

8. APPLICATION FOR WAIVER AND REQUEST FOR VARIANCE BY AND BETWEEN ALBEN TWO CORPORATION, INC., AND DIRECTOR OF THE PLANNING AND ZONING DEPARTMENT, RECORDED OCTOBER 4, 1989 IN OFFICIAL RECORDS BOOK 14279, PAGE 2716.  
APPEARS TO AFFECT THE SUBJECT PROPERTY AND IS A BLANKET TYPE INSTRUMENT.

9. UNRECORDED LEASE AS EVIDENCED BY NOTICE TO LIENORS AND MEMORANDUM OF LEASE BY AND BETWEEN MRK ALTON ROAD PROPERTIES, LLC, A FLORIDA LIMITED LIABILITY COMPANY, AND BANKUNITED, A DE NOVO FEDERAL SAVINGS ASSOCIATION, DATED JULY 1, 2010 AND RECORDED DECEMBER 10, 2010 IN OFFICIAL RECORDS BOOK 27517, PAGE 1712.  
APPEARS TO AFFECT THE SUBJECT PROPERTY AND IS A BLANKET TYPE INSTRUMENT.

10. TERMS AND CONDITIONS OF DESIGN REVIEW BOARD, CITY OF MIAMI BEACH, FLORIDA RECORDED IN OFFICIAL RECORDS BOOK 27517, PAGE 1799.  
APPEARS TO AFFECT THE SUBJECT PROPERTY AND IS A BLANKET TYPE INSTRUMENT.

11. TERMS AND CONDITIONS OF DESIGN REVIEW BOARD, CITY OF MIAMI BEACH, FLORIDA RECORDED IN OFFICIAL RECORDS BOOK 27670, PAGE 4623.  
APPEARS TO AFFECT THE SUBJECT PROPERTY AND IS A BLANKET TYPE INSTRUMENT.

12. RIGHTS OF TENANTS OCCUPYING ALL OR PART OF THE INSURED LAND UNDER UNRECORDED LEASES OR RENTAL AGREEMENTS.  
NOT A SURVEY MATTER. NOT REVIEWED OR CONSIDERED.

## TABLE A NOTES:

— BOUNDARY MONUMENTS OF THE SUBJECT PROPERTY WERE SET OR FOUND AS SHOWN HEREON. (TABLE A, ITEM 1)

— THE FOLLOWING PROPERTY ADDRESS IS REFERENCED IN THE TITLE COMMITMENT: "1695 ALTON ROAD, MIAMI BEACH, FL 33139 & 1683 ALTON ROAD, MIAMI BEACH, FL 33139". THE FOLLOWING ADDRESSES FOR THE SUBJECT PROPERTY WERE REFERENCED FROM THE MIAMI-DADE COUNTY PROPERTY APPRAISER'S WEBSITE: 1695 ALTON RD & 1683 ALTON RD. (TABLE A, ITEM 2)

— LANDS SHOWN HEREON ARE LOCATED IN FEDERAL FLOOD ZONE "AE (EL8)", PER FIRM MAP NUMBER 12086C0317, SUFFIX L, COMMUNITY NAME: CITY OF MIAMI BEACH, COMMUNITY NUMBER: 120651, REVISED: SEPTEMBER 11, 2009, REFERENCED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929. (TABLE A, ITEM 3)

— THE SUBJECT PROPERTY CONTAINS A GROSS LAND AREA OF 14,943 SQUARE FEET MORE OR LESS. (TABLE A, ITEM 4)

— NO ZONING REPORT WAS PROVIDED BY THE CLIENT. NO ATTEMPT HAS BEEN MADE BY THE SURVEYOR TO INTERPRET THE ZONING DESIGNATION OR DETERMINE COMPLIANCE WITH THE ZONING CODE OR SETBACKS. (TABLE A, ITEM 6 A&B)

— BUILDING FOOTPRINT DIMENSIONS WITHIN THE SUBJECT PROPERTY WERE MEASURED ALONG THE EXTERIOR FACE AT GROUND LEVEL WHERE POSSIBLE AND ARE SHOWN HEREON ALONG WITH THE NUMBER OF STORIES OF EACH BUILDING. (TABLE A, ITEM 7 A&C)

— THE SUBJECT PROPERTY CONSISTS OF PARKING LOTS, IMPROVEMENTS, AND VARIOUS BUILDING STRUCTURES WHICH WERE SURVEYED AT GROUND LEVEL, AS SHOWN HEREON. (TABLE A, ITEM 8)

— VISIBLE PARKING SPACES WERE OBSERVED WITHIN THE SUBJECT PROPERTY AND ARE SHOWN HEREON. (TABLE A, ITEM 9)

— THE BUILDINGS WITHIN THE SUBJECT PROPERTY DO NOT APPEAR TO SHARE DIVISION OR PARTY WALLS WITH ADJOINING PROPERTIES. (TABLE A, ITEM 10)

— NO UNDERGROUND UTILITY MARKINGS WERE OBSERVED AT THE TIME OF THE SURVEY AND NO UNDERGROUND UTILITY PLANS WERE FURNISHED TO THE SURVEYOR; UNDERGROUND UTILITIES WERE NOT LOCATED. (TABLE A, ITEM 11)

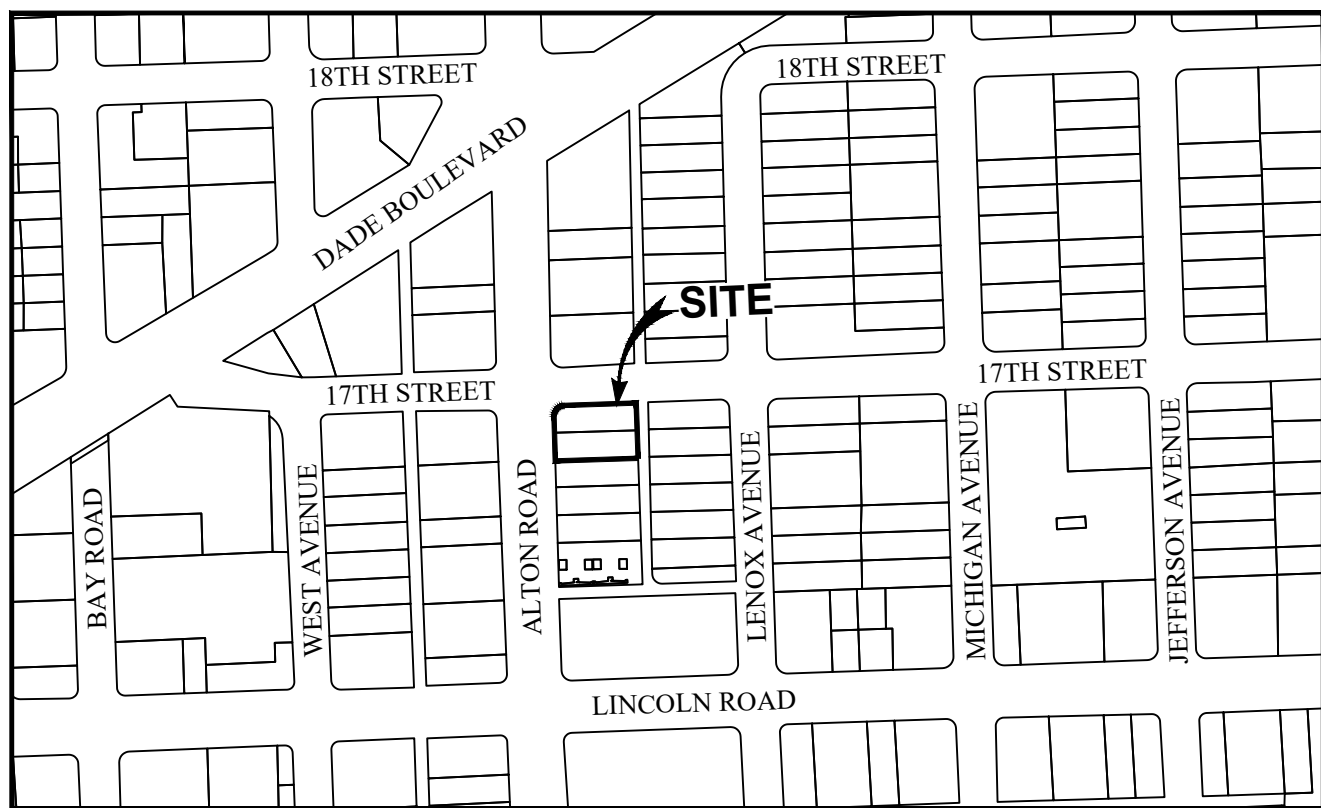
— THE FOLIOS/OWNERS WITHIN THE SURVEYED PROPERTY WERE REFERENCED FROM THE MIAMI-DADE COUNTY PROPERTY APPRAISER'S WEBSITE AND ARE SHOWN HEREON. (TABLE A, ITEM 13)

— NO EVIDENCE OF RECENT CONSTRUCTION OR RECENT EARTH MOVING WORK WAS OBSERVED AT THE TIME OF THE SURVEY. (TABLE A, ITEM 16)

— THE SUBJECT PROPERTY HAS DIRECT ACCESS TO 17TH STREET, ALTON ROAD, AND THE 20 FOOT WIDE ALLEY, ALL BEING PUBLIC RIGHTS-OF-WAY, AS SHOWN HEREON. CLIENT HAS NOT NOTIFIED THE SURVEYOR OF PROPOSED CHANGES IN RIGHT-OF-WAY LINES. (TABLE A, ITEM 17)

— NO VISIBLE EVIDENCE OF WETLANDS OR WETLAND DELINEATION MARKERS WERE OBSERVED AT THE SURVEYED PROPERTY; CLIENT SHOULD CONSULT A QUALIFIED WETLANDS SPECIALIST TO DETERMINE ANY MATTERS REGARDING THE DELINEATION OF WETLANDS.

— SEE SURVEYOR'S COMMENTS TO THE TITLE EXCEPTIONS REGARDING PLOTTABLE EASEMENTS. (TABLE A, ITEM 18)



LOCATION MAP  
NOT TO SCALE

## LEGAL DESCRIPTION:

LOTS 14 AND 15, BLOCK 39, OF FIRST ADDITION TO COMMERCIAL SUBDIVISION OF THE ALTON BEACH REALTY COMPANY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 30, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

## SURVEYOR NOTES:

— LEGAL DESCRIPTION SHOWN HEREON PER THE REFERENCED TITLE COMMITMENT PROVIDED BY THE CLIENT.

— THIS SITE LIES IN SECTION 34, TOWNSHIP 53 SOUTH, RANGE 42 EAST, MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA.

— THE SITE ADDRESS OF LOT 14 OF THE SUBJECT PROPERTY IS 1695 ALTON ROAD, MIAMI BEACH, FL 33131, AND THE SITE ADDRESS OF LOT 15, OF THE SUBJECT PROPERTY IS 1683 ALTON ROAD, MIAMI BEACH, FL 33131 (FOLIOS 02-3234-017-0090 AND 02-3234-017-0100 RESPECTIVELY).

— THE SUBJECT PROPERTY FORMS A MATHEMATICALLY CLOSED FIGURE AND THE COMMON BOUNDARIES OF THE LOTS, AS SHOWN HEREON, ARE CONTIGUOUS WITH NO GORES, GAPS, HIATUSES, OR OVERLAPS.

— DIMENSIONS AND DIRECTIONS INDICATED HEREON ARE BASED ON FIELD MEASUREMENTS USING A TOTAL STATION ELECTRONIC DISTANCE MEASUREMENT (EDM), UNLESS OTHERWISE NOTED.

— OBSERVED POTENTIAL ENCROACHMENTS AFFECTING THE SUBJECT PROPERTY ARE SHOWN HEREON ON THE SURVEY MAP.

— UNDERGROUND IMPROVEMENTS AND/OR UNDERGROUND ENCROACHMENTS, WHERE THEY ARE NOT VISIBLE AT SURFACE GROUND LEVEL, ARE NOT SHOWN INCLUDING BUT NOT LIMITED TO BUILDINGS, STRUCTURAL APPURTENANCES, STORM DRAINAGE SYSTEMS, TANKS OR RUBBISH FILLS.

— THE LOCATION OF VISIBLE UTILITIES SHOWN HEREON WERE FIELD LOCATED. HOWEVER, SYMBOLS ARE NOT SHOWN TO SCALE.

— NO ATTEMPT WAS MADE BY THE SURVEYOR TO LOCATE UNDERGROUND UTILITIES.

— UNDERGROUND FOUNDATIONS HAVE NOT BEEN LOCATED OR SHOWN.

— NO ATTEMPT WAS MADE BY THE SURVEYOR TO DETERMINE MINERAL RIGHTS OWNERSHIP AND/OR RIGHTS-OF-ENTRY APPURTENANT THERETO.

— TREES WERE NOT IDENTIFIED OR MEASURED.

— NO ELEVATIONS ARE SHOWN.

— THE ACCURACY OF THE SURVEY MEASUREMENTS SHOWN HEREON IS BASED ON THE TYPE OF SURVEY AND EXPECTED USE OF THE SURVEY. REDUNDANT MEASUREMENTS AND COMPUTATION RECORDS SUBSTANTIATE THE SURVEY MAP. REDUNDANCY OF MEASUREMENTS WAS OBTAINED BY MULTIPLE OCCUPATIONS OF FOUND AND SET CONTROL POINTS. THESE METHODS HAVE BEEN TESTED BY BEC AND FOUND TO HAVE AN EXPECTED ACCURACY OF  $\pm 0.07$  FEET HORIZONTALLY.

— THERE MAY BE ADDITIONAL RESTRICTIONS AFFECTING THIS PROPERTY FOUND IN THE LAWS OF THE CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, AND THE STATE OF FLORIDA.

— BEARINGS SHOWN HEREON WERE DERIVED FROM COORDINATES RELATIVE TO THE STATE PLANE COORDINATE SYSTEM, FLORIDA EAST ZONE, NORTH AMERICAN DATUM OF 1983/2011 ADJUSTMENT REFERENCED TO THE EAST LINE OF ALTON ROAD, HAVING A BEARING OF N02°01'03"W.

## BENCHMARK INFORMATION:

Name: C-100  
Northing: 531,082.27  
Easting: 938,084.1  
Location1: DADE BLVD --- 25' SOUTH OF C/L OF EASTBOUND LANE  
Location2: WEST AVE --- BRIDGE OVER COLLINS CANAL  
Location3: BAY RD --- 65' EAST OF C/L OF ROAD  
Description1: BRASS DISC IN NORTH CORNER OF BRIDGE.

Name: A-371  
Northing: 531,065.00  
Easting: 941,759.00  
Location1: 17 ST --- 36' WEST OF C/L  
Location2: WASHINGTON AVE --- 69' SOUTH OF C/L  
Location3:  
Description1: PK NAIL AND ALUMINUM WASHER IN CONC CATCH BASIN.

## REFERENCE DOCUMENTS:

- SKETCH OF SURVEY ORDER NO# 3059, F.B. #452-14
- SKETCH OF SURVEY ORDER NO# 3373, F.B. #458-15

## SURVEYOR'S CERTIFICATE:

THE UNDERSIGNED HEREBY CERTIFIES TO:

- THE NORTHERN TRUST COMPANY, AN ILLINOIS BANKING CORPORATION
- FIDELITY NATIONAL TITLE INSURANCE COMPANY
- PATHEAN LEWIS LLP
- POTAMKIN ARM, LLC

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS. THE FIELDWORK WAS COMPLETED ON 01-07-2022. THIS SURVEY ALSO WAS PREPARED UNDER MY RESPONSIBLE CHARGE, IN ACCORDANCE WITH THE STANDARDS OF PRACTICE FOR SURVEYING AND MAPPING AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER SJ-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES.

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

BISCAYNE ENGINEERING COMPANY, INC.  
529 WEST FLAGLER STREET, MIAMI, FL 33130  
(305) 324-7671  
STATE OF FLORIDA DEPARTMENT OF AGRICULTURE  
LB-0000129  
SURVEY DATE: 01-07-2022

ALBERTO J. RABONET, PSM, FOR THE FIRM  
PROFESSIONAL SURVEYOR AND MAPPER NO. 7218  
STATE OF FLORIDA

**BISCAYNE**  
ENGINEERS  
SURVEYORS • ENGINEERS  
PLANNERS  
• SINCE 1898 •

1695 & 1683 ALTON ROAD, MIAMI BEACH, FL

FOR: PATHMAN LEWIS LLP  
SCALE SHOWN DESIGNED BY: A.J.R./R.C. CHECKED BY: A.J.R.  
DATE: 01/07/22 APPROVED BY: A.J.R. F.B./P.G.: 3077-26, 3073-13

ORDER No.  
03-87261

SHEET No.  
1 of 1





LOCATION MAP

Scale N.T.S



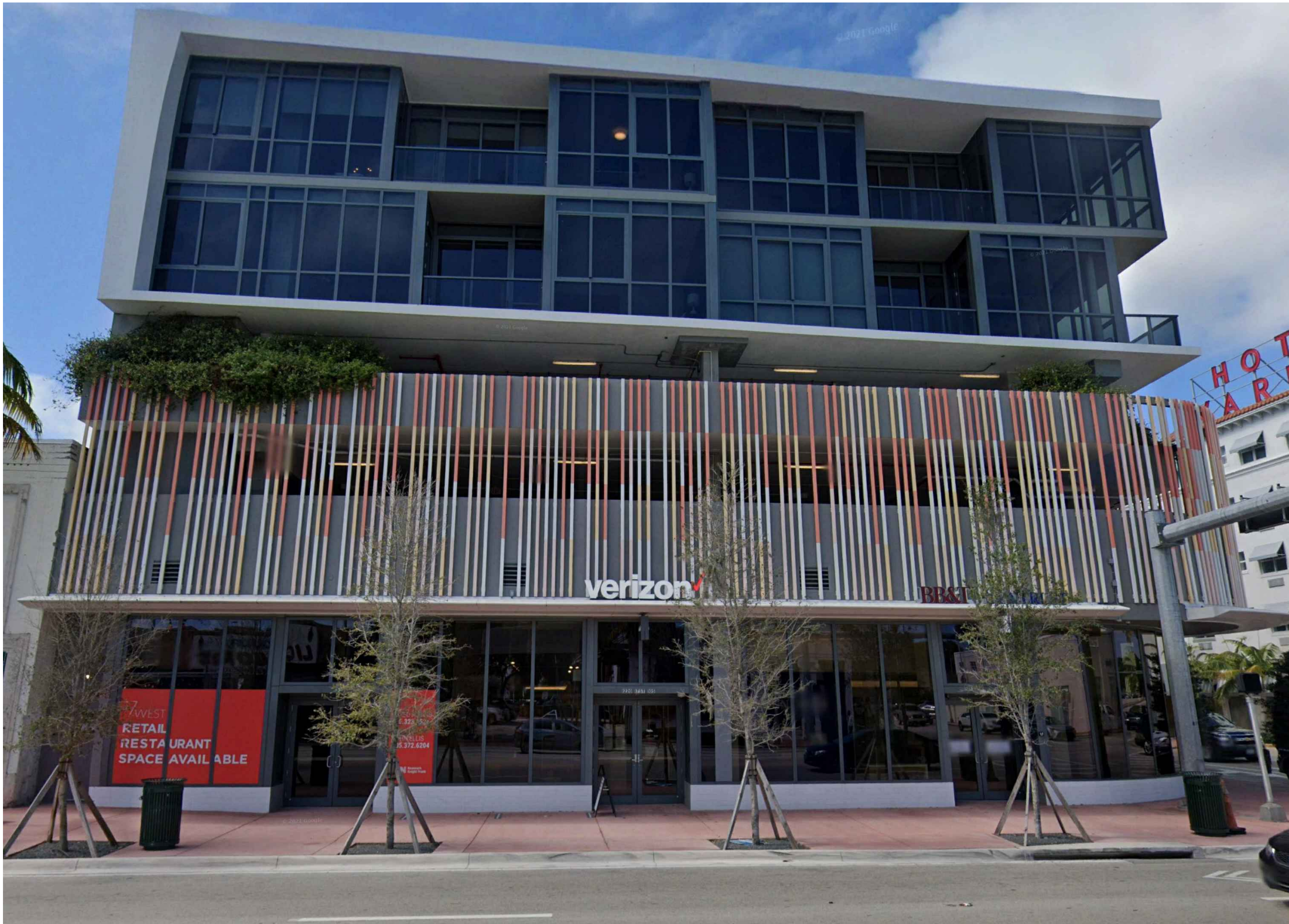
1 1701 ALTON RD

N.T.S



2 1700 ALTON RD

N.T.S



3 1698 ALTON RD

N.T.S

Rev.	Date	Rev.	Date

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ZONING

FINAL SUBMITTAL DRB22-0827

OFFICE BUILDING

1695 ALTON RD  
MIAMI BEACH, FLORIDA 33139

Owner:  
  
PRIVATE OFFICE BUILDING

Consultant:  
Name  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Tel:  
Email

Landscape Architect:  
Name  
Address  
Tel:  
Email

Architect:  
Kobi Karp Architecture and Interior Design, Inc.  
2915 Biscayne Boulevard, Suite #200  
Miami, Florida 33137 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766



PROJECT SITE  
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LOCATION MAP

Scale N.T.S



1668 ALTON RD

N.T.S



1675 - 1677 ALTON RD

N.T.S



1681 ALTON RD

N.T.S

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OFFICE BUILDING

1695 ALTON RD  
MIAMI BEACH, FLORIDA 33139

Owner:  
  
PRIVATE OFFICE BUILDING

Consultant:  
Name  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Tel:  
Email

Landscape Architect:  
Name  
Address  
Tel:  
Email

Architect:  
Kobi Karp Architecture and Interior Design, Inc.  
2915 Biscayne Boulevard, Suite #200  
Miami, Florida 33137 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766



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Exist. Structures

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LOCATION MAP

Scale N.T.S



1688 LENOX AVE

N.T.S



1109 LENOX AVE

N.T.S

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OFFICE BUILDING

1695 ALTON RD  
MIAMI BEACH, FLORIDA 33139

Owner:  
  
PRIVATE OFFICE BUILDING

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Address  
Tel:  
Email

Landscape Architect:  
Name  
Address  
Address  
Tel:  
Email

Architect:  
Kobi Karp Architecture and Interior Design, Inc.  
2915 Biscayne Boulevard, Suite #200  
Miami, Florida 33137 USA  
Tel: +1(305) 573 1818  
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LOCATION MAP

Scale N.T.S



A

N.T.S



B

N.T.S



C

N.T.S

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ZONING

FINAL SUBMITTAL DRB22-0827

OFFICE BUILDING

1695 ALTON RD  
MIAMI BEACH, FLORIDA 33139

Owner:  
PRIVATE OFFICE BUILDING

Consultant:  
Name  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Tel:  
Email

Landscape Architect:  
Name  
Address  
Tel:  
Email

Architect:  
Kobi Karp Architecture and Interior Design, Inc.  
2915 Biscayne Boulevard, Suite #200  
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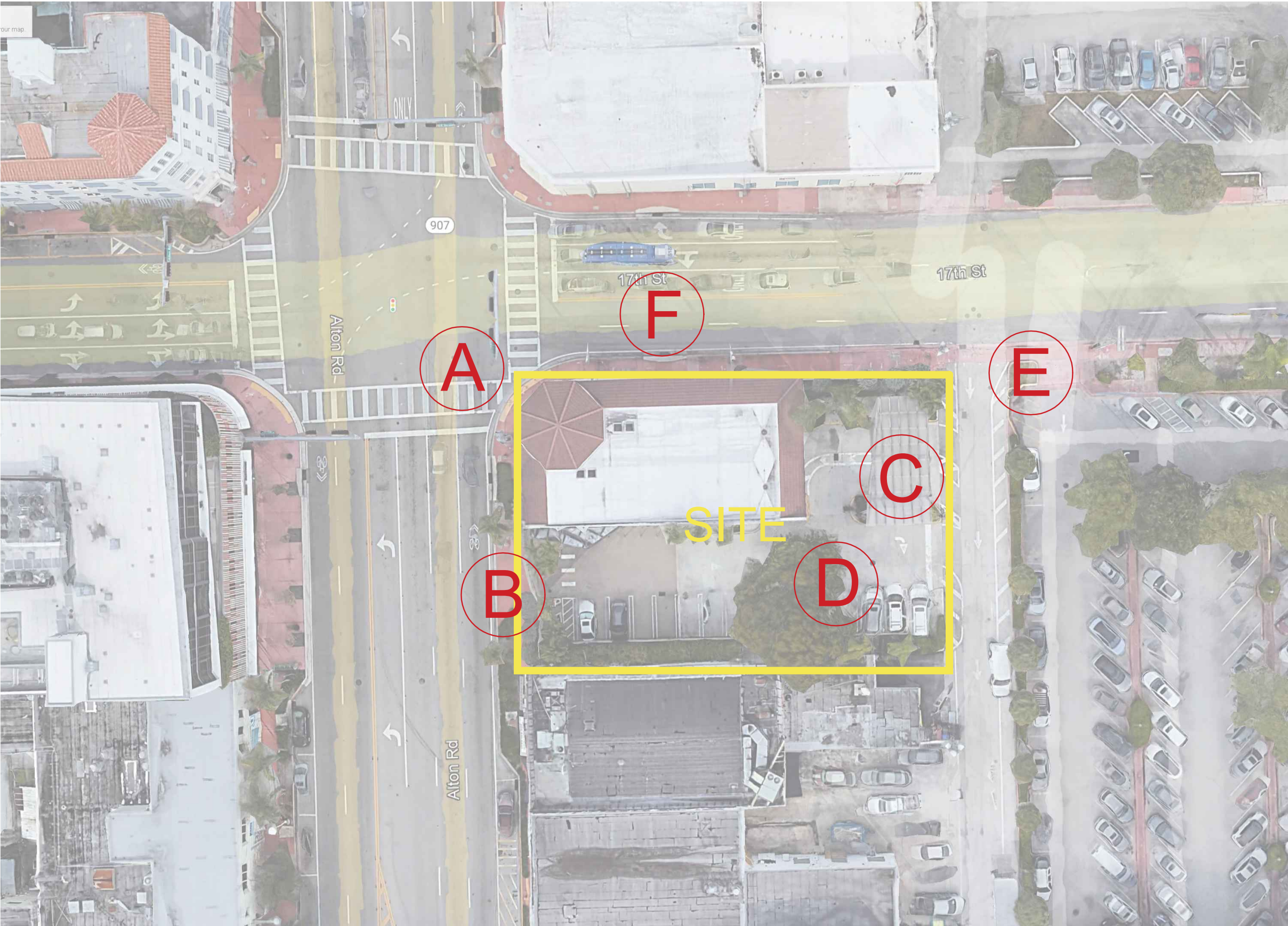
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PROJECT SITE  
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LOCATION MAP

Scale N.T.S



D

N.T.S



E

N.T.S



F

N.T.S

Rev.	Date	Rev.	Date

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ZONING

FINAL SUBMITTAL DRB22-0827

OFFICE BUILDING

1695 ALTON RD  
MIAMI BEACH, FLORIDA 33139

Owner:  
PRIVATE OFFICE BUILDING

Consultant:  
Name  
Address  
Tel:  
Email

Consultant:  
Name  
Address  
Tel:  
Email

Landscape Architect:  
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Architect:  
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Lic. # AR0012578



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ALTON ROAD



17TH STREET

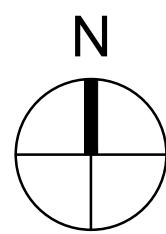
20 FT ALLEY



Legend

PERVIOUS

2,539 SF (28%)



1 SITE PLAN

1/8" = 1'-0"

Rev.	Date	Rev.	Date

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## ZONING

FINAL SUBMITTAL DRB22-0827

## OFFICE BUILDING

1695 ALTON RD  
MIAMI BEACH, FLORIDA 33139

Owner:

PRIVATE OFFICE BUILDING

Consultant:

Name  
Address  
Tel:  
Email

Consultant:

Name  
Address  
Tel:  
Email

Landscape Architect:

Name  
Address  
Tel:  
Email

Architect:

Kobi Karp Architecture and Interior Design, Inc.  
2915 Biscayne Boulevard, Suite #200  
Miami, Florida 33137 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766



KOBİ KARP  
Lic. # AR0012578



## PERVIOUS

Date	05/16/2022	Sheet No.
Scale	AS MENTIONED	A1.01
Project	21121	



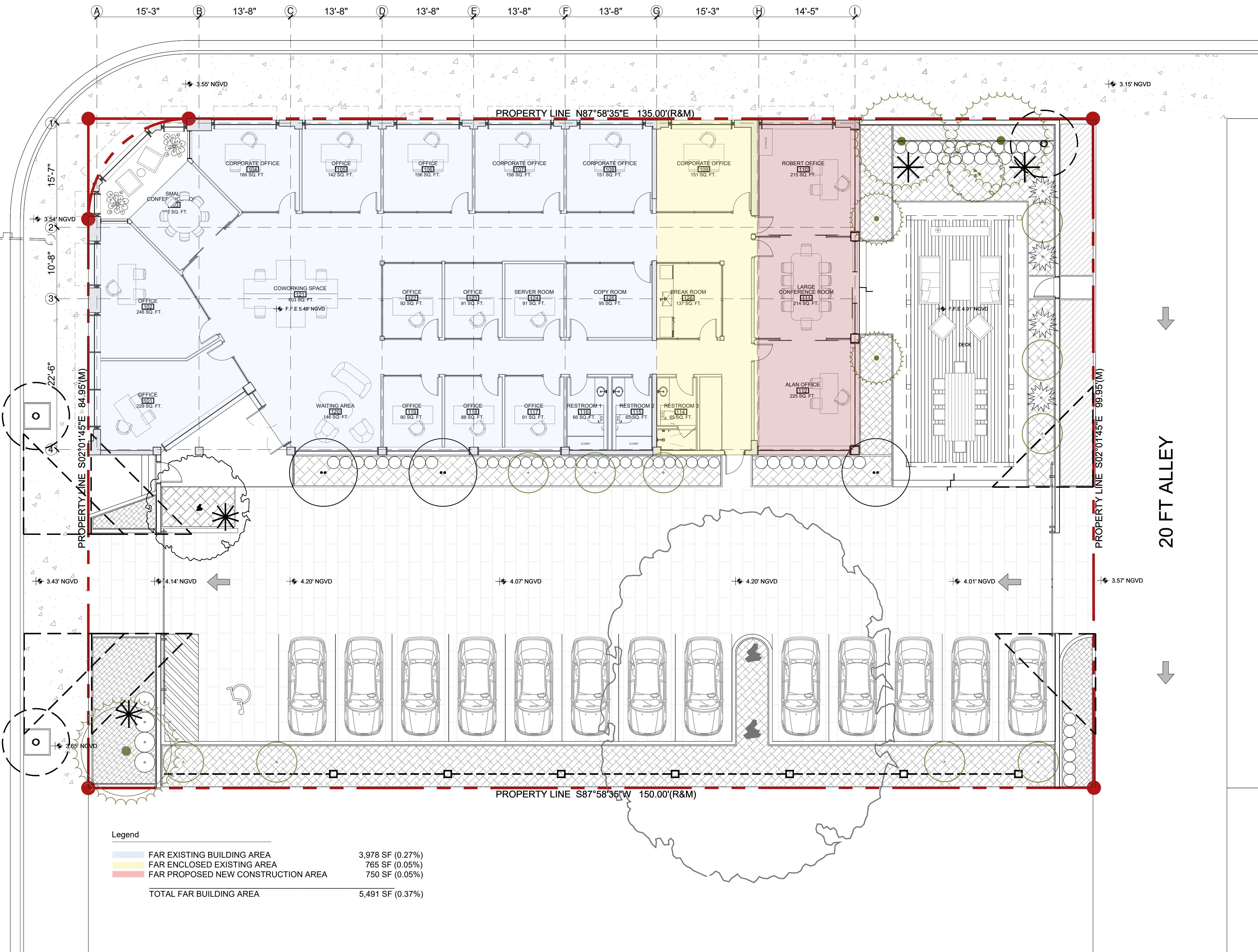
ALTON ROAD



20 FT ALLEY



17TH STREET



Legend	
FAR EXISTING BUILDING AREA	3,978 SF (0.27%)
FAR ENCLOSED EXISTING AREA	765 SF (0.05%)
FAR PROPOSED NEW CONSTRUCTION AREA	750 SF (0.05%)
TOTAL FAR BUILDING AREA	5,491 SF (0.37%)

Rev.	Date	Rev.	Date

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## ZONING

FINAL SUBMITTAL DRB22-0827

## OFFICE BUILDING

1695 ALTON RD  
MIAMI BEACH, FLORIDA 33139

Owner:

PRIVATE OFFICE BUILDING

Consultant:

Name  
Address  
Tel:  
Email

Consultant:

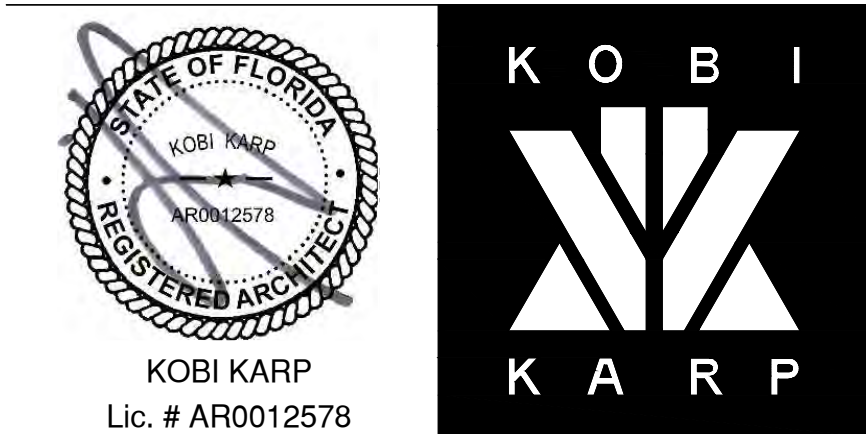
Name  
Address  
Tel:  
Email

Landscape Architect:

Name  
Address  
Tel:  
Email

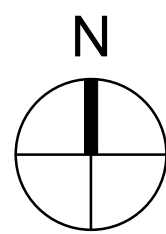
Architect:

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2915 Biscayne Boulevard, Suite #200  
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Fax: +1(305) 573 3766



## FAR

Date	05/16/2022	Sheet No.
Scale	AS MENTIONED	A1.02
Project	21121	



1 SITE PLAN

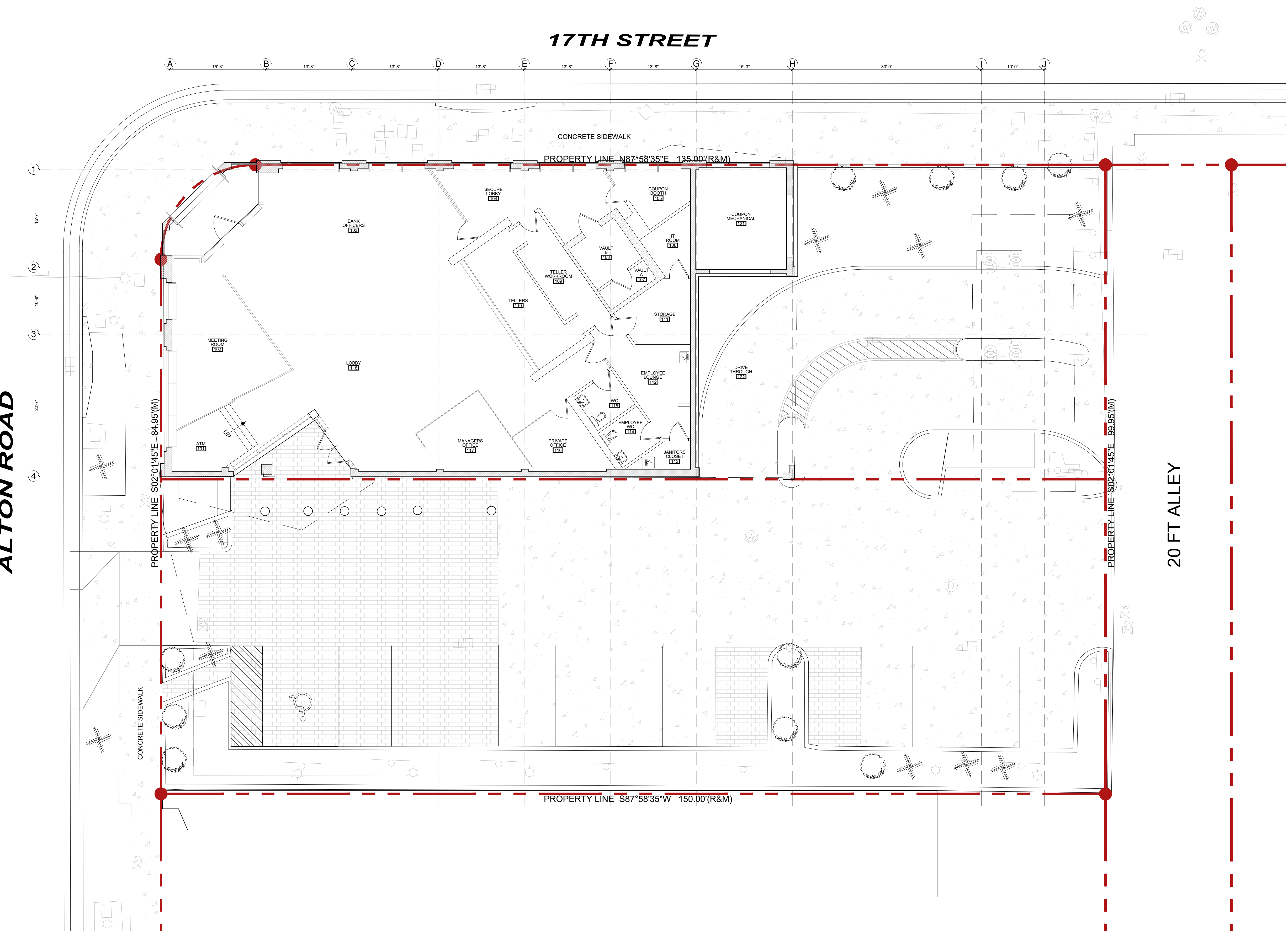
1/8" = 1'-0"



ALTON ROAD

17TH STREET

20 FT ALLEY



Rev.	Date	Rev.	Date

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ZONING

DRB SUBMITTAL

OFFICE BUILDING

1695 ALTON RD  
MIAMI BEACH, FLORIDA 33139

Owner:

PRIVATE RESIDENCE

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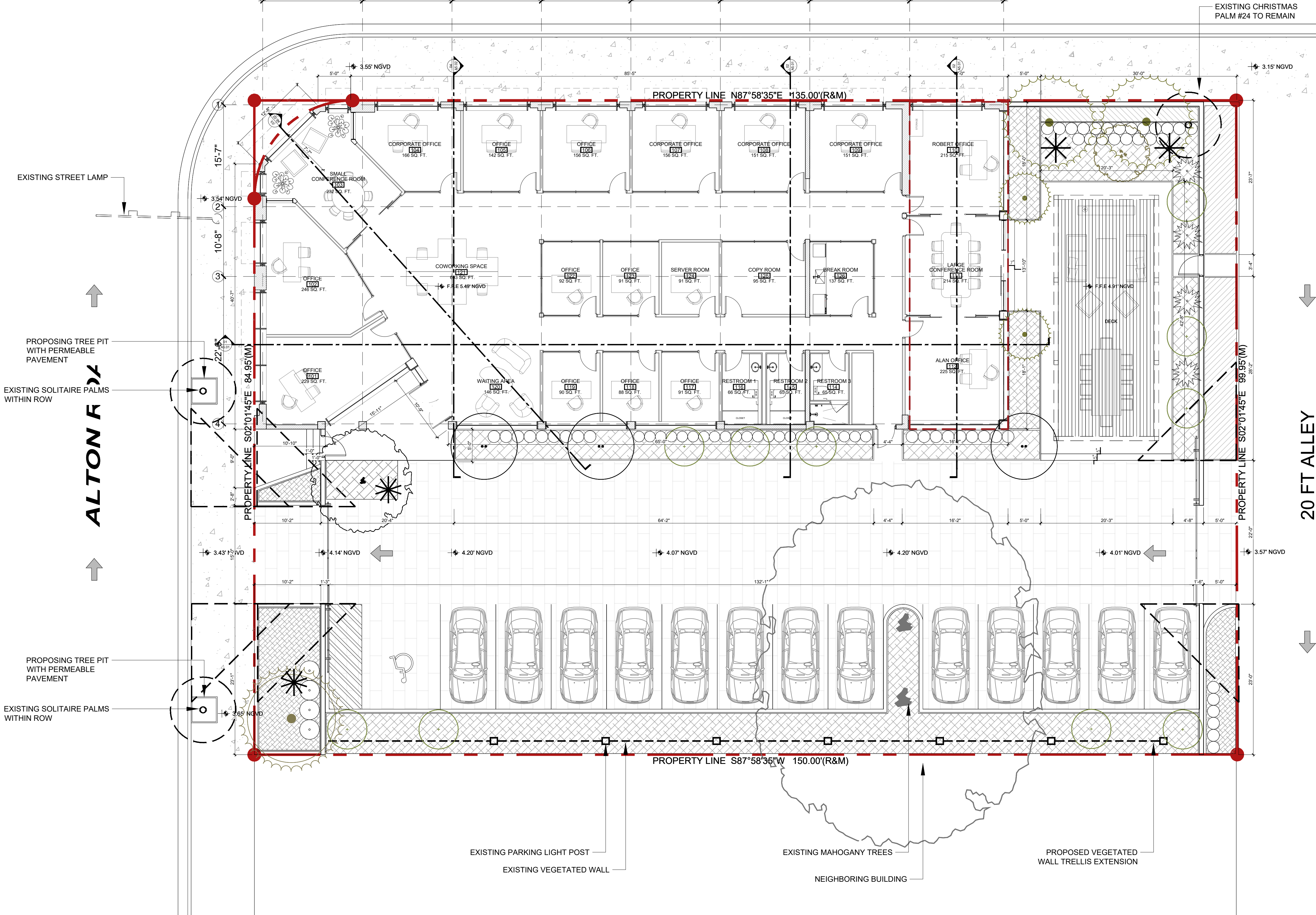


EXISTING SITE PLAN

Date	04/01/2022	Sheet No.
Scale	AS MENTIONED	A2.00
Project		

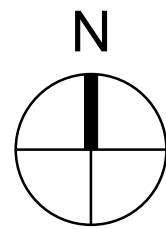


17TH STREET



PUBLIC WORKS:

- A. LANDSCAPING IMPROVEMENTS WITHIN THE RIGHT OF WAY REQUIRE PRELIMINARY APPROVALS FROM CMB PLANNING DEPARTMENT AND PARKS (GREEN MANAGMENT). DEPARTMENT PRIOR TO APPLYING FOR A PUBLIC WORKS DEPARTMENT RIGHT OF WAY CONSTRUCTION PERMIT.
- B. ALL CONSTRUCTION AND / OR USE OF EQUIPMENT IN THE RIGHT OF WAY AND / OR EASEMENTS WILL REQUIRE A SEPARATE PUBLIC WORKS DEPARTMENT PERMIT PRIOR OR COMMENCEMENT OF CONSTRUCTION



1 SITE PLAN

1/8" = 1'-0"

Rev.	Date	Rev.	Date

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ZONING

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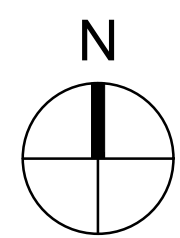
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SITE PLAN

Date	04/01/2022	Sheet No.
Scale	AS MENTIONED	A2.01
Project		





1

FIRST FLOOR PLAN

3/16" = 1'-0"

PROPERTY LINE S02°01'45"E 84.95'(M)

PROPERTY LINE N87°58'35"E 135.00'(R&M)



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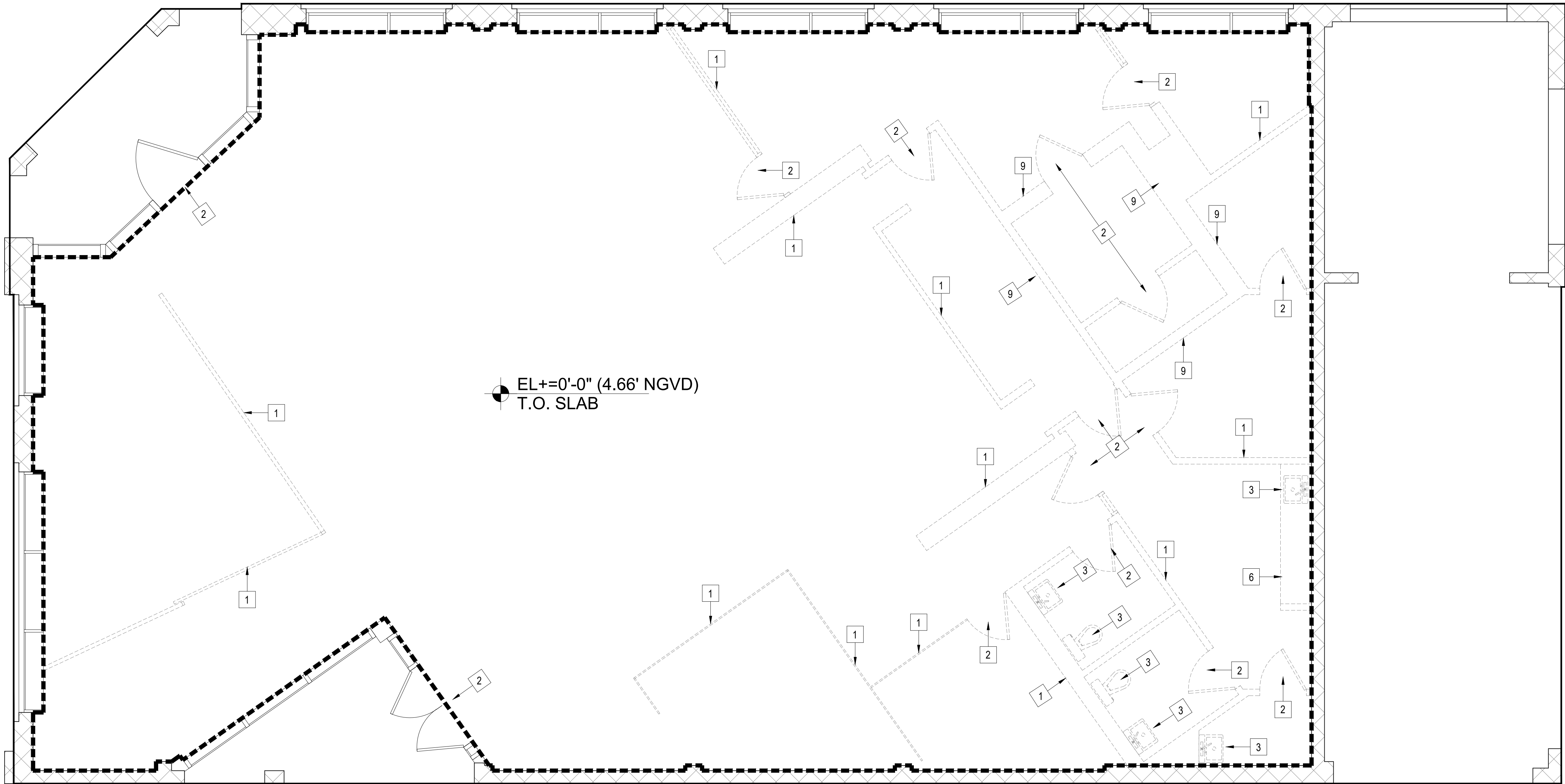
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Lic. # AR0012578



EXISTING FIRST FLOOR  
PLAN

Date	04/01/2022	Sheet No.
Scale	AS MENTIONED	A3.00
Project		





### KEY LEGEND:

- EXISTING CONSTRUCTION TO BE REMOVED
- /// EXISTING CONSTRUCTION TO REMAIN, PROTECT FROM DAMAGE
- ADJACENT LOAD BEARING WALLS AND ELEVATED FLOORS AND ROOF THAT ARE TO REMAIN SHALL BE BRACED AND SHORED AS DIRECTED BY CERTIFIED AND LICENSED STRUCTURAL ENGINEER.
- INDICATES LIMITS OF DEMOLITION WORK

### DEMOLITION KEY TAGS

- 1 EXISTING INTERIOR WALL SHALL BE REMOVED IN ITS ENTIRETY. GC SHALL CONFIRM THAT IT IS NOT A BEARING WALL. ELECTRICAL BOXES, OUTLETS, COVERS, CONDUITS AND WIRES SHALL BE REMOVED STARTING AT THE PANEL.
- 2 EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED
- 3 EXISTING PLUMBING FIXTURE TO BE REMOVED. ASSOCIATED PLUMBING TO BE CAPPED.
- 4 EXISTING APPLIANCES TO BE REMOVED. ASSOCIATED PLUMBING TO BE CAPPED. ASSOCIATED CONDUITS/WIRES TO BE REMOVED STARTING AT THE PANEL.
- 6 EXISTING CABINETRY/COUNTERTOPS TO BE REMOVED.
- 7 EXISTING GUARDRAIL SYSTEM TO BE REMOVED IN ITS ENTIRETY. GC TO INSTALL TEMPORARY SAFETY BARRIER AS REQUIRED FOR SAFE WORKING CONDITIONS.
- 8 EXISTING STAIR TREADS TO BE REMOVED.
- 9 EXISTING VAULT TO BE REMOVED.

#### GENERAL NOTES

- A. REMOVE ALL EXISTING INTERIOR FLOORING. G.C. TO CONFIRM WITH CLIENT IF ANY FLOORING IS INTENDED TO BE SALVAGED
- B. REMOVE ALL FURRING ON ALL EXTERIOR PERIMETER WALLS.
- C. REMOVE ALL EXISTING CEILING DRYWALL.
- D. ALL EXISTING MECHANICAL DUCTING/AHU EQUIPMENT TO BE REMOVED. ANY ASSOCIATED PLUMBING WITH AHUs TO BE REMOVED/CAPPED. EXISTING CU EQUIPMENT/EF EQUIPMENT TO BE REMOVED UNDER A FUTURE SEPARATE PERMIT.

### DEMOLITION NOTES

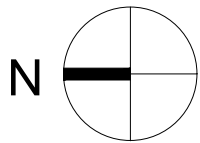
1. ANY WORK NOT SHOWN ON THE DRAWING OR SPECIFICALLY MENTIONED IN THE SPECIFICATIONS BUT CONSIDERED NECESSARY FOR THE COMPLETION OF THE WORK IN PROPER MANNER SHALL BE PROVIDED BY THIS CONTRACTOR WITHOUT ADDITIONAL CHARGE.

#### ALTERATION PROJECT PROCEDURES:

2. CUT, MOVE OR REMOVE ITEMS AS NECESSARY TO PROVIDE ACCESS OR TO ALLOW ALTERATIONS AND NEW WORK TO PROCEED. INCLUDE SUCH ITEMS AS:
- A. REPAIR OR REMOVAL OF HAZARDOUS OR UNSANITARY CONDITIONS.
- B. REMOVAL OF ABANDONED ITEMS AND ITEMS SERVING NO USEFUL PURPOSE, SUCH AS ABANDONED PIPING, CONDUIT AND WIRING.
- C. REMOVAL OF UNSUITABLE OR EXTRANEEOUS MATERIALS NOT MARKED FOR SALVAGE, SUCH AS ABANDONED FURNISHINGS AND EQUIPMENT, AND DEBRIS SUCH AS ROTTED WOOD, RUSTED METAL AND DETERIORATED CONCRETE.
- D. CLEANING OF SURFACES, AND REMOVAL OF SURFACE FINISHES AS NEEDED.
4. ASSIGN THE WORK OF MOVING, REMOVAL, CUTTING AND PATCHING, TO TRADES QUALIFIED TO PERFORM THE WORK IN A MANNER TO CAUSE LEAST DAMAGE TO EACH TYPE OF WORK, AND PROVIDE MEANS OF RETURNING TO APPEARANCE OF NEW WORK.
5. CUT FINISH SURFACES SUCH AS MASONRY, GYPSUM WALLBOARD, WALL COVERING, TILE, PLASTER OR METALS, BY METHODS TO TERMINATE SURFACES ON A STRAIGHT LINE AT A NATURAL POINT OF DIVISION.
6. CONTRACT DOCUMENTS WILL NOT DEFINE PRODUCTS OR STANDARDS OF WORKMANSHIP PRESENT IN EXISTING CONSTRUCTION, CONTRACTOR SHALL DETERMINE PRODUCTS BY INSPECTION AND ANY NECESSARY TESTING, AND WORKMANSHIP BY USE OF THE EXISTING AS A SAMPLE OF COMPARISON.
7. G.C. SHALL DISCUSS W/ OWNER THE CORRECT WAY AND TIMES FOR BRINGING MATERIALS INTO THE SITE AND STORING. ALSO FOR THE PROPER PROCEDURES FOR DUMPSTER LOCATION AND TRASH REMOVAL AS TO COMPLY WITH CITY OF NORTH MIAMI CONSTRUCTION WORK TIMES AND DAYS ORDINANCE.
8. PERFORM CUTTING AND REMOVAL OF WORK IN A MANNER TO AVOID DAMAGE TO ADJACENT WORK.
9. ALL DEMOLITION SHALL COMPLY WITH NATIONAL FIRE PREVENTION CODE NFPA.

1 INTERIOR DEMO GROUND LEVEL

Scale: 1/4" = 1'-0"



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1	04-07-2022		

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### INTERIOR DEMO SET

OFFICE BUILDING  
1695 ALTON ROAD  
MIAMI, FL 33139

#### Owner:

Name  
Address  
Tel:  
Email

#### Consultant:

Name  
Address  
Tel:  
Email

#### Consultant:

Name  
Address  
Tel:  
Email

#### Consultant:

Name  
Address  
Tel:  
Email

#### Architect:

Kobi Karp Architecture and Interior Design, Inc.  
571 NW 28th Street  
Miami, Florida 33127 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766

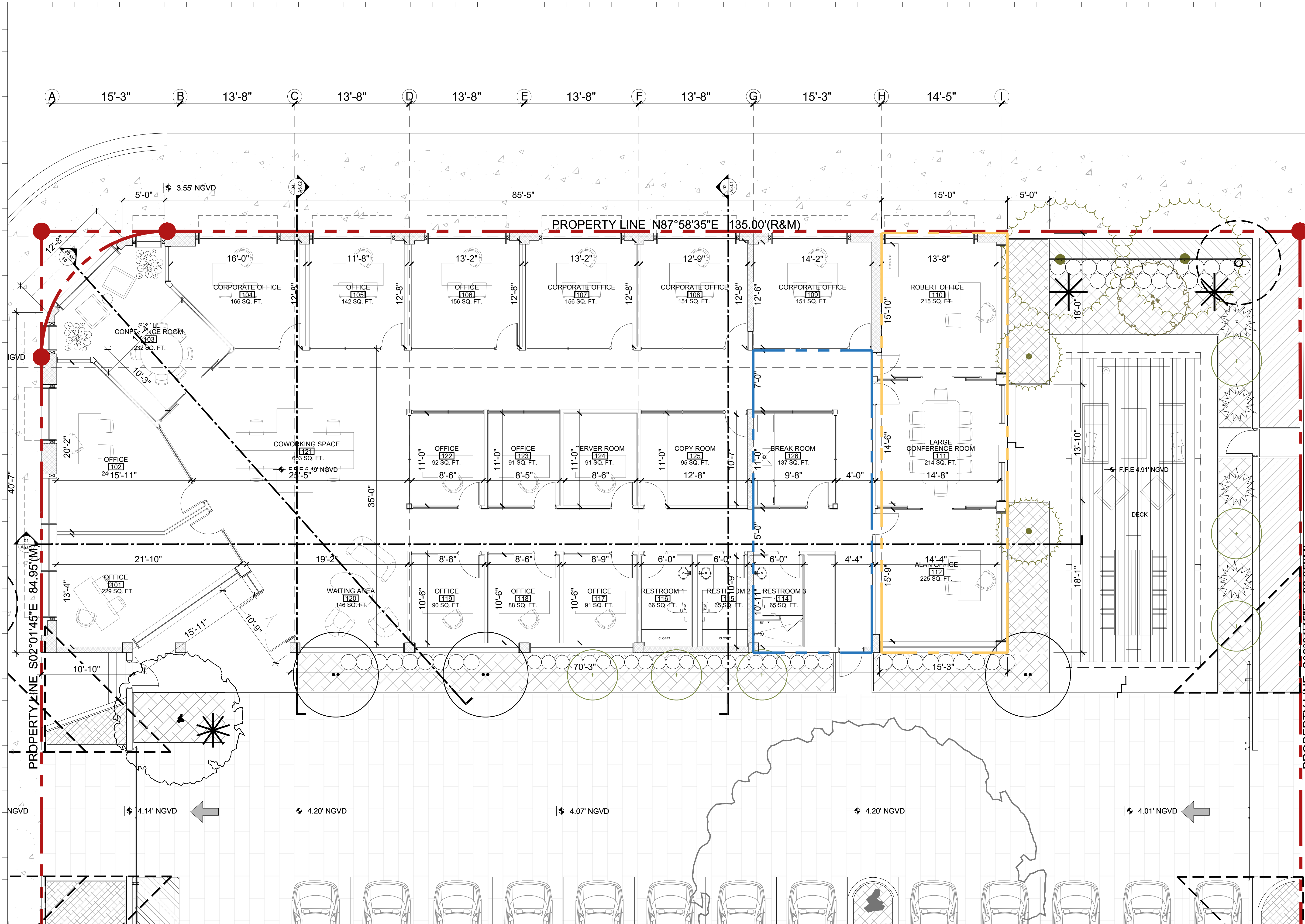
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### DEMO PLAN

Date	02-11-22	Sheet No.
Scale		A2.11
Project	21121	





Rev.	Date	Rev.	Date

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ZONING

DRB SUBMITTAL

OFFICE BUILDING

1695 ALTON RD  
MIAMI BEACH, FLORIDA 33139

Owner:

PRIVATE RESIDENCE

Consultant:

Name  
Address  
Tel:  
Email

Consultant:

Name  
Address  
Tel:  
Email

Landscape Architect:

Name  
Address  
Tel:  
Email

Architect:

Kobi Karp Architecture and Interior Design, Inc.  
2915 Biscayne Boulevard, Suite #200  
Miami, Florida 33137 USA  
Tel: +1(305) 573 1818  
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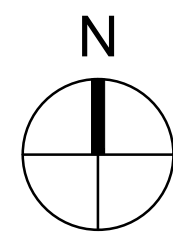


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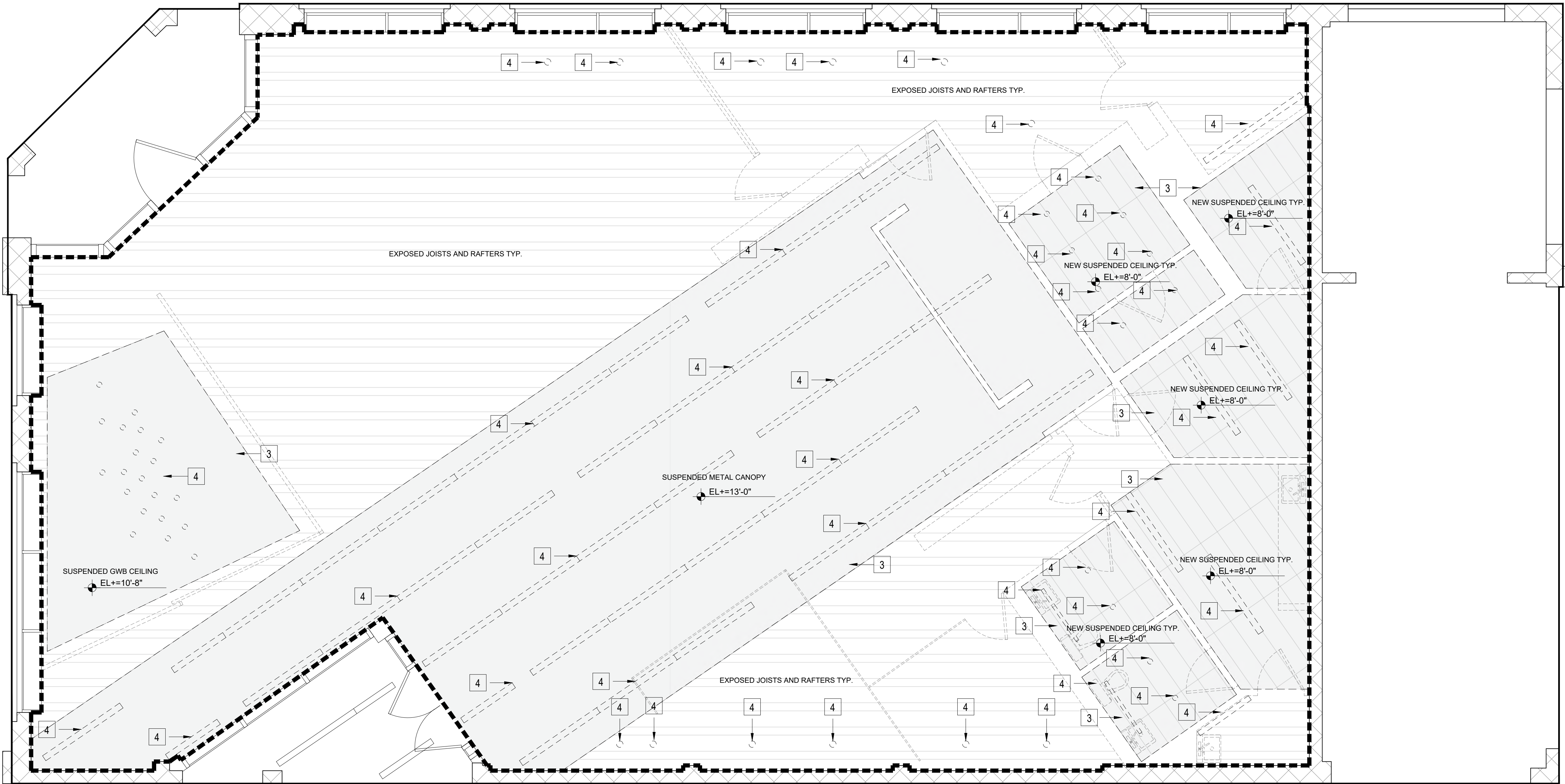
FIRST FLOOR PLAN

Date	04/01/2022	Sheet No.
Scale	AS MENTIONED	A3.01
Project		



1 FIRST FLOOR PLAN  
3/16" = 1'-0"





### KEY LEGEND:

- EXISTING FUTURE TO BE REMOVED
- /// EXISTING CONSTRUCTION TO REMAIN, PROTECT FROM DAMAGE ADJACENT LOAD BEARING WALLS AND ELEVATED FLOORS AND ROOF THAT ARE TO REMAIN SHALL BE BRACED AND SHORED AS DIRECTED BY CERTIFIED AND LICENSED STRUCTURAL ENGINEER.
- INDICATES LIMITS OF DEMOLITION WORK
- REMOVE EXISTING CEILING DRYWALL. ALL ELECTRICAL/FIRE SPRINKLER/PLUMBING TO REMAIN AS IS UNDER THIS PERMIT

### DEMOLITION KEY TAGS

- 1 REMOVE EXISTING ACOUSTICAL CEILING GRID AND TILES AND RIGID INCLUDING ALL FRAMING, FASTENERS, INSULATION, SENSORS, SECURITY SYSTEMS, AND SOUND SYSTEM.
- 2 ACOUSTICAL CEILING TILES TO BE REMOVED, CEILING GRID SHALL REMAIN IN PLACE AND ADJUSTED FOR NEW LAYOUT
- 3 EXISTING DRYWALL CEILING / SOFFIT TO BE COMPLETELY REMOVED TO EXPOSE SUBSTRATE
- 4 EXISTING LIGHT, LIGHTING FIXTURE CONTROLS AND ACCESSORIES TO BE REMOVED.

#### GENERAL NOTES

- A. ALL ITEMS NOT TAGGED ARE EXISTING TO REMAIN.
- B. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING/TESTING FOR ASBESTOS IN ALL EXISTING CONSTRUCTION TO BE DEMOLISHED PRIOR TO COMMENCEMENT; IF ANY IS FOUND IT SHALL BE REVOLVED PER ALL APPLICABLE CODES/STANDARDS; NO EXCEPTIONS, TYP.
- C. PUBLIC AREAS SHALL BE PROTECTED FROM ANY DAMAGE, IF DAMAGE OCCURS THE GENERAL CONTRACTOR IS RESPONSIBLE OF REPAIRS AS PER CODES.

NOTE: ADJACENT LOAD BEARING WALLS AND ELEVATED FLOORS AND ROOF THAT ARE TO REMAIN SHALL BE BRACED AND SHORED AS DIRECTED BY CERTIFIED AND LICENSED STRUCTURAL ENGINEER.

### DEMOLITION NOTES

- ANY WORK NOT SHOWN ON THE DRAWING OR SPECIFICALLY MENTIONED IN THE SPECIFICATIONS BUT CONSIDERED NECESSARY FOR THE COMPLETION OF THE WORK IN PROPER MANNER SHALL BE PROVIDED BY THIS CONTRACTOR WITHOUT ADDITIONAL CHARGE.

#### ALTERATION PROJECT PROCEDURES:

- CUT, MOVE OR REMOVE ITEMS AS NECESSARY TO PROVIDE ACCESS OR TO ALLOW ALTERATIONS AND NEW WORK TO PROCEED. INCLUDE SUCH ITEMS AS:
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  - CLEANING OF SURFACES, AND REMOVAL OF SURFACE FINISHES AS NEEDED.
- ASSIGN THE WORK OF MOVING, REMOVAL, CUTTING AND PATCHING, TO TRADES QUALIFIED TO PERFORM THE WORK IN A MANNER TO CAUSE LEAST DAMAGE TO EACH TYPE OF WORK, AND PROVIDE MEANS OF RETURNING TO APPEARANCE OF NEW WORK.
- CUT FINISH SURFACES SUCH AS MASONRY, GYPSUM WALLBOARD, WALL COVERING, TILE, PLASTER OR METALS, BY METHODS TO TERMINATE SURFACES ON A STRAIGHT LINE AT A NATURAL POINT OF DIVISION.
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- ALL DEMOLITION SHALL COMPLY WITH NATIONAL FIRE PREVENTION CODE NFPA.

Rev.	Date	Rev.	Date
1	04-07-2022		

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### INTERIOR DEMO SET

OFFICE BUILDING  
1695 ALTON ROAD  
MIAMI, FL 33139

#### Owner:

Name  
Address  
Tel:  
Email

#### Consultant:

Name  
Address  
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#### Consultant:

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#### Consultant:

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#### Architect:

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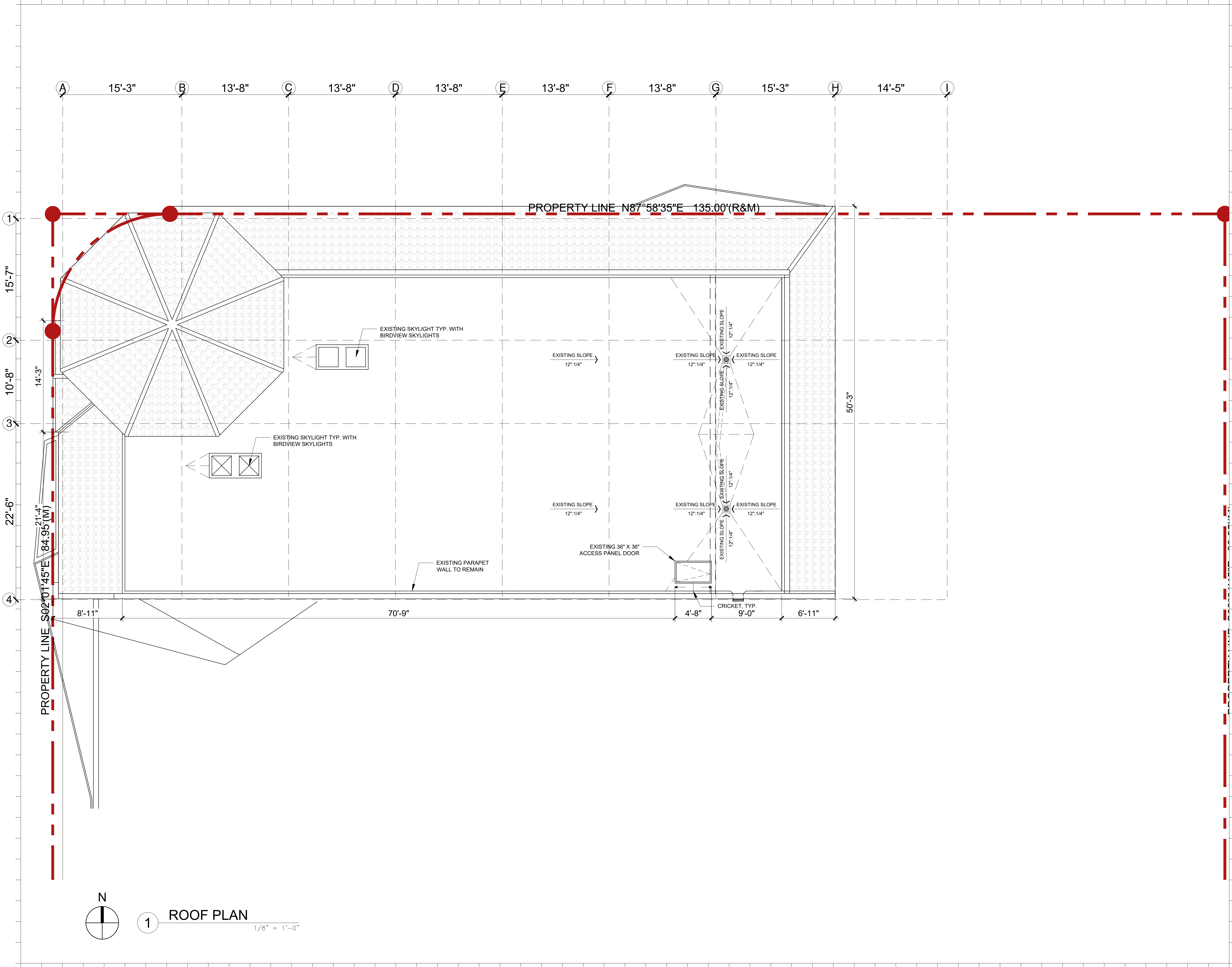
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### DEMOM PLAN - RCP

Date	02-11-22	Sheet No.
Scale		A2.12
Project	21121	





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ZONING

FINAL SUBMITTAL DRB22-0827

OFFICE BUILDING

1695 ALTON RD  
MIAMI BEACH, FLORIDA 33139

Owner:  
  
PRIVATE OFFICE BUILDING

Consultant:  
Name  
Address  
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Consultant:  
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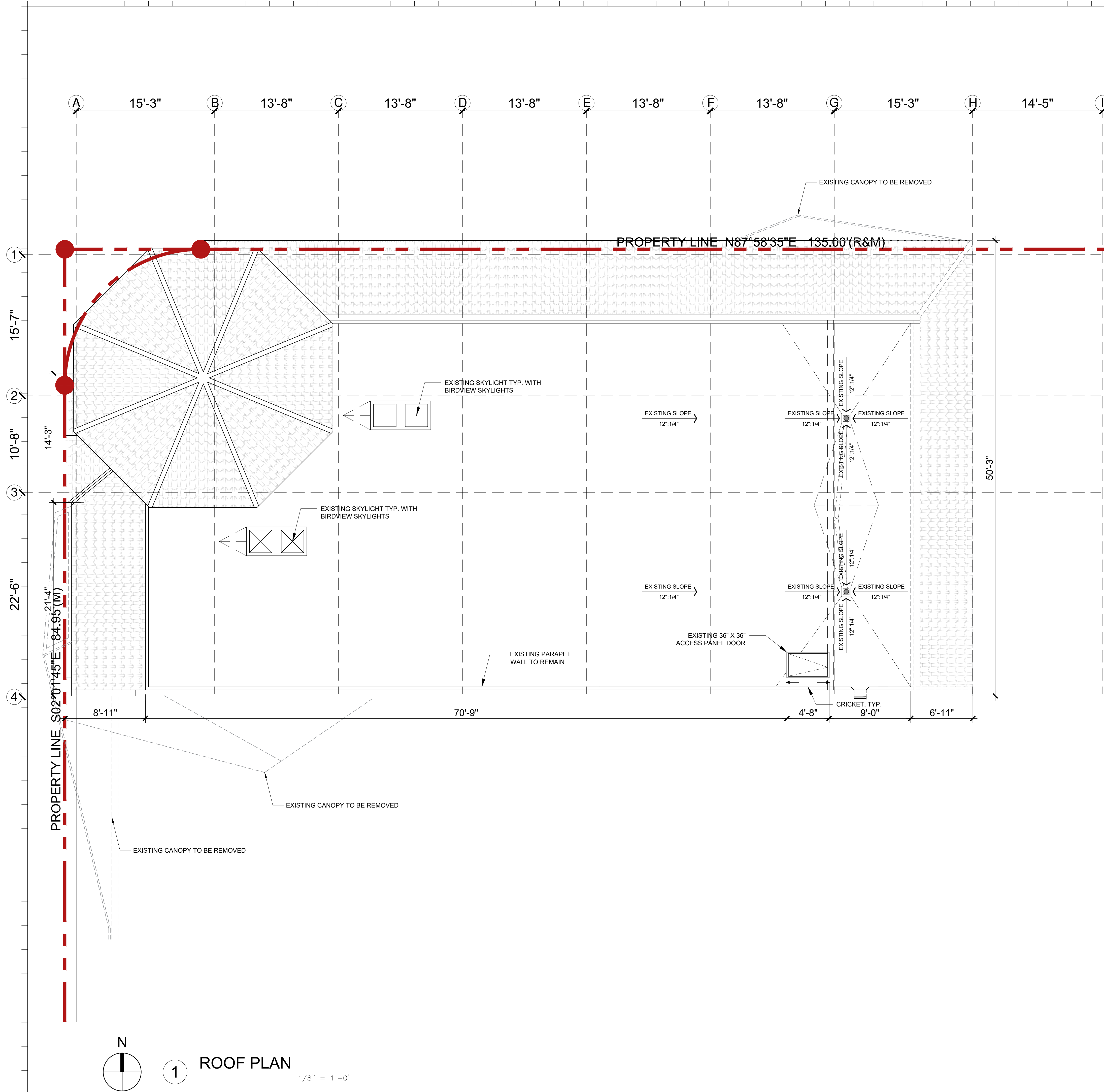
05/16/2022



EXISTING ROOF PLAN

Date	05/16/2022	Sheet No.
Scale	AS MENTIONED	A3.02
Project	21121	





Rev.	Date	Rev.	Date

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FINAL SUBMITTAL DRB22-0827

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Landscape Architect:

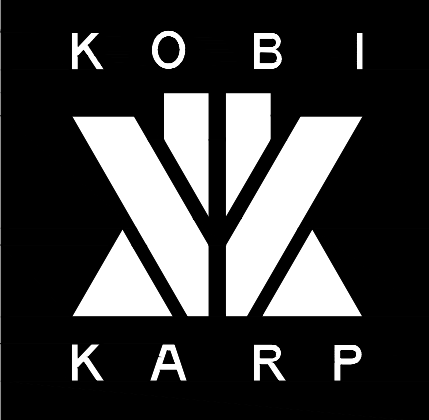
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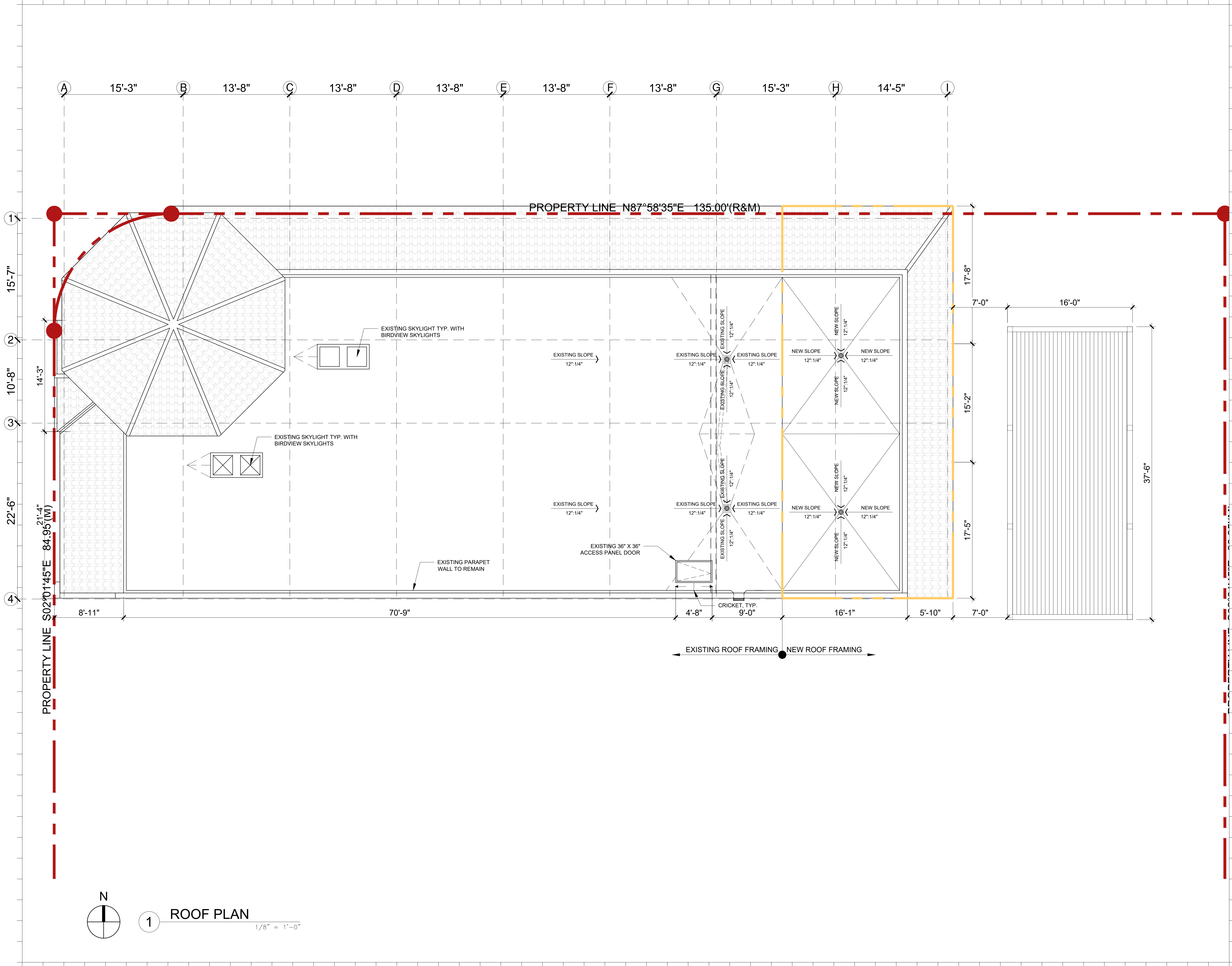
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DEMO ROOF PLAN

Date	05/16/2022	Sheet No.
Scale	AS MENTIONED	A2.13
Project	21121	





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05/16/2022



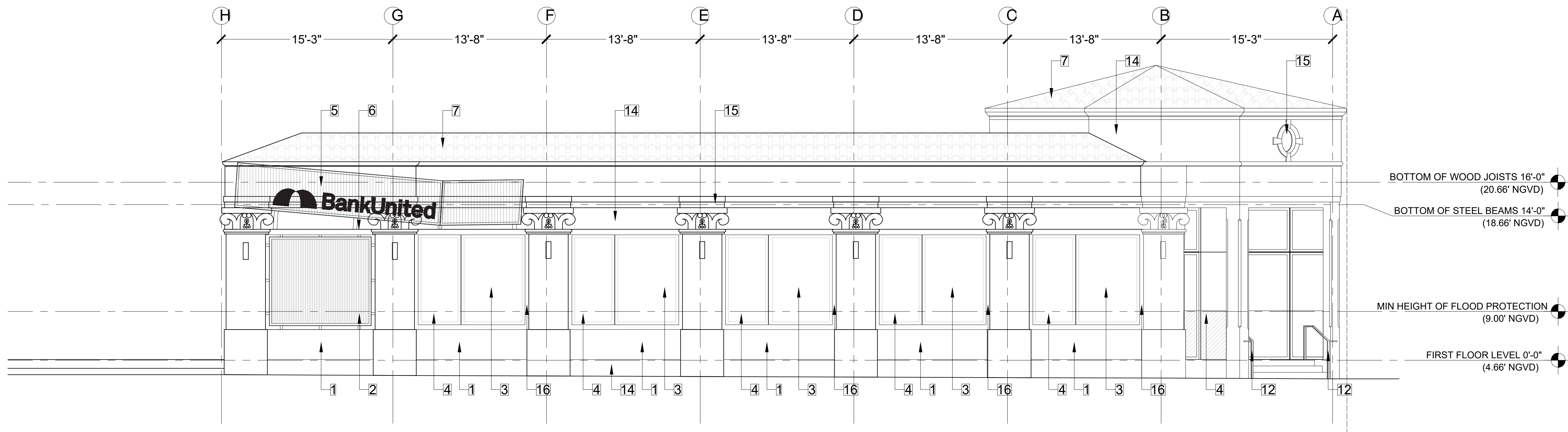
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Lic. # AR0012578



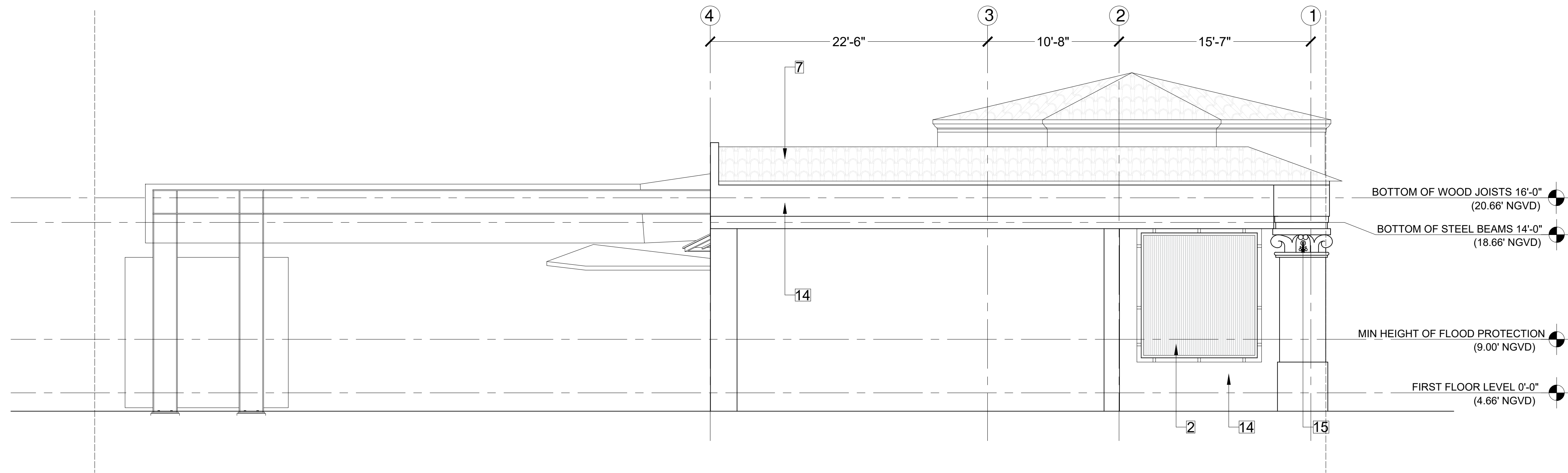
ROOF PLAN

Date	05/16/2022	Sheet No.
Scale	AS MENTIONED	A3.03
Project	21121	





1 NORTH ELEVATION (17TH STREET)  
3/16" = 1'-0"



2 EAST ELEVATION (ALLEY)  
3/16" = 1'-0"

#### LEGEND

- |  |  |
|--|--|
| 1. CMU WALL WITH STUCCO                  | 10. ALUMINUM FRAMED SS MESH GATE       |
| 2. METAL FRAMED SCREEN WITH SS MESH      | 11. ALUMINUM CLAD CANOPY               |
| 3. IMPACT WINDOWS                        | 12. 1 1/2" TUBULAR SS HANDRAIL         |
| 4. FLOOD BARRIERS                        | 13. TUBULAR CONCRETE FILLED SS BOLLARD |
| 5. STEEL FRAMED SS MESH SIGNAGE RIBBON   | 14. EXISTING STUCCO                    |
| 6. ALUMINUM CANOPY                       | 15. EXISTING STUCCO DETAILS            |
| 7. BARREL TILE ROOFING                   | 16. ST-02                              |
| 8. 4' X 8' X 1/2" POLYCARBONATE SHEETING | 17. TUBULAR STEEL BIKE RACKS           |
| 9. STEEL FRAME                           |  |

Rev.	Date	Rev.	Date

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## ZONING

FINAL SUBMITTAL DRB22-0827

## OFFICE BUILDING

1695 ALTON RD  
MIAMI BEACH, FLORIDA 33139

#### Owner:

PRIVATE OFFICE BUILDING

#### Consultant:

Name  
Address  
Tel:  
Email

#### Consultant:

Name  
Address  
Tel:  
Email

#### Landscape Architect:

Name  
Address  
Tel:  
Email

#### Architect:

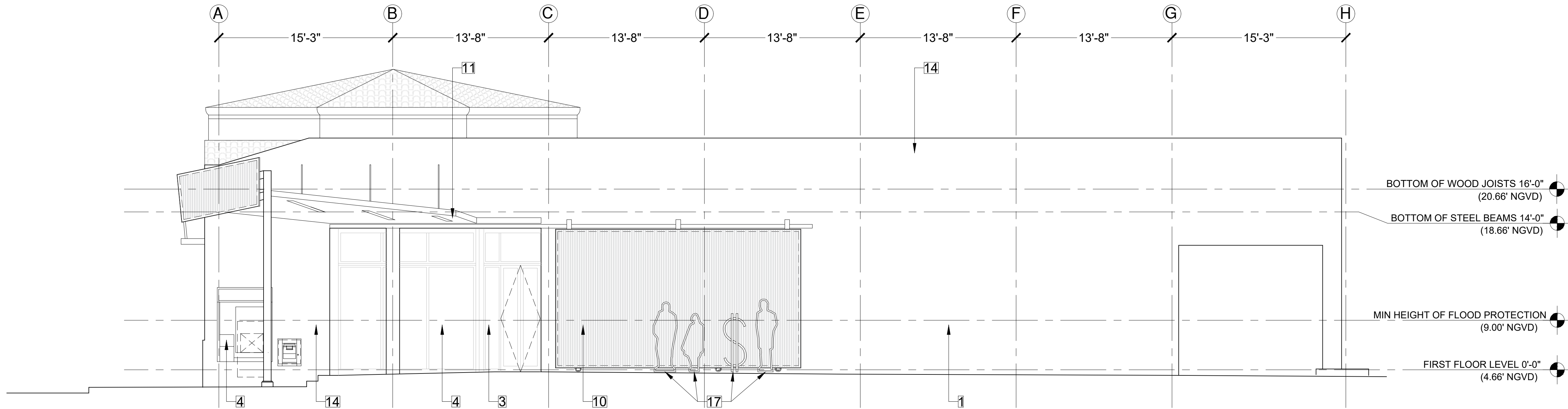
Kobi Karp Architecture and Interior Design, Inc.  
2915 Biscayne Boulevard, Suite #200  
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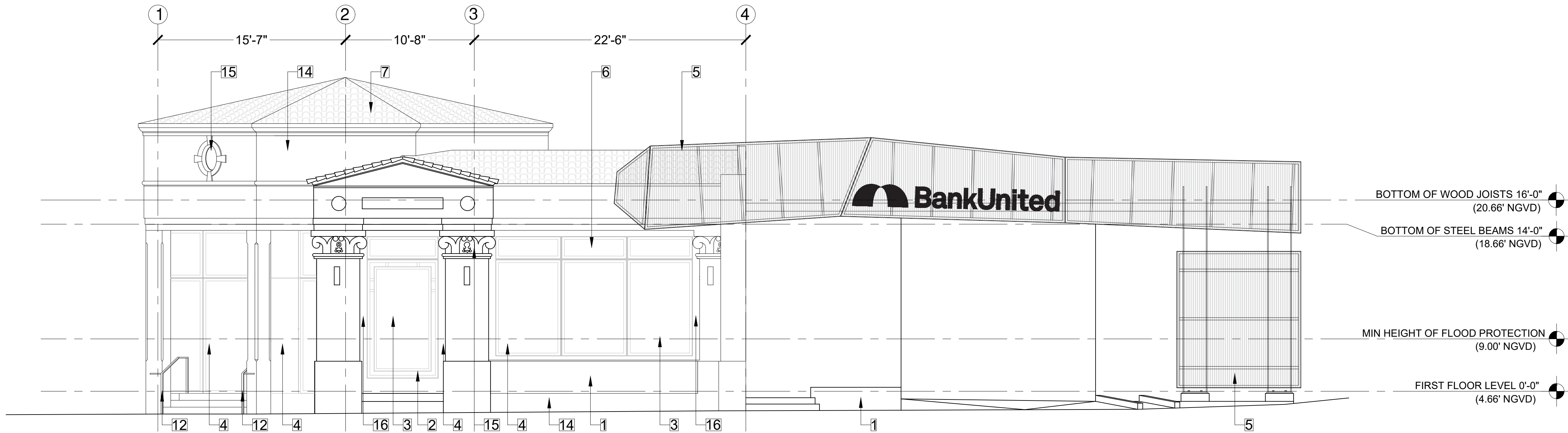
## EXISTING ELEVATIONS

Date	05/16/2022	Sheet No.
Scale	AS MENTIONED	A4.06
Project	21121	





1 SOUTH ELEVATION  
3/16" = 1'-0"



2 WEST ELEVATION (ALTON RD)  
3/16" = 1'-0"

#### LEGEND

- |  |  |
|--|--|
| 1. CMU WALL WITH STUCCO                  | 10. ALUMINUM FRAMED SS MESH GATE       |
| 2. METAL FRAMED SCREEN WITH SS MESH      | 11. ALUMINUM CLAD CANOPY               |
| 3. IMPACT WINDOWS                        | 12. 1 1/2" TUBULAR SS HANDRAIL         |
| 4. FLOOD BARRIERS                        | 13. TUBULAR CONCRETE FILLED SS BOLLARD |
| 5. STEEL FRAMED SS MESH SIGNAGE RIBBON   | 14. EXISTING STUCCO                    |
| 6. ALUMINUM CANOPY                       | 15. EXISTING STUCCO DETAILS            |
| 7. BARREL TILE ROOFING                   | 16. ST-02                              |
| 8. 4' X 8' X 1/2" POLYCARBONATE SHEETING | 17. TUBULAR STEEL BIKE RACKS           |
| 9. STEEL FRAME                           |  |

Rev.	Date	Rev.	Date

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## ZONING

FINAL SUBMITTAL DRB22-0827

## OFFICE BUILDING

1695 ALTON RD  
MIAMI BEACH, FLORIDA 33139

#### Owner:

PRIVATE OFFICE BUILDING

#### Consultant:

Name  
Address  
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Email

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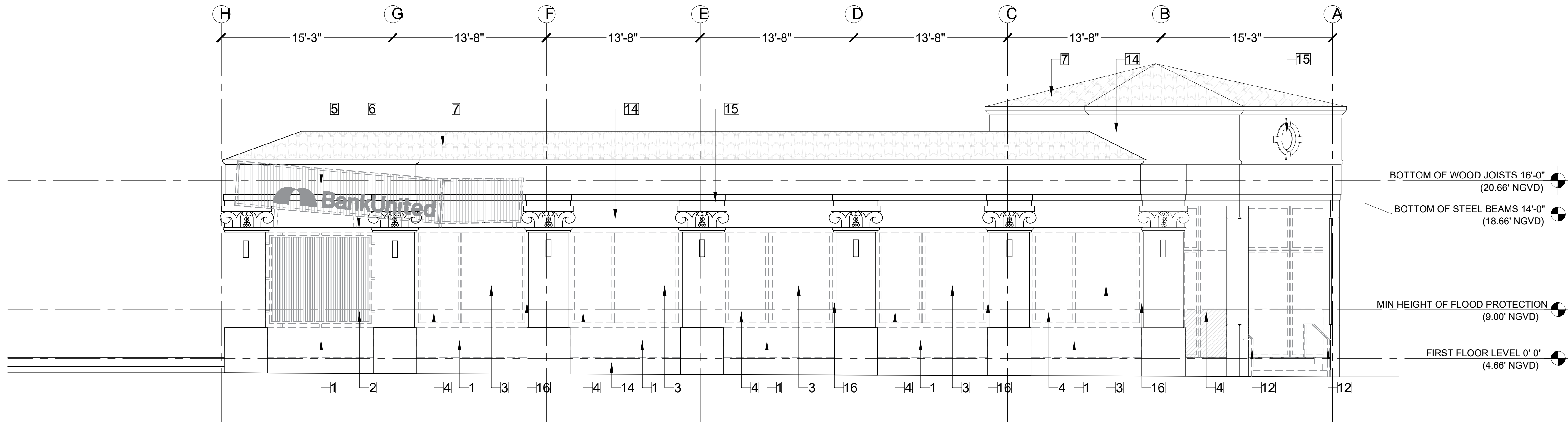
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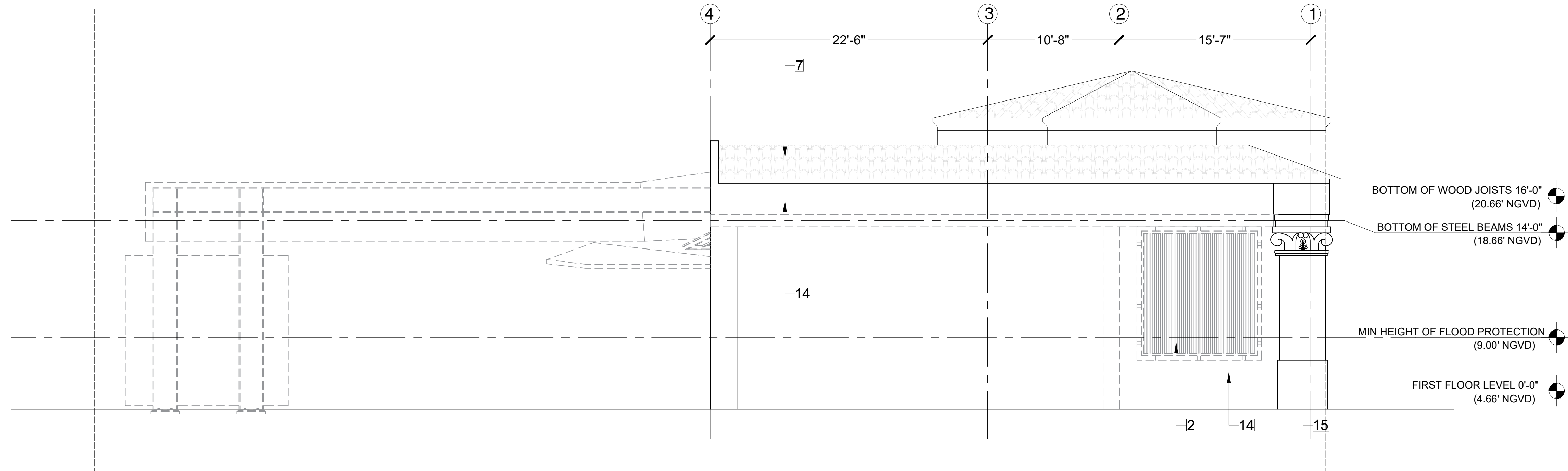
## EXISTING ELEVATIONS

Date	05/16/2022	Sheet No.
Scale	AS MENTIONED	A4.07
Project	21121	





1 NORTH ELEVATION (17TH STREET)  
3/16" = 1'-0"



2 EAST ELEVATION (ALLEY)  
3/16" = 1'-0"

#### LEGEND

- |  |  |
|--|--|
| 1. CMU WALL WITH STUCCO                  | 10. ALUMINUM FRAMED SS MESH GATE       |
| 2. METAL FRAMED SCREEN WITH SS MESH      | 11. ALUMINUM CLAD CANOPY               |
| 3. IMPACT WINDOWS                        | 12. 1 1/2" TUBULAR SS HANDRAIL         |
| 4. FLOOD BARRIERS                        | 13. TUBULAR CONCRETE FILLED SS BOLLARD |
| 5. STEEL FRAMED SS MESH SIGNAGE RIBBON   | 14. EXISTING STUCCO                    |
| 6. ALUMINUM CANOPY                       | 15. EXISTING STUCCO DETAILS            |
| 7. BARREL TILE ROOFING                   | 16. ST-02                              |
| 8. 4' X 8' X 1/2" POLYCARBONATE SHEETING | 17. TUBULAR STEEL BIKE RACKS           |
| 9. STEEL FRAME                           |  |

Rev.	Date	Rev.	Date

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## ZONING

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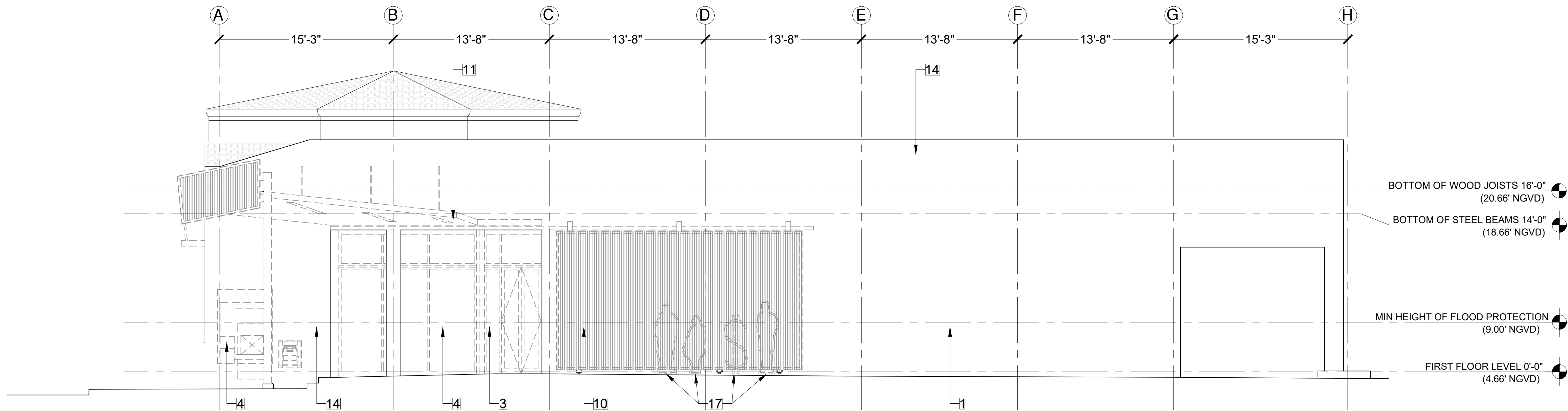
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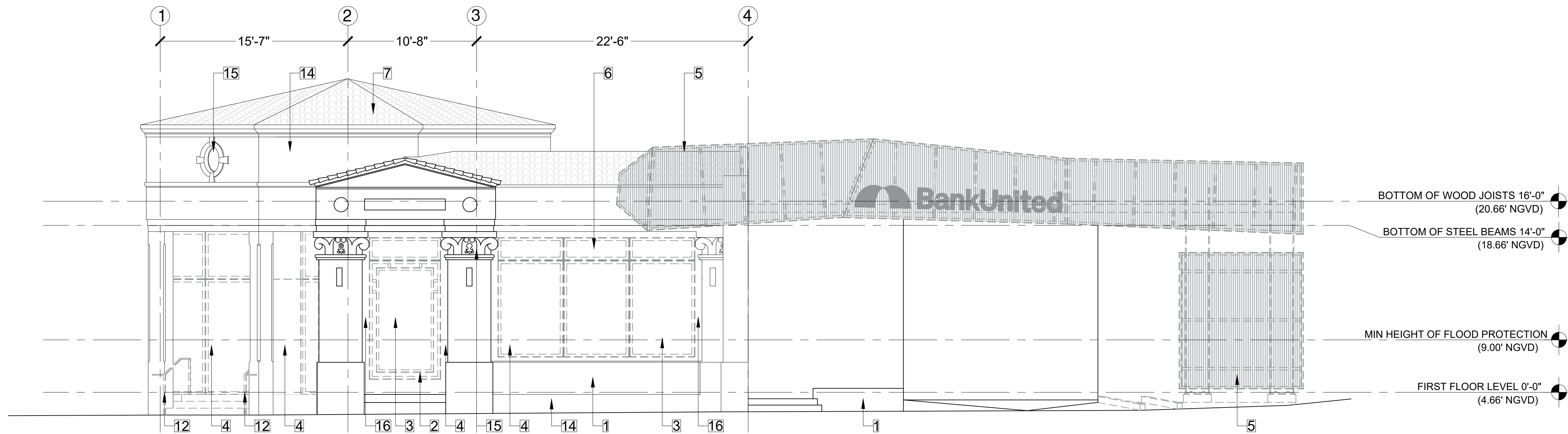
## DEMO ELEVATIONS

Date	05/16/2022	Sheet No.
Scale	AS MENTIONED	A2.14
Project	21121	





1 SOUTH ELEVATION  
3/16" = 1'-0"



2 WEST ELEVATION (ALTON RD)  
3/16" = 1'-0"

#### LEGEND

- |  |  |
|--|--|
| 1. CMU WALL WITH STUCCO                  | 10. ALUMINUM FRAMED SS MESH GATE       |
| 2. METAL FRAMED SCREEN WITH SS MESH      | 11. ALUMINUM CLAD CANOPY               |
| 3. IMPACT WINDOWS                        | 12. 1 1/2" TUBULAR SS HANDRAIL         |
| 4. FLOOD BARRIERS                        | 13. TUBULAR CONCRETE FILLED SS BOLLARD |
| 5. STEEL FRAMED SS MESH SIGNAGE RIBBON   | 14. EXISTING STUCCO                    |
| 6. ALUMINUM CANOPY                       | 15. EXISTING STUCCO DETAILS            |
| 7. BARREL TILE ROOFING                   | 16. ST-02                              |
| 8. 4' X 8' X 1/2" POLYCARBONATE SHEETING | 17. TUBULAR STEEL BIKE RACKS           |
| 9. STEEL FRAME                           |  |

Rev.	Date	Rev.	Date

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## ZONING

FINAL SUBMITTAL DRB22-0827

## OFFICE BUILDING

1695 ALTON RD  
MIAMI BEACH, FLORIDA 33139

#### Owner:

PRIVATE OFFICE BUILDING

#### Consultant:

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Email

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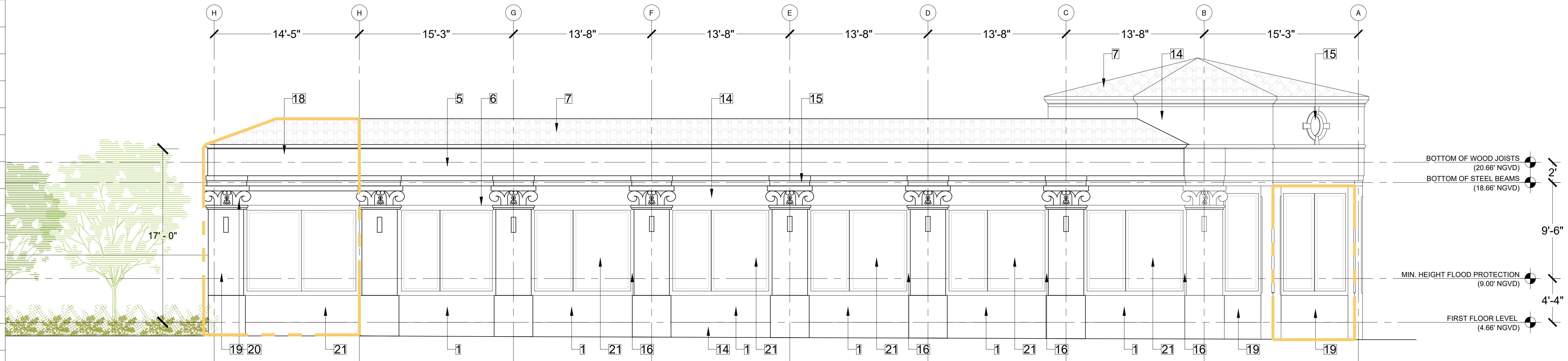
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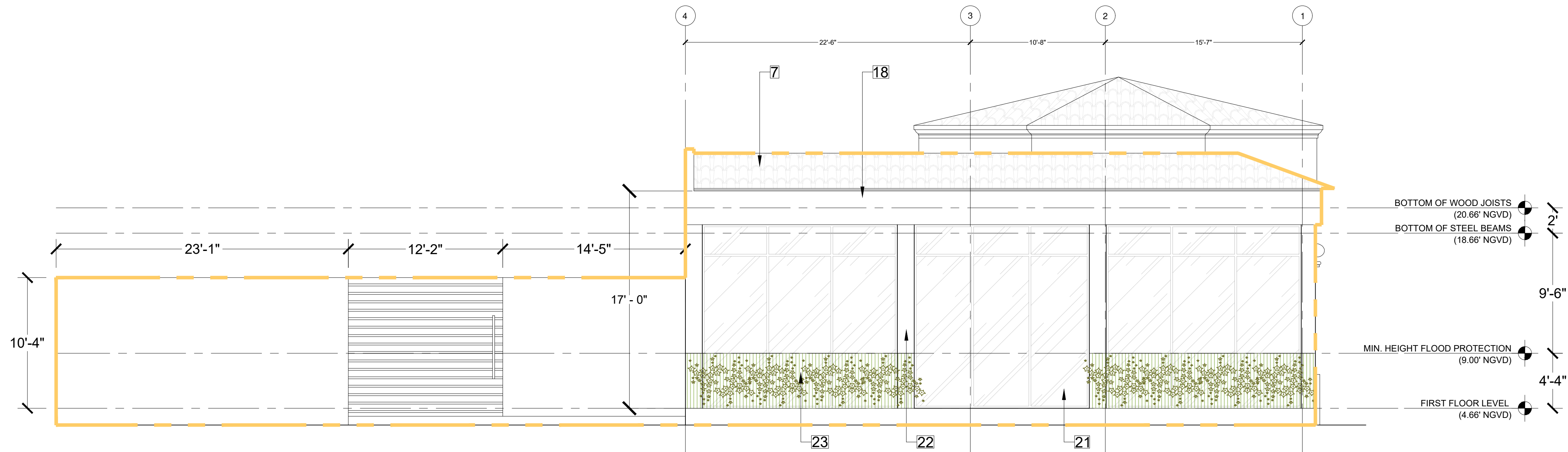
## DEMO ELEVATIONS

Date	05/16/2022	Sheet No.
Scale	AS MENTIONED	A2.15
Project	21121	





1 NORTH ELEVATION (17TH STREET)  
3/16" = 1'-0"



2 EAST ELEVATION (ALLEY)  
3/16" = 1'-0"

LEGEND

- |  |                                       |
|--|---------------------------------------|
| 1. EXISTING CMU WALL WITH STUCCO             | 18. PROPOSING ALUMINUM ROOF STRUCTURE |
| 2. EXISTING METAL FRAMED SCREEN WITH SS MESH | 19. PROPOSING CMU WALL WITH STUCCO    |
| 3. EXISTING IMPACT WINDOWS                   | 20. PROPOSING STUCCO WITH DETAILS     |
| 4. EXISTING FLOOD BARRIERS                   | 21. PROPOSING IMPACT WINDOWS          |
| 7. EXISTING BARREL TILE ROOFING              | 22. PROPOSING STEEL COLUMNS           |
| 14. EXISTING STUCCO                          | 23. PROPOSING PLANTERS                |
| 15. EXISTING STUCCO DETAILS                  |                                       |
| 16. EXISTING ST-02                           |                                       |

Rev.	Date	Rev.	Date

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ZONING

DRB SUBMITTAL

OFFICE BUILDING

1695 ALTON RD  
MIAMI BEACH, FLORIDA 33139

Owner:

PRIVATE RESIDENCE

Consultant:

Name  
Address  
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Email

Consultant:

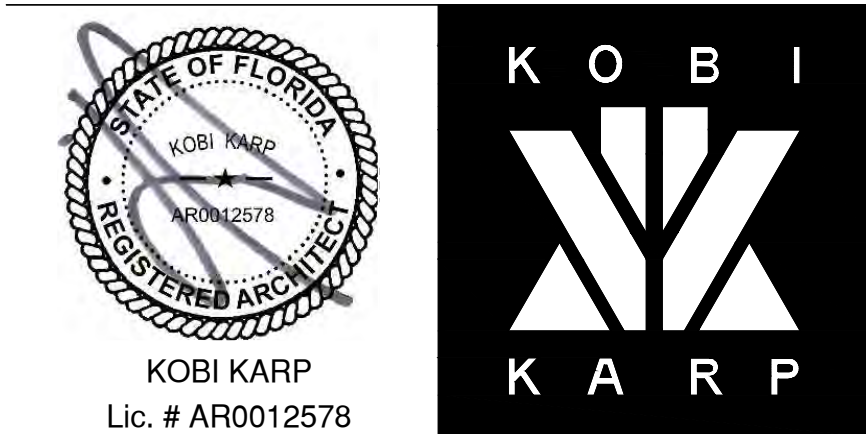
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Landscape Architect:

Name  
Address  
Tel:  
Email

Architect:

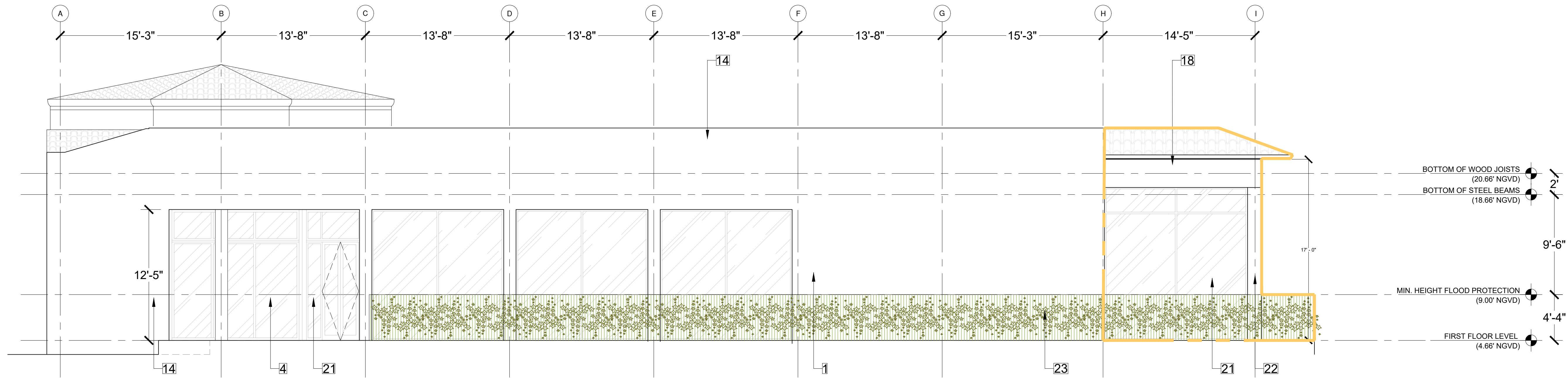
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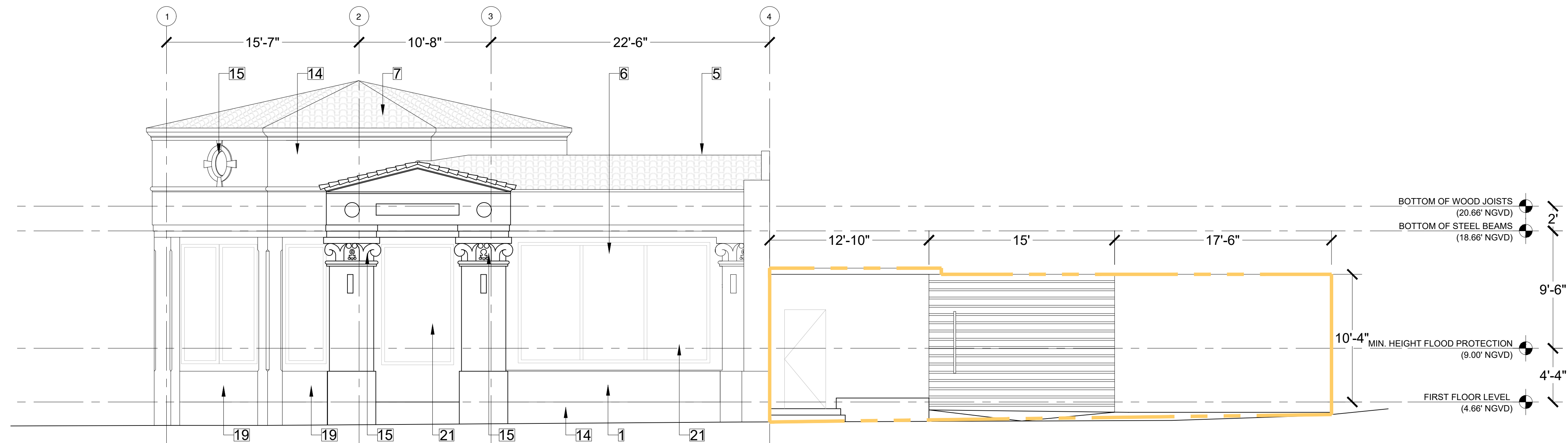
ELEVATIONS

Date	04/01/2022	Sheet No.
Scale	AS MENTIONED	A4.01
Project		





1 SOUTH ELEVATION  
3/16" = 1'-0"



2 WEST ELEVATION (ALTON RD)  
3/16" = 1'-0"

LEGEND

- |  |  |
|--|--|
| 1. CMU WALL WITH STUCCO                  | 10. ALUMINUM FRAMED SS MESH GATE       |
| 2. METAL FRAMED SCREEN WITH SS MESH      | 11. ALUMINUM CLAD CANOPY               |
| 3. IMPACT WINDOWS                        | 12. 1 1/2" TUBULAR SS HANDRAIL         |
| 4. FLOOD BARRIERS                        | 13. TUBULAR CONCRETE FILLED SS BOLLARD |
| 5. STEEL FRAMED SS MESH SIGNAGE RIBBON   | 14. EXISTING STUCCO                    |
| 6. ALUMINUM CANOPY                       | 15. EXISTING STUCCO DETAILS            |
| 7. BARREL TILE ROOFING                   | 16. ST-02                              |
| 8. 4' X 8' X 1/2" POLYCARBONATE SHEETING | 17. TUBULAR STEEL BIKE RACKS           |
| 9. STEEL FRAME                           |  |

Rev.	Date	Rev.	Date

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ZONING

DRB SUBMITTAL

OFFICE BUILDING

1695 ALTON RD  
MIAMI BEACH, FLORIDA 33139

Owner:

PRIVATE RESIDENCE

Consultant:

Name  
Address  
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Consultant:

Name  
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Landscape Architect:

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Architect:

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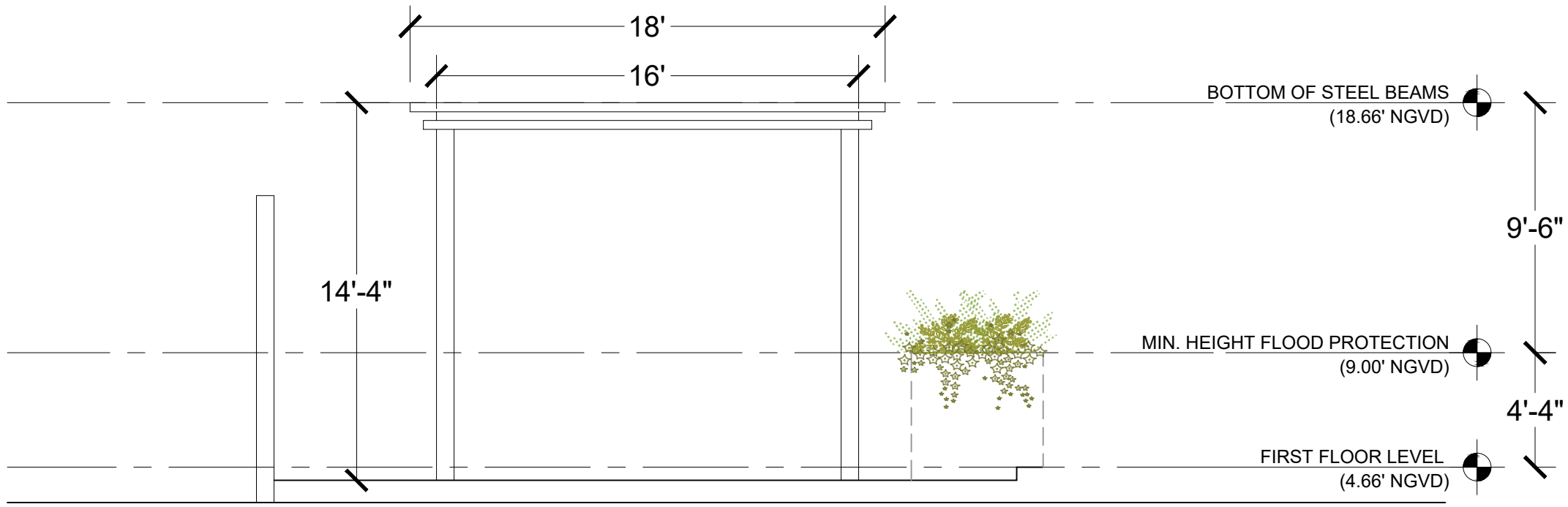
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ELEVATIONS

Date	04/01/2022	Sheet No.
Scale	AS MENTIONED	A4.02
Project		

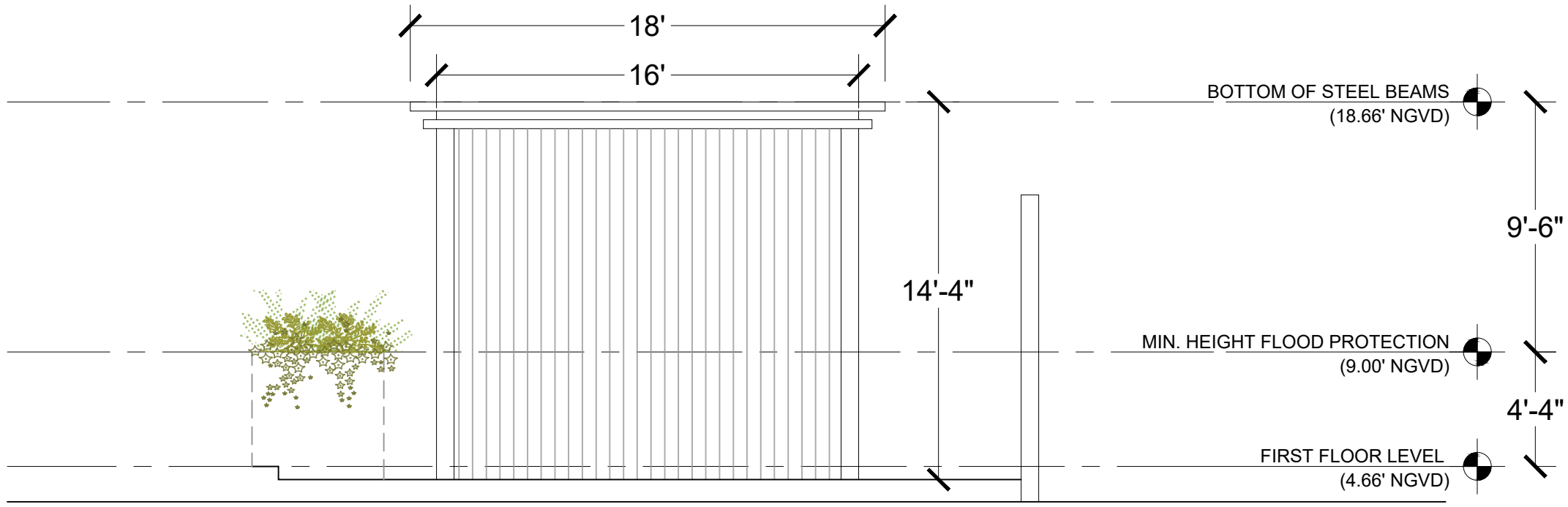




1 NORTH ELEVATION  
3/16" = 1'-0"



2 EAST ELEVATION  
3/16" = 1'-0"



3 NORTH ELEVATION  
3/16" = 1'-0"

Rev.	Date	Rev.	Date

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## ZONING

DRB SUBMITTAL

## OFFICE BUILDING

1695 ALTON RD  
MIAMI BEACH, FLORIDA 33139

### Owner:

PRIVATE RESIDENCE

### Consultant:

Name  
Address  
Tel:  
Email

### Consultant:

Name  
Address  
Tel:  
Email

### Landscape Architect:

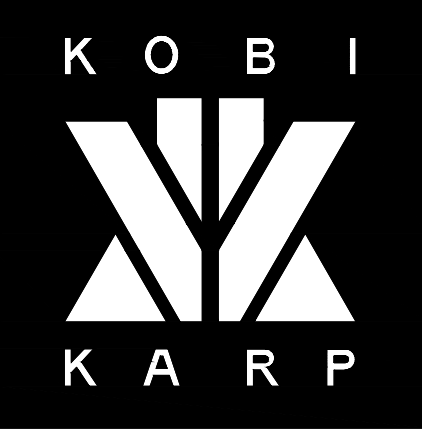
Name  
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### Architect:

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2915 Biscayne Boulevard, Suite #200  
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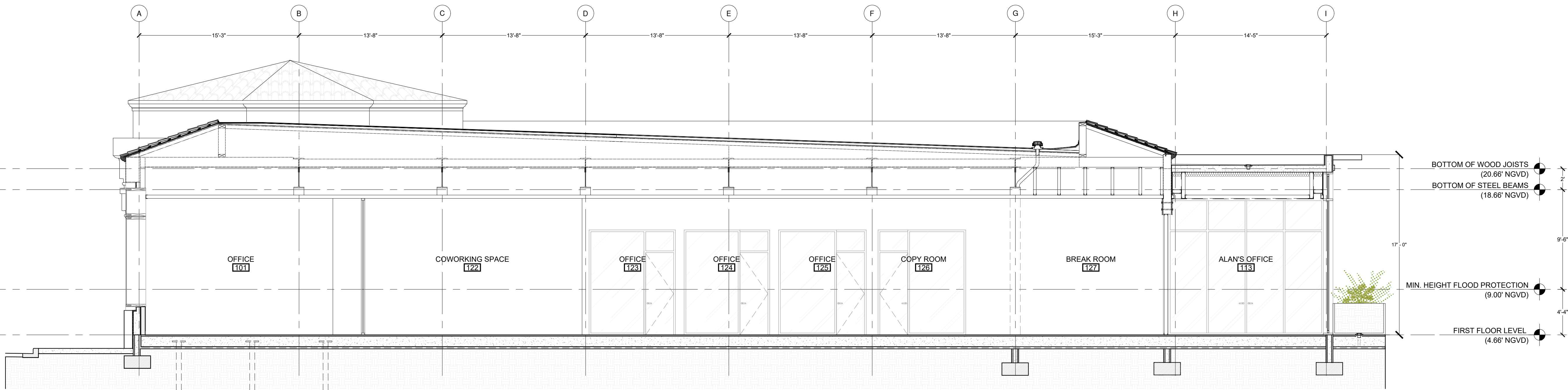
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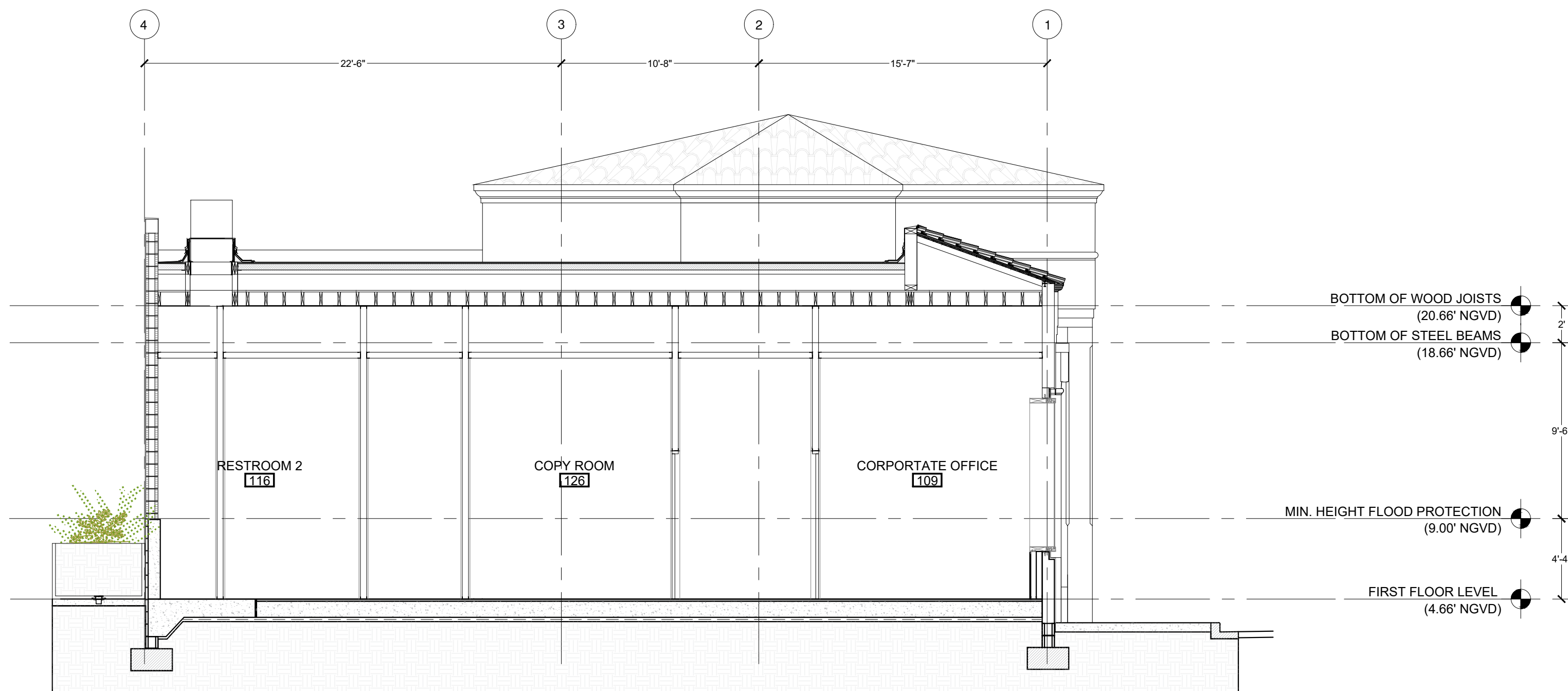
## TRELLIS ELEVATIONS

Date	04/01/2022	Sheet No.
Scale	AS MENTIONED	A4.03
Project		





1 BUILDING SECTION  
3/16" = 1'-0"



2 BUILDING SECTION  
3/16" = 1'-0"

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## ZONING

FINAL SUBMITTAL DRB22-0827

## OFFICE BUILDING

1695 ALTON RD  
MIAMI BEACH, FLORIDA 33139

### Owner:

PRIVATE OFFICE BUILDING

### Consultant:

Name  
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Email

### Consultant:

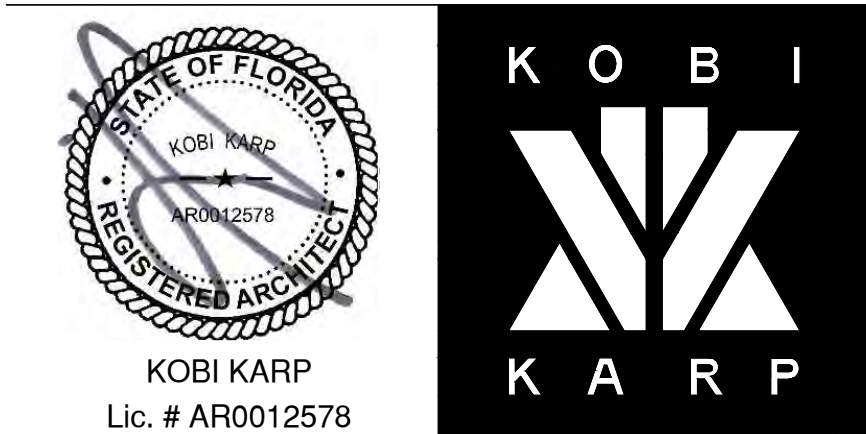
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Address  
Tel:  
Email

### Landscape Architect:

Name  
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Email

### Architect:

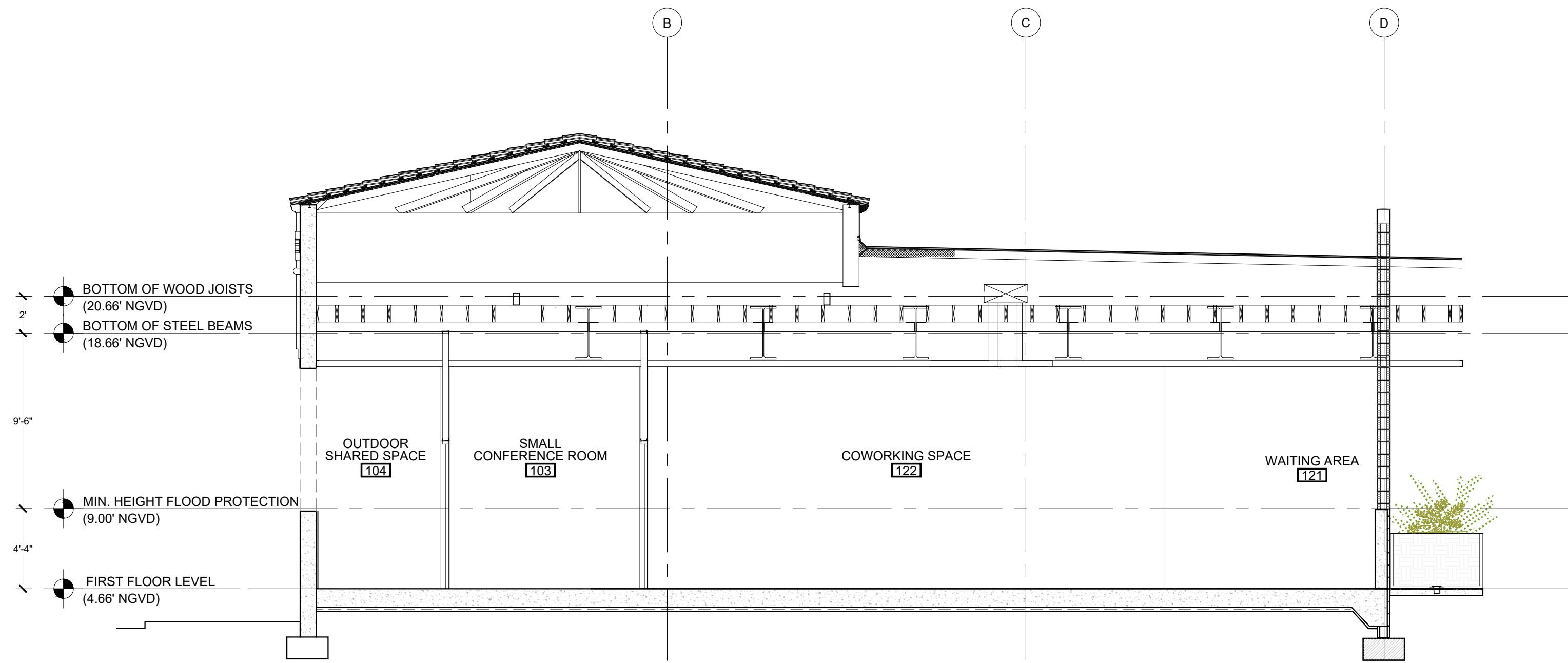
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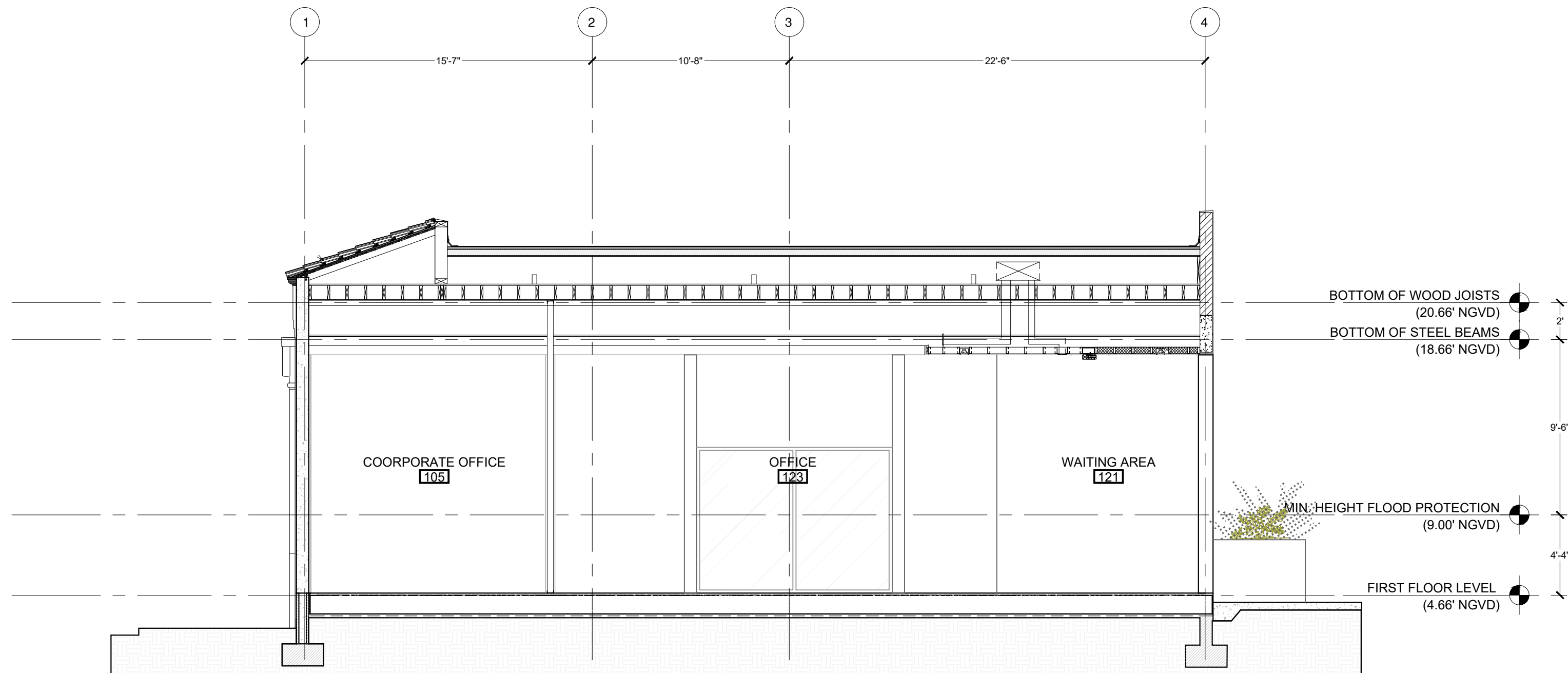
## SECTIONS

Date	05/16/2022	Sheet No.
Scale	AS MENTIONED	A5.01
Project	21121	





3 BUILDING SECTION  
3/16" = 1'-0"



4 BUILDING SECTION  
3/16" = 1'-0"

Rev.	Date	Rev.	Date

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## ZONING

FINAL SUBMITTAL DRB22-0827

## OFFICE BUILDING

1695 ALTON RD  
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### Owner:

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Name  
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### Consultant:

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## SECTIONS

Date	05/16/2022	Sheet No.
Scale	AS MENTIONED	A5.02
Project	21121	





Rev.	Date	Rev.	Date

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ZONING

FINAL SUBMITTAL DRB22-0827

OFFICE BUILDING

1695 ALTON RD  
MIAMI BEACH, FLORIDA 33139

Owner:

PRIVATE OFFICE BUILDING

Consultant:

Name  
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Consultant:

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Landscape Architect:

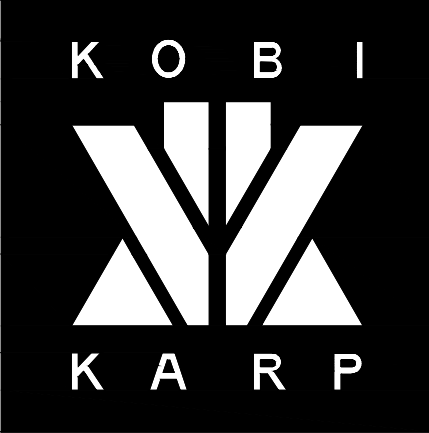
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AXONOMETRIC RENDERING

Date	05/16/2022	Sheet No. <b>A6.00</b>
Scale	AS MENTIONED	
Project	21121	





Rev.	Date	Rev.	Date

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ZONING

FINAL SUBMITTAL DRB22-0827

OFFICE BUILDING

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AXONOMETRIC RENDERING

Date	05/16/2022	Sheet No. <b>A6.01</b>
Scale	AS MENTIONED	
Project	21121	





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AXONOMETRIC RENDERING

Date	05/16/2022	Sheet No. <b>A6.02</b>
Scale	AS MENTIONED	
Project	21121	





Rev.	Date	Rev.	Date

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ZONING

FINAL SUBMITTAL DRB22-0827

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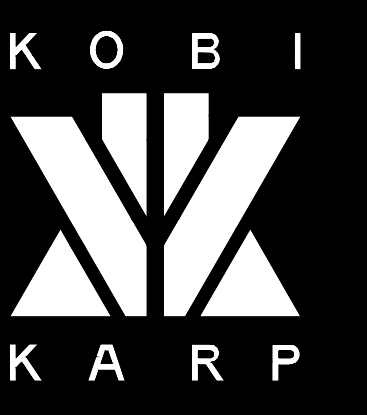
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AXONOMETRIC RENDERING

Date	05/16/2022	Sheet No.
Scale	AS MENTIONED	A6.03
Project	21121	





PLANNING BOARD FINAL SUBMITTAL - 05.16.22  
1840 ALTON ROAD | MIAMI BEACH, FLORIDA

CLIENT / PROPERTY INFORMATION

PROPERTY ADDRESS  
1695 ALTON ROAD  
MIAMI BEACH, FL 33139

EXISTING VEGETATION SUMMARY

The existing vegetation on site is composed of an assortment of small palms, queen palms, various small native silver buttonwood trees and two large mahogany trees. Please note that there is no specimen vegetation in conflict with the proposed improvements to the existing building. The landscape architect is proposing to remove all of the existing palms and trees on site that are in conflict with the proposed improvements and native mitigation will be provided to offset the loss.

SCOPE OF WORK

- New streetscape design for Alton Road
- New landscape design to complement new contemporary commercial building

INDEX OF SHEETS

L-0.00	Landscape Cover Page + Sheet Index + Landscape Legend
L-1.00	Existing Tree Survey + Disposition Plan
L-1.01	Existing Tree Chart + Mitigation Summary
L-2.00	Landscape Plan
L-2.01	Haedscape Plan
L-3.00	Plant List, Landscape Notes + Details

MIAMI BEACH LANDSCAPE LEGEND

CITY OF MIAMI BEACH LANDSCAPE LEGEND INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS Zoning District <b>CD-2</b> Lot Area <b>14,945 SF</b> Acres <b>.33</b>		
<b>OPEN SPACE</b>	REQUIRED/ ALLOWED	PROVIDED
A. Square feet of required Open Space as indicated on site plan: Lot Area = <b>14,945</b> s.f. x <b>.20</b> % = <b>2,989</b> s.f.	<b>2,989 SF</b>	
B. Square feet of parking lot open space required as indicated on site plan: Number of parking spaces _____ x 10 s.f. parking space =	<b>N/A</b>	
C. Total square feet of landscaped open space required: A+B=	<b>N/A</b>	
<b>LAWN AREA CALCULATION</b>		
A. Square feet of landscaped open space required	<b>N/A</b>	
B. Maximum lawn area (sod) permitted: _____ % x _____ s.f.	<b>N/A</b>	
<b>TREES</b>		
A. Number of trees required per lot or net lot acre, less existing number of trees meeting minimum requirements=		
<b>22</b> trees x <b>.33</b> net lot acres - number of existing trees=	<b>8 TREES</b>	<b>18 TREES</b>
B. % Natives required: Number of trees provided x 30% =	<b>3 TREES</b>	<b>12 TREES</b>
C. % Low maintenance / drought and salt tolerant required: Number of trees provided x 50% =	<b>4 TREES</b>	
D. Street Trees (maximum average spacing of 20' o.c.) <b>255 LF</b> linear feet along street divided by 20' =	<b>13 TREES</b>	
E. Street tree species allowed directly beneath power lines: (maximum average spacing of 20' o.c.) _____ linear feet along street divided by 20' =	<b>N/A</b>	
<b>SHRUBS</b>		
A. Number of shrubs required: Sum of lot and street trees required x 12=	<b>252</b>	<b>208</b>
B. % Native shrubs required: Number of shrubs provided x 50%=	<b>126</b>	<b>69</b>
<b>LARGE SHRUBS OR SMALL TREES</b>		
A. Number of large shrubs or small trees required: Number of required shrubs x 10%=	<b>26</b>	
B. % Native large shrubs or small trees required: Number of large shrubs or small trees provided x 50%=	<b>13</b>	

\* TOTAL SHORT FALL OF 17 STREET TREES

\* BUILDING RESTORATION PROJECT HAS LIMITED LANDSCAPE AREAS AVAILABLE. THEREFORE, IT IS NOT POSSIBLE TO MEET THE CMB PLANNING + ZONING CODE REQUIREMENTS.

\* STREET TREE SHORTFALL SHALL BE ADDRESSED AT THE TIME OF PERMITTING. STREET TREE SHORTFALL SHALL BE EITHER PLANTED AT AN ALTERNATE LOCATION / CITY APPROVED LOCATION OFFSITE OR A MONETARY CONTRIBUTION TO THE CMB TREE PRESERVATION TRUST FUND SHALL BE PROVIDED.

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ZONING

DRB SUBMITTAL

OFFICE BUILDING

1695 ALTON RD  
MIAMI BEACH, FLORIDA 33139



CHRISTOPHER CAWLEY, RLA  
Florida License LA 8666786

Owner:

PRIVATE RESIDENCE

Consultant:

Name  
Address  
Tel:  
Email

Consultant:

Name  
Address  
Tel:  
Email

Landscape Architect:

Name  
Address  
Tel:  
Email

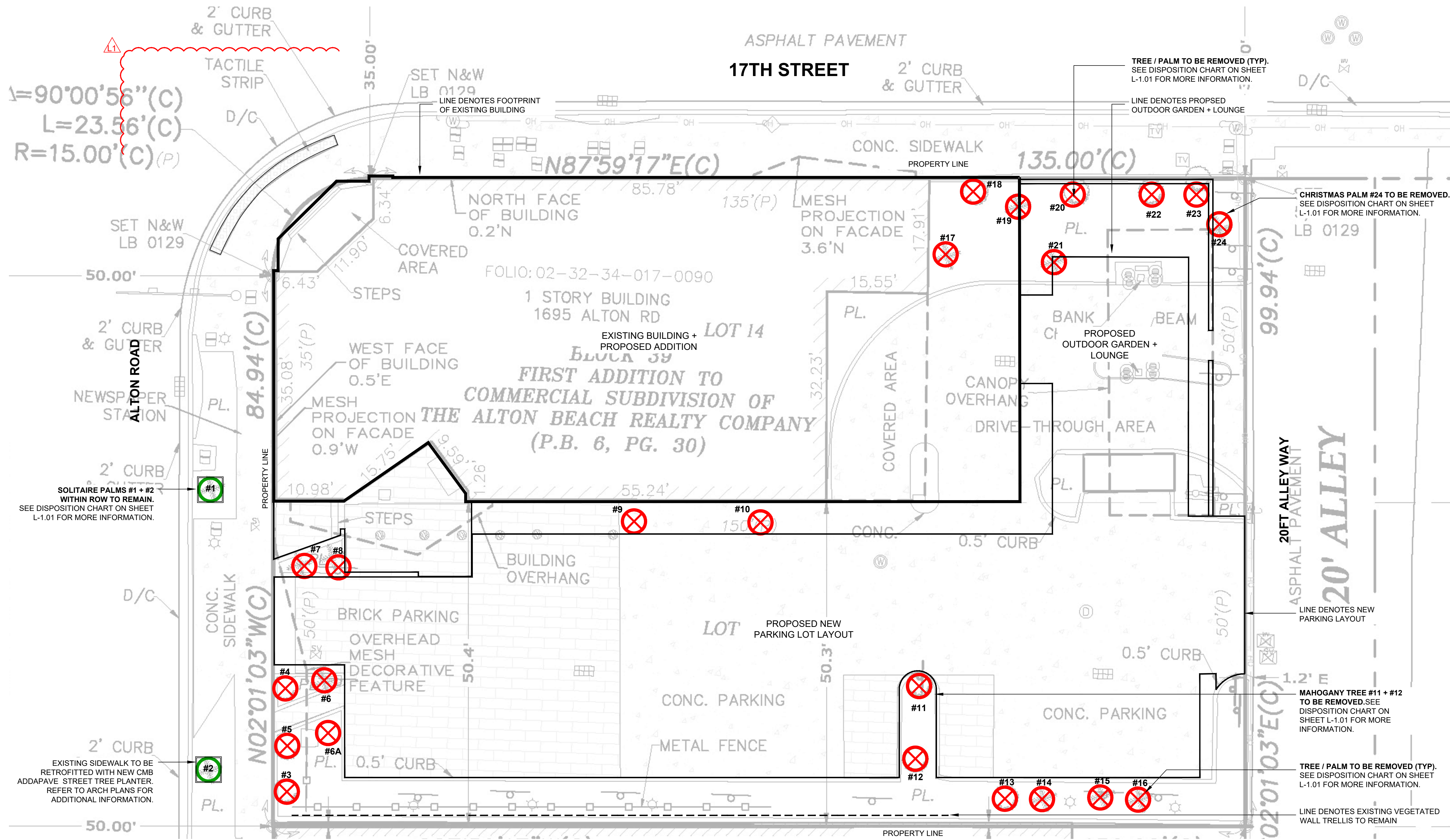
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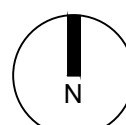
#### C.M.B. CHAPTER 46, DIVISION 2 - TREE INVENTORY + DISPOSITION PLAN NOTES

1. THIS 'EXISTING TREE INVENTORY + DISPOSITION PLAN' HAS BEEN PREPARED IN ACCORDANCE WITH THE CITY OF MIAMI BEACH, CHAPTER 46 - ENVIRONMENT, DIVISION 2, TREE PRESERVATION and PROTECTION ORDINANCE.
2. EXISTING TREE, PALM, AND VEGETATION INFORMATION AS INDICATED HAS BEEN PREPARED AS AN OVERLAY ON THE SURVEY PREPARED BY BISCAYNE ENGINEERING COMPANY, INC. DATED 02.04.11
3. THE INFORMATION AS PRESENTED HEREIN HAS BEEN FIELD VERIFIED BY THE LANDSCAPE ARCHITECT ON 04.06.22
4. MIAMI BEACH P+Z MUST APPROVE LANDSCAPE PLANS PRIOR TO REMOVING ANY TREES OR PALMS WITH A DBH BETWEEN 6" AND 12" INCHES. A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM CITY OF MIAMI BEACH GREENSPACE MANAGEMENT / P.W FOR THE REMOVAL OF TREES / PALMS WITH A DBH GREATER THAN 12" INCHES OR IN THE R.O.W.
5. THE OWNER RESERVES THE RIGHT TO REMOVE ANY VEGETATION NOT LOCATED WITHIN THE CITY R.O.W. w/ a D.B.H. OF LESS THAN 6" WITHOUT OBTAINING A TREE REMOVAL PERMIT.
6. THERE ARE NO TREES or PALMS LOCATED ON THIS PROPERTY THAT WILL REQUIRE TEMPORARY IRRIGATION. ALL EXISTING TREES + PALMS ARE MATURE AND ARE CURRENTLY THRIVING WITHOUT SUPPLEMENTAL IRRIGATION WATER.

#### C.M.B. EXISTING TREE SURVEY LEGEND

- TREE or PALM TO BE REMOVED. SEE CHART L-1.01
- TREE or PALM TO REMAIN. PRESERVE + PROTECT

#### EXISTING TREE SURVEY + DISPOSITION PLAN



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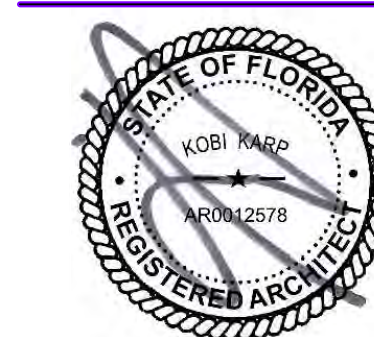
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Architect:

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C.M.B. EXISTING TREE INVENTORY + DISPOSITION CHART - 1695 ALTON ROAD										
NUMBER	COMMON NAME	BOTANICAL NAME	SPECIMEN	D.B.H. (IN)	HEIGHT (FT)	SPREAD (FT)	CONDITION	DISPOSITION	MITIGATION	COMMENTS
#1	SOLITAIRE PALM	Ptychosperma elegans	NO	5"	15'	7'	GOOD	REMAIN	N/A	LOCATED IN ROW. PRESERVE + PROTECT
#2	SOLITAIRE PALM	Ptychosperma elegans	NO	5"	15'	7'	GOOD	REMAIN	N/A	LOCATED IN ROW. PRESERVE + PROTECT
#3	SILVER BUTTONWOOD	Conocarpus erectus	NO	3"	7'	4'	FAIR	REMOVE	3" DBH	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#4	SILVER BUTTONWOOD	Conocarpus erectus	NO	3"	7'	4'	FAIR	REMOVE	3" DBH	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#5	CHRISTMAS PALM	Adonidia merrilli	NO	4"	10'	6'	FAIR	REMOVE	N/A	SMALL PALM. NO MITIGATION REQUIRED.
#6	SILVER BUTTONWOOD	Conocarpus erectus	NO	3"	7'	4'	FAIR	REMOVE	3" DBH	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#6A	SOLITAIRE PALM	Ptychosperma elegans	NO	5"	15'	7'	FAIR	REMOVE	N/A	SMALL PALM. NO MITIGATION REQUIRED.
#7	CHRISTMAS PALM	Adonidia merrilli	NO	4"	10'	6'	FAIR	REMOVE	N/A	SMALL PALM. NO MITIGATION REQUIRED.
#8	CHRISTMAS PALM	Adonidia merrilli	NO	4"	10'	6'	FAIR	REMOVE	N/A	SMALL PALM. NO MITIGATION REQUIRED.
#9	SOLITAIRE PALM	Ptychosperma elegans	NO	5"	15'	7'	FAIR	REMOVE	N/A	SMALL PALM. NO MITIGATION REQUIRED.
#10	SOLITAIRE PALM	Ptychosperma elegans	NO	5"	15'	7'	FAIR	REMOVE	N/A	SMALL PALM. NO MITIGATION REQUIRED.
#11	MAHOGANY	Swietenia mahagoni	YES	20"	25'	40'	POOR	REMOVE	20" DBH	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#12	MAHOGANY	Swietenia mahagoni	YES	24"	25'	40'	POOR	REMOVE	24" DBH	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#13	QUEEN PALM	Syagrus romanzoffiana	NO	12"	6'	8'	POOR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#14	QUEEN PALM	Syagrus romanzoffiana	NO	12"	6'	8'	POOR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#15	QUEEN PALM	Syagrus romanzoffiana	NO	0"	0'	0'	DEAD	REMOVE	N/A	DEAD PALM. NO MITIGATION REQUIRED
#16	QUEEN PALM	Syagrus romanzoffiana	NO	12"	6'	8'	POOR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#17	QUEEN PALM	Syagrus romanzoffiana	NO	12"	6'	8'	FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#18	SILVER BUTTONWOOD	Conocarpus erectus	NO	3"	7'	4'	FAIR	REMOVE	3" DBH	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#19	QUEEN PALM	Syagrus romanzoffiana	NO	12"	6'	8'	FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#20	SILVER BUTTONWOOD	Conocarpus erectus	NO	3"	7'	4'	FAIR	REMOVE	3" DBH	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#21	QUEEN PALM	Syagrus romanzoffiana	NO	12"	6'	8'	FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#22	SILVER BUTTONWOOD	Conocarpus erectus	NO	3"	7'	4'	FAIR	REMOVE	3" DBH	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#23	SILVER BUTTONWOOD	Conocarpus erectus	NO	3"	7'	4'	FAIR	REMOVE	3" DBH	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#24	CHRISTMAS PALM	Adonidia merrilli	NO	4"	10'	6'	FAIR	REMOVE	N/A	SMALL PALM. NO MITIGATION REQUIRED.
TOTAL TREE DBH LOSS: 65" + THE REMOVAL OF (6) PALMS * TREE MITIGATION REQUIRED: (6) REPLACEMENT TREES @ 12'HT x 2" DBH X 6' SPREAD PALM MITIGATION REQUIRED: (6) REPLACEMENT TREES @ 12'HT x 2" DBH X 6' SPREAD										

CH 46 TREE PRESERVATION + PROTECTION / TREE + PALM MITIGATION SUMMARY		
MIAMI BEACH LANDSCAPE ORDINANCE CHAPTER 46 ENVIRONMENT		
TREES		
REMOVED (TOTAL DBH OF TREES)	REPLACEMENT TREES REQUIRED	REPLACEMENT TREES PROVIDED
65" OF DBH	22 @ 12' HEIGHT + 2" DBH + 6' SPREAD OR 11 @ 16' HEIGHT + 4" DBH + 8' SPREAD	15 REPLACEMENT TREES PROVIDED @ 12' HEIGHT + 2" DBH + 6' SPREAD  BREAKDOWN: (1) GUMBO LIMBO TREE @ 20' HEIGHT + 6" DBH + 10' SPREAD = 3 REPLACEMENT TREES (5) BAYRUM TREES @ 12' HEIGHT + 2" DBH + 6' SPREAD = 5 REPLACEMENT TREES (3) SIMPSON STOPPER TREES @ 12' HEIGHT + 2" DBH + 6' SPREAD = 3 REPLACEMENT TREES (4) SPANISH STOPPER TREES @ 12' HEIGHT + 2" DBH + 6' SPREAD = 4 REPLACEMENT TREES
PALMS		
REMOVED (TOTAL PALMS)	REPLACEMENT TREES REQUIRED	REPLACEMENT TREES PROVIDED
6	6 @ 12' HEIGHT + 2" DBH + 6' SPREAD OR 3 @ 16' HEIGHT + 4" DBH + 8' SPREAD	6 REPLACEMENT TREES PROVIDED @ 12' HEIGHT + 2" DBH + 6' SPREAD  BREAKDOWN: (1) VERAWOOD TREE @ 18' HEIGHT + 4" DBH + 8' SPREAD = 2 REPLACEMENT TREES (3) SPANISH STOPPER TREES @ 12' HEIGHT + 2" DBH + 6' SPREAD = 3 REPLACEMENT TREES (1) LIGNUM VITAE TREE @ 12' HEIGHT + 2" DBH + 6' SPREAD = 1 REPLACEMENT TREES

TREE DISPOSITION SUMMARY				
	TOTAL	REMAIN	REMOVE	RELOCATE
TREES	9	0	9	0
PALMS	16	2	14	0

TREE MITIGATION SHORTFALL : 7 TREES

EXISTING TREE CHART + MITIGATION SUMMARY

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Landscape Architect:

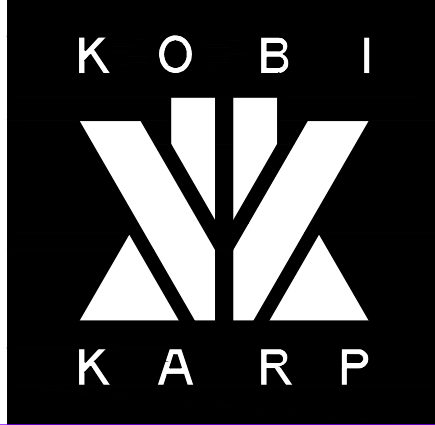
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HARDSCAPE + LAYOUT PLAN LEGEND

- A EXISTING MIAMI BEACH 'RED' CONCRETE SIDEWALK. TO BE LEVEL AND SLIP-RESISTANT AS PER FFPC 6TH ED

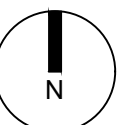
B EXISTING PLANTER TO BE RETROFITTED WITH NEW CMB ADDAPAVE STREET TREE PLANTER

C NATURAL STONE OR CAST CONCRETE UNIT PAVERS TO BE SELECTED: +/- 1,200 SF
- D DRIVEWAY NATURAL STONE OR CAST CONCRETE UNIT PAVERS TO BE SELECTED: +/- 5,200 SF

E OPEN-CELL PERMEABLE PAVERS: +/- 300 SF

F PROPOSED TRELLIS SYSTEM, REFER TO ARCH PLANS

HARDSCAPE PLAN



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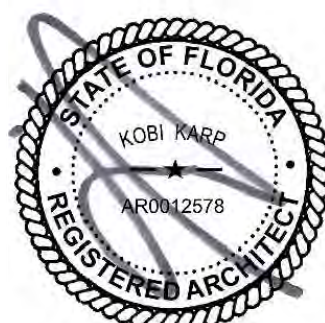
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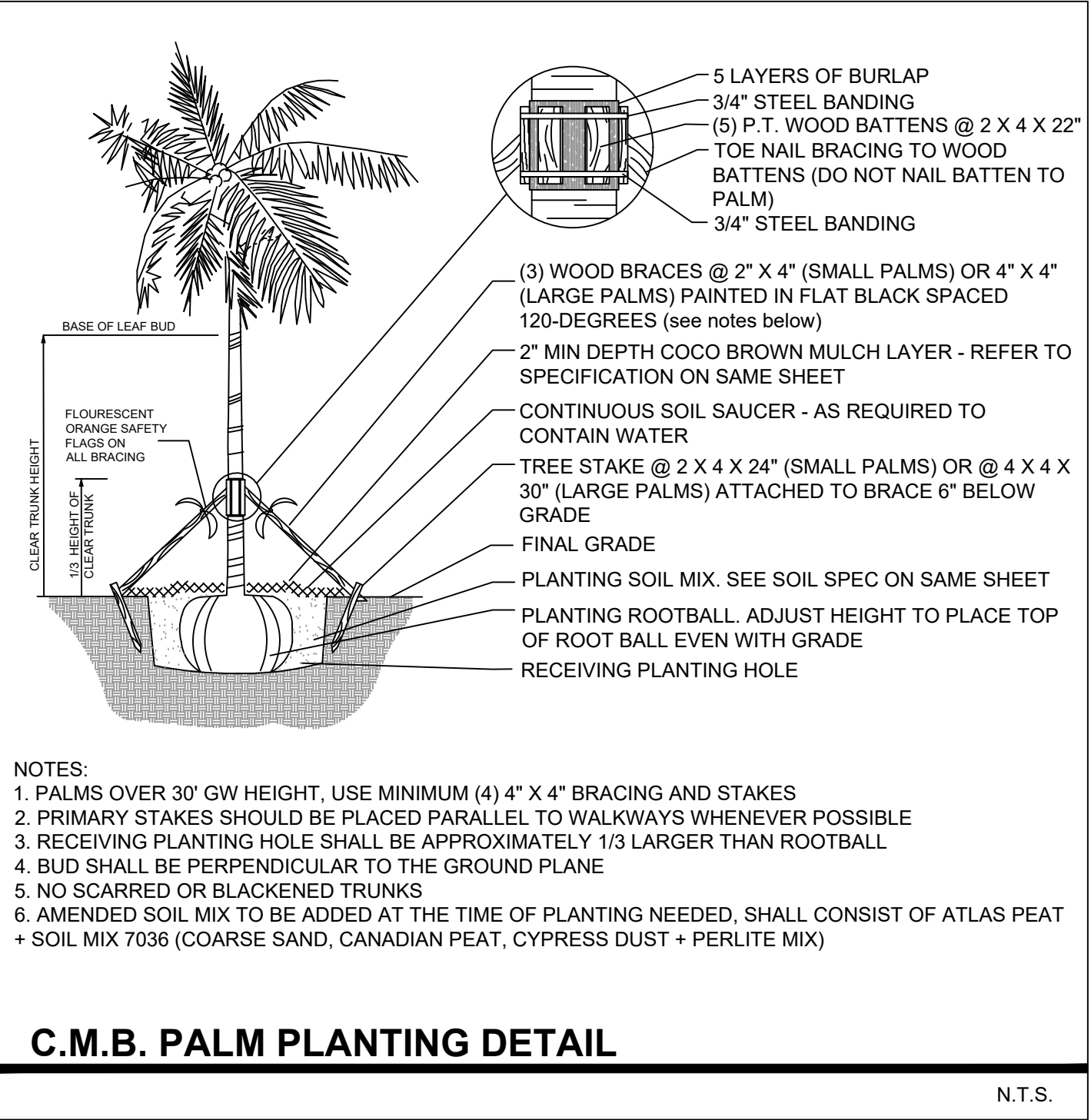
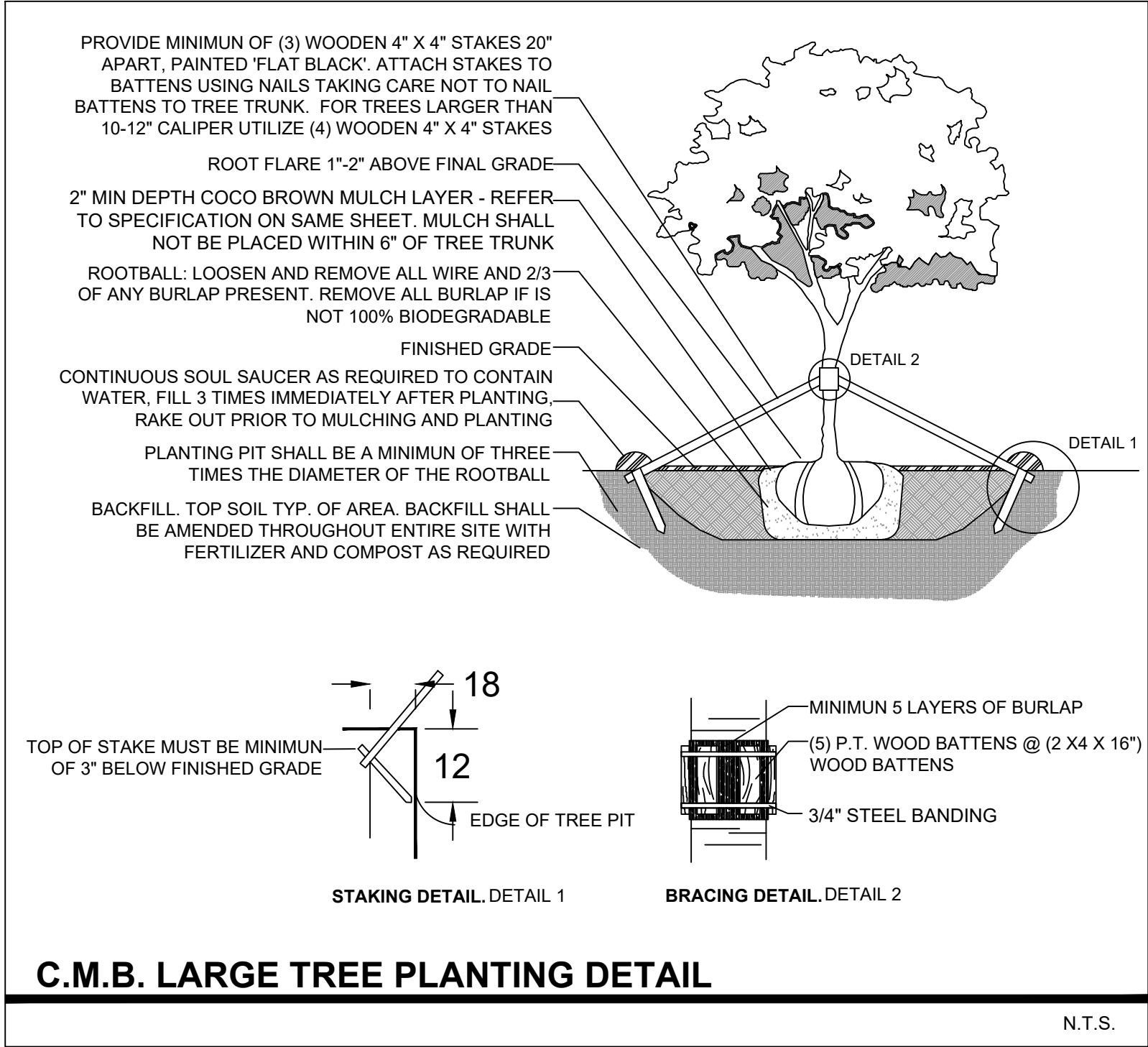
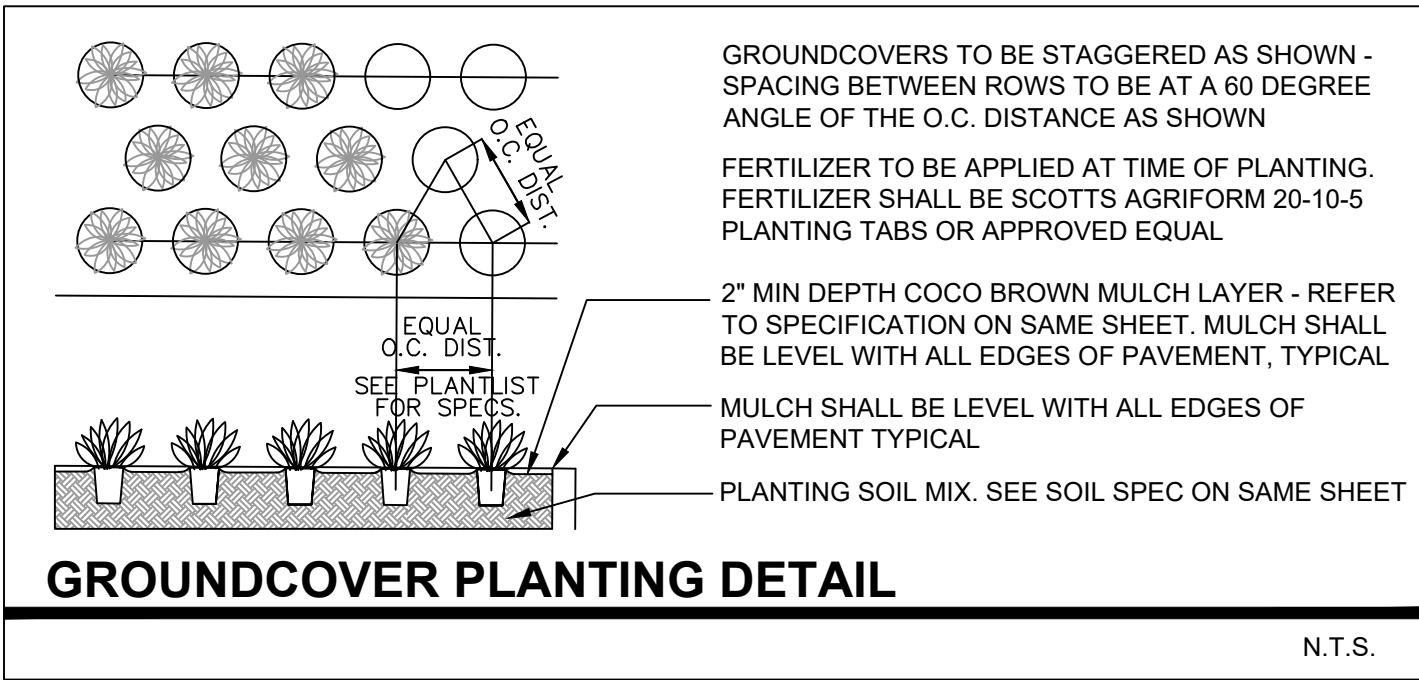
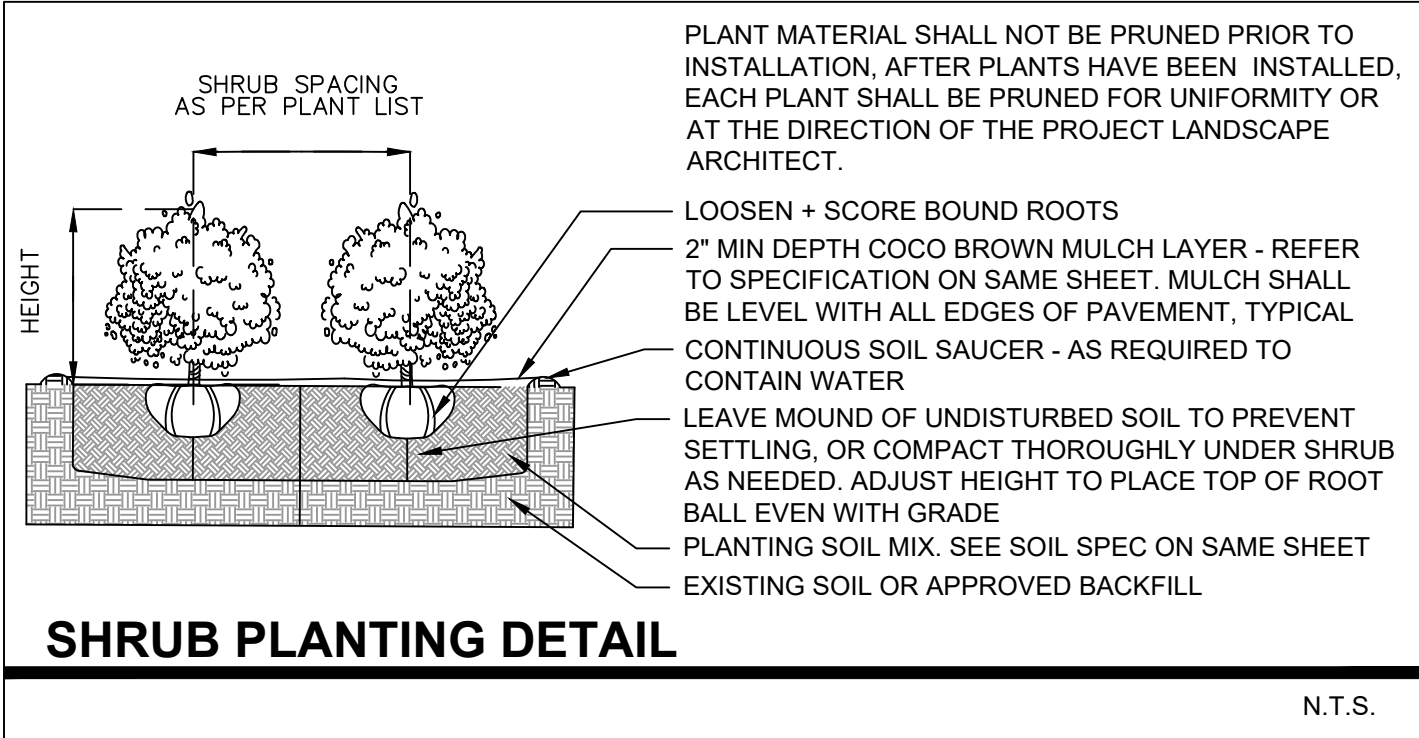


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## LANDSCAPE NOTES

- ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER.
  - CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATION OF, AVOID, AND PROTECT ALL UTILITY LINES, BURIED CABLES, AND OTHER UTILITIES.
  - TREE, PALM, ACCENT AND BED LINES ARE TO BE LOCATED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  - ALL PLANTING SOIL SHALL BE 50-50 TOPSOIL/SAND MIX, FREE OF CLAY, STONES, ROCKS, OR OTHER FOREIGN MATTER. THIS SPECIFICATION INCLUDES ALL BACKFILL FOR BERMS AND OTHER LANDSCAPE AREAS.
- CARE SHALL BE TAKEN TO AVOID PLACEMENT OF CONSTRUCTION FILL, GRAVEL, AND OR DEBRIS OVER THE ROOTBALLS OF INSTALLED OR EXISTING TREES AND OR PALMS ON SITE.**
- GROUNDCOVER PLANTING BEDS:**  
6" DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.
- SHRUB AND HEDGE PLANTING AREAS:**  
12" DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.
- TREES, PALMS, SPECIMEN PLANT MATERIAL LOCATIONS:**  
**REMOVE ALL LIMEROCK PRESENT TO A DEPTH OF AT LEAST 30" BEFORE PLACING NEW PLANTING SOIL.** APPLY NEW CLEAN PLANTING SOIL IN PLANTING AREA AS REQUIRED
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL GRADES TO WITHIN 2" OF FINAL GRADES. THIS SHALL INCLUDE A 2" APPLICATION OF 50-50 TOPSOIL/SAND MIX FOR ALL LANDSCAPE AND AREAS TO BE SODDED.
  - THE LANDSCAPE CONTRACTOR SHALL CALCULATE AND SUBMIT AN ITEMIZED PRICE FOR THE 2" APPLICATION OF 50-50 MIX FOR ALL SOD AREAS AS A REFERENCE IN THE CASE THAT THERE WOULD BE A DISCREPANCY BETWEEN SITE AND LANDSCAPE CONTRACTORS AND NOTIFY THE SITE CONTRACTOR OR PROJECT SUPERINTENDENT AS TO THIS DISCREPANCY. IT WILL THEN BE DETERMINED WHICH PARTY WILL PROVIDE THIS 2" TOPSOIL/SAND APPLICATION AND SUBSEQUENT PAYMENT. OTHER PLANTING SOIL MIXES TO BE ADDED, I.E. FOR TREES, PALMS, SPECIMEN PLANTS, SHRUBS AND GROUNDCOVERS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR AND BE INCLUSIVE WITH THE LANDSCAPE BID.
  - ALL EXISTING TREE + PALM INFORMATION THAT HAS BEEN PROVIDED ON THIS PLAN FOLLOWS THE CITY OF MIAMI BEACH TREE PERMITTING GUIDELINES. ANY TREES OR PALMS CONSIDERED INVASIVE OR THAT FAILS UNDER THE TREE PERMIT EXEMPTION / PROHIBITED SPECIES LIST 24-94 (4) MAY NOT BE SHOWN FOR CLARITY PURPOSES. ANY DISCREPANCIES IF NOTED UPON FURTHER FIELD INSPECTION SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT.
  - IRRIGATION SHALL PROVIDE FOR A 100% COVERAGE WITH 50% OVERLAP MINIMUM AND BE PROVIDED BY A FULLY AUTOMATIC IRRIGATION SYSTEM W/ RAIN MOISTURE SENSOR ATTACHED TO CONTROLLER. ALL FLORIDA BUILDING CODE APPENDIX "F" IRRIGATION REQUIREMENTS SHALL BE STRICTLY ADHERED TO FOR INSTALLATION AND PREVAILING WATER MANAGEMENT DISTRICT RESTRICTIONS AND REGULATIONS SHALL BE IN COMPLIANCE FOR POST-INSTALLATION WATERING SCHEDULES. CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AND LEAVE PROVISIONS FOR ALL SLEEVING AND PIPE ROUTING. ALL UNDERGROUND UTILITIES TO BE LOCATED BY DIALING 811 AS REQUIRED BY LAW.
  - ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 2" WITH APPROVED NATURAL SHREDDED COCO BROWN MULCH FREE FROM WEEDS AND PESTS. NO 'NUGGETS', 'CYPRESS MULCH' OR 'RED DYED MULCH' TO BE ACCEPTED. KEEP MULCH 6" AWAY FROM TREE OR PALM TRUNKS AS PER INDUSTRY RECOMMENDATIONS.
  - ALL TREES, PALMS, SHRUBS AND GROUNDCOVERS, AND SOD / LAWN SHALL CARRY A ONE-YEAR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE.
  - NURSERY SUPPORT POLES SHALL BE REMOVED AT THE NURSERY, PRIOR TO TO DELIVERY, AND TREES DELIVERED WITH NURSERY POLES WILL NOT BE ACCEPTED, AND THEREFORE REJECTED, W/ THE EXCEPTION TREE SPECIES: CLUSIA ROSEA + SILVER BUTTWOOD TREES
  - ALL TREES AND PALMS SHALL BE STAKED PER ACCEPTED STANDARDS BY THE FLORIDA NURSERYMEN & GROWERS LANDSCAPE ASSOCIATION (FNGLA) AND ANSI A-300 (PART 6)-2012 TREE, SHRUB, AND OTHER WOODY PLANT MANAGEMENT STANDARD PRACTICES (PLANTING AND TRANSPLANTING). CONTRACTOR SHALL ENSURE THAT THE PLANS, DETAILS, SPECIFICATIONS AND NOTES HAVE BEEN ADHERED TO AND THAT THE LANDSCAPE AND IRRIGATION INSTALLATION IS COMPLIANT TO ALL ITEMS AS DIRECTED ON THE PLANS PRIOR TO SCHEDULING OF THE FINAL INSPECTION.**
  - CONTRACTOR SHALL REMOVE ALL BRACING MATERIALS FROM ALL PALMS, TREES AND SHRUBS WITHIN 1 YEAR OF INSTALLATION.**
  - THE PLANT LIST IS INTENDED ONLY AS AN AID TO BIDDING. ANY DISCREPANCIES FOUND BETWEEN THE QUANTITIES ON THE PLAN AND PLANT LIST, THE QUANTITIES ON THE PLAN SHALL BE HELD VALID.
  - IF NECESSARY, CONTRACTOR SHALL PROVIDE A WATER TRUCK DURING PLANTING TO ENSURE PROPER WATERING-IN DURING INSTALLATION AND CONTRACTOR WILL BE RESPONSIBLE FOR CONTINUAL WATERING UNTIL FINAL ACCEPTANCE BY THE OWNER.
- A MINIMUM OF 6 MONTHS OF SUPPLEMENTAL HAND OR AUTOMATIC IRRIGATION SYSTEM WATERING SHALL BE REQUIRED TO AID IN NEW TREE OR PALM ESTABLISHMENT.**
- FERTILIZATION: ONE COMPLETE APPLICATION OF GRANULAR FERTILIZER SHALL BE APPLIED PRIOR TO FINAL ACCEPTANCE AND APPROVAL BY THE LANDSCAPE ARCHITECT. FERTILIZER SHALL BE SCOTTS AGRIFORM 20-10-5 PLANTING TABS OR APPROVED EQUAL AS RECOMMENDED BY LANDSCAPE CONTRACTOR
  - SHOULD ANY TREES OR PALMS BE DAMAGED THEY SHALL BE EVALUATED BY THE CITY URBAN FORESTER TO DETERMINE CORRECTIVE ACTIONS THAT MAY INCLUDE REMOVAL, CORRECTIVE PRUNING AND OR REPLACEMENT. ANY CORRECTIVE ACTION REQUIRED SHALL BE PERFORMED IN ACCORDANCE WITH A CITY OF MIAMI BEACH CODE, ANSI-A 300 PRUNING STANDARDS AND OR AN ISSUED ERM TREE PERMIT OR ENVIRONMENTAL PERMIT. ANY CORRECTIVE PRUNING REQUIRED SHALL BE PERFORMED BY AN ISA CERTIFIED ARBORIST OR ASCA CONSULTING ARBORIST AND THE CITY URBAN FORESTER SHALL BE CONSULTED.
  - ALL TREES + PALMS TO REMAIN OR BE RELOCATED ON SITE IN THE VICINITY OF CONSTRUCTION ACTIVITIES, SHALL BE PROTECTED THROUGH THE USE OF TREE PROTECTION BARRICADES INSTALLED AT THE TREE OR PALM DRIP LINE. A TREE PROTECTION FENCE SHALL BE CONSTRUCTED PRIOR TO ANY CONSTRUCTION ACTIVITY INCLUDING GRUBBING AND SHALL REMAIN IN PLACE UNTIL ON SITE CONSTRUCTION HAS BEEN COMPLETED.
  - MULCH SHALL NOT BE APPLIED WITHIN 6" OF ANY TREE OR PALM TRUNK THAT IS INSTALLED OR INCORPORATED INTO THE PROJECT. FOR ROW TREES + PALMS, ALL MULCH SHALL BE AMERIGROW 'PREMIUM PINEBARK BROWN' SHREDDED MULCH OR A CITY APPROVED ALTERNATIVE.
  - PLANTING SOIL. SPECIFICATION FOR UPPER LEVEL PLANTERS A MIX OF COARSE SAND, FLORIDA PEAT AND PINE BARK. THE APPROXIMATE RATIO SHALL BE:  
COARSE SAND 70%  
FLORIDA PEAT 20%  
PINE BARK 10%  
FINAL TESTED ORGANIC MATTER BETWEEN 1.5 AND 2.0% (BY DRY WEIGHT)  
THE FINAL MIX SHALL BE TESTED TO HAVE A SATURATED WEIGHT OF NO MORE 115 POUNDS PER CUBIC FOOT WHEN COMPACTED TO 85% STANDARDS PROCTOR PLANTING SOIL SHALL BE THOROUGHLY MIXED PRIOR TO DELIVERY AND INSTALLATION ADD NUTRIOTE FERTILIZER TO THE PLANTING MIX AT THE TIME MIXING AND BLENDING AT A RATE OF 5 POUNDS PER CUBIC YARD. PLANTING SOIL SHALL BE SUPPLIED BY ATLAS PEAT AND SOIL INC. BOYTON BEACH FLORIDA 561-734-7300 PROVIDE A TWO GALLON SAMPLE WITH TESTING DATA THAT INDICATES THE MATERIAL MEETS REQUIREMENTS OF THIS SPECIFICATION INCLUDING RECOMMENDATIONS FOR CHEMICAL ADDITIVES FOR THE TYPES OF PLANTS TO BE GROWN. SAMPLES AND TESTING DATA SHALL BE SUBMITTED AT THE SAME TIME

## PLANT LIST - 1695 ALTON ROAD

KEY	QTY.	NATIVE	COMMON NAME	BOTANICAL NAME	HEIGHT, SPECIFICATION, & NOTES
<b>TREES</b>					
BA	1	NO	VERAWOOD TREE	Bulnesia arborea	18' height, 8' spread, 4" dbh, standard trunk, standard equal to Treeworld Wholesale
BS	1	YES	GUMBO LIMBO TREE	Bursera simaruba	20' ht min, 10' spread min, 6" dbh, standard trunk
EF	7	YES	SPANISH STOPPER TREE	Eugenia foetida	12' ht min, 6' spread min, 2" dbh, standard trunk, equal to Treeworld Wholesale
GO	1	YES	LIGNUM VITAE TREE	Guaiacum officinale	12-14' ht min, 8' spread min, 2" dbh, multi-trunk, equal to Treeworld Wholesale
MF	3	YES	SIMPSON STOPPER TREE	Myrcianthes fragrans	12-14' ht min, 8' spread min, 2" dbh, standard trunk, equal to Treeworld Wholesale
PR	5	NO	BAYRUM TREE	Pimenta racemosa	12-14' ht min, 8' spread min, 2" dbh, standard trunk, equal to Treeworld Wholesale
<b>PALMS</b>					
CA	1	NO	CARANDAY PALM	Copernicia alba	12'-13' ht clear trunk, 7-8' gray wood, single trunk
CC	2	NO	OLD MAN PALM	Coccothrinax crinita	8' - 10' overall height
DA	2	NO	HURRICANE PALM	Dictyosperma album	16'-18' HT, 6' ht clear trunk
RX	20	NO	LADY PALM	Rhapis excelsa	15 gallon, 3-4' overall height, full to base
SP	7	NO	SABAL PALMETTO	Sabal Palmetto	8' height, leaning, Florida Fancy
<b>SHRUBS</b>					
CRN	20	YES	DWARF PITCH APPLE	Clusia rosea 'Nana'	15 gallon, 5' height, 2' spread, 30" on center
SEB	27	YES	BAHAMA MAIDEN BUSH	Savia bahamensis	7 gallon, 2' - 3' height, 30" spread
PSL	22	YES	DWARF BAHAMA COFFEE	Psychotria ligustrifolia	7 gallon, 2' - 3' height, 30" spread
<b>GROUNDCOVERS</b>					
ALC	6	NO	BROMELIAD 'ODORATA'	Alcantarea 'Odonata'	7 gallon, 18" on center, full
ALO	142	NO	ELEPHANT EAR	Alocasia	7 gallon, 18" on center, full
CAM	140	NO	CARISSA 'EMERALD BLANKET'	Carissa macrocarpa	3 gallon, 12" on center, full
CAM	140	NO	CARISSA 'EMERALD BLANKET'	Carissa macrocarpa	3 gallon, 12" on center, full
DIS	1	NO	DIOON	Dioon spp.	7 gallon, 3' height x 3' spread
MIC	1,060	NO	WART FERN	Microsorium scolopendrium	1 gallon, 12" on center, full
MOD	20	NO	SWISS CHEESE PLANT	Monstera deliciosa	3 gallon, 24" on center, full
PGC	20	NO	PHILODENDRON 'GREEN CONGO'	Same	3 gallon, 18" on center, full
PHW	1	NO	PHILODENDRON 'WILSONI'	Same	3 gallon, 18" on center, full
PL	4	NO	FRANGIPANI	Plumeria obtusa	7 gallon, 3' height, full
<b>SOD, AGGREGATE &amp; MULCH</b>					
SOD	NATIVE SEA SHORE PASPALUM LAWN - OVER 2" TOPSOIL BED, SEE PLANTING SPECS				
DGA	3/8" DECOMPOSED GRANITE AGGREGATE OR STONE TO BE SELECTED, INSTALLED OVER FILTER FABRIC AND WEED BARRIER MATERIAL / OLIMAR, 2" MIN. DEPTH				
MLC	AMERIGROW 'PREMIUM PINEBARK BROWN' SHREDDED MULCH				

## PLANT LIST, LANDSCAPE NOTES + DETAILS

**CHRISTOPHER  
CAWLEY  
LANDSCAPE  
ARCHITECTURE**

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Rev.	Date	Rev.	Date
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## ZONING

DRB SUBMITTAL

## OFFICE BUILDING

1695 ALTON RD  
MIAMI BEACH, FLORIDA 33139



CHRISTOPHER CAWLEY, RLA  
Florida License LA 6668786

Owner:

PRIVATE RESIDENCE

Consultant:

Name  
Address  
Tel:  
Email

Consultant:

Name  
Address  
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Scale	AS MENTIONED	L-3.00
Project		